

BUILDING PERMIT INSPECTION PROCEDURES Please call 874-8703 or 874-8693 (ONLY) to schedule your inspections as agreed upon Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

X Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

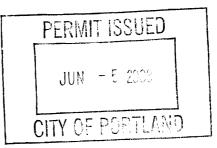
X Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects <u>DO</u> require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

gnature of Applicant/Designee



Signature of Inspections Official

CBL: 037 B001001

City of Portland, Main		U				mit No:	Issue Date:	:	CBL:		
389 Congress Street, 0410)1 Tel: (207) 874-8703	, Fax:	(207) 874-871	5	08-0311			037 B00	01001	
Location of Construction: Owner Name:				Owner Address:			Phone:				
380 CUMBERLAND AVE 1st floor THREE EIG		THREE EIGH	TY CU	TY CUMBERLAND 120 EXCHANGE ST		ST					
Business Name: Contractor Name		:	Contractor Address:				Phone				
Lessee/Buyer's Name Phone:				Permit Type: Alterations - Commercial			I	Zone: 3			
Past Use: Proposed Use:				Permit Fee: Cost of Work: CE			CEO District:	1			
		Commercial -	fit-up for a			\$475.00	\$38,00	0.00	1		
Office			1 a · m		FIRE		Approved	INSPEC	TION:		
							Denied	Use Gro	oup:	туре:2А	
					Se	e Condi	this		The-2003		
Proposed Project Description:		J			connevering Approved +			N. C. I			
fit-up for a Governmental C	ensus off	ice use			See Conditions IB Seeperations Approved IB Signature: Grag CISS Signature:			re: XMB 6	AMB 6/3/08		
•					PEDESTRIAN ACTIVITIES DISTRICT (P.A.S.)				P.A.Ø.)	11	
					Action	: Approv	ed App	proved w/	Conditions	Denied	
					Signat	ure:			Date:		
ermit Taken By:	-	pplied For:				Zoning	Approva	ıl			
Idobson	04/04	1/2008									
1. This permit application	does not	preclude the	Spe	cial Zone or Revie	ws	Zonin	g Appeal		Historic Pres	ervation	
Applicant(s) from meeting applicable State and Federal Rules.		Shoreland			Variance			1 Not in District or Landmar			
2. Building permits do not include plumbing, septic or electrical work.			Wetland			Miscellaneous			Does Not Require Review		
3. Building permits are void if work is not started			Flood Zone			Conditional Use			Requires Review		
within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work			Subdivision			Interpretation		Approved			
			Si	te Plan		Approve	d		Approved w/0	Conditions	
P.F.A.I	1388	D		Minor MM	1.9	Denied Date:			Denied	\mathbf{S}	
	• • • • • • • • • • • • • • •			5 \$ 15	10						

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Buil	ding or Use Permit		Permit No:	Date Applied For:	CBL:
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8710	6 08-0311	04/04/2008	037 B001001
Location of Construction:	Owner Name:		Owner Address:		Phone:
380 CUMBERLAND AVE 1st floor	THREE EIGHTY CUI	MBERLAND	120 EXCHANGE	ST	
Business Name:	Contractor Name:		Contractor Address:		Phone
Lessee/Buyer's Name	Phone:		Permit Type: Alterations - Con	mercial	
Proposed Use:		Propos	ed Project Description		
Commercial - fit-up for a Governmen	tal Census office use	fit-up	for a Governmenta	l Census office use	
					Date: 05/05/2008
Dept:ZoningStatus:ANote:see comment & letter sent1)Separate permits shall be required2)This permit is being approved on work.			: Marge Schmuck		Ok to Issue: 🗹
 Note: see comment & letter sent 1) Separate permits shall be required 2) This permit is being approved on work. Dept: Building Status: A 	l for any new signage.	tted. Any devia	-		Ok to Issue: before starting that Date: 06/03/2008
 Note: see comment & letter sent 1) Separate permits shall be required 2) This permit is being approved on work. Dept: Building Status: A Note: 	d for any new signage. the basis of plans submit approved with Condition	tted. Any devia s Reviewer	tions shall require a	a separate approval Approval I	Ok to Issue: ☑ before starting that Date: 06/03/2008 Ok to Issue: ☑
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Comments:

4/7/2008-mes: This permit is denied because the property is in B-3 and the use is for a governmental use(Bureau of Census office) which is not listed in the B-3 Zone. See denial letter sent.

5/5/2008-mes: On 5/2/08 Tony MacDonald came in to revise his application. This is no longer for the Bureau of Census at this time. The work is for a generic "vanilla box". Separate permits for the tenant and use will be required PRIOR to occupancy.

5/20/2008-mes: Last night the City Council approved a text amendment for the B-3 Zone that now permits "governmental building and uses" (i.e goes into effect in 30 days). The Census Bureau can now be granted at this location.

5/21/2008-jmb: Spoke with David L. For more details on plans and separation of storage area. He will submit.

5/28/2008-jmb: Received revised plan, also need large set. This shows a ramp is being constructed. Emailed Archetype for details.

5/30/2008-jmb: Received railing detail but nothing on the ramp construction, called David L. He will submit

6/3/2008-jmb: Received ramp detail



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 380	Cumberland Avenue	2
Total Square Footage of Proposed Structure/A 29,750 SF 2 Story Struct	rea Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Applicant * <u>must</u> be owner, Lessee or Buy Name <i>380 Cumberlanc</i> (AS	SE Tony McDonala
	Address 130 Exchange St City, State & Zip for flownd, ME c	14/0/
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <i>Same</i>	Cost Of Work: <u>\$ 38, WD, OD</u> 75
	Address City, State & Zip	C of O Fee: \$ Total Fee: \$OO
Current legal use (i.e. single family) \sqrt{ACA} If vacant, what was the previous use? $0.141C$ Proposed Specific use: $-0.141CE$	nt ff. ce 1st Fli e studio sus Sureau Generel	office use, SAM
If vacant, what was the previous use? <u>Offic</u> Proposed Specific use: <u><i>Office Cerr</i></u> Is property part of a subdivision? <u>NO</u> Project description: <i>Plass See C</i>	If yes, please name	of work 5/2/4
	j>'1	~l⁄
Address:		
City, State & Zip		Telephone:
Who should we contact when the permit is read Mailing address:	ly:	Геlephone:

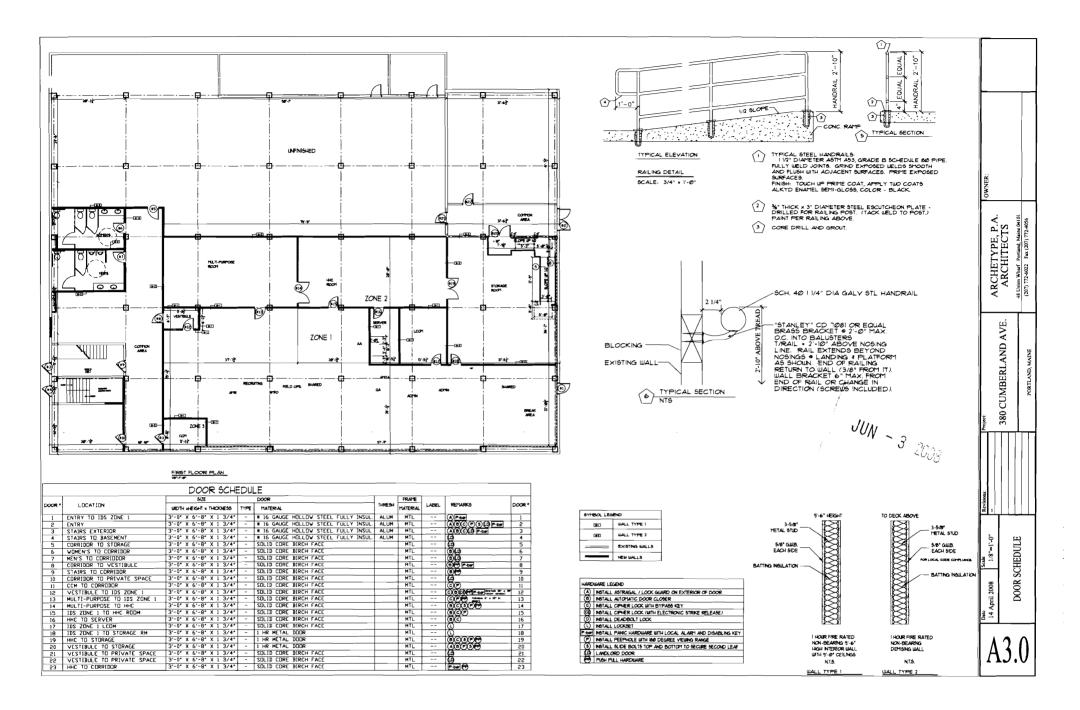
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

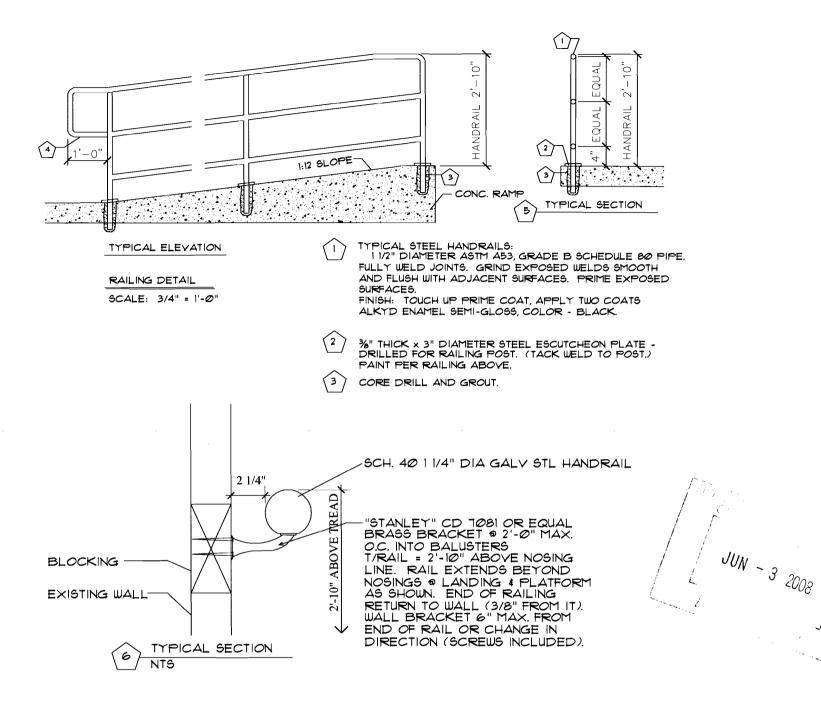
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at <u>www.portlandmaine.gov</u>, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's "authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Date:

This is not a permit; you may not commence ANY work until the permit is issue







Strengthening a Remarkable City, Building a Community for Life . www.portlandmaine.gov

Lee Urban- Director of Planning and Development Marge Schmuckal, Zoning Administrator

April 7, 2008

380 Associates LLC 120 Exchange Street Portland, Maine 04104 Attn: Tony McDonald

RE: 380 Cumberland Avenue – 03]-B001 – B-3 Zone – permit #08-0311

Dear Mr. McDonald,

I am in receipt of your permit application to change the use of a vacant office to the Bureau of Census office on the first floor. This property is located within a B-3 Downtown Business Zone. Your permit is being denied because the governmental use for the Bureau of Census is not an allowable use listed under section 14-217 (permitted uses) or 14-218 (conditional uses). Section 14-219 (Prohibited Uses) states: "Uses not enumerated in section 14-217 and 14-218 as either permitted uses or conditional uses are prohibited".

Please note that the terminology, "Governmental Buildings and Uses" is specific terminology that is used in several other zones. That terminology is not used in the B-3 Zne in which 380 Cumberland Avenue is located.

Your permit application is denied based upon zoning.

You have the right to appeal my decision concerning use. If you wish to exercise your right to appeal, you have 30 days from the date of this letter in which to appeal. If you should fail to do so, my decision is binding and not subject to appeal. Please contact this office for the necessary paperwork that is required to file an appeal.

Please feel free to call me at 84-8695 if you have any questions regarding this matter.

Very truly yours

Marge Schmuckal Zoning Administrator

Cc: Tracy Sullivan, 380 Associates LLC, 120 Exchange St., Portland, ME

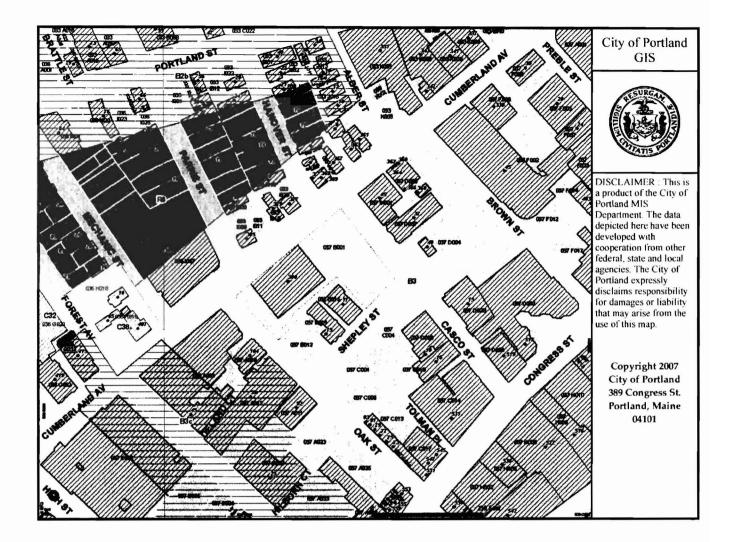
Room 315 - 389 Congress Street - Portland, Maine 04101 (207) 874-8695 - FAX:(207) 874-8716 - TTY:(207) 874-3936

From:	James Adolf
To:	Schmuckal, Marge
Date:	5/20/2008 9:54:36 AM
Subject:	Re: B-3 zone Amendment

Yes, the Council passed the amendment. You can take the item off the June 5 agenda.

>>> Marge Schmuckal 05/20 9:33 AM >>>

Did the council hear the "government building & uses" amendment last night? I am trying to figure out the status because the ZBA continued the appeal to June 5th and we are preparing the agenda now. Thanks, Marge



380 CUMBERLAND AVE. ASSOCIATES LLC. 120 EXCHANGE STREET PORTLAND, MAINE

April 3, 2008

Description of Work 380 Cumberland Ave. Portland, Me. 04101

сам 5/2/07

Construction of interior renovations for office use for the Durcau of Census. This construction will include the following:

- 1. Construction of new non-bearing insulated 4" steel stud walls with drywall as shown on attached plan highlighted in yellow.
- 2. New men's & women's bathrooms sized in accordance to State Plumbing Code.
- 3. Installation of new interior solid birch doors with metal frame.
- 4. Installation of a new exterior fire rated door.
- Install & expand building fire alarm system, designed in accordance with the IBC-03 & Life Safety Code NFP101-06, designed by David Lloyd of Archetype Portland, Maine. 207-772-6022. Building is a Non-Sprinkled building.
- 6. Install new carpet & VCT flooring.
- 7. Paint interior walls.

Please note that HVAC & Electric permits will be applied for separately. If you have any questions please feel free to call me or my design professional David Lloyd at Archetype at 207-772-6022.

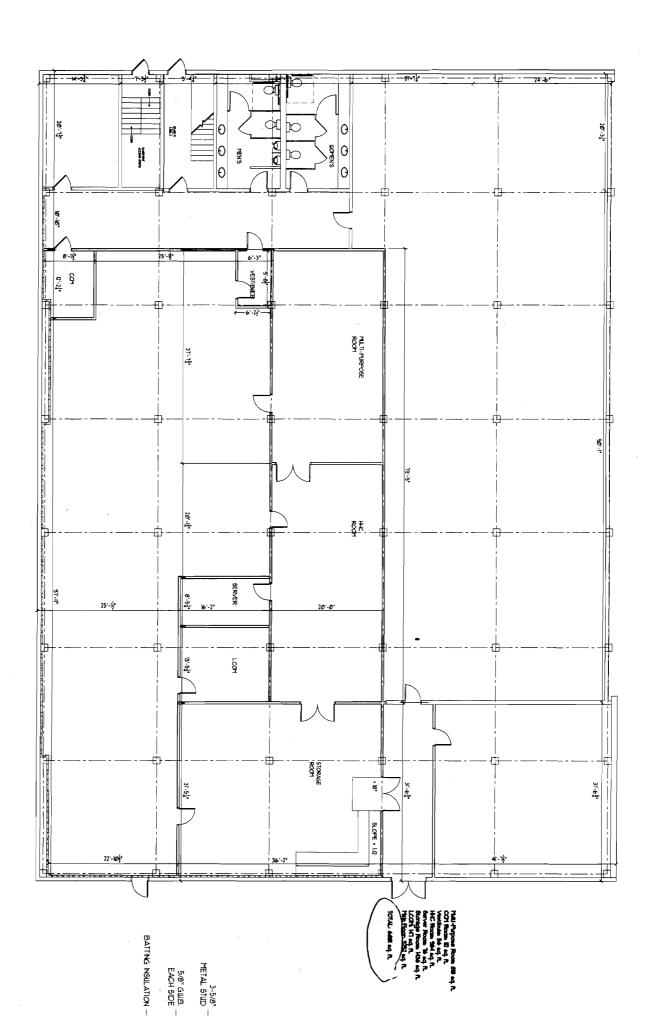
Sincerely; Tracy Sullivan Tony McDonald - 4 7 09 380 Associates LLC

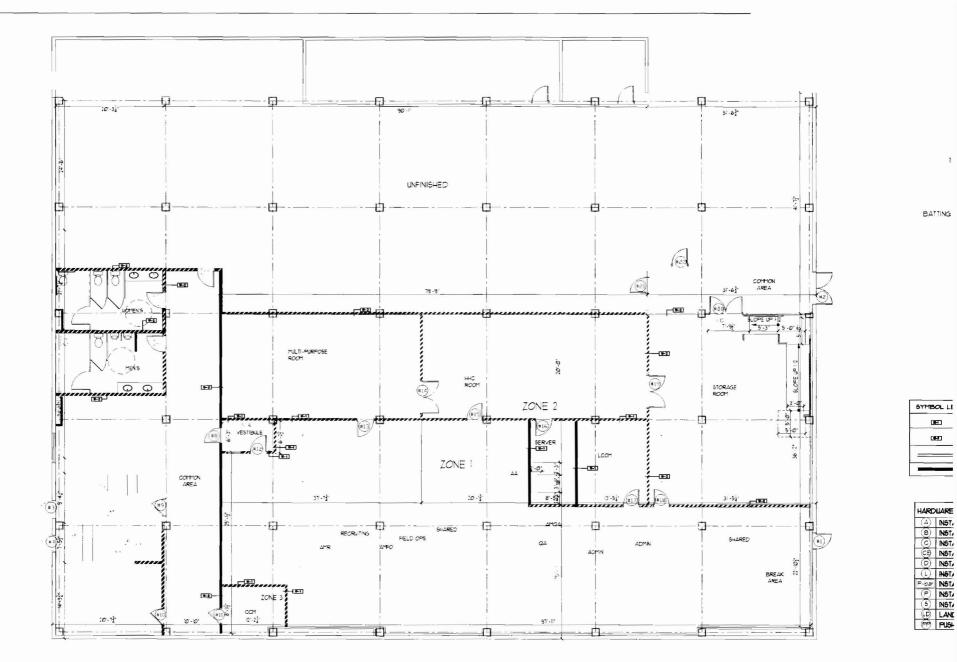
380 Associates LLC 120 Exchange Street Portland, Maine. 04101 207-749-1000

129 - 1 2008



FIRST FLOOR PLAN





FIRST FLOOR PLAN

NOTE:

HIS DRAWNS IS PROVIDED FOR INCOMPLICATIONAL FURTHERS UP. 1. INED FOR CONTINUETOR, THE CONTINUETOR AND/ES ALL REPORTED ALL DRAWNS, MARK MERCHES FIC, AND FROMED TO QUE LL DRAWNS, MARK MERCHES FIC, AND FROMED TO QUE LL DRAWNS, MARK MERCHES FIC, AND FROMED TO QUE LL DRAWNS, ALL DOCUMENT IN CONTON BUILDING FURCTIONS MED DRAWN, NA COORDANCE WITH CONTON BUILDING FURCTIONS MED DRAWN, NA COORDANCE WITH CONTON BUILDING FURCTIONS MED LOCAL, CONTENCION BEFORE ACTUAL CONTINUETOR MENTORS, ALL DEBUING AND INCIDENCIATIONS BUILD BE VERHED MENTORS, ALL DEBUING AND INCIDENCIATIONS BUILD DE VERHED MENTORS, ALL DEBUING AND INCIDENCIATIONS BUILD DE VERHED MENTORS AULD DRAWNS GENTRACTOR BEFORE ACTUAL CONTINUETOR MENTANDOR CONTRACTOR BEFORE ACTUAL CONTINUETOR MENTANDOR CONTRACTOR BEFORE ACTUAL CONTINUETOR

	DOOR SCHEDULE			
		SIZE		DOOR
DOOR *	LOCATION	WIDTH XHEIGHT X THICKNESS	TYPE	MATERIAL
1	ENTRY TO IDS ZONE 1	3'-0" X 6'-8" X 1 3/4"	~	# 16 GAU
2	ENTRY	3'-0" X 6'-8" X 1 3/4"	-	# 16 GAU
3	STAIRS EXTERIOR	3'-0" X 6'-8" X 1 3/4"	-	# 16 GAU
4	STAIRS TO BASEMENT	3'-0" X 6'-8" X 1 3/4"	-	# 16 GAU
5	CORRIDOR TO STORAGE	3'-0" X 6'-8" X 1 3/4"	-	SOLID CO
6	WOMEN'S TO CORRIDOR	3'-0" X 6'-8" X 1 3/4"	-	SOLID CO
7	MEN'S TO CORRIDDOR	3'-0" X 6'-8" X 1 3/4"	-	SOLID CO
8	CORRIDOR TO VESTIBULE	3'-0" X 6'-8" X 1 3/4"	-	SOLID CO
9	STAIRS TO CORRIDOR	3'-0" X 6'-8" X 1 3/4"	-	SOLID CO
10	CORRIDOR TO PRIVATE SPACE	3'-0" X 6'-8" X 1 3/4"	-	SOLID CO
11	CCM TO CORRODOR	3'-0" X 6'-8" X 1 3/4"	-	SOLID CO
12	VESTIBULE TO IDS ZONE 1	3'-0" X 6'-8" X 1 3/4"	-	SOLID CO
13	MULTI-PURPOSE TO IDS ZONE 1	3'-0" X 6'-8" X 1 3/4"	-	SOLID CO
14	MULTI-PURPOSE TO HHC	3'-0" X 6'-8" X 1 3/4"	-	SOLID CO
15	IDS ZONE 1 TO HHC ROOM	3'-0" X 6'-8" X 1 3/4"	-	SOLID CO
16	HHC TO SERVER	3'-0" X 6'-8" X 1 3/4"	-	SOLID CO
17	IDS ZONE 1 LCOM	3'-0" X 6'-8" X 1 3/4"	-	SOLID CO
18	IDS ZONE 1 TO STORAGE RM	3'-0" X 6'-8" X 1 3/4"	-	1 HR MET
19	HHC TO STORAGE	3'-0" X 6'-8" X 1 3/4"	-	1 HR MET
50	VESTIBULE TO STORAGE	3'-0" X 6'-8" X 1 3/4"	-	1 HR MET
21	VESTIBULE TO PRIVATE SPACE	3'-0" X 6'-8" X 1 3/4"	-	SOLID CO
55	VESTIBULE TO PRIVATE SPACE	3'-0" X 6'-8" X 1 3/4"	-	SOLID CO
53	HHC TO CORRIDOR	3'-0" X 6'-8" X 1 3/4"	-	SOLID CO