

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any,
 Attached

BUILDING INSPECTION

PERMIT

Permit Number: 080341

PERMIT ISSUED

MAY 20 2008

This is to certify that PACHIOS HAROLD C & ELOPE B CARSON ETAL/2 au

has permission to Tenant fit-up first floor store front New walls, ceilings & finish

AT 565 CONGRESS ST

037 A038001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is altered or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Creeg Cross

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Jeanne Bonke 5/19/08
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

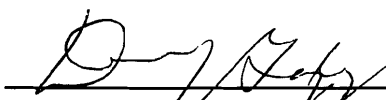
Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

5/20/08
Date



Signature of Inspections Official

5/19/08
Date

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

| | | |
|-----------------------|-------------|---------------------|
| Permit No: 08-0341 | Issue Date: | CBL: 037 A038001 |
|-----------------------|-------------|---------------------|

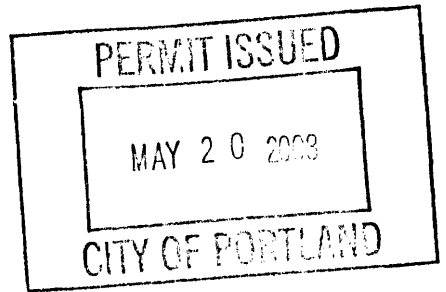
| | | | |
|---|--|---|-----------------------------|
| Location of Construction: 565 CONGRESS ST | Owner Name: PACHIOS HAROLD C & PENELO | Owner Address: 565 CONGRESS ST RM 203 | Phone: |
| Business Name: SALT Institute for Documentary Stu | Contractor Name: Zachau Construction, Inc. | Contractor Address: PO Box 1185 US Route One Freeport | Phone: 2078659925 |
| Lessee/Buyer's Name: Donna Galuzzo | Phone: 207-347-6252 | Permit Type: Alterations - Commercial | Zone: B-3 |

| | | | | |
|--|---|--|---|---------------------------|
| Past Use: Commercial - Office | Proposed Use: Commercial - SALT Institute for Documentary Studies -Tenant fit-up first floor store front New walls, ceilings & finishes | Permit Fee: \$4,520.00 | Cost of Work: \$450,000.00 | CEO District: 1 |
| Proposed Project Description: Tenant fit-up first floor store front New walls, ceilings & finishes | | FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See Conditions</i> | INSPECTION: Use Group: B Type: 2B IBC - 2003 | |

| | |
|--|---|
| Signature: <i>Greg Cross</i> | Signature: <i>JMB 5/19/08</i> |
| PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) | |
| Action: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied | Signature: <i>[Signature]</i> Date: 4/17/08 |

| | | | |
|------------------------------------|--|------------------------|--|
| Permit Taken By: ldobson | Date Applied For: 04/11/2008 | Zoning Approval | |
|------------------------------------|--|------------------------|--|

| | | | |
|---|--|---|--|
| <ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. | Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>5/4/17/08</i> | Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: | Historic Preservation F.O.D.A. <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>5/13/08</i> <i>D. Andrews</i> |
|---|--|---|--|



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

| | | | |
|---|---------|------|-------|
| SIGNATURE OF APPLICANT | ADDRESS | DATE | PHONE |
| RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE | | DATE | PHONE |

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

| | | |
|------------------------------|--|----------------------------|
| Permit No: 08-0341 | Date Applied For: 04/11/2008 | CBL: 037 A038001 |
|------------------------------|--|----------------------------|

| | | | |
|---|--|---|--------------------------------|
| Location of Construction: 565 CONGRESS ST | Owner Name: PACHIOS HAROLD C & PENELO | Owner Address: 565 CONGRESS ST RM 203 | Phone: |
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| Lessee/Buyer's Name Donna Galuzzo | Phone: 207-347-6252 | Permit Type: Alterations - Commercial | |

| | |
|---|--|
| Proposed Use: Commercial - SALT Institute for Documentary Studies -Tenant fit-up first floor store front New walls, ceilings & finishes | Proposed Project Description: Tenant fit-up first floor store front New walls, ceilings & finishes |
|---|--|

Dept: PAD **Status:** Pending **Reviewer:** Deborah Andrews **Approval Date:** 05/13/2008
Note: **Ok to Issue:**

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 04/17/2008
Note: **Ok to Issue:**

- 1) This property is located within the Pedestrian Activities District (PAD) which limits the first floor uses to retail-like. I am in receipt of further information that describes the front "classroom". It is understood that there will be a large window into the "classroom" as people enter the property. There should be no blank wall as people enter. The PAD District intends for the public to be interested into spaces along the sidewalk. Uses should be inviting to the public. It is required under PAD to keep all front spaces open to the pedestrian eye. If there should be any changes to the front PAD restricted area, a permit will be required for compliance with the code restrictions.
- 2) Separate permits shall be required for any new signage.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 05/19/2008
Note: **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Greg Cass **Approval Date:** 05/14/2008
Note: **Ok to Issue:**

- 1) Walls in structure are to be labeled according to fire resistance rating.
IE; 1 hr. / 2 hr. / smokeproof.
- 2) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
- 3) A single source supplier should be used for all through penetrations.
- 4) Installation of a Fire Alarm system requires a Knox Box to be installed per city crdinance
- 5) Application requires State Fire Marshal approval.

Comments:

4/14/2008-mes: received the permit today. Because this is in the PAD District, I called Donna Galuzzo @ SALT and told her that I

| | | | |
|---|--|---|--------------------------------|
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| Lessee/Buyer's Name Donna Galuzzo | Phone: 207-347-6252 | Permit Type: Alterations - Commercial | |

would need a better description of the classroom up front in the PAD restricted area so I could determine that the PAD requirements were being met. I gave her my e-mail

4/17/2008-mes: I received an e-mail back from Donna on 4/15/08 which further outlines how this project would meet the PAD requirements near the entry way.



Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Lee Urban- Director of Planning and Development
Marge Schmuckal, Zoning Administrator

Meeting Information

DATE: 2/20/08

LOCATION: 561 Congress St -

PEOPLE PRESENT: Donna - Paul ^{SMRT} - Marge - Deb A.

Nelle - Greg CASS - Chris Hanson - Barbara -

ZONE: B-3 - PAD

DISCUSSION:

The Salt Institute for Documentary Studies
wants to do facade work - to take back the front, to square off front
remove red granite entry & → "modern" Bay window
radio - photography - writing (tracts) 50 seats
front: A Gallery & interactive area - Auditorium - CLASS ROOMS in
interior steps & ramp - 1' grade change - The REAR
BATHROOMS will be accessible ^{ADA compliant}
30-35 students 12/15 - Students per TRACT
5 CLASSROOMS Discussed seating & aisles
Bldg is sprinklered
Discussed Signage
Discussed facade & history of it.

Please note: this meeting is not an pre-approval of any ordinances. No project can be approved without going thru the appropriate reviews. This meeting is only to outline the City processes to go through based on the information given at this meeting. Any changes to that information may change the process requirements. Please check ordinances that are on-line for further information at www.portlandmaine.gov.

From: Nelle Hanig
To: Barbara Barhydt; Deb Andrews; Gregory Cass; Jeanie Bourke; Marge Schmuckal
Date: 2/5/2008 10:10:52 AM
Subject: Salt Institute Rehab - 561 Congress

B-3, PAD

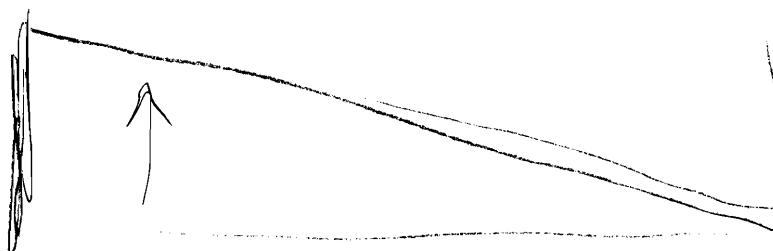
Hi All,

The Salt Institute for Documentary Studies is going to be moving into 561 Congress Street. They are working with SMRT Architects and plan a substantial renovation of the interior space (6,000 sf) and exterior storefront. Their time constraint is a need to be ready to move in by July so the school term can begin in September.

I would like to schedule a PREP with all of you next week so that Salt and their architect are clear on codes (fire and building), historic preservation perspectives, processes for review, etc.

Please let me know your availability for Monday thru Thursday of next week. Thank you for your quick response.Nelle

75% of the street level frontage multiplied by a
20' depth - Paul Stevens SMRT



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
Parcel ID 037 A038001
Location 565 CONGRESS ST
Land Use RETAIL & PERSONAL SERVICE

Owner Address PACHIOS HAROLD C & PENELOPE P CARSON ETAL
 565 CONGRESS ST RM 203
 PORTLAND ME 04101

Book/Page 15295/226
Legal 37-A-38
 CONGRESS ST 561-567
 15599 SF

B-3

Current Assessed Valuation

| Land | Building | Total |
|-----------|-------------|-------------|
| \$490,800 | \$1,125,800 | \$1,616,600 |

Building Information

| Bldg # | Year Built | # Units | Bldg Sq. Ft. | Identical Units |
|--------|------------|---------|--------------|-----------------|
| 1 | 1900 | 1 | 54544 | 1 |

| Total Acres | Total Buildings | Sq. Ft. | Structure Type | Building Name |
|-------------|-----------------|---------|----------------|---------------|
| 0.358 | 54544 | | DOWNTOWN ROW | STRAND BLDG. |

Exterior/Interior Information

| Section | Levels | Size | Use |
|---------|--------|-------|------------------|
| 1 | B1/B1 | 15005 | SUPPORT AREA |
| 1 | 01/01 | 7126 | RETAIL STORE |
| 1 | 01/01 | 8349 | MULTI-USE OFFICE |
| 1 | 02/02 | 13380 | MULTI-USE OFFICE |
| 1 | 03/03 | 10684 | MULTI-USE OFFICE |

| Height | Walls | Heating | A/C |
|--------|-------------|---------|---------|
| 8 | | NONE | NONE |
| 12 | BRICK/STONE | HOT AIR | CENTRAL |
| 10 | BRICK/STONE | HOT AIR | CENTRAL |
| 10 | BRICK/STONE | HOT AIR | CENTRAL |
| 10 | BRICK/STONE | HOT AIR | CENTRAL |
| | | NONE | NONE |
| | | NONE | NONE |
| | | NONE | NONE |

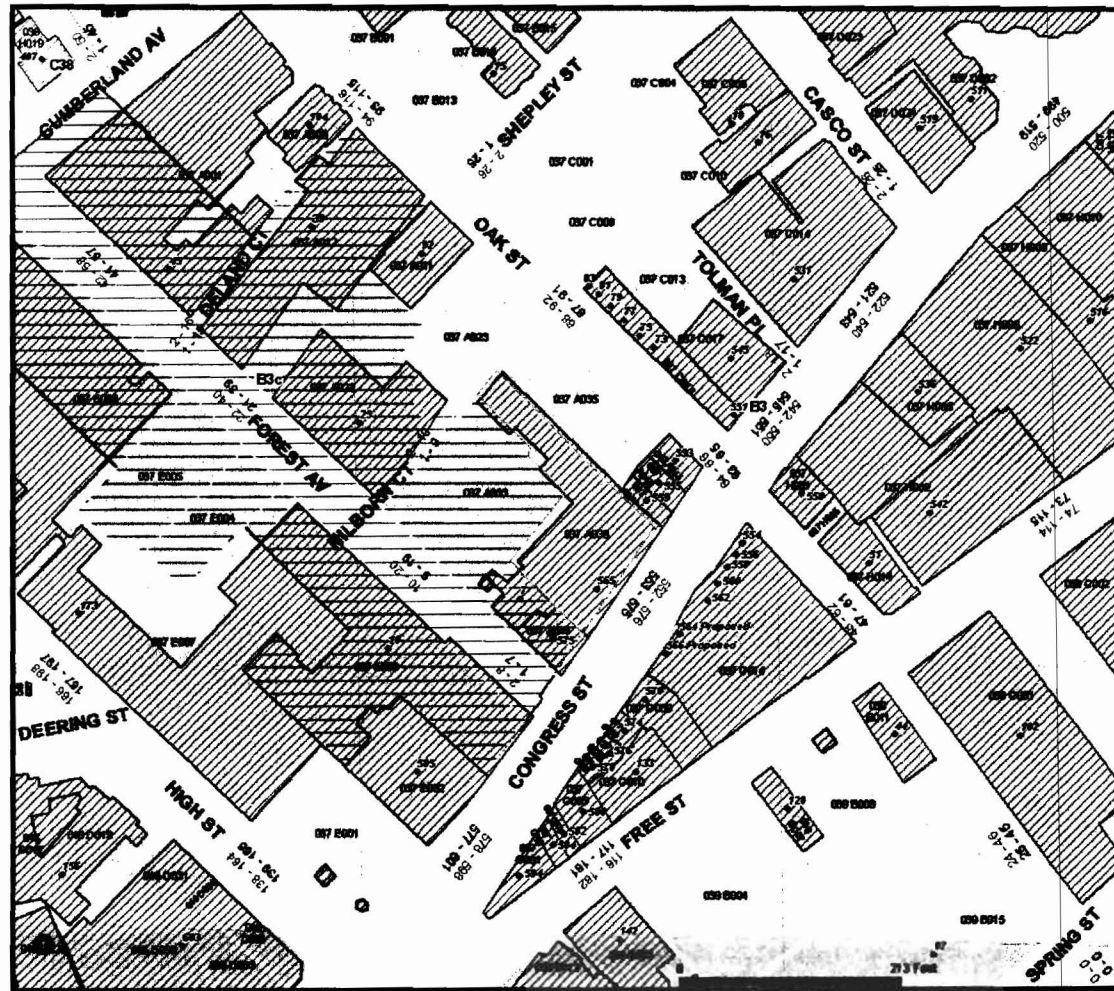
Building Other Features

| Line | Structure Type | Identical Units |
|------|---------------------------|-----------------|
| 2 | ELEVATOR - HYD. PASSENGER | 1 |
| 2 | STORE FRONT - AVG | 1 |
| 2 | SPRINKLER - WET | 1 |

Yard Improvements

| Year Built | Structure Type | Length or Sq. Ft. | # Units |
|------------|----------------|-------------------|---------|
|------------|----------------|-------------------|---------|





City of Portland
GIS



DISCLAIMER : This is a product of the City of Portland MIS Department. The data depicted here have been developed with cooperation from other federal, state and local agencies. The City of Portland expressly disclaims responsibility for damages or liability that may arise from the use of this map.

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City of Portland
389 Congress St.
Portland, Maine
04101



General Building Permit Application

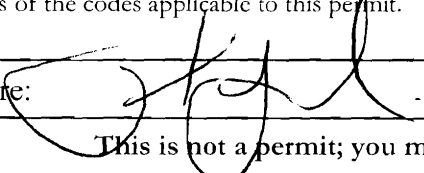
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

| | | |
|--|---|--|
| Location/Address of Construction: <u>561 CONGRESS ST, PORTLAND ME.</u> | | |
| Total Square Footage of Proposed Structure/Area <u>8095 SF</u> | | Square Footage of Lot <u>15,599 SF</u> |
| Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>37 A 38</u> | Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>Donna Galuzzo/SALT</u> Address <u>110 Exchange St</u> City, State & Zip <u>Portland, ME</u> | Telephone: <u>207.347 6252</u> |
| Lessee/DBA (If Applicable) <u>SALT Institute for Documentary Studies 110 Exchange St Portland, ME</u> | Owner (if different from Applicant) Name <u>Penelope Carson</u> Address <u>565 Congress St. RM 203</u> City, State & Zip <u>Portland, ME 04101</u> | Cost Of Work: \$ <u>450,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>4520</u> |
| Current legal use (i.e. single family) <u>COMMERCIAL</u> If vacant, what was the previous use? <u>COMMERCIAL</u> Proposed Specific use: <u>COMMERCIAL</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>Tenant Fit-up of storefront space @ 561 Congress St. New walls, ceilings, finishes</u> | | |
| Contractor's name: <u>Zachau Construction</u> Address: <u>1195 US Route 1</u> City, State & Zip <u>Freeport, ME 04032</u> Telephone: _____ Who should we contact when the permit is ready: <u>Jon Provost</u> Telephone: <u>207 865.9925</u> Mailing address: <u>PO Box J, Freeport, ME 04032</u> | | |

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:  Date: 4.11.8

This is not a permit; you may not commence ANY work until the permit is issue

From: Donna Galluzzo <dgalluzzo@salt.edu>
To: Marge Schmuckal <MES@portlandmaine.gov>
Date: 4/15/2008 9:00:37 AM
Subject: Hello Marge, Salt follow up

Hello Marge,
this is a follow up to our discussion yesterday.

I'd like to provide, at your request, a few more details about our space at 561 Congress St.

You were specifically interested in the classroom that will be a structure within our front gallery space.

First, I want to confirm that it is a classroom and at under 10% of the total area, it is an "accessory use" structure. We intend for there to be moveable seating only... seating 50 people. We are also looking at the option of removing some of the seating to include a more traditional classroom set up of table and chairs (comfortably seating 35? around a meeting table).

As you enter the space, you would immediately be able to see into the structure through a tempered glass window/wall. It's important to us that the public be able to see into the structure from the street as they walk by and from within the gallery as well.

The longest wall of the structure, which parallels a majority of the length of our gallery, we intend to be either glass doors of some kind that open or stationary glass walls/windows that allow visitors to see into the structure.

Again, it is our goal to show activity around the clock. Should we hold class or a lecture at night, we'd love for the public to see activity in that space.

During the day time, we envision that anyone walking by or walking in would be able to see activity within that classroom... whether it's from a class meeting or to walk in and look at student work on display.

I hope I've answered your questions and described the space aptly. Please contact me if you need any more details/information. I'd be happy to explain more.
All best, Donna Galluzzo

We're Moving!

For now, you can still find us on Exchange St...
but this summer we're moving to
561 Congress St. in Portland's Arts District
For more info & updates, check our website

Donna M. Galluzzo, Executive Director
The Salt Institute for Documentary Studies
207.347.6252
dgalluzzo@salt.edu
www.salt.edu
110 Exchange St., 2nd floor
PO Box 7800



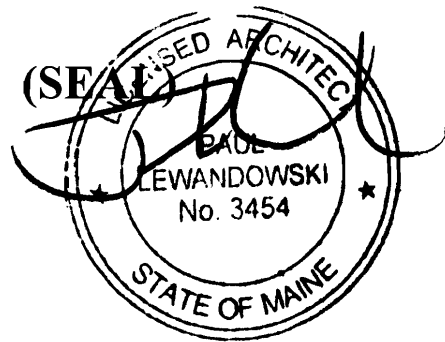
Accessibility Building Code Certificate


Designer: PAUL LEWANDOWSKI

Address of Project: 561 CONGRESS STREET, PORTLAND ME.

Nature of Project: RENOVATION OF TENANT SPACE FOR ART
GALLERY, CLASSROOMS, OFFICE AND ASSEMBLY
SPACE

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: 

Title: PRINCIPAL

Firm: SMRT

Address: 144 FORE STREET PO BOX 618
PORTLAND, ME 04104

Phone: (207) 772-3846

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

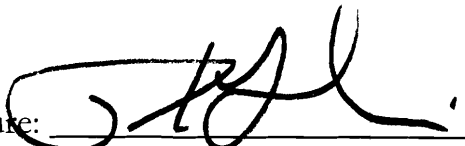
Date: MARCH 20, 2008

From: PAUL LEWANDOWSKI

These plans and / or specifications covering construction work on:

561 CONGRESS ST., PORTLAND ME.

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.

Signature: 

Title: PRINCIPAL

Firm: SMRT

Address: 144 FORE STREET PO BOX 618
PORTLAND, ME 04104

Phone: (207) 772 - 3846

(SEAL)

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design Application

From Designer: PAUL LEWANDOWSKI
Date: MARCH 20, 2008
Job Name: SALT INSTITUTE
Address of Construction: 561 CONGRESS STREET, PORTLAND MAINE

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2003 IBC Use Group Classification (s) B
Type of Construction TYPE 2B
Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC YES
Is the Structure mixed use? YES If yes, separated or non separated or non separated (section 302.3) SEPARATED
Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) NO

Structural Design Calculations

_____ Submitted for all structural members (106.1 – 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

| Floor Area Use | Loads Shown |
|----------------|-------------|
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |

Wind loads (1603.1.4, 1609)

_____ Design option utilized (1609.1.1, 1609.6)
_____ Basic wind speed (1809.3)
_____ Building category and wind importance Factor, w
table 1604.5, 1609.5)
_____ Wind exposure category (1609.4)
_____ Internal pressure coefficient (ASCE 7)
_____ Component and cladding pressures (1609.1.1, 1609.6.2.2)
_____ Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

_____ Design option utilized (1614.1)
_____ Seismic use group ("Category")
_____ Spectral response coefficients, S_D & S_{D1} (1615.1)
_____ Site class (1615.1.5)

_____ Live load reduction
_____ Roof *live* loads (1603.1.2, 1607.11)
_____ Roof snow loads (1603.7.3, 1608)
_____ Ground snow load, P_g (1608.2)
_____ If $P_g > 10$ psf, flat-roof snow load P_f
_____ If $P_g > 10$ psf, snow exposure factor, C_e
_____ If $P_g > 10$ psf, snow load importance factor, I_f
_____ Roof thermal factor, C_t (1608.4)
_____ Sloped roof snowload, P_s (1608.4)
_____ Seismic design category (1616.3)
_____ Basic seismic force resisting system (1617.6.2)
_____ Response modification coefficient, R_f and
deflection amplification factor C_{d1} (1617.6.2)
_____ Analysis procedure (1616.6, 1617.5)
_____ Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

_____ Flood Hazard area (1612.3)
_____ Elevation of structure

Other loads

_____ Concentrated loads (1607.4)
_____ Partition loads (1607.5)
_____ Misc. loads (Table 1607.8, 1607.6.1, 1607.7,
1607.12, 1607.13, 1610, 1611, 2404)

The SALT Institute for Documentary

561 Congress Street Portland, ME

ABBREVIATIONS

| | | | |
|---------|---|-------|------------------------------------|
| AB | ANCHOR BOLT | L | ANGLE; LENGTH |
| AC, A/C | AIR CONDITIONING | LF | LEFT |
| ACCU | AIR CONDITIONING CONDENSER UNIT | LINO | SHEET LINOLEUM |
| ACPLAS | ACOUSTICAL PLASTER | LL | LIVE LOAD |
| ACT | ACOUSTIC CEILING TILE | LLH | LONG LEG HORIZONTAL |
| AFF | ABOVE FINISHED FLOOR | LLV | LONG LEG VERTICAL |
| AGG | AGGREGATE | LP | LIGHTING PANEL, LIQUIFIED PROPANE |
| ALT | ALTERNATE | MAX | MAXIMUM |
| AP | ACCESS PANEL | MB | MARKER BOARD |
| APROX | APPROXIMATE | MDO | MEDIUM DENSITY OVERLAY |
| ARCH | ARCHITECTURAL | MECH | MECHANICAL |
| BCX | BOTTOM CHORD EXTENSION | MFR | MANUFACTURER |
| BD | BOARD | MIN | MINIMUM |
| BIT | BITUMINOUS | MISC | MISCELLANEOUS |
| BLDG | BUILDING | MO | MASONRY OPENING |
| BLP | BORROWED LIGHT PANEL | MR | MOISTURE-RESISTANT |
| BO | BOTTOM OF | MUA | MAKE-UP AIR |
| BOF | BOTTOM OF FOOTING | N | NOSING |
| BOS | BOTTOM OF STEEL | NCB | NEW CATCH BASIN |
| BOT | BOTTOM | NDMH | NEW DRAIN MANHOLE |
| BRDG | BRIDGINGS | NFM | NEW FORCE MAINE |
| BRG | BEARING | NIC | NOT IN CONTRACT |
| BS | BOTH SIDES | NS | NEAR SIDE |
| BSE | BRICK SHELF ELEVATION | NSD | NEW STORM DRAIN LINE |
| C | CHANNEL | NSS | NEW SANITARY SEWER LINE |
| CB | CATCH BASIN; CHALKBOARD | NTS | NOT TO SCALE |
| CEM BD | CEMENTITIOUS BACKER BOARD | NW | NEW WATER LINE |
| CFM | CUBIC FEET PER MINUTE | OC | ON CENTER |
| CIP | CAST IN PLACE | OF | OF |
| CJ | CONTROL JOINT; CONSTRUCTION JOINT | OH | OVERHEAD |
| CL | CENTER LINE | PA | PUBLIC ADDRESS |
| CLL | CONTRACT LIMIT LINE | PAF | POWDER-ACTUATED FASTENER |
| CLR | CLEAR | PDU | POOL DEHUMIDIFICATION UNIT |
| CMU | CONCRETE MASONRY UNIT | PL | PLATE; PROPERTY LINE |
| COL | COLUMN | PLAM | PLASTIC LAMINATE |
| CONC | CONCRETE | PLF | POUNDS PER LINEAR FOOT |
| CONT | CONTINUOUS | PP | POWER PANEL |
| CT | CERAMIC TILE | PSF | POUNDS PER SQUARE FOOT |
| CUH | CABINET UNIT HEATER | PSI | POUNDS PER SQUARE INCH |
| D | DIAMETER | PT | PRESSURE-TREATED |
| DBL | DOUBLE | PVC | POLYVINYL CHLORIDE |
| DF | DRINKING FOUNTAIN | PVMT | PAVEMENT |
| DL | DEAD LOAD | R | RISER; RADIUS |
| DR | DISPLAY RAIL | RES | RESILIENT BASE |
| DTL | DETAIL | RD | ROOF DRAIN |
| DW | DISHWASHER | REINF | REINFORCED |
| DWG | DRAWING | REQ'D | REQUIRED |
| EA | EACH | RO | ROUGH OPENING |
| EF | EXHAUST FAN; EACH FACE | ROW | RIGHT OF WAY |
| EJ | EXPANSION JOINT | RR | RUB-RAIL |
| EL | ELEVATION | RTU | ROOFTOP UNIT (HVAC) |
| ELEC | ELECTRICAL | RUB | RADIAL RUBBER FLOORING |
| EDP | EDGE OF PAVEMENT | RVS | RADON VENT STACK |
| EPDM | ETHYLENE PROPYLENE DIENE MONOMER | SC | SOLID CORE |
| EQ | EQUAL | SF | SQUARE FOOT; SUPPLY FAN |
| EW | EACH WAY | SHT | SHEET |
| EWG | ELECTRIC WATER COOLER | SIM | SIMILAR |
| EXIST | EXISTING | SK | SHEAR KEY |
| EXP | EXPANSION | SN | SANITARY NAPKIN (DISPENSER) |
| EXT | EXTERIOR | SP | SPECIAL |
| FB | FLAT BAR | SS | STAINLESS STEEL |
| FBO | FURNISHED BY OTHERS | STA | STATION |
| FCO | FLOOR CLEAN-OUT | STL | STEEL |
| FD | FLOOR DRAIN | STRUC | STRUCTURAL |
| FE | FIRE EXTINGUISHER | T | TREAD |
| FF | FINISHED FLOOR; FAR FACE | TB | TACKBOARD |
| FFE | FINISHED FLOOR ELEVATION | T&B | TOP AND BOTTOM |
| FO | FRAMED OPENING | TBM | TEMPORARY BENCHMARK |
| FRP | FIBERGLASS REINFORCED PLASTIC | TCE | TOP CHORD EXTENSION |
| FS | FAR SIDE | TJ | TIE JOIST |
| FTG | FOOTING | TO | TOP OF |
| GA | GAUGE | TOC | TOP OF CONCRETE |
| GALV | GALVANIZED | TOF | TOP OF FOOTING |
| GB | GRAB BAR | TOM | TOP OF MASONRY |
| GC | GENERAL CONTRACTOR | TOP | TOP OF PIER |
| GDT | GYPSPUM DROP-IN TILE | TOS | TOP OF STEEL; TOP OF SLAB |
| GV | GRAVITY VENT | TOW | TOP OF WALL |
| GWB | GYPSPUM WALL BOARD | TP | TOILET PAPER (DISPENSER); TEST PIT |
| HC | HORIZONTAL | TS | TUBE STEEL |
| HORIZ | HORIZONTAL; HOLLOW CORE | TYP | TYPICAL |
| HM | HOLLOW METAL | UH | UNIT HEATER |
| HRU | HEAT RECOVERY UNIT | UNO | UNLESS NOTED OTHERWISE |
| H&V | HEATING AND VENTILATING | V | VENT PIPE; VERTICAL |
| HVAC | HEATING, VENTILATING AND AIR CONDITIONING | VB | VAPOR BARRIER |
| I | INCLUDED ANGLE | VCT | VINYL COMPOSITION TILE |
| ID | INSIDE DIAMETER | VERT | VERTICAL |
| IF | INSIDE FACE | VP | VISION PANEL |
| IJ | ISOLATION JOINT | VTR | VENT THROUGH THE ROOF |
| IMP | IMPACT RESISTANT | W | WITH |
| INS | INSULATED | WC | WATER CLOSER |
| INV | INVERT | WF | WIDE FLANGE |
| JS | JOIST SUBSTITUTE | WH | WATER HEATER |
| K | KIPS | WIO | WITHOUT |
| | | WP | WORKING POINT |
| | | WS | WEB STIFFENER |
| | | WWF | WELDED WIRE FABRIC |

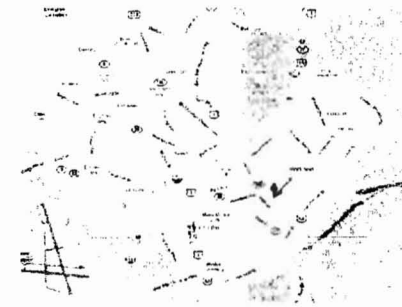
SYMBOLS

| | |
|--|---------------------------------|
| | BUILDING SECTION |
| | WALL SECTION |
| | DETAIL |
| | EXTERIOR ELEVATION |
| | INTERIOR ELEVATION |
| | COLUMN BUBBLE AND CENTER LINE |
| | ROOM NAME ROOM NUMBER |
| | LEVEL LINE |
| | CIRCLE NOTE |
| | WINDOW TAG |
| | PARTITION TAG |
| | DOOR TAG |
| | BACKER ROD AND SEALANT |
| | SEMI-RECESSED FIRE EXTINGUISHER |

DRAWING LIST

| General | |
|---------------|---|
| G001 | COVER SHEET, WALL TYPES, SYMBOLS, ABBREVIATIONS MOUNTING HEIGHTS |
| Architectural | |
| A-001 | CODE COMPLIANCE STRATEGY |
| AD101 | DEMO PLAN |
| AE101 | FLOOR PLAN & REFLECTED CEILING PLAN |
| AE201 | ELEVATIONS & SECTIONS |
| AE401 | ENLARGED PLANS & DETAILS |
| AE402 | ENLARGED PLANS & DETAILS |
| AE403 | CLASSROOM (ANDRE) PLAN & DETAILS |
| AE501 | DETAILS |
| AE801 | FINISH SCHEDULE & DETAILS |
| AE811 | DOOR SCHEDULE & DETAILS |

LOCATION MAP



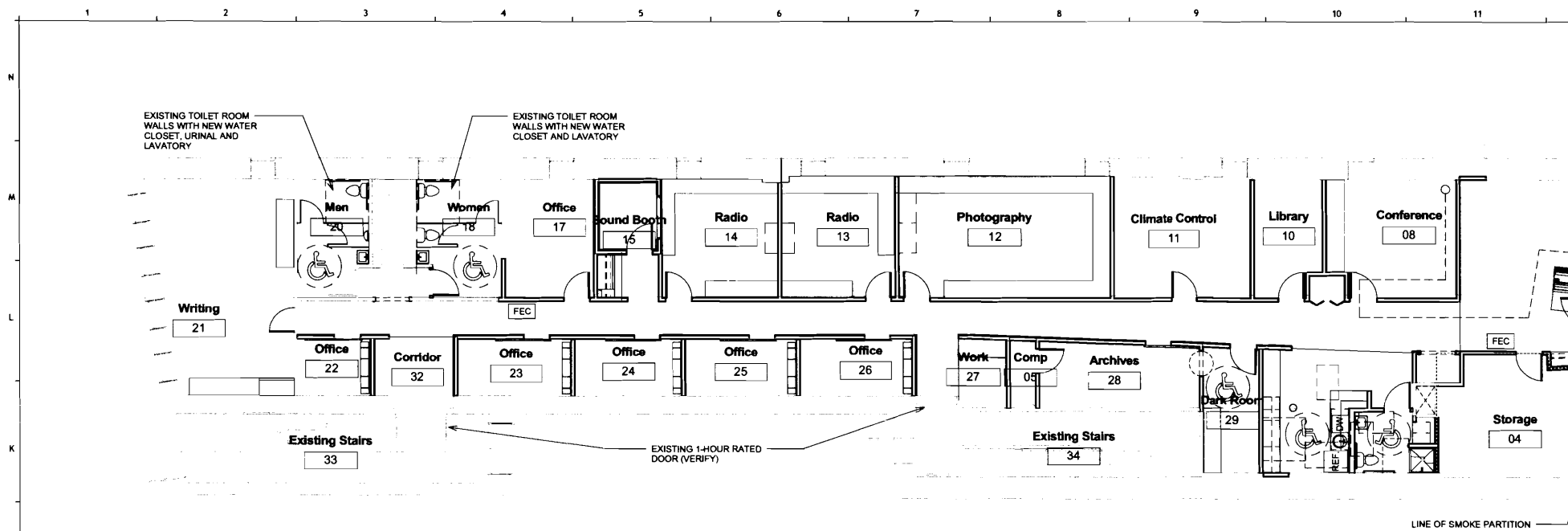
08034

PARTION LEGEND

| | | | | |
|--|---|---|---|---|
| | | | | |
| <p>TYPE 1</p> <p>3-5/8" METAL STUDS SPACED 16" O.C. (1) LAYER 5/8" GWB EACH SIDE. SEAL TIGHT TO STRUCTURE AND DECK. PROVIDE FIBERGLASS BATT INSULATION FULL DEPTH OF STUDS. PROVIDE ACOUSTICAL SEALANT AT TOP AND BOTTOM OF WALL PER SPECIFICATIONS. WALL SHALL HAVE MINIMUM STC RATING OF 45</p> | <p>TYPE 1B</p> <p>3-5/8" METAL STUDS SPACED 16" O.C. (3) LAYER 5/8" GWB TO DECK EACH SIDE. SEAL TIGHT TO STRUCTURE AND DECK. PROVIDE FIBERGLASS BATT INSULATION FULL DEPTH OF STUDS. PROVIDE ACOUSTICAL SEALANT AT TOP AND BOTTOM OF WALL PER SPECIFICATIONS. WALL SHALL HAVE MINIMUM STC RATING OF 55</p> | <p>TYPE 1C</p> <p>3-5/8" METAL STUDS SPACED 16" O.C. (3) LAYER 5/8" GWB TO DECK EACH SIDE. SEAL TIGHT TO STRUCTURE AND DECK. PROVIDE FIBERGLASS BATT INSULATION FULL DEPTH OF STUDS. PROVIDE ACOUSTICAL SEALANT AT TOP AND BOTTOM OF WALL PER SPECIFICATIONS. WALL SHALL HAVE MINIMUM STC RATING OF 55</p> | <p>TYPE 2</p> <p>3-5/8" METAL STUDS SPACED 16" O.C. 1 LAYER 1/2" POLYCARBONATE AND 1" FURRING AND 1 LAYER OF 1/2" POLYCARBONATE. SEAL TIGHT TO STRUCTURE AND DECK.</p> | <p>TYPE 3</p> <p>3-5/8" METAL STUDS SPACED 16" O.C. 1 LAYER 1/2" FURRING AND 1 LAYER 1/2" POLYCARBONATE AND 1" GYPSPUM WALL BOARD.</p> |

SYSTEM NOTES:

- MEP DOCUMENTS ARE DESIGN BUILD AND TBD
- ALL EMERGENCY LIGHTING TO BE PER NFPA101. ALL POWER AW WITH ALL APPLICABLE ADOPTED LOCAL CODES
- ALL SPRINKLER SYSTEMS MODIFICATIONS TO BE COMPLIANT W EXISTING SPRINKLER HEADS TO MATCH NEW LAYOUT.



① First Floor Plan
1/8" = 1'-0"

CODES AND STANDARDS APPLICABLE TO SCOPE OF PROFESSIONAL SERVICES REQUESTED

LIFE SAFETY CODE
 NFPA, INCLUDING 101 LIFE SAFETY CODE, 2003 EDITION
 AUTHORITY HAVING JURISDICTION
 MAINE DEPARTMENT OF PUBLIC SAFETY
 STEPHEN DODGE, PLANS REVIEW INSPECTOR
 FIRE MARSHAL'S OFFICE
 45 COMMERCE DRIVE, SUITE 1
 AUGUSTA, ME 04330
 207-626-3884

BUILDING CODE
 THE INTERNATIONAL BUILDING CODE (IBC), 2003 EDITION
 AUTHORITY HAVING JURISDICTION
 CITY OF PORTLAND
 PORTLAND CITY HALL
 PLANNING AND DEVELOPMENT DEPARTMENT
 380 CONGRESS STREET
 PORTLAND, ME 04101
 207-874-8683

HANDICAPPED ACCESSIBILITY STANDARD
 AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES
 AUTHORITY HAVING JURISDICTION
 STEPHEN DODGE, PLANS REVIEW INSPECTOR
 FIRE MARSHAL'S OFFICE
 45 COMMERCE DRIVE, SUITE 1
 AUGUSTA, ME 04330
 207-626-3884

OTHER REFERENCES
 NONE

BASIC LIFE SAFETY AND BUILDING CODE CRITERIA

DESCRIPTION OF BUILDING FUNCTION
 EXISTING MULTISTORY COMMERCIAL BUILDING. THE WORK OF THIS CONTRACT INCLUDES FIT UP FOR THE TENANT, A DOCUMENTARY STUDIES INSTITUTE, ON THE FIRST FLOOR ONLY.

OCCUPANT CLASSIFICATION(S)
 NFPA 101: EXISTING BUSINESS OCCUPANCY (CHAPTER 34)

USE GROUP CLASSIFICATION(S)
 IBC: GROUP B

INCIDENTAL USE AREAS AND SPECIAL HAZARD PROTECTION AREAS (IBC, TABLE 302.1)

| DESCRIPTION | SEPARATION |
|--------------------|------------|
| STORAGE > 100 S.F. | SPRINKLERS |

SPECIAL USE AND OCCUPANCY
 NONE IDENTIFIED

OTHER PORTIONS OF THE BUILDING TO RECEIVE FIRE SEPARATION/PROTECTION MEASURES

| DESCRIPTION | SEPARATION |
|----------------|-------------------------------|
| TEL/DATA ROOMS | SPRINKLERS + SMOKE PARTITIONS |

ACCESSORY USE AREAS (IBC, 302.2)
 ASSEMBLY (LESS THAN 10% OF THE AREA OF EACH STORY = NON-SEPARATED)
 CONFERENCE ROOM
 BREAK ROOM
 CLASSROOM

TYPE OF CONSTRUCTION
 HEAVY TIMBER, MASONRY (EXTERIOR WALLS), STOREFRONT

NFPA: NO REQUIREMENTS
 IBC: IV, HEAVY TIMBER

BUILDING WILL BE PROTECTED THROUGHOUT BY AUTOMATIC FIRE SPRINKLER SYSTEMS IN CONFORMANCE WITH NFPA 13.

MINIMUM FIRE RESISTANCE RATINGS OF STRUCTURE ELEMENTS (IBC, TABLE 601 & NFPA 220, TABLE 3-1)

| ELEMENT 2R/II(000) | RATING |
|---|--------------|
| STRUCTURAL FRAME | HT |
| BEARING WALLS | 0 HOUR |
| NONBEARING WALLS | 0 HOUR |
| FLOOR CONSTRUCTION | 0 HOUR |
| ROOF CONSTRUCTION | 0 HOUR |
| FIRE SEPARATION ASSEMBLIES | |
| EXIT ENCLOSURES (IBC, 1019.1) | 1 HOURS |
| SHAFTS & ELEVATOR HOISTWAYS (IBC, 707.4) | 1 HOURS |
| MIXED-USE SEPARATIONS | N/A |
| EXIT ACCESS CORRIDORS (IBC, TABLE 1016.1) | 0 HOUR |
| TENANT SPACES SEPARATION | NOT REQUIRED |
| SMOKE BARRIER | NOT REQUIRED |

BUILDING HEIGHT (IBC, TABLE 503)
 B

SPRINKLER INCREASE (IBC, 504.2)
 ALLOWABLE [4 +1]
 ACTUAL
 3 STORIES

BUILDING AREA
 B

FRONTAGE INCREASE
 SPRINKLER INCREASE (IBC, 506.3)
 ALLOWABLE (IBC, TABLE 503)
 ACTUAL
 36,000 S.F./FLR. X (2) = 72,000 S.F.

FIRST FLOOR
 EXISTING
 ADDITION
 TOTAL BUILDING
 7782 S.F.
 312 S.F.
 8094 S.F.

BASIC LIFE SAFETY AND BUILDING CODE CRITERIA (CONTINUED)

MEANS OF EGRESS
 OCCUPANT LOAD = (8094/100)
 FIRST FLOOR = 81

MINIMUM NUMBER OF EXITS
 (IBC, TABLE 1018.1) = 2 (INCLUDING ALL ROOMS AND AREAS WITH OVER 50 OCCUPANTS)
 NFPA = B-3

EXIT ACCESS DIMENSIONS

| | B |
|-------------------------------|---------|
| CORRIDORS | 44 IN. |
| DOORS MINIMUM CLEARWIDTH | 32 IN. |
| DEAD-END CORRIDOR MAXIMUM | 50 FT. |
| COMMON PATH OF TRAVEL MAXIMUM | 100 FT. |
| TRAVEL DISTANCE MAXIMUM | 300 FT. |

ILLUMINATION OF MEANS OF EGRESS
 EGRESS WILL BE ILLUMINATED BY BATTERY TYPE LIGHT FIXTURES.

PROTECTION FROM HAZARDS
 WATER BASED AUTOMATIC FIRE PROTECTION SYSTEM CONFORMING WITH NFPA 13, TYPICAL THROUGHOUT THE BUILDING UNLESS NOTED OTHERWISE

EXTINGUISHMENT
 PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA 101, SECTION 9.7.4.1.

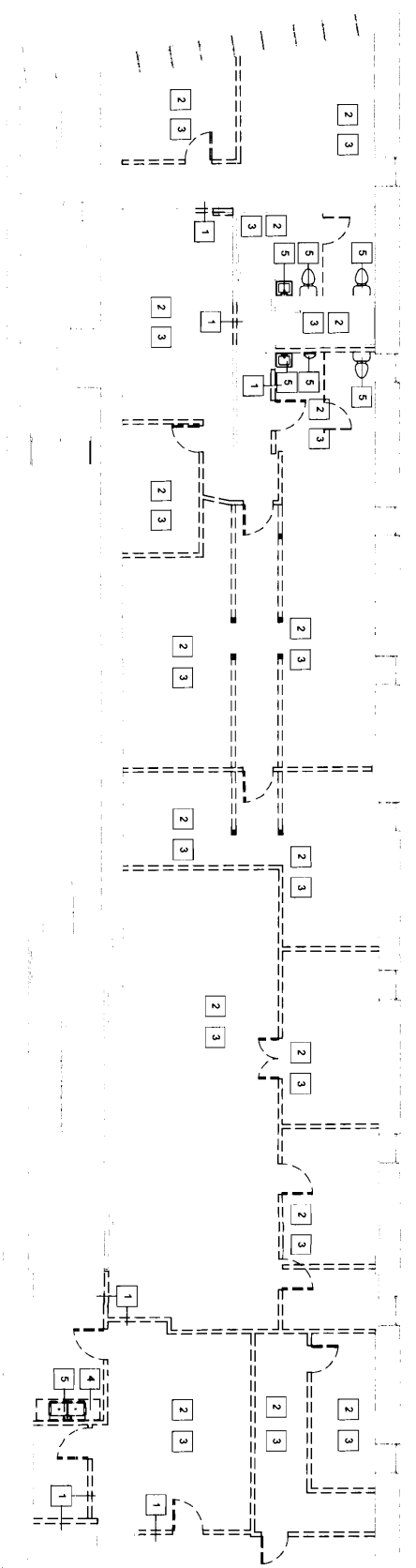
INTERIOR FINISH

| WALL AND CEILING FINISHES | EXITS | CORRIDORS | ROOMS |
|----------------------------------|-------|-----------|-------|
| USE GROUP B | 0-75 | 26-75 | 26-75 |
| FLAME SPREAD (ASTM E84) | 0-450 | 0-450 | 0-450 |
| SMOKE DEVELOPMENT (NFPA 255) | | | |
| FLOOR FINISHES | | | |
| USE GROUP B EXITS | | | |
| CRITICAL RADIANT FLUX (NFPA 253) | | | |

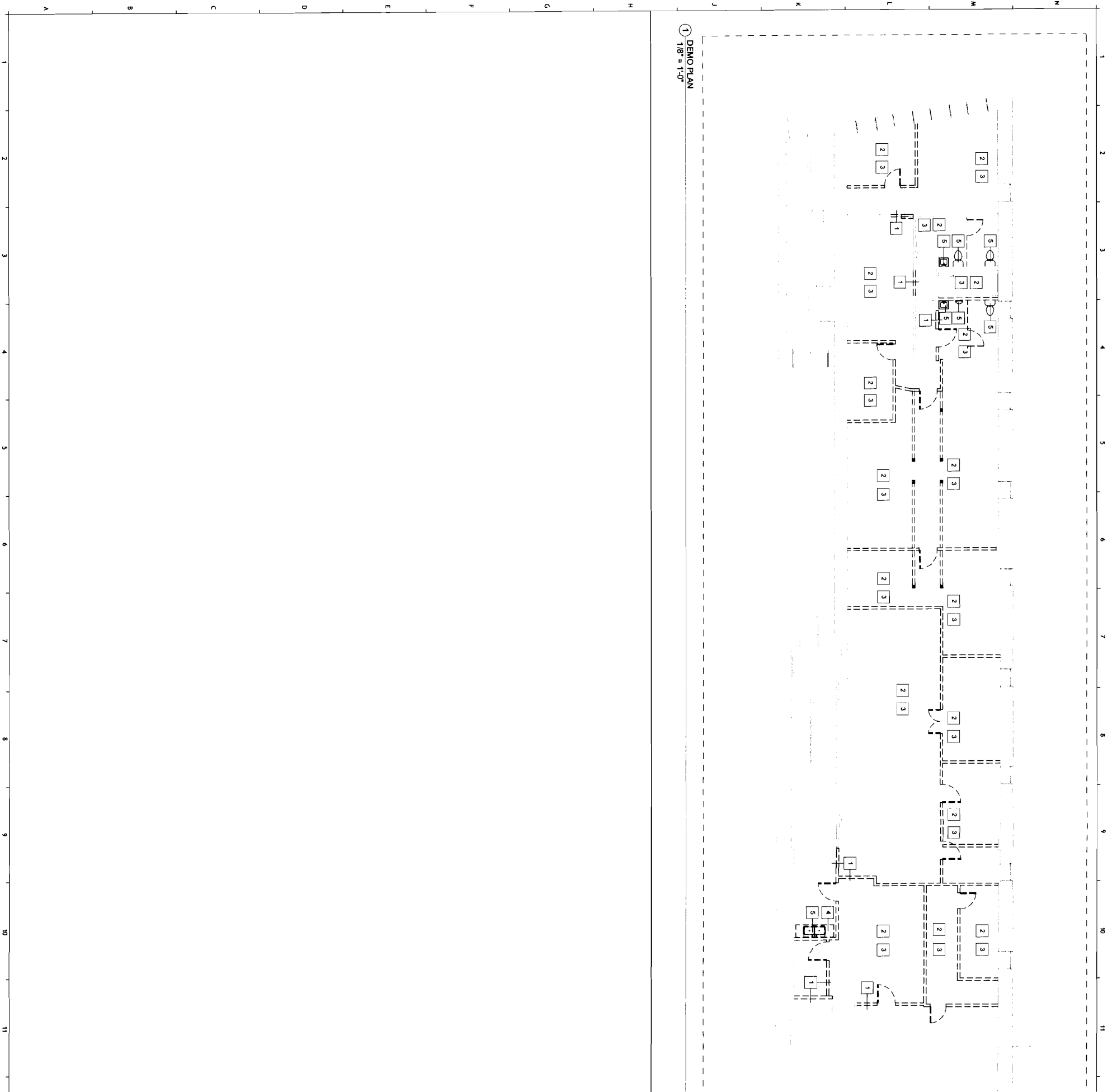
DETECTION, ALARM AND COMMUNICATION SYSTEMS
 FIRE ALARM SYSTEM REQUIRED IN ACCORDANCE WITH NFPA 101, SECTION 906

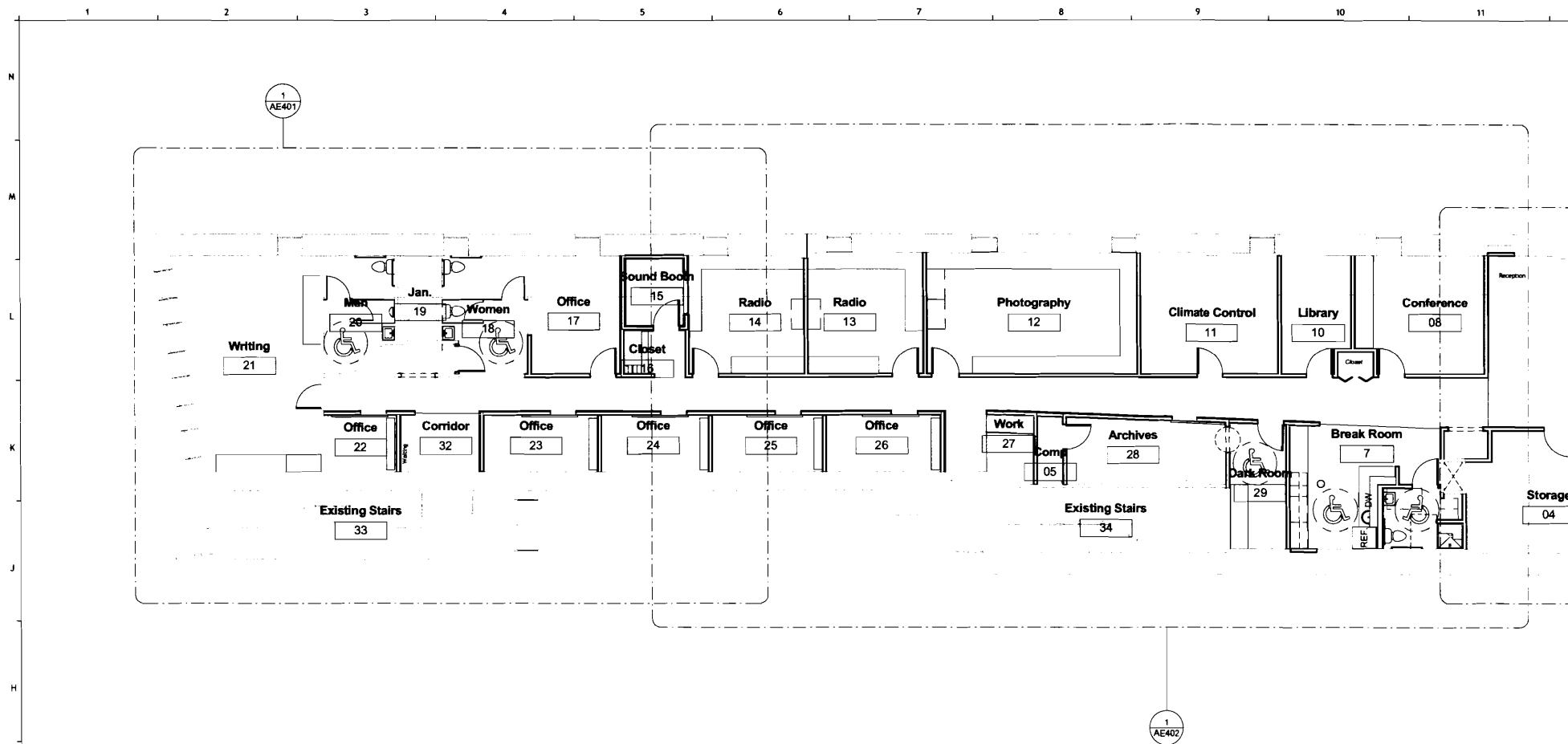
FURNISHINGS
 NO REQUIREMENTS

BASIC LIFE SAFETY AND BUILDING CODE COMPLIANCE STRATEGY REPORT

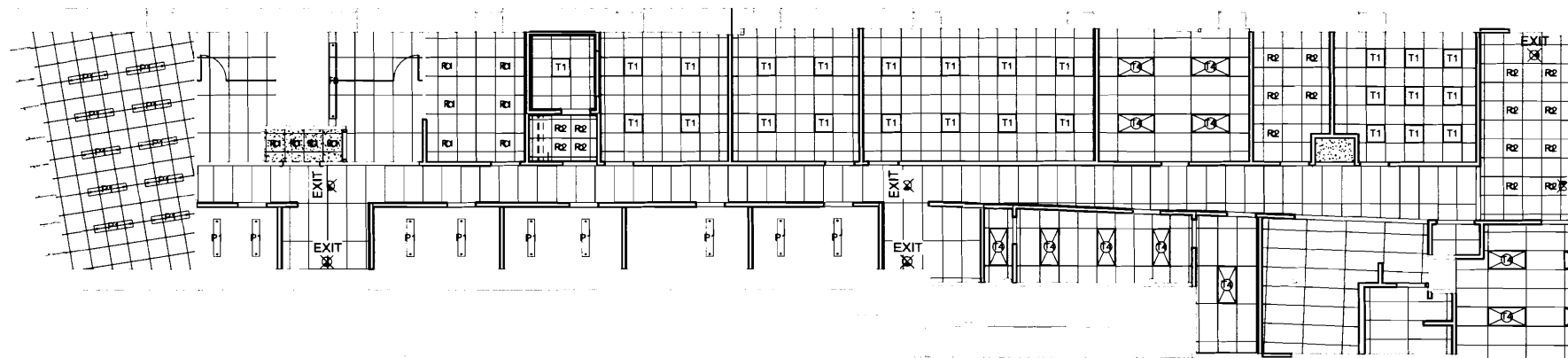


① DEMO PLAN
1/8" = 1'-0"





① FLOOR PLAN
1/8" = 1'-0"



② REFLECTED CEILING PLAN
1/8" = 1'-0"

REFLECTED CEILING NOTES:

1. FIRE SPRINKLERS SHALL BE LOCATED IN ALIGNMENT WITH OTHER CEILING ITEMS, TYPICALLY.
2. FIRE SPRINKLERS SHALL BE CENTERED IN CEILING TILE.
3. FIRE SPRINKLERS SHALL BE PLACED TO COORDINATED WITH LIGHT FIXTURE POSITIONS INDICATED.
4. ALIGN CEILING ITEMS AS SHOWN, WITH COMMON CENTERLINES, TYPICALLY. CENTER ITEMS IN CEILINGS, OR IN AREAS UNLESS INDICATED OTHERWISE.
5. REFER TO ROOM FINISH SCHEDULE FOR CEILING HEIGHTS AND CEILING FINISHES TO BE PROVIDED.
6. EXCEPTS WHERE INDICATED, CENTER CEILING GRIDS IN ROOMS. USE HALF TILES OR GREATER AT PERIMETERS AS POSSIBLE.
7. PROVIDE ACCESS PANELS AS REQUIRED IN GWB CEILINGS FOR ACCESS TO MECHANICAL VALVES/CONTROLS.

KEYED NOTES:

SYMBOL LEGEND

- 2X2 SUSPENDED CEILING PANEL AND GRID ASSEMBLY
- 2X4 SUSPENDED CEILING PANEL AND GRID ASSEMBLY
- GWB CEILING
- CEILING MOUNTED EXIT LIGHT

③ RCP SYMBOL LEGEND
1/8" = 1'-0"

| Type Mark | |
|-----------|-------------------------|
| P1 | Suspended_Linear- |
| R1 | Downlight - Recessed |
| R2 | Downlight - Recessed |
| T1 | Ceiling - Linear Box |
| T3 | Suspended_Linear- |
| T4 | Troffer - 2x4 Parabolic |
| TR | Track_light_adjustal |