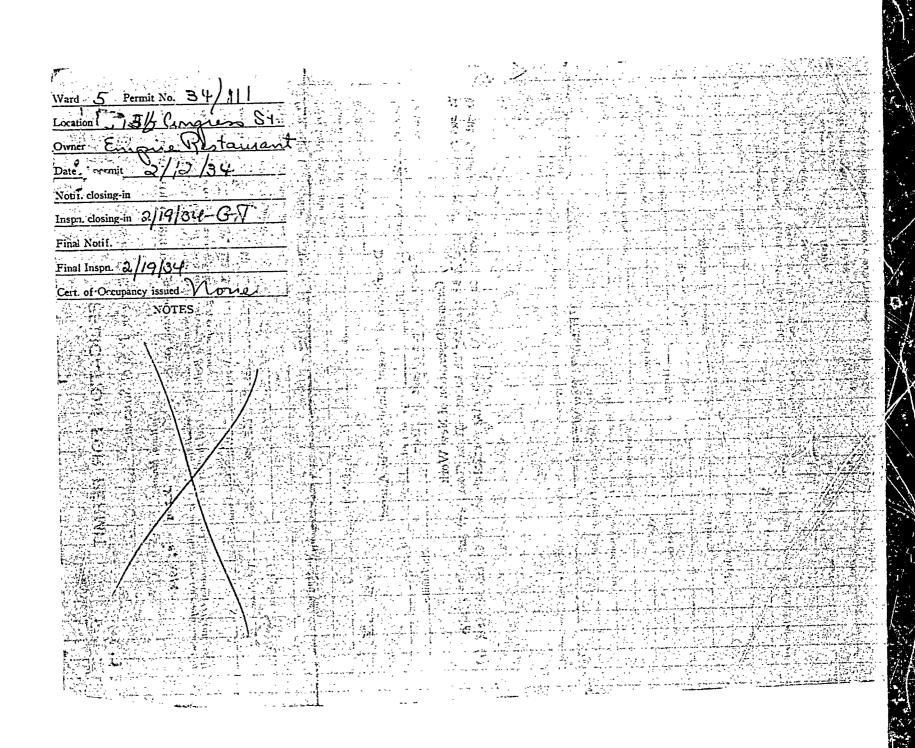


APPLICATION FOR PERMIT ISSUEIN

Class of Building or Type of Structure

FEB 12 18341

			DESCRIPTION OF THE PROPERTY OF		
To the INSPECTOR OF	F BUILDINGS, PORTLAND, ME.	Vr. a.	ine Pebruary	1. 1.1	
	h reby applies for a permit to a us of the State of Maine, the Bi and the following specific ions	reel after install the fo uilding Code of the Cit	ollowing buildings of Portland in	g structure equipm	
Location 5732 Corp	2018 Street	/• /==1	_	. ,	,
Owner's or Leasee's name	2013 Percet W	ardgWithin]	Fire Limits? Y	Dist. No. 1	
Architect's name and add	idress Corrie Louis, 26	F Walthey St.		Telephone 3-347	7
The state and and	4 L33				
Oti ce building on some 1	Vecant, restaurent 2d	Ticor		No. families	
the off service	VL				
Estimated cost \$ 200	application?	No. of	sheets	1	
Committee Cost & ECAZE				Fec \$.75	
Motorial boolek sa	Description of Preser	nt Building to be	Altered		
Material Drivi No.	stories Z Llone			ofing	
Last use	Vecent lat, restau	rent 2d floor		No. families	
To cut in one car 7	Ouching in exteting as	had also madd as as		in S# 1 hama	
					?4 ~1
m. Dan	is does not include installation of heating	the hart	1		
mon - l.	caring si	- 1	- m	PATECATE OF OCCUPANT	ing r The s
neclass	it does not include installation of heating	2 37	, which is	TEICATE OF US HAS	į Lau
It is understood that this permithe basing contractor.	does not include installation of besti	114/3	4	R. W. JK. LALLY	
the materia contractor.		e abburgerra mutch 12,60 ft	e taken out separa	lely by and in the nam	e of
		New Work			
Size, frontde	ptlı	I fairtht arram			
	THE MAN AND THE PARTY OF THE PA	mantle	1.5	ì	
of tottidation.	Thickness	s. ton	• •		
Material of underpinning_	P:	-Leight	bottom		
Kind of Roof	Rise per foot.	P	Thicknes	SS	
No. of chimneys	Material of chimneys	_1001 covering			
Kind of heat	The state of the s		of lining.		
Corner posts	Type of fe	10	Is gas fitting inv	olved?	
Alaterial columns under gire	illsGirt or ledger bo	oard?	Size	· · · · · · · · · · · · · · · · · · ·	
Stris (outside walls and on	straing position 2 of the S	ize	_Max. on center	rs	
span over 8 feet. Sills and	corner posts all one piece in cros	Girders 6x8 or 'arger	. Bridging in ev	very floor and flat ro	oof
Joists and rafters:	1st floor, 2nd	3-1			
On centers:	1st floor2nd	7-1		, roof	
Maximum span:	ist floor2nd	, ord_		, roof	
If one story building with m	asonry walls, thickness of well-2	, 3rd_		roof	
	Tf a C		heig	ht?	
No. cars now accommodated	On same lot	arage			
Total number commercial car	s to be consented to	, to be accomm	odated		_ /
Will automobile receiving to	s to be accommodated				_ (
- amount telrating be	ills Girt or ledger be lets Sirrying partitions) 3x4-16" O.C. corner posts all one piece in cross 1st floor , 2nd 1st floor ,	o cars habitually stored	in the proposed i	uilding?	_/
A/:11 - 1	Miscell	aneous			
win above work require reme	oval or disturbing of any shade tr	ree on a public street?_	no		ź
Will there be in charge of the are observed? YES	e above work a person competent	to see that the State an	a City requireme	ents pertaining there	- او
•	Signature of Lesgoe	egpire no	staurent .		1 .
NSPECTION COPY	Signature of distance By	- lo le fu	un/		``\ _`*



Warquee - En pre Restaurant - 5731/2 Grayum fil neon tukes Transformers total of 3). -Earling 20+1+. +10=41. 12: 1 11/4×1/4"×1/8" @ 1.01#---45" Boxes: 13-2.x[6+13]06+2×3×6.5]x6=100* A-(4.5+3)2×0.42+ =×4.5×21.0 = 34" 9 /3 /1/4 × 3/16 L @ 1.48 = 13# ANY 310# 347# 7x5x40= 1450# Total 1800 x W= 900 x 7.0 x 15 9410 9450 = 6,75 required soft mod. $\frac{3/4}{14^{4}} \frac{bh^{2}}{600} = \frac{3.25 \times 4.21}{6} = \frac{3.25 \times 18.06}{5} = 9.78$ 616. 41/4" 1.76 4.25 x 3.25 4, 2. ×10.00 = 7.48.

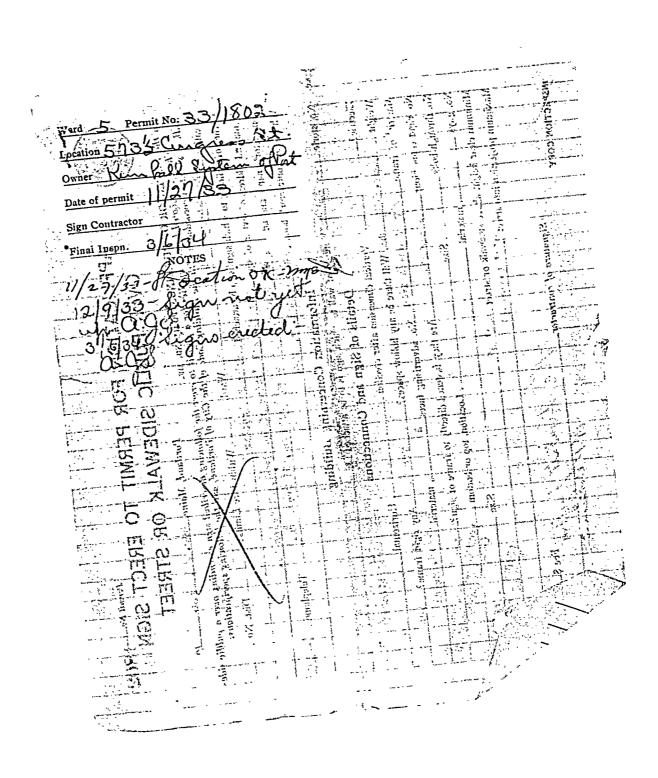
INSPECTION COPY

APPLICATION FOR PERMIT TO ERECT SIGN 1933 OVER PUBLIC SIDEWALK OR STREET

WORKERIAL DUSINESS POPTIT ISSUE)

Portland, Maine, Nov. 25, 1985. To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications: ____Ward_____Within Fire Limits?_____Dist. No.__ Loation 873 Congress St., Owner of building to which sign is to be attached __John P. Prootor Name and address of owner of sign _____ The **Inball System of Portland, 51 Cross ot. Contractor's name and address She Kimbrall System of Portland, 61 Cross to Telephone 2-5047 When does contractor's bord expire? 14n . 1. 1934 Manation Concerning Building Material of well to which sign is to be attached ... Signs at tached to warrage on Details of Sign and Connections as per plans attached No. stories. ___ Horizontal_ ___ Vertical dimension after erection _ Electric? Yes Weight approx. 300 lbs., Will there be any hollow spaces? yes Any rigid frame? yes Material of frame galv. & angle iron No. advertising faces 3 , material galv. metal No. guys ______, material ____ Minimum clear height above sidewalk or street 103108 Signature of contractor the Kunball Lyptem Oliver T. Sunborn Maximum projection into street 7 68 (marques)



(J) GENERAL BUSINESS ZONE

PERMIT ISSUEL

APPLICATION FOR PERMIT

MAY 26 1953 Class of Building or Type of Structure ___ Second Class Portland, Maine, Lay 28, 1983 To the INSPECTOR OF BUILDINGS, PORTLAND, ME. The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted here at and the following specifications:

Location 5 Forest Avenue (\$13.576 cm Ward 5 Within Fire Linute? Yes Dist No. 1 Contractor's name and address Horace Hewcomb, Peaks, _____Telephone____ Architect's name and address. Proposed use of building Rosteurant ___No. families__ Other buildings on same lot___ Plans filed as part of this application?__ _No. of sheets____ Es' mated cost \$ 50. Description of Present Building to be Altered Material brick No. stories 2 ____Style of roof_____Roofing_ _Heat_ Restaurant General Description of New Work To relocate ventilating fan in rear wall of building, moving it over app. 124, and putting in window in existing opening for fan NOTIFICATION REPORT LAIRNA CE CLICENCIN IS WATER. CERTIFICATE OF OCCUPANCY BECOME OF THE WATER It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of Details of New Work Height average grade to top of plate_ No. stories Height average grade to highest point of roof_____ __depth____ To be erected on solid or filled land? _____earth or rock?___ Material of foundation________bottom______bottom_____ Material of underpinning______Height_____Thickness_____ Rise per foot_____Roof covering_____ Kind of Roof____ No. of chimneys Material of chimneys ____of lining____ Type of fuel______Is gas fitting involved?_____ Kind of heat_ Corner posts_____Sills____Girt or ledger board?____ ___Size_ Material columns under girders___ _Size_ _____Max. on centers_ Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section. Joists and rafters: 1st floor____ On centers: _____, 2nd. _______, 3rd_______, roof______ ______, 2nd_______, 3rd_______, roof_____ Maximum span: 1st floor____ If one story building with masonry walls, thickness of walls?_____height?_____ If a Garage No. cars now accommodated on same lot_ ____, to be accommodated______ l'otal number commercial cars to be accommodated_____ Vill automobile repairing be done other than ...inor repairs to cars habitually stored in the proposed building?_____ Miscellaneous (ill above work require removal or disturbing of any shade tree on a public street? no ill there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto Cordos Cafa

Signature of owner_

IPECTION COPY

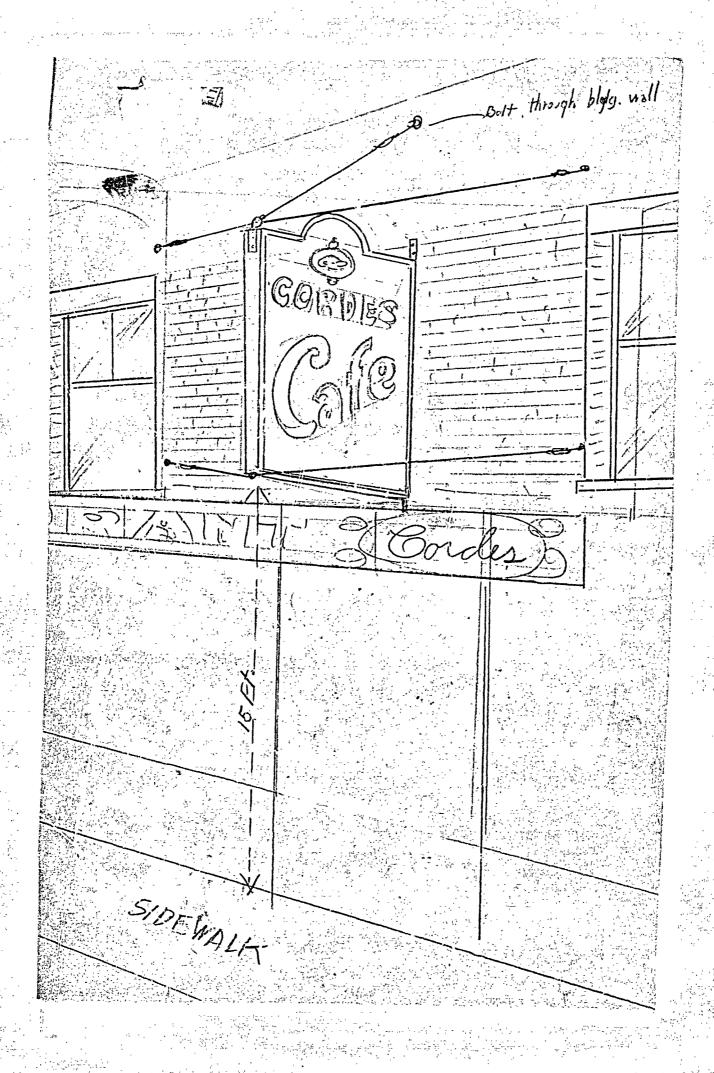
Ward of Permit No 33/Lale
Location of Grades Cafe
Date of points of Marie Control
That John St.

Final North
Final Instan. 6/2/53
Cert. of Occupancy issues Arrae

John World Clause Africans

South St.

South S





OVER PUBLIC SIDEWALK OR STREET 1931

,				` ————————————————————————————————————	-
	To the INSPECTOR OF BUILDING The undersigned hereby applicable or street in accordance wanth	les for a permit to erect the following	d, Maine, Jenuary	**	,
	Location 5-7 Formet Avenue	Dunding Code of the City of Portla	nd, and the following	ing over a public specifications:	side- j
,	Owner of building to which sign is to	be attached	in Fire Limits?	Dist. No.	<u></u>
	Name and address of owner of sign _	Carlon C ascarding 1	rubt Co.		
	Contractor's name and address -	4,			
į.	When does contractor's bond expire?	m, The Position 245 Middle D		Telephone Sons	
		miormation Concerning Built wall to which sign is to be attached	RLQUIR	ATE OF OCCUPY.	
	Electric?Vertical	Details of Sign and Connecti	ons NOTHCAT	ON BEFORE LATHIN	
	Weight 150 lbs., Will	there be any hollow spaces?	Ficrizontal		
	Weight 150 lbs., Will Material of frame engle from No. rigid connections 2	No. advertising faces	Any rigid f	rame? yes	· `.
	No. rigid connections 2 No. through bolts 1 Size	Are they fastened disaster	, materialga	iv. izon	
	No. through bolts Size	- Ann	trame of sign?		`
\$14	No. guys, material	- Death, top	or bottom —— top		
ترین	No. guys, material Minimum clear height above sidewalk o	Equips cable		а	-
APP	Maximum projection into street	s more			
Oli	iver T. Sanbor	Flynn The Printer		Fee \$_1,00	
i	NSPECTION COPY	of contractor bed	teenous	4 '	399
VP-	-		·		4.1

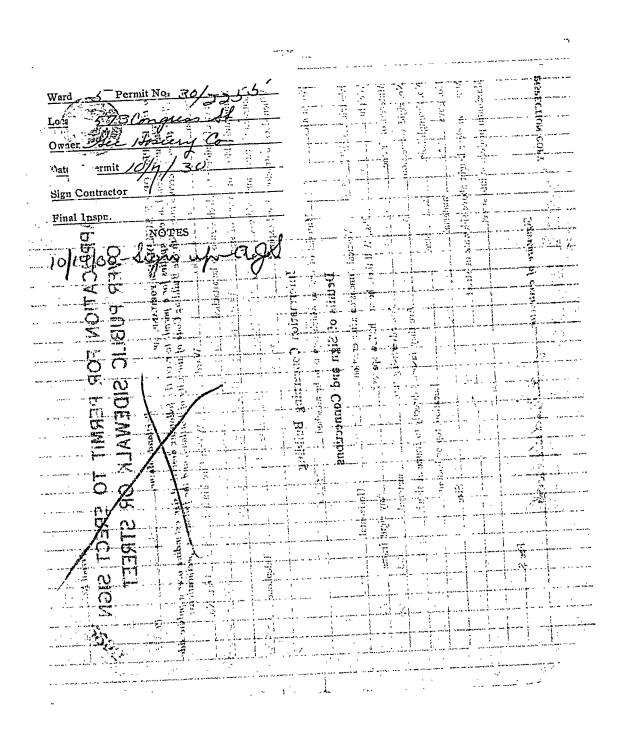
		yve		
Ward 5 Permit No. 5 Location 6 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7	2/52 Constitute Handler Constitute Handler	Recofficient of the regist death of the regist death of the regist of th		Marketion Company of C
		and the second s		The second secon

Stap one State of Sta

E I	- :
	,

APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

	Portland, Maine, Oct. 6, 19 80
	To the INSPECTOR GF BUILDINGS, PORTLAND, ME. The undersigned hereby applies for a permit to erect the following described some itending over a public side- walk or street in accordance with the Building Code of the City of Portland, and the following specifications:
	Ward 5 Within Fire Limits? 168 Dist. No.
-	Charlet a which sign is to be attached cohn P. Proctor Estato. A. 20008140, Labora
	Cles Rosiery Co. 573 Courres of sign Gles Rosiery Co. 573 Courres St.
	Contractor's name and address J. H. Middlebrook, 12 Elm Dt. Telephone F-000
	When does contractor's bond expire? 123y. 4, 1931
	Information Concerning Building
_	No. stories Thros Material of wall tohich sign is to be attached Brick
	Details of Sign and Connections
	Electric? Hean Tube Vertical dimension after erection 2-0 Horizontal 2C
	Weight 75 lbs., Will there be any hollow spaces? Ho Any rigid frame? Yes
	Weight 10 lbs., will there be any nondw spaces. Two material Gal. Iron Material of frame Gal. Iron No. advertising faces Two material Gal. Iron
Ş	Material of frame USI. 11011 No. advertising faces Yes
	No. rigid connections 150 Are they fastened directly to frame of sign? Yee
	No. through bolts Hone , Size, Location, top or bottom
	No. guysOne, materialStrap Iron, Size
-	Minimum clear height above sidewalk or street
	Maximum projection into street 20
	Fee \$
-1	Signature of contractor J. H. Middle barok
٠.	INSPECTION COPY OVER TO SHOW TO SHOW THE SHOW TH
- - -	INSPECTION COPY Oliver T. Samborn
	東 ***



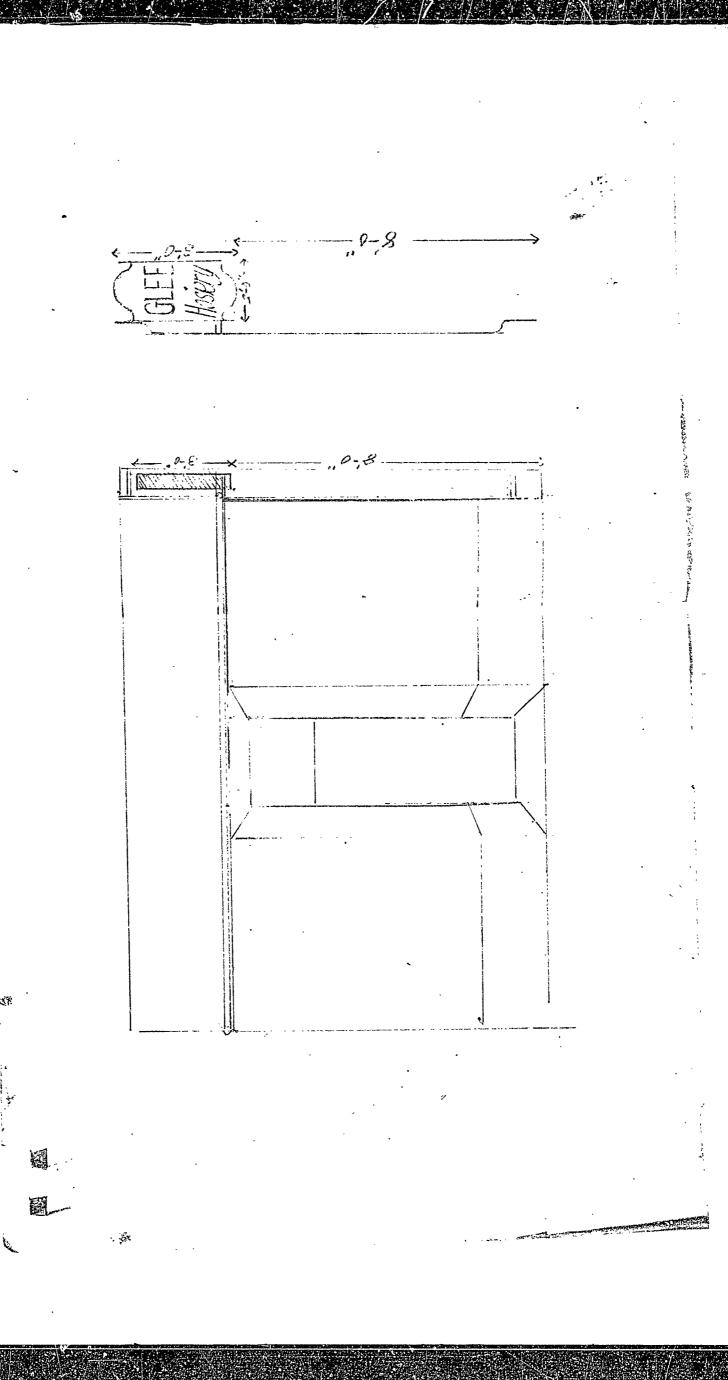


APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET 1000

(G) GINERAL AUSTRE ZONE

	Portland. Maine, 20
To the INSPECTOR OF BUILDINGS, PORTLAND, ME. The undersigned hereby applies for a permit to erect the fivalk or street in accordance with the Building Code of the City of the Location. S73; Congress St., Ward.	ollowing described sign extending over a public side of Portland, and the following specifications: Within Fire Limits?
Owner of building to which sign is to be attached	nyna constass bla. Ulkv
Name and address of owner of sign	Telephone F 4246 Go Co Colon Jarrange ing Building
Information Concern	ing Building
No. storiesMaterial of wait to which sign is to be Details of Sign and	Connections Connections
Electric? Vertical dimension after erection	Any rigid frame?
Material of frame angle troit No. advertising fa	directly to frame of sign? yes
No. through bolts, Size, I No. guys, material	ocation, top or bottom
Minimum clear height above sidewalk or street	
PMAximum projection into street 53 foot:	Fee \$
CHIEF OF FIRE DEPARTMENT OF CONTRACTOR. By	Tolpon Sign Co.
HIGH BOLLOT.	

Date of permit Sign Contracto A 2 /2/ TON FOR PERMIT OR STREET IN SAME R PUBLIC SIDENA





APPLICATION FOR PERMIT TO ERECTAGIGN OVER PUBLIC SIDEWALK OR STREET 1930

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.	Portland, Maine, Aug. 12- 19 30.
walk or street in accordance with the Building Code of the	the following described sign extending (r a public side-
575 Congrage St	of totalia, the interioring specia utions:
Owner of building to which sign is to be attached	Within Fire Limits?
Name and address of owner of sign Glee Hoslery	Shop, 573 Congress St., City.
Contractor's name and address G. C. Tainah Sign When does contractor's bond expire? Oct. 3-1930.	On Carrow Telephone F 4246
No. stories Material of wall to which sign is to	erning Building be attached brick Connections Telephone F 4246 Discharge F 4246
Details of Sign ar Electric? Vertical dimension after erection	nd Connections
Weight 50 lbs., Will there be any hollow space	es? yas Any rigid frame? yos
No. advertising	faces "WU material Ralva Iron
No. rigid connections two Ar they faster	ned directly to frame of sign?
No. through bolts, Size	, Location, top or bottom
, inaterial	, Size
Minimum clear height above sidewalk or street 8 feet	, 5126
Maximum projection into street 2 foet	
	Fee \$ 1.00
Signature of contractor G.	C. Tainsh Sign Co.
APPLICANT'S COPY	a'll Vained

Ward 5 Permit No. 30/704

Tocaum 5th 3 Canaders St.

Over 5 Jac 5 Hours St.

Date at permit 1/4/30

Sign Contractor 3 5

Final stispin Stocks

Final stipin Stocks

Final stispin Stocks

Final stipin Stoc

C-50-106 Rm-R-8/14/30

August 8, 1930

Empire Restaurant Company 573 Congress Street Portland, Maine

Gentlemen:

Upon examination of the large illuminated sign, which you apparently own and which projects over the public sidewalk on Congress Street, we find that some of guys are very slack and the turnbuckles and their connections are badly corroded and weakened. As a result of this condition, the sign sways in the wind.

fastened and made substantial on or before August 15, 1950. I believe that it will not only be necessary to renew most of the guys or the turnbuckle connections, and make them reasonably tight, but that it will also be necessary to provide a rigid metal brace or guy on each side of the sign running from the top of the sign to the roof below and parallel with Congress Street.

This work must be done by a bonded sign ranger, and a pamit must be secured from this office with full explanation in the application as to how the work is to be done.

Please be governed accordingly.

Very truly yours,

Inspector of Buildings.

WM/HC

CS GENER IL LIUSINE 1573 Congress St. Pot in plus
4" Sally Colo



GENERAL BUSINESS ZONE PERMIT ISSUED

APPLICATION FOR PERMIT

TITATI	lass of Building or 7	Type of Struct	ure2nd	Class	8. 18
To the INSPECTOR OF	RIIII DINCE	Por	tland, Maine,_	July 7 1930	
The undersignd he accordance with the Law any, submitted herewith	ereby applies for a permit is s of the State of Maine, the	to west alter sis	tall the follow of the City of	ing building s ងីឌីឌីជីទី Portland, plans and sr	ដំណុំជំនុំកំពោះ Pecification
Location 573 Congress	ste and address. Slaney Par	Ward 5	1111 4 A		ocopecations,
Owner or Lessee's name	e and address Sidney Dav dress L. Malo & Sons	vidson 489	-Within Fire l	Limits? 708 Dis	t. No
Contractor's name and ad	dress L. Malo & Sona	51 Post	_ •	Telepho	ne
Architect's ame and addre	966			Telepho:	_{ne} ණිව
Proposed use of building.	Marcantile (C) a	. Wares - H - 2			
Other buildings on same l	ot	Voal	TY VER CO.	No. famil	ies
Manney Brick	Description of Pre	esent Building	to be Alte	ered.	 -
WaterialNo.					
Last useSto	General Dog			Kooing	
Lower present Remove present Raild new part	lat floor about 12" a cellar spening and a dion which comes ove a front as shown on p	enpuon of Ne replace with	w Work		
St 7	Details	s of New Wor	k		
Size, front dep To be erected on solid or fill	othNo			himbaa	
To be erected on solid or fill	ed fand?		orage grade ()	nignest point of roof	
Material of foundation	Thick	Tiess top	and or tock!"		
					•
No. of chimneys		Df		Thickness	
No. of chimneys Kind of heat	Material of chimneys	Root coverin	g		
Kind of heat	Type of	fuel		of lining	
Kind of heat If oil burner, name and mode Capacity and location of oil t	======================================	ruei	Distance, h	eater to chimney	
Capacity and location of oil t	anks				
Corner postsSill Material columns under girde	Girt or ledger	r board?		-Size	
Material columns under girde Studs (outside walls and carr span over 8 feet. Sills and co			or larger. Brie	x. on centers	10.
Joists and rafters:	1st floor Using old fla	Loss section.		o d _i m 21 ory 11001 and	a nat 1001
On centers:	1st floor Using old flo	TRP 3.45	, 3rd	, roof	
	, w	11(1	3rd		
f one story building with mass			, 3rd	, roof	
J	, warm, timentices of war	.is :		height?	
o, cars now accommodated a	AI a				
o. cars now accommodated of otal number commercial cars t	o he governed to	, to	be accommoda	ted	
	Misce	to cars habituall	y stored in the	proposed building?	
fill above work require remova lans filed as part of this appli	l or disturbing of any should	. 4	Street?		
lans filed as part of this applications filed as part of this applications.	cation?		Jo short-	no	···
fill there be in charge of the ale observed?	bove work a person compete	ent to see that the	State and City:	Fee \$ 3. requirements pertaining	75 thereto
SPECTION COPY	Signature of owner B	250 man 11		•	-

Ward 5 Permit No. 30/1388 Location 573 Congres St. Ii sing-in Final Notif. Final Inspn. Cert. of Occupancy issued

November 14, 1927

G. C. Tainsh Sign Company 27 Monument Square Portland, Whine

Gentle men:

Cur inspector reports that the sign for Cordes Cafe at L-7 Forest Avenue which apparently was erected by your company under permit No. 27/1362 has not been provided with any solt through the wall which is one of the conditions in the a plication for the permit and one of the terms under which the permit was issued. The amplication reads: manber of through solts 1 size 5/8 inch.

Please attend to this matter prouptly and advise this department when the throngs but his been provided.

Very truly yours,

Inspector of Buildings

WA/EP

\

`

October 28, 1927

Cordes Cafe Inc. 5 Forest Avenue Portland, Maine

Centle sen:

hake even, installation of a saitable ventilation system and enclosing of the bake room with a plaster board partition and ceiling, providing a certain and sure way of leaving the cellar and reaching the outside air in case of emergency as an alternate to the stairs which lead to the kitchen and the venting of the gas hot water heater to the cidancy.

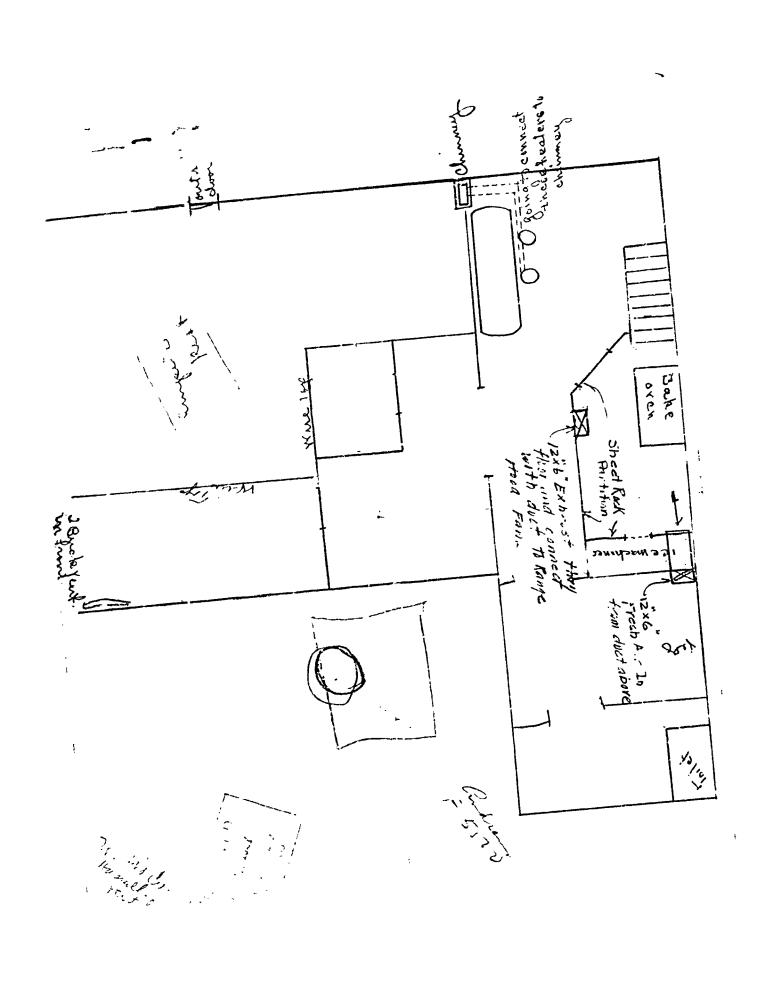
The most of these changes are indicated upon a plan submitted with the applier tion by ir. Andrews of the Portland Car Light Co. any. It should be borne in aind however that the wooden timbers over the pakery room are to be shouthed with plaster board, and there is to be provided a certain means of egrous outside of the stairs leading to the kitchen. It would be advisable for you to procure the services in connection with the ventilating system of somebody capable of designing the stallation.

Very truly yours,

Inapoctor of Buildings

Fig.

5055 unspection







GENERAL OFFICE AND FACTORY KALAMAZOO, MICH.

JRKOFFICE, 44 WEST BROADWAY HE HUMPHRE KMAMAGER

Manufacturers of
THE HUMPHREY Gas Arc Lamp
Radio Electric Fixtures

GENGAS"

Dear Madami-

NEW YORK,

Portland. Me. Feb.

1926

What are you doing to insure variable and comfort in your home during severe, cold weather—how are you conducting the cadden changes in temperature at this season of the years. The EURIPHIET REDIANTFIRE used houseneds of house classes to you. The EURIPHIET REDIANTFIRE used by thousands of housewiven today to your proceed, and for the following

FIRST- At the touch of a match it pours on evelopshe of vigorous, clean, odorless heat into your rooms just when and there you need it.

SECOND- It is economical in that it will love you money in

THIRD- It is an asset in appearance sherever located in your home inasmuch as it is made in many styles and sizes

FOURTH- It is not a winter necessity alone - for in all seasons of the year it meets every requirement for home comfort and service.

These are its major purpose a - it is invaluable in many

The enclosed folder covers many of the derigns

and sizes for your selection.

Our SPECIAL REPRESENTATION will call upon you in the near future and more fully explain the HUMPHREY RADIANTPIRE. Small down - payment, Lalance payable

on your monthly has bills can be arranged.

Yours truly,

Portland Cas Light Co.

50.ober 21, 1927

Cordes Cafe Inc. 5 Ferest \venus ortinui, inine

Centle wn:

inferring to your an dication for a building denit to install a case ballo even at 5-7 Forcet Avame, upon a matientian of the proceeds, i find that it is too intention to install the over in the collar soich asenoughly has for early bugs up a notaly for storage, dressing rotas and tol-

The duilling code provides that a ditended may be blacked martly or wholly below the grate if a suitable medianical syste, of ventilation is provided.

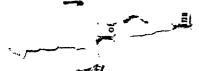
de have no way of antwing what you contemplate is the may of a new ayelds of ventilation or other improvements in this room. At present there soors to be a vallet owning into the delimit and to gas not rater heaters without any went connection. The air was decidedly foul when I was in there. A parently there is but one way to get out of the cellar and that up through the kitchen of the restaurant. In case of a fire in the restaurant kitchen, sould not suplices in the cellar be caught in a true with to day to got out?

fill you not advise us how may recoils will be conjuged at a time in this collar and as to more place, or ay more or erforting the ventilation and increasing the same of egrees? sefore issuing a partit which in a reason places a sump of a proval of the city upon the preparation of food in this seilar, I fool that it would be went to consult with the Bonith legart ent who have goneral eversight of underless resource and the like where fold is prepared for the public.

Yery truly yours,

Inspectors of buildings

Portland Tas Light Co. b Touble Street



APPLICATION FOR PERMIT

Class of Building or Type of Structure brick

Portland, Maine, 0 voor 20 . 1987 To the INSPECTOR OF BUILDINGS, PORTLAND, MR. The undersignd hereby applies for a permit to prest after install the following builting structure equip

Location 5.7 Forest Lyenno (5.3 - 5.7 Ward 1 Within Fire Limits? Contractor's name and address 2011 lend 302 15th 302	Yan Die No. 3
Corners or Lesses name and address June are relied back June Junest Ave.	Telephone
Contractor's name and address Portland Cas light Co.	Telephone
Architect's name and address	reiephone
Proposed use of building rostaurant	N- 6- W
Other buildings on same lot	No. families
Description of Present Building to be Altered	
Material briok No. stories 1 Heat gas Style of roof R	Roofing
ast use	No. families
General Description of No., TT.	

To install gas bake over as per requirements of Smilding Jode.

		Details of New Wo		
Size, front	depth	No. storiesHeight	average grade to h	ighest point of roof
To be erect d on solid or	filled land?		earth or rock?	iguest point of root.
Material of foundation_		Thickness top	cardi or lock:	bottom
Material of underpinning	s ———	Height		_Thickness
Kind of roof		Roof cover	ring	_ I mckness
No. of chimneys	Material o	f chimneys		of lining
Kind of heat		Type of fuel	Dictares la	cater to chimney
If oil burner, name and n	model		Distance, ne	eater to chin:ney.
Capacity and location of	oil tanks		***************************************	
Is gas fitting involved?		Size	of service	
Corner posts	_Sills	Girt or ledger board?	or service	Size
Material columns under 1	girders	Size		x. on centers
		ns) 2x4-16" O. C. Girders 6:	x8 or larger. Brid	ging in every floor and flat root
Joists and rafters:			3rd	, roof
On centers:	ist floor	, 2nd	3rd	, roof
Maximum span:	1st floor	, 2nd	3rd	, roc
lf one story building with	masonry walls,	thickness of walls?	, 0.0	height?
		If a Garage		neightr
No. cars now acco.nmoda	ted on same lot.		to be accommode	sted
l'otal number commercial	cars to be a comi	nodated	to oc acciminous	neu
Vill automobile repairing	be done other th	an minor repairs to cars habit Miscellaneous	vally stored in the	proposed building?
Vill above work require re	emoval or disturb	oing of any shade tree on a pu	blic street?	115
lans filed as part of this	application?	no	_ No. sheets	
Estimated cost \$ 150.				Fee \$.75
Vill there be in charge of	the above work	a person competent to see that	the State and City	requirements pertaining thereto
re observed?				hererming rugicio
NSPECTION COPY	Signatus	re of owner		,
				,

Ward 5 Petrmik No. 3/3/ M

Dication 5-7 France & are

Licssees Corde Cofe One ate permit O.A. 27 otif. closing-in Inspn. closing-in H lotif. Final Inspn. Cert. of Occupancy issued NOTES Restament Stored

(G) GENERAL BUSINESS LONE



APPLICATION FOR PERMIT TO ERECT SIGN 16 1927 OVER PUBLIC SIDEWALK OR STREET Aug. 11th

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public side.

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Within Fire Limits?

Undersigned hereby applies for a permit to erect the following described sign extending over a public side.

Within Fire Limits?

Undersigned hereby applies for a permit to erect the following described sign extending over a public side.

Within Fire Limits?

Undersigned hereby applies for a permit to erect the following described sign extending over a public side. Portland, Maine Owner of building to which sign is to be attached ______ Casco Vergentile Trust Ca_ Telephone 4246 Name and address of owner of sign Cordes Cafe
Contractor's name and address C. C. Taingh Sign Co. When does contractor's bond expire? Oct . 3= 1927 Information Concerning Building Material of wall to which sign is to be attached __hrlok Details of Sign and Connections Horizor al 5 100 t 6 No. stories _______ -Vertical dimension after erection - 61866 6" Any rigid frame? you _lbs., Will there be any hollow spaces?_ El tric?_ Weight 150 Are they fastened directly to frame of sign? angle iron Material of frame , Location, top or bottom No. rigid connections: No. through bolts One Iblest or more No. guys _____ material -Minimum clear height above sidewalk or street Fee \$ Maximum projection into street 31x fact OLD SIGH HOVED FROM 268 Middle St. Tainsh Slon INEPECTION/20PV. Signature of CHIEF OF PERE 1. CP

Date of permit (Sign Contracto Final Inspn.2



Location, Ownership and detail must be correct, complete and legible. . . . Separate application required for every building. territie of Plans must be filed with this application. READ!

Application for Permit for Alterations, etc. Get All Question UEFORE Comment of a rk Portland, Me., Pay 1,1925 19 Failure 10 0 3 To the Hay Prove INSPECTOR OF BUILDINGS The undersigned applies for a permit to after the following described building: --Location 575 Congress Stree Ward 5 in fire-limits? Yes Name of Owner or Lesse, Jasco Mercantile Trust Co Address 475 Congress ... Contractor, ... & Redlon Company ... 80 Union Street Description of " " Architect, Present Material of Building is brick Style of Roof, flat Material of Roofing, t & 8 Bldg. Underpinning is is inches thick; is feet in height. What will Building now be used for : bank Detail of Proposed Work Re-arrange two partitions, install four booths, cut in ventilaing systems all to compl, with the building ordinance Estimated Cost 8... If Extended On Any Side Size of Estension, No. of feet long t......; No. of feet wide t......; No. of feet high above sidewalk t..................... No. of Stories high!; Style of Roof!; Material of Roofing? If of Brick, what will be the thickness of External Walls!..... inches, and Party Walls inches. How will the extension be occupied ! How connected with Main Building ? When Moved, Raised or Built Upon No. of feet high from level of ground to highest part of Roof to be? If Any Portion of the External or Party Walls Are Removed How will the remaining portion of the wall be supported ! Signature of Owner or Authorized Representative Casco Mercantele must Ce Address NEW Mercantele must Ce New Mercantele must Ce

GEO. C. TAINSH

Commercial Signs

CARD, CLOTH, WOOD, GLASS, METAL AND

Electric Signs

TELEPHONE 4246

5 frest ane



27 MONUMENT SQUARE PORTLAND, MAINE

ESTABLISHED 1905

Ou. Door Advertising

WALL OR BULLETIN TO PROMOTE THE SALE OF ANYTHING

Locations Secured

SKETCHES FURNISHED

Jan. 9-1924.

Sign Committee, Portland, Maine. Gentlemen, -

We wish to secure permit for hanging two sided projecting electric transparency, size 4'-8" X 6', for congress Square Lunch Co., located at 5 Forest Ave., as per sketch. Sign to be hung I5' above sidewalk.

GCT/AMT

Permit issued January

Very truly yours, G. C. Tainsh Sign Co.,





Location. Ownership and detail must be correct, complete and legible.

Separate application required for every building.

Plans must be filed with this application.

Application for Permit for Alterations, etc.

	To the Pertian October 30,1923
	INSPECTOR OF BUILDINGS:
	Location 5 Forest Avenue 1, 37-1 7 grantes and the second years of the second years and the second years are second years.
	Name of Owner or tesser John R Progter Satate Contractor
Dana-in-	" " Architect
Descrip- tion of	Material of Building is
Present Bldg.	Size of Building is the clong of the control of the clong of the control of the clong of the control of the con
•	
	Height of Building, 30ff Wall, it Brick 1st 2d 3c seth
	What will Building now be used for the restaurant
	Matell of Dunnand Words
	Put in new store front, raise iron beams, interior repairs after fire any new exterior woodwork to be covered with metal
	any new exterior woodwork to be covered with metal
	all to comply with the building ordinance
	Formated to a \$1100 s
	Faterated to at \$1100.
	If Extended On Any Side Size of Extension, No. of feet long 6
	Size of Extension, No, of feet long f; No, of feet wide f
	No. of Stories high!
	Of what material will the Extension be built f Foundation f
	If of Brick, what will be the thickness of External Walls
	How will the extension be occupied :
	When Moved, Raised or Built Upon
	No. of Stories in beight when Moved, Raised, or Built upon
	No. of feet high from level of ground to highest part of Roof to be t
	How many feet will the External Walls be increased in height t
	If Any Portion of the External or Party Walls Are Removed
	Will an opening be made in the Party or External Walls f
	Size of the opening
	How will the remaining portion of the wall be supported !
	Signature of Owner or M. E. Skellou G.
	EN MARIE ST

. .



Location. Ownership and detail must be correct, complete and legible.

Separate application required for every building.

Plans must be filed with this application.

Application for Permit for Alterations, etc.

	To the	((4)) Land Martin Committee Committe
	INSPECTOR OF BUILDINGS:	
	_	the following described building:-
	Leader-igned applies for a permit to alter	75 (cham of the)
	Leaven and The Constant of Constant of the Con	Variation of the state of the s
	Nome of Owner or Lossee 32 22	O Address and C 1 1 1
	Contractor 2 2 2331 1, 20	
		44
Descrip-	and the second s	Material of line Butter and a second
tion of	Material of Canteling is	Figure strates Att Of College Constitution and the constitution of the college
Present	Ce'ha Well 's constructed of the line is inches w	ide on bottom and batters toinches on top.
Bldg.	Cellar Well is constructed of all manufactures in heart	
Dia?	t'ederpianity is	31 34 4th 5th 3
	Hoight of Building Wall, if Brick; Ist.	.2d
	What was Building last used for harmania.	No. of families
	What was Building last used for Later What will Building now be used for the	t On m
	Detail of Propo	sed Work
		- gree in inch brien well
	gebt ld re ross of bullding lexices of	P
	The second of th	
	er to a mol, with he haddin orli	ــــــــــــــــــــــــــــــــــــــ
		T
		Estimated Cost \$4,000.
	If Extended On	Any Side
	11 2/11/01/11/01	i i i i i i i i i i i i i i i i i i i
	Size of Expension, No of feet long f; No. of feet w	ide; No. of feet high above sidewark t
	Style of Roof for	; Material o' Rooning t
	or the second will the Extension be built !	Foundation f
	To a Databash at will be the thickness of External Wall &	inches; and Party Wanstuches.
	How will the extension be occupied f	w connected with Main Building :
	When Moved, Raise	d or Built Upon
	No. of Stories in height when Moved, Raisad, or Built upo	Proposed Foundations
	No. of Stories in height when Moved, Raised, or mant upo	11 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
	No. of feet high from level of ground to highest part of Ro	OI to be immediately the William
	No. of feet high from level of ground to include partial. How many feet will the External Walls be a rereased in hei	ght (arty wans
	•••••	

	•••••••••••••••••••••••••••••••••••••••	
	***************************************	or Party Walls Are Removed
	If Any Portion of the External	of faity trans in the commerce
	The Party of External Walls ?.	Story.
	Will an opening be made in the Party or External Walls ?.	ow protected t
	Will an opening be made in the Party or External Walls ?.	ow protected f
	The Party of External Walls ?.	in Story.

Location, Ownership and detail must be correct, complete and legible.

Separate application required for every building.

Plans must be filed with this application.

Application for Permit for Alterations, etc.

		Portland,	,	191
	INSPECTOR OF BUILDINGS:			
	The undersigned applies for a permit to alter the following-described building:— Location Ward, in fire-limits?			_
	Name of Owner or Lessee,		ress	
	" Contractor, "Telling Alling			
Descrip-	" " Architect,		·	
tion of	Material of Building is			
Present	Size of Building is feet long;			21
Bldg.	Cellar Wall is constructed of			
				Ξ
	-			_
	What was Building last used for? 1			1
	What will Building now be used for.	••••••	Estimated Cost, \$ka	
	DETAIL OF TROPOSED WORK			m O
	The in nor grown tand, all the william		2 <u>e* 30</u>	8
	11. 40 0 11 110 1112 111			
· · · · · · · · · · · · · · · · · · ·	ACC - Market			-
				
	IF EXTENDED ON ANY SIDE			FORE
	Size of Extension, No. of feet long?; No. of feet	et wide?; No	o. of feet high above sidewalk	? <u>m</u>
	No. of Stories high?; Style of Roo	f ?	Material of Roofing?	U/
	Of what material will the Extension be built	Fo	undation?	Z Z
	If of Brick, what will be the thickness of External Walls	? inches	; and Party Walls	-
	How will the extension be occupied?			*****
	WHEN MOVED, RAISED OR BUILT UPON			WORK
	No. of Stories in height when Moved, Raised or Built			
	No. 01 Stories in height when Moved, Raised of Built	i Poof to be?	· P · · · · · · · · · · · · · · · · · ·	
	No. of feet high from level of ground to highest part of Roof to be?			
			************ * 1**********************	
	***************************************		***************************************	
				•••••
		AT OR DARWE	TANALLE ADE DEMO	UPD.
	IF ANY PORTION OF THE EXTERNAL OR PARTY WALLS ARE REMOVED			
	Will an opening be made in the Party or External Wall			
	Size of he opening?			
	How will the remaining portion of the wall be supp	orted?		•••••
	Signature of Owner Authorized Represent	or Alle	and the Sk	Bons
	Ad	iress 430 6	anders Ex	•

Location, Ownership and detail must be correct, complete and legible.

Separate application required for every building.

Plans must be filed with this application.



Plans must be filed with this application. Application for Permit for Alterations, etc.

Portland, harel 5, 1946 To the INSPECTO: OF BUILDINGS: The undersigned applies for a permit to alter the following-described building:-Location 575 Congress St. At 553. Ward, 5 in fire-limits? Y38 " "Contractor, M. 1. Redlen Co. " 50 Union St. " " Architect, Descrip-tion of Cellar Wall is constructed ofsheme...... is inches wide on bottom and batters to inches on top. Present Underpinning isbrick. is inches thick; is feet in height. Bldg. DETAIL OF PROPOSED WORK Tut in iron and plate class windows on the Forest Avenue side; interior repairs, so ha to fit it it in far hading purposes. To comply with Building Ordinance IF EXTENDED ON ANY SIDE ize of Extension, No. of feet long?; No. of feet wide?; No. of feet high above sidewalk? No. of Stories high?; Style of Roof?; Material of Roofing? Of what material will the Extension be built Foundation? If of Brick, what will be the thickness of External Walls? inches; and Party Walls inches. How will the extension be occupied? How connected with Main Building? WHEN MOVED, RAISED OR BUILT UPON No. of Stories in height when Moved, Raised or Built upon? Proposed Foundations No. of feet high from level of ground to highest part of Roof to be? How many feet will the External Walls be increased in height? Party Walls IF ANY PORTION OF THE EXTERNAL OR PARTY WALLS ARE REMOVED Size of the opening? How protected? How will the remaining portion of the wall be supported? Address & Ulimin St



Location, Ownership and detail must be correct, complete and legible.

Separate application required for every building.

Plans must be filed with this application.

Application for Permit for Alterations, etc.

	To the	Portland,	Liay 9th,	191 6.
	INSPECTOR OF BUILDINGS:	•		
/	Lu 673-57 Joseph The undersigned a	pplies for a permit t	o alter the following-describ	ed building: —
	Location, Corner of Forest Ave and	d Congrus Ward,	, 5 In fire-limits?	
	Name of Owner or Lessee, Gring warm So	Indicate	Address, Wew Hampshi	ire
	" "Contractor, Brown w Serr,		" Fress Build	ling.
Descrip-	" " Architect,		"	
tion of	Material of Building is Brick Style o	f Roof, pitch	Material of Roofing,	hingles U
Present	Size of Building is 94'6" feet long; Addition 15'0" Cellar Wall is constructed of Stone is	31'0"	et wide. No of Stories, bottom and batters to	inches on top.
Bldg.	Underpinning is Brick is	inches thick; is.	feet in height.	
	Height of Building, Wall, if Brick	; 1st, 2d,	3d, 4th,	5th, S
	What was Building last used for? offices	No.	of Families?	<u> </u>
	Building to be occupied for Chinese Res	staurant	Estimated Cost, \$	
	DETAIL O	F PROPOSED	WORK	ñ
				Om
	Remodal second story for a		mu pulla section	on the OBTAINED
	recr to be carried one story	in the rear.		Ź
	Bay windows on the front.			· 🖺
		30 · · · · · · · · · · · · · · · · · · ·		'
			•	BEFORE
				Ö
	IF EXTE	NDED ON ANY	SIDE	ק ה
	Size of Extension, No. of feet long? 26; No No. of Stories high? one; Style Of what material will the Extension be built? of Brick, what will be the thickness of Externa How will the Extension be occupied? reside	of Roof? flat brick d Walls? 8 in	; Material cf Roofing? Foundation? inches; and Party Walls	T & G Q Z inches. Z
	WHEN MOVED,			
	No. of Stories in height when Moved, Raised or No. of feet high from level of ground to highest p. How many feet will the External Walls be increased.	Built upon? 2	Proposed Foundations?	WORK
	- · - · · · · · · · · · · · · · · · · ·	·		
	IF ANY PORTION OF THE EXT	ERNAL OR PAR	RTY WALLS ARE RE	MOVED
	Will an opening be made in the Party or Externa	l Walls?	in	Story.
		How prot	ected?	
	How will the remaining portion of the wall be sup	ported?	-	
	Signature of Ov Authorized Repre	oner or sentative	sound Bir	g
	1-15-500. P. 8481.	Address ()	So G. Done	hered"



Location, Ownership and detail must be correct, complete and legible. Separate application required for every building. Plans must be filed with this application.

Application for Permit for Alterations, etc.

Portland, 4-29-13. 191 .

	10 the	
	INSPECTOR OF BUILDINGS:	
	The undersigned applies for a permit to alter the following-described building:-	
	Location, Rear Of 1-3 Forest Ave (Les 523 5 75 (organist 41) Wd.	
	Name of owner is? Sirmons and Harmond Address, Do	
N. 4	Name of mechanic is? Cobb &	
	Name of architect is?	П
	Material of building is? . Style of roof? Material of roofing?	
Descrip-	Size of building, feet front? ; feet rear? . ; feet deep?; No. of stories?	골
tion of	Size of L, feet long? ; feet wide? ; feet high?; No. of storeis? . ; roof?	MIT
tion of	No. of feet in height from sidewalk to highest point of roof?	3
Present	Thickness of external walls? Party walls? Distance from line of street?Width of street?	č
Bldg.	What was the building last used for?	4
Diug.	Nature of egress?	ш
	Building to be occupied for	
	DETAIL OF PROPOSED WORK.	80
	To build on addition.	BTAINE
		É
		O
	t an t annually take t	W
		H
	IF EXTENDED ON ANY SIDE.	EFORE
	Size of extension, No. of feet long? 12; No. of feet wide? 11; No. of feet high above sidewalk?	m
	No. of stories high? One ; style of roof? Metal ; material of roofing?	<u>U</u>
	Of what material will the extension be built? Galv. Iron Foundation? Concrete	EG
	If of brick, what will be the thickness of external walls? inches; and party walls inches.	Ž
		GINNIN
	How will the extension be occupied?	S S
	WHEN MOVED, RAISED OR BUILT UPON.	WORK
	Number of stories in height when moved, raised or pullt open. Proposed foundations?	꾸
	Number of feet high from level of ground to bighest part of to be?	•
	Distance back from line of street? Distance so from lot lines when moved?	
	Distance from next buildings when moved?, front? side? ; side? ; rear?	
	How many feet will the external walls be increased in height? Purty walls?	
	•	
	IF ANY PORTION OF THE EXTERNAL OR PARTY WALLS ARE REMOVED.	
	Will an opening be made in the party or external walls? in story.	
	Size of the opening?	
	How will the remaining portion of the wall be supported?	
	Signature of owner or Orthodological Sections	
	authorized representative,	
	Address, ()	

92 85



City of Portland.

apr. 20 To the Inspector of Buildings of the City of Portland: The undersigned respectfully makes application for a permit to erect enlarge a building on Eng. & Form on street, at number stories high feet long, to be stories feet wide; also an addition to be feet wide, and to feet long, high, be used as a The material to be used in the erection enlargement of said building is to be as follows: Exterior walls to be made of Roof to be made of Chane Stone Jums. Gutters to be made of Cornices to be made of Bay windows to be made of Dormer windows to be made of

The builder is Coobs Welse. Address

The architect is

The owner is Manny Address 575. Cong. S.

(Applicant to sign here)

OFFICE OF
INSPECTOR OF BUILDINGS,
FOR THE
CITY OF PORTLAND.
OFFICE HOURS:
10-11 A. M. 4-8 P. M.

The above petition was granted the

day of

191 .

912398	PLICATION Fee \$25. Zone Map # Lot#
Please fill out any part which applies to job. Proper plans must accompany form.	
Please fill out any part which applies to job. 1. open plants in 2.20, 05.02	For Official Use Only FRMIT ISSI
Owner: Greenleaf Garden Salad Bhono # 879-0592	Subdivision:
575 Cananacs St. Ptld. ME U41U1	Date 3/11/31 Name TAKE 19 1015
Address: 15 CONGTESS St. LOCATION OF CONSTRUCTION 575 Congress St.	Inside Fire Limits Lot MAR 13 1309 Bldg Code. Ownership: Public
LOCATION OF CONSTRUCTION	
Contractor:Sub.:	
Address: Phone #	har Zoning
Proposed Use: Cake-Out 17704	har Zoning: Street Frontage Provided: Provided Setbacks: 1 ront Back Side Side
Post Use: Dank Utilities	
. Cal . Des l'este	Review Required: Zoning Board Approval: YesNo Date:
	Planning Board Approval: Yes Nite Plan Subdivision Site Plan
Building Dimensions L	Conditional Use: Varianto Floodplain Yes No Floodplain Yes No
5 Stories: # Betrooms Conversion	
Is Proposed Use: Seasonal Condominium Conversion From bank office	to Other (Ryplein)
Is Proposed Use: Seasonal Condomination Seasonal Condomination Conversion CHANGE OF USE - from bank office	to Other (Ryplain) HISTORIC PRESERVATION
take-out food bar	1 Coiling Joista Size:
	2 Cailing Strapping Size
Foundation: 1. Type of Soil: 2. Set Backs - Front Rear Side(s)	3. Type Cennigs. Size Size
2. Set Backs - Front Rear Sloves	5 Ceiling Height:
2. Set Backs - Front	
4. Foundation Size: 5. Other	Roof: 1. Truss of Rafter Size Span Action: Approved with Condition Size Size Denist
	2. Sheathing Type Size Size Date: 2. Sheathing Type Size Size Size Date: 7 Date: Signanus: Sig
Floor: 1. Sills Size: Sills must be anchored.	Chimneys: Number of Fire Places Signadue:
2. Girder Size:	Type:Number of the
2. Girder Size: Size: Size: Spacing 16" O.C. 4. Joists Size: Spacing Type: Size: Siz	Heating:
4. Joists Size: Size:	Electrical: Smake Detector Required Yes No
	Service Entrance Size:
7. Other Material:	Plumbing: 1. Approval of soil test if required Yes No
Exterior Walls: Specing	2. No. of Tubs of Showers
	AT CI anatoring
2. No. windows	5. No. of Other Fixtures
3. No. Doors Span(s)	
4. Header Sizes	1. Type: Square Footage 2. Pool Size: X Square Footage
6. Corner rock Size	2. Pool Size:
7. Insulation Type 8. Sheathing Type Size Weather Exposure	
8. Sheathing Type Size Weather Exposure 9. Siding Type Weather Exposure 10. Masonry Materials	Permit Received By Louise E. Undse Signature of Applican Date 3/11/91
10. Masonry Materials	Signature of Applicant any them Date
II. Metal Materials	larry Greene Date 3/11/9.
Interior Walls: 1. Studding Size Specing 2. Heador Sizes Span(s)	Signature of CEO Date
2. Header Sizes	
4. Fire Wall if required	Inspection Dates
5. Other Materials White-Tax Assesor Ye	ellow-GPCOG White Tag -CEO 10 19 Converge CEO

aspection Services smuel P. Hoffses



Planning and Urban Development Joseph E. Gray Jr. Director

CITY OF PORTLAND

July 01 , 1991

Dear Mr. Watts,

This letter is in reference to your application to install an apartment at 52 % Congress Street in Portland. It will be necessary for you to supply this office with a plot plan indicating the land area and any parking provided. I would also note that your application lists "Greenleaf Salad Bar" as owner of the property. This does not agree with our records. It is necessary that we know the name of the owner or corporation in whose name title is held.

William D. Giroux.
Zoning Administrator

cc: MJoseph E. Gray Jr.; Director, Planning and Urban Development.
Samuel P. Hoffses, Chief Inspection Services
Mark Mitchell, Code Enforcement Officer

389 Congress Street .: Portland, Maine 04101 (207) 874-8704

•	
NOTES	Owner Date of permit Approved Approved
6-5:52 Burn at m	of p of p
6-5.52 aun outs m	too. or y
are truiterale les	11.0. 811. Sec. 6
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a long ville the	There is on the or
-10 Olded - whi	Me Julie Market
Many Chartest	we will
2'angle agreement 11	Braguetel and E G
Las The Butter Town	- Hu & 412
1165 2.2 100111	1 3/11/2

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AP 5 Forest Avenue May 27, 1952 Portland Gas Light Co. Att: Er. Gehrs 5 Temple Street Portland, Paire Mr. Norman Hodson 5 Forest Avenue Portland, Maine Contlemen:-Building permit for installation of a gas-fired bake oven in the kitchen of the restaurant at 5 Forest Avenue, is issued, herewith, to the installer, subject to the following. If these conditions are not understood, or if you find your selves unable to comply with them, it is important that you do not start the installation, but that you contact Inspector Thurlow of this office for adjustment. We have the imprecation that the oven is to be located a considerable distance from the range head under which the vent pipe of the even is to discharge. Fresumably care will be taken to see that the venting in this manner is entirely practicable. The application says that the top of the vent pipe will be over 4 feet from any burnable material above the pipe. This information taken together seems to say that the kitchen must have an unusually high ceiling. Prosurably the vent pipe from the oven will not pass through any partitions to reach the hood. Wrile the application says that the existing hood is vented through the side wall of the building, our last record of installation of the restaurant range by the Cas Company, in 1941, indicates that the range or the hood is connected to a charmey flue 8" x 12", and connected to the same flue at that time was a water heater, prosumably gas-fired. It seems necessary to combine all of these facts and work out the arrangement both for efficiency and for safety according to Building Code standards, including automatic shut-off on the water hoater to shut off the gas in case the pilot flame should be extinguished. The application says that the oven sets on 17" legs with baffle. This is 1" less than the requirement of 18" if there is to be no protection on the floor. If this figure is correct, then the burnable material on the floor requires a protection of not less than 3/8 inch asbestos mill board covered with not less than 24 gauge sheet metal - this protection to project at least 6" ce ond the edges of the appliance all around. Even so, there must be a heighth of at least 8" above the floor protuction clear and open to the room between the legs of the appliance on all sides. Very truly yours, Inspector of Buildings WMcD/G

OF CENERAL BUSINESS ZONE

PERMIT ISSU MARZE 4952



APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

CITY of PORTIANI

	SIGN OVER 100	Portland, Maine, March 22, 1952 19	
To the INSPEC	TOR OF BUILDINGS, PORTLAND ersigned hereby applies for a perior the Building C	not be compared the following described sign extending over a public struct to erect the following described sign extending specifications: Code of the City of Portland, and the following specifications:	ide-
walk or street in	accordance with the Bernard Street	Within Fire Limits	
Location	5732 401161 2 1 1 2 1 2 che	ed John F. Prottor Kanadi No.	
Owner of build	ling to which sign as to all House	ed John F. Frootss se, 573 Congress Street n Display, 74 Elm Street Decl 31, 1952	<u>695</u>
Name and add	ress of owner of signature ress of sign	n Display, 74 Elm Strees	 ;
Contractor's n	ame and address	n Display, 74 Auguston Decl 31, 1952 mation Concerning Building Drick CENTIFICATE OF COMPANY AND ADMINISTRATION OF COMPANY	; ;
When does co	Inform	mation Concerning Building CERTIFICATE OF COURANTEE OF CO	T. X.
- Andriae	21 Material of wall to w	mation Concerning Building CENTRICATE OF OCURAL which sign is to be attached brick REVIEW W. C. A. C.	
No. Stories	Deta	nils of Sign and	********
Ruilding OW	ner's consent and agreement filed	I with application ————————————————————————————————————	
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£ . !	DS., WIII LICE	2 material	
Material of	frame _angle iron	No. advertising faces	
		1 ++ com UV P	
No. through	h bolts angl	le iron , Size	
No. guys	material material	cet 10'6" United Neon Display Fee \$ 1.0	0
Minimum	clear height above street 71 6!	United Neon Display Fee \$ 1.0 f contractor by: Themes	, , , , , , , , , , , , , , , , , , ,
Maximum	projection into stress	f contractor by:	
INSPECTIO	IN COPY		1
INSPECTIO			
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<i>9</i>	
Permit No. 52/3/4	
11 ()	4
Location 573/2 Congress	
Owner Usia Aufal	
Date of permit 3/25/52	-,
Sign Contractor United Nean Dis	play
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Final Inspn. 3	
NOTES	
9-27-52. Shop inch. a.K.	
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WRITTEN CONSENT AND ACREEMENT RELATING TO A CERTAIN SIGN PROPOSED TO BE ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES 573 Congress St. IN PORTLAND, MAINE Jon F Proctor Proparties , being the owner of the premises at 573½ Congress St. in Portland, Maine hereby gives consent to the erection of a certain sign owned by Empire Restaurant projecting over the public sidewalk from said premises as described in application to the Inspector of Buildings of Portland, Mains for a permit to cover erection of said sign; And in consideration of the issuance of said permit _____ John F. Proctor, Prper, owner of said premises, in event said sign shall cease to serve the purpose for which it was erected or shall become dangerous and in event the owner of said sign shall fail to remove said sign or make it permanently safe in case the sign still serves the purpose for which it was erected, hereby agrees for himself or itself, for his heirs, its successors, and his or its assigns, to completel; remove said sign within ten days of notice from said Inspector of Buildings that said Bign is in such condition and of order from him to remove it. In Witness whereof the owner of said premises has signed this John J. Proctor Prakerties.

John J. Proctor Prakerties.

John J. Proctor Prakerties.

Milyness

Williams

Owner

Owner DEFT OF BLD'G. 1838.



APPLICATION FOR PERMIT

002 54 002 52

Class of Building or Type of Structure Second Class Portland, Maine, Narch 10, 1952

To the INSPECTOR OF BUILDINGS, PORTLAND. MAINE

to the liver botton of bottom		
The undersigned hereby applies for a permit to execulter rain accordance with the Laws of the State of Maine, the Building Consciped for any, submitted herewith and the following specific	Code and Zoning Ordinance of the Ci calions:	ny oj Pornana, pians ana
Lection 573 Congress Street	Within Fire Limits?yes	Dist. No1
Owner's name and address Empire Restaurant, 573 2 C	Congress Street	_ Telephone
tte same and address		Telephone
Contractor's name and address J. H. Kennedy, 105 Fre	eble Street	Telephone
A robitsot Specific	cations Plansno	No. of sheets
Decreed was of building restaurant, bank and s	stores	No. families
T	1t	No. families
Material brick No. stories 22 Heat	.Style of roof	Roofing
Other buildings on same lot		
Estimated cost \$ 50.		Fee \$50

General Description of New Work

To remove marquee over entrance to Empire Restaurant.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in

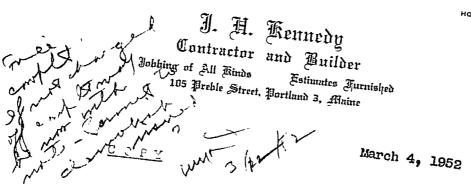
the name of the heating contra	ctor. PERMIT TO E	BE ISSUED TO	J. H. Kennedy		
Is any plumbing involved in	Det this work? public sewer?	tails of New Wo	ork ctrical work involv aat is proposed for	sewager	*******************
Height average grade to too Size, front	p of plate	Height avera ssolid or fil hickness, top Height Roof coveys of lining Dressed cor ledger board? Her girders 2nd 2nd	ge grade to highest led land?	cellar cellar fuel dof heat fuel Size Max. on centers flat roof span over 8 fee roof span o	t.
If one story building with	masonry wans, uncanes			_	
No, cars now accommodate Will automobile repairing	ed on same lot, to b	If a Garage of accommodated or repairs to cars ha	number commentsnumber comments	cial cars to be accommod the proposed building?	ated
PPROVED:		Will work requi	Miscel re disturbing of ar in charge of the a tate and City rec	ianeous y tree on a public street?. bove worl: a person computements pertaining the	no petent to
	***************************************	Empire Resta	urant		
	Signature of owner by:	0	0		

INSPECTION COPY

Notif closing-in Inspn. closing-in Final Notif. NOTES

OFFICE TEL. 3-5639

HOUSE TEL. 2-2781



Mr. John P. Nickerson Annie E. Proctor, Hrs., 37 Kerwood St. Portland. Me.

573-575 Congress St. Empire Restaurant

Dear Sir,

I have examined this marquee in question and I would consider it very unsafe. What little iron there is, is all rusted out and the wood frame is all rotten. There is no drain in it and to repair time. I can only recommend that it be taken down.

JHK:L

cc: Building Inspector

CITY OF PORTLAND

573-575 Congress St. 3/5:/52 Wen

Fei.10ary 27, 1952

ide. Edward W. Purk Proprietor of impire Restaurant 573 Con Trons Street ir. John P. illekerson Annie E. Proctor, Hrs., 37 Kermood Street

Contlement

Upon complaint from more than one source, an inspector from this office examined the margines over the public strength at the entrance to Office evaluation are margine over the photos excessor as any instruction of the photos of the photo rain or from colding story runs or drips upon the public sidexally to the disconfort of bedestriens and contrary to Section 310-c of the including disconfort of bedestriens and contrary to Section 310-c of the including disconfort of the including

Even more important, he found that the margues apparently has no roof drainage facilities, has walls on all four sides projecting upwards than the three fact from the support of the most that most accommistant in two or three fact from the surgest of the roof, that most accumulates in the maket that the test which make down upon the public effourity this pocket, and that the water which gets down upon the public sidewalk and to running through the fracing of the margine proper, down through the coiling of the marinee.

Park thinks that he owns the marques but that may be in question since it is firmly attached to and a part of the Fullding. He thinks the marques but that may be in questhe marques has been in position at least thirty years, and we have no record of a permit for erection of its. It is not known how the margines is framed, but it is hardly conceivable that the structure has been up that is framed, but it is hardly conceivable that the structure has been up that long, for a portion of which time water has been running down through the frame, without doing substantial damage to the frame, personal structure unsafe.

You are therefore directed under Section 109 of the Suilding Code to have the framework of the carquee sufficiently exposed, an examination to have the transvers or the carques surrelently exposed, in examination three party thoroughly competent to pass upon the cafety of structures of the carety of structures and the carety of structures of the carety of the care tures; a written report made to this office; and the marques left exposed for our examination also-before March 5, 1952.

If this report indicates substantial deterioration of the frame or furnished, the defects will either have to be corrected so as to be permanent. nontly safe under a building permit issued from this department and accordnently sare under a terioring permit issued from this department and according to information filed with the application for the permit; or the marques ing to information filed with the application for the permit; or the marquee entirely removed without delay. If it is decided to continue the marquee, it will then be necessary to provide some music so that rain mater or marquee, enterpty removed without detay. It is necessary to provide some music so that rain mater or marting. ency on the roof of the marques will not run or drip upon the public sidewalk.

Pilon/a

Warren McDinald, Inspector of Smildings



CITY OF PORTLAND, MAINE DEPARTMENT OF BUILDING INSPECTION

TITATIS O		BUILDING INSPECTION	Complaint No. C-52-9
INSPECTION (APLAINT	30mptatile 140,
Location 573	3-575 Congress Street	Date Received	1/23/52
Owner's name a	and address Annie E. Proctor I	Use of Building	
Tenant's name a	and address	eet Nickerson	Telephone
Complainant's n	name and address Police Dept.	0. TYT	Telephone
Description:	Water from marquee over sid on sidewalk forming ice. Do several days after a storm.		Telaphone
Jan	several days after a storm.	. The on people walking by.	It does this for
3-12-52. Chargue umin			

34/5, M. S. N. Kennedy -Complaint No. C-52-9 Acation 573-575 Congress St., negotical exception - gover that the frame Date Received 1/23/52 Date Disposed of 3-12-52, cle, of the many deep macie de girl sin NOTES 1-04-52 Juthing carelle - the fresh good and seem today thech in Cotion wild ortainy that many o dangeries. He is 24.50 Bingday James to shale account to Jamespandin and Tom nichterne. of the Controllers and reconsional ... that the mangace around our skanned the many Rifad. Wm. 10. direct mound be many from the of Wh アカニシ

(L) CEMPRAY, P. N. S. & A. o.

00146

APPLICATION FOR PERMIT

[5] (2) (2) (2) [5]	Class of Building	or Type of Structur	re Masonry	*****		2 * * * *
	Cias of Emilia		e, November 26, 1951			•
T. A. INCRE	CTOD OF BILLIO	•		· · · · · · L		
	CTOR OF BUILD		mane. est alter repaindenvoliskins	stedl the following l	hailaina e levava zz	DI BEKAN
in accordance u specifications, i	vith the Laws of the a fany, submitted here	State of Maine, the with and the following	Building Code and Zoning ng specifications:	Ordinance of the	City of Portland, p	lans and
Location	573] Congress	Street	Wichin I	Fire Limits?ve	S Dist. No.	1
Owner's name	and address	mit Clareto	who, I, I was YV	het won,	Telephone	
			e Restaurant, 573a			
Contractor's n	ame and address	G. L. wichols,	acarborouga		Telephone.	.h
			Specifications			
Proposed use	of building	Restaurant			No. families	
			Style of roof			

Estimated cos	t \$ 1,000.				Fee \$400.	***************************************
			scription of New Wo			
To make al	terations to re	staurant on se	cond floor as per p	lan.		
ealth Sotice				Chilifican		
711104	THE THE			REGULAR	TE OF OCCUPANCY. MENT IS LAUVED.	
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It is understoo	d that this permit do	c. not include instal	llation of heating apparatu	s which is to be ta	ken out separately i	by and in
It is understoo the name of the	ed that this permit do c heating contractor.	ne, not include instal PERMIT TO BI	llation of heating apparatus B ISSUED TO G. L.	Nichols		
It is understoo the name of the	d that this permit do e heating contractor.	PERMIT TO BE	E ISSUED TO G. L.	Nichols	iken out separately i	
the name of the	e heating contractor.	PERMIT TO BE	ils of New Work	Nichols Permit	Issued with L	ettei
the name of the	e heating contractor. ing involved in this	PERMIT TO BE Deta work?	E ISSUED TO G. L. sils of New Work	Nichols Permit vork involved in	Issued with Le	ettei
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INSPECTION COPY

Final Notif. Notif. closing-in NOTES Final Inspn. Inspn. closing-in 4 29.52

AP 5733 Congress Street-I Mr. G. L. Bichals January 30, 1952 west carborough, Paine Mr. owere Park c/o Epice Restaurant Cony tos Annie . Proctor Heira 573] Congress Street c/o Mr. Jo tr. Micherson 37 Kenwood Street Geullemen: Building permit for alterations 1; the second story of the alleing at 5733 Congress obreats to be made in the manner shown on the revised plan filed January 29, 1952 is issued herewith to him. Michael subject to compliance with the conditions 1952 is issued herewith to he highest subject to compliance vita the conditions listed below. If for any reason you are unable or undil and to provide the construction indicated, no work is to be started and the penuit is to be returned to this conditions under which the penuit is induced are no follows: l. Wherever fire doors are included on the plan, they are to pear the Class Laboratories. Une of other than labellee doors is not acceptable. All such doors are to be provided with liquid door closers. Unless they are to be located in manonly construction, frames for fire doors may be of wood, but must be covered completely resistance or better. If fire doors are to be hung is to be of one-hour fire which are not of such construction, there were the form are to be located in any existing partitions which are not of such construction, these factitions are to be made to comply with chis requirement.

3. The permit is issued on the bacis that there is to be no change in the location or arrangements of the existing second means of egreen from the restaurant, and that aioles at least three feet wide and fires and clear of any obstructions will be maintained to both means of egress at all times.

4. Notification is to be given for inspection by this department before any or new partition work is closed from Wish.

5. If the seating capacity of the restaurant after alterations are completed plus the number of employees on cuty at any one time will amount to more than one hundred persons, the restaurant will still come within requirements of the Fublic Assemblage Ordinance. In such a case it will be necessary to file duplicate plans Assemblage Ordinance. In such a case it will be necessary to file duplicate plans showing the entire arrangement of booths, tables, chairs, sistes, exit lights, etc. to replace the plans now on file at this office and at fire Department Headquarters.

Vory truly yours,

Warren McDonald Inspector of Buildings

AJS/G

Al 575] Ton ress Timetul December 1, 1951 Sr. Edward V. Tark 573] Songress Street Copy to: Annie . Practor, Mrs. Mr. G. L. Siciols c/o sr. John F. Mokerson hast Scarpprough, Haine 37 Honwood Hitroot Gon /lemen: A check of the application for a permit to make contain electations in the second story of the building at 573% Congress Street where the fundre measurant is located raises a number of questions about which more information is needed before we can determine definitely the application of requirements of the building Love and possibly the Fublic Assemblage Ordinance to the proposition. These questions are as follows: 1. I is our understanding that the restaurant use in the east-ray half of the second story is to be abandened and this area given over to some other mor-cantile use. That is the new use of this area to be? "And the existing booths" shown in this area on the lan filed with the application for permit to remain? - The 2. Are facilities for dancing to be provided in that points, of story where the restaurant use is still to be continued? That is the capacity of the smaller restaurant to be? A plan showing the proposed booth and table arrangement to needed. 2. Are facilities for dancing to be provided in that portion of the second + jokaster! 3. With what material are the new partitions to be covered? Finish construction is to be provided where the existing openings in the tamonry walls are to be closed? Is the existing class block panel in the brick wall at the side of the front stairway to remain? - Jo becaused and I-m. Advantum from did 4. The new doors to be installed in the partitions forming the small hall at she head of the front stairs are required to be at least three feet instead of two feet six inches tra. - well do 5. Of what material are the partitions at each side of the toilet room area constructed, as well as that separating the area at the easterly half of the building from the passagency leading from the restaurant to the rein stairway? This information is needed to determine If the existing construction is such as . will provide the required fire separation between the restaurant use and the new mercantile use to be established in the easterly half of the second story. y truly yours, Warren McDonald Inspector of Buildings AJS/G

(G) GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT



Class of Building or Type of Sancture

Second Class

Portland, Maine, February 2, 1948

PERMIT ISSURD

' ITY of PORTLAND

T. IL INSPECTOR	OF	BUILDINGS,	FORTLAND,	MAINE

The undersigned hereby applies for a permit to erestable repair demotion in Conting Ordinance of the accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the accordance with the Laws of the State of Maine, the following specifications:	City of Portland, plan.	s and
pecifications, if any, submitted her with and the following specifications: pecation 5. Forest Avenue (1) 1999 Location 6. Forest Avenue		1
- 1 - 7 A-LO ACE CONCRESS DUA "	Telephone	
JWHELS HATTLE LINE GLOSS	Telephone	
Lessee's name and address E. G. Tohnson Co., 3 Cliff St.	Telephone	
Lessee's name and address E. G. Contractor's name and address Manager Johnson Co., 3 Cliff St. Specifications Plans no	No of sheets	••
A malitant "Specifications"	No. families	
Proposed use of building	No. families	•••
Last use	Roofing	
Materialbrick No. stories *		
Other buildings on same lot	Fee \$ •50	
Estimated cost \$. 75 Work		

General Description of New Work

To Repair after Fire to former condition. No alterations (Cause - wiring)

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

It is understood that this permit does not include insti- the name of the heating contractor.	tion of heating apparetus which is to be taken out separately by and in . Blud TO E. G. Johnson Co.
the name of the heating contractor.	ails of New Work
Is any plumbing involved in this work?	. Is any electrical work involved in this work?
Material of foundation 11	Thickness
Material of underpinning Kind of roof Rise per foot Rise per foot Material of chimney Framing lumber—Kind Girders Girders Size Columns und Studs (outside walls and carrying partitions) 2x4-1 Joists and rafters: 1st floor St	Roof covering
	If a Garage be accommodated number commercial cars to be accommodated nor repairs to cars habitually stored in the proposed building?
Will automobile repairing be done other than him	Miscellaneous
APPROVED: 2/3/48. OSC.	Will work require disturbing of any tree on a public street?no. Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?
	The Proctor Co.

Signature of owner ... By:

INSPECTION COPY

•	Permit No. 118// 20		,
	Location & Horest are		·
	Owner The Proton Estate		
	Date of permit 2/4/		
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<u>Σ</u>	Final Notif. 2/5/46.	-	
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March March College State College State College City of Portland BUILDING PERMIT APPLICATION Fee \$25. Zone Permit # Please fill out any part which applies to job. Proper plans must accompany form. Owner Greenleaf Garden Salad Barnes 879-0592 For Official Use Onlys CAMIT ISSI Address: 575 Congress St; Ptld, ME 3/11/91 Date LOCATION OF CONSTRUCTION 575 Congress St. Inside Fire Limits. Bldg Code. Contractor: Time Limit C. W OX Portion Estimated Cost Street Frontage Provided. take-out food bar Zoning: Est. Construction Cost; Provided Setbacks: Front Back _ # of New Res. Units Review Required: # of Existing Res. Units_ Zoning Board Approval: Yes Zoning Board Approval: 128 No Date: Planning Board Approval: Yes No Date: Site Plan Conditional Use: Variance Site Plan No Floodplain Yes Total Sq. Ft. Date:____ Site Plan_ Building Dimensions L_ # Bedrooms Condominium_ Special Exception Is Proposed Use: Sensonal_ __ (Explain Explain Conversion _____ CHANGE OF USE -<u>from bank office to</u> Ceiling: take-out food bar 1. Ceiling Joists Size:
2. Ceiling Strapping Size
3. Type Ceilings:
4. Insulation Type HOLD HARRISH HOL TEROWERS Foundation: 1. Type of Soil:
2. Set Backs - Front Hote tor country teripts. Regules Review. 3. Footings Size: 5. Ceiling Height: ******* 4. Foundation Size: Roof: 5. Other 1. Truss or Rafter Size Approved. Approved with Conditions 2. Sheathing Type Floors 3. Roof Covering Type 1. Sills Sice: Sills must be anchored. Chimneys: 2. Girder Size:
3. Lally Column Specing: Number of Fire Places Type: Hesting: Spacing 16" O.C. 4. Joists Sire: Type of Heat:_ 5. Bridging Type:
6. Floor Sheathing Type:
7. Other Material: Electrical: Size: Smoke Detector Required Yes_ Service Entrance Size: Plumbing:

1. Approval of so.l test if required
2. No. of Tubs or Showers Exterior Walls: 1. Studding Size 2. No. windows Spacing 3. No. of Flushes 4. No. of Lavateries 5. No. of Other Fixtures Span(s) 4. Header Sizes Swimming Pools: 5. Bracing: Ye
6. Corner Posts Size 1. Type: _____ 2. Pool Size : Square Footage 7. Insulation Type 9. Sheathing Type Size 3. Must conform to National Electrical Codo and State Law. Size 9. Siding Type
10. Masonry Materials
11. Metal Materials Weather Exposure Permit Received By_ Signature of Applicantau Interior Walls: Larry Greene 1. Studding Size 2. Header Sizes_ Spacing Signature of CEO Span(s) 3. Wall Covering Type 4. Fire Wall if required.
5. Other Materials Inspection Dates White Tag -CEO Yellow-GPCOG White-Tax Assesor

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