



APPLICATION FOR PERMIT

PERMIT ISSUED

Class of Building or Type of Structure Second Class

FEB 12 1934

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, February 8, 1934

Plan filed 2/10/34

The undersigned hereby applies for a permit to erect alter install the following building structure-equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 573 1/2 Congress Street Ward 5 Within Fire Limits? yes Dist. No. 1
Owner or Lessee's name and address Empire Restaurant, 573 1/2 Congress St. Telephone _____
Contractor's name and address Corrie Lewis, 24 Whitney St. Telephone 3-3477
Architect's name and address _____
Proposed use of building Vacant, restaurant 2d floor No. families _____
Other buildings on same lot _____
Plans filed as part of this application? yes No. of sheets 1
Estimated cost \$ 200. Fee \$.75

Description of Present Building to be Altered

Material brick No. stories 2 Heat _____ Style of roof flat Roofing _____
Last use Vacant 1st, restaurant 2d floor No. families _____

General Description of New Work

To cut in one new 7' opening in existing 8" brick wall, 2d floor, and put in 3" I beam
To cut in one new 7' opening in existing non-bearing partition and put in 4x8 header (fir)
m. Lewis says both partitions are non-bearing so beams are not necessary - m. Lewis 7/10/34
It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

CERTIFICATE OF OCCUPANT
REQUIREMENT IS FULFILLED

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 3x4-16" C. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

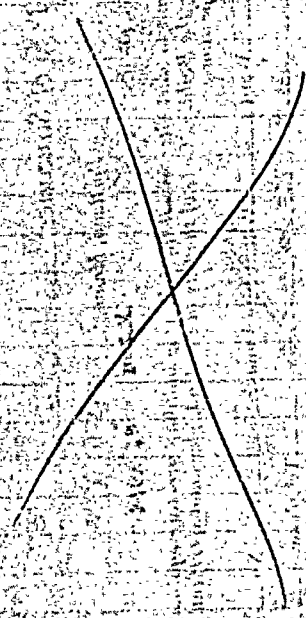
INSPECTION COPY

Signature of Lessee Empire Restaurant
By [Signature]

13

Ward 5 Permit No. 34/111
Location 156 Congress St.
Owner Empire Restaurant
Date permit 2/12/34
Notif. closing-in
Inspn. closing-in 2/19/34-G.T.
Final Notif.
Final Inspn. 2/19/34
Cert. of Occupancy issued None

NOTES



Margies - Empire Restaurant - 573 1/2 Congress St

Weight -

Neon tubes 25[#]

Transformers (total of 3) - 70[#]

Ceiling 20' + 1' + 1' + 10' = 42' x 12'

1 1/4" x 1 1/4" x 1/8" @ 1.01[#] = 45[#]

600' of #24 gauge steel @ 1.0[#] = 600[#] 105[#]

Bores: B - 2 x [(6 + 13) 0.6 + 2 x 3 x 6.5] x 1.0 = 100[#]

A - [(4.5 + 3) 2 x 0.42 + 3 x 4.5 x 2] x 1.0 = 34[#]

9 x 1 1/4" x 1 1/4" x 3/16" L @ 1.48 = 13[#]

say 350[#] 347[#]

add 50[#] for present structure = 400[#] dead.

7 x 5' x 40' = 1400[#]

Total 1800[#]

$M = \frac{900 \times 7.0 \times 1.5}{8} = 9450[#]$

$\frac{9450}{1400} = 6.75$ required steel mod.

$$\square_{4\frac{1}{4}}^{3\frac{1}{4}} \frac{bh^2}{6.0} = \frac{3.25 \times 4.25^2}{6} = \frac{3.25 \times 18.06}{6} = 9.78$$

OK. $\square_{3\frac{1}{4}}^{4\frac{1}{4}} \frac{bh^2}{6.0} = \frac{4.25 \times 3.25^2}{6} = \frac{4.25 \times 10.78}{6} = 7.48$



GENERAL BUSINESS PERMIT 1802
Permit No. 1802
1933
APPLICATION FOR PERMIT TO ERECT SIGN
OVER PUBLIC SIDEWALK OR STREET

Portland, Maine, Nov. 25, 1933.

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 873 1/2 Congress St., Ward _____ Within Fire Limits? _____ Dist. No. _____

Owner of building to which sign is to be attached John F. Proctor

Name and address of owner of sign The Kimball System of Portland, 51 Cross St.

Contractor's name and address The Kimball System of Portland, 51 Cross St. Telephone 2-5047

When does contractor's bond expire? Jan. 1, 1934

Information Concerning Building

No. stories 2 1/2 Material of wall to which sign is to be attached Signs attached to marquee on brick wall

Details of Sign and Connections as per plans attached

Electric? Yes Vertical dimension after erection _____ Horizontal _____

Weight approx. 300 lbs., Will there be any hollow spaces? yes Any rigid frame? yes

Material of frame galv. & angle iron No. advertising faces 3, material galv. metal

No. rigid connections as per plan Are they fastened directly to frame of sign? yes

No. through bolts _____, Size _____, Location, top or bottom _____

No. guys _____, material _____, Size _____

Minimum clear height above sidewalk or street 10'10"

Maximum projection into street 7'6" (marquee)

NOTIFICATION BEFORE LAUNCH
OR CLOSING-IN IS WAIVED.
CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

INSPECTION COPY

Signature of contractor
Oliver T. Sanborn

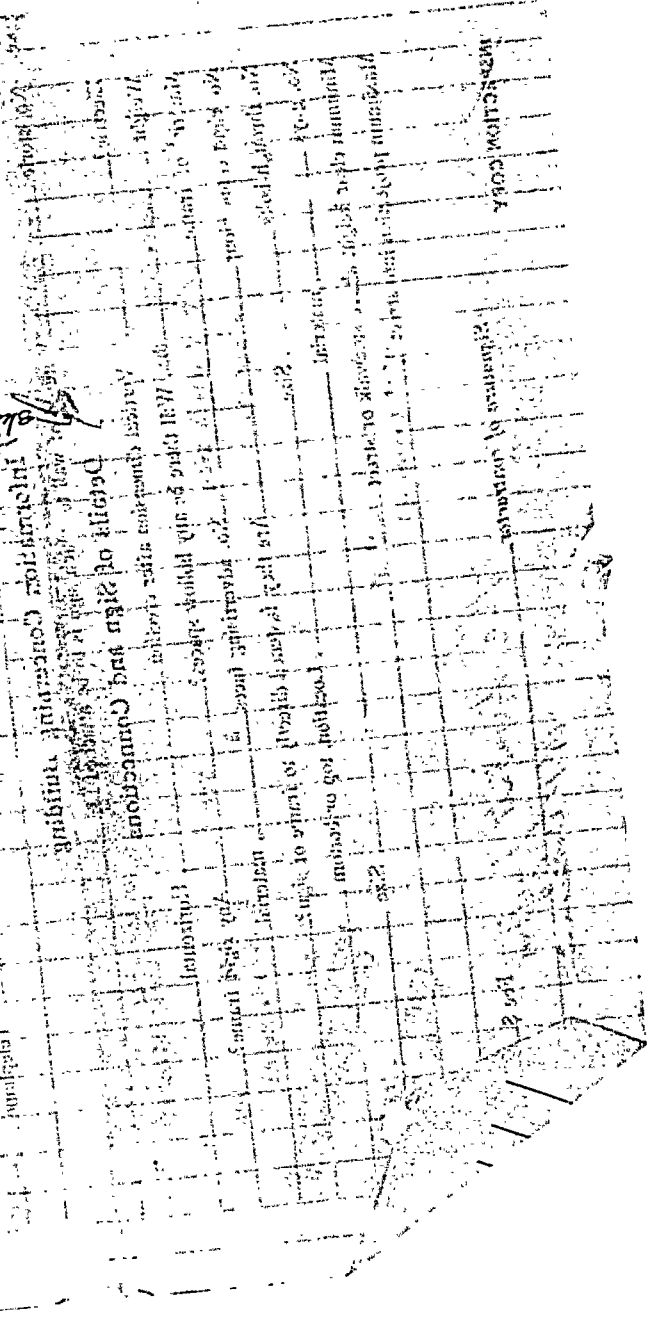
The Kimball System
R. F. Cushman

Fee \$ _____

Ward 5 Permit No: 33/1803
 Location 573 1/2 Congress St.
 Owner Rumball System of Pat
 Date of permit 11/27/33
 Sign Contractor _____
 Final Inspn. 3/6/34

NOTES
 11/27/33 - Location OK - map
 12/9/33 - Sign not yet
 3/1/34 - Signs erected
 3/1/34 - OK

FOR PERMIT TO ERECT SIGN
 ON PUBLIC SIDEWALK OR STREET





GENERAL BUSINESS ZONE
APPLICATION FOR PERMIT

PERMIT ISSUED
Permit No. 0626

MAY 28 1933

Class of Building or Type of Structure Second Class

Portland, Maine, May 28, 1933

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~install~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 5 Forest Avenue (673-575) 1st Street Ward 5 Within Fire Limits? yes Dist No. 1

Owner's or Lessee's name and address Cordas Cafe, 5 Forest Avenue Telephone _____

Contractor's name and address Horace Newcomb, Peaks, Telephone _____

Architect's name and address _____

Proposed use of building Restaurant No. families _____

Other buildings on same lot _____

Plans filed as part of this application? no No. of sheets _____

Estimated cost \$ 50. Fee \$ 50

Description of Present Building to be Altered

Material brick No. stories 2 Heat _____ Style of roof _____ Roofing _____

Last use Restaurant No. families _____

General Description of New Work

To relocate ventilating fan in rear wall of building, ^{first floor} moving it over app. 12', and putting in window in existing opening for fan

NOTIFICATION BEFORE LAYING
OR CLOSING IN IS WAIVED

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto observed? yes

Signature of owner Cordas Cafe
Henry G. Pettengill

INSPECTION COPY

9847A

Ward 5 Permit No. 33/626
Location 57 West Ave
Owner Cordes Cafe
Date of permit 5/26/33
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. 6/2/33
Cert. of Occupancy issued None

NOTES:

6/2/33 Work done off

REVISION FOR PERMIT





APPLICATION FOR PERMIT TO ERECT SIGN
OVER PUBLIC SIDEWALK OR STREET

Permit No. 0053
JAN 16 1931

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.
The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 5-7 Forest Avenue Ward 5 Within Fire Limits? yes Dist. No. 1
Owner of building to which sign is to be attached Casco Mercantile Trust Co.
Name and address of owner of sign Genesee Co.
Contractor's name and address Flynn, The Painter 245 Middle St. Telephone 3033
When does contractor's bond expire? October, 1931

Information Concerning Building

No. stories 2 Material of wall to which sign is to be attached brick

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

Details of Sign and Connections

Electric? yes Vertical dimension after erection 6' 0" Horizontal 2' 5"

NOTIFICATION BEFORE LATHING
REQUIREMENT IS WAIVED

Weight 150 lbs., Will there be any hollow spaces? yes Any rigid frame? yes

Material of frame angle iron No. advertising faces 2, material galv. iron

No. rigid connections 2 Are they fastened directly to frame of sign? yes

No. through bolts 1, Size 3/4", Location, top or bottom top

No. guys 5, material galv. cable, Size 1/2"

Minimum clear height above sidewalk or street 15' or more

APPROVED

Oliver T. Sanborn

CHIEF OF FIRE DEPARTMENT
INSPECTION COPY

Flynn, The Painter

Fee \$ 1.00

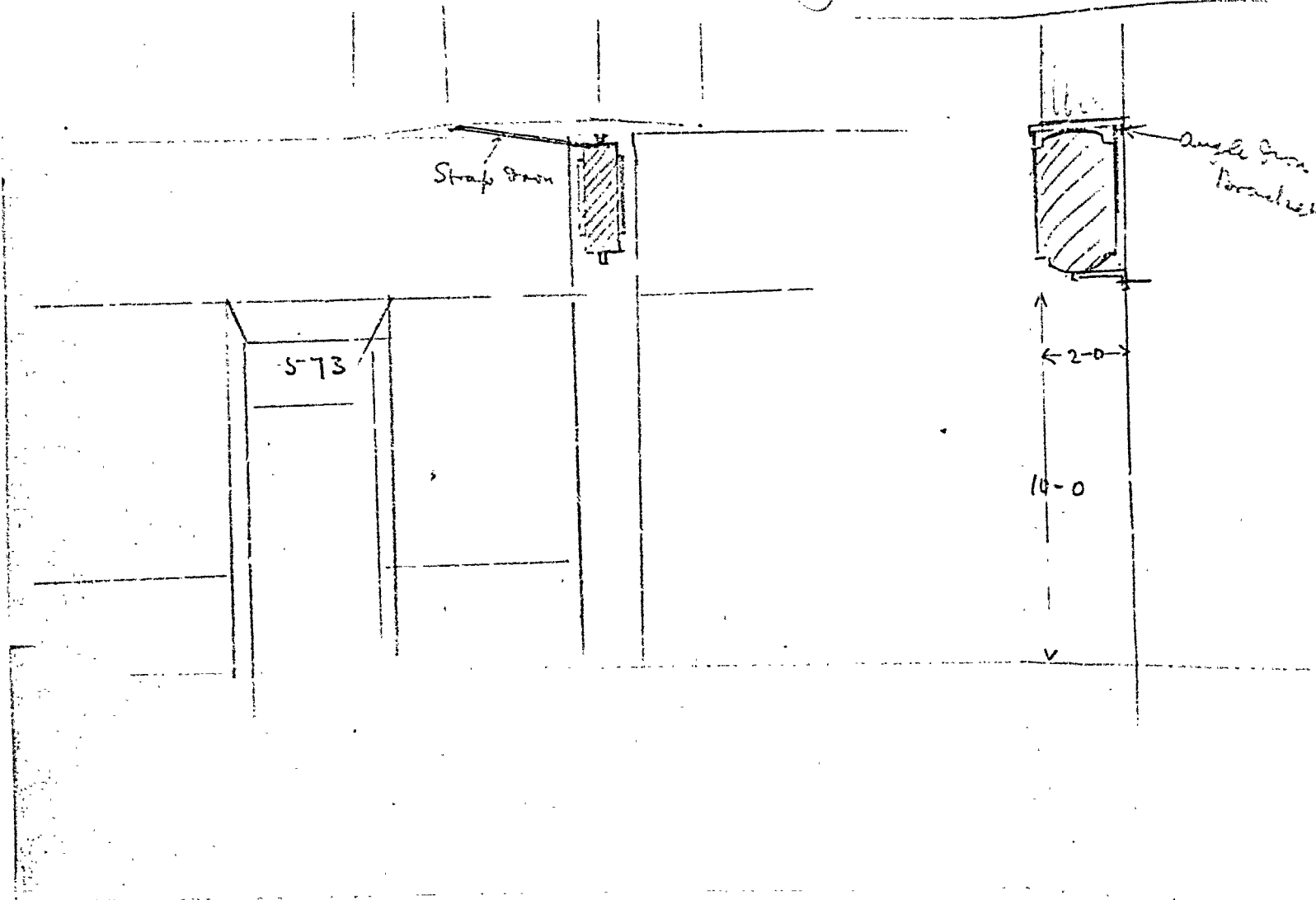
Signature of contractor Edmund J. Keeney

40374

2x3 ft. neon sign for SLIEE HOSIERY CO.
573 Congress St.

Oct. 5 - '92

J. H. Lindellbrook Sign Maker





APPLICATION FOR PERMIT TO ERECT SIGN
OVER PUBLIC SIDEWALK OR STREET

Portland, Maine, Oct. 6, 1930

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 573 Congress St. Ward 5 Within Fire Limits? Yes Dist. No. _____
Owner of building to which sign is to be attached John P. Proctor Estate A. Goodside, Lessee
Name and address of owner of sign Glen Hosiery Co. 573 Congress St.
Contractor's name and address J. H. Middlebrook, 12 Elm St. Telephone P-830
When does contractor's bond expire? May 4, 1931

Information Concerning Building

No. stories Three Material of wall to which sign is to be attached Brick

Details of Sign and Connections

Electric? Neon Tube Vertical dimension after erection 2--0 Horizontal 2--0
Weight 75 lbs., Will there be any hollow spaces? No Any rigid frame? Yes
Material of frame Gal. Iron No. advertising faces Two, material Gal. Iron
No. rigid connections Two Are they fastened directly to frame of sign? Yes
No. through bolts None, Size _____, Location, top or bottom _____
No. guys One, material Strap Iron, Size _____
Minimum clear height above sidewalk or street 10--0
Maximum projection into street 2--0

Fee \$ _____

Signature of contractor J. H. Middlebrook

O. H. M. M.

INSPECTION COPY

Oliver T. Sanborn

Ward 3 Permit No. 30/2255
 Loc. 573 Congress St
 Owner See History Co
 Date 10/17/30
 Sign Contractor _____
 Final Insp. _____

NOTES

10/1/30 - signs up road
 OVER PUBLIC SIDEWALK OR STREET
 REPLICATION FOR PERMIT TO ERECT SIGN

Design of Sign and Construction
 Installation Contracting Building

REPLICATION COPY

2/2/31

1/2/31



(G) GENERAL BUILDING PERMIT
APPLICATION FOR PERMIT TO ERECT SIGN
OVER PUBLIC SIDEWALK OR STREET

Portland, Maine, Aug. 12- 1930

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 573 1/2 Congress St., Ward _____ Within Fire Limits? yes Dist. No. _____

Owner of building to which sign is to be attached John F. Prester Estate

Name and address of owner of sign Empire Restaurant, 573 1/2 Congress St., City

Contractor's name and address G. C. Tainish Sign Co., 76 Free St., Telephone P-4246

When does contractor's bond expire? Oct. 3-1930.

Information Concerning Building

No. stories Two Material of wall to which sign is to be attached brick

Details of Sign and Connections

Electric? yes Vertical dimension after erection 23ft 9" Horizontal 8 ft stem

Weight 600 lbs., Will there be any hollow spaces? yes Any rigid frame? yes

Material of frame angle iron No. advertising faces two, material galv. iron

No. rigid connections four Are they fastened directly to frame of sign? yes

No. through bolts _____, Size _____, Location, top or bottom _____

No. guys 10, material galv. cable, Size 3/8"

Minimum clear height above sidewalk or street 15 feet

Maximum projection into street 5 1/2 feet

Fee \$ 1.00

Oliver D. Harrison

CHIEF OF FIRE DEPT.

INSPECTION COPY

Signature of contractor

G. C. Tainish Sign Co.,

By G. C. Tainish

Ward 5 Permit No. 304705

Location 27 3/4 Congress St

Owner Empire Restaurant Co

Date of permit 7/14/50

Sign Contractor

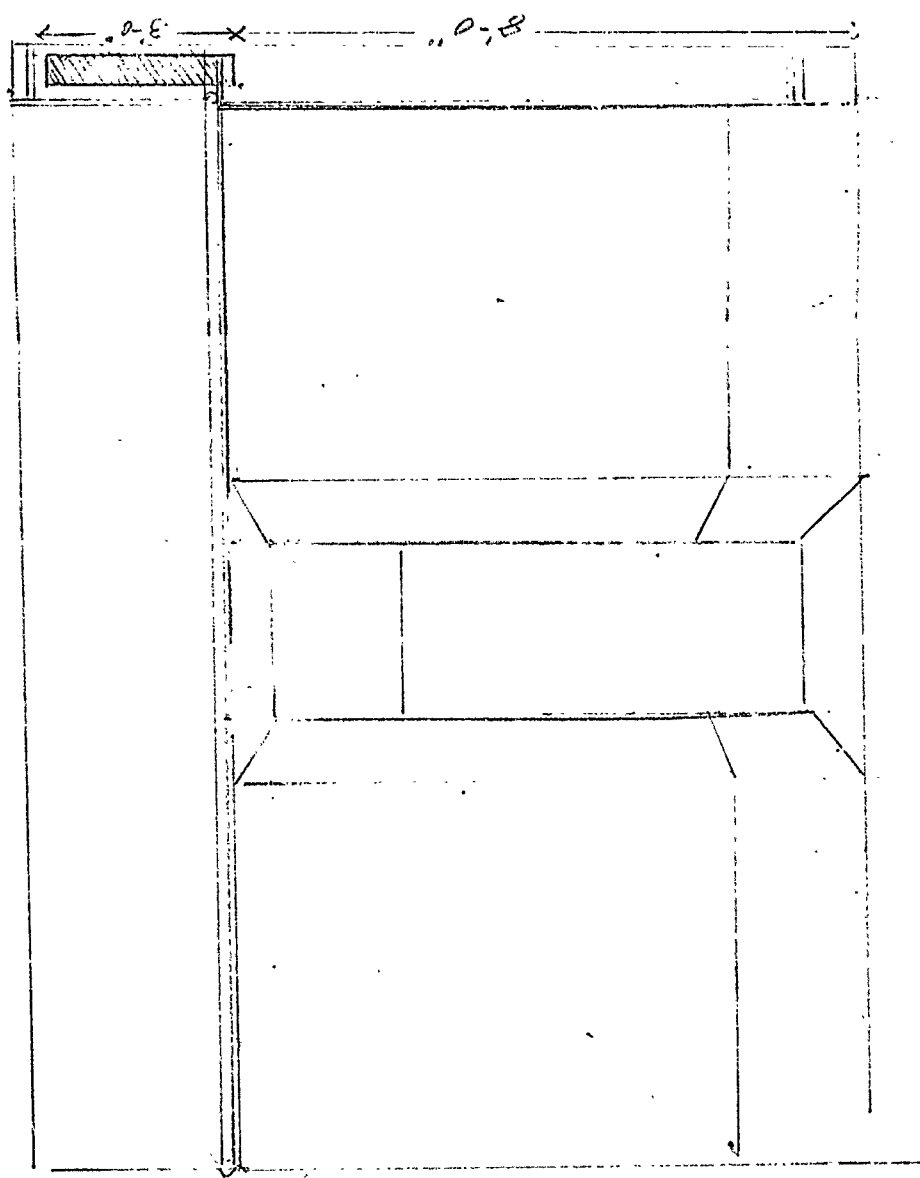
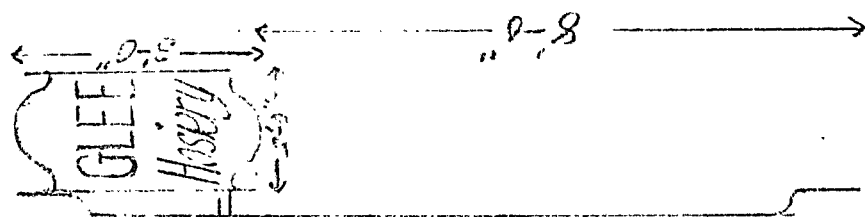
Final Inspn.

NOTES
9/17/30 - strengthening
work completed - A.J.D.
9/7/37 - signed - C.B.

PUBLIC SIDEWALK OR STREET
FOR PERMIT TO ERECT SIGN

Department of Public Works
Division of Engineering
Bureau of Street Maintenance

Office of the City Engineer
City of New York





(C) GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT TO ERECT SIGN
OVER PUBLIC SIDEWALK OR STREET

PERMIT ISSUED
Permit No. 2704
AUG 14 1930

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, Aug. 12- 1930.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 573 Congress St., Ward 5 Within Fire Limits? yes Dist. No. 1

Owner of building to which sign is to be attached John F. Proctor Estate,
Name and address of owner of sign Glee Hosiery Shop, 573 Congress St., City.

Contractor's name and address G. C. Tainsh Sign Co., 16 Free St., Telephone P 4246

When does contractor's bond expire? Oct. 3-1930.

Information Concerning Building

No. stories two Material of wall to which sign is to be attached brick

Details of Sign and Connections

Electric? yes Vertical dimension after erection 3 feet Horizontal 2 feet

Weight 50 lbs., Will there be any hollow spaces? yes Any rigid frame? yes

Material of frame angle iron No. advertising faces two material galv. iron

No. rigid connections two Are they fastened directly to frame of sign? yes

No. through bolts _____, Size _____, Location, top or bottom _____

No. guys _____, material _____, Size _____

Minimum clear height above sidewalk or street 8 feet

Maximum projection into street 2 feet

Fee \$ 1.00

Signature of contractor G. C. Tainsh Sign Co.,

BY G. C. Tainsh

APPLICANT'S COPY

Ward 5 Permit No. 30/704
Location 573 Congress St.
Owner Glee Harney Ship
Date of permit 8/14/30
Sign Contractor
Final Inspn.

9/2/30- Sign has been
put up & taken down
again due to its
interfering with sign
on adjoining store.
Not yet decided on
new location - Agd

SIDEWALK OR STREET
PERMIT TO ERECT SIGN

C-50-106
Rm-R-8/14/30

August 8, 1930

Empire Restaurant Company
573 Congress Street
Portland, Maine

Gentlemen:

Upon examination of the large illuminated sign, which you apparently own and which projects over the public sidewalk on Congress Street, we find that some of guys are very slack and the turnbuckles and their connections are badly corroded and weakened. As a result of this condition, the sign sways in the wind.

You are hereby directed to have this sign securely fastened and made substantial on or before August 15, 1930. I believe that it will not only be necessary to renew most of the guys or the turnbuckle connections, and make them reasonably tight, but that it will also be necessary to provide a rigid metal brace or guy on each side of the sign running from the top of the sign to the roof below and parallel with Congress Street.

This work must be done by a bonded sign hanger, and a permit must be secured from this office with full explanation in the application as to how the work is to be done.

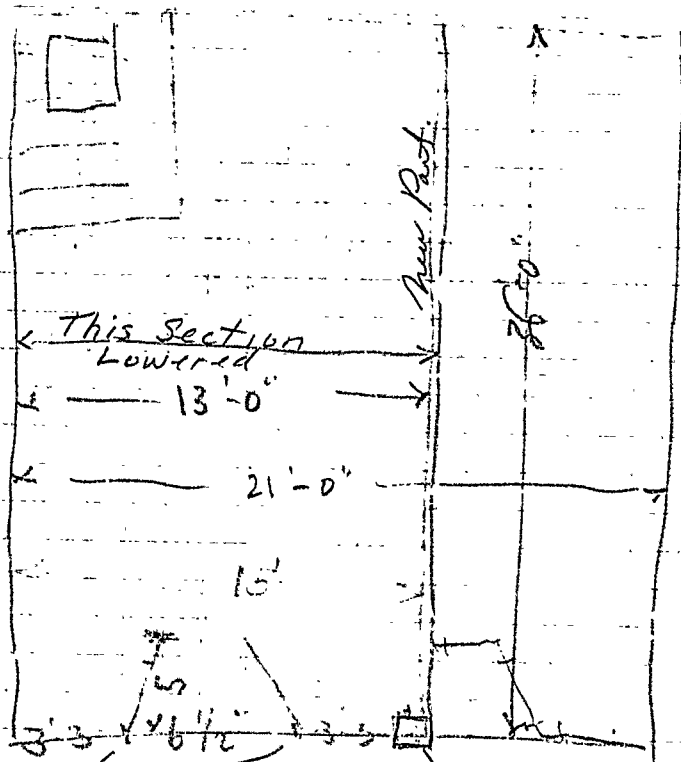
Please be governed accordingly.

Very truly yours,

Inspector of Buildings.

WM/HC

GENERAL BUSINESS



(573 Congress St. Pot in place
4" Sally Colb



GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED
Permit No. 1388
JUL 8 1930

Class of Building or Type of Structure 2nd Class

Portland, Maine, July 7 1930

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~alter~~ ~~the~~ ~~following~~ ~~building~~ ~~structure~~ ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 573 Congress St. Ward 5 Within Fire Limits? yes Dist. No. 1
Owner or Lessee's name and address Sidney Davidson 489 Congress St. Telephone _____
Contractor's name and address L. Malo & Sons 51 East Ave Lewiston Me. Telephone 438
Architect's name and address _____ Telephone _____
Proposed use of building Merchandise (Ol Carveave Machinery Co.) No. families _____
Other buildings on same lot _____

Description of Present Building to be Altered

Material Brick No. stories 3 Heat _____ Style of roof Flat Roofing _____
Last use Jewelry Store No. families _____

General Description of New Work

Lower present 1st floor about 12" as per plan
Remove present cellar opening and replace with trap door
Build new partition which comes over girder in cellar
To change store front as shown on plan

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Distance, heater to chimney _____
If oil burner, name and model _____
Capacity and location of oil tanks _____
Is gas fitting involved? _____ Size of service _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor Using old flooring 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Plans filed as part of this application? yes No. sheets 1
Estimated cost \$ 1300 Fee \$ 3.75
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner Sidney Davidson
By L. Malo & SonsBy Alfred Malo.

23.86A

Ward 5 Permit No. 30/1388
Location 573 Congress St.
Owner Sidney Davidson
Date of permit 7/8/30
Notif. closing-in
Li sing-in
Final Notif.
Final Inspn.
Cert. of Occupancy issued

NOTES

7/25/30 - Ceiling on +
working on show
windows. Everything
seems O.K. - A. J. J.
8/13/30 - Work completed.
Other half of store not
touched. J. H.

November 14, 1927

G. C. Tainsh Sign Company
27 Monument Square
Portland, Maine

Gentlemen:

Our Inspector reports that the sign for Cordes Cafe at 6-7 Forest Avenue which apparently was erected by your company under permit No. 27/1362 has not been provided with any bolt through the wall which is one of the conditions in the application for the permit and one of the terms under which the permit was issued. The application reads: number of through bolts 1 size 5/8 inch.

Please attend to this matter promptly and advise this department when the through bolt has been provided.

Very truly yours,

Inspector of Buildings

W.A/EP

October 28, 1927

Cordes Cafe Inc.
5 Forest Avenue
Portland, Maine

Gentlemen:

Enclosed is the building permit covering installation of a gas bake oven, installation of a suitable ventilation system and enclosing of the bake room with a plaster board partition and ceiling, providing a certain and sure way of leaving the cellar and reaching the outside air in case of emergency as an alternate to the stairs which lead to the kitchen and the venting of the gas hot water heater to the chimney.

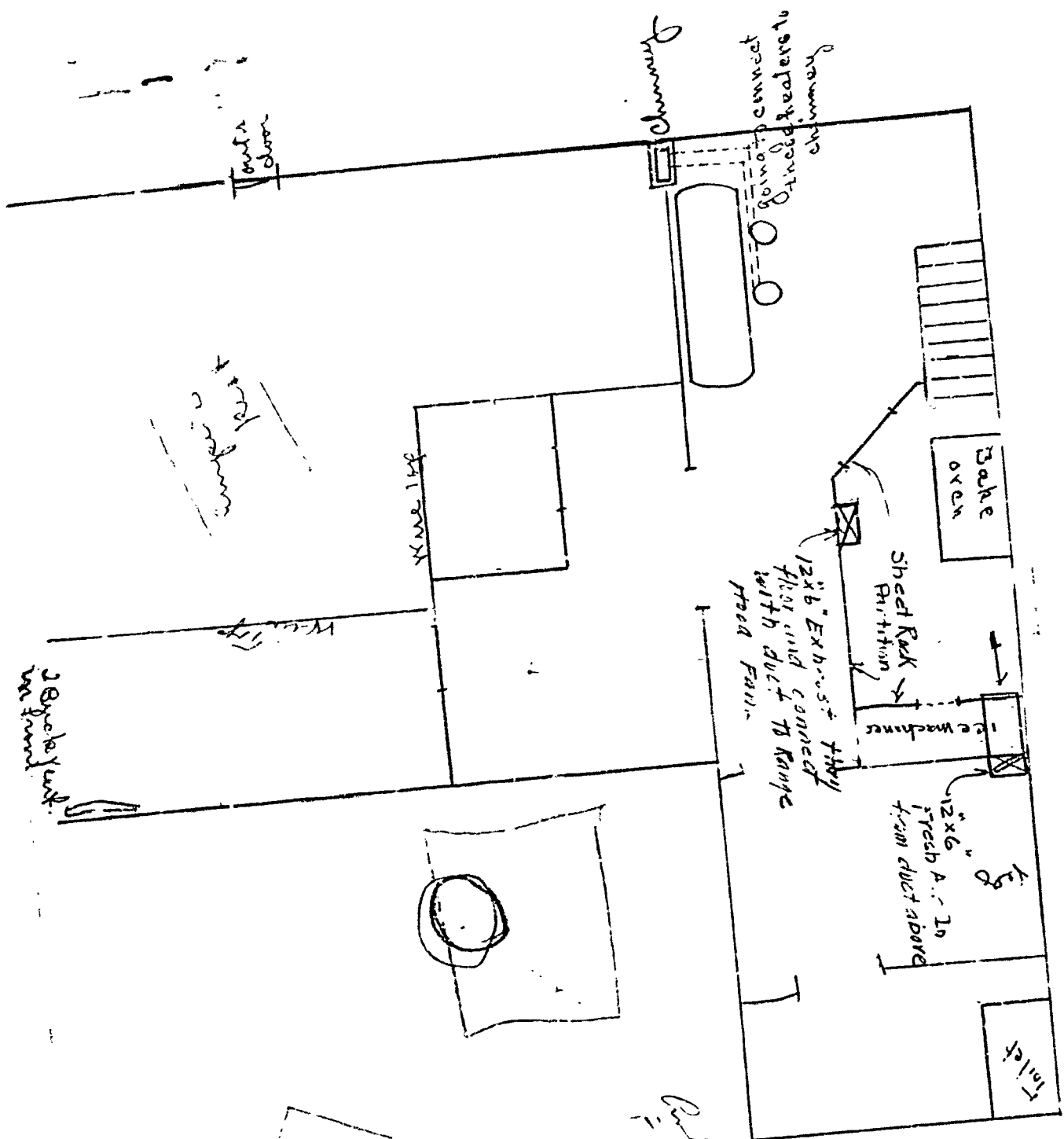
The most of these changes are indicated upon a plan submitted with the application by Mr. Andrews of the Portland Gas Light Co. any. It should be borne in mind however that the wooden timbers over the bakery room are to be sheathed with plaster board, and there is to be provided a certain means of egress outside of the stairs leading to the kitchen. It would be advisable for you to procure the services in connection with the ventilating system of somebody capable of designing the proper system as the efficiency of the system will be judged after installation.

Very truly yours,

Inspector of Buildings

W/P
Enc.

5055
inspection



2255
155

2255
155

A. R. HUMPHREY, Pres. & Genl. Mgr.

H. R. HUMPHREY, Sec. and Treas.

GEO. A. HUMPHREY

A. R. HUMPHREY
Radiantfire



GENERAL OFFICE AND FACTORY
KALAMAZOO, MICH.

NEW YORK OFFICE, 44 WEST BROADWAY
H. R. HUMPHREY, Manager

Manufacturers of
THE HUMPHREY
Radiantfire
Gas Arc Lamp
Radio Electric Fixtures

CABLE ADDRESS
"GENGAS"

Dear Madam:-

NEW YORK, Portland, Me. Feb. 1926

What are you doing to insure warmth and comfort in your home during severe, cold weather—how are you combatting the sudden changes in temperature at this season of the year? This problem is unquestionably solved in this message to you. THE HUMPHREY RADIANTFIRE used by thousands of housewives today in your house, and for the following reasons:

- FIRST- At the touch of a match it pours an avalanche of vigorous, clean, odorless heat into your rooms just when and where you need it.
- SECOND- It is economical in that it will save you money in fuel bills.
- THIRD- It is an asset in appearance wherever located in your home inasmuch as it is made in many styles and sizes as desired.
- FOURTH- It is not a winter necessity alone - for in all seasons of the year it meets every requirement for home comfort and service.

These are its major purposes - it is invaluable in many other respects.

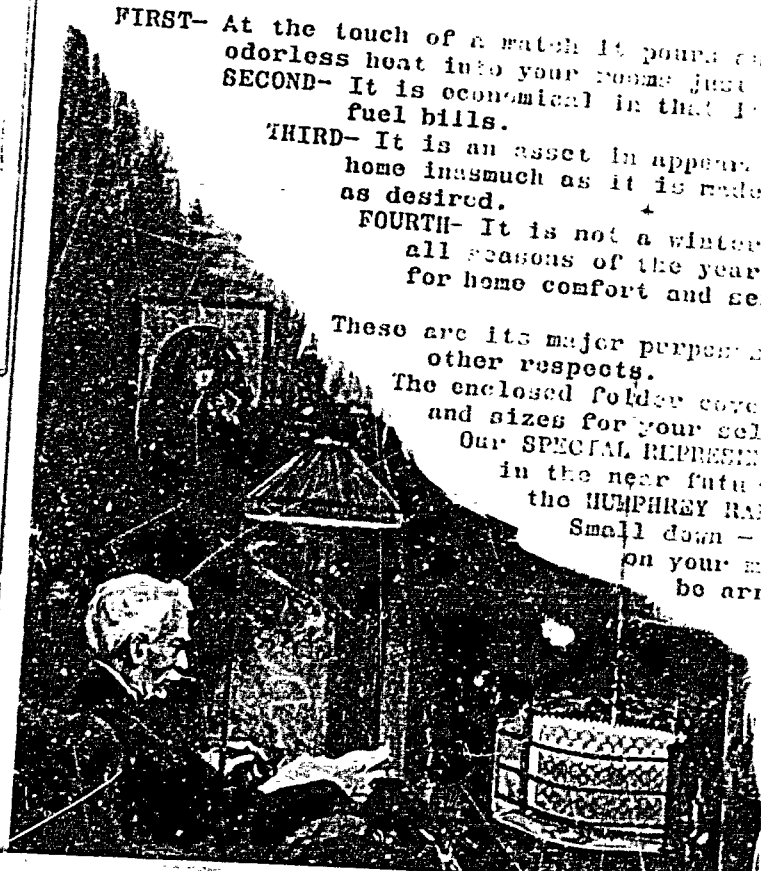
The enclosed folder covers many of the designs and sizes for your selection.

Our SPECIAL REPRESENTATIVE will call upon you in the near future and more fully explain the HUMPHREY RADIANTFIRE.

Small down - payment, balance payable on your monthly gas bills can be arranged.

Yours truly,

Portland Gas Light Co.



October 21, 1927

Gordis Cafe Inc.
5 Forest Avenue
Portland, Maine

Gentlemen:

Referring to your application for a building permit to install a gas bake oven at 5-7 Forest Avenue, upon examination of the premises, I find that it is the intention to install the oven in the cellar which apparently has formerly been used mostly for storage, dressing rooms and toilet.

The building code provides that a kitchen may be placed partly or wholly below the grade if a suitable mechanical system of ventilation is provided.

We have no way of knowing what you contemplate in the way of a new system of ventilation or other improvements in this room. At present there seems to be a toilet opening into the cellar and two gas hot water heaters without any vent connection. The air was decidedly foul when I was in there. Apparently there is but one way to get out of the cellar and that is through the kitchen of the restaurant. In case of a fire in the restaurant kitchen, would not employees in the cellar be caught in a trap with no way to get out?

Will you not advise us how many people will be employed at a time in this cellar and as to what plans you may have for perfecting the ventilation and increasing the means of egress? Before issuing a permit which in a sense places a stamp of approval of the city upon the preparation of food in this cellar, I feel that it would be best to consult with the Health Department who have general oversight of bakeries, restaurants and the like where food is prepared for the public.

Very truly yours,

Inspector of Buildings

1/2
CC
Portland Gas Light Co.
5 Temple Street

5055
H. J. [unclear]



APPLICATION FOR PERMIT

PERMIT ISSUED

Permit No. 131

OCT 27 1927

Class of Building or Type of Structure brick

Portland, Maine, OCT 27 1927

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter install the following ~~building structure~~ equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 5-7 Forest Avenue Ward 5 Within Fire Limits? yes Dist. No. 1

Owner's name and address Charles Lake Inc. Forest Ave. Telephone

Contractor's name and address Portland Gas Light Co. Forest Ave. Telephone

Architect's name and address Telephone

Proposed use of building restaurant No. families

Other buildings on same lot

Description of Present Building to be Altered

Material brick No. stories 1 Heat gas Style of roof Roofing

Last use restaurant No. families

General Description of New Work:

To install gas bake over as per requirements of Building Code.

Details of New Work

Size, front depth No. stories Height average grade to highest point of roof

To be erected on solid or filled land? earth or rock?

Material of foundation Thickness, top bottom

Material of underpinning Height Thickness

Kind of roof Roof covering

No. of chimneys Material of chimneys of lining

Kind of heat Type of fuel Distance, heater to chimney

If oil burner, name and model

Capacity and location of oil tanks

Is gas fitting involved? Size of service

Corner posts Sills Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor , 2nd , 3rd , roof

On centers: 1st floor , 2nd , 3rd , roof

Maximum span: 1st floor , 2nd , 3rd , roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot , to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Plans filed as part of this application? no No. sheets

Estimated cost \$ 150. Fee \$.75

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

INSPECTION COPY

Signature of owner

5055 P.

Ward 5 Permit No. 242131 M
Location 5-7 Front Ave
Lessee Boards Cafe Inc
Owner Boards Cafe Inc
Date permit Oct. 27, 29
Notif. closing-in _____
Inspn. closing-in _____
H Notif. _____
Final Inspn. _____
Cert. of Occupancy issued _____

NOTES

Restaurant
Closed
1/7/30
~~_____~~



(G) GENERAL BUSINESS ZONE

PERMIT ISSUED
Permit No. 1362

APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

Portland, Maine, Aug. 11th 19 27

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 5-7 Forest Ave. Ward 5 Within Fire Limits? yes Dist. No. 1

Owner of building to which sign is to be attached CASCO Mercantile Trust Co. (Incorporated)

Name and address of owner of sign Gordon Cafe Telephone 4246

Contractor's name and address G. C. Tainah Sign Co.

When does contractor's bond expire? Oct. 3-1927

Information Concerning Building

No. stories Two Material of wall to which sign is to be attached brick

Details of Sign and Connections

Electric? Yes Vertical dimension after erection 6 feet 6" Horizontal 5 feet 6"

Weight 150 lbs. Will there be any hollow spaces? yes Any rigid frame? yes

Material of frame angle iron No. advertising faces Two material galv. iron

No. rigid connections two Are they fastened directly to frame of sign? yes

No. through bolts One Size 5/8" Location, top or bottom 1"

No. guys five material 1" galv. cable Size 15 feet or more

Minimum clear height above sidewalk or street Six feet Fee \$ 42.93

Maximum projection into street Six feet

OLD SIGN MOVED FROM 268 Middle St.

APPROVED
INSPECTOR OF BUILDINGS
CHIEF OF FIRE DEPT.

Signature of contractor
By G. C. Tainah

G. C. Tainah Sign Co.



Location, Ownership and detail must be correct, complete and legible.
Separate application required for every building.
Plans must be filed with this application.

READ!

Application for Permit for Alterations, etc.

Get All Questions
Before Commencing Work
Failure to do so

Portland, Me., May 1, 1925

To the

INSPECTOR OF BUILDINGS

The undersigned applies for a permit to alter the following described building:—

Description of Present Bldg.

Location 575 Congress Street Ward 5 in fire-limits? yes
Name of Owner or Lessee, Casco Mercantile Trust Co Address 475 Congress
Contractor, E. E. Reddon Company 80 Union Street
Architect
Material of Building is brick Style of Roof, flat Material of Roofing, t & g
Size of Building is feet long; feet wide. No. of Stories,
Cellar Wall is constructed of inches wide on bottom and batters to inches on top.
Underpinning is inches thick; is feet in height.
Height of Building Wall, if Brick; 1st, 2d, 3d, 4th, 5th,
What was Building last used for? bank No. of Families?
What will Building now be used for? bank

Detail of Proposed Work

Re-arrange two partitions, install four booths, cut in ventilating system
all to comply with the building ordinance

Estimated Cost \$ 2500.

If Extended On Any Side

Size of Extension, No. of feet long; No. of feet wide; No. of feet high above sidewalk?
No. of Stories high?; Style of Roof?; Material of Roofing?
Of what material will the extension be built? Foundation?
If of Brick, what will be the thickness of External Walls? inches, and Party Walls inches.
How will the extension be occupied? How connected with Main Building?

When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon? Proposed Foundations?
No. of feet high from level of ground to highest part of Roof to be?
How many feet will the External Walls be increased in height? Party Walls

If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls? in Story.
Size of the opening? How protected?
How will the remaining portion of the wall be supported?

Signature of Owner or
Authorized Representative

Casco Mercantile Trust Co
E. E. Reddon Co
N.E.R.

Address

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

GEO. C. TAINSH

Commercial Signs

CARD, CLOTH,
WOOD, GLASS,
METAL AND

Electric Signs

TELEPHONE 4246



27 MONUMENT SQUARE
PORTLAND, MAINE

ESTABLISHED 1905

Out. Door Advertising

WALL OR BULLETIN
TO PROMOTE THE
SALE OF ANYTHING

Locations Secured

SKETCHES FURNISHED

Jan. 9-1924.

542-515
500-111

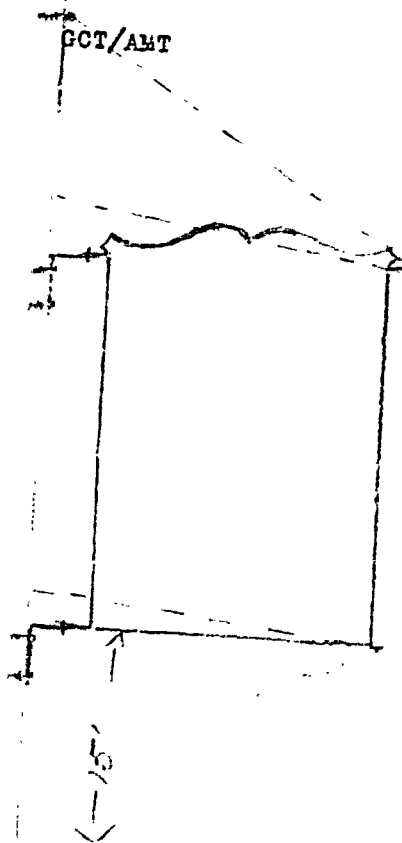
Sign Committee,
Portland, Maine.
Gentlemen,-

We wish to secure permit for hanging two sided
projecting electric transparency, size 4'-8" X 6', for
Congress Square Lunch Co., located at 5 Forest Ave., as per
sketch. Sign to be hung 15' above sidewalk.

Very truly yours,
G. C. Tainsh Sign Co.,

G. C. Tainsh

GCT/AMT



Permit issued January 7, 1924



Location, Ownership, and detail must be correct, complete and legible.
Separate application requested for every building.
Plans must be filed with this application.

Application for Permit for Alterations, etc.

To the

Portland

October 30, 1923

Per

INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following building

Location 5 Forest Avenue 11-1 5 yes

Name of Owner or ~~lessor~~ John E. Procter Estate Address Boyd Block, Middle St
Contractor H E Redlon Co 80 Union Street

Architect

Descrip-
tion of
Present
Bldg.

Material of Building is brick Style of Roof flat Material of Roofing tar & gravel
Size of Building is 30ft feet long 30ft feet wide No. of Stories 2
Cellar Wall is constructed of stone and is wide on bottom at 18 inches top
Underpinning is brick and is thick 18 inches in height
Height of Building 30ft Wall of Brick 1st 2d 3d 4th 5th
What was Building last used for restaurant No. of Families 1
What will Building now be used for restaurant

Detail of Proposed Work

Put in new store front, raise iron beams, interior repairs after fire
any new exterior woodwork to be covered with metal
all to comply with the building ordinance

Estimated Cost \$1100.

If Extended On Any Side

Size of Extension, No. of feet long ; No. of feet wide ; No. of feet high above sidewalk
No. of Stories high ; Style of Roof ; Material of Roofing
Of what material will the Extension be built ; Foundation
If of Brick, what will be the thickness of External Walls inches, and Party Walls inches.
How will the extension be occupied ; How connected with Main Building

When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon ; Proposed Foundations
No. of feet high from level of ground to highest part of Roof to be
How many feet will the External Walls be increased in height ; Party Walls

If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls in Story.
Size of the opening ; How protected
How will the remaining portion of the wall be supported

Signature of Owner or
Authorized Representative

H. E. Redlon

Address

80 Union St

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK



Location, Ownership and detail must be correct, complete and legible.

Separate application required for every building.

Plans must be filed with this application.

Application for Permit for Alterations, etc.

To the
INSPECTOR OF BUILDINGS:

Portland, May 1, 191

The undersigned applies for a permit to alter the following-described building:—

Location 1234 5th Ave. (corner 1st St.) Ward, 1 in fire-limits? Yes

Name of Owner or Lessee, John A. Smith Address 1234 5th Ave.

" " Contractor, John A. Smith " 1234 5th Ave.

" " Architect, John A. Smith " 1234 5th Ave.

Descrip-
tion of
Present
Bldg.

Material of Building is Brick Style of Roof, Gable Material of Roofing, Shingles

Size of Building is 20 feet long; 10 feet wide. No. of Stories, 2

Cellar Wall is constructed of Brick is 12 inches wide on bottom and batters to 8 inches on top.

Underpinning is None is 12 inches thick; is 12 feet in height.

Height of Building, 20 feet. Wall, if Brick; 1st, 12 2d, 12 3d, 12 4th, 12 5th, 12

What was Building last used for? Residence No. of Families? 1

What will Building now be used for, Residence Estimated Cost, \$ 1000.00

DETAIL OF PROPOSED WORK

It is proposed to alter the building as follows:
1. To remove the existing cellar wall and to build a new one of brick 12 inches wide on bottom and batters to 8 inches on top.
2. To remove the existing underpinning and to build a new one of brick 12 inches thick and 12 feet high.
3. To remove the existing roof and to build a new one of shingles.
4. To remove the existing walls and to build a new one of brick 12 inches thick.
5. To remove the existing floors and to build a new one of concrete.
6. To remove the existing stairs and to build a new one of concrete.
7. To remove the existing doors and to build a new one of wood.
8. To remove the existing windows and to build a new one of wood.
9. To remove the existing porch and to build a new one of concrete.
10. To remove the existing fence and to build a new one of wood.

IF EXTENDED ON ANY SIDE

Size of Extension, No. of feet long? 10; No. of feet wide? 5; No. of feet high above sidewalk? 10

No. of Stories high? 2; Style of Roof? Gable; Material of Roofing? Shingles

Of what material will the Extension be built Brick Foundation? Concrete

If of Brick, what will be the thickness of External Walls? 12 inches; and Party Walls 12 inches.

How will the extension be occupied? Residence How connected with Main Building? By a door

WHEN MOVED, RAISED OR BUILT UPON

No. of Stories in height when Moved, Raised or Built upon? 2 Proposed Foundations Concrete

No. of feet high from level of ground to highest part of Roof to be? 20

How many feet will the External Walls be increased in height? 12 Party Walls 12

IF ANY PORTION OF THE EXTERNAL OR PARTY WALLS ARE REMOVED

Will an opening be made in the Party or External Walls? Yes in 1 Story.

Size of the opening? 10 feet wide; 10 feet high. How protected? By a door

How will the remaining portion of the wall be supported? By a door

Signature of Owner or
Authorized Representative

Address

J. A. Smith
430 5th Ave. S.E.

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK



Location, Ownership and detail must be correct, complete and legible.
Separate application required for every building.
Plans must be filed with this application.

Application for Permit for Alterations, etc.

To the
INSPECTOR OF BUILDINGS:
Portland, March 5, 1913 191

The undersigned applies for a permit to alter the following-described building:—
Location 575 Congress St. Ward, 5 in fire-limits? Yes
Name of Owner or Lessee, Proctor, E. & Co., Inc. Address 1101 1st St.
" " Contractor, H. J. Reilly Co. " 60 Union St.
" " Architect, _____

Descrip-
tion of
Present
Bldg.

Material of Building is brick Style of Roof, flat Material of Roofing, tin
Size of Building is 50 feet long; 22 feet wide. No. of Stories, two
Cellar Wall is constructed of stone is _____ inches wide on bottom and batters to _____ inches on top.
Underpinning is brick is _____ inches thick; is _____ feet in height.
Height of Building, 23 feet Wall, if Brick; 1st, _____ 2d, _____ 3d, _____ 4th, _____ 5th, _____
What was Building last used for? store No. of Families? none
What will Building now be used for? bank Estimated Cost, \$12,000.00

DETAIL OF PROPOSED WORK

put in iron and plate glass windows on the Forest Avenue side;
interior repairs so as to fit it up for banking purposes
to comply with Building Ordinance

IF EXTENDED ON ANY SIDE

Size of Extension, No. of feet long? _____; No. of feet wide? _____; No. of feet high above sidewalk? _____
No. of Stories high? _____; Style of Roof? _____; Material of Roofing? _____
Of what material will the Extension be built _____ Foundation? _____
If of Brick, what will be the thickness of External Walls? _____ inches; and Party Walls _____ inches.
How will the extension be occupied? _____ How connected with Main Building? _____

WHEN MOVED, RAISED OR BUILT UPON

No. of Stories in height when Moved, Raised or Built upon? _____ Proposed Foundation _____
No. of feet high from level of ground to highest part of Roof to be? _____
How many feet will the External Walls be increased in height? _____ Party Walls _____

IF ANY PORTION OF THE EXTERNAL OR PARTY WALLS ARE REMOVED

Will an opening be made in the Party or External Walls? _____ in _____ Story.
Size of the opening? _____ How protected? _____
How will the remaining portion of the wall be supported? _____

Signature of Owner or
Authorized Representative

Address

H. J. Reilly Co.
60 Union St.

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK



Location, Ownership and detail must be correct, complete and legible.

Separate application required for every building.

Plans must be filed with this application.

Application for Permit for Alterations, etc.

To the

Portland, May 9th,

1916.

INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following-described building: —

Location, Corner of Forest Ave and Congress Ward, 5 In fire-limits? yes

Name of Owner or Lessee, Caring Farm Syndicate Address, New Hampshire

" " Contractor, Brown & Berry, " Press Building.

Descrip- " " Architect,

Material of Building is Brick Style of Roof, pitch Material of Roofing, shingles

Size of Building is 94'6" feet long; 31'1" feet wide. No. of Stories, two, three

Present Addition 15'0" Cellar Wall is constructed of Stone is 31'0" inches wide on bottom and batters to inches on top.

Bldg. Underpinning is Brick is inches thick; is feet in height.

Height of Building, Wall, if Brick; 1st, 2d, 3d, 4th, 5th,

What was Building last used for? offices No. of Families?

Building to be occupied for Chinese Restaurant Estimated Cost, \$14,000

DETAIL OF PROPOSED WORK

Removal second story for a restaurant and build section on the rear to be carried one story in the rear.

Bay windows on the front.

IF EXTENDED ON ANY SIDE

Size of Extension, No. of feet long? 26 ; No. of feet wide? 14'1" No. of feet high above sidewalk?

No. of Stories high? one ; Style of Roof? flat ; Material of Roofing? T & G

Of what material will the Extension be built? brick Foundation?

" of Brick, what will be the thickness of External Walls? 8 in inches; and Party Walls inches.

How will the Extension be occupied? restaurant How connected with Main Building? stairway

WHEN MOVED, RAISED OR BUILT UPON

No. of Stories in height when Moved, Raised or Built upon? 2 Proposed Foundations?

No. of feet high from level of ground to highest part of Roof to be? 36 ft.

How many feet will the External Walls be increased in height? 12 ft. Party Walls

IF ANY PORTION OF THE EXTERNAL OR PARTY WALLS ARE REMOVED

Will an opening be made in the Party or External Walls? in Story.

Size of the opening? How protected?

How will the remaining portion of the wall be supported?

Signature of Owner or
Authorized Representative

Brown & Berry

Address

Press Bldg 503 Room



Location, Ownership and detail must be correct, complete and legible.
Separate application required for every building.
Plans must be filed with this application.

Application for Permit for Alterations, etc.

Portland, 4-29-13. 191

To the

INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following-described building:—

Location, Rear Of 1-5 Forest Ave (See 523-575 (Compass St)) Wd. Forest St
Name of owner is? Simons and Hammond Address, Do. Forest St
Name of mechanic is? Cobb & Wheeler " Forest St
Name of architect is? " " Forest St
Material of building is? _____ Style of roof? _____ Material of roofing? _____
Size of building, feet front? _____ ; feet rear? _____ ; feet deep? _____ ; No. of stories? _____
Size of L, feet long? _____ ; feet wide? _____ ; feet high? _____ ; No. of storeis? _____ ; roof? _____
No. of feet in height from sidewalk to highest point of roof? _____ Material of foundation? _____
Thickness of external walls? _____ Party walls? _____ Distance from line of street? _____ Width of street? _____
What was the building last used for? _____ How many families? _____ Number of stores? _____
Nature of egress? _____ Size of lot front? _____ ; rear? _____ ; deep? _____
Building to be occupied for _____ after alteration. Estimated cost? _____

DETAIL OF PROPOSED WORK.

To build on addition. _____

IF EXTENDED ON ANY SIDE.

Size of extension, No. of feet long? 12 ; No. of feet wide? 11 ; No. of feet high above sidewalk? _____
No. of stories high? One ; style of roof? Metal ; material of roofing? _____
Of what material will the extension be built? Galv. Iron Foundation? Concrete
If of brick, what will be the thickness of external walls? _____ inches; and party walls _____ inches.
How will the extension be occupied? Storage How connected with main building? _____
Distance from lot lines:— Front? _____ ; side? _____ ; side? _____ ; rear? _____

WHEN MOVED, RAISED OR BUILT UPON.

Number of stories in height when moved, raised or built upon? _____ Proposed foundations? _____
Number of feet high from level of ground to highest part of building to be? _____
Distance back from line of street? _____ Distances from lot lines when moved? _____
Distance from next buildings when moved? _____ front? _____ side? _____ ; side? _____ ; rear? _____
How many feet will the external walls be increased in height? _____ Party walls? _____

IF ANY PORTION OF THE EXTERNAL OR PARTY WALLS ARE REMOVED.

Will an opening be made in the party or external walls? _____ in. _____ story.
Size of the opening? _____ How protected? _____
How will the remaining portion of the wall be supported? _____

Signature of owner or
authorized representative,

Address, _____

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK.

9285



City of Portland.

Apr. 20

1911.

To the Inspector of Buildings of the City of Portland:

The undersigned respectfully makes application for a permit to erect enlarge
a building on *673-675 Congress Street* *Cor. Congr. & Fourth* street, at number

to be stories high feet long,

feet wide; also an addition to be stories

high, feet long, feet wide, and to

be used as a

The material to be used in the erection enlargement of said building is to be as follows:

Exterior walls to be made of

Roof to be made of

Gutters to be made of

Cornices to be made of

Bay windows to be made of

Dormer windows to be made of

The builder is *Robert Wilson* Address *105 Park St.*

The architect is Address

The owner is *Samuel & Hannah* Address *575 Congress St.*

(Applicant to sign here)

OFFICE OF
INSPECTOR OF BUILDINGS,
FOR THE
CITY OF PORTLAND.

OFFICE HOURS:
10-11 A. M. 4-6 P. M.

The above petition was granted the

day of

1911.

912398

Permit # _____ City of Portland BUILDING PERMIT APPLICATION Fee \$25. Zone _____ Map # _____ Lot# _____
Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Greenleaf Garden Salad Phone # 879-0592
Address: 575 Congress St. Ptld, ME 04101
LOCATION OF CONSTRUCTION 575 Congress St.
Contractor: _____ Sub: _____
Address: _____ Phone # _____
Est. Construction Cost: _____ Proposed Use: take-out food bar
Past Use: bank office
of Existing Res. Units _____ # of New Res. Units _____
Building Dimensions L _____ W _____ Total Sq. Ft. _____
Stories: _____ # Bedrooms _____ Lot Size: _____
Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
Explain Conversion CHANGE OF USE - from bank office to
take-out food bar

Foundation:

1. Type of Soil: _____
2. Set Backs - Front _____ Rear _____ Side(s) _____
3. Footings Size: _____
4. Foundation Size: _____
5. Other _____

Floor:

1. Sills Size: _____ Sills must be anchored.
2. Girder Size: _____
3. Lally Column Spacing _____ Size: _____
4. Joists Size: _____ Spacing 16" O.C.
5. Bridging Type: _____ Size: _____
6. Floor Sheathing Type: _____ Size: _____
7. Other Material: _____

Exterior Walls:

1. Studding Size _____ Spacing _____
2. No. windows _____
3. No. Doors _____
4. Header Sizes _____ Span(s) _____
5. Bracing: Yes _____ No _____
6. Corner Posts Size _____
7. Insulation Type _____ Size _____
8. Sheathing Type _____ Size _____
9. Siding Type _____ Weather Exposure _____
10. Masonry Materials _____
11. Metal Materials _____

Interior Walls:

1. Studding Size _____ Spacing _____
2. Header Sizes _____ Span(s) _____
3. Wall Covering Type _____
4. Fire Wall if required _____
5. Other Materials _____

White-Tax Assesor

Yellow-GPCOG

White Tag -CEO

110 11/11/1998

For Official Use Only PERMIT ISSUED

Date 3/11/91 Subdivision: _____
Inside Fire Limits _____ Name MAR 18 1991
Bldg Code _____ Lot _____
Time Limit _____ Ownership: Public
Estimated Cost _____ City of Portland

Zoning: Street Frontage Provided: _____ Back _____ Side _____
Provided Setbacks: Front _____

Review Required: _____
Zoning Board Approval: Yes _____ No _____ Date: _____
Planning Board Approval: Yes _____ No _____ Date: _____
Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____
Special Exception _____
Other (Explain) OK WDA 23-12-91

Ceiling:

1. Ceiling Joists Size: _____ Spacing _____
2. Ceiling Strapping Size _____
3. Type Ceilings: _____
4. Insulation Type: _____ Size _____
5. Ceiling Height: _____

Roof:

1. Truss or Rafter Size _____ Span _____ Action: Approved
2. Sheathing Type _____ Size _____
3. Roof Covering Type _____

Chimneys:

Type: _____ Number of Fire Places _____ Date: 3/11/91
Signature: Larry Greene

Heating:

Type of Heat: _____

Electrical:

Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:

1. Approval of soil test if required Yes _____ No _____
2. No. of Tubs or Showers _____
3. No. of Flushes _____
4. No. of Lavatories _____
5. No. of Other Fixtures _____

Swimming Pools:

1. Type: _____ Square Footage _____
2. Pool Size: _____ x _____
3. Must conform to National Electrical Code and State Law.

Permit Received By Louise E. Chase

Signature of Applicant Larry Greene Date 3/11/91

Signature of CEO Larry Greene Date 3/11/91

Inspection Dates _____

AP 5 Forest Avenue

May 27, 1952

Portland Gas Light Co.
Att: Mr. Gehrs
5 Temple Street
Portland, Maine

Mr. Norman Hodson
5 Forest Avenue
Portland, Maine

Gentlemen:-

Building permit for installation of a gas-fired bake oven in the kitchen of the restaurant at 5 Forest Avenue, is issued, herewith, to the installer, subject to the following. If these conditions are not understood, or if you find yourselves unable to comply with them, it is important that you do not start the installation, but that you contact Inspector Thurlow of this office for adjustment.

We have the impression that the oven is to be located a considerable distance from the range hood under which the vent pipe of the oven is to discharge. Presumably care will be taken to see that the venting in this manner is entirely practicable. The application says that the top of the vent pipe will be over 4 feet from any burnable material above the pipe. This information taken together seems to say that the kitchen must have an unusually high ceiling. Presumably the vent pipe from the oven will not pass through any partitions to reach the hood.

While the application says that the existing hood is vented through the side wall of the building, our last record of installation of the restaurant range by the Gas Company, in 1941, indicates that the range or the hood is connected to a chimney flue 8" x 12", and connected to the same flue at that time was a water heater, presumably gas-fired.

It seems necessary to combine all of these facts and work out the arrangement both for efficiency and for safety according to Building Code standards, including automatic shut-off on the water heater to shut off the gas in case the pilot flame should be extinguished.

The application says that the oven sets on 17" legs with baffle. This is 1" less than the requirement of 18" if there is to be no protection on the floor. If this figure is correct, then no burnable material on the floor requires a protection of not less than 3/8 inch asbestos mill board covered with not less than 24 gauge sheet metal - this protection to project at least 6" beyond the edges of the appliance all around. Even so, there must be a height of at least 8" above the floor protection clear and open to the room between the legs of the appliance on all sides.

Very truly yours,

Inspector of Buildings

WMCD/G



GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT TO ERECT
SIGN OVER PUBLIC SIDEWALK OR STREET

PERMIT ISSUED

00344
MAR 23 1952

CITY of PORTLAND

Portland, Maine, March 22, 1952 19

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 573 1/2 Congress Street Within Fire Limits? yes Dist. No. _____
Owner of building to which sign is to be attached John F. Proctor ~~PROP~~ PROPERTIES
Name and address of owner of sign Asia House, 573 1/2 Congress Street
Contractor's name and address United Neon Display, 74 Elm Street Telephone 2-0695
When does contractor's bond expire? Dec 31, 1952

Information Concerning Building

No. stories 2 1/2 Material of wall to which sign is to be attached brick CERTIFICATE OF OCCUPANCY _____

Details of Sign and Connections

Building owner's consent and agreement filed with application yes
Electric? yes Vertical dimension after erection 3' Horizontal 6' 6"
Weight 225 lbs. Will there be any hollow spaces? yes Any rigid frame? yes
Material of frame angle iron No. advertising faces 2, material sheet metal
No. rigid connections 2 Are they fastened directly to frame of sign? yes
No. through bolts 1, Size 3/4" Location, top or bottom top
No. guys 1, material angle iron, Size 2x2x1
Minimum clear height above sidewalk or street 10' 6"
Maximum projection into street 7' 6" United Neon Display Fee \$ 1.00

3-25-52. O.K. 26

Signature of contractor by: Thomas J. K...

INSPECTION COPY

79

Permit No. 52/314
Location 573 1/2 Congress St.
Owner Asia House
Date of permit 3/25/52
Sign Contractor United Neon Display
Final Inspn. 3-9-52, C.E.

NOTES

3-27-52. Shop insp. O.K.
3-28-52. Through bolt checked.

IED

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED TO
BE ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES
AT 573½ Congress St. IN PORTLAND, MAINE

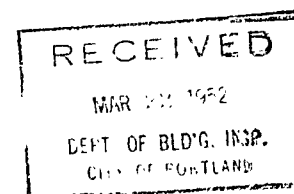
John F. Proctor Properties, being the owner of the
premises at 573½ Congress St. in Portland, Maine hereby gives
consent to the erection of a certain sign owned by Empire Restaurant
projecting over the public sidewalk from said premises as described in
application to the Inspector of Buildings of Portland, Maine for a permit
to cover erection of said sign;

And in consideration of the issuance of said permit _____
John F. Proctor, Prper, owner of said premises, in event said sign
shall cease to serve the purpose for which it was erected or shall become
dangerous and in event the owner of said sign shall fail to remove said
sign or make it permanently safe in case the sign still serves the purpose
for which it was erected, hereby agrees for himself or itself, for his
heirs, its successors, and his or its assigns, to completely remove said
sign within ten days of notice from said Inspector of Buildings that said
sign is in such condition and of order from him to remove it.

In Witness whereof the owner of said premises has signed this
consent and agreement this 21st day of March 1952

Joseph L. Coyne
Witness

John F. Proctor Properties
Frank J. Lushington mgr.
Owner





APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class
Portland, Maine, March 10, 1952

PERMIT ISSUED
002 54
MAR 10 1952
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~repair~~ ~~rebuild~~ the following building ~~structure~~ ~~work~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 573 1/2 Congress Street Within Fire Limits? yes Dist. No. 1
Owner's name and address Empire Restaurant, 573 1/2 Congress Street Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address J. H. Kennedy, 105 Freble Street Telephone _____
Architect _____ Specifications _____ Plans no No. of sheets _____
Proposed use of building restaurant, bank and stores No. families _____
Last use _____ " " " No. families _____
Material brick No. stories 2 1/2 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ 50 Fee \$ 50

General Description of New Work

To remove marquee over entrance to Empire Restaurant.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO J. H. Kennedy**

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work: a person competent to see that the State and City requirements pertaining thereto are observed? yes

Empire Restaurant

Signature of owner by: J. H. Kennedy

INSPECTION COPY

APPROVED:

Permit No. 52/254
Location 573 1/2 Congress St.
Owner Emilie Restaurant
Date of permit 3/10/52
Notif closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Insptr. _____
Cert. of Occupancy issued _____

NOTES

Large ruled area for notes, divided into two columns by a diagonal line.

OFFICE TEL. 3-5639

HOUSE TEL. 2-2751

*me
comp
of not
of not
not -
not -*

J. H. Kennedy
Contractor and Builder
Jobbing of All Kinds
105 Preble Street, Portland 3, Maine
Estimates Furnished

March 4, 1952

Mr. John P. Nickerson
Annie E. Proctor, Hrs.,
37 Kenwood St.
Portland, Me.

573-575 Congress St.
Empire Restaurant

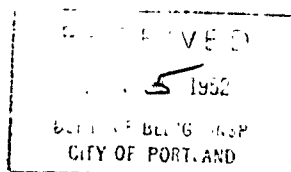
Dear Sir:

I have examined this marquee in question and I would consider it very unsafe. What little iron there is, is all rusted out and the wood frame is all rotten. There is no drain in it and to repair this would be almost prohibitive at the present time. I can only recommend that it be taken down.

Very truly yours,

J. H. Kennedy
J. H. KENNEDY

JHK:L
cc: Building Inspector



573-575 Congress St.
C-52/2
3/5/52 WMCB

February 27, 1952

Mr. Edward W. Park
Proprietor of Empire Restaurant
573 1/2 Congress Street
Mr. John P. Hickerson
Annie E. Proctor, Mrs.,
37 Kenwood Street

Gentlemen:

Upon complaint from more than one source, an inspector from this office examined the marquee over the public sidewalk at the entrance to Empire Restaurant, 573-575 Congress Street, and finds that water from rain or from melting snow runs or drips upon the public sidewalk to the discomfort of pedestrians and contrary to Section 314-c of the Building Code.

Even more important, he found that the marquee apparently has no roof drainage facilities, has walls on all four sides projecting upwards two or three feet from the surface of the roof, that snow accumulates in this pocket, and that the water which gets down upon the public sidewalk must be running through the framing of the marquee proper, down through the ceiling of the marquee.

Mr. Park thinks that he owns the marquee, but that may be in question since it is firmly attached to and a part of the building. He thinks the marquee has been in position at least thirty years, and we have no record of a permit for erection of it. It is not known how the marquee is framed, but it is hardly conceivable that the structure has been up that long for a portion of which time water has been running down through the framing of the marquee, without doing substantial damage to the frame, perhaps even to making the structure unsafe.

You are therefore directed under Section 109 of the Building Code to have the framework of the marquee sufficiently exposed, an examination made by some party thoroughly competent to pass upon the safety of structures, a written report made to this office, and the marquee left exposed for our examination also--before March 5, 1952.

If this report indicates substantial deterioration of the frame or supports, the defects will either have to be corrected so as to be permanently safe under a building permit issued from this department and according to information filed with the application for the permit; or the marquee entirely removed without delay. If it is decided to continue the marquee, it will then be necessary to provide some means so that rain water or melting snow on the roof of the marquee will not run or drip upon the public sidewalk.

Very truly yours,

Warren McDonald, Inspector of Buildings

WMCB/2



CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

Complaint No. C-52-9

INSPECTION COPY

COMPLAINT

Location 573-575 Congress Street Date Received 1/23/52

Owner's name and address Annie E. Proctor, Hrs, c/o John P. Nickerson Use of Building _____ Telephone _____

Tenant's name and address 37 Lenwood Street Telephone _____

Complainant's name and address Police Dept. & PH Telephone _____

Description: Water from marquee over sidewalk of Empire Restaurant runs and drips on sidewalk forming ice. Drips on people walking by. It does this for several days after a storm.

2/17/52 -
90-575 - unit
3-12-52. Marquee running

Complaint No. C-52-9
Location 573-575 Congress St.,
Date Received 1/23/52
Date Disposed of 3-12-52, etc.

NOTES

1-24-52. Nothing can be
seen today. Check

Center on roof or rain
drainage

24-52. Friday. Some
drifting rain around in
ceiling of hallway.

Considerable drifting
around outside edges

of windows due to
oriented construction.

Face of building
oriented - 150°
East effect of
ELEV.

7-15-52. Owners are
to employ someone

to take steps to
have them condition

fixed. W. M. D.

3/4/52 M. J. H. Kennedy

reported on the
ground that the frame

of the structure
was in a regular

the present condition
in a condition

that was a
dangerous. He is

to make a written
report to Mr. Nichols

of the Boston News
and record and

that the structure
was in a regular

condition. I
examined the structure

while it was in place
and I agree that

there is no reason
but I am not sure.

Kennedy has told that
a general view

required for removal
of the structure

and that I permit
for use of the public

ordinance would be
more than sufficient.

over

W. M. D.



APPLICATION FOR PERMIT

Class of Building or Type of Structure Masonry

Portland, Maine, November 26, 1951

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~repair~~ ~~rebuild~~ ~~construct~~ the following building ~~structure~~ ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 573 1/2 Congress Street Within Fire Limits? yes Dist. No. 1
Owner's name and address Annie C. Nichols, 37 Raymond Street Telephone 4-1234
Lessee's name and address Edward Park, Empire Restaurant, 573 1/2 Congress Street Telephone 4-1234
Contractor's name and address G. L. Nichols, Scarborough Telephone 4-1234
Architect _____ Specifications _____ Plans yes No. of sheets 1
Proposed use of building Restaurant No. families _____
Last use _____ No. families _____
Material masonry No. stories 2 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ 1,000 Fee \$ 4.00

General Description of New Work

To make alterations to restaurant on second floor as per plan.

Health Notices to
Health Officer and those

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS LAFED

It is understood that this permit doc. not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO G. L. Nichols**

Details of New Work

Permit Issued with Letter

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in eve y floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Edwin J. Nichols
with letter

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Edward Park

Signature of owner by: G. L. Nichols

INSPECTION COPY

NOTES

3-3-52. Mr. Park said this work will not be done until he has a tenant for the east side which is to be partitioned off. The amount in the sitting in the front side is increased to about 110 not counting employees. etc.
4-29-52. Not to be done etc.

Permit No. 24143
Location 573 1/2 Congress St.
Owner Edward (Parker)
Date of permit 1/31/52
Notif. closing-in
Inspn. closing-in
Final Notif.
Final Inspn. 29-52 (CP)
Cert. of Occupancy issued

AP 5731 Congress Street-I

January 30, 1952

Mr. G. L. Nichols
West Scarborough, Maine
Mr. Edward Park
c/o Empire Restaurant
5731 Congress Street

Copy to: Annie C. Proctor Heirs
c/o Mr. J. C. Nickerson
37 Kenwood Street

Gentlemen:

Building permit for alterations in the second story of the building at 5731 Congress Street to be made in the manner shown on the revised plan filed January 29, 1952 is issued herewith to Mr. Nichols subject to compliance with the conditions listed below. If for any reason you are unable or unwilling to provide the construction indicated, no work is to be started and the permit is to be returned to this office for adjustment. Conditions under which the permit is issued are as follows:

1. Wherever fire doors are indicated on the plan, they are to bear the Class "C" label or better of the Underwriters Laboratories, Inc. or of Factory Mutuals Laboratories. Use of other than labelled doors is not acceptable. All such doors are to be provided with liquid door closers. Unless they are to be located in masonry construction, frames for fire doors may be of wood, but must be covered completely with sheet metal.
2. Any partition in which fire doors are to be hung is to be of one-hour fire resistance or better. If fire doors are to be located in any existing partitions which are not of such construction, these partitions are to be made to comply with this requirement.
3. The permit is issued on the basis that there is to be no change in the location or arrangements of the existing second means of egress from the restaurant, and that aisles at least three feet wide and free and clear of any obstructions will be maintained to both means of egress at all times.
4. Notification is to be given for inspection by this department before any or new partition work is closed from view.
5. If the seating capacity of the restaurant after alterations are completed plus the number of employees on duty at any one time will amount to more than one hundred persons, the restaurant will still come within requirements of the Public Assembly Ordinance. In such a case it will be necessary to file duplicate plans showing the entire arrangement of booths, tables, chairs, aisles, exit lights, etc. to replace the plans now on file at this office and at Fire Department Headquarters.

Very truly yours,

Warren McDonald
Inspector of Buildings

AJS/G

AD 5731 Congress Street-1

December 1, 1951

Mr. Edward W. Park
5731 Congress Street
Mr. G. L. Nichols
West Scarborough, Maine

Copy to: Annie C. Practor, Mrs.
c/o Mr. John F. Richardson
37 Kenwood Street

Dear Sirs:

A check of the application for a permit to make certain alterations in the second story of the building at 5731 Congress Street where the Empire restaurant is located raises a number of questions about which more information is needed before we can determine definitely the application of requirements of the building code and possibly the Public Assembly Ordinance to the proposition. These questions are as follows:

1. It is our understanding that the restaurant use in the easterly half of the second story is to be abandoned and this area given over to some other mercantile use. What is the new use of this area to be? ^{mercantile} Are the existing booths shown in this area on the plan filed with the application for permit to remain? ^{No}
2. Are facilities for dancing ^{wood dancing} to be provided in that portion of the second story where the restaurant use is still to be continued? What is the capacity of the smaller restaurant to be? A plan showing the proposed booth and table arrangement is needed. ^{woodwork - plaster}
3. With what material are the new partitions to be covered? What construction is to be provided where the existing openings in the masonry walls are to be closed? ^{Is the existing glass block panel in the brick wall at the side of the front stairway to remain? - To be removed and 1-hr. separation provided}
4. The new doors to be installed in the partitions forming the small hall at the head of the front stairs are required to be at least three feet instead of two feet six inches ^{1/2 in. - will do}
5. Of what material are the partitions at each side of the toilet room area constructed, as well as that separating the area at the easterly half of the building from the passageway leading from the restaurant to the rear stairway? This information is needed to determine if the existing construction is such as will provide the required fire separation between the restaurant use and the new mercantile use to be established in the easterly half of the second story.

Very truly yours,

Warren McDonald
Inspector of Buildings

AJS/G



(G) GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class
Portland, Maine, February 2, 1948

PERMIT ISSUED
00120
FEB 4 1948
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect ~~new~~ repair ~~demolition~~ ~~work~~ all the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 5 Forest Avenue Within Fire Limits? ☒ yes Dist. No. 1
Owner's name and address The Proctor Estate, 465 Congress St. Telephone
Lessee's name and address E. G. Telephone
Contractor's name and address E. G. Johnson Co., 3 Cliff St. Telephone
Architect Specifications Plans no. No. of sheets
Proposed use of building Restaurant and bank No. families
Last use " " No. families
Material brick No. stories 3 Heat Style of roof Roofing
Other buildings on same lot Fee \$.50
Estimated cost \$ 75.

General Description of New Work

To Repair after Fire to former condition. No alterations
(Cause - wiring)

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. REFERRED TO E. G. Johnson Co.

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing lumber—Kind Dressed or full size? Size
Corner posts Sills Girt or ledger board? Size Max. on centers
Girders Size Columns under girders Size
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street? no.
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

The Proctor Co.

MR Johnson

Signature of owner By:

INSPECTION COPY

APPROVED:

2/3/48 *adl*

Permit No. 118/120
Location 5 Forest Ave
Owner The Proctor Estate
Date of permit 2/4/48
Notif. closing-in
Inspn. closing-in
Final Notif. 2/5/48
Final Inspn. 2/5/48
Cert. of Occupancy issued March

NOTES

2/5/48. New structure
inside burned area
and new flooring.
New 4x6 under
center of floor to be
put in for strengthening,
suggested this be
added to new wall.

C. H. P.

912398

Permit # 912398 City of Portland BUILDING PERMIT APPLICATION Fee \$25. Zone Map # Lot#
Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Greenleaf Garden Salad Bar Phone # 879-0592
Address: 575 Congress St; Ptld, ME 04101
LOCATION OF CONSTRUCTION 575 Congress St.
Contractor: Sub:
Address: Phone #
Est. Construction Cost: Proposed Use: take-out food bar
 Past Use: bank office
of Existing Res. Units # of New Res. Units
Building Dimensions L W Total Sq. Ft.
Stories: # Bedrooms Lot Size:
Is Proposed Use: Seasonal Condominium Conversion
Explain Conversion CHANGE OF USE - from bank office to

For Official Use Only PERMIT ISSUED
Date 3/11/91 Subdivision Name
Inside Fire Limits Lot MAY 18 1991
Bldg Code Ownership: Public
Time Limit City of Portland
Estimated Cost

Zoning: Street Frontage Provided
Provided Setbacks: Front Back Side Side
Review Required:
Zoning Board Approval: Yes No Date:
Planning Board Approval: Yes No Date:
Conditional Use: Variance Site Plan Subdivision
Shoreland Zoning Yes No Floodplain Yes No
Special Exception
Other (Explain)

Foundation: take-out food bar
1. Type of Soil:
2. Set Backs - Front Rear Side(s)
3. Footings Size:
4. Foundation Size:
5. Other

Floor:
1. Sills Size: Sills must be anchored.
2. Girder Size:
3. Lally Column Spacing: Size:
4. Joists Size: Spacing 16" O.C.
5. Bridging Type: Size:
6. Floor Sheathing Type: Size:
7. Other Material:

Exterior Walls:
1. Studding Size Spacing
2. No. windows
3. No. Doors
4. Header Sizes Span(s)
5. Bracing: Yes No
6. Corner Posts Size
7. Insulation Type Size
8. Sheathing Type Size
9. Siding Type Weather Exposure
10. Masonry Materials
11. Metal Materials

Interior Walls:
1. Studding Size Spacing
2. Header Sizes Span(s)
3. Wall Covering Type
4. Fire Wall if required
5. Other Materials

Ceiling: HISTORIC PRESERVATION
1. Ceiling Joists Size: Spacing Form in Use or Not Landmark
2. Ceiling Strapping Size Spacing Not to require review
3. Type Ceilings: Size Signature Review
4. Insulation Type Size
5. Ceiling Height:

Roof:
1. Truss or Rafter Size Span Action: Approved
2. Sheathing Type Size Approved with Conditions
3. Roof Covering Type Denied

Chimneys: Type: Number of Fire Places Date: 3/11/91
Signature:

Heating: Type of Heat:

Electrical: Service Entrance Size: Smoke Detector Required Yes No

Plumbing: 1. Approval of soil test if required Yes No
2. No. of Tubs or Showers
3. No. of Flushes
4. No. of Lavatories
5. No. of Other Fixtures

Swimming Pools:
1. Type:
2. Pool Size: x Square Footage
3. Must conform to National Electrical Code and State Law.

Permit Received By Louise E. Chase

Signature of Applicant Larry Greene Date 3/11/91

Signature of CEO Larry Greene Date 3/11/91

Inspection Dates

White-Tax Assesor Yellow-GPCOG

White Tag-CEO 110 1111 1111 1111