

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BU **PERMIT** ION

Permit Number: 090096

This is to certify that NORTHEAST REALTY INC / eley Co

has permission to New 748 Sq Ft Garage for stora

AT 84 OAK ST

CE 037 A023001

FEB 26 2009

provided that the person or persons, firm or corporation accounting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other red-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. K. Laurson

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Chet S. M. 2/19/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0096	Issue Date: 02/09/2009	CBL: 037 A023001
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Location of Construction: 84 OAK ST	Owner Name: NORTHEAST REALTY INC	Owner Address: PO BOX 6799	Phone:
Business Name:	Contractor Name: Keeley Construction	Contractor Address: P.O. Box 1174 Portland	Phone: 2077738499
Lessee/Buyer's Name	Phone:	Permit Type: Garages - Detached	Zone: 5-3

Past Use: Vacant Lot	Proposed Use: Storage Garage - New 748 Sq Ft Garage for storage	Permit Fee: \$295.00	Cost of Work: \$20,000.00	CEO District: 1
Proposed Project Description: New 748 Sq Ft Garage for storage		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied * See Conditions	INSPECTION: Use Group: S Type: JB IBC-2003	
		Signature: <i>RG</i>	Signature: <i>Q 2/19/09</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Ldobson	Date Applied For: 02/09/2009	Zoning Approval		
<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan 2008-0185 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> Date: <i>2/25/09</i>	Zoning Appeal <input checked="" type="checkbox"/> Variance <i>RE: street</i> <input checked="" type="checkbox"/> Miscellaneous <i>build to setback req.</i> <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input checked="" type="checkbox"/> Approved <i>by PB</i> <input type="checkbox"/> Denied Date: <i>2/24/09</i>	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>JBN</i> Date: _____

FEB 26 2009

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.**
NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

 26 Feb. 09

Date



Signature of Inspections Official

 2.26.09

Date

FEB 26 2009



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 84-88 Oak Street		
Total Square Footage of Proposed Structure/Area 748		Square Footage of Lot 17,135
Tax Assessor's Chart, Block & Lot Chart# 37 Block# A Lot# 23	Applicant * must be owner, Lessee or Buyer * Name Thomas W. Moulton Address 547 A Congress Street, 6th floor Portland, Maine 04101 City, State & Zip	Telephone: (207) 450-7100
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ 20,000 C of O Fee: \$ 75.00 Total Fee: \$ 295.00
Current legal use (i.e. single family) <u>Vacant lot</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Storage Garage</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Storage Garage</u>		
Contractor's name: <u>Keeley Construction</u> Address: <u>PO Box 1074</u> <u>Portland, ME 04104</u> City, State & Zip _____ Telephone: <u>(207) 773-8499</u> Who should we contact when the permit is ready: <u>Tom Moulton</u> Telephone: <u>(207) 450-7100</u> Mailing address: <u>547A Congress Street, 6th floor, Portland, Maine 04101</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: William Hopkins (Agent) Date: 12-29-06

This is not a permit; you may not commence ANY work until the permit is issued.

Bill Hopkins
Submitted

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy

2008-0185
Application I. D. Number
12/31/2008
Application Date

Bill Hopkins/ Archetype
Applicant
48 Union Wharf, Portland, ME 04101
Applicant's Mailing Address

Garage
Project Name/Description

Consultant/Agent
Applicant Ph: (207) 772-6022 Applicant Fax: (207) 772-4056
Applicant or Agent Daytime Telephone, Fax

84 - 84 Oak St, Portland, Maine
Address of Proposed Site
037 A023001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Apt 0 Condo 0 Other (specify)

Proposed Building square Feet or # of Units 17135 Acreage of Site 0 Proposed Total Disturbed Area of the Site 0 Zoning B3

Check Review Required:

- Site Plan (major/minor) Zoning Conditional - PB Subdivision # of lots
- Amendment to Plan - Board Review Zoning Conditional - ZBA Shoreland Historic Preservation
- Amendment to Plan - Staff Review Zoning Variance Flood Hazard
- After the Fact - Major Stormwater Traffic Movement
- After the Fact - Minor PAD Review 14-403 Streets Review

- Design Review
- DEP Local Certification
- Site Location
- Housing Replacement
- Other

Fees Paid: Site Plan \$400.00 Subdivision Engineer Review Date 12/31/2008

Zoning Approval Status:

Reviewer

- Approved Approved w/Conditions See Attached Denied

Approval Date Approval Expiration Extension to Additional Sheets Attached
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- Performance Guarantee Accepted date amount 7-2009 expiration date
- Inspection Fee Paid date amount
- Building Permit Issue date
- Performance Guarantee Reduced date remaining balance signature
- Temporary Certificate of Occupancy date Conditions (See Attached) expiration date
- Final Inspection date signature
- Certificate Of Occupancy date
- Performance Guarantee Released date signature
- Defect Guarantee Submitted submitted date amount expiration date
- Defect Guarantee Released date signature

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0096	Date Applied For: 02/09/2009	CBL: 037 A023001
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Location of Construction: 84 OAK ST	Owner Name: NORTHEAST REALTY INC	Owner Address: PO BOX 6799	Phone:
Business Name:	Contractor Name: Keeley Construction	Contractor Address: P.O. Box 1174 Portland	Phone (207) 773-8499
Lessee/Buyer's Name	Phone:	Permit Type: Garages - Detached	

Proposed Use: Storage Garage - New 748 Sq Ft Garage for storage	Proposed Project Description: New 748 Sq Ft Garage for storage
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Dept: Zoning	Status:	Reviewer: Marge Schmuckal	Approval Date:	Ok to Issue: <input type="checkbox"/>
Note:				
Dept: Building	Status: Approved with Conditions	Reviewer: Chris Hanson	Approval Date:	Ok to Issue: <input checked="" type="checkbox"/>
Note:				
1) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.				
2) Separate permits are required for any electrical, plumbing, HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.				
3) Separate Permits shall be required for any new signage.				
4) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.				
Dept: Fire	Status: Approved with Conditions	Reviewer: Capt Keith Gautreau	Approval Date: 02/13/2009	Ok to Issue: <input checked="" type="checkbox"/>
Note:				
1) Need to know what type of storage. "High Hazard contents" may require Fire Sprinkler system and Fire Alarm system.				
Dept: Public Services	Status: Pending	Reviewer:	Approval Date:	Ok to Issue: <input type="checkbox"/>
Note:				
Dept: Zoning	Status:	Reviewer: Marge Schmuckal	Approval Date:	Ok to Issue: <input type="checkbox"/>
Note:				
Dept: Parks	Status: Pending	Reviewer:	Approval Date:	Ok to Issue: <input type="checkbox"/>
Note:				
Dept: Fire	Status:	Reviewer:	Approval Date: 02/13/2009	Ok to Issue: <input type="checkbox"/>
Note:				
1) Access for Fire Apparatus to the structure must be maintained in the parking lot.				
Dept: DRC	Status: Pending	Reviewer:	Approval Date:	Ok to Issue: <input type="checkbox"/>
Note:				

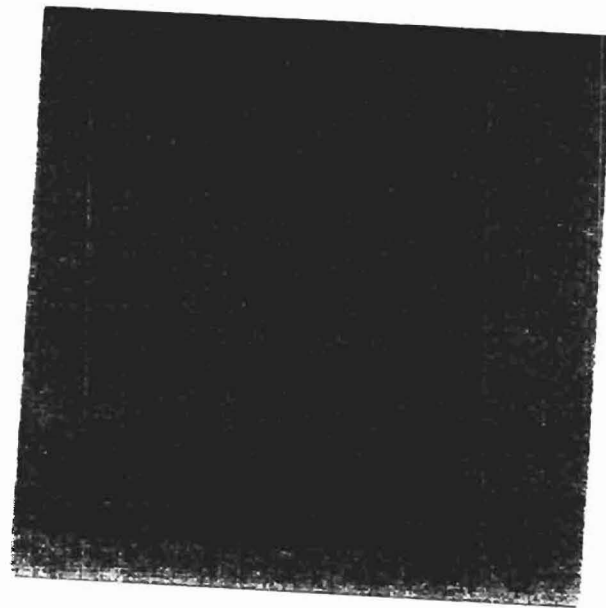
Location of Construction: 84 OAK ST	Owner Name: NORTHEAST REALTY INC	Owner Address: PO BOX 6799	Phone:
Business Name:	Contractor Name: Keeley Construction	Contractor Address: P.O. Box 1174 Portland	Phone (207) 773-8499
Lessee/Buyer's Name	Phone:	Permit Type: Garages - Detached	

Dept: Planning	Status: Pending	Reviewer:	Approval Date:
Note:			Ok to Issue: <input type="checkbox"/>

Comments:

2/9/2009-mes: I sent an e-mail to Alex & Barbara concerning the approval on this particular project. A couple of my questions in UI were never addressed; the approval letter has both the wrong CBL & wrong ID # on it; and the zoning ordinance states that only the Planning Board can approve the street wall build-to line which was not being met on this plan.

2/10/2009-mes: Planning realizes that some mistakes were made and wants to meet on it. In the mean time I am passing this permit on for further review. DO NOT ISSUE BEFORE MARGE SIGNS OFF.





Planning & Urban Development Department
Penny St. East, L. 11th, Director

Planning Division
Alexander Leggett, Director

February 3, 2009

Bill Hopkins
Archetype
48 Union Wharf
Portland, ME 04101

RE: 84 Oak St.
CBL: 326-B009
Application ID: 2009-0002

37-A-22
2008-0185

incorrect
This is the application's CBL for Allagash
Brewing Warehouse

Dear Mr. Hopkins:

On February 2, 2009, the Portland Planning Authority approved a site plan for a 748 sq. ft. covered parking structure on 84 Oak St.

The approval is based on the submitted site plan 12/31/08. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. The site shall be developed and maintained as depicted in the site plan and the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or the planning authority pursuant to the terms of this article. Any such parcel lawfully altered prior to the enactment date of these revisions shall not be further altered without approval as provided herein. Modification or alteration shall mean and include any deviations from the approved site plan including, but not limited to, topography, vegetation and impervious surfaces shown on the site plan. No action, other than an amendment approved by the planning authority or Planning Board, and field changes approved by the Public Services authority as provided herein, by any authority or department shall authorize any such modification or alteration.
2. The above approvals do not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
3. Final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.
4. The proposed garage does not have any site improvements requiring a performance guarantee, thus a minimum inspection fee of \$300 must be submitted to the Planning Division. If you need to

make any modifications to the approved plans, you must submit a revised site plan application for staff review and approval.

5. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
6. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
7. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Eric Giles at 874-8723.

Sincerely,

Alexander Jaegerman
Planning Division Director

Electronic Distribution:

Penny Lintell, Planning & Development Dept. Director
Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Philip DiPierro, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Tammy Munson, Inspections Division
Lisa Danforth, Administrative Assistant
Michael Bobinsky, Public Services Director
Kathi Farley, Public Services
Bill Clark, Public Services
Jim Carmody, City Transportation Engineer
Keith Gautreau, Fire Prevention
Jeff Farling, City Arborist
Assessor's Office
Approval Letter File
Hard Copy Project File

From: Marge Schmuckal
To: ALEX JAEGERMAN; Barbara Barhydt
Date: 2/9/2009 3:58:31 PM
Subject: 84 Oak Street - #2008-0185

Alex & Barbara,

I am a little confused about the planning approval on this site plan. First of all on the approval letter that I received dated Febuary 3, 2009, the CBL & the Application ID are wrong. They reflect the project for Allagash Brewery. The correct CBL & Application ID should be respectively 037-A-023 and #2008-0185. A corrected letter should go out to the applicant.

Secondly, I thought that the front Street wall build-to line could only be waived by the Planning Board and not by staff. I am not seeing any documentation that states that the PB approved this. I also had a couple other questions within my "Comments Submitted" that were never answered. Can I get a run down of the approvals on this approval?

I see nothing in Urban Insight as to who the planner was on this project.

I do not want to hold up the newly submitted building permit more than I need to, but I am not seeing all the information that I need to sign off on it.

Thank you,
Marge

CC: Jennifer Dorr

Submitted
Bill Hopkins, Archetype

Applicant: Northeast Realty Inc
Date: 1/6/09

Address: 84 Oak St

C-B-L:

37-A-23

CHECK-LIST AGAINST ZONING ORDINANCE

Date -

Zone Location - B-3

24' x 29'4" x 24' 3/2" x 30'

3

Interior or corner lot -

Proposed Use/Work - to construct 248[#] garage around existing parking spaces at rear of property

Sevage Disposal - N/A

Lot Street Frontage - 15' min - 15'

14-220(c) Front Yard - street wall build-to-line; to be within 5' of property streetline - all bays or structures - must comply with 14-526(a)(16)

Rear Yard -

Side Yard -

Projections -

Width of Lot -

Height - min height: 16' scaled (flat roof) does not apply to 14-220(h)1

Lot Area -

Lot Coverage/ Impervious Surface - 100% ok

Area per Family - N/A

Off-street Parking - existing PKG lot - existing use - Adding structure over 3 spaces

Loading Bays - N/A

Site Plan - # 2008-0185

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 13 - Zone C

→ conditional use for a minor site plan 14-218(b)(5)

unless PB Approves Additional distance to comply with the req. of

MEMORANDUM

To: FILE

From: Marge Schmuckal

Dept: Zoning

Subject: Application ID: 2008-0185

Date: 1/6/2009

These initial comments are from a "hopper review" look at the submitted plans.

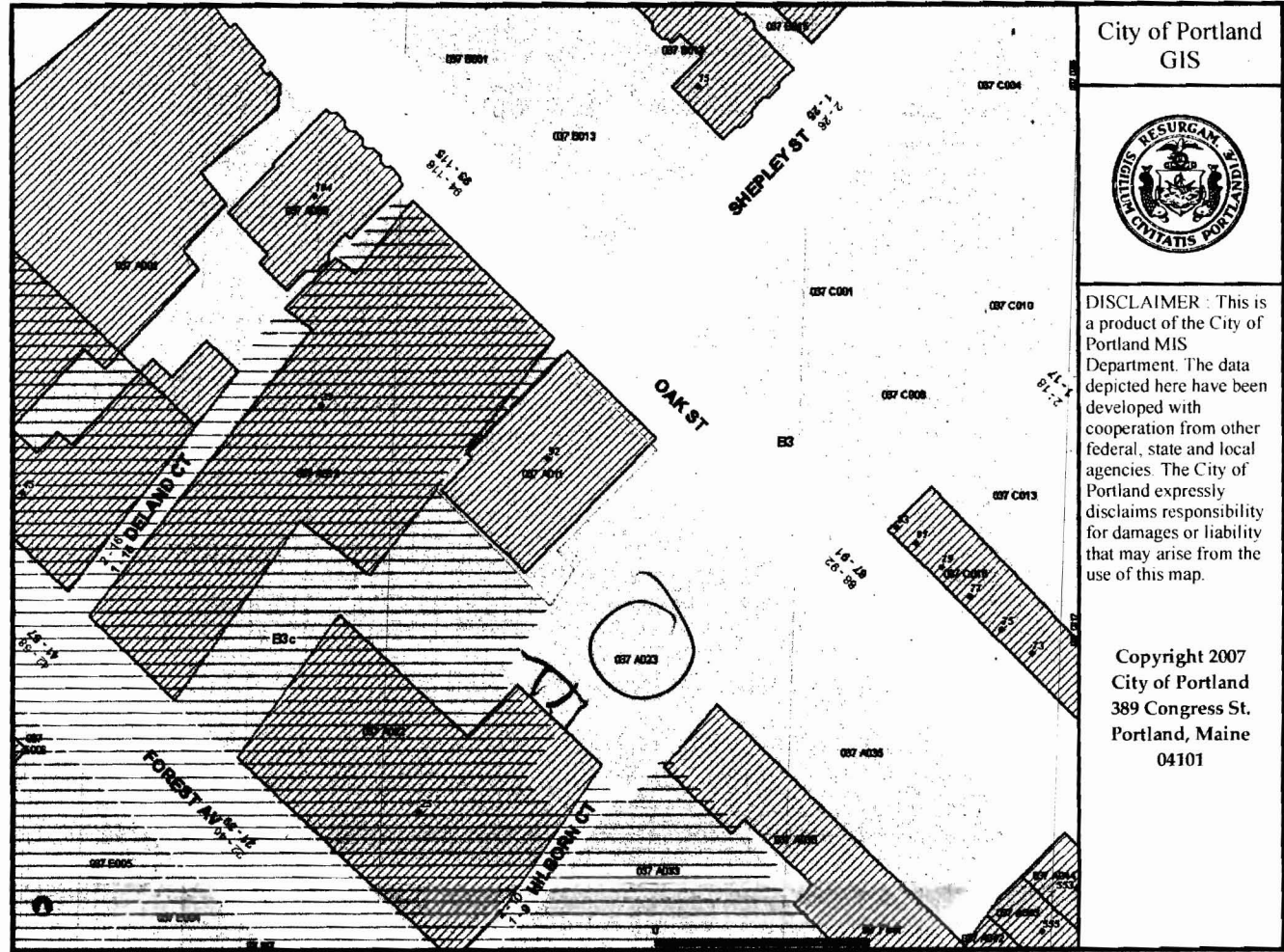
This property is located in a B-3 Downtown Business Zone. It is an existing parking lot. The applicant is proposing to take three of the rear parking spaces and enclose them with a structure for two parking spaces, a storage loft and a separate room for a use that was not given in the application. I would like a little more information on the extra room (what use?).

The scaled height of the building is 16'. This structure does not need to meet the minimum height requirement of 35' as outlined in two exemptions. The structure is over 50' back from the street line and 14-220(h) exempts "covered parking".

Section 14-220(b)(5) states that even a minor site plan review for "surface parking" requires a conditional use appeal approval from the Planning Board. I would suggest that this proposal does not fall under the description of "surface parking". The existing parking is proposed to be enclosed with a structure and would not then be considered "surface parking". Therefore I would contend that this proposal would not need a conditional use approval from the Planning Board under this section.

Section 14-220(c) "Streetwall build-to line" : A building or structure shall be located within 5' of the property street line unless the Planning Board approves the additional distance to comply with the site plan requirements of 14-526(a)(16). The proposed structure is located well beyond the 5' streetwall build-to line requirements.

Marge Schmuckal
Zoning Administrator



OAK ST

Northeast Realty Inc
 Bill Hopkins
 12/19/08
 1424-7444 N
 conditional use?
 minor review
 conditional use to PB - because 14-218(b)(5)

A R C H E T Y P E

December 30, 2008

City of Portland Planning Department
Portland City Hall
389 Congress Street
Portland, Maine 04101

RE: 84-88 Oak Street – Tom Moulton – Storage Garage

We are submitting Site Plan Review documents for the above mentioned project.

Please call with any questions.

Sincerely,



William Hopkins
Architect

Enclosures:
Site Plan Application
Copy of Deed
A1. Site Plan
A2 Plans and Elevations
S.0 General Notes
S.1 Foundation Plan
S.2 Storage Loft Framing Plan
S.3 Roof Framing Plan
S.3 Sections
S.5 Sections
Survey Plan

Major Development (more than 10,000 sq. ft.)

- Under 50,000 sq. ft. (\$500.00)
 50,000 - 100,000 sq. ft. (\$1,000.00)
 Parking Lots over 100 spaces (\$1,000.00)
 100,000 - 200,000 sq. ft. (\$2,000.00)
 200,000 - 300,000 sq. ft. (\$3,000.00)
 Over 300,000 sq. ft. (\$5,000.00)
 After-the-fact Review (\$1,000.00 + applicable application fee)

Minor Site Plan Review

- Less than 10,000 sq. ft. (\$400.00)
 After-the-fact Review (\$1,000.00 + applicable application fee)

Plan Amendments

- Planning Staff Review (\$250.00)
 Planning Board Review (\$500.00)

Billing Address: (name, address and contact information)

Tom Moulton
547A Congress St. 6th Floor
Portland, ME 04101


Submittals shall include **seven (7) folded** packets containing of the following materials:

- A. Copy of the application.
- B. Cover letter stating the nature of the project.
- C. Written Submittal (Sec. 14-525 2. (c), including evidence of right, title and interest.
- D. A standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 100 feet.
- E. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
- E. Copy of the checklist completed for the proposal listing the material contained in the submitted application.
- F. In addition to the seven (7) sets of documents listed above, one (1) set of the site plans reduced to 11 x 17 must be submitted.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: www.portlandmaine.gov Copies of the ordinances may be purchased through the Planning Division.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for site review only; a Performance Guarantee, Inspection Fee, Building Permit Application and associated fees will be required prior to construction.

Signature of Applicant: 	Date: 12-29-09
---	--------------------------

296
79
Northerly by said Oak Street fifty-three (53) feet more or less to land formerly of Rebecca P. Dyer at a point in said Oak Street, which is distant 304.56 feet from the intersection of the Northerly side line of Congress Street and the Westerly side line of said Oak Street; thence at right angles with said Westerly side line of said Oak Street sixty-seven and six tenths (67.6) feet more or less to land of the Odd Fellows Society; thence Southerly by said property of said Odd Fellows Society and said first parcel, as the fence formerly stood, fifty-three (53) feet more or less to said first parcel; thence Easterly by said first parcel sixty-eight (68) feet more or less to the point of beginning.

50
A certain lot or parcel of land, situated in said Portland on the Northwesterly side of a passageway known as Hilborn Court which Court extends Northeasterly from Forest Avenue and is adjacent to the Southerly side line of the land of Odd Fellows Hall Association; the lot hereby conveyed is bounded and described as follows: Beginning on the Northerly side line of said court at the Southeasterly corner of the land of said Odd Fellows Hall Association conveyed to it by Freeman Hatch et al by deed dated February 6, 1904, and recorded in Cumberland County Registry of Deeds, Book 744, Page 361; thence Northwesterly by the land of said Odd Fellows Hall Association twenty-four (24) feet more or less to an angle in the land of said Odd Fellows Hall Association; thence Northeasterly by the land of Odd Fellows Hall Association twenty-four (24) feet more or less to other land formerly of Harriette L. Jerris; thence Southeasterly by said Jerris land twenty-four (24) feet more or less to the side line of said Hilborn Court; thence Southwesterly by the side line of said Hilborn Court to the point of beginning.

Being Lot No. 29, Block A of Plan 37 of the Assessors' Plans for 1936 for the City of Portland.

Being the same premises conveyed to this Grantor by Maine General Hospital by deed dated July 21, 1942 and recorded in the Cumberland County Registry of Deeds in Book 1685, Page 122.

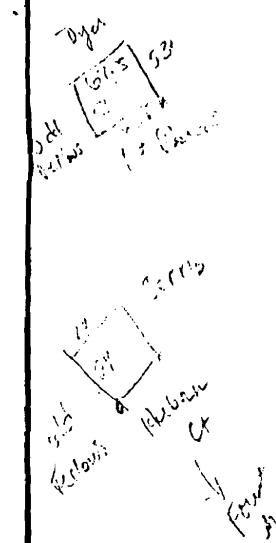
Said premises are conveyed subject to an outstanding lease to Christy H. Pachios and subject to all outstanding real estate taxes which the Grantee herein assumes and agrees to pay.

To have and to hold the aforegranted and bargained premises with all the privileges and appurtenances thereof to the said NORTHEAST REALTY, INC., its successors

~~and~~ and assigns, to it and their use and behoof forever.

And the said Grantor Corporation does hereby COVENANT with the said Grantee, its ^{successors} ~~and~~ and assigns, that it is lawfully seized in fee of the premises, that they are free of all incumbrances; except as aforesaid.

that it has good right to sell and convey the same to the said Grantee to hold as aforesaid; and that it and its successors, shall and will WARRANT AND DEFEND the same to the said Grantee, its ^{successors} ~~and~~ and assigns forever, against the lawful claims and demands of all persons.



In Witness Whereof, the said ROYAL REALTY CO. 217

~~Company~~ has caused this instrument to be sealed with its corporate seal and signed in its corporate name by Helen E. Kragelund, its ~~President~~ ^{President}, thereunto duly authorized, this 28th day of July in the year one thousand nine hundred and seventy-seven.

Signed, Sealed and Delivered
in presence of

Rois Brunsten

ROYAL REALTY CO. ~~Company~~

By

Helen H. Kragelund
Helen H. Kragelund, its ~~President~~ ^{President}



State of Maine.

County of Cumberland ss. July 28 1977.

Then personally appeared the above named

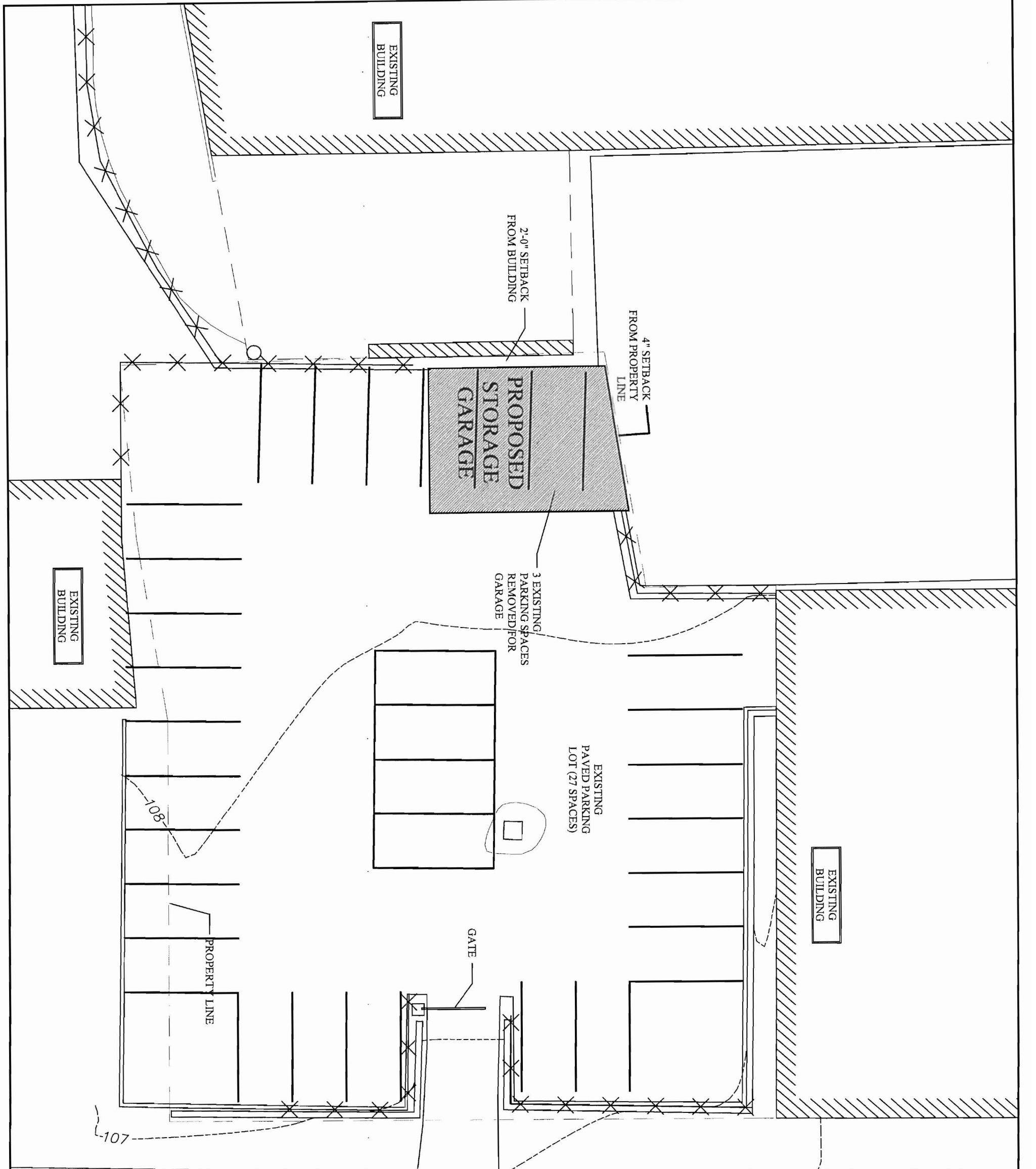
Helen H. Kragelund, ~~President~~ ^{President} of said Grantor

Corporation as aforesaid, and acknowledged the foregoing instrument to be ~~his~~ ^{her} free act and deed in his said capacity, and the free act and deed of said corporation.

Before me,

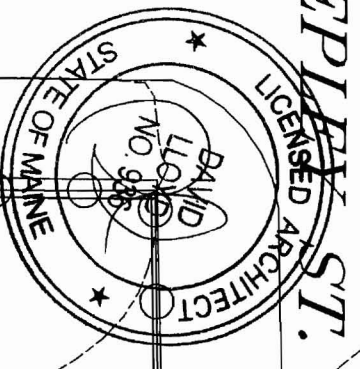
Rois Brunsten Justice of the Peace.

Aug 23, 1977
REGISTRY OF DEEDS, CUMBERLAND COUNTY, MAINE
Filed at 9 52 AM, and recorded in
BOOK 4083 PAGE 215. *Margaret L. H. H. H.* Register



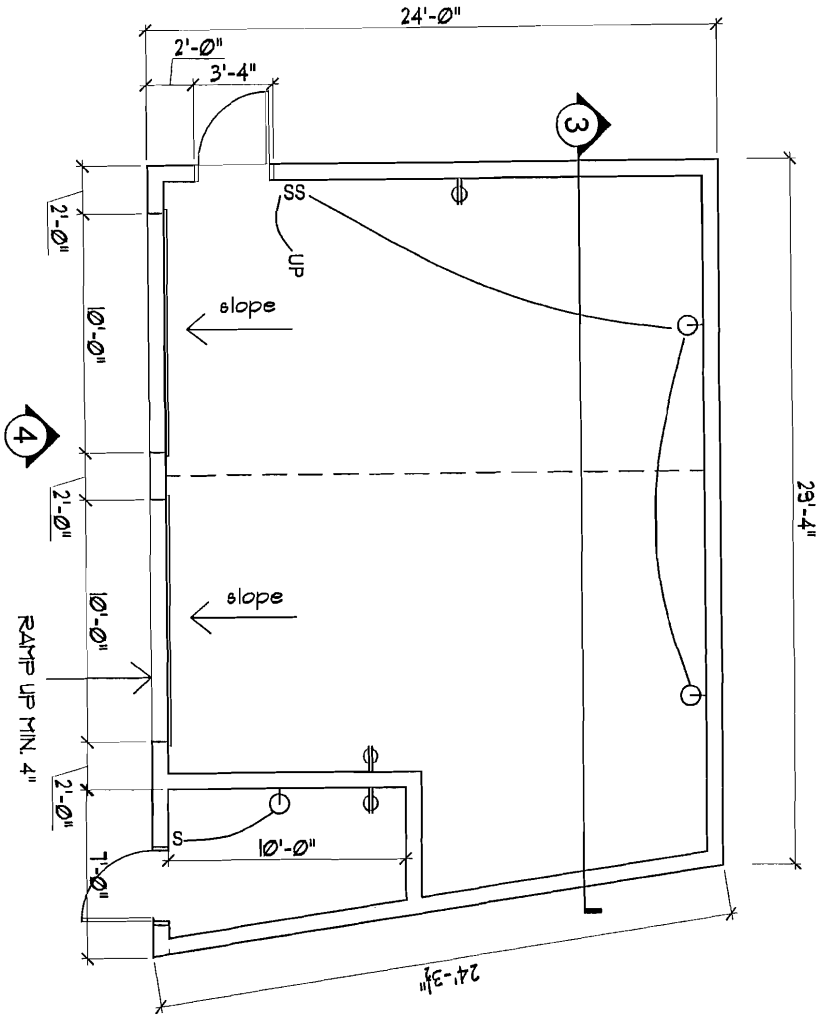
OAK STREET

SHEPLEY ST.

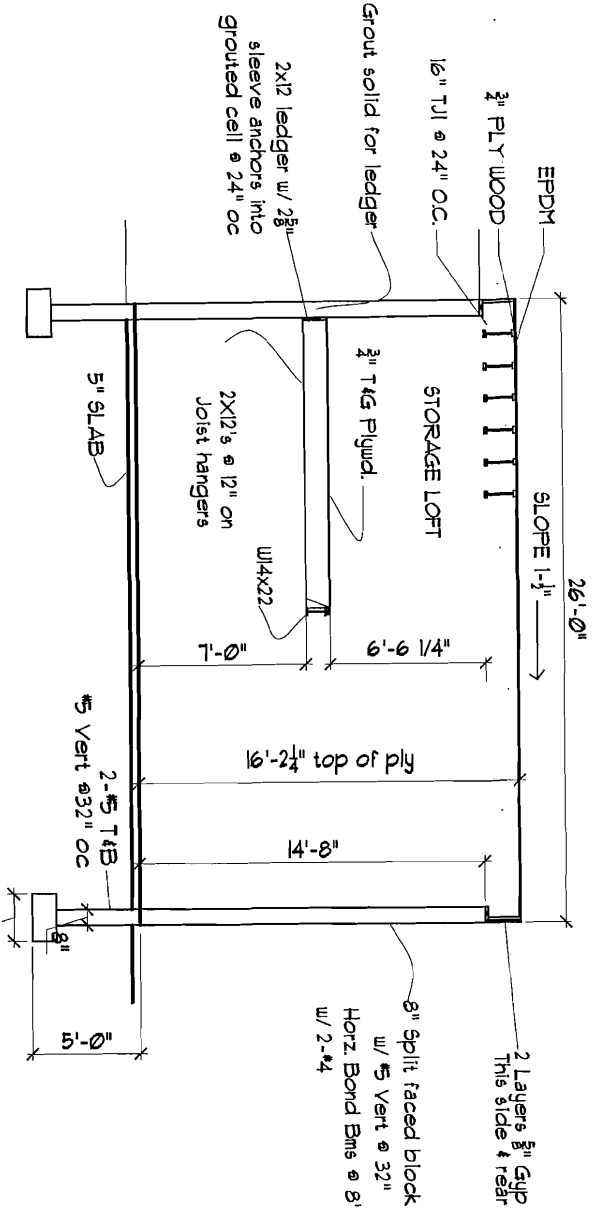


7 2009

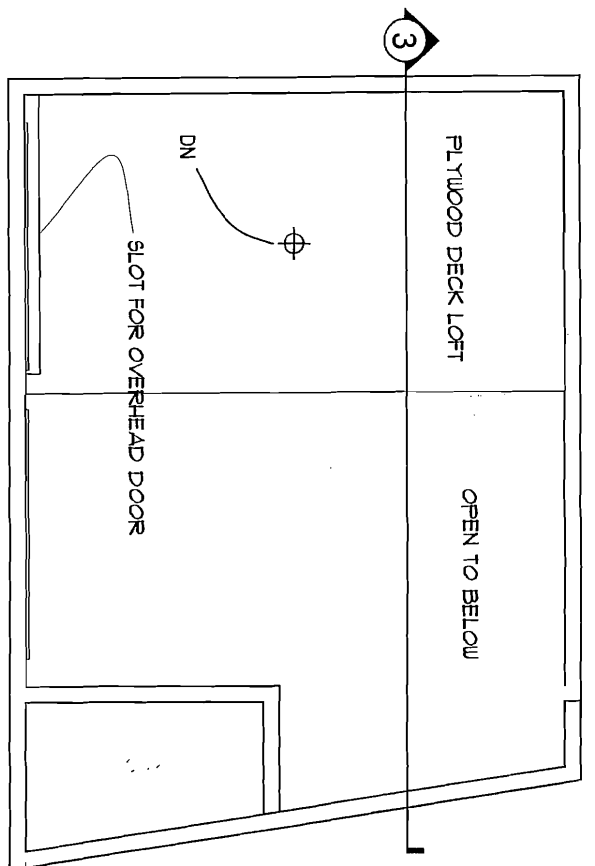
A1	Date: 19 December 2008	Scale: 1/8" = 1'-0"	Revisions:	PROJECT: Garage	ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	OWNER: Tom Moulton
	SITE PLAN			84-88 Oak Street Portland Maine		547 A Congress St, 6th Floor Portland, Maine 04101



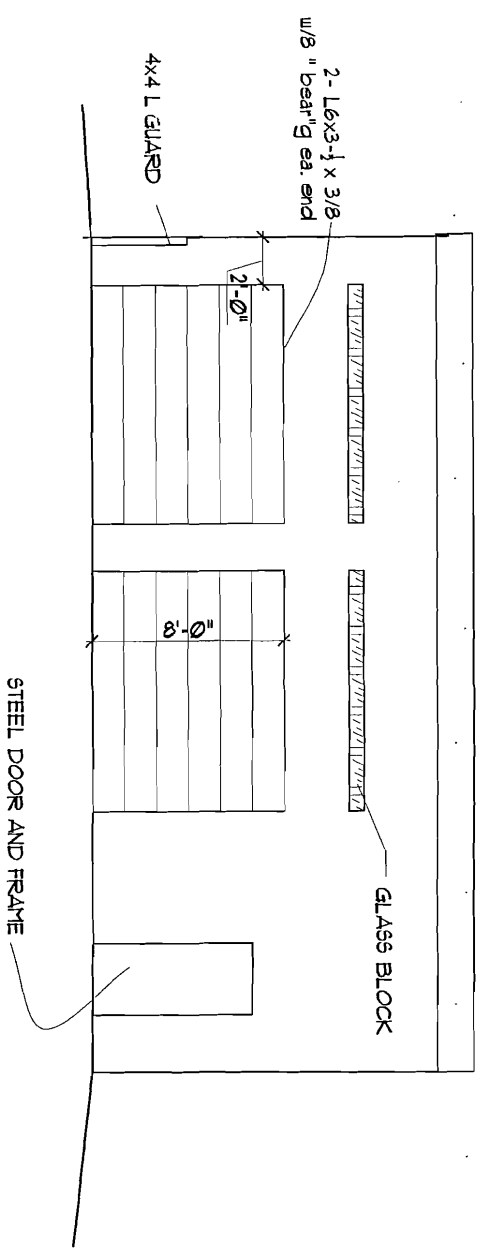
1 | PLAN
SCALE: 1/8" = 1'-0"



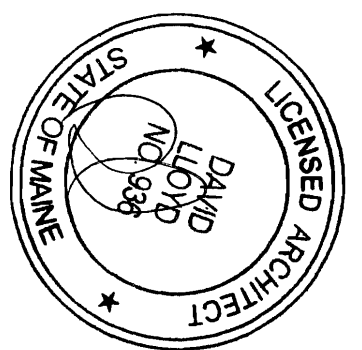
3 | SECTION
SCALE: 1/8" = 1'-0"



2 | LOFT PLAN
SCALE: 1/8" = 1'-0"



4 | ELEVATION
SCALE: 1/8" = 1'-0"



7 2009

Date: 19 December 2008	Scale: 1/8" = 1'-0"	Revisions:	PROJECT:	ARCHETYPE, P.A. ARCHITECTS	OWNER:
			STORAGE GARAGE	48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	Tom Moulton 547 A Congress St, 6th Floor Portland, Maine 04101

A2

PLANS AND ELEVATIONS

STRUCTURAL GENERAL NOTES

Storage Garage
84-88 Oak Street
Portland, Maine
SI JOB# 08-0085

DESIGN LOADS: International Building Code; IBC 2003 Edition, except as noted
Occupancy Category, Table 1604.5 II Standard

Roofs:	Ground Snow, Pg	50 psf
	Flat Roof Snow, PF	31.5 psf,
	Snow Exposure Factor, Ce	Table 1608.3.1 1.0
	Snow importance Factor, Is	Table 1604.5 1.0
	Snow Thermal Factor, Ct	Table 1608.3.2 1.0

Floors:	Garage	50 psf
	Storage Areas	125 psf

Lateral	Wind	IBC 1603.1.4, ASCE 7-02	Analytic Method
		3 Second Gust Velocity	100 mph
		Importance Factor	1.0
		Exposure	C

Seismic	Use Group	1	
	Importance Factor	1.0	
	Spectral Response	Acceleration Coefficient	
	Short Period	S _s	0.375 g
	One Second	S ₁	0.1 g
	Soils Site Class	Table 1615.1.1	D
Design Category	Table 1616.3	C	

FOUNDATION DESIGN:
Foundations are designed without an engineer's soil investigation. Foundation design criteria was assumed for purposes of foundation design and shall be confirmed by a soils engineer, at owner's expense, prior to construction. (This procedure may require revisions to foundation design, at additional expense to the owner, if soils engineer determines that such design criteria are inappropriate for this building site.)

Footings
Design of footings is based on maximum allowable bearing pressure 1,500 psf
Bear on the natural undisturbed soil, or compacted structural fill, below frost depth.

REINFORCED CONCRETE:
Design is based on "Building Code Requirements for Reinforced Concrete" (ACI 318-02). Concrete work shall conform to "Standard Specifications for Structural Concrete" (ACI 301-99).
Structural concrete shall have the following properties:

Intended Use	f'c, psi 28day	Max W/C Ratio	Maximum Aggregate	Slump inches	Entrained Air Percent ±1.5%	Cement Type	Admixtures, Comments
footings	2,500	.6	¾" Stone	4	---	I/II	
stem walls	3,000	.5	¾" Stone	4	5%	I/II	
exterior slab on grade	4,000	.45	¾" Stone	4	6%	I/II	Fibermesh
interior slabs on grade	3,500	.5	¾" Stone	4	3%	I/II	Fibermesh

Detailing, fabrication, and placement of reinforcing steel shall be in accordance with the Manual of Standard Practice for Detailing Reinforced Concrete Structures (ACI 315-99).
Welded wire fabric shall conform to ASTM A185.
Reinforcing bars shall conform to ASTM A615, Grade 60,

- except ties or bars shown to be field-bent, which shall be Grade 40.
- Bars to be welded shall conform to ASTM 706.
- At splices, lap bars 50 diameters unless noted otherwise.
- At corners and intersections, make horizontal bars continuous or provide matching corner bars.
- Around openings in walls and slabs, provide 2-#5, extending 2'-0" beyond edge of opening.
- In continuous members, splice top bars at mid-span and splice bottom bars over supports.
- Provide intermittent shear keys at all construction joints and elsewhere as shown on the drawings.
- Except as noted on the drawings, concrete protection for reinforcement in cast-in-place concrete shall be as follows:
 - a. Cast against and permanently exposed to earth 3"
 - b. Exposed to earth or weather:
 - #6 through #18 bars 2"
 - #5 bar, W31 or D31 wire, and smaller 1-1/2"
 - c. Not exposed to weather or in contact with ground:
 - Slabs, walls, joists: #11 bar and smaller 3/4"
 - Beams, columns:
 - Primary reinforcement 1-1/2"
 - Stirrups, ties, spirals 1-1/2"

Fibermesh admixture shall be 100% virgin polypropylene, fibrillated fibers as manufactured by Fibremesh Co. per ASTM C-1116 type 111 4.1.3 and ASTM C-1116 performance level one, 1.5 lbs per cubic yard of concrete.
Anchor bolts and rods for beam and column-bearing plates shall be placed with setting templates.
Permanent corrugated steel forms for concrete floor slabs shall be manufactured and erected according to the "Specifications and Code of Standard Practice" of the Steel Deck Institute.
All concrete work is subject to inspection by a qualified special inspector employed by the owner in accordance with IBC Section 1704.4.

STRUCTURAL STEEL:

Structural steel shall be detailed, fabricated, and erected in accordance with AISC Specifications, 2005, and Code of Standard Practice, 2000.
Structural steel wide flange beams shall conform to ASTM A992.
Anchor rods shall conform to ASTM F1554, Grade 36 (or high strength Gr 55 or Gr 105 as noted), with weldability supplement S1.
Headed anchor studs (HAS) shall be attached to structural steel with equipment approved by the stud manufacturer according to the stud manufacturer's recommendations.
Welding shall be done by a certified welder in accordance with AISC and AWS specifications and recommendations using E70-electrodes. Where not specifically noted, minimum weld shall be 3/16" fillet by length of contact edge.
All post-installed anchors shall have current National Evaluation Report, and shall be installed in accordance with the manufacturer's requirements.
Expansion anchors shall be approved "wedge" type unless specifically noted to be "sleeve" type.
Chemical anchors shall be approved epoxy or similar adhesive type and shall have current National Evaluation Report. Where base material is not solid, approved screen tubes shall be used.
Grout beneath column base and beam-bearing plates shall be minimum 28-day compressive strength of 7,500 psi, approved pre-bagged, non-metallic, non-gaseous, bleed free, non-shrink, when tested in accordance with ASTM C1107 Grade B or C at a flow cone fluid consistency of 20 to 30 seconds

STRUCTURAL MASONRY:

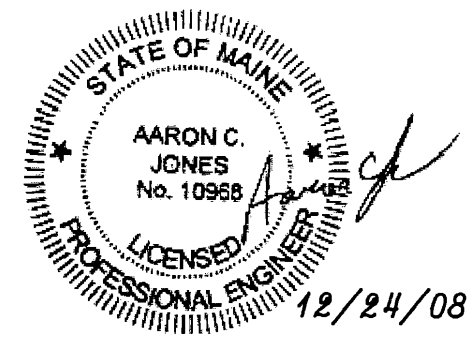
Design is based on Unit Strength Method
MSJC 2002, Section SC-1.4 B.2.
Compressive strength of masonry assembly used for design is 1500 psi, based on net-bedded area.
Hollow load-bearing concrete masonry (CMU) shall be lightweight units conforming to ASTM C90, Grade N1, minimum compressive strength 1,900 psi based on average net area.
Mortar shall be Type S conforming to ASTM C270.
Masonry cement shall not be used.
Provide full shovled mortar in all head and bed joints.
Admixtures shall not be added for any reason unless approved by the Architect.
Except for lintels, bond beam units shall be produced from standard vertically voided units with pre-cut knockout cross walls.
Grout used in masonry walls and block cells shall be:
coarse grout, as defined by ASTM C476, with a minimum cube strength = 2,000 psi.
3000 psi concrete using 3/8" diameter aggregate, placed by vibrating unless an approved self consolidating mix is used
Lifts shall not exceed five feet in height
If grout pour height exceeds 5 feet, clean-out holes shall be provided.
Space continuous horizontal joint reinforcing at 16" maximum in all CMU walls.
Joint reinforcing shall be welded type with 9 gage side-wires and 9 gage trussed or ladder cross wires.
Reinforcing bars shall be as for reinforced concrete except as noted.
At splices, lap bars 48 diameters.
Provide reinforced grouted vertical cells at corners, ends of walls, jambs of openings, each side of vertical control joints, and at 32" max spacing as shown on drawings.
Reinforcement shall be secured against displacement prior to grouting by wire bar locators or other suitable devices at intervals not exceeding 200 bar diameters or 10 feet.
Where noted on the drawings, provide clearance between masonry and structural elements, or wrap steel with polyethylene film.
Provide vertical control joints in all masonry walls as located on architectural drawings or at 25'-0" maximum spacing, at both jambs of openings wider than six feet.
Submit for review
Certificates for materials used in masonry construction indicating compliance with the contract documents
Determine f'm through material submittals
MSJC Level 1 Quality Assurance, MSJC Table 1.14.2

LOOSE LINTELS:

Unless noted otherwise, provide loose lintels as follows: (One angle for each 4" of wall thickness to bear 6" minimum each end).
Openings to 4'-0": Angle 3-1/2 x 3-1/2 x 1/4
Openings 4'-1 to 5'-4": Angle 5 x 3-1/2 x 1/4
Openings 5'-5 to 6'-6": Angle 6 x 3-1/2 x 5/16

STRUCTURAL WOOD FRAMING:

In-Grade Base Values have been used for design.
2x framing shall be SPF S4S No. 2 and better unless noted.
All lumber shall be 19% maximum moisture content, unless noted.
Solid timber beams and posts shall be Douglas Fir-Larch No. 1.
Studs shall be SPF Stud grade and better.
Top and bottom plates shall be SPF No. 2 and better.
Wood in contact with concrete shall be pressure-treated SPF.
Conventional light framing shall comply with IBC Section 2308.
Except as noted otherwise, minimum nailing shall be provided as specified in IBC Table 2304.9.1 "Fastening Schedule"
Plywood and oriented strand board (OSB) floor and roof sheathing shall be APA graded with panel identification index, thickness, and nailing as noted on the drawings.
All roof rafters, joists, beams shall be anchored to supports with metal framing anchors.
Light gage framing anchors shown or required, shall be Simpson "Strong Tie" or equal Code approved connectors and installed with the number and type of nails recommended by the manufacturer to develop the rated capacity.
Note that heavy-duty hangers and skewed hangers may not be stocked locally and require special order from the factory.
All beams and trusses shall be braced against rotation at points of bearing.
Unless otherwise indicated, install two lengths of solid blocking x joist depth x 12 inches long in floor framing under column loads.
Columns must have a continuous load path to foundation.



PLANT FABRICATED / PRE-ENGINEERED WOOD FRAMING:

I-series roof and joists shall be TJI, LPI, BCI, or equal with structural wood flanges and webs, and carry Code approval for the composite section.
Bridging and blocking shall be installed according to the fabricator's requirements.

STRUCTURAL ERECTION AND BRACING REQUIREMENTS:

The structural drawings illustrate the completed structure with elements in their final positions, properly supported and braced. These construction documents contain typical and representative details to assist the contractor. Details shown apply at all similar conditions unless otherwise indicated.
Although due diligence has been applied to make the drawings as complete as possible, not every detail is illustrated, nor is every exceptional condition addressed.
All proprietary connections shall be installed in accordance with the manufacturers' recommendations.
All work shall be accomplished in a workmanlike manner and in accordance with the applicable code and local ordinances.
The general contractor is responsible for coordination of all work, including layout and dimension verification, materials coordination, shop drawing review, and the work of subcontractors.
Any discrepancies or omissions discovered in the course of the work shall be immediately reported to the architect for resolution.
Continuation of work without notification of discrepancies relieves the architect and engineer from all consequences.
Unless otherwise specifically indicated, the drawings do not describe methods of construction.
The contractor, in the proper sequence, shall perform or supervise all work necessary to achieve the final completed structure, and to protect the structure, workmen, and others during construction.
Such work shall include, but not be limited to, bracing, shoring for construction equipment, shoring for excavation, formwork, scaffolding, safety devices and programs of all kinds, support and bracing for cranes and other erection equipment.
Temporary bracing shall remain in place until all floors, walls, roofs and any other supporting elements are in place.
The architect and engineer bear no responsibility for the above items, and observation visits to the site do not in any way include inspection of them.

LETTERS OF CONSTRUCTION COMPLIANCE:

The General Contractor shall determine from the local building official at the time the building permit is obtained whether any letters of construction compliance will be requested from the Structural Engineer.
The Contractor shall notify the engineer about all such requirements in writing before the start of construction.
One-day advance notice shall be given when requesting site visits necessary as the basis for the compliance letter.

INSPECTIONS AND REVIEWS:

All site soils related work and footing excavations prior to placing forms, as well as site drainage, shall be reviewed by the project geotechnical engineer.
Normal reviews by Local Building Department.
Notify 48 hours prior to required review.
Required special inspections per I.B.C. Section 1704 by an approved special inspector retained by owner:

- Concrete: Observation of reinforcing, embeds, and forms prior to placement of concrete and observation during placement of concrete as well as taking and testing of specimens. Refer to Section 1704.4 of the I.B.C.
- Grading, Excavation and Placement of Fills: Observation during grading, earthwork excavations and placement of fills, as well as testing for required compaction of fills.
- Masonry: Periodic inspection of mortar proportions, reinforcing, and grouting in accordance with section 1704.5 of the I.B.C.

 The Special Inspector shall be a qualified person who shall demonstrate competence, to the satisfaction of the building official, for inspection of the particular type of construction or operation requiring special inspection.
Duties and responsibilities of the special inspector shall be to observe and/or test the work assigned and outlined above for conformance with the approved construction documents. All discrepancies shall be brought to the immediate attention of the contractor for correction.
The special inspector shall furnish regular reports to the building official, the engineer and architect of record, and other designated persons. Progress reports for continuous inspection shall be furnished weekly. Individual reports of periodic inspections shall be furnished within one week of inspection dates. The reports shall note uncorrected deficiencies, correction of previously reported deficiencies, and changes to the approved construction documents authorized by engineer of record.
The special inspector shall submit a final signed report within 10 days of the final special inspection stating whether the work requiring special inspection was, to the best of the inspector's knowledge and belief, in conformance with the approved construction documents and the applicable workmanship provisions of the International Building Code. Work not in compliance shall be noted in the report.

OWNER:
Tom Moulton
547 A Congress St, 6th Floor
Portland, Maine 04101

ARCHETYPE, P.A.
ARCHITECTS
48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

PROJECT:
STORAGE GARAGE
84-88 Oak Street
Portland Maine

Revisions:

Scale: 1/4" = 1'-0"
Date: 24 December 2008
GENERAL NOTES
ETC.

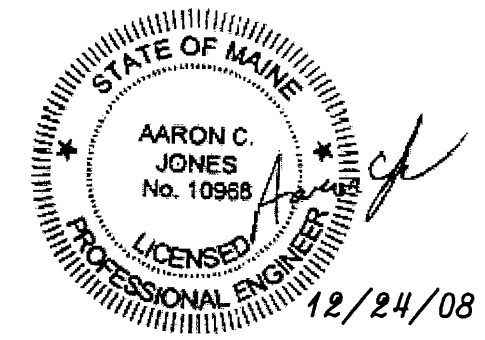
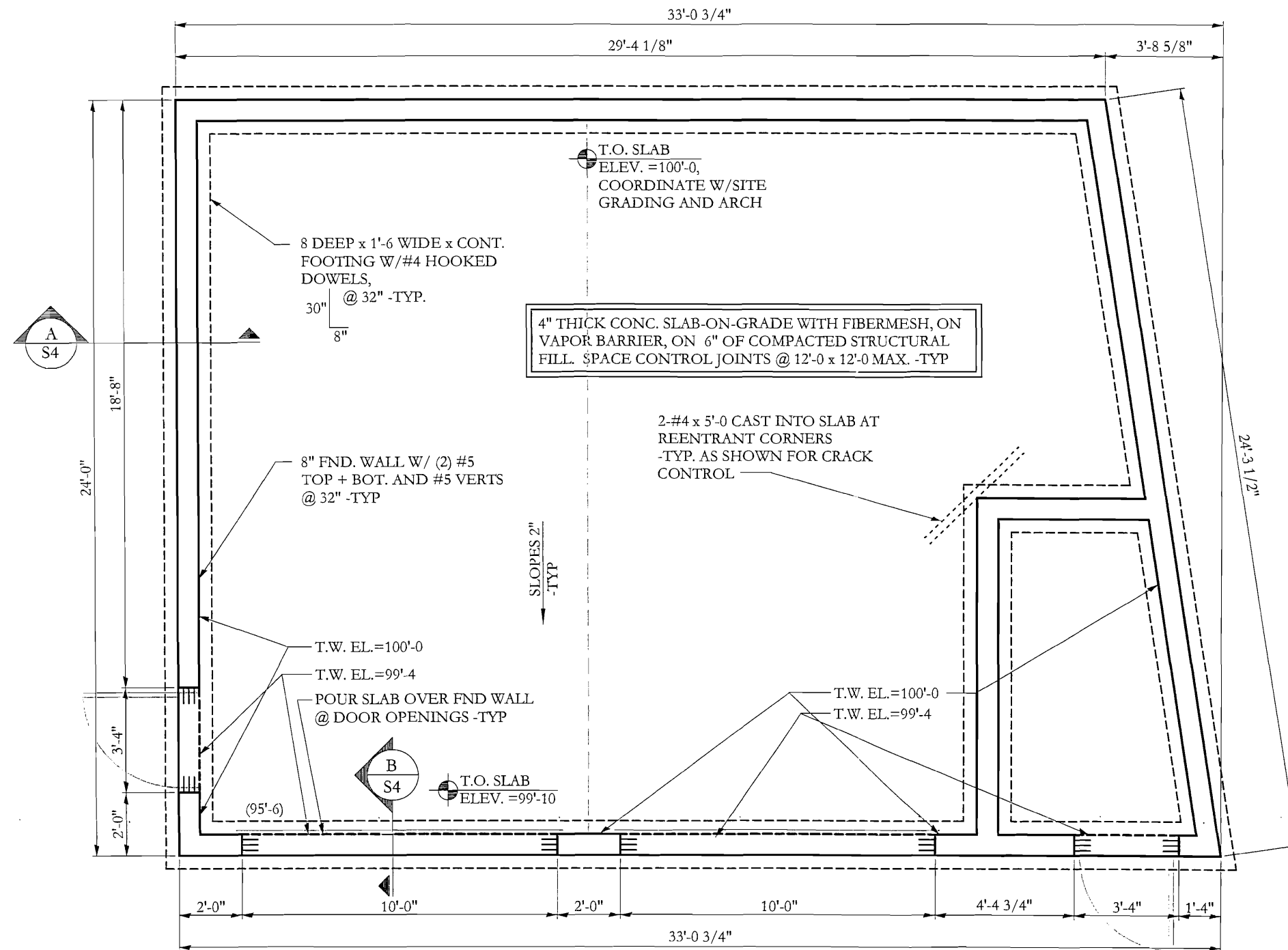
S0

Structural Drawing Index	
S0	General Notes, Etc.
S1	Foundation Plan
S2	Storage Loft Framing Plan
S3	Roof Framing Plan
S4	Sections
S5	Sections

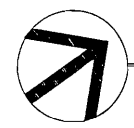


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ARCHETYPE, P.A. ARCHITECTS	48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
PROJECT:	STORAGE GARAGE 84-88 Oak Street Portland Maine
Revisions:	
Date: 24 December 2008	Scale: 1/4" = 1'-0"
FOUNDATION PLAN	
S1	



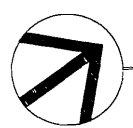
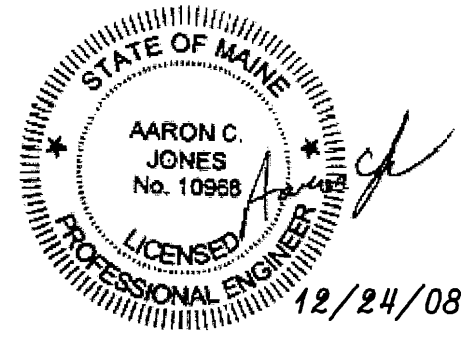
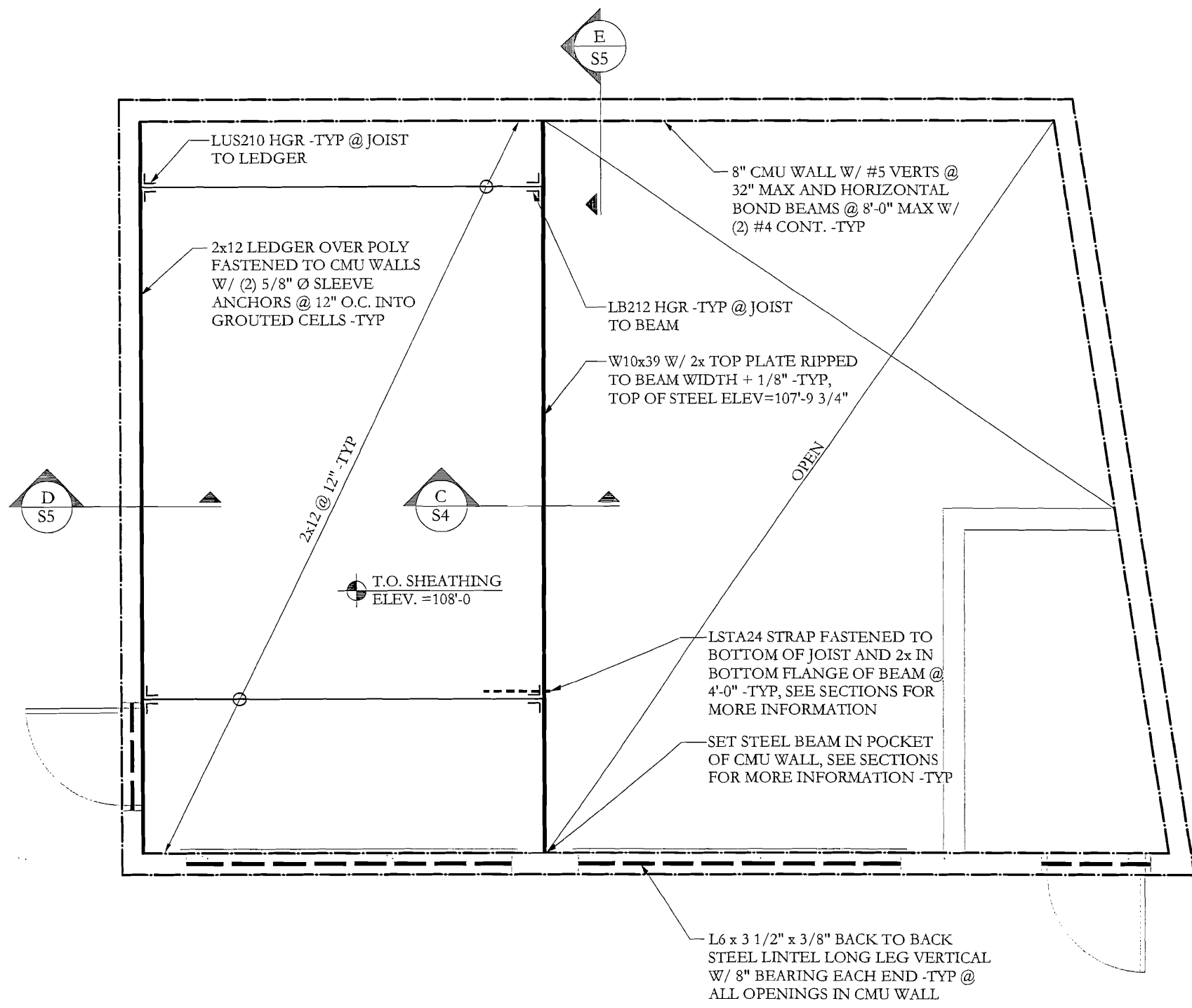
FOUNDATION PLAN

- NOTES: SCALE 1/4"=1'-0"
1. ALL FOOTINGS ARE 8" DEEP 1'-6" WIDE x CONT. WITH (2) # 4 BARS LONGITUDINAL, UNO
 2. STEP IN TOP OF FOUNDATION WALL IS INDICATED THUS: , AND SHOWS LOWER SIDE OF WALL.
 3. SEE S0 FOR STRUCTURAL GENERAL NOTES
 4. FOOTING TO BEAR 4'-0" MIN BELOW GRADE AND IS INDICATED THUS: (XX'-XX")
 5. COORDINATE GARAGE ELEVATIONS W/ SITE GRADING AND ARCH -TYP.



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STORAGE LOFT FRAMING PLAN

NOTES: SCALE 1/4"=1'-0"

1. FLOOR DECK SHALL BE 3/4" T&G SHEATHING, SEE GENERAL NOTES FOR ADDITIONAL INFO
3. ALL BEAMS ARE FLUSH, UNO
4. SEE SHEET S0 FOR GENERAL STRUCTURAL NOTES
5. ALL STEEL LINTELS SHALL BE (2) L6x 3 1/2" x 3/8", UNO
6. ALL FLOOR JOISTS SHALL BE 2x12 @ 12" -TYP UNO
7. TOP OF STEEL BEAM ELEVATION SHALL BE 107'-9 3/4" -TYP UNO

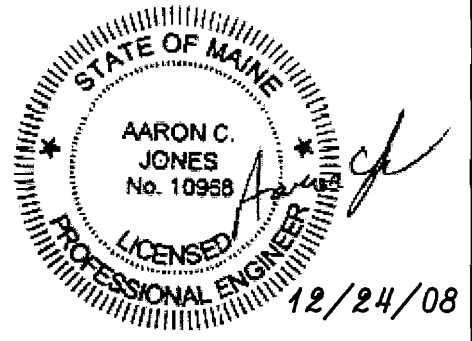
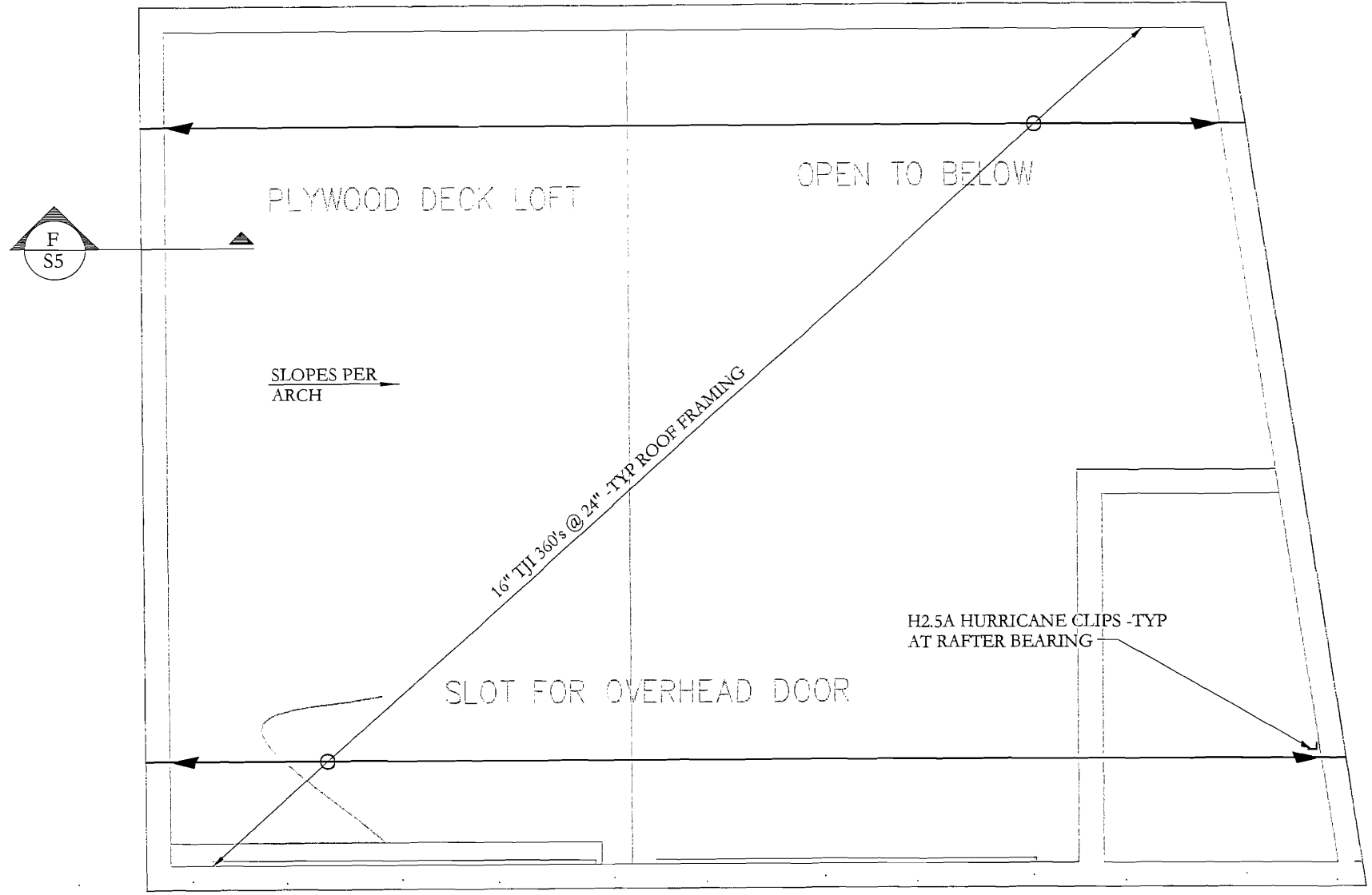
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ARCHITECT:	ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
PROJECT:	STORAGE GARAGE 84-88 Oak Street Portland Maine
Scale:	1/4" = 1'-0"
Date:	24 December 2008
Revisions:	
Title:	STORAGE LOFT FRAMING PLAN
Sheet:	S2



ROOF FRAMING PLAN

NOTES:

SCALE 1/4"=1'-0"

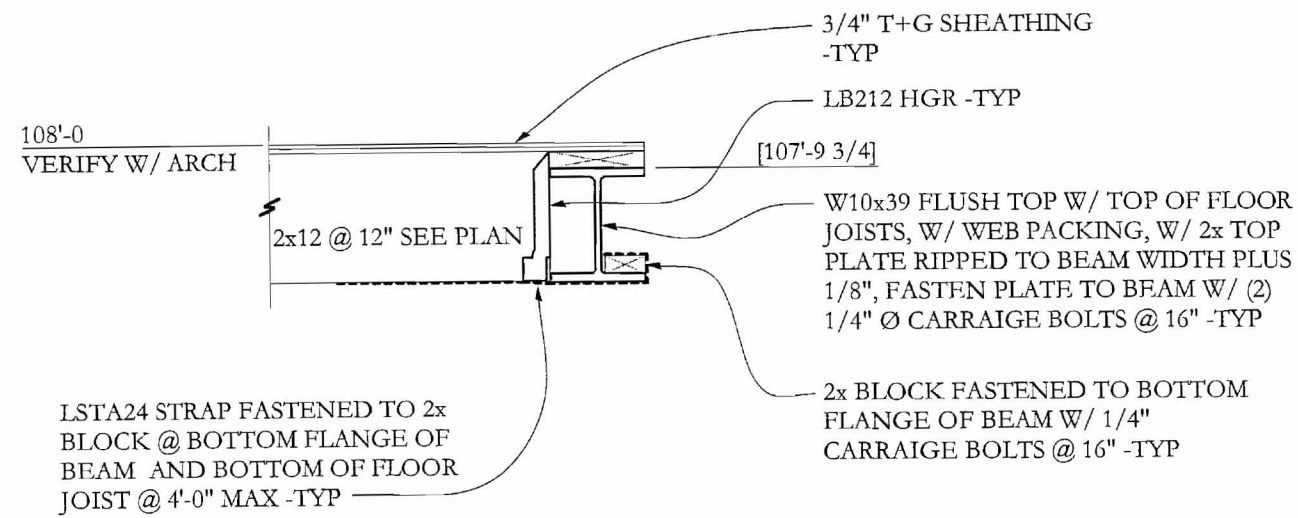
1. ROOF SHEATHING SHALL BE 5/8" OSB, SEE GENERAL NOTES FOR ADDITIONAL INFO
2. ALL RAFTERS SHALL BE 16" TJI 360's @ 24", UNO
3. SEE SHEET S0 FOR GENERAL STRUCTURAL NOTES
4. SEE ARCH FOR ROOFING/ WATERPROOFING -TYP



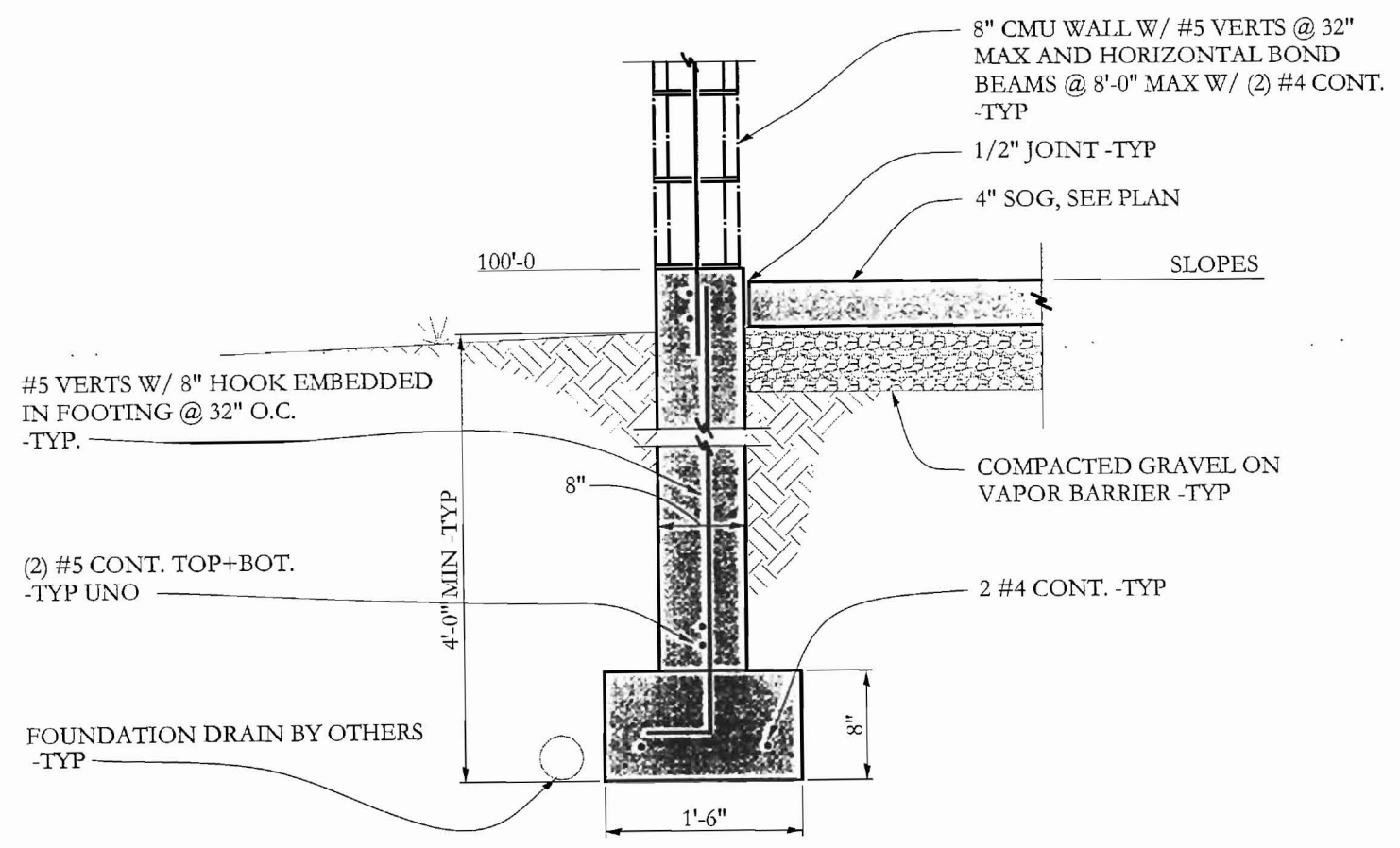
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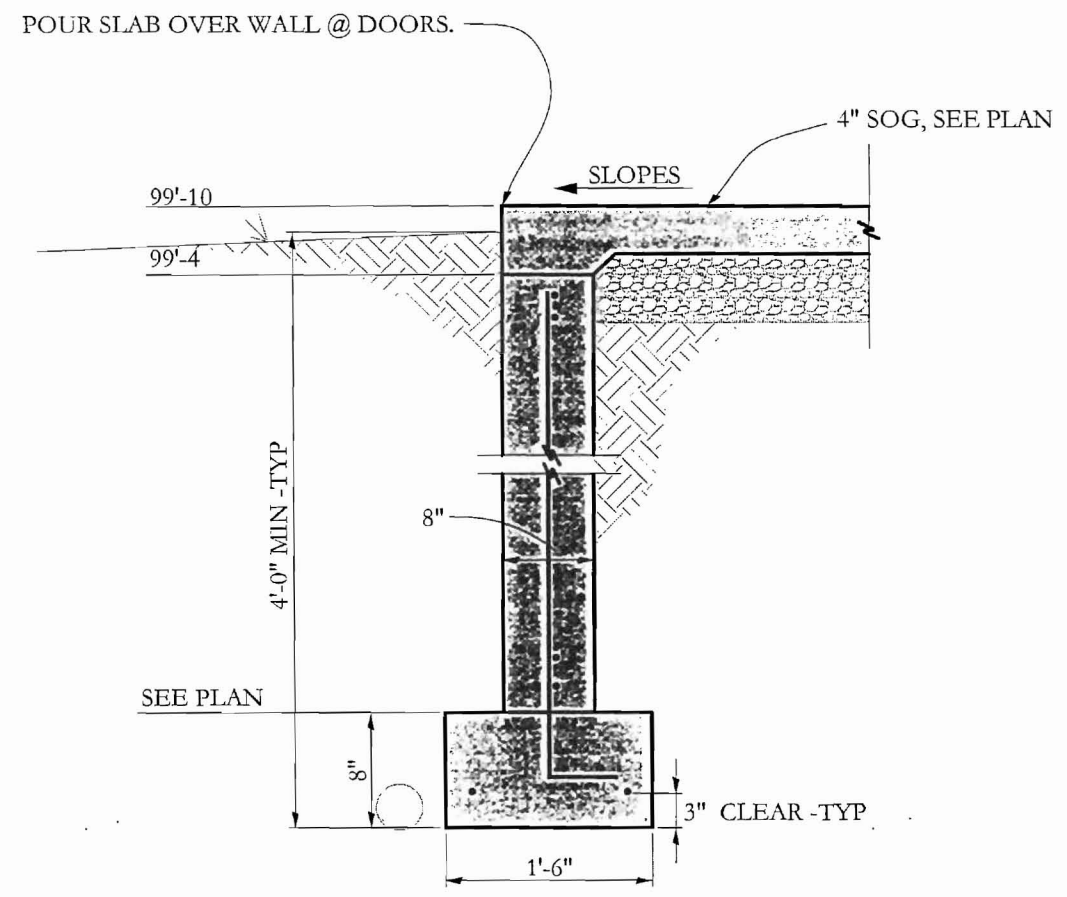
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ROOF FRAMING PLAN		ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-6056									
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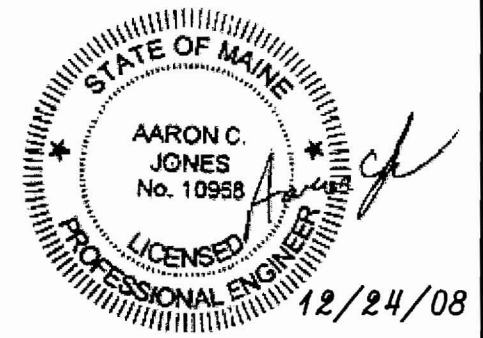
SECTION C
S4 3/4"=1'-0



SECTION A
S4 3/4"=1'-0



SECTION B
S4 3/4"=1'-0

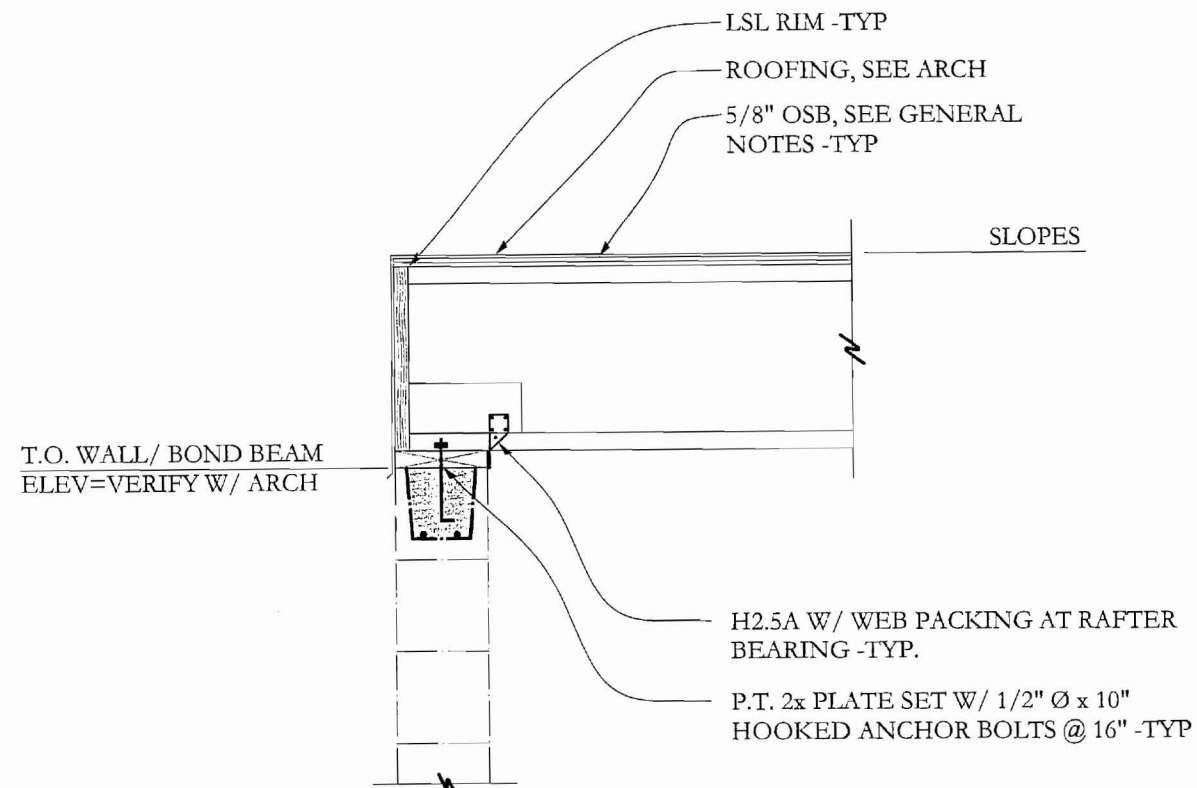


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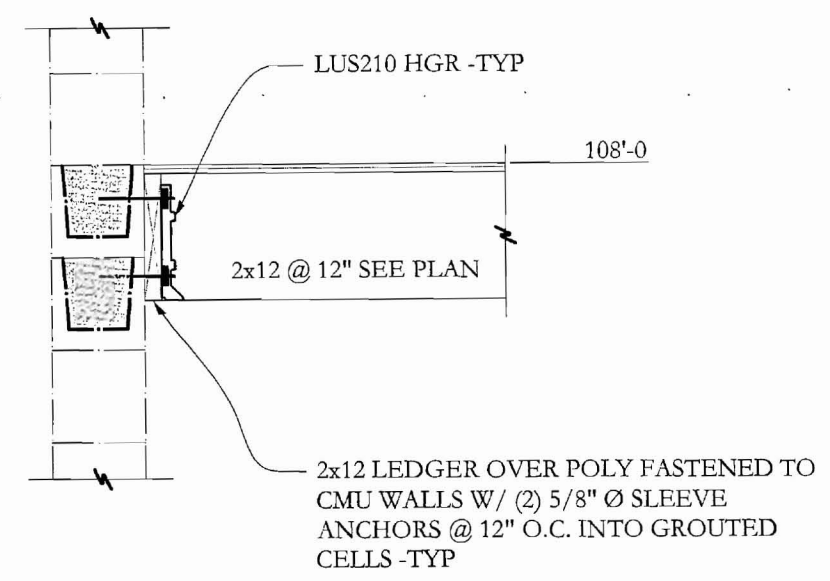
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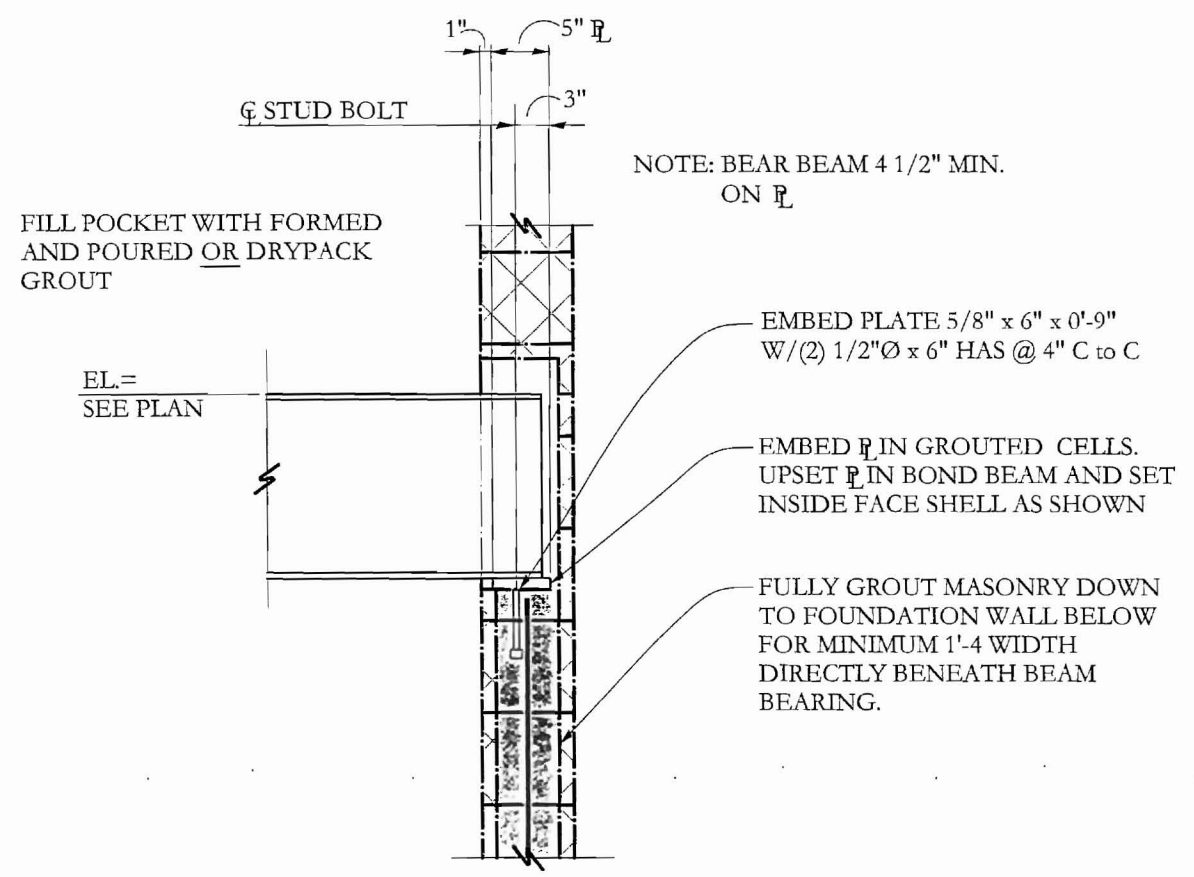
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PROJECT:	STORAGE GARAGE 84-88 Oak Street Portland Maine
ARCHITECT:	ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
DATE:	24 December 2008
SCALE:	1/4" = 1'-0"
REVISIONS:	
SECTIONS	
S4	



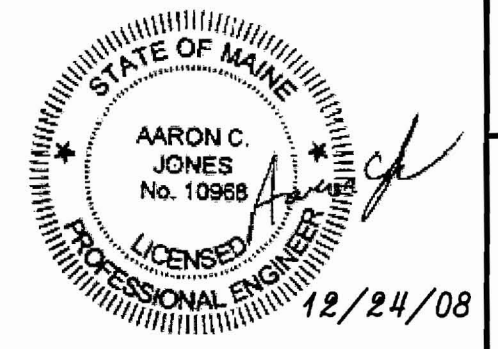
SECTION **F** 3/4"=1'-0
 S5



SECTION **D** 3/4"=1'-0
 S5



SECTION **E** 3/4"=1'-0
 S5



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PROJECT:	STORAGE GARAGE 84-88 Oak Street Portland Maine
Revisions:	
Date: 24 December 2008	Scale: 1/4" = 1'-0"
SECTIONS	
S5	

1. RECORD OWNER OF THE PROPERTY LOCATED BETWEEN 84 AND 84 OAK STREET IS NORTHEAST REALTY, INC. BY THE FOLLOWING DEEDS RECORDED AT THE CUMBERLAND COUNTY REGISTER OF DEEDS (C.R.D.):

A) DEED FROM NATIONAL BANK OF COMMERCE OF PORTLAND DATED NOVEMBER 8, 1954 AND RECORDED IN BOOK 2206, PAGE 55.

B) DEED FROM ROYAL REALTY CO. DATED JULY 28, 1977 AND RECORDED IN BOOK 4083, PAGE 215. THIS DEED DESCRIBES 9 PARCELS NUMBERED AND LOCATED AS SHOWN ON THIS SURVEY. PARCEL 2 OF 9 IS CONVEYED TOGETHER WITH THE PRIVILEGE OF A PASSAGEWAY OF ELEVATED 111 FEET WIDE FROM THE DESCRIBED LOT TO FOREST AVENUE, TO BE HELD OPEN FOREVER.

C) DEED FROM PORTLAND PERFORMING ARTS CENTER DATED MARCH 9, 1983 AND RECORDED IN BOOK 6130, PAGE 268. THIS DEED CONVEYS A STRIP OR PORTION OF LAND WHICH IS COVERED BY THE EXISTING BUILDING OCCUPYING THE SURVEYED PARCEL ALONG WITH A PERPETUAL EASEMENT FOR 5 PARKING SPACES ABUTTING THE SITE ALONG WITH FULL AND FREE RIGHT OF INGRESS TO AND EGRESS FROM SAID PARKING PLACES OVER A PROPERTY TO THE GRANTEE IN THE DEED SUBJECT TO AIR RIGHTS AND BUILDING SUPPORT EASEMENT CONVEYED BY NORTHEAST REALTY TO PORTLAND PERFORMING ARTS CENTER.

2. THE PROPERTY IS SHOWN ON THE CITY OF PORTLAND MAP 1137 AND IS DEPICTED AS BEING LOTS 11 AND 23 IN BLOCK A. THE SUBJECT PROPERTY IS LOCATED WITHIN THE B-3 DOWNTOWN BUSINESS DISTRICT ZONE. REFERENCE IS MADE TO THE CITY OF PORTLAND ZONING ORDINANCE FOR SPACE AND MARK REQUIREMENTS.

3. THE PROPERTY IS NOT LOCATED WITHIN A 100 YEAR FLOOD ZONE AS DEPICTED ON THE FEMA FLOOD INSURANCE RATE MAPS FOR THE CITY OF PORTLAND, MAINE COMMUNITY PANEL NO. 27003-0002D WITH AN EFFECTIVE DATE OF JULY 17, 1996.

4. BEARING ANGLES BASED ON THE 1811 PLAN OF DIVISION OF LOTS OF THE BENJAMIN LARRABEE ESTATE HELD IN THE PLAN REFERENCED IS ASSUMED TO BE MAGNETIC.

5. BEARING ANGLE OF DIVISION PARCEL 13, 17.06 S.F. OR 0.41 ACRES.

6. REFERENCE IS MADE TO FIRST AMERICAN TITLE INSURANCE COMMITMENT NO. 102005-02, FILE NO. 05010315, EFFECTIVE DATE OF OCTOBER 18, 2005, SCHEDULE B ITEMS 7, 9-12 ARE NOTED AND LOCATED AS SHOWN HEREON.

7. VERTICAL DATUM IS ASSUMED BASED ON A SEWER RIM ELEVATION OF 83.61 FEET FOR A MANHOLE LOCATED IN CUMBERLAND AVENUE JUST NORTH OF ITS INTERSECTION WITH OAK STREET AS SHOWN ON A PLAN OF LAND ENTITLED, "SITE PLAN, NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY ISPS/ESS BUILDING APPROVED BY THE DEPARTMENT OF PUBLIC WORKS JANUARY 10, 1975 AND PREPARED BY ALONZO J. HARRIMAN ASSOCIATES INC. DRAWING NO. 50-1, 74-184.

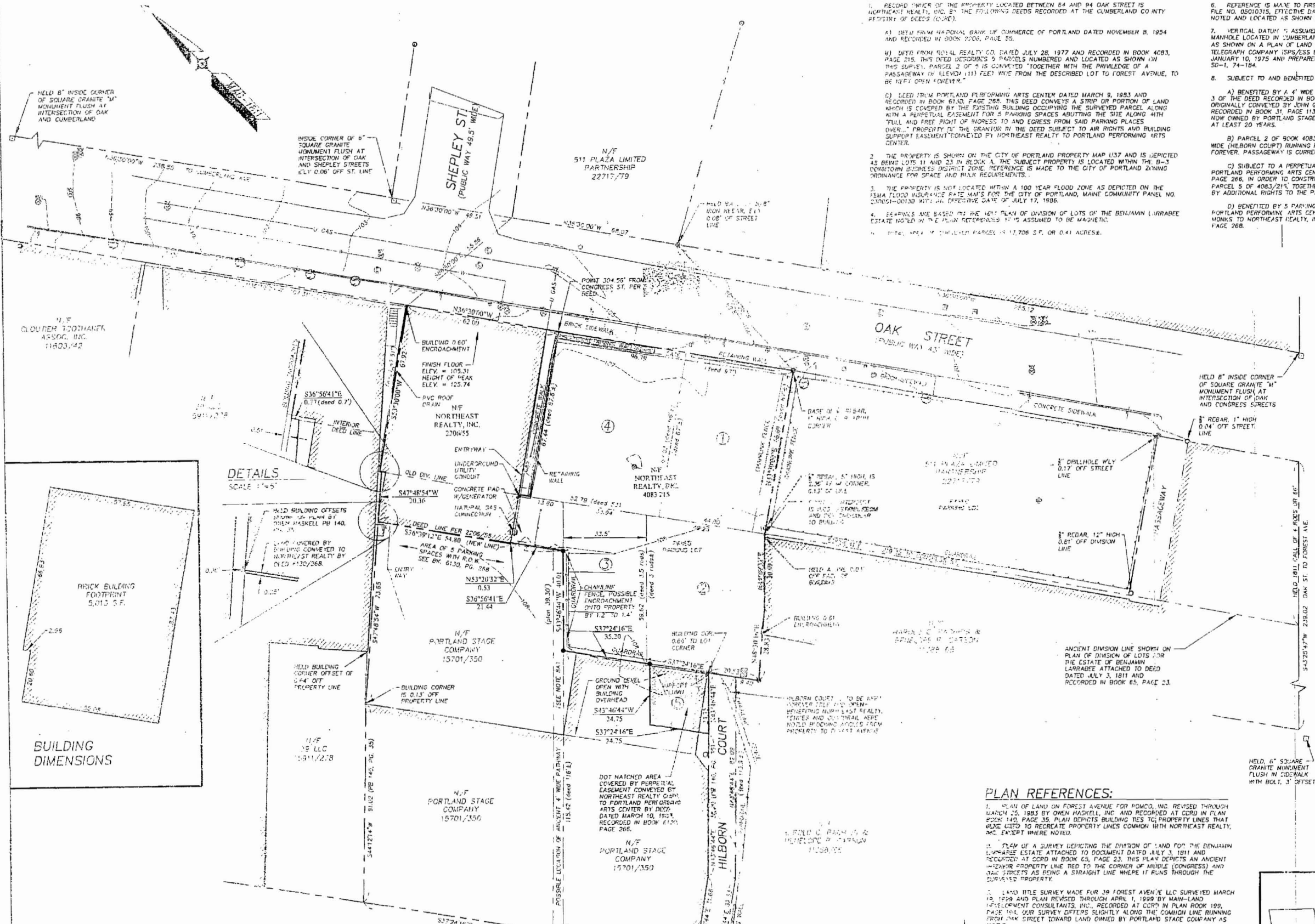
8. SUBJECT TO AND BENEFITED BY:

A) BENEFITED BY A 4' WIDE PASSAGEWAY IN COMMON WITH OTHERS LEADING FROM PARCEL 3 OF THE DEED RECORDED IN BOOK 4083, PAGE 215 TO FOREST AVENUE, FORMERLY GREEN ST. ORIGINALLY CONVEYED BY JOHN GREEN TO KEZIAH BENNETT BY DEED DATED OCTOBER 21, 1799 RECORDED IN BOOK 31, PAGE 113. PASSAGEWAY IS REFERRED TO IN HISTORICAL DEEDS TO LAND NOW OWNED BY PORTLAND STAGE COMPANY. PASSAGEWAY HAS BEEN BLOCKED BY BUILDINGS FOR AT LEAST 20 YEARS.

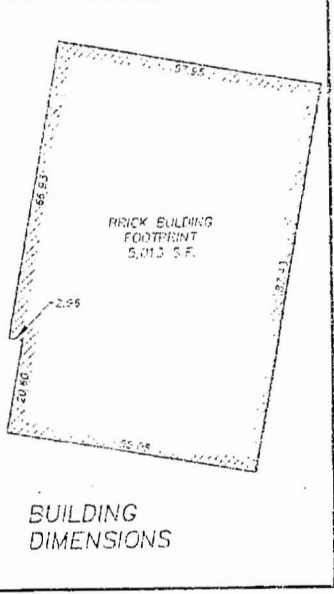
B) PARCEL 2 OF BOOK 4083, PAGE 215 IS BENEFITED BY A PASSAGEWAY ELEVATED 111 FEET WIDE (HILBORN COURT) RUNNING FROM THE PARCEL TO FOREST AVENUE, TO BE KEPT OPEN FOREVER. PASSAGEWAY IS CURRENTLY BLOCKED BY GUARDRAIL AND CHAIN LINK FENCING.

C) SUBJECT TO A PERPETUAL EASEMENT DESCRIBED IN DEED FROM NORTHEAST REALTY TO PORTLAND PERFORMING ARTS CENTER DATED MARCH 10, 1983 AND RECORDED IN BOOK 6130, PAGE 268, IN ORDER TO CONSTRUCT AND MAINTAIN A BUILDING IN THE AIR SPACE ABOVE PARCEL 5 OF 4083/215, TOGETHER WITH NECESSARY SUPPORTS AND FOOTINGS, AND BENEFIT BY ADDITIONAL RIGHTS TO THE PASSAGEWAY.

D) BENEFITED BY 5 PARKING SPACES AND ARCHES RIGHTS DESCRIBED IN A DEED FROM PORTLAND PERFORMING ARTS CENTER, 300 FELLOWS HALL ASSOCIATION AND RIVERSIDE ST. MONKS TO NORTHEAST REALTY, INC. DATED MARCH 10, 1983 AND RECORDED IN BOOK 6130, PAGE 268.



DETAILS
SCALE 1"=5'



LEGEND

- SITE BOUNDARY
- ABUTTER BOUNDARY
- SETBACK
- EASEMENT
- MONUMENT
- IRON PIPE/ROD
- DRILLHOLE
- IRON REBAR TO BE SET
- CHAIN LINK FENCE
- CURB PAVEMENT/CONCRETE
- CURBLINE
- BUILDING
- RETAINING WALL
- GUARDRAIL
- COURTYARD
- GAS
- WATER
- SEWER
- STORM DRAIN
- UNDERDRAIN
- OVERHEAD
- ELEC. & TEL.
- UNDERGROUND
- ELECTRIC
- TELEPHONE
- CURVE/LINE NO.
- FOOT GRADE
- SIGN
- WATER VALVE
- GAS VALVE
- LIGHT POLE
- UTILITY POLE
- RLY POLE
- HURDANT
- CATCH BASIN
- DRAINAGE MANHOLE
- SEWER MANHOLE
- WATER MANHOLE
- ELECTRICAL MANHOLE
- TELEPHONE MANHOLE

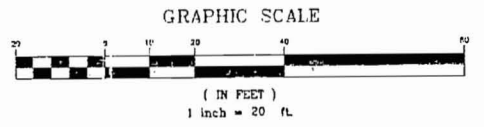
PLAN REFERENCES:

1. PLAN OF LAND ON FOREST AVENUE FOR POMCO, INC. REVISED THROUGH MARCH 25, 1983 BY OWEN HASKELL, INC. AND RECORDED AT CORD IN PLAN BOOK 140, PAGE 35. PLAN DEPICTS BUILDING TIES TO PROPERTY LINES THAT WERE USED TO RECREATE PROPERTY LINES COMMON WITH NORTHEAST REALTY, INC. EXCEPT WHERE NOTED.
2. PLAN OF A SURVEY DEPICTING THE DIVISION OF LAND FOR THE BENJAMIN LARRABEE ESTATE ATTACHED TO DOCUMENT DATED JULY 3, 1811 AND RECORDED AT CORD IN BOOK 65, PAGE 23. THIS PLAN DEPICTS AN ANCIENT DIVISION PROPERTY LINE RED TO THE CORNER OF HINDLE (CONGRESS) AND OAK STREETS AS BEING A STRAIGHT LINE WHERE IT RUNS THROUGH THE SURVEYED PROPERTY.
3. LAND TITLE SURVEY MADE FOR 39 FOREST AVENUE LLC SURVEYED MARCH 19, 1998 AND PLAN REVISED THROUGH APRIL 1, 1999 BY MAIN-LAND DEVELOPMENT CONSULTANTS, INC. RECORDED AT CORD IN PLAN BOOK 199, PAGE 164. OUR SURVEY DIFFERS SLIGHTLY ALONG THE COMMON LINE RUNNING FROM OAK STREET TOWARD LAND OWNED BY PORTLAND STAGE COMPANY AS NOTED.
4. STANDARD BOUNDARY SURVEY OF FLEET BANK PROPERTIES ON CASCO, SHEPLEY, OAK, BROWN STREETS AND CUMBERLAND AVENUE, REVISED THROUGH SEPTEMBER 17, 1996 BY SEABO TECHNICS, INC. RECORDED AT CORD IN PLAN BOOK 194, PAGE 177.
5. ALTA/ACSM LAND TITLE SURVEY ON CASCO STREET, SHEPLEY STREET & OAK STREET MADE FOR C.B. RICHARD ELLIS REVISED THROUGH NOVEMBER 19, 2002 BY OWEN HASKELL, INC. AND RECORDED AT CORD IN PLAN BOOK 203, PAGE 11. BOTH THIS PLAN AND THE AFOREMENTIONED PLAN BY SEABO TECHNICS DO NOT APPEAR TO CORRECTLY DEPICT THE LOCATION OF THE ANCIENT LINE COMMON TO THE POLLY GREEN PARCEL AND THE ESTATE OF BENJAMIN LARRABEE AS DEPICTED ON THE 1811 PLAN NOTED ABOVE.
6. DRAWING NO. 114 APPARENTLY DATED NOVEMBER, 1925 ON FILE WITH THE CITY OF PORTLAND ENGINEERING DEPARTMENT DEPICTING MONUMENTS HELD AT THE INTERSECTION OF CUMBERLAND AVENUE WITH OAK STREET AND THE INTERSECTION OF CONGRESS STREET WITH OAK STREET. THE MONUMENT FOUND AT THE INTERSECTION OF SHEPLEY STREET AND OAK STREET IS NOT SHOWN AND WAS NOT HELD.

SURVEYOR'S STATEMENT

THIS IS TO CERTIFY TO CUMBERLAND SAVINGS BANK, FIRST AMERICAN TITLE INSURANCE COMPANY, MONUMENT TITLE COMPANY AND NORTHEAST REALTY, INC. THAT TO THE BEST OF MY KNOWLEDGE THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH MINIMUM STANDARD OF PRACTICE REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, MINUTELY ESTABLISHED AND ADOPTED BY ALTA, ACSM AND NEMA IN 1999, AND INCLUDES ITEMS 1-5, 7(A), 7(B)(1), 7(C), 8, 10, AND 13 OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, ACSM, AND NEMA AND IN EFFECT ON THE DATE OF THIS SURVEY. I, THE SURVEYOR, FURTHER CERTIFIES THAT THE POSITIONAL UNCERTAINTIES RESULTING FROM THE SURVEY MEASUREMENT MADE ON THE SURVEY DO NOT EXCEED THE ALLOWABLE POSITIONAL TOLERANCE.

Donald E. Goste
DONALD E. GOSTE PLS #2147
DATE 12/3/05



ALTA/ACSM LAND TITLE SURVEY
NO. 114 EAST REALTY PROPERTY
FOR
PORTLAND
MAINE
DATE 12/3/05
SHEET 1 OF 1