

37-A-23

2008-0185

84 Oak St.

Garage
Archetype

on Spreadsheet

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Planning Copy**

2008-0185
Application I. D. Number

12/31/2008
Application Date

Garage
Project Name/Description

Bill Hopkins/ Archetype
Applicant

48 Union Wharf, Portland, ME 04101
Applicant's Mailing Address

Consultant/Agent
Applicant Ph: (207) 772-6022 Applicant Fax: (207) 772-4056
Applicant or Agent Daytime Telephone, Fax

84 - 84 Oak St, Portland, Maine
Address of Proposed Site
037 A023001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Apt 0 Condo 0 Other (specify) _____

Proposed Building square Feet or # of Units 17135 Acreage of Site 0 Proposed Total Disturbed Area of the Site 0 Zoning B3

Check Review Required:

- | | | | |
|---|---|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Zoning Conditional - PB | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> Design Review |
| <input type="checkbox"/> Amendment to Plan - Board Review | <input type="checkbox"/> Zoning Conditional - ZBA | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation |
| <input type="checkbox"/> Amendment to Plan - Staff Review | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Site Location |
| <input type="checkbox"/> After the Fact - Major | <input type="checkbox"/> Stormwater | <input type="checkbox"/> Traffic Movement | <input type="checkbox"/> Housing Replacement |
| <input type="checkbox"/> After the Fact - Minor | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan \$400.00 Subdivision _____ Engineer Review _____ Date 12/31/2008

Planning Approval Status:

Approved Approved w/Conditions See Attached Denied
Reviewer _____
Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached
 OK to Issue Building Permit _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------------|--|-----------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date | _____ amount | _____ expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ date | _____ amount | |
| <input type="checkbox"/> Building Permit Issue | _____ date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ date | _____ remaining balance | _____ signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ date | <input type="checkbox"/> Conditions (See Attached) | _____ expiration date |
| <input type="checkbox"/> Final Inspection | _____ date | _____ signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ date | _____ signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ submitted date | _____ amount | _____ expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ date | _____ signature | |

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Parks Copy**

2008-0185
Application I. D. Number

12/31/2008
Application Date

Garage
Project Name/Description

Bill Hopkins/ Archetype
Applicant
48 Union Wharf, Portland, ME 04101
Applicant's Mailing Address

Consultant/Agent
Applicant Ph: (207) 772-6022 Applicant Fax: (207) 772-4056
Applicant or Agent Daytime Telephone, Fax

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| <input type="checkbox"/> Amendment to Plan - Staff Review | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Site Location |
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Parks Approval Status:

Approved Approved w/Conditions See Attached Denied
Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

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<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

MEMORANDUM

To: FILE

From: Marge Schmuckal

Dept: Zoning

Subject: Application ID: 2008-0185

Date: 1/6/2009

These initial comments are from a "hopper review" look at the submitted plans.

This property is located in a B-3 Downtown Business Zone. It is an existing parking lot. The applicant is proposing to take three of the rear parking spaces and enclose them with a structure for two parking spaces, a storage loft and a separate room for a use that was not given in the application. I would like a little more information on the extra room (what use?).

The scaled height of the building is 16'. This structure does not need to meet the minimum height requirement of 35' as outlined in two exemptions. The structure is over 50' back from the street line and 14-220(h) exempts "covered parking".

Section 14-220(b)(5) states that even a minor site plan review for "surface parking" requires a conditional use appeal approval from the Planning Board. I would suggest that this proposal does not fall under the description of "surface parking". The existing parking is proposed to be enclosed with a structure and would not then be considered "surface parking". Therefore I would contend that this proposal would not need a conditional use approval from the Planning Board under this section.

Section 14-220(c) "Streetwall build-to line" : A building or structure shall be located within 5' of the property street line unless the Planning Board approves the additional distance to comply with the site plan requirements of 14-526(a)(16). The proposed structure is located well beyond the 5' streetwall build-to line requirements.

Marge Schmuckal
Zoning Administrator

772-6022

gough@archetypepa.com

**COVERED GARAGE/STORAGE
84-88 OAK ST.**

**REQUEST TO EXCEED MAXIMUM SETBACKS IN SECTION 14-220(C) DIMENSIONAL
REQUIREMENTS OF DIVISION 12 B-3, B-3b AND B-3c DOWNTOWN BUSINESS ZONE
TOM MOULTON, APPLICANT**

Submitted to:

Portland Planning Board
Portland, Maine
February 24, 2009

Prepared by:

Eric Giles, AICP, Planner
February 18, 2009

I. INTRODUCTION

This is a report to the City of Portland Planning Board regarding a request to exceed maximum setbacks in the Downtown Business Zone for the purpose of constructing a 748 square foot covered garage by Tom Moulton. This proposal will construct a two car garage on an existing parking lot setback in excess of 5 ft. from the Oak St. Street Wall Build-To-Line. The garage is proposed on .4 acres and is being reviewed under Portland's Site Plan Ordinance Section 14-526 (16)(b)(2). The property is located in a B-3 Downtown Business Zone.

Due to the fact the application is a request for exceeding the maximum setback requirement a Planning Board workshop and neighborhood meeting is not required.

Applicant: Tom Moulton
Technical Assistance: Bill Hopkins, Archetype

A. Public Notice:

145 notices were mailed announcing this Public Hearing and the legal ad appeared in the Portland Press Herald February 17 and 18, 2009. As of the writing of this report no public comment has been received.

B. Site Location:

Proposed Garage/Storage

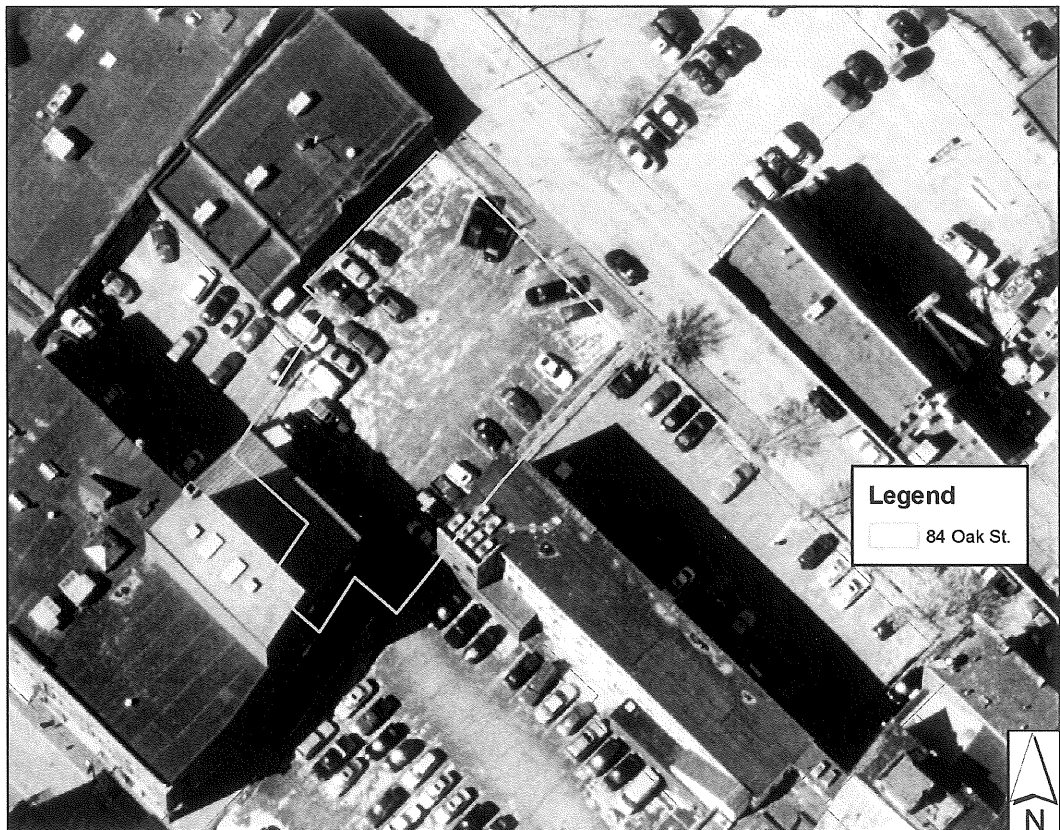


Figure #1

75 37.5 0 75 Feet

The site is located off Oak St. and can be accessed via an internal driveway.

C. Existing Land Use:

The current use of the property is a parking lot with 27 existing spaces. 20 spaces within the parking lot are dedicated to the tenants of Winslow Lofts - 545 Congress St. Other users of the parking lot include 511 Congress St. and the Pine Tree Telephone Company.

II. PROJECT DATA

Zone	B-3 Downtown Business
Parcel Size	.39 acres
Parking Spaces	<i>Existing: 27</i>
	<i>Proposed: 26</i>
Bicycle Parking	<i>N/A</i>
Building Floor Area	<i>Proposed: 748 sq. ft.</i>
Building Height	<i>Maximum: N/A – Accessory Building</i>
	<i>Proposed: 16 ft.</i>
Adjacent Zoning and Land Uses	<i>North: B-3, Parking Lot</i>
	<i>South: B-3, Retail, Restaurant</i>
	<i>East: B-3, Parking Lot</i>
	<i>West: B-3, Office, Parking Lot</i>

III. PROPOSED DEVELOPMENT

The applicant proposes to build a covered parking structure approximately 100’ from Oak St. The 748 square foot structure will accommodate two parking spaces and overhead storage.

IV. STAFF REVIEW

The proposed 748 square foot garage has been reviewed by staff for conformance with the zoning regulations and review standards of the site plan ordinance. The site plan meets the site plan standards for a minor development, except that the request for a waiver from the build-to line must be reviewed by the Planning Board. The focus of this review is on the applicant’s request to construct the two-car garage within an existing parking lot at the rear of the lot and approximately 100 feet from the right-of-way line for Oak Street.

A. ZONING

The project site is located in a B-3 Business Development zoning district. The site plan has been reviewed by the Zoning Administrator for compliance with Chapter 14 Land Use, Article III Zoning of the City of Portland Code of Ordinances.

1. The Zoning Administrator found the proposal does not comply with Section 14-220(c) Street Wall Build-to-Line because the garage structure will be located beyond 5’ of the property line along Oak St. The structure may exceed the maximum setback requirements based upon Planning Board approval that the structure meets the standards of Section 14-526(a)(16) of the Site Plan Ordinance.
2. Marge Schumckal, Zoning Administrator, found that the structure is exempted from meeting the B-3 minimum height requirement and that the proposal does not constitute surface parking, so a conditional use appeal is not required (Attachment 1).

B. SECTION 14-526(a)(16) OF THE SITE PLAN ORDINANCE

The Planning Board may allow a proposed development to exceed maximum setbacks as required in Section 14-220(c) only where the applicant demonstrates that the introduction of increased building setbacks at the street level:

- a. **Provides substantial and viable publicly accessible open space or other amenity;**
The existing use of the property is a parking lot and is intended to accommodate off-street vehicular parking. The introduction of a covered garage structure maintains the use of the property as a viable parking lot and an amenity for the tenants of Winslow Lofts Condominiums.
- b. **Does not substantially detract from the prevailing street wall character;**
Adjacent land uses in the vicinity of the site include off-street parking lots. The street wall character of the area is sidewalks adjacent to open parking lots. The proposed setback does not detract from the prevailing street wall character.
- c. **Does not detract from existing publicly accessible open space by creating an excessive amount of open space;**
No adjacent publicly accessible open spaces exist.
- d. **The area of setback is of high quality and character of design and of acceptable orientation to solar access and wind impacts as to be attractive to pedestrian activity.**
The area of the setback will maintain the character of the site as an off-street parking lot. The height of the structure and the proposed setback will not detract from pedestrian activity.

V. STAFF RECOMMENDATION

This garage is an incidental and accessory structure, and was not the type of building that was intended to be governed by this build-to requirement. More recent zoning requirements, like minimum building height, have been drafted with more selectivity, and this project is properly exempt from that requirement. We believe that the project meets the intent of the provisions noted above allowing the Planning Board to approve the proposed location, and we encourage the Board to approve this item.

VI. MOTIONS FOR THE BOARD TO CONSIDER

On the basis of plans and materials submitted by the applicant and on the basis of information contained in Planning Report #08-09 relevant to standards for site plan regulations, and other findings as follows:

- 1. The Planning Board finds that the application *(is/is not)* in compliance with the provisions of Article V, Site Plan Regulations § 14-526 (16)(b)(2) *Standards for increasing setback beyond the street build-to-line of five feet to approximately 100' from Oak St. The applicant shall submit to the Planning Authority right title or interest.*

Attachments:

- 1. Marge Schmuckal, review dated 1/6/2009
- A. Applicant Submittal
 - 1. Application
 - 2. Site Plan

5-0

MEMORANDUM

To: FILE
From: Marge Schmuckal **Dept:** Zoning
Subject: Application #D: 2008-0185
Date: 1/6/2009

These initial comments are from a "hopper review" look at the submitted plans.

This property is located in a B-3 Downtown Business Zone. It is an existing parking lot. The applicant is proposing to take three of the rear parking spaces and enclose them with a structure for two parking spaces, a storage loft and a separate room for a use that was not given in the application. I would like a little more information on the extra room (what use?).

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Marge Schmuckal
Zoning Administrator

A. Applicant Submittal

- 1. Application**
- 2. Site Plan**

December 30, 2008

City of Portland Planning Department
Portland City Hall
389 Congress Street
Portland, Maine 04101

RE: 84-88 Oak Street – Tom Moulton – Storage Garage

We are submitting Site Plan Review documents for the above mentioned project.

Please call with any questions.

Sincerely,



William Hopkins
Architect

- Enclosures:
- Site Plan Application
 - Copy of Deed
 - A1. Site Plan
 - A2 Plans and Elevations
 - S.0 General Notes
 - S.1 Foundation Plan
 - S.2 Storage Loft Framing Plan
 - S.3 Roof Framing Plan
 - S.3 Sections
 - S.5 Sections
 - Survey Plan



Development Review Application Portland, Maine

Department of Planning and Development, Planning Division and Planning Board

Address of Proposed Development: 84-88 Oak Street		
Zone: B3		
Project Name: Garage		
Existing Building Size: _____ sq. ft.	Proposed Building Size: 748 sq. ft.	
Existing Acreage of Site: 17135 sq. ft.	Proposed Acreage of Site: 17135 sq. ft.	
Proposed Total Disturbed Area of the Site: _____ sq. ft. *		
* If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) or Chapter 500, Stormwater Management Permit with the Maine Department of Environmental Protection (DEP).		
Tax Assessor's Chart, Block & Lot: Chart # 37 Block # A Lot # 23	Property Owners Name/ Mailing address: Tom Moulton 547A Congress St. 6th Floor Portland, ME 04101	Telephone #: (207) 450-7100 Cell Phone #: (207) 450-7100
Consultant/Agent Name, Mailing Address, Telephone #, Fax # and Cell Phone # : Bill Hopkins Archetype 48 Union Wharf Portland, ME T: (207) 772-6022 F: (207) 772-4056	Applicant's Name/ Mailing Address: Bill Hopkins Archetype 48 Union Wharf Portland, ME	Telephone #: (207) 772-6022 Cell Phone #:
Fee for Service Deposit (all applications) _____ X (\$200.00)		
Proposed Development (check all that apply)		
<input checked="" type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail		
<input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot		
<input type="checkbox"/> Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____ + major site plan fee if applicable		
<input type="checkbox"/> Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____)		
<input type="checkbox"/> Traffic Movement (\$1,000.00) <input type="checkbox"/> Storm water Quality (\$250.00)		
<input type="checkbox"/> Section 14-403 Review (\$400.00 + \$25.00 per lot)		
<input type="checkbox"/> Other _____		
~ Please see next page ~		

Major Development (more than 10,000 sq. ft.)

- Under 50,000 sq. ft. (\$500.00)
- 50,000 - 100,000 sq. ft. (\$1,000.00)
- Parking Lots over 100 spaces (\$1,000.00)
- 100,000 - 200,000 sq. ft. (\$2,000.00)
- 200,000 - 300,000 sq. ft. (\$3,000.00)
- Over 300,000 sq. ft. (\$5,000.00)
- After-the-fact Review (\$1,000.00 + applicable application fee)

Minor Site Plan Review

- Less than 10,000 sq. ft. (\$400.00)
- After-the-fact Review (\$1,000.00 + applicable application fee)

Plan Amendments

- Planning Staff Review (\$250.00)
- Planning Board Review (\$500.00)

Billing Address: (name, address and contact information)

Tom Moulton
 547A Congress St. 6th Floor
 Portland, ME 04101


Submittals shall include **seven (7) folded** packets containing of the following materials:

- A. Copy of the application.
- B. Cover letter stating the nature of the project.
- C. Written Submittal (Sec. 14-525 2. (c), including evidence of right, title and interest.
- D. A standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 100 feet.
- E. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
- E. Copy of the checklist completed for the proposal listing the material contained in the submitted application.
- F. In addition to the seven (7) sets of documents listed above, one (1) set of the site plans reduced to 11 x 17 must be submitted.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: www.portlandmaine.gov Copies of the ordinances may be purchased through the Planning Division.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for site review only; a Performance Guarantee, Inspection Fee, Building Permit Application and associated fees will be required prior to construction.

<p>Signature of Applicant:</p> 	<p>Date:</p> <p>12-29-09</p>
---	-------------------------------------

79
216

Northerly by said Oak Street fifty-three (53) feet more or less to land formerly of Rebecca P. Dyer at a point in said Oak Street, which is distant 304.56 feet from the intersection of the Northerly side line of Congress Street and the Westerly side line of said Oak Street; thence at right angles with said Westerly side line of said Oak Street sixty-seven and six tenths (67.6) feet more or less to land of the Odd Fellows Society; thence Southerly by said property of said Odd Fellows Society and said first parcel, as the fence formerly stood, fifty-three (53) feet more or less to said first parcel; thence Easterly by said first parcel sixty-eight (68) feet more or less to the point of beginning.

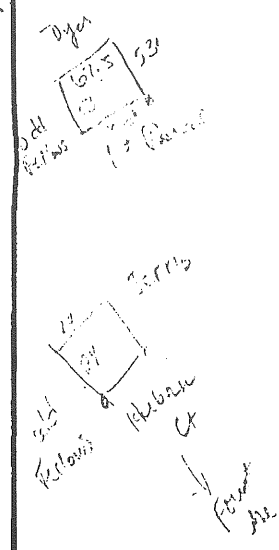
216

A certain lot or parcel of land, situated in said Portland on the Northwesterly side of a passageway known as Hilborn Court which Court extends Northeasterly from Forest Avenue and is adjacent to the Southerly side line of the land of Odd Fellows Hall Association; the lot hereby conveyed is bounded and described as follows: Beginning on the Northerly side line of said court at the Southeasterly corner of the land of said Odd Fellows Hall Association conveyed to it by Freeman Hatch et al by deed dated February 6, 1904, and recorded in Cumberland County Registry of Deeds, Book 744, Page 361; thence Northwesterly by the land of said Odd Fellows Hall Association twenty-four (24) feet more or less to an angle in the land of said Odd Fellows Hall Association; thence Northeasterly by the land of Odd Fellows Hall Association twenty-four (24) feet more or less to other land formerly of Harriette L. Jerris; thence Southeasterly by said Jerris land twenty-four (24) feet more or less to the side line of said Hilborn Court; thence Southwesterly by the side line of said Hilborn Court to the point of beginning.

Being Lot No. 29, Block A of Plan 37 of the Assessors' Plans for 1936 for the City of Portland.

Being the same premises conveyed to this Grantor by Maine General Hospital by deed dated July 21, 1942 and recorded in the Cumberland County Registry of Deeds in Book 1685, Page 122.

Said premises are conveyed subject to an outstanding lease to Christy H. Pachios and subject to all outstanding real estate taxes which the Grantee herein assumes and agrees to pay.



To have and to hold the aforegranted and bargained premises

with all the privileges and appurtenances thereof to the said NORTHEAST REALTY, INC., its successors

~~xxxx~~ and assigns, to it and their use and behoof forever.

And the said Grantor Corporation does hereby COVENANT with the said Grantee, its ^{successors} ~~xxxx~~ and assigns, that it is lawfully seized in fee of the premises, that they are free of all incumbrances; except as aforesaid.

that it has good right to sell and convey the same to the said Grantee to hold as aforesaid; and that it and its successors, shall and will WARRANT AND DEFEND the same to the said Grantee, its ^{successors} ~~xxxx~~ and assigns forever, against the lawful claims and demands of all persons.

In Witness Whereof, the said ROYAL REALTY CO.

~~Company~~ has caused this instrument to be sealed with its corporate seal and signed in its corporate name by Helen E. Kragelund

thereunto duly authorized, this 28th day of July in the year one thousand nine hundred and seventy-seven.

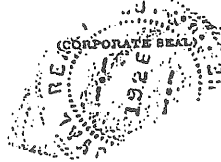
Signed, Sealed and Delivered in presence of

Rois Brunstein

ROYAL REALTY CO. ~~Company~~

By

Helen H. Kragelund
Helen H. Kragelund, Its ~~President~~ President



State of Maine.

County of Cumberland ss. July 28 1977.

Then personally appeared the above named

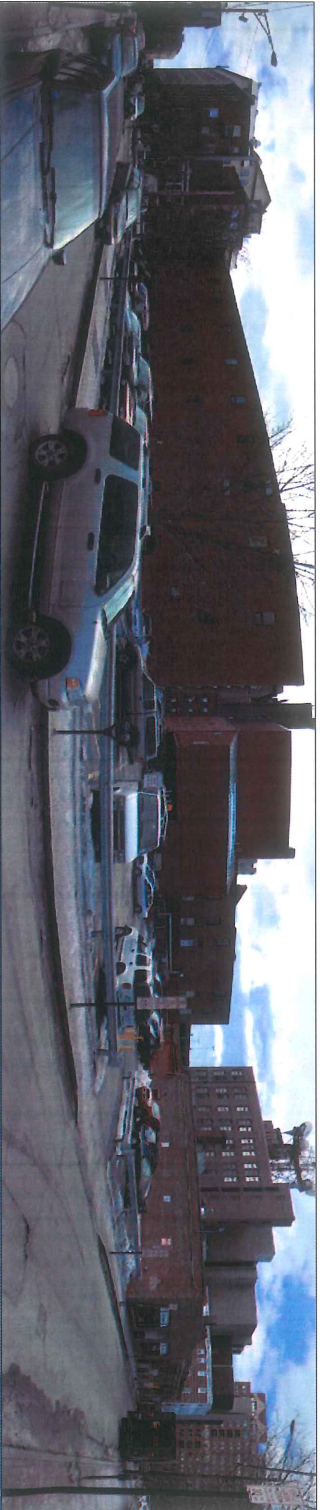
Helen H. Kragelund, ~~President~~ President of said Grantor

Corporation as aforesaid, and acknowledged the foregoing instrument to be ~~her~~ free act and deed in his said capacity, and the free act and deed of said corporation.

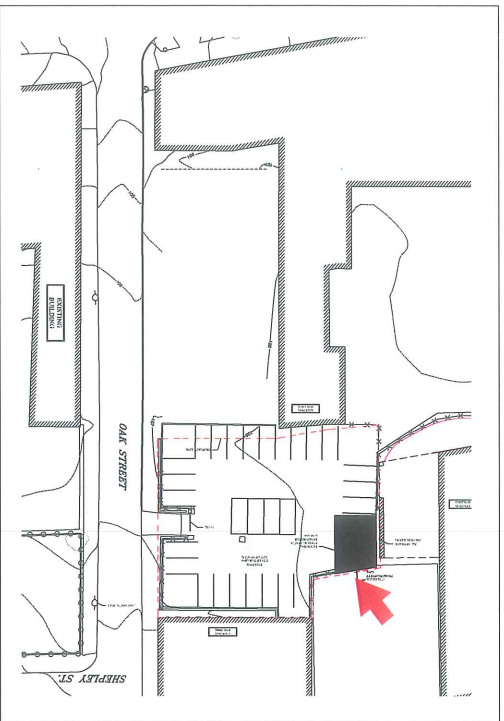
Before me,

Rois Brunstein Justice of the Peace.

Aug 23, 1977
REGISTRY OF DEEDS, CUMBERLAND COUNTY, MAINE
Received at 9:52 AM, and recorded in
BOOK 4083 PAGE 215. Margaret L. Heber Registrar



PANORAMIC VIEW OF OAK STREET



KEY PLAN



VIEW OF SITE FROM OAK STREET

Prepared by:
EOT

84-88 OAK STREET
ACQUITTRE ASSOCIATES
JDM/ML/03/11

December 30, 2008

City of Portland Planning Department
Portland City Hall
389 Congress Street
Portland, Maine 04101

RE: 84-88 Oak Street – Tom Moulton – Storage Garage

We are submitting Site Plan Review documents for the above mentioned project.

Please call with any questions.

Sincerely,



William Hopkins
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Enclosures:
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Copy of Deed
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S.2 Storage Loft Framing Plan
S.3 Roof Framing Plan
S.3 Sections
S.5 Sections
Survey Plan



Development Review Application Portland, Maine

Department of Planning and Development, Planning Division and Planning Board

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Fee for Service Deposit (all applications) _____ X _____ (\$200.00)		
Proposed Development (check all that apply) <input checked="" type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot <input type="checkbox"/> Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____ + major site plan fee if applicable <input type="checkbox"/> Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____) <input type="checkbox"/> Traffic Movement (\$1,000.00) <input type="checkbox"/> Storm water Quality (\$250.00) <input type="checkbox"/> Section 14-403 Review (\$400.00 + \$25.00 per lot) <input type="checkbox"/> Other _____		
~ Please see next page ~		

Major Development (more than 10,000 sq. ft.)

- Under 50,000 sq. ft. (\$500.00)
- 50,000 - 100,000 sq. ft. (\$1,000.00)
- Parking Lots over 100 spaces (\$1,000.00)
- 100,000 - 200,000 sq. ft. (\$2,000.00)
- 200,000 - 300,000 sq. ft. (\$3,000.00)
- Over 300,000 sq. ft. (\$5,000.00)
- After-the-fact Review (\$1,000.00 + applicable application fee)

Minor Site Plan Review

- Less than 10,000 sq. ft. (\$400.00)
- After-the-fact Review (\$1,000.00 + applicable application fee)

Plan Amendments

- Planning Staff Review (\$250.00)
- Planning Board Review (\$500.00)

Billing Address: (name, address and contact information)

Tom Moulton
 547A Congress St. 6th Floor
 Portland, ME 04101


Submittals shall include **seven (7) folded** packets containing of the following materials:

- A. Copy of the application.
- B. Cover letter stating the nature of the project.
- C. Written Submittal (Sec. 14-525 2. (c), including evidence of right, title and interest.
- D. A standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 100 feet.
- E. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
- E. Copy of the checklist completed for the proposal listing the material contained in the submitted application.
- F. In addition to the seven (7) sets of documents listed above, one (1) set of the site plans reduced to 11 x 17 must be submitted.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: www.portlandmaine.gov Copies of the ordinances may be purchased through the Planning Division.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for site review only; a Performance Guarantee, Inspection Fee, Building Permit Application and associated fees will be required prior to construction.

Signature of Applicant: 	Date: 12-29-09
---	--------------------------

22480
Know All Men by these Presents,

215

That ROYAL REALTY CO. Company;

a corporation organized and existing under the laws of the State of Maine and located at Portland in the County of Cumberland and State of Maine in consideration of One Dollar and other valuable considerations

paid by NORTHEAST REALTY, INC., a corporation organized and existing under the laws of the State of Maine and located at Portland in said County and State,

the receipt whereof it does hereby acknowledge, does hereby give, grant, bargain, sell and convey, unto the said NORTHEAST REALTY, INC.,

its successors heirs and assigns forever,

a certain lot or parcel of land, with the buildings thereon, situated in said Portland on the Southwesterly side of Oak Street and bounded and described as follows:

P1

Beginning at a post standing in the most Southerly corner of land formerly of Emma Ford on said Oak Street and running South-easterly by said Oak Street forty-four (44) feet to a stake; thence Southwesterly at a right angle with Oak Street sixty-seven (67) feet, more or less, to land formerly owned by Henry Green; thence Northwesterly by said Green land and land formerly of William Hans to the said Emma Ford land; thence by the said Emma Ford land sixty-seven (67) feet, more or less, to the first mentioned bounds.

(1)

P2

Also A certain lot or parcel of land, with the buildings thereon, situated in said Portland, bounded and described as follows: Beginning at the most Northerly corner of land formerly owned by Thomas Brown and late by Henry Green about twelve (12) rods Northerly of Congress Street; thence Southwesterly adjoining the Northerly line of said Henry Green's lot about three (3) rods or until it comes to the Northwesterly corner thereof; thence Northwesterly on a parallel line with Benjamin Larrabee's land three (3) rods more or less till it comes to land formerly owned by Barnabas Bennett; thence Northeasterly adjoining said land three (3) rods more or less to said Larrabee's land; thence South-easterly adjoining said Larrabee's land three (3) rods more or less to the first bounds mentioned; together with the privilege of a passageway of eleven (11) feet wide from the above described lot to Forest Avenue, to be kept open forever.

198

4015

P3

Also A lot of land, with the buildings thereon, lying in said Portland, bounded and described as follows: Beginning at the most Easterly corner of the lot John Green sold Lydia Eskildon; thence running Southeasterly adjoining land formerly of Emma Ford thirty-three and one-half (33 1/2) feet to a stake and from these two bounds extending Southwesterly carrying the same width of thirty-three and one-half (33 1/2) feet and adjoining said Eskildon land three and one-half (3 1/2) rods.

P4

Also A certain lot or parcel of land, with the buildings thereon, situated on the Westerly side of Oak Street in said Portland, and bounded and described as follows: Beginning at the Northeasterly corner of the first parcel hereinbefore described; thence running

Handwritten notes and diagrams on the right margin, including a sketch of a lot with dimensions and names like 'Larrabee', 'Bennett', 'Eskildon', and 'Ford'. The sketch shows a rectangular lot with a passageway on the left side. Dimensions include '12 rods' on the north side, '3 rods' on the west side, and '3 rods' on the east side. The south side is labeled '33 1/2 feet'. The passageway is labeled '11 feet'. Names 'Larrabee', 'Bennett', 'Eskildon', and 'Ford' are written near the corners of the lot. There are also some numbers and other markings.

174
216

Northerly by said Oak Street fifty-three (53) feet more or less to land formerly of Rebecca P. Dyer at a point in said Oak Street, which is distant 304.56 feet from the intersection of the Northerly side line of Congress Street and the Westerly side line of said Oak Street; thence at right angles with said Westerly side line of said Oak Street sixty-seven and six tenths (67.6) feet more or less to land of the Odd Fellows Society; thence Southerly by said property of said Odd Fellows Society and said first parcel, as the fence formerly stood, fifty-three (53) feet more or less to said first parcel; thence Easterly by said first parcel sixty-eight (68) feet more or less to the point of beginning.

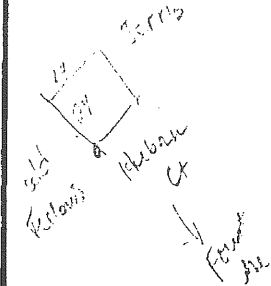
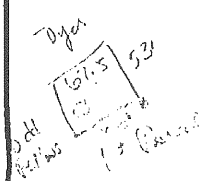
50

A certain lot or parcel of land, situated in said Portland on the Northwesterly side of a passageway known as Hilborn Court which Court extends Northeasterly from Forest Avenue and is adjacent to the Southerly side line of the land of Odd Fellows Hall Association; the lot hereby conveyed is bounded and described as follows: Beginning on the Northerly side line of said court at the Southeasterly corner of the land of said Odd Fellows Hall Association conveyed to it by Freeman Hatch et al by deed dated February 6, 1904, and recorded in Cumberland County Registry of Deeds, Book 744, Page 361; thence Northwesterly by the land of said Odd Fellows Hall Association twenty-four (24) feet more or less to an angle in the land of said Odd Fellows Hall Association; thence Northeasterly by the land of Odd Fellows Hall Association twenty-four (24) feet more or less to other land formerly of Harriette L. Jerris; thence Southeasterly by said Jerris land twenty-four (24) feet more or less to the side line of said Hilborn Court; thence Southwesterly by the side line of said Hilborn Court to the point of beginning.

Being Lot No. 29, Block A of Plan 37 of the Assessors' Plans for 1936 for the City of Portland.

Being the same premises conveyed to this Grantor by Maine General Hospital by deed dated July 21, 1942 and recorded in the Cumberland County Registry of Deeds in Book 1685, Page 122.

Said premises are conveyed subject to an outstanding lease to Christy H. Pachios and subject to all outstanding real estate taxes which the Grantee herein assumes and agrees to pay.



To have and to hold the aforegranted and bargained premises

with all the privileges and appurtenances thereof to the said
NORTHEAST REALTY, INC., its successors .

~~XXXXXX~~ and assigns, to it and their use and behoof forever.

And the said Grantor Corporation does hereby COVENANT with the
said Grantee , its ^{successors} ~~XXXXXX~~ and assigns, that it is lawfully
seized in fee of the premises, that they are free of all incum-
brances; except as aforesaid.

that it has good right to sell and convey the same to the said
Grantee to hold as aforesaid; and that it and its successors,
shall and will WARRANT AND DEFEND the same to the said Grantee ,
its ^{successors} ~~XXXXXX~~ and assigns forever, against the lawful claims and
demands of all persons.

In Witness Whereof, the said ROYAL REALTY CO.

~~Company~~ has caused this instrument to be sealed with its corporate seal and signed in its corporate name by Helen E. Kragelund, its ~~President~~ President thereunto duly authorized, this 28th day of July in the year one thousand nine hundred and seventy-seven.

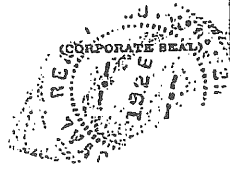
Signed, Sealed and Delivered in presence of

Rois Brunstein

ROYAL REALTY CO. ~~Company~~

By

Helen H. Kragelund
Helen H. Kragelund, its ~~President~~ President



State of Maine.

County of Cumberland ss. July 28 1977.

Then personally appeared the above named

Helen H. Kragelund, ~~President~~ President of said Grantor

Corporation as aforesaid, and acknowledged the foregoing instrument to be ~~his~~ her free act and deed in his said capacity, and the free act and deed of said corporation.

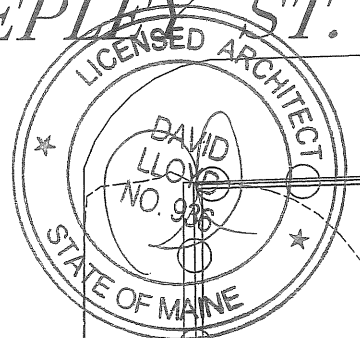
Before me,

Rois Brunstein Justice of the Peace.

Aug 23, 1977
RECORDS OF DEEDS, CUMBERLAND COUNTY, MAINE
Received at 9:52 AM, and recorded in
BOOK 4083 PAGE 215. *Margaret L. Hester* Register

ATT #2

SHEPLEY ST.



OWNER:

Tom Moulton

547 A Congress St, 6th Floor
Portland, Maine 04101

ARCHETYPE, P.A.
ARCHITECTS

48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

PROJECT:

Garage

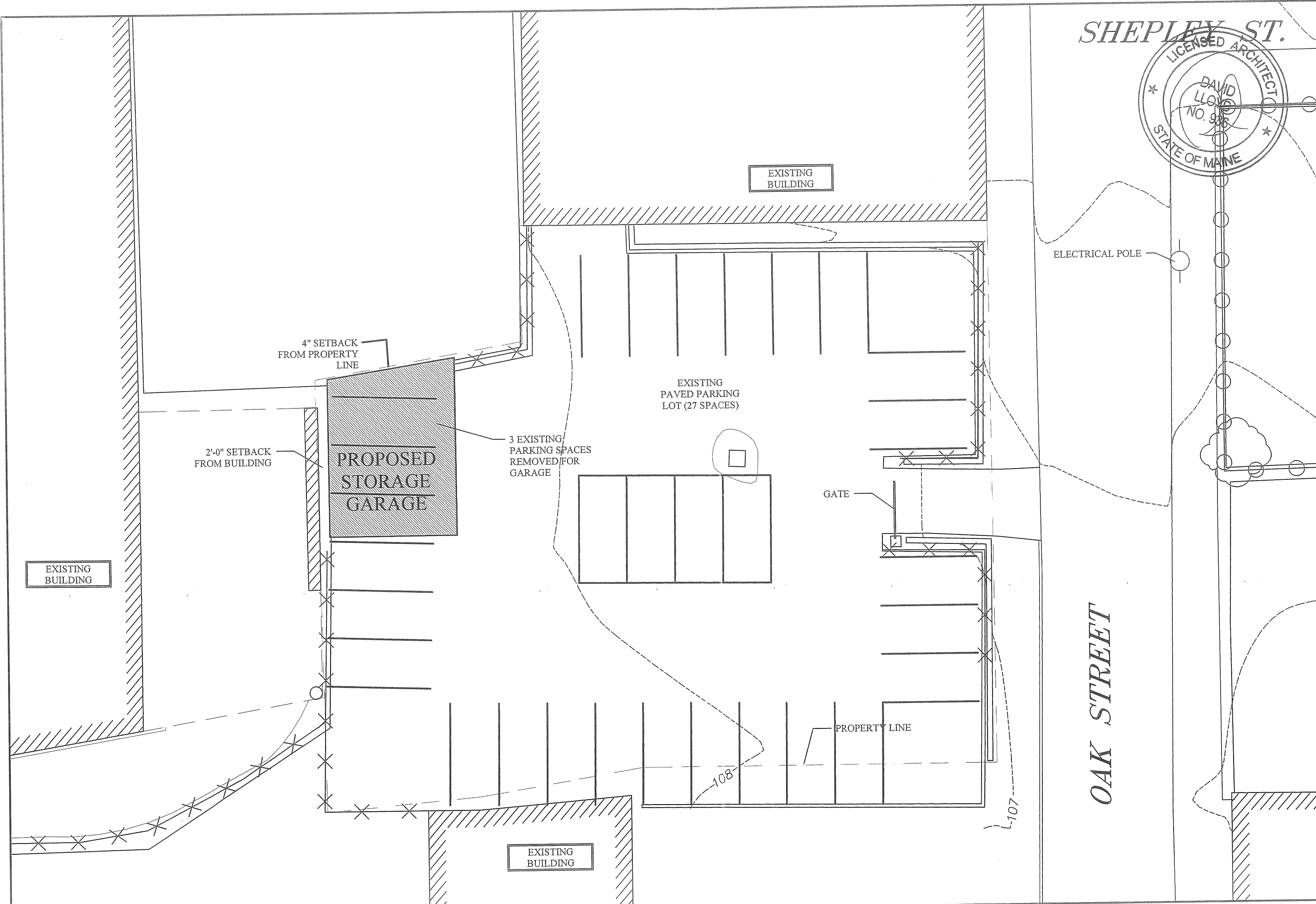
84-88 Oak Street
Portland Maine

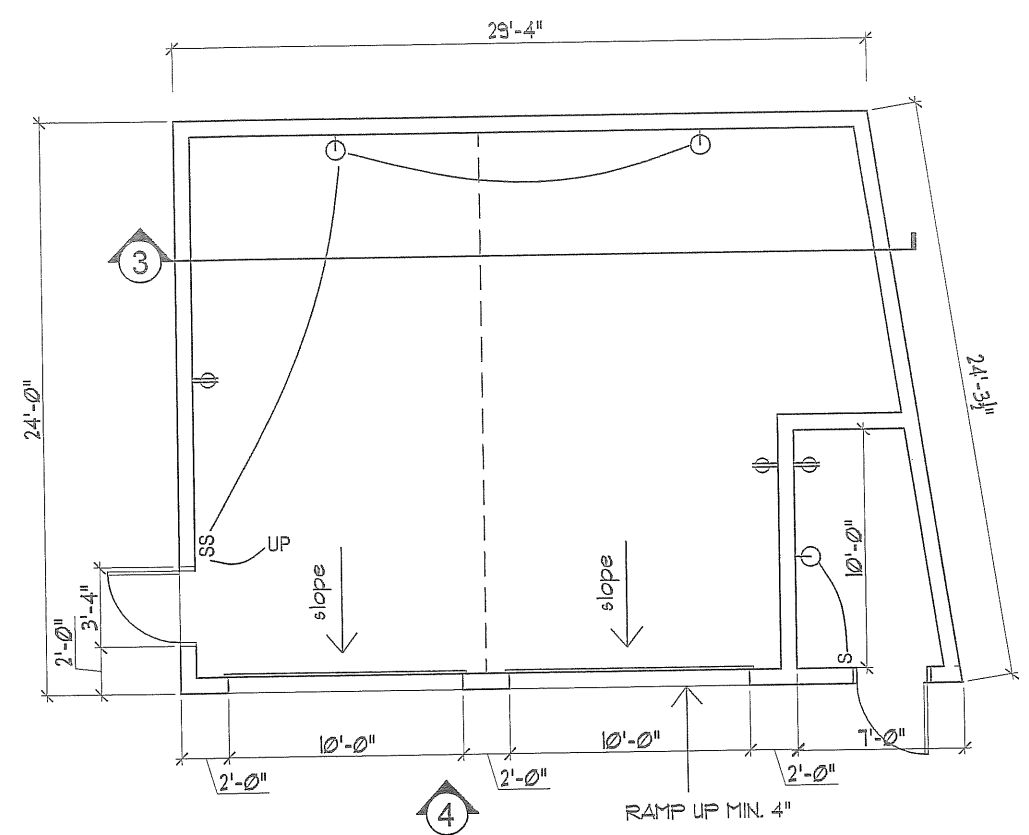
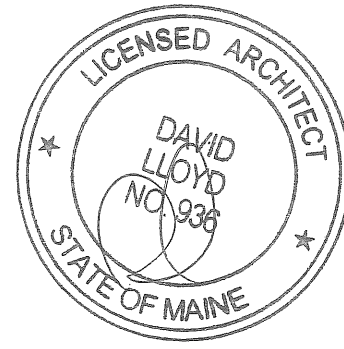
Revisions:

Date: 19 December 2008
Scale: 1/8" = 1'-0"

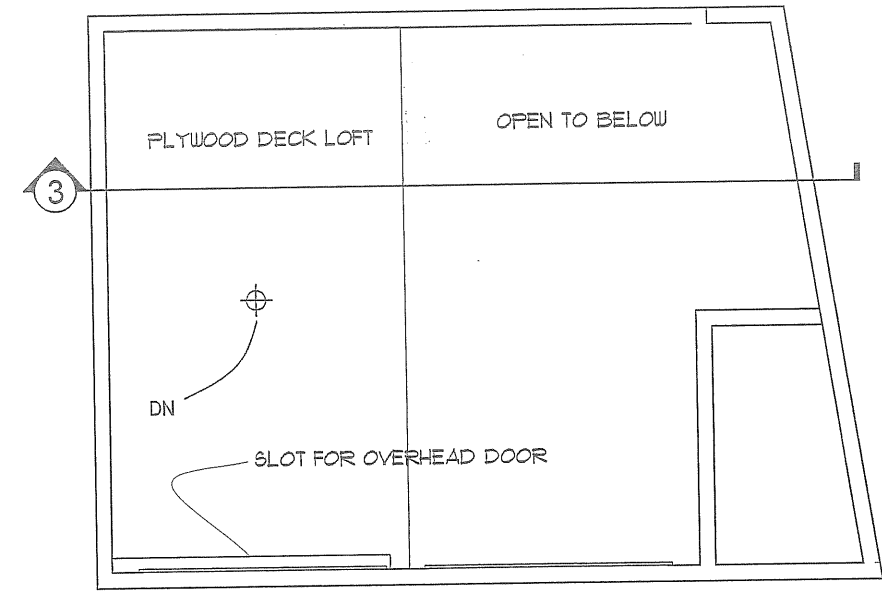
SITE PLAN

A1

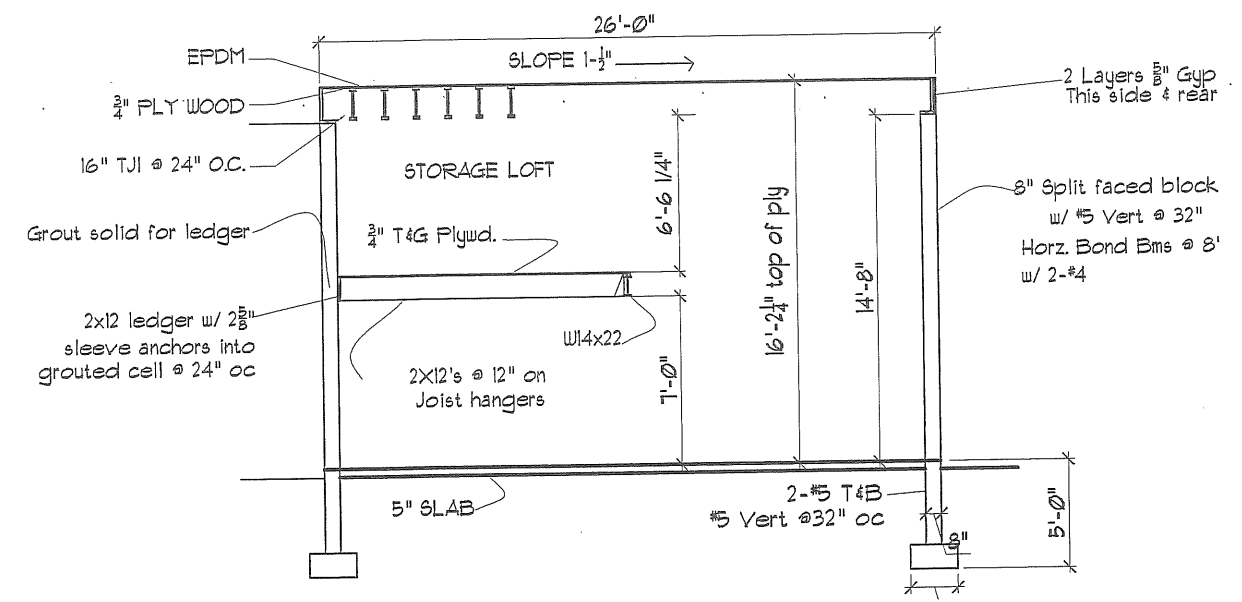




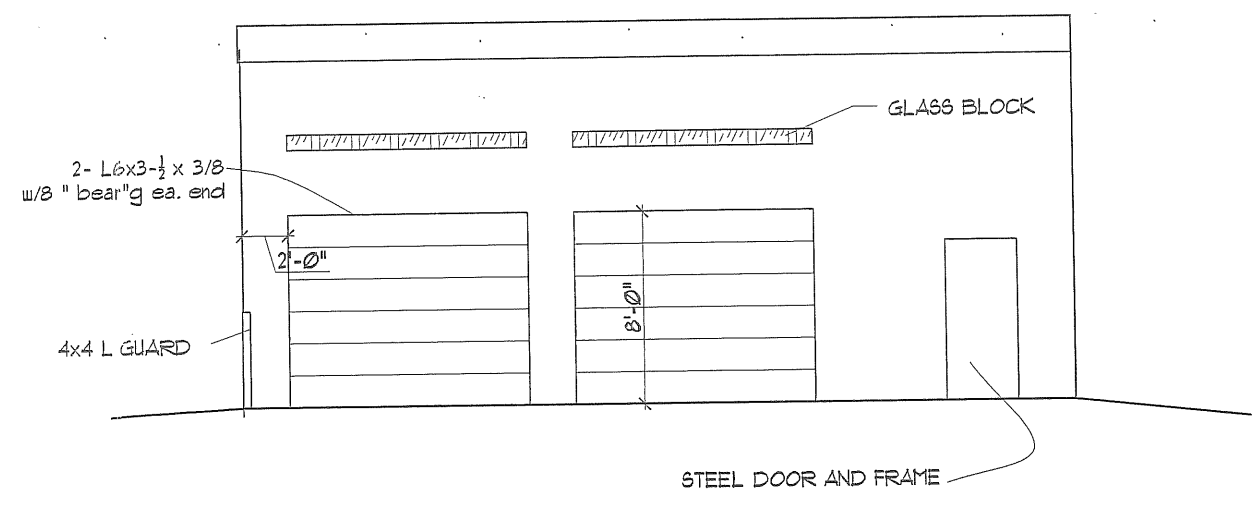
1 | PLAN
SCALE: 1/8" = 1'-0"



2 | LOFT PLAN
SCALE: 1/8" = 1'-0"



3 | SECTION
SCALE: 1/8" = 1'-0"



4 | ELEVATION
SCALE: 1/8" = 1'-0"

OWNER:	Tom Moulton 547 A Congress St, 6th Floor Portland, Maine 04101
	ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
PROJECT:	STORAGE GARAGE 84-88 Oak Street Portland Maine
Revisions:	
Date: 19 December 2008	Scale: 1/8" = 1'-0"
PLANS AND ELEVATIONS	
A2	

STRUCTURAL GENERAL NOTES

Storage Garage
84-88 Oak Street
Portland, Maine
SI JOB# 08-0085

DESIGN LOADS: International Building Code; IBC 2003 Edition, except as noted
Occupancy Category, Table 1604.5 II Standard

Roofs:

Ground Snow, Pg	50 psf
Flat Roof Snow, Pf	31.5 psf,
Snow Exposure Factor, Ce	Table 1608.3.1 1.0
Snow importance Factor, Is	Table 1604.5 1.0
Snow Thermal Factor, Ct	Table 1608.3.2 1.0

Floors:

Garage	50 psf
Storage Areas	125 psf

Lateral

Wind	IBC 1603.1.4, ASCE 7-02	Analytic Method
	3 Second Gust Velocity	100 mph
	Importance Factor	1.0
	Exposure	C
Seismic	Use Group	1
	Importance Factor	1.0
	Spectral Response	Acceleration Coefficient
	Short Period	S _s 0.375 g
	One Second	S ₁ 0.1 g
	Soils Site Class	Table 1615.1.1 D
	Design Category	Table 1616.3 C

FOUNDATION DESIGN:
Foundations are designed without an engineer's soil investigation. Foundation design criteria was assumed for purposes of foundation design and shall be confirmed by a soils engineer, at owner's expense, prior to construction. (This procedure may require revisions to foundation design, at additional expense to the owner, if soils engineer determines that such design criteria are inappropriate for this building site.)

--Footings--
Design of footings is based on maximum allowable bearing pressure 1,500 psf
Bear on the natural undisturbed soil, or compacted structural fill, below frost depth.

REINFORCED CONCRETE:
Design is based on "Building Code Requirements for Reinforced Concrete" (ACI 318-02). Concrete work shall conform to "Standard Specifications for Structural Concrete" (ACI 301-99).
Structural concrete shall have the following properties:

Intended Use	F _c , psi 28day	Max W/C Ratio	Maximum Aggregate	Slump inches	Entrained Air Percent ±1.5%	Cement Type	Admixtures, Comments
footings	2,500	.6	¾" Stone	4	---	I/II	
stem walls	3,000	.5	¾" Stone	4	5%	I/II	
exterior slab on grade	4,000	.45	¾" Stone	4	6%	I/II	Fibermesh
interior slabs on grade	3,500	.5	¾" Stone	4	3%	I/II	Fibermesh

Detailing, fabrication, and placement of reinforcing steel shall be in accordance with the Manual of Standard Practice for Detailing Reinforced Concrete Structures (ACI 315-99).
Welded wire fabric shall conform to ASTM A185.
Reinforcing bars shall conform to ASTM A615, Grade 60, except ties or bars shown to be field-bent, which shall be Grade 40.
Bars to be welded shall conform to ASTM 706.
At splices, lap bars 50 diameters unless noted otherwise.
At corners and intersections, make horizontal bars continuous or provide matching corner bars.
Around openings in walls and slabs, provide 2-#5, extending 2'-0" beyond edge of opening.
In continuous members, splice top bars at mid-span and splice bottom bars over supports.
Provide intermittent shear keys at all construction joints and elsewhere as shown on the drawings.
Except as noted on the drawings, concrete protection for reinforcement in cast-in-place concrete shall be as follows:
a. Cast against and permanently exposed to earth 3"
b. Exposed to earth or weather:
#6 through #18 bars 2"
#5 bar, W31 or D31 wire, and smaller 1-1/2"
c. Not exposed to weather or in contact with ground:
Slabs, walls, joists: #11 bar and smaller 3/4"
Beams, columns:
Primary reinforcement 1-1/2"
Stirrups, ties, spirals 1-1/2"
Fibermesh admixture shall be 100% virgin polypropylene, fibrillated fibers as manufactured by Fibermesh Co. per ASTM C-1116 type 111 4.1.3 and ASTM C-1116 performance level one, 1.5 lbs per cubic yard of concrete.
Anchor bolts and rods for beam and column-bearing plates shall be placed with setting templates.
Permanent corrugated steel forms for concrete floor slabs shall be manufactured and erected according to the "Specifications and Code of Standard Practice" of the Steel Deck Institute.
All concrete work is subject to inspection by a qualified special inspector employed by the owner in accordance with IBC Section 1704.4.

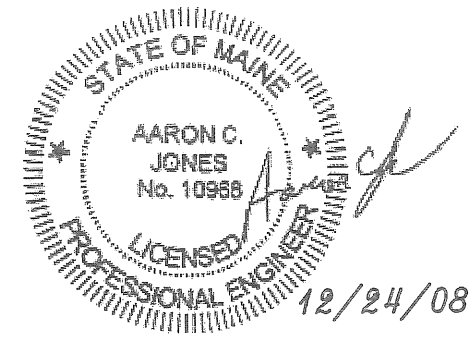
STRUCTURAL STEEL:
Structural steel shall be detailed, fabricated, and erected in accordance with AISC Specifications, 2005, and Code of Standard Practice, 2000.
Structural steel wide flange beams shall conform to ASTM A992.
Anchor rods shall conform to ASTM F1554, Grade 36 (or high strength Gr 55 or Gr 105 as noted), with weldability supplement S1.
Headed anchor studs (HAS) shall be attached to structural steel with equipment approved by the stud manufacturer according to the stud manufacturer's recommendations.
Welding shall be done by a certified welder in accordance with AISC and AWS specifications and recommendations using E70-electrodes. Where not specifically noted, minimum weld shall be 3/16" fillet by length of contact edge.
All post-installed anchors shall have current National Evaluation Report, and shall be installed in accordance with the manufacturer's requirements.
Expansion anchors shall be approved "wedge" type unless specifically noted to be "sleeve" type.
Chemical anchors shall be approved epoxy or similar adhesive type and shall have current National Evaluation Report. Where base material is not solid, approved screen tubes shall be used.
Grout beneath column base and beam-bearing plates shall be minimum 28-day compressive strength of 7,500 psi, approved pre-bagged, non-metallic, non-gaseous, bleed free, non-shrink, when tested in accordance with ASTM C1107 Grade B or C at a flow cone fluid consistency of 20 to 30 seconds

STRUCTURAL MASONRY:
Design is based on Unit Strength Method MSJC 2002, Section SC-1.4 B.2.
Compressive strength of masonry assembly used for design is 1500 psi, based on net-bedded area.
Hollow load-bearing concrete masonry (CMU) shall be lightweight units conforming to ASTM C90, Grade N1, minimum compressive strength 1,900 psi based on average net area.
Mortar shall be Type S conforming to ASTM C270.
Masonry cement shall not be used.
Provide full shoved mortar in all head and bed joints.
Admixtures shall not be added for any reason unless approved by the Architect.
Except for lintels, bond beam units shall be produced from standard vertically voided units with pre-cut knockout cross walls.
Grout used in masonry walls and block cells shall be:
coarse grout, as defined by ASTM C476, with a minimum cube strength = 2,000 psi.
3000 psi concrete using 3/8" diameter aggregate, placed by vibrating unless an approved self consolidating mix is used
Lifts shall not exceed five feet in height
If grout pour height exceeds 5 feet, clean-out holes shall be provided.
Space continuous horizontal joint reinforcing at 16" maximum in all CMU walls.
Joint reinforcing shall be welded type with 9 gage side-wires and 9 gage trussed or ladder cross wires.
Reinforcing bars shall be as for reinforced concrete except as noted.
At splices, lap bars 48 diameters.
Provide reinforced grouted vertical cells at corners, ends of walls, jambs of openings, each side of vertical control joints, and at 32" max spacing as shown on drawings.
Reinforcement shall be secured against displacement prior to grouting by wire bar locators or other suitable devices at intervals not exceeding 200 bar diameters or 10 feet.
Where noted on the drawings, provide clearance between masonry and structural elements, or wrap steel with polyethylene film.
Provide vertical control joints in all masonry walls as located on architectural drawings or at 25'-0" maximum spacing, at both jambs of openings wider than six feet.
Submit for review
Certificates for materials used in masonry construction indicating compliance with the contract documents
Determine f'm through material submittals
MSJC Level 1 Quality Assurance, MSJC Table 1.14.2

LOOSE LINTELS:
Unless noted otherwise, provide loose lintels as follows: (One angle for each 4" of wall thickness to bear 6" minimum each end).
Openings to 4'-0: Angle 3-1/2 x 3-1/2 x 1/4
Openings 4'-1 to 5'-4: Angle 5 x 3-1/2 x 1/4
Openings 5'-5 to 6'-6: Angle 6 x 3-1/2 x 5/16

STRUCTURAL WOOD FRAMING:
In-Grade Base Values have been used for design.
2x framing shall be SPF S4S No. 2 and better unless noted.
All lumber shall be 19% maximum moisture content, unless noted.
Solid timber beams and posts shall be Douglas Fir-Larch No. 1.
Studs shall be SPF Stud grade and better.
Top and bottom plates shall be SPF No. 2 and better.
Wood in contact with concrete shall be pressure-treated SPF.
Conventional light framing shall comply with IBC Section 2308.
Except as noted otherwise, minimum nailing shall be provided as specified in IBC Table 2304.9.1 "Fastening Schedule"
Plywood and oriented strand board (OSB) floor and roof sheathing shall be APA graded with panel identification index, thickness, and nailing as noted on the drawings.
All roof rafters, joists, beams shall be anchored to supports with metal framing anchors.
Light gage framing anchors shown or required, shall be Simpson "Strong Tie" or equal Code approved connectors and installed with the number and type of nails recommended by the manufacturer to develop the rated capacity.
Note that heavy-duty hangers and skewed hangers may not be stocked locally and require special order from the factory.
All beams and trusses shall be braced against rotation at points of bearing.
Unless otherwise indicated, install two lengths of solid blocking x joist depth x 12 inches long in floor framing under column loads.
Columns must have a continuous load path to foundation.

Structural Drawing Index	
S0	General Notes, Etc.
S1	Foundation Plan
S2	Storage Loft Framing Plan
S3	Roof Framing Plan
S4	Sections
S5	Sections



PLANT FABRICATED / PRE-ENGINEERED WOOD FRAMING:
I-series roof and joists shall be TJI, LPI, BCI, or equal with structural wood flanges and webs, and carry Code approval for the composite section.
Bridging and blocking shall be installed according to the fabricator's requirements.

STRUCTURAL ERECTION AND BRACING REQUIREMENTS:
The structural drawings illustrate the completed structure with elements in their final positions, properly supported and braced. These construction documents contain typical and representative details to assist the contractor. Details shown apply at all similar conditions unless otherwise indicated. Although due diligence has been applied to make the drawings as complete as possible, not every detail is illustrated, nor is every exceptional condition addressed.
All proprietary connections shall be installed in accordance with the manufacturers' recommendations.
All work shall be accomplished in a workmanlike manner and in accordance with the applicable code and local ordinances.
The general contractor is responsible for coordination of all work, including layout and dimension verification, materials coordination, shop drawing review, and the work of subcontractors.
Any discrepancies or omissions discovered in the course of the work shall be immediately reported to the architect for resolution.
Continuation of work without notification of discrepancies relieves the architect and engineer from all consequences. Unless otherwise specifically indicated, the drawings do not describe methods of construction.
The contractor, in the proper sequence, shall perform or supervise all work necessary to achieve the final completed structure, and to protect the structure, workmen, and others during construction.
Such work shall include, but not be limited to, bracing, shoring for construction equipment, shoring for excavation, formwork, scaffolding, safety devices and programs of all kinds, support and bracing for cranes and other erection equipment.
Temporary bracing shall remain in place until all floors, walls, roofs and any other supporting elements are in place.
The architect and engineer bear no responsibility for the above items, and observation visits to the site do not in any way include inspection of them.

LETTERS OF CONSTRUCTION COMPLIANCE:
The General Contractor shall determine from the local building official at the time the building permit is obtained whether any letters of construction compliance will be requested from the Structural Engineer.
The Contractor shall notify the engineer about all such requirements in writing before the start of construction.
One-day advance notice shall be given when requesting site visits necessary as the basis for the compliance letter.

INSPECTIONS AND REVIEWS:
All site soils related work and footing excavations prior to placing forms, as well as site drainage, shall be reviewed by the project geotechnical engineer.
Normal reviews by Local Building Department.
Notify 48 hours prior to required review.
Required special inspections per I.B.C. Section 1704 by an approved special inspector retained by owner:
• Concrete: Observation of reinforcing, embeds, and forms prior to placement of concrete and observation during placement of concrete as well as taking and testing of specimens. Refer to Section 1704.4 of the I.B.C.
• Grading, Excavation and Placement of Fills: Observation during grading, earthwork excavations and placement of fills, as well as testing for required compaction of fills.
• Masonry: Periodic inspection of mortar proportions, reinforcing, and grouting in accordance with section 1704.5 of the I.B.C.
The Special Inspector shall be a qualified person who shall demonstrate competence, to the satisfaction of the building official, for inspection of the particular type of construction or operation requiring special inspection.

Duties and responsibilities of the special inspector shall be to observe and/or test the work assigned and outlined above for conformance with the approved construction documents. All discrepancies shall be brought to the immediate attention of the contractor for correction.

The special inspector shall furnish regular reports to the building official, the engineer and architect of record, and other designated persons. Progress reports for continuous inspection shall be furnished weekly. Individual reports of periodic inspections shall be furnished within one week of inspection dates. The reports shall note uncorrected deficiencies, correction of previously reported deficiencies, and changes to the approved construction documents authorized by engineer of record.

The special inspector shall submit a final signed report within 10 days of the final special inspection stating whether the work requiring special inspection was, to the best of the inspector's knowledge and belief, in conformance with the approved construction documents and the applicable workmanship provisions of the International Building Code. Work not in compliance shall be noted in the report.



77 Oak Street
Portland, ME, 04101
p. 207-774-4614
f. 866-793-7835
www.structuralinteg.com

BUILD WITH CONFIDENCE
© 2007 Structural Integrity Consulting Engineers, Inc.
SI # 08-0085

OWNER: Tom Moulton
547 A Congress St, 6th Floor
Portland, Maine 04101

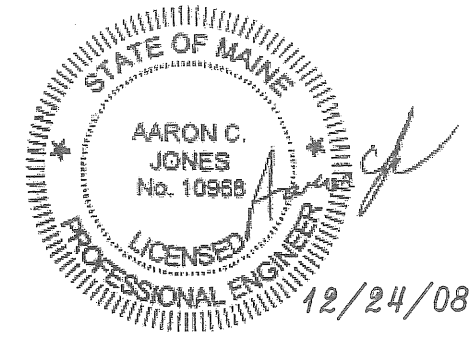
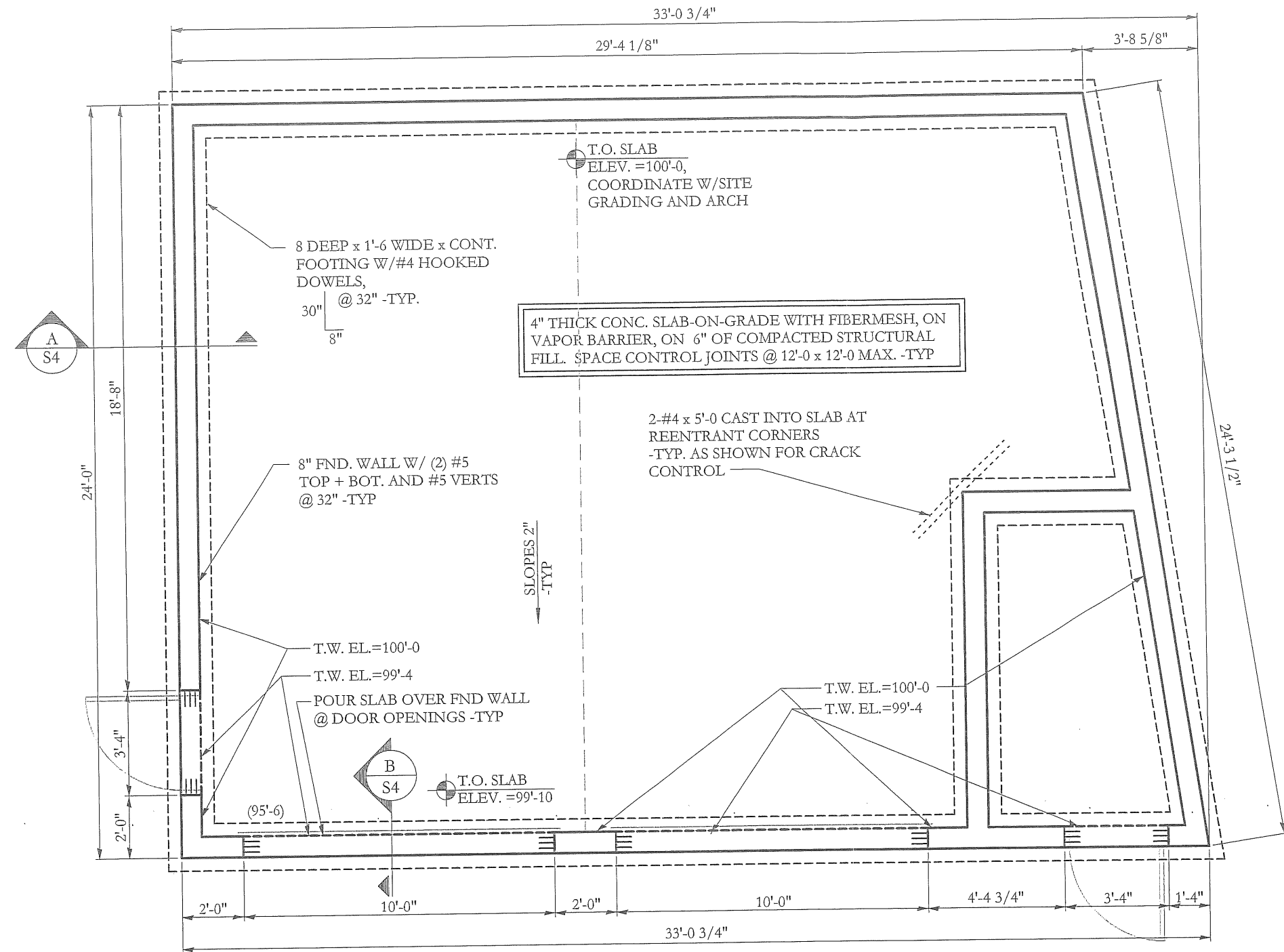
ARCHETYPE, P.A. ARCHITECTS
48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

PROJECT: STORAGE GARAGE
84-88 Oak Street
Portland Maine

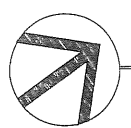
Scale: 1/4" = 1'-0"
Date: 24 December 2008

GENERAL NOTES ETC.

S0




OWNER:	Tom Moulton 547 A Congress St, 6th Floor Portland, Maine 04101
ARCHETYPE, P.A. ARCHITECTS	48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
PROJECT:	STORAGE GARAGE 84-88 Oak Street Portland Maine
Revisions:	
Date: 24 December 2008	Scale: 1/4" = 1'-0"
FOUNDATION PLAN	
S1	



FOUNDATION PLAN

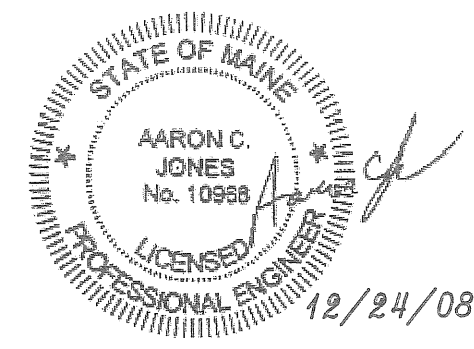
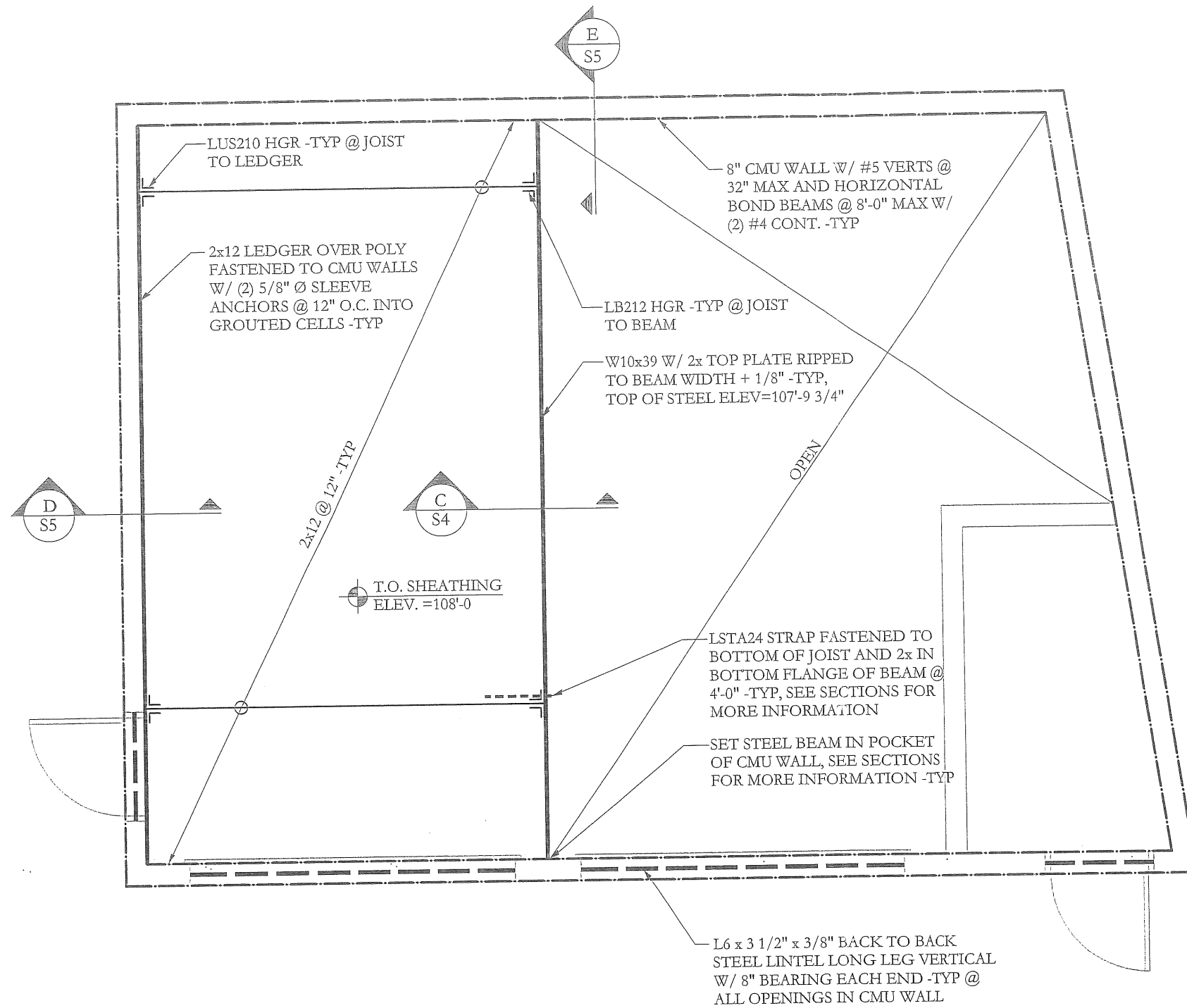
SCALE 1/4"=1'-0"

NOTES:

1. ALL FOOTINGS ARE 8" DEEP 1'-6" WIDE x CONT. WITH (2) # 4 BARS LONGITUDINAL, UNO
2. STEP IN TOP OF FOUNDATION WALL IS INDICATED THUS: , AND SHOWS LOWER SIDE OF WALL.
3. SEE S0 FOR STRUCTURAL GENERAL NOTES
4. FOOTING TO BEAR 4'-0" MIN BELOW GRADE AND IS INDICATED THUS: (XX'-XX")
5. COORDINATE GARAGE ELEVATIONS W/ SITE GRADING AND ARCH -TYP.

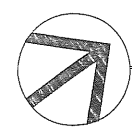


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ARCHETYPE, P.A. ARCHITECTS	48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
PROJECT:	STORAGE GARAGE 84-88 Oak Street Portland Maine
Scale:	1/4" = 1'-0"
Date:	24 December 2008
Revisions:	
	STORAGE LOFT FRAMING PLAN
	S2

STORAGE LOFT FRAMING PLAN



NOTES:

SCALE 1/4"=1'-0"

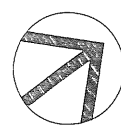
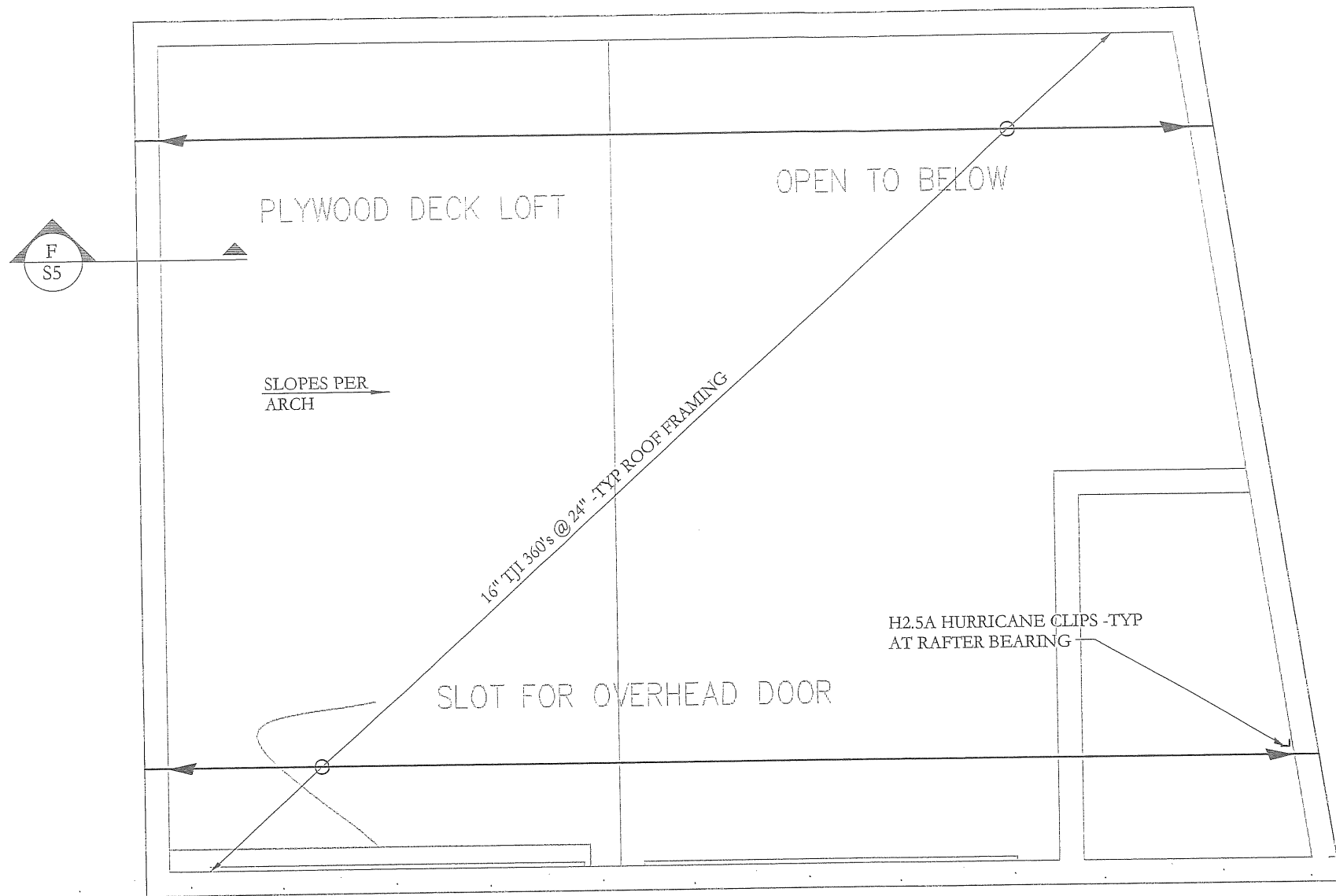
1. FLOOR DECK SHALL BE 3/4" T&G SHEATHING, SEE GENERAL NOTES FOR ADDITIONAL INFO
3. ALL BEAMS ARE FLUSH, UNO
4. SEE SHEET S0 FOR GENERAL STRUCTURAL NOTES
5. ALL STEEL LINTELS SHALL BE (2) L6x 3 1/2" x 3/8", UNO
6. ALL FLOOR JOISTS SHALL BE 2x12 @ 12" -TYP UNO
7. TOP OF STEEL BEAM ELEVATION SHALL BE 107'-9 3/4" -TYP UNO



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ROOF FRAMING PLAN

SCALE 1/4"=1'-0"

NOTES:

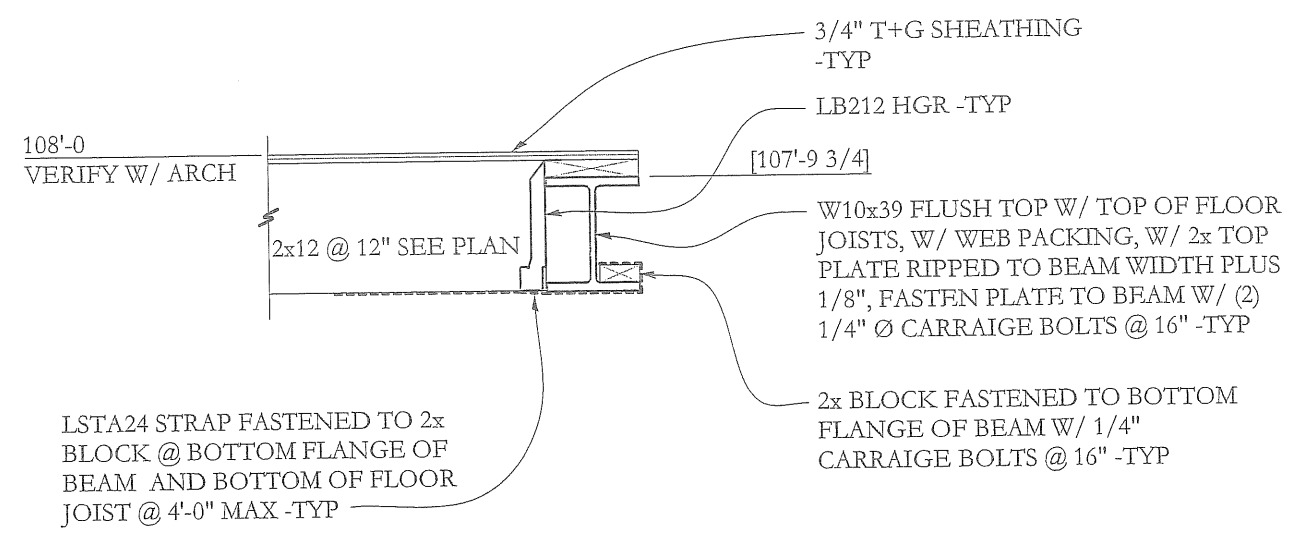
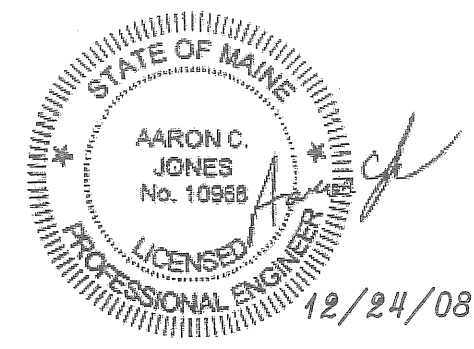
1. ROOF SHEATHING SHALL BE 5/8" OSB, SEE GENERAL NOTES FOR ADDITIONAL INFO
2. ALL RAFTERS SHALL BE 16" TJI 360's @ 24", UNO
3. SEE SHEET S0 FOR GENERAL STRUCTURAL NOTES
4. SEE ARCH FOR ROOFING/ WATERPROOFING -TYP

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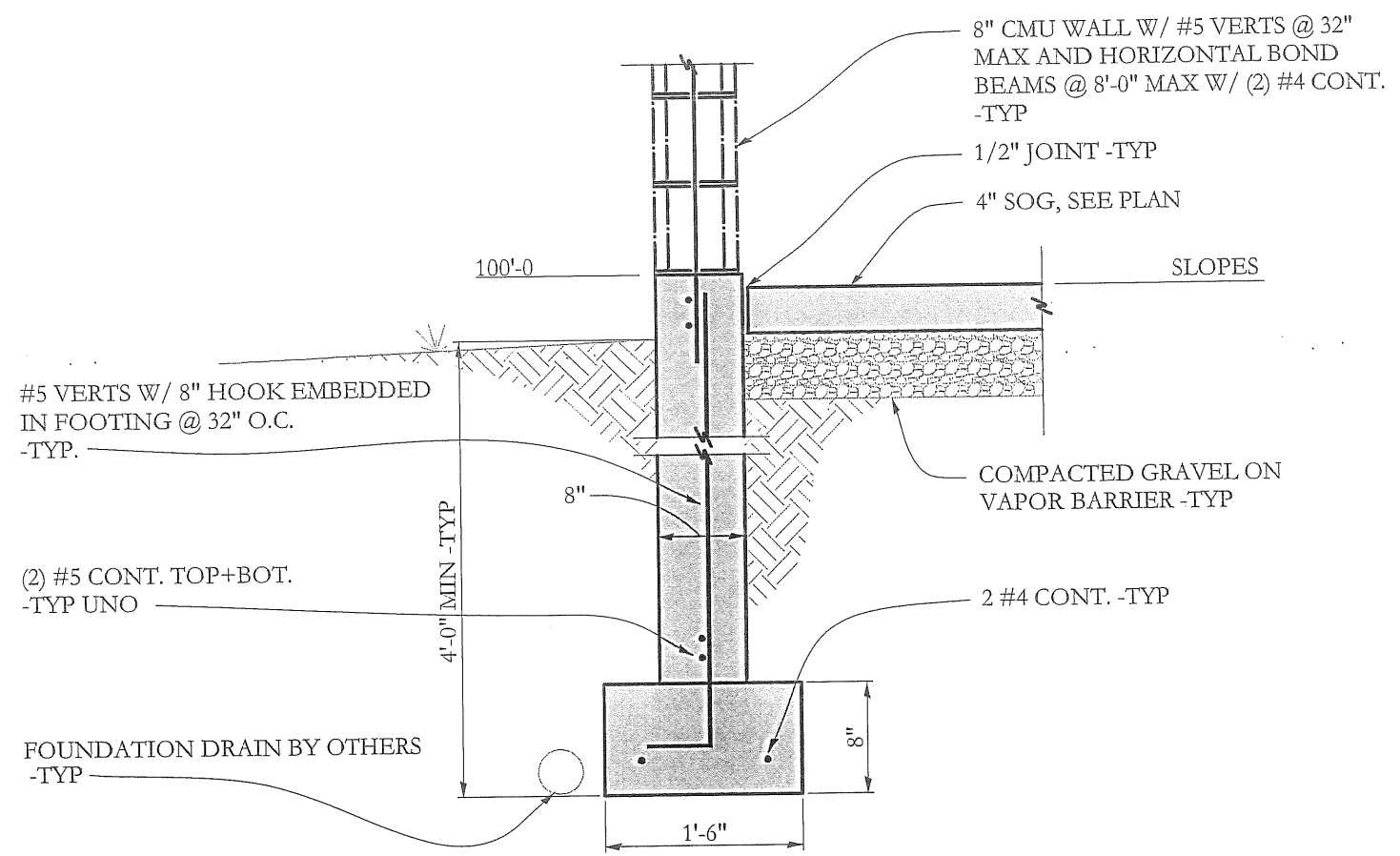
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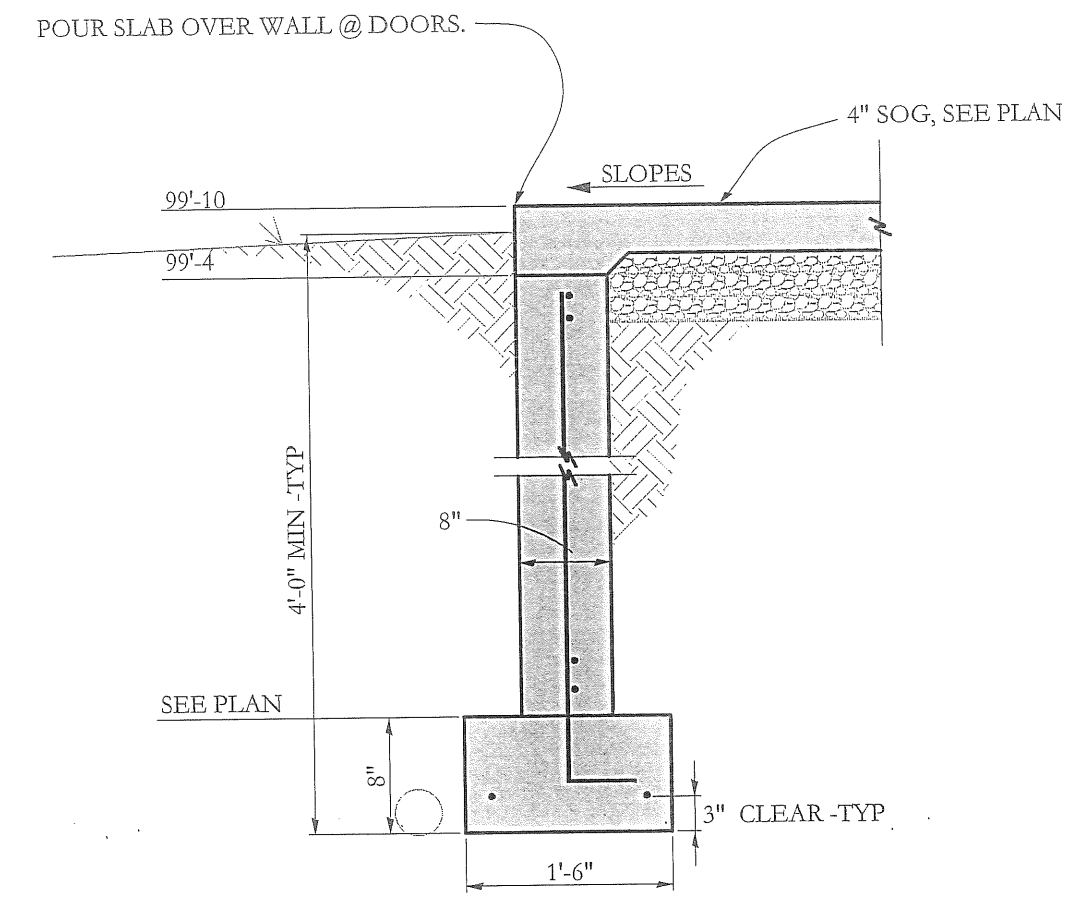
OWNER:	Tom Moulton 547 A Congress St, 6th Floor Portland, Maine 04101
	ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
PROJECT:	STORAGE GARAGE 84-88 Oak Street Portland Maine
Revisions:	
Date: 24 December 2008	Scale: 1/4" = 1'-0"
ROOF FRAMING PLAN	
S3	



SECTION C
S4 3/4"=1'-0



SECTION A
S4 3/4"=1'-0



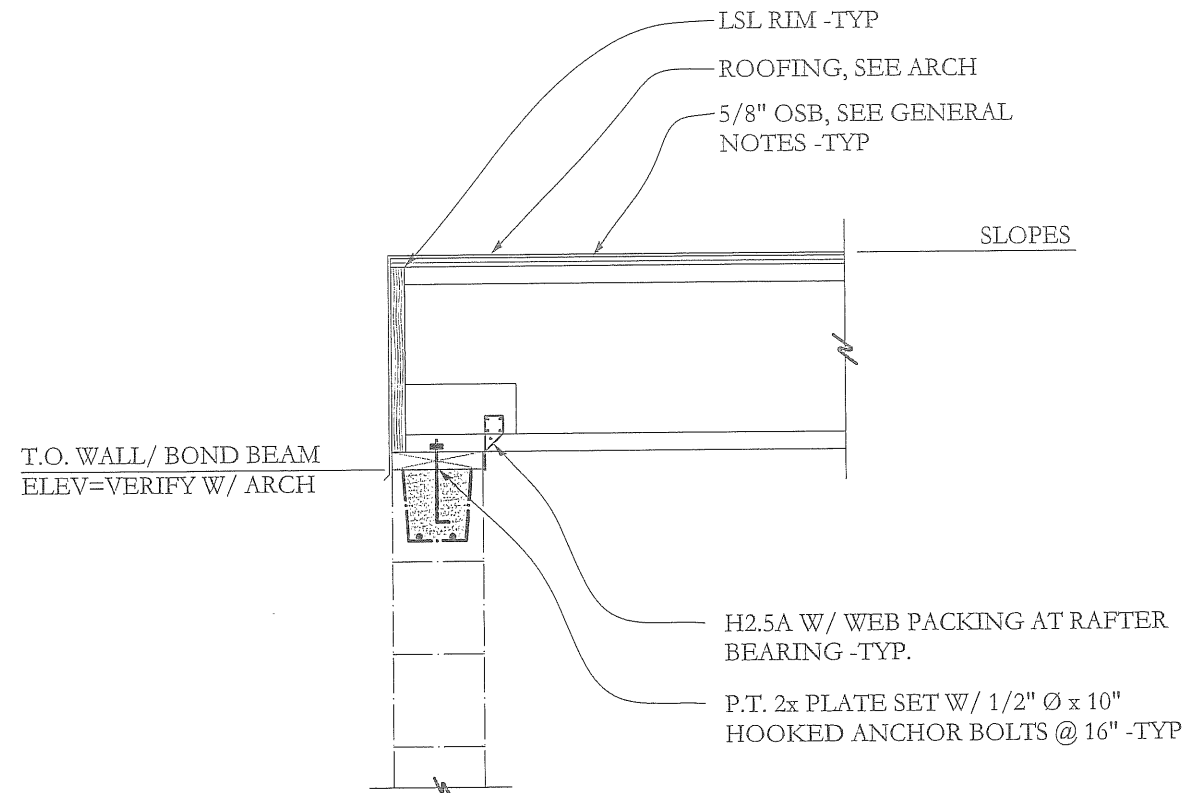
SECTION B
S4 3/4"=1'-0



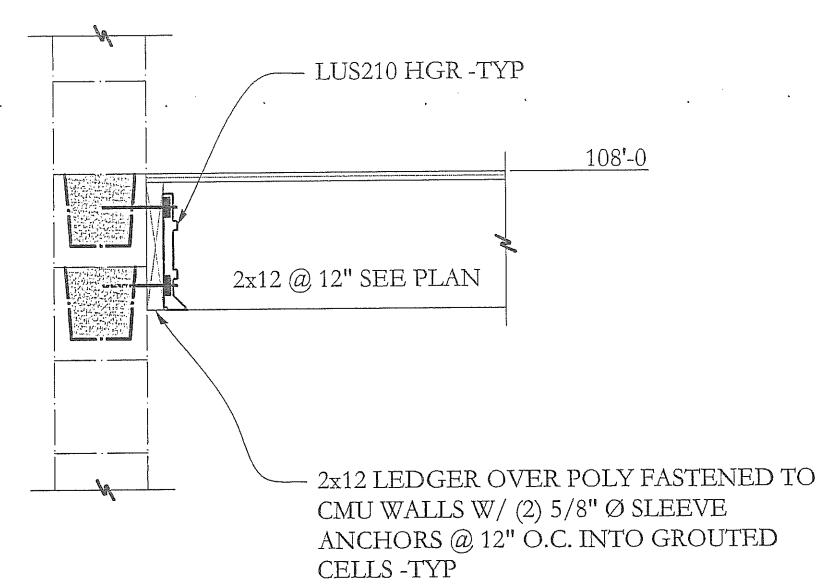
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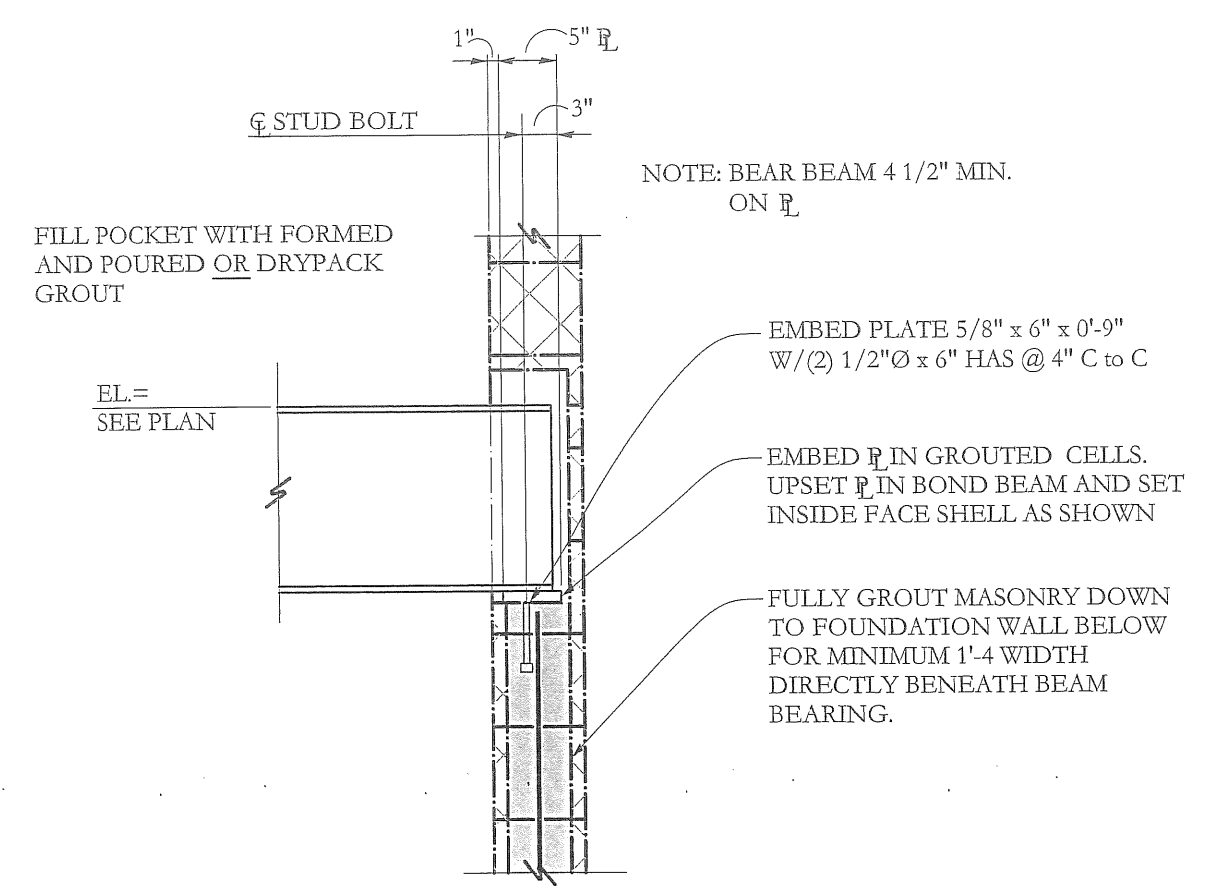
OWNER:	Tom Moulton 547 A Congress St, 6th Floor Portland, Maine 04101
PROJECT:	STORAGE GARAGE 84-88 Oak Street Portland Maine
ARCHITECT:	ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
Scale:	1/4" = 1'-0"
Date:	24 December 2008
Revisions:	
SECTION:	S4



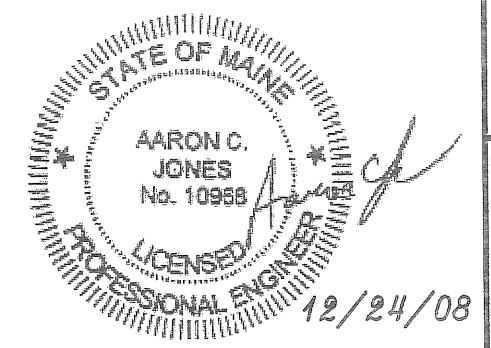
SECTION **F**
 S5 3/4"=1'-0



SECTION **D**
 S5 3/4"=1'-0



SECTION **E**
 S5 3/4"=1'-0



OWNER:	Tom Moulton 547 A Congress St, 6th Floor Portland, Maine 04101
ARCHETYPE, P.A. ARCHITECTS	48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
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SECTIONS	
S5	



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1. RECORD OWNER OF THE PROPERTY LOCATED BETWEEN 84 AND 94 OAK STREET IS NORTHEAST REALTY, INC. BY THE FOLLOWING DEEDS RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CORD):

A) DEED FROM NATIONAL BANK OF COMMERCE OF PORTLAND DATED NOVEMBER 8, 1954 AND RECORDED IN BOOK 2206, PAGE 55.

B) DEED FROM 901AL REALTY CO. DATED JULY 28, 1977 AND RECORDED IN BOOK 4083, PAGE 215. THIS DEED DESCRIBES 5 PARCELS NUMBERED AND LOCATED AS SHOWN ON THIS SURVEY. PARCEL 2 OF 5 IS CONVEYED TOGETHER WITH THE PRIVILEGE OF A PASSAGEWAY OF ELEVEN (11) FEET WIDE FROM THE DESCRIBED LOT TO FOREST AVENUE, TO BE KEPT OPEN FOREVER.

C) DEED FROM PORTLAND PERFORMING ARTS CENTER DATED MARCH 9, 1983 AND RECORDED IN BOOK 6130, PAGE 268. THIS DEED CONVEYS A STRIP OR PORTION OF LAND WHICH IS COVERED BY THE EXISTING BUILDING OCCUPYING THE SURVEYED PARCEL ALONG WITH A PERPETUAL EASEMENT FOR 5 PARKING SPACES ABUTTING THE SITE ALONG WITH FULL AND FREE RIGHT OF INGRESS TO AND EGRESS FROM SAID PARKING PLACES OVER... PROPERTY OF THE GRANTOR IN THE DEED SUBJECT TO AIR RIGHTS AND BUILDING SUPPORT EASEMENT CONVEYED BY NORTHEAST REALTY TO PORTLAND PERFORMING ARTS CENTER.

2. THE PROPERTY IS SHOWN ON THE CITY OF PORTLAND PROPERTY MAP U37 AND IS DEPICTED AS BEING LOTS 11 AND 23 IN BLOCK A. THE SUBJECT PROPERTY IS LOCATED WITHIN THE B-3 DOWNTOWN BUSINESS DISTRICT ZONE. REFERENCE IS MADE TO THE CITY OF PORTLAND ZONING ORDINANCE FOR SPACE AND BULK REQUIREMENTS.

3. THE PROPERTY IS NOT LOCATED WITHIN A 100 YEAR FLOOD ZONE AS DEPICTED ON THE FEMA FLOOD INSURANCE RATE MAPS FOR THE CITY OF PORTLAND, MAINE COMMUNITY PANEL NO. 230051-0013D WITH AN EFFECTIVE DATE OF JULY 17, 1996.

4. ELEVATIONS ARE BASED ON THE MEAN PLAN OF DIVISION OF LOTS OF THE BENJAMIN LARRABEE ESTATE NOTED IN PLAN REFERENCE 1. ELEVATION IS ASSUMED TO BE MATHNETIC.

5. TOTAL AREA OF SURVEYED PARCEL IS 12,706 S.F. OR 0.41 ACRES.

6. REFERENCE IS MADE TO FIRST AMERICAN TITLE INSURANCE COMMITMENT NO. 102005-02, FILE NO. 05010315, EFFECTIVE DATE OF OCTOBER 18, 2005, SCHEDULE 5 11545 7, 9-12 ARE NOTED AND LOCATED AS SHOWN HEREON.

7. VERTICAL DATUM: 1. ASSUMED BASED ON A SEWER RIM ELEVATION OF 63.61 FEET FOR A MANHOLE LOCATED IN CUMBERLAND AVENUE JUST NORTH OF ITS INTERSECTION WITH OAK STREET AS SHOWN ON A PLAN OF LAND ENTITLED, "SITE PLAN, NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY 1975/ESS BUILDING APPROVED BY THE DEPARTMENT OF PUBLIC WORKS JANUARY 10, 1975 AND PREPARED BY ALONZO J. HARRIMAN ASSOCIATES INC. DRAWING NO. SD-1, 74-184.

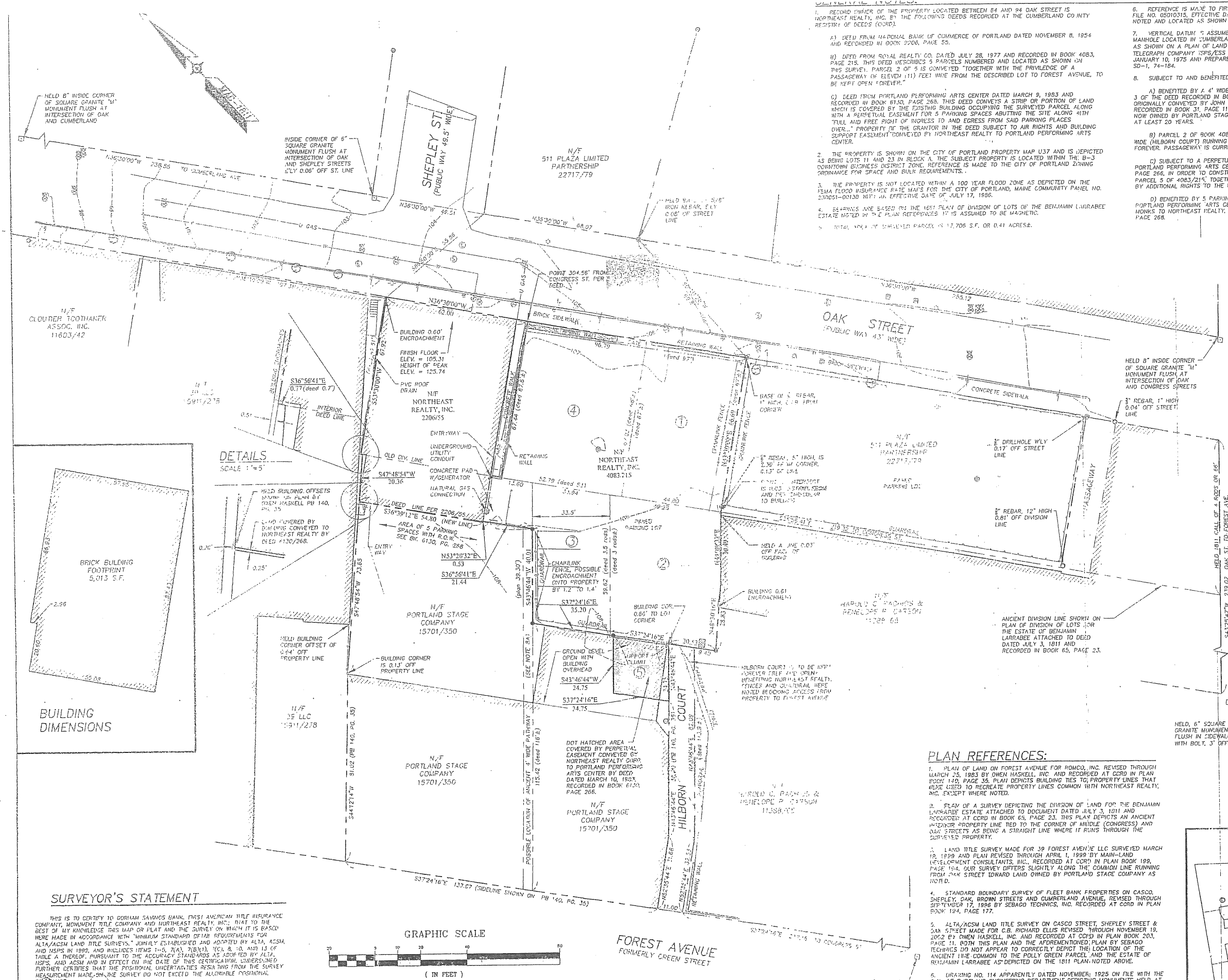
8. SUBJECT TO AND BENEFITED BY:

A) BENEFITED BY A 4' WIDE PASSAGEWAY IN COMMON WITH OTHERS LEADING FROM PARCEL 3 OF THE DEED RECORDED IN BOOK 4083, PAGE 215 TO FOREST AVENUE, FORMERLY GREEN ST. ORIGINALLY CONVEYED BY JOHN GREEN TO KEZIAN BENNETT BY DEED DATED OCTOBER 24, 1799 RECORDED IN BOOK 31, PAGE 113. PASSAGEWAY IS REFERRED TO IN HISTORICAL DEEDS TO LAND NOW OWNED BY PORTLAND STAGE COMPANY. PASSAGEWAY HAS BEEN BLOCKED BY BUILDINGS FOR AT LEAST 20 YEARS.

B) PARCEL 2 OF BOOK 4083, PAGE 215 IS BENEFITED BY A PASSAGEWAY ELEVEN (11) FEET WIDE (HILBORN COURT) RUNNING FROM THE PARCEL TO FOREST AVENUE, TO BE KEPT OPEN FOREVER. PASSAGEWAY IS CURRENTLY BLOCKED BY GUARDRAIL AND CHAINLINK FENCING.

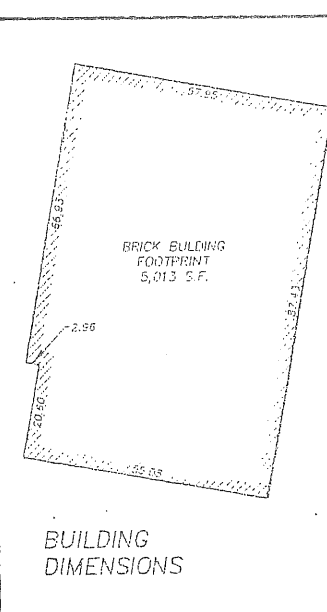
C) SUBJECT TO A PERPETUAL EASEMENT DESCRIBED IN DEED FROM NORTHEAST REALTY TO PORTLAND PERFORMING ARTS CENTER DATED MARCH 10, 1983 AND RECORDED IN BOOK 6130, PAGE 268, IN ORDER TO CONSTRUCT AND MAINTAIN A BUILDING TO BE AIR SPACE ABOVE PARCEL 5 OF 4083/215 TOGETHER WITH NECESSARY SUPPORTS AND FOOTINGS, AND BENEFITED BY ADDITIONAL RIGHTS TO THE PASSAGEWAY.

D) BENEFITED BY 5 PARKING SPACES AND ACCESS RIGHTS DESCRIBED IN A DEED FROM PORTLAND PERFORMING ARTS CENTER, OLD FELLOWS HALL ASSOCIATION AND ROBERT C. S. MONKS TO NORTHEAST REALTY, INC. DATED MARCH 10, 1983 AND RECORDED IN BOOK 6130, PAGE 268.



LEGEND

---	SITE BOUNDARY
---	ADJUTER BOUNDARY
---	SETBACK
---	EASEMENT
---	MONUMENT
---	IRON PIPE/ROD
---	DRILLHOLE
---	IRON REBAR 10 SE SET
---	CHAIN LINK FENCE
---	EDGE PAVEMENT/CONCRETE
---	CURBLINE
---	BUILDING
---	RETAINING WALL
---	QUADRAIR
---	COUNTOURS
---	GAS
---	WATER
---	SEWER
---	STORM DRAIN
---	UNDERGROUND
---	OVERHEAD
---	ELEC. & TEL
---	UNDERGROUND
---	ELECTRIC
---	UNDERGROUND
---	TELEPHONE
---	CURVE/LINE NO.
---	SPOT GRADE
---	SIGN
---	WATER VALVE
---	GAS VALVE
---	LIGHT POLE
---	UTILITY POLE
---	BUY WIRE
---	HYDRANT
---	CATCH BASIN
---	DRAINAGE MANHOLE
---	SEWER MANHOLE
---	WATER MANHOLE
---	ELECTRICAL MANHOLE
---	TELEPHONE MANHOLE

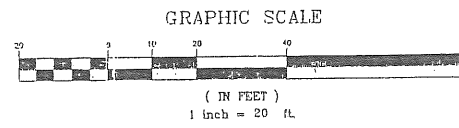


SURVEYOR'S STATEMENT

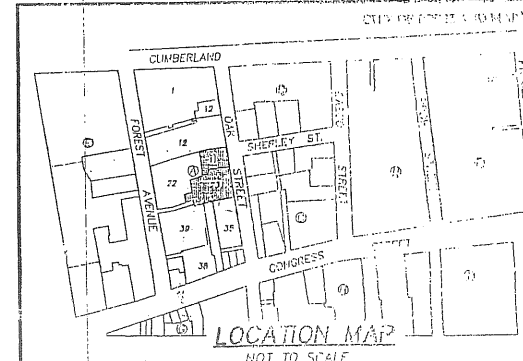
THIS IS TO CERTIFY TO GORHAM SAVINGS BANK, FIRST AMERICAN TITLE INSURANCE COMPANY, MONUMENT TITLE COMPANY AND NORTHEAST REALTY, INC., THAT TO THE BEST OF MY KNOWLEDGE THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH MINIMUM STANDARD DEVIATION REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA, ACSM, AND NSPS IN 1986, AND INCLUDES ITEMS 1-5, 7(A), 7(B)(1), 7(C), 8, 10, AND 13 OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS, AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION. UNDERSIGNED FURTHER CERTIFIES THAT THE POSITIVE UNCERTAINTIES RESULTING FROM THE SURVEY MEASUREMENT MADE, ON THE SURVEY DO NOT EXCEED THE ALLOWABLE POSITIVE TOLERANCE.

DATE: 12/23/05

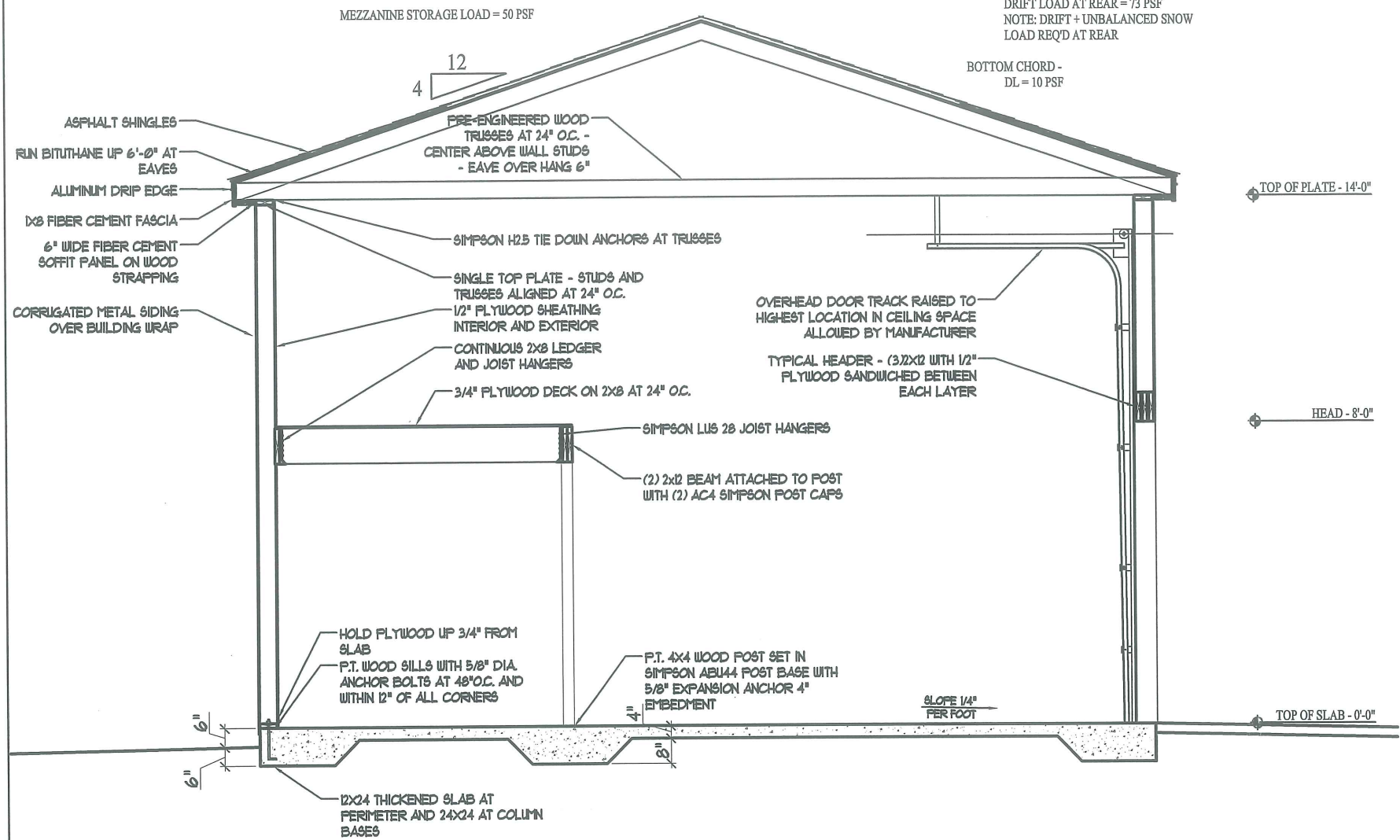
DONALD E. DOSTIE PLS 21427



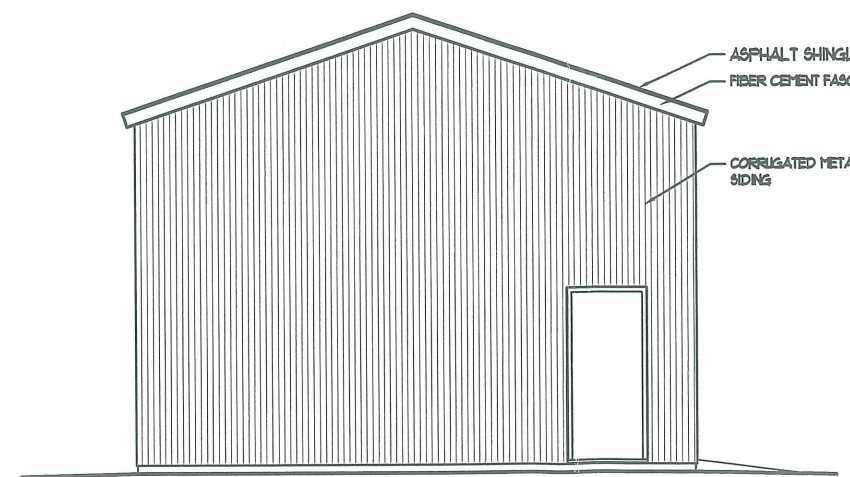
- PLAN REFERENCES:**
1. PLAN OF LAND ON FOREST AVENUE FOR ROMCO, INC. REVISED THROUGH MARCH 25, 1983 BY OWEN HASKELL, INC. AND RECORDED AT CORD IN PLAN BOOK 140, PAGE 35. PLAN DEPICTS BUILDING TIES TO PROPERTY LINES THAT WERE USED TO RECREATE PROPERTY LINES COMMON WITH NORTHEAST REALTY, INC. EXCEPT WHERE NOTED.
 2. PLAN OF A SURVEY DEPICTING THE DIVISION OF LAND FOR THE BENJAMIN LARRABEE ESTATE ATTACHED TO DOCUMENT DATED JULY 3, 1911 AND RECORDED AT CORD IN BOOK 65, PAGE 23. THIS PLAN DEPICTS AN ANCIENT INTERIOR PROPERTY LINE TIED TO THE CORNER OF MIDDLE (CONGRESS) AND OAK STREETS AS BEING A STRAIGHT LINE WHERE IT RUNS THROUGH THE SURVEYED PROPERTY.
 3. LAND TITLE SURVEY MADE FOR 39 FOREST AVENUE LLC SURVEYED MARCH 19, 1999 AND PLAN REVISED THROUGH APRIL 1, 1999 BY MAIN-LAND DEVELOPMENT CONSULTANTS, INC. RECORDED AT CORD IN PLAN BOOK 199, PAGE 164. OUR SURVEY DIFFERS SLIGHTLY ALONG THE COMMON LINE RUNNING FROM OAK STREET TOWARD LAND OWNED BY PORTLAND STAGE COMPANY AS NOTED.
 4. STANDARD BOUNDARY SURVEY OF FLEET BANK PROPERTIES ON CASCO, SHEPLEY, OAK, BROWN STREETS AND CUMBERLAND AVENUE, REVISED THROUGH SEPTEMBER 17, 1996 BY SEBAGO TECHNICS, INC. RECORDED AT CORD IN PLAN BOOK 194, PAGE 172.
 5. ALTA/ACSM LAND TITLE SURVEY ON CASCO STREET, SHEPLEY STREET & 24th STREET MADE FOR C.B. RICHARD ELLIS REVISED THROUGH NOVEMBER 19, 2002 BY OWEN HASKELL, INC. AND RECORDED AT CORD IN PLAN BOOK 203, PAGE 11. BOTH THIS PLAN AND THE AFORESAID PLAN BY SEBAGO TECHNICS DO NOT APPEAR TO CORRECTLY DEPICT THE LOCATION OF THE ANCIENT LINE COMMON TO THE POLLY GREEN PARCEL AND THE ESTATE OF BENJAMIN LARRABEE AS DEPICTED ON THE 1911 PLAN NOTED ABOVE.
 6. DRAWING NO. 114 APPARENTLY DATED NOVEMBER, 1925 ON FILE WITH THE CITY OF PORTLAND ENGINEERING DEPARTMENT DEPICTING MONUMENTS HELD AT THE INTERSECTION OF CUMBERLAND AVENUE WITH OAK STREET AND THE INTERSECTION OF CONGRESS STREET WITH OAK STREET. THE MONUMENT FOUND AT THE INTERSECTION OF SHEPLEY STREET AND OAK STREET IS NOT SHOWN AND WAS NOT HELD.



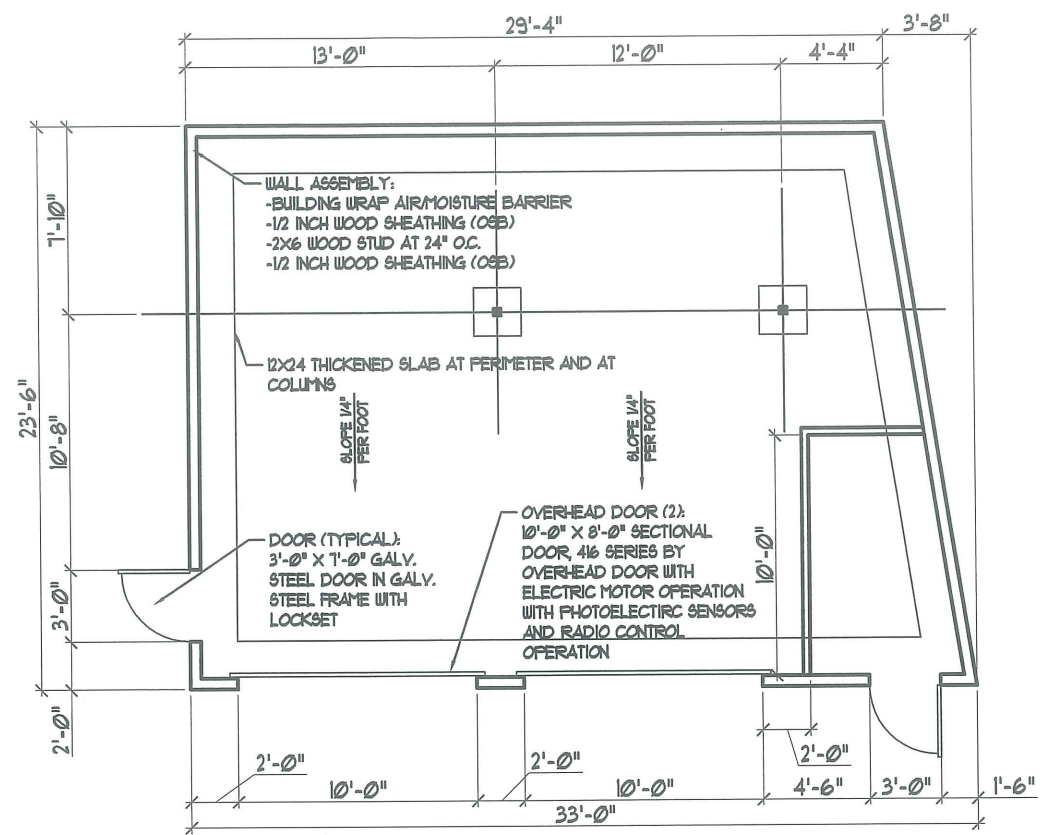
ALTA/ACSM LAND TITLE SURVEY
NORTHEAST REALTY PROPERTY
PORTLAND, MAINE
SHEET 1 OF 1



2 | BUILDING SECTION
SCALE: 1/4" = 1'-0"

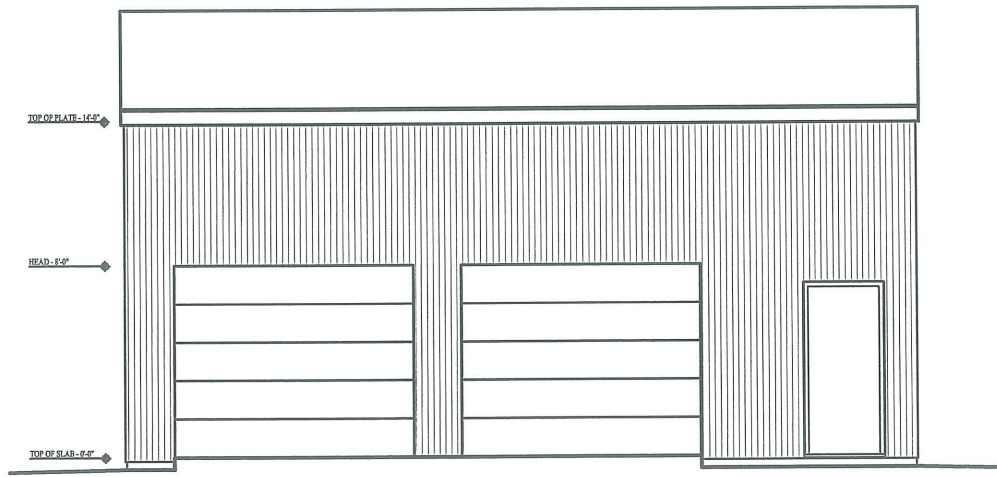


B | SIDE ELEVATION
SCALE: 1/8" = 1'-0"



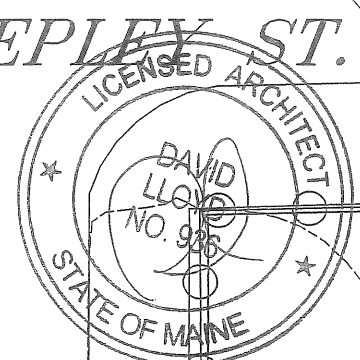
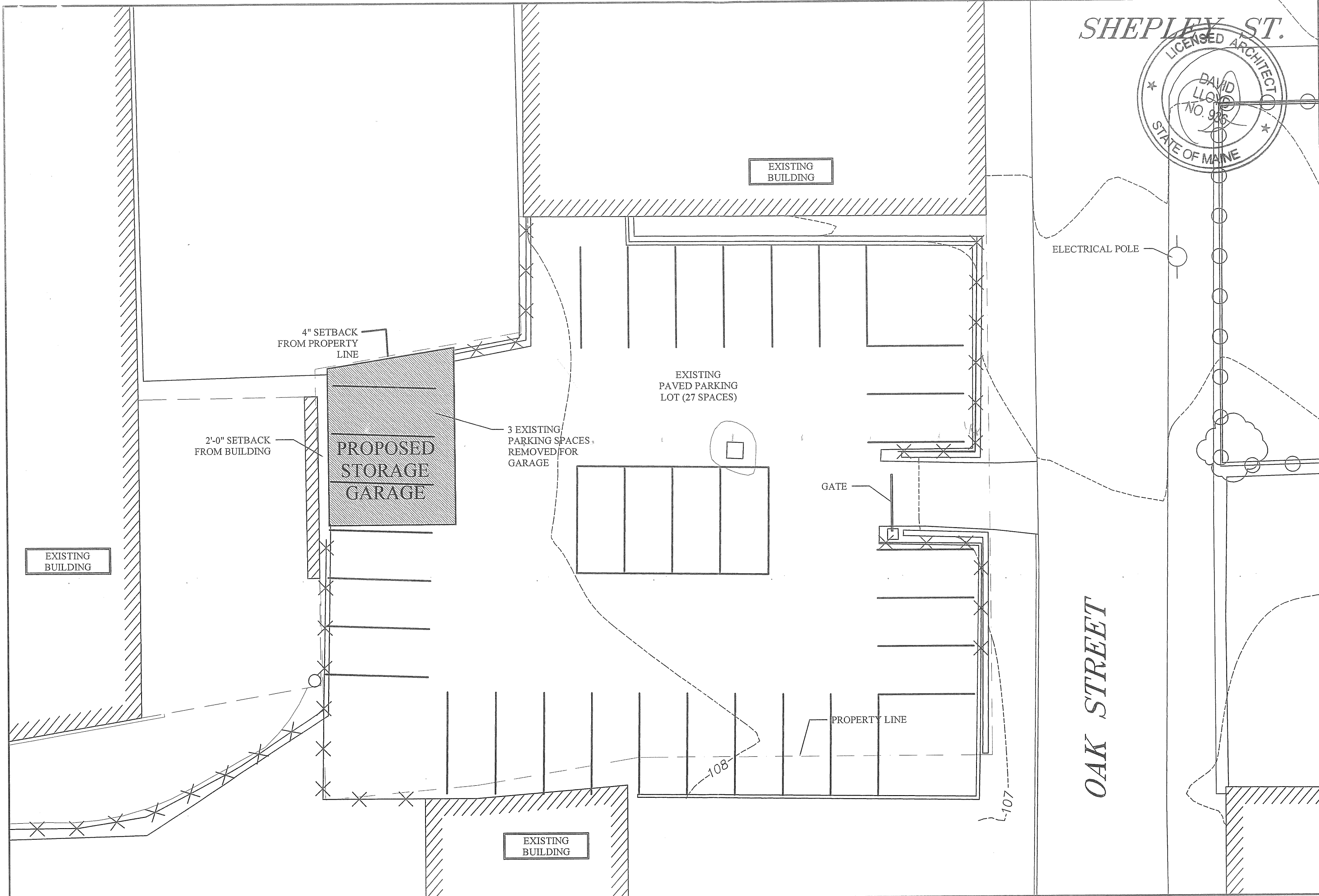
1 | BUILDING PLAN
SCALE: 1/8" = 1'-0"

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: APPROVED FEB 24 2009



A | FRONT ELEVATION
SCALE: 1/8" = 1'-0"

Prepared For:	Tom Moulton	547A Congress Street 6th Floor PORTLAND, ME
Architect:	ARCHETYPE architects	48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
Project:	GARAGE	
Revisions:	84-88 OAK STREET PORTLAND, ME	
Date:	19 March 2009	PLAN, SECTION & ELEVATION
Scale:	VARIES	
A1.01		



OWNER:
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 547 A Congress St, 6th Floor
 Portland, Maine 04101

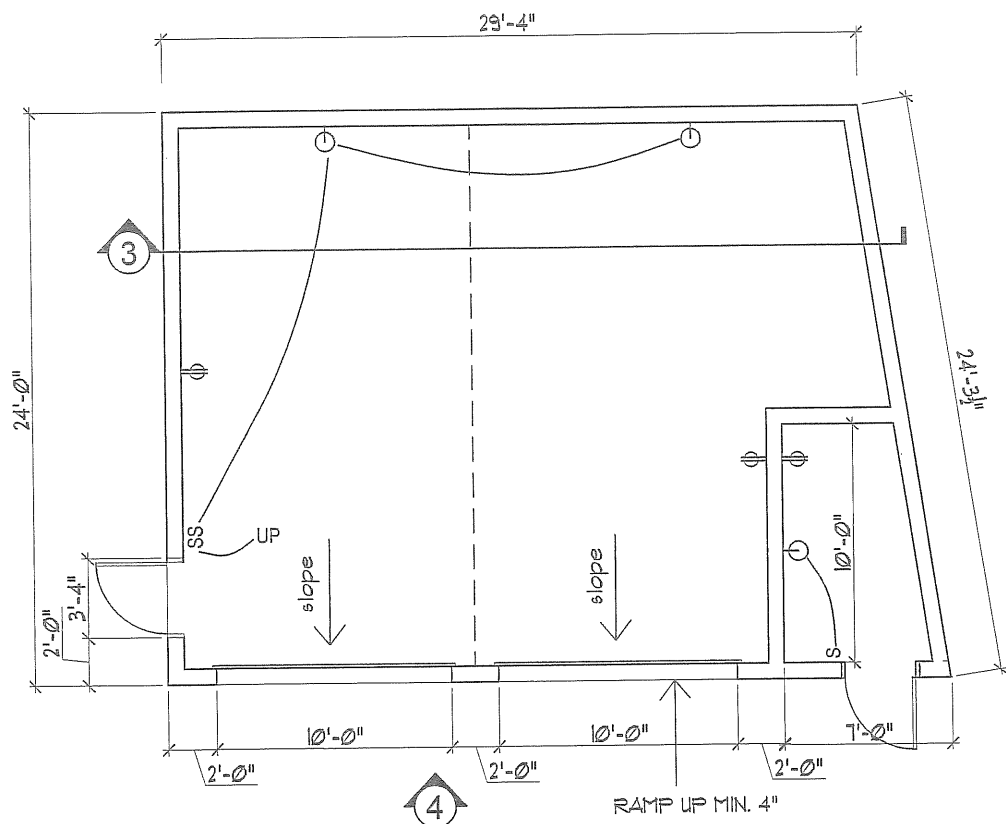
ARCHETYPE, P.A.
 ARCHITECTS
 48 Union Wharf Portland, Maine 04101
 (207) 772-6022 Fax (207) 772-4056

PROJECT:
Garage
 84-88 Oak Street
 Portland Maine

Revisions:

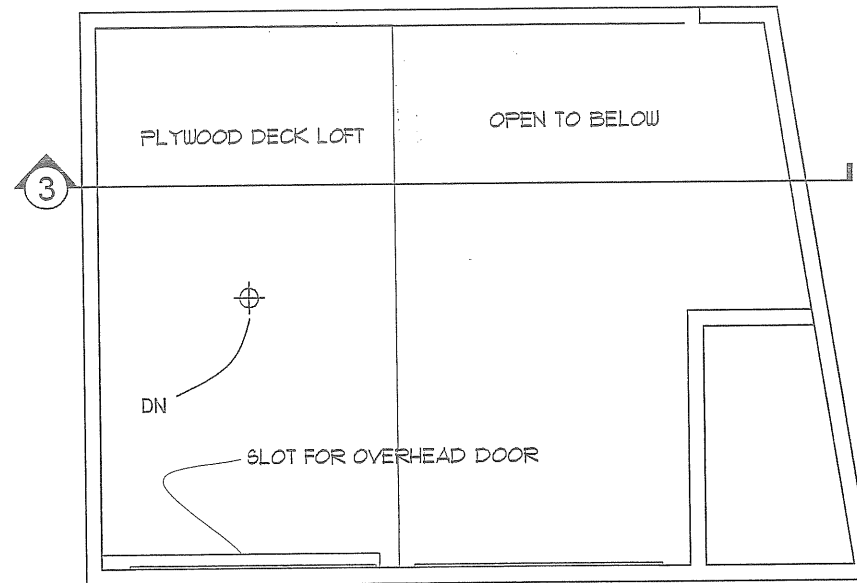
Date: 19 December 2008
 Scale: 1/8" = 1'-0"
SITE PLAN

A1



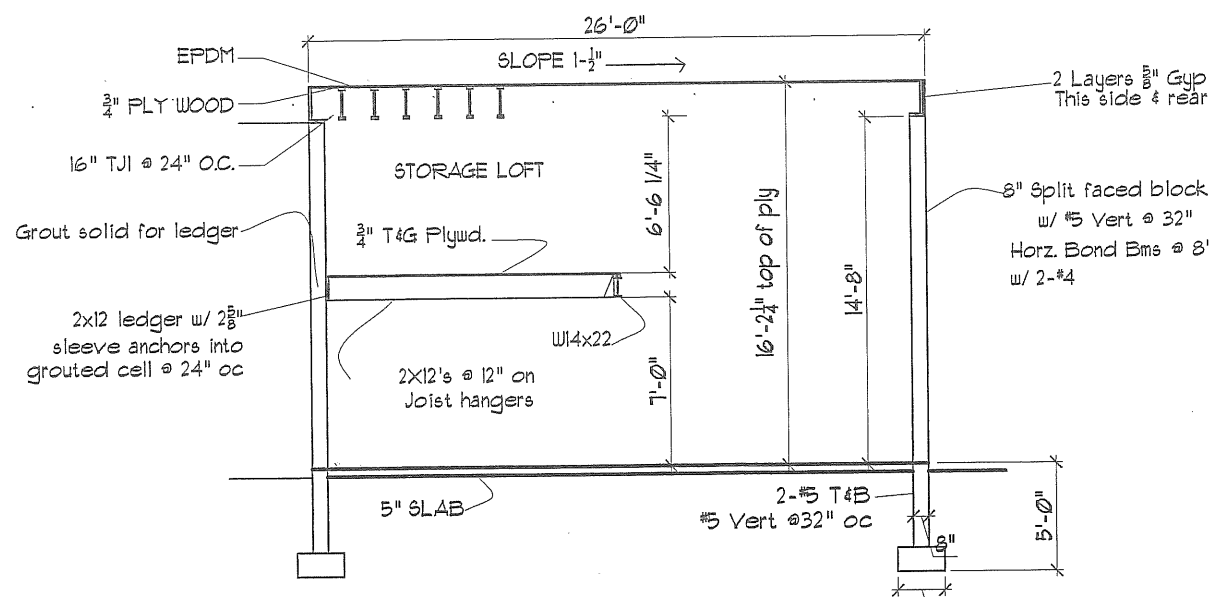
1 | PLAN

SCALE: 1/8" = 1'-0"



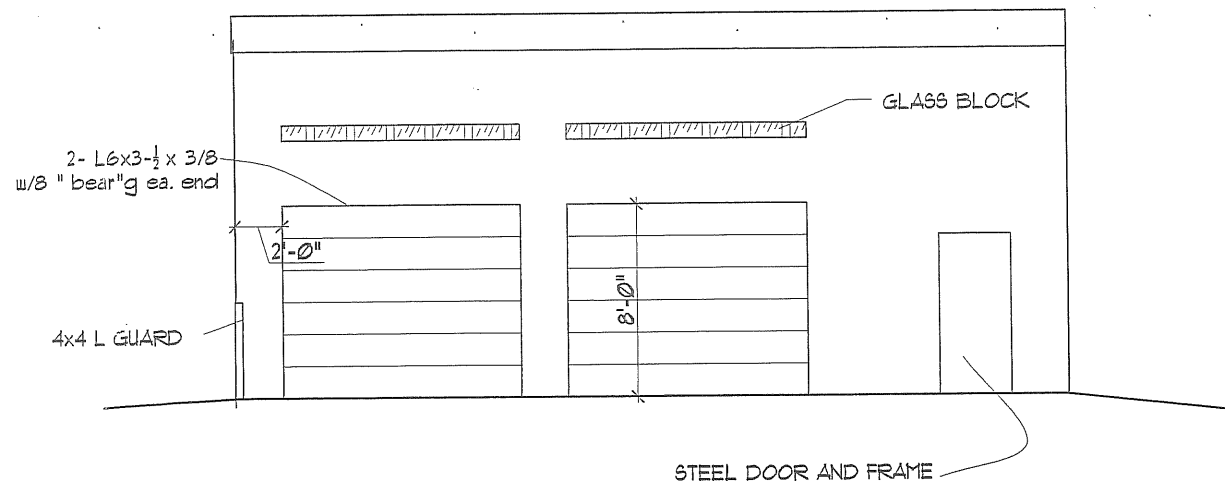
2 | LOFT PLAN

SCALE: 1/8" = 1'-0"



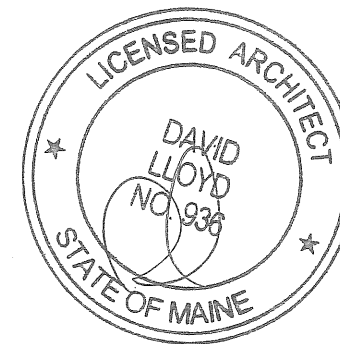
3 | SECTION

SCALE: 1/8" = 1'-0"



4 | ELEVATION

SCALE: 1/8" = 1'-0"



OWNER:
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547 A Congress St, 6th Floor
Portland, Maine 04101

ARCHETYPE, P.A.
ARCHITECTS
48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

PROJECT:
STORAGE GARAGE
84-88 Oak Street
Portland Maine

Revisions:

Date: 19 December 2008
Scale: 1/8" = 1'-0"

PLANS AND
ELEVATIONS

A2

STRUCTURAL GENERAL NOTES

Storage Garage
84-88 Oak Street
Portland, Maine
SI JOB# 08-0085

DESIGN LOADS: International Building Code; IBC 2003 Edition, except as noted
Occupancy Category, Table 1604.5 II Standard

Roofs:	Ground Snow, Pg	50 psf
	Flat Roof Snow, Pf	31.5 psf,
	Snow Exposure Factor, Ce	Table 1608.3.1 1.0
	Snow importance Factor, Is	Table 1604.5 1.0
	Snow Thermal Factor, Ct	Table 1608.3.2 1.0

Floors:	Garage	30 psf
	Storage Areas	125 psf

Lateral	Wind	IBC 1603.1.4, ASCE 7-02	Analytic Method
		3 Second Gust Velocity	100 mph
		Importance Factor	1.0
		Exposure	C
Seismic	Use Group	1	
		Importance Factor	1.0
	Spectral Response	Acceleration Coefficient	
		Short Period	S _s 0.375 g
	One Second	S ₁ 0.1 g	
	Soils Site Class	Table 1615.1.1 D	
Design Category	Table 1616.3 C		

FOUNDATION DESIGN:
Foundations are designed without an engineer's soil investigation. Foundation design criteria was assumed for purposes of foundation design and shall be confirmed by a soils engineer, at owner's expense, prior to construction. (This procedure may require revisions to foundation design, at additional expense to the owner, if soils engineer determines that such design criteria are inappropriate for this building site.)

Footings--
Design of footings is based on maximum allowable bearing pressure 1,500 psf
Bear on the natural undisturbed soil, or compacted structural fill, below frost depth.

REINFORCED CONCRETE:
Design is based on "Building Code Requirements for Reinforced Concrete"(ACI 318-02). Concrete work shall conform to "Standard Specifications for Structural Concrete" (ACI 301-99).
Structural concrete shall have the following properties:

Intended Use	f'c, psi 28day	Max W/C Ratio	Maximum Aggregate	Slump inches	Entrained Air Percent ±1.5%	Cement Type	Admixtures, Comments
footings	2,500	.6	¾" Stone	4	---	I/II	
stem walls	3,000	.5	¾" Stone	4	5%	I/II	
exterior slab on grade	4,000	.45	¾" Stone	4	6%	I/II	Fibermesh
interior slabs on grade	3,500	.5	¾" Stone	4	3%	I/II	Fibermesh

Detailing, fabrication, and placement of reinforcing steel shall be in accordance with the Manual of Standard Practice for Detailing Reinforced Concrete Structures (ACI 315-99).
Welded wire fabric shall conform to ASTM A185.
Reinforcing bars shall conform to ASTM A615, Grade 60, except ties or bars shown to be field-bent, which shall be Grade 40.
Bars to be welded shall conform to ASTM 705.

At splices, lap bars 50 diameters unless noted otherwise.
At corners and intersections, make horizontal bars continuous or provide matching corner bars.
Around openings in walls and slabs, provide 2-#5, extending 2'-0" beyond edge of opening.
In continuous members, splice top bars at mid-span and splice bottom bars over supports.
Provide intermittent shear keys at all construction joints and elsewhere as shown on the drawings.
Except as noted on the drawings, concrete protection for reinforcement in cast-in-place concrete shall be as follows:

a. Cast against and permanently exposed to earth	3"
b. Exposed to earth or weather:	
#6 through #18 bars	2"
#5 bar, W31 or D31 wire, and smaller	1-1/2"
c. Not exposed to weather or in contact with ground:	
Slabs, walls, joists: #11 bar and smaller	3/4"
Beams, columns:	
Primary reinforcement	1-1/2"
Stirrups, ties, spirals	1-1/2"

Fibermesh admixture shall be 100% virgin polypropylene, fibrillated fibers as manufactured by Fibermesh Co. per ASTM C-1116 type 111 4.1.3 and ASTM C-1116 performance level one, 1.5 lbs per cubic yard of concrete.
Anchor bolts and rods for beam and column-bearing plates shall be placed with setting templates.
Permanent corrugated steel forms for concrete floor slabs shall be manufactured and erected according to the "Specifications and Code of Standard Practice" of the Steel Deck Institute.
All concrete work is subject to inspection by a qualified special inspector employed by the owner in accordance with IBC Section 1704.4.

STRUCTURAL STEEL:
Structural steel shall be detailed, fabricated, and erected in accordance with AISC Specifications, 2005, and Code of Standard Practice, 2000.

Structural steel wide flange beams shall conform to ASTM A992.
Anchor rods shall conform to ASTM F1554, Grade 36 (or high strength Gr 55 or Gr 105 as noted), with weldability supplement S1.
Headed anchor studs (HAS) shall be attached to structural steel with equipment approved by the stud manufacturer according to the stud manufacturer's recommendations.

Welding shall be done by a certified welder in accordance with AISC and AWS specifications and recommendations using E70-electrodes. Where not specifically noted, minimum weld shall be 3/16" fillet by length of contact edge.
All post-installed anchors shall have current National Evaluation Report, and shall be installed in accordance with the manufacturer's requirements.

Expansion anchors shall be approved "wedge" type unless specifically noted to be "sleeve" type.
Chemical anchors shall be approved epoxy or similar adhesive type and shall have current National Evaluation Report. Where base material is not solid, approved screen tubes shall be used.
Grout beneath column base and beam-bearing plates shall be minimum 28-day compressive strength of 7,500 psi, approved pre-bagged, non-metallic, non-gaseous, bleed free, non-shrink, when tested in accordance with ASTM C1107 Grade B or C at a flow cone fluid consistency of 20 to 30 seconds

STRUCTURAL MASONRY:
Design is based on Unit Strength Method
MSJC 2002, Section SC-1.4 B.2.
Compressive strength of masonry assembly used for design is 1500 psi, based on net-bedded area.
Hollow load-bearing concrete masonry (CMU) shall be lightweight units conforming to ASTM C90, Grade N1, minimum compressive strength 1,900 psi based on average net area.

Mortar shall be Type S conforming to ASTM C270.
Masonry cement shall not be used.
Provide full shovled mortar in all head and bed joints.
Admixtures shall not be added for any reason unless approved by the Architect.
Except for lintels, bond beam units shall be produced from standard vertically voided units with pre-cut knockout cross walls.
Grout used in masonry walls and block cells shall be:
coarse grout, as defined by ASTM C476, with a minimum cube strength = 2,000 psi.
3000 psi concrete using 3/8" diameter aggregate, placed by vibrating unless an approved self consolidating mix is used.
Lifts shall not exceed five feet in height.
If grout pour height exceeds 5 feet, clean-out holes shall be provided.
Space continuous horizontal joint reinforcing at 16" maximum in all CMU walls.
Joint reinforcing shall be welded type with 9 gage side-wires and 9 gage trussed or ladder cross wires.

Reinforcing bars shall be as for reinforced concrete except as noted.
At splices, lap bars 48 diameters.
Provide reinforced grouted vertical cells at corners, ends of walls, jambs of openings, each side of vertical control joints, and at 32" max spacing as shown on drawings.
Reinforcement shall be secured against displacement prior to grouting by wire bar locators or other suitable devices at intervals not exceeding 200 bar diameters or 10 feet.

Where noted on the drawings, provide clearance between masonry and structural elements, or wrap steel with polyethylene film.
Provide vertical control joints in all masonry walls as located on architectural drawings or at 25'-0" maximum spacing, at both jambs of openings wider than six feet.
Submit for review
Certificates for materials used in masonry construction indicating compliance with the contract documents
Determine f'm through material submittals
MSJC Level 1 Quality Assurance, MSJC Table 1.14.2

LOOSE LINTELS:
Unless noted otherwise, provide loose lintels as follows: (One angle for each 4" of wall thickness to bear 6" minimum each end).
Openings to 4'-0": Angle 3-1/2 x 3-1/2 x 1/4
Openings 4'-1 to 5'-4": Angle 5 x 3-1/2 x 1/4
Openings 5'-5 to 6'-6": Angle 6 x 3-1/2 x 5/16

STRUCTURAL WOOD FRAMING:
In-Grade Base Values have been used for design.
2x framing shall be SPF S4S No. 2 and better unless noted.
All lumber shall be 19% maximum moisture content, unless noted.
Solid timber beams and posts shall be Douglas Fir-Larch No. 1.
Studs shall be SPF Stud grade and better.
Top and bottom plates shall be SPF No. 2 and better.
Wood in contact with concrete shall be pressure-treated SPF.
Conventional light framing shall comply with IBC Section 2308.
Except as noted otherwise, minimum nailing shall be provided as specified in IBC Table 2304.9.1 "Fastening Schedule"
Plywood and oriented strand board (OSB) floor and roof sheathing shall be APA graded with panel identification index, thickness, and nailing as noted on the drawings.
All roof rafters, joists, beams shall be anchored to supports with metal framing anchors.
Light gage framing anchors shown or required, shall be Simpson "Strong Tie" or equal Code approved connectors and installed with the number and type of nails recommended by the manufacturer to develop the rated capacity.
Note that heavy-duty hangers and skewed hangers may not be stocked locally and require special order from the factory.
All beams and trusses shall be braced against rotation at points of bearing.
Unless otherwise indicated, install two lengths of solid blocking x joist depth x 12 inches long in floor framing under column loads.
Columns must have a continuous load path to foundation.

Structural Drawing Index	
S0	General Notes, Etc.
S1	Foundation Plan
S2	Storage Loft Framing Plan
S3	Roof Framing Plan
S4	Sections
S5	Sections

PLANT FABRICATED / PRE-ENGINEERED WOOD FRAMING:
I-series roof and joists shall be TJI, LPI, BCI, or equal with structural wood flanges and webs, and carry Code approval for the composite section.
Bridging and blocking shall be installed according to the fabricator's requirements.

STRUCTURAL ERECTION AND BRACING REQUIREMENTS:
The structural drawings illustrate the completed structure with elements in their final positions, properly supported and braced. These construction documents contain typical and representative details to assist the contractor.
Details shown apply at all similar conditions unless otherwise indicated.
Although due diligence has been applied to make the drawings as complete as possible, not every detail is illustrated, nor is every exceptional condition addressed.
All proprietary connections shall be installed in accordance with the manufacturers' recommendations.
All work shall be accomplished in a workmanlike manner and in accordance with the applicable code and local ordinances.
The general contractor is responsible for coordination of all work, including layout and dimension verification, materials coordination, shop drawing review, and the work of subcontractors.
Any discrepancies or omissions discovered in the course of the work shall be immediately reported to the architect for resolution.
Continuation of work without notification of discrepancies relieves the architect and engineer from all consequences.
Unless otherwise specifically indicated, the drawings do not describe methods of construction.
The contractor, in the proper sequence, shall perform or supervise all work necessary to achieve the final completed structure, and to protect the structure, workmen, and others during construction.
Such work shall include, but not be limited to, bracing, shoring for construction equipment, shoring for excavation, formwork, scaffolding, safety devices and programs of all kinds, support and bracing for cranes and other erection equipment.
Temporary bracing shall remain in place until all floors, walls, roofs and any other supporting elements are in place.
The architect and engineer bear no responsibility for the above items, and observation visits to the site do not in any way include inspection of them.

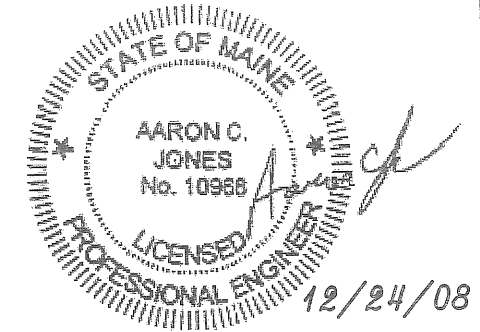
LETTERS OF CONSTRUCTION COMPLIANCE:
The General Contractor shall determine from the local building official at the time the building permit is obtained whether any letters of construction compliance will be requested from the Structural Engineer.
The Contractor shall notify the engineer about all such requirements in writing before the start of construction.
One-day advance notice shall be given when requesting site visits necessary as the basis for the compliance letter.

INSPECTIONS AND REVIEWS:
All site soils related work and footing excavations prior to placing forms, as well as site drainage, shall be reviewed by the project geotechnical engineer.
Normal reviews by Local Building Department.
Notify 48 hours prior to required review.
Required special inspections per I.B.C. Section 1704 by an approved special inspector retained by owner:
• Concrete: Observation of reinforcing, embeds, and forms prior to placement of concrete and observation during placement of concrete as well as taking and testing of specimens. Refer to Section 1704.4 of the I.B.C.
• Grading, Excavation and Placement of Fills: Observation during grading, earthwork excavations and placement of fills, as well as testing for required compaction of fills.
• Masonry: Periodic inspection of mortar proportions, reinforcing, and grouting in accordance with section 1704.5 of the I.B.C.
The Special Inspector shall be a qualified person who shall demonstrate competence, to the satisfaction of the building official, for inspection of the particular type of construction or operation requiring special inspection.

Duties and responsibilities of the special inspector shall be to observe and/or test the work assigned and outlined above for conformance with the approved construction documents. All discrepancies shall be brought to the immediate attention of the contractor for correction.

The special inspector shall furnish regular reports to the building official, the engineer and architect of record, and other designated persons. Progress reports for continuous inspection shall be furnished weekly. Individual reports of periodic inspections shall be furnished within one week of inspection dates. The reports shall note uncorrected deficiencies, correction of previously reported deficiencies, and changes to the approved construction documents authorized by engineer of record.

The special inspector shall submit a final signed report within 10 days of the final special inspection stating whether the work requiring special inspection was, to the best of the inspector's knowledge and belief, in conformance with the approved construction documents and the applicable workmanship provisions of the International Building Code. Work not in compliance shall be noted in the report.



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ARCHETYPE, P.A. ARCHITECTS
48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

PROJECT: STORAGE GARAGE
84-88 Oak Street
Portland Maine

Revisions:

Scale: 1/4" = 1'-0"

Date: 24 December 2008

GENERAL NOTES ETC.

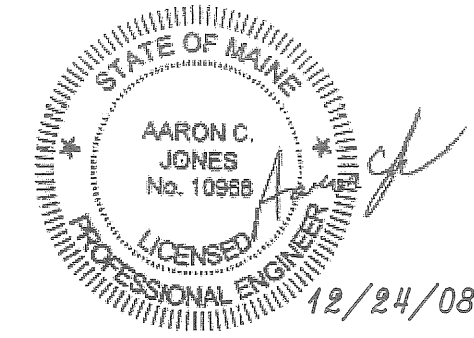
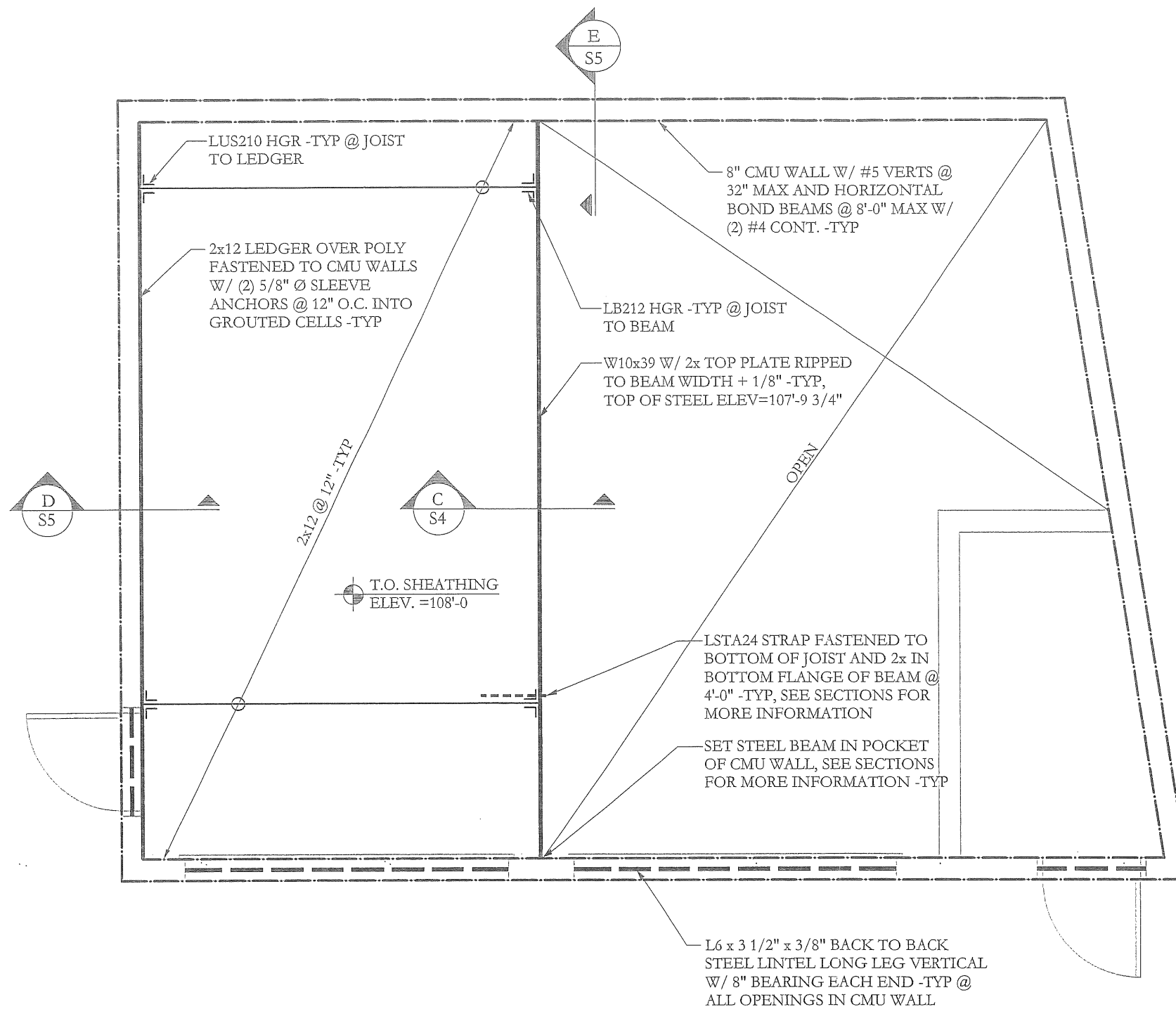
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S0



STORAGE LOFT FRAMING PLAN

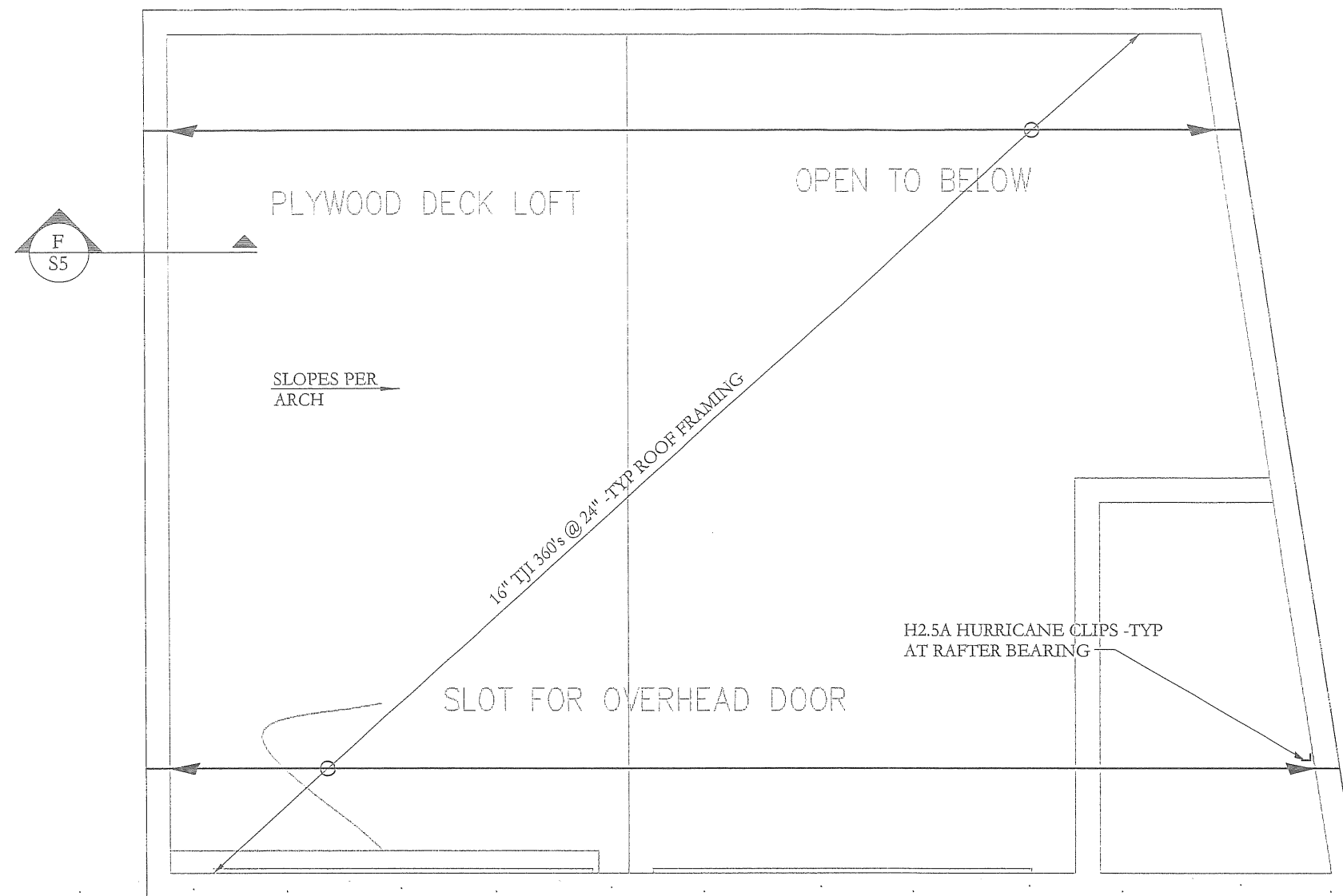
- NOTES: SCALE 1/4"=1'-0"
1. FLOOR DECK SHALL BE 3/4" T&G SHEATHING, SEE GENERAL NOTES FOR ADDITIONAL INFO
 3. ALL BEAMS ARE FLUSH, UNO
 4. SEE SHEET S0 FOR GENERAL STRUCTURAL NOTES
 5. ALL STEEL LINTELS SHALL BE (2) L6x 3 1/2" x 3/8", UNO
 6. ALL FLOOR JOISTS SHALL BE 2x12 @ 12" -TYP UNO
 7. TOP OF STEEL BEAM ELEVATION SHALL BE 107'-9 3/4" -TYP UNO



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STORAGE LOFT FRAMING PLAN	
S2	



ROOF FRAMING PLAN

NOTES:

SCALE 1/4"=1'-0"

1. ROOF SHEATHING SHALL BE 5/8" OSB, SEE GENERAL NOTES FOR ADDITIONAL INFO
2. ALL RAFTERS SHALL BE 16" TJI 360's @ 24", UNO
3. SEE SHEET S0 FOR GENERAL STRUCTURAL NOTES
4. SEE ARCH FOR ROOFING/ WATERPROOFING -TYP

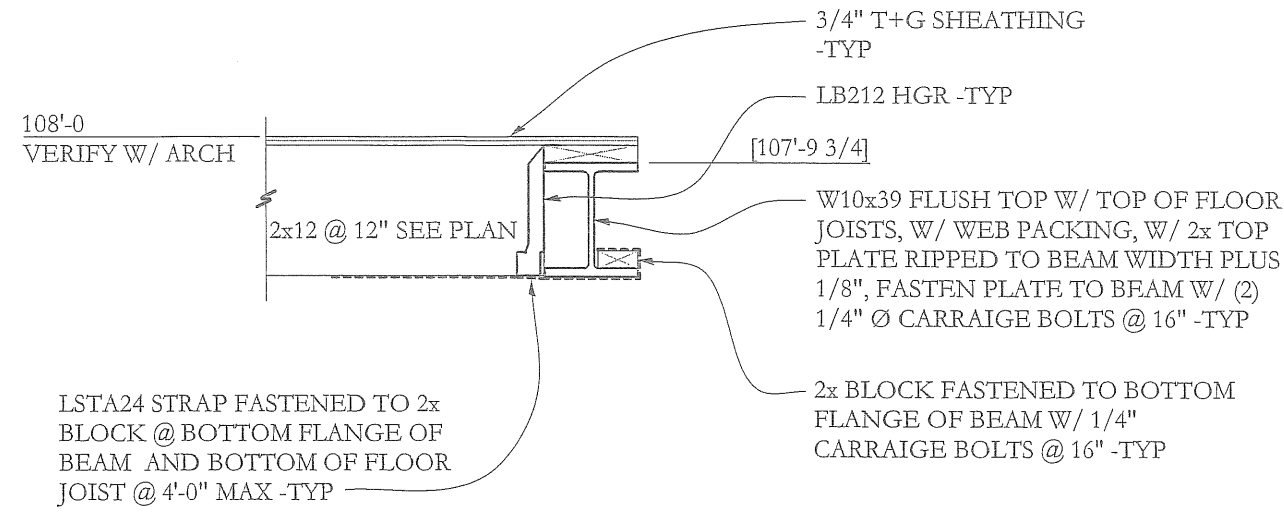
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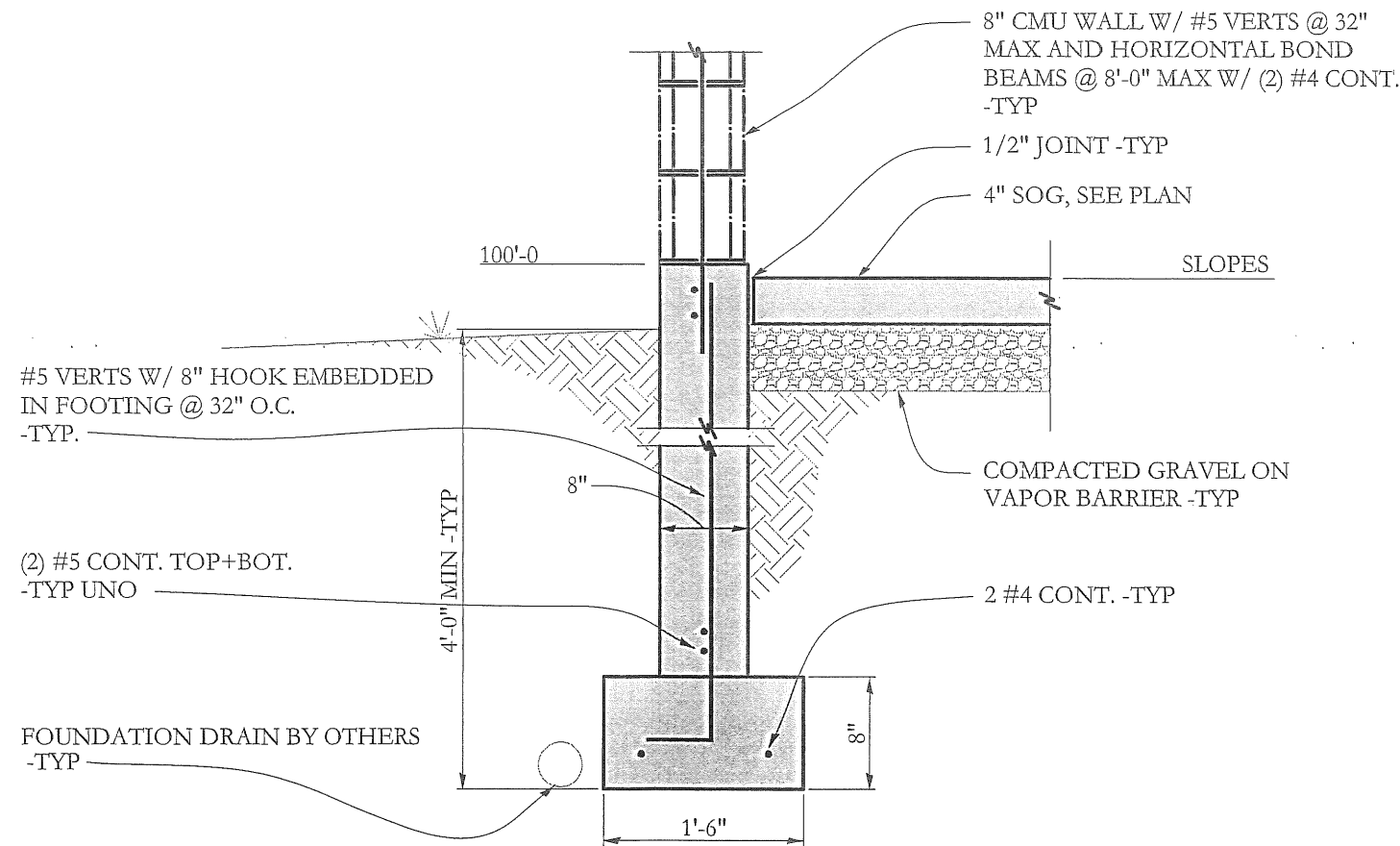
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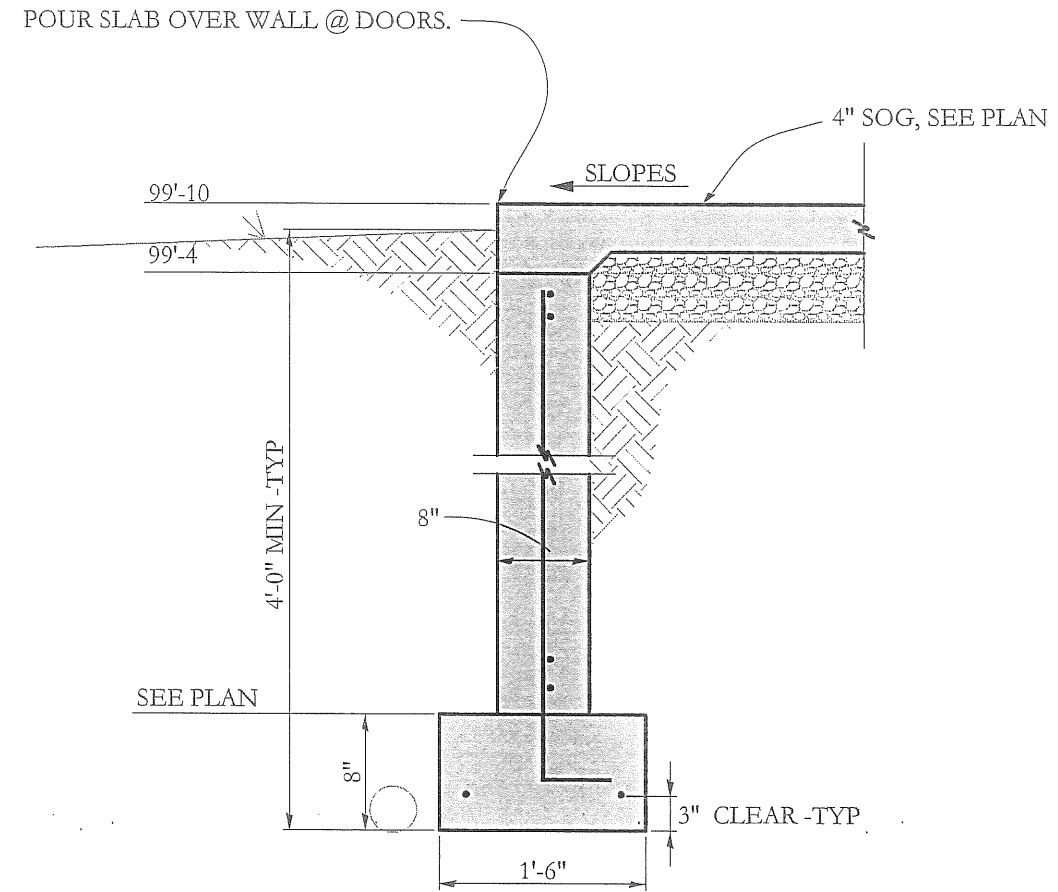
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Date: 24 December 2008	Scale: 1/4" = 1'-0"
ROOF FRAMING PLAN	
S3	



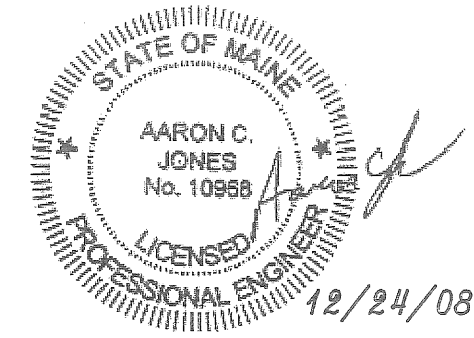
SECTION C
S4 3/4"=1'-0



SECTION A
S4 3/4"=1'-0



SECTION B
S4 3/4"=1'-0



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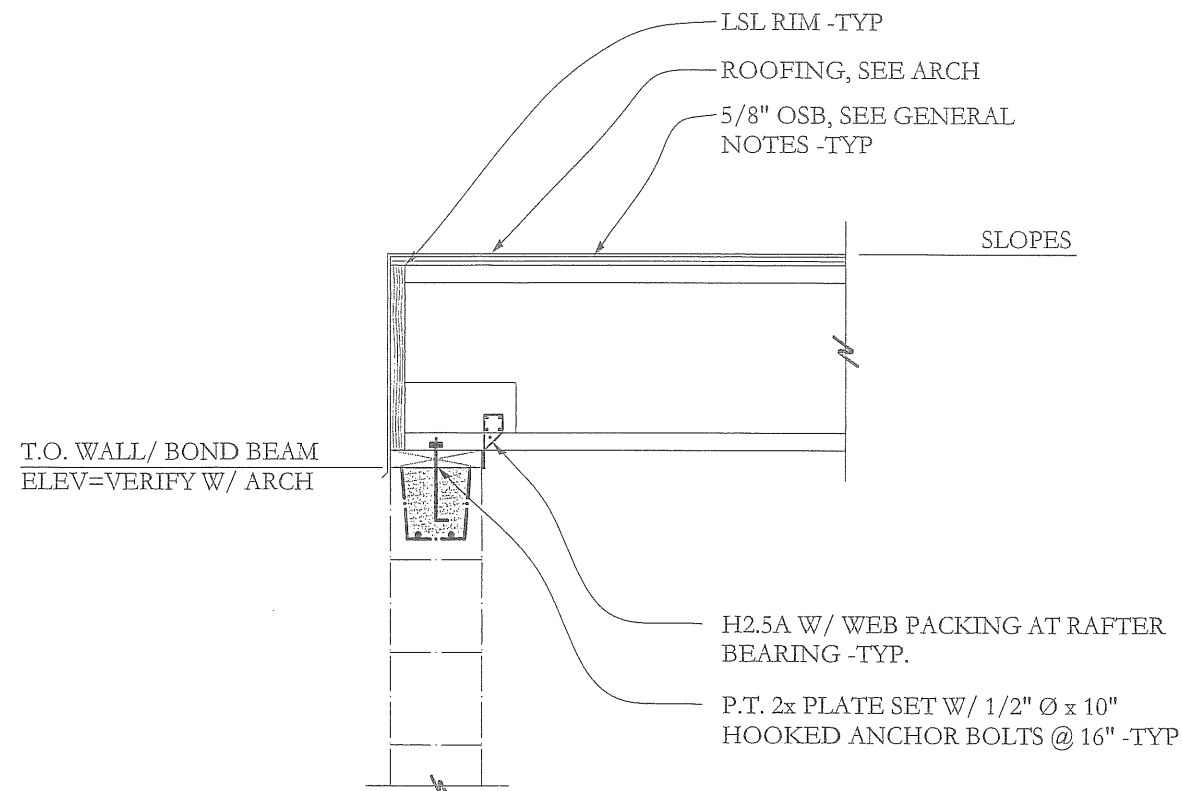
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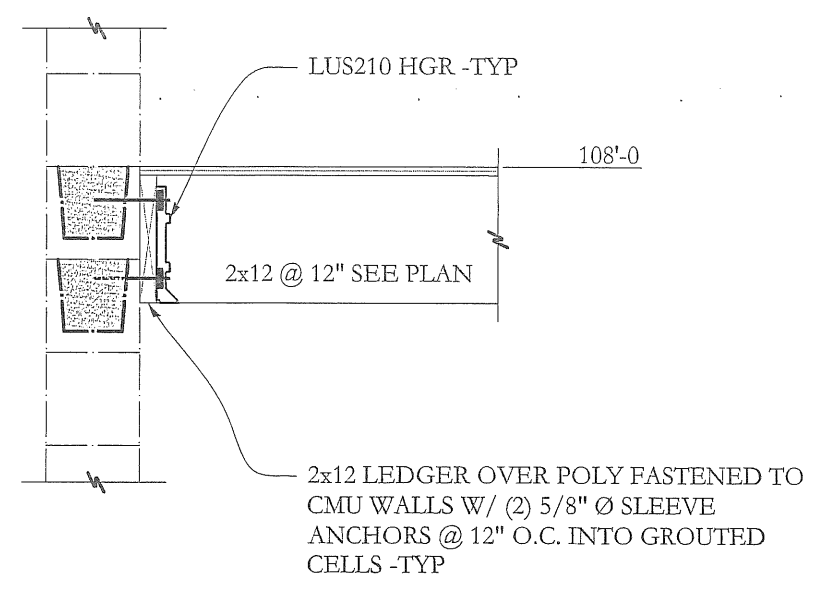
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SECTIONS	S4

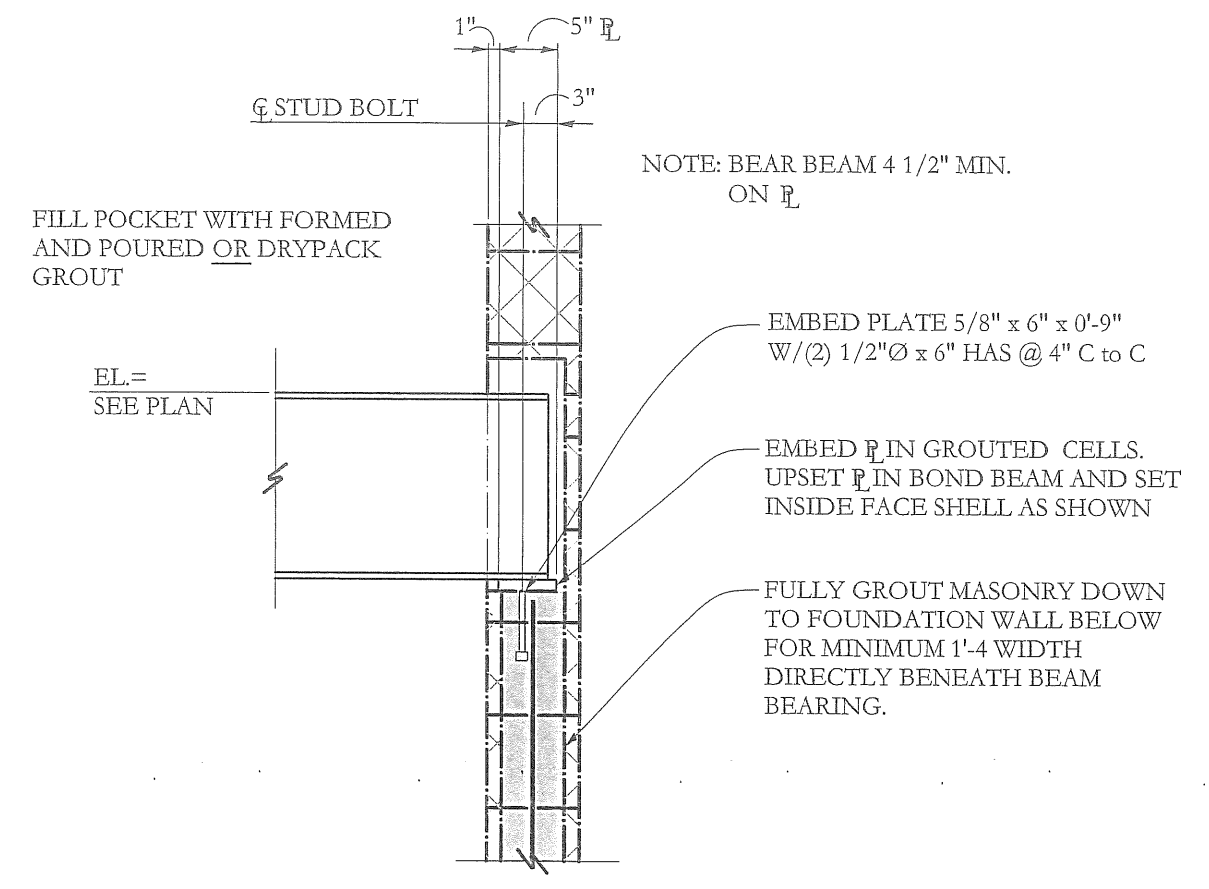
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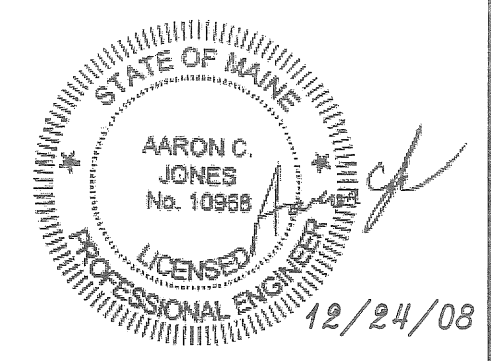
SECTION **F**
S5 3/4"=1'-0



SECTION **D**
S5 3/4"=1'-0



SECTION **E**
S5 3/4"=1'-0



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SECTIONS	
S5	

1. RECORD OWNER OF THE PROPERTY LOCATED BETWEEN 64 AND 84 OAK STREET IS NORTHEAST REALTY, INC. BY THE FOLLOWING DEEDS RECORDED AT THE CUMBERLAND COUNTY REGISTER OF DEEDS (CORD):

A) DEED FROM NATIONAL BANK OF COMMERCE OF PORTLAND DATED NOVEMBER 8, 1954 AND RECORDED IN BOOK 2206, PAGE 55.

B) DEED FROM ROYAL REALTY CO. DATED JULY 28, 1977 AND RECORDED IN BOOK 4083, PAGE 215. THIS DEED DESCRIBES 5 PARCELS NUMBERED AND LOCATED AS SHOWN ON THIS SURVEY. PARCEL 2 OF 5 IS CONVEYED TOGETHER WITH THE PRIVILEGE OF A PASSAGEWAY OF ELEVEN (11) FEET WIDE FROM THE DESCRIBED LOT TO FOREST AVENUE, TO BE KEPT OPEN FOREVER.

C) DEED FROM PORTLAND PERFORMING ARTS CENTER DATED MARCH 9, 1983 AND RECORDED IN BOOK 6130, PAGE 268. THIS DEED CONVEYS A STRIP OR PORTION OF LAND WHICH IS COVERED BY THE EXISTING BUILDING OCCUPYING THE SURVEYED PARCEL ALONG WITH A PERPETUAL EASEMENT FOR 5 PARKING SPACES ABUTTING THE SITE ALONG 4TH FULL AND FREE RIGHT OF INGRESS TO AND EGRESS FROM SAID PARKING PLACES OVER... PROPERTY OF THE GRANTOR IN THE DEED SUBJECT TO AIR RIGHTS AND BUILDING SUPPORT EASEMENT CONVEYED BY NORTHEAST REALTY TO PORTLAND PERFORMING ARTS CENTER.

2. THE PROPERTY IS SHOWN ON THE CITY OF PORTLAND PROPERTY MAP U37 AND IS DEPICTED AS BEING LOTS 11 AND 23 IN BLOCK A. THE SUBJECT PROPERTY IS LOCATED WITHIN THE D-3 DOWNTOWN BUSINESS DISTRICT ZONE. REFERENCE IS MADE TO THE CITY OF PORTLAND ZONING ORDINANCE FOR SPACE AND BULK REQUIREMENTS.

3. THE PROPERTY IS NOT LOCATED WITHIN A 100 YEAR FLOOD ZONE AS DEPICTED ON THE FEMA FLOOD INSURANCE RATE MAPS FOR THE CITY OF PORTLAND, MAINE COMMUNITY PANEL NO. 230051-00130 WITH AN EFFECTIVE DATE OF JULY 17, 1996.

4. BEARINGS ARE BASED ON THE 1851 PLAN OF DIVISION OF LOTS OF THE BENJAMIN LARRABEE ESTATE NOTED BY THE PLAN REFERENCE. IT IS ASSUMED TO BE MAGNETIC.

5. TOTAL AREA OF SURVEYED PARCEL IS 12,706 S.F. OR 0.41 ACRES.

6. REFERENCE IS MADE TO FIRST AMERICAN TITLE INSURANCE COMMITMENT NO. 102005-02, FILE NO. 05010315, EFFECTIVE DATE OF OCTOBER 18, 2005, SCHEDULE B ITEMS 7, 9-12 ARE NOTED AND LOCATED AS SHOWN HEREON.

7. VERTICAL DATUM IS ASSUMED BASED ON A SEWER RIM ELEVATION OF 83.61 FEET FOR A MANHOLE LOCATED IN CUMBERLAND AVENUE JUST NORTH OF ITS INTERSECTION WITH OAK STREET AS SHOWN ON A PLAN OF LAND ENTITLED, "SITE PLAN, NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY 1525/555 BUILDING APPROVED BY THE DEPARTMENT OF PUBLIC WORKS JANUARY 10, 1975 AND PREPARED BY ALONZO J. HARRIMAN ASSOCIATES INC. DRAWING NO. SD-1, 74-184.

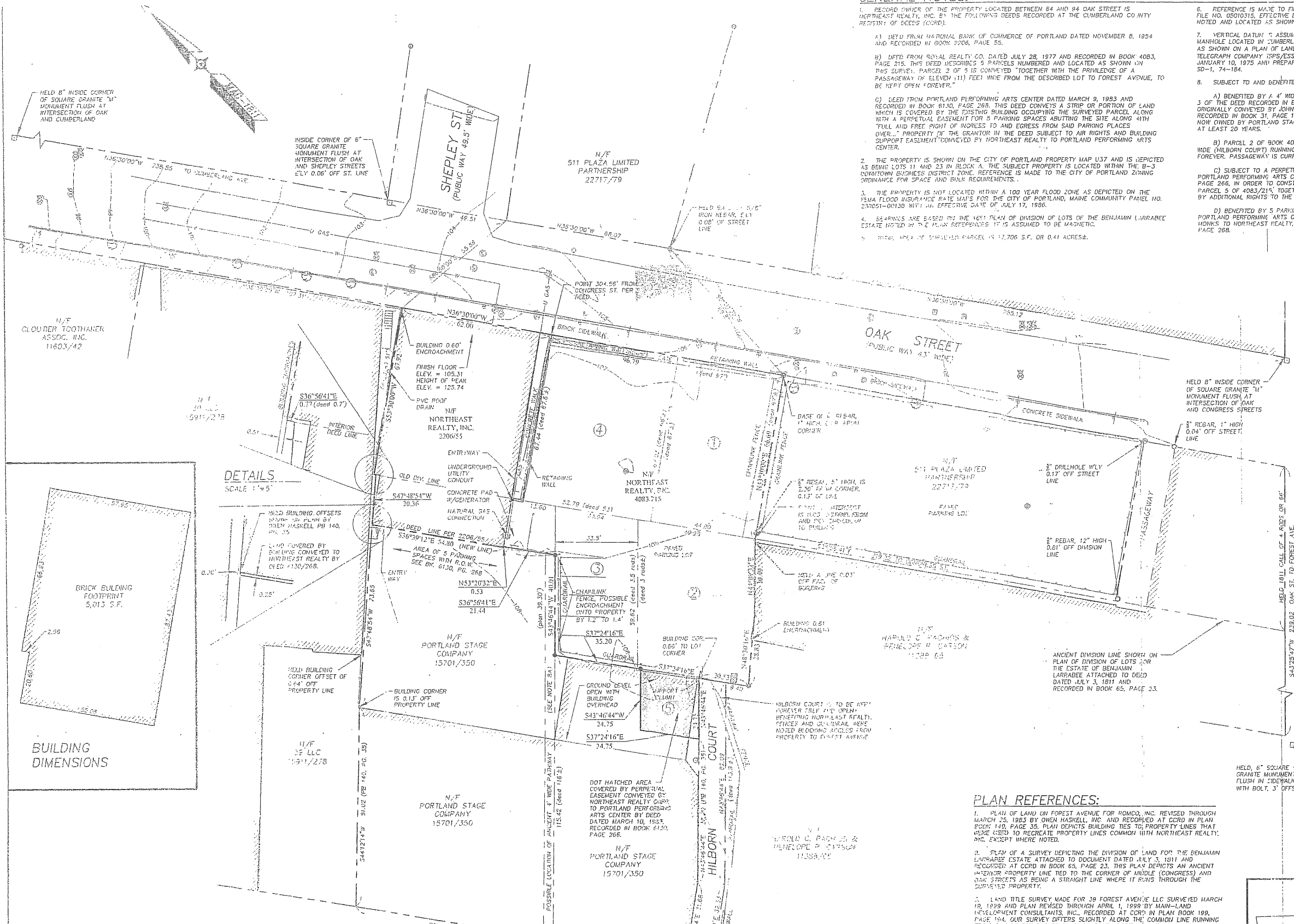
8. SUBJECT TO AND BENEFITED BY:

A) BENEFITED BY A 4' WIDE PASSAGEWAY IN COMMON WITH OTHERS LEADING FROM PARCEL 3 OF THE DEED RECORDED IN BOOK 4083, PAGE 215 TO FOREST AVENUE, FORMERLY GREEN ST. ORIGINALLY CONVEYED BY JOHN GREEN TO KEZIAH BENNETT BY DEED DATED OCTOBER 21, 1799 RECORDED IN BOOK 31, PAGE 113. PASSAGEWAY IS REFERRED TO IN HISTORICAL DEEDS TO LAND NOW OWNED BY PORTLAND STAGE COMPANY. PASSAGEWAY HAS BEEN BLOCKED BY BUILDINGS FOR AT LEAST 20 YEARS.

B) PARCEL 2 OF BOOK 4083, PAGE 215 IS BENEFITED BY A PASSAGEWAY ELEVEN (11) FEET WIDE (HILBORN COURT) RUNNING FROM THE PARCEL TO FOREST AVENUE, TO BE KEPT OPEN FOREVER. PASSAGEWAY IS CURRENTLY BLOCKED BY GUARDRAIL AND CHAMBRINK FENCING.

C) SUBJECT TO A PERPETUAL EASEMENT DESCRIBED IN DEED FROM NORTHEAST REALTY TO PORTLAND PERFORMING ARTS CENTER DATED MARCH 10, 1983 AND RECORDED IN BOOK 6130, PAGE 268, IN ORDER TO CONSTRUCT AND MAINTAIN A BUILDING ON THE AIR SPACE ABOVE PARCEL 5 OF 4083/215 TOGETHER WITH NECESSARY SUPPORTS AND FOOTINGS, AND BENEFITED BY ADDITIONAL RIGHTS TO THE PASSAGEWAY.

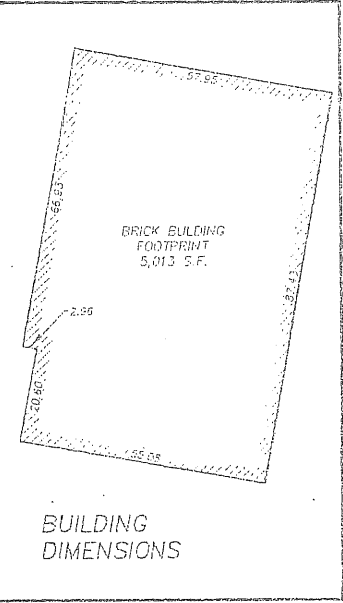
D) BENEFITED BY 5 PARKING SPACES AND ACCESS RIGHTS DESCRIBED IN A DEED FROM PORTLAND PERFORMING ARTS CENTER, ODD FELLOWS HALL ASSOCIATION AND ROBERT C. S. MONKS TO NORTHEAST REALTY, INC. DATED MARCH 10, 1983 AND RECORDED IN BOOK 6130, PAGE 268.



LEGEND

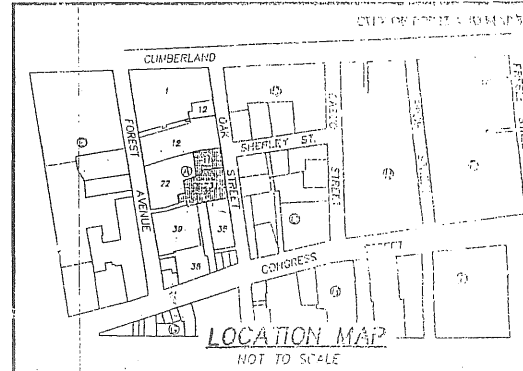
---	SITE BOUNDARY
---	ABUTTER BOUNDARY
---	SETBACK
---	EASEMENT
---	MONUMENT
---	IRON PIPE/PCD
---	DRILLHOLE
---	IRON REBAR TO BE SET
---	CHAIN LINK FENCE
---	EDGE PAVEMENT/CONCRETE
---	CURBLINE
---	BUILDING
---	RETAINING WALL
---	QUADRAIR
---	CONTOURS
---	GAS
---	WATER
---	SEWER
---	STORM DRAIN
---	UNDERDRAIN
---	OVERHEAD
---	ELEC. & TEL.
---	UNDERGROUND
---	ELECTRIC
---	UNDERGROUND
---	TELEPHONE
---	CURVE/LINE NO.
---	SPOT GRADE
---	SHOW
---	WATER VALVE
---	GAS VALVE
---	LIGHT POLE
---	UTILITY POLE
---	GUY WIRE
---	HYDRANT
---	CATCH BASIN
---	DRAINAGE MANHOLE
---	SEWER MANHOLE
---	WATER MANHOLE
---	ELECTRICAL MANHOLE
---	TELEPHONE MANHOLE

DETAILS
SCALE 1"=5'



PLAN REFERENCES:

- PLAN OF LAND ON FOREST AVENUE FOR ROMCO, INC. REVISED THROUGH MARCH 25, 1983 BY OWEN HASKELL, INC. AND RECORDED AT CORD IN PLAN BOOK 140, PAGE 35. PLAN DEPICTS BUILDING TIES TO PROPERTY LINES THAT WERE USED TO RECREATE PROPERTY LINES COMMON WITH NORTHEAST REALTY, INC. EXCEPT WHERE NOTED.
- PLAN OF A SURVEY DEPICTING THE DIVISION OF LAND FOR THE BENJAMIN LARRABEE ESTATE ATTACHED TO DOCUMENT DATED JULY 3, 1811 AND RECORDED AT CORD IN BOOK 65, PAGE 23. THIS PLAN DEPICTS AN ANCIENT UNDERGROUND PROPERTY LINE TIE TO THE CORNER OF UNCLE CONGRESS AND OAK STREETS AS BEING A STRAIGHT LINE WHERE IT RUNS THROUGH THE SURVEYED PROPERTY.
- LAND TITLE SURVEY MADE FOR 39 FOREST AVENUE LLC SURVEYED MARCH 19, 1999 AND PLAN REVISED THROUGH APRIL 1, 1999 BY MAIN-LAND DEVELOPMENT CONSULTANTS, INC. RECORDED AT CORD IN PLAN BOOK 189, PAGE 154. OUR SURVEY DIFFERS SLIGHTLY ALONG THE COMMON LINE RUNNING FROM OAK STREET TOWARD LAND OWNED BY PORTLAND STAGE COMPANY AS NOTED.
- STANDARD BOUNDARY SURVEY OF FLEET BANK PROPERTIES ON CASCO, SHEPLEY, OAK, BROWN STREETS AND CUMBERLAND AVENUE, REVISED THROUGH SEPTEMBER 17, 1996 BY SEBAGO TECHNICS, INC. RECORDED AT CORD IN PLAN BOOK 184, PAGE 177.
- ALTA/ACSM LAND TITLE SURVEY ON CASCO STREET, SHEPLEY STREET & OAK STREET MADE FOR C.B. RICHARD ELLIS REVISED THROUGH NOVEMBER 19, 2003 BY OWEN HASKELL, INC. AND RECORDED AT CORD IN PLAN BOOK 201, PAGE 11. BOTH THIS PLAN AND THE AFORESAIDED PLAN BY SEBAGO TECHNICS DO NOT APPEAR TO CORRECTLY DEPICT THE LOCATION OF THE ANCIENT LINE COMMON TO THE POLLY GREEN PARCEL AND THE ESTATE OF BENJAMIN LARRABEE AS DEPICTED ON THE 1811 PLAN NOTED ABOVE.
- DRAWING NO. 114 APPARENTLY DATED NOVEMBER, 1925 ON FILE WITH THE CITY OF PORTLAND ENGINEERING DEPARTMENT DEPICTING MONUMENTS HELD AT THE INTERSECTION OF CUMBERLAND AVENUE WITH OAK STREET AND THE INTERSECTION OF SHEPLEY STREET AND OAK STREET IS NOT SHOWN AND WAS NOT HELD.

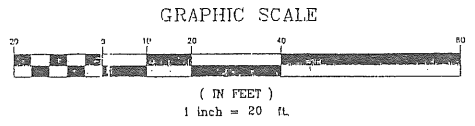


SURVEYOR'S STATEMENT

THIS IS TO CERTIFY TO DOMINION SAVINGS BANK, FIRST AMERICAN TITLE INSURANCE COMPANY, MONUMENT TITLE COMPANY AND NORTHEAST REALTY, INC. THAT TO THE BEST OF MY KNOWLEDGE THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA, ACSM, AND MOPS IN 1999, AND INCLUDES ITEMS 1-5, 7(A), 7(B)(1), 7(C), 8, 10, AND 13 OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, MOPS, AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION. UNDERSIGNED FURTHER CERTIFIES THAT THE POSITIONAL UNCERTAINTIES RESULTING FROM THE SURVEY MEASUREMENT MADE ON THE SURVEY DO NOT EXCEED THE ALLOWABLE POSITIONAL TOLERANCE.

DATE: 10/23/15

DONALD E. DOSTER PLS #2127



ALTA/ACSM LAND TITLE SURVEY
OF NORTHEAST REALTY PROPERTY
SHEET 1 OF 1