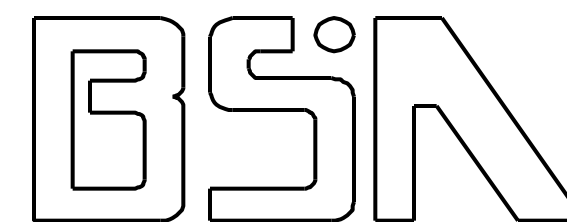


# FAIRPIONT COMMUNICATIONS - EXCHANGE BUILDING

## Masonry Restoration, Roofing and Window Replacement

45 FOREST AVE.,

PORTLAND, MAINE

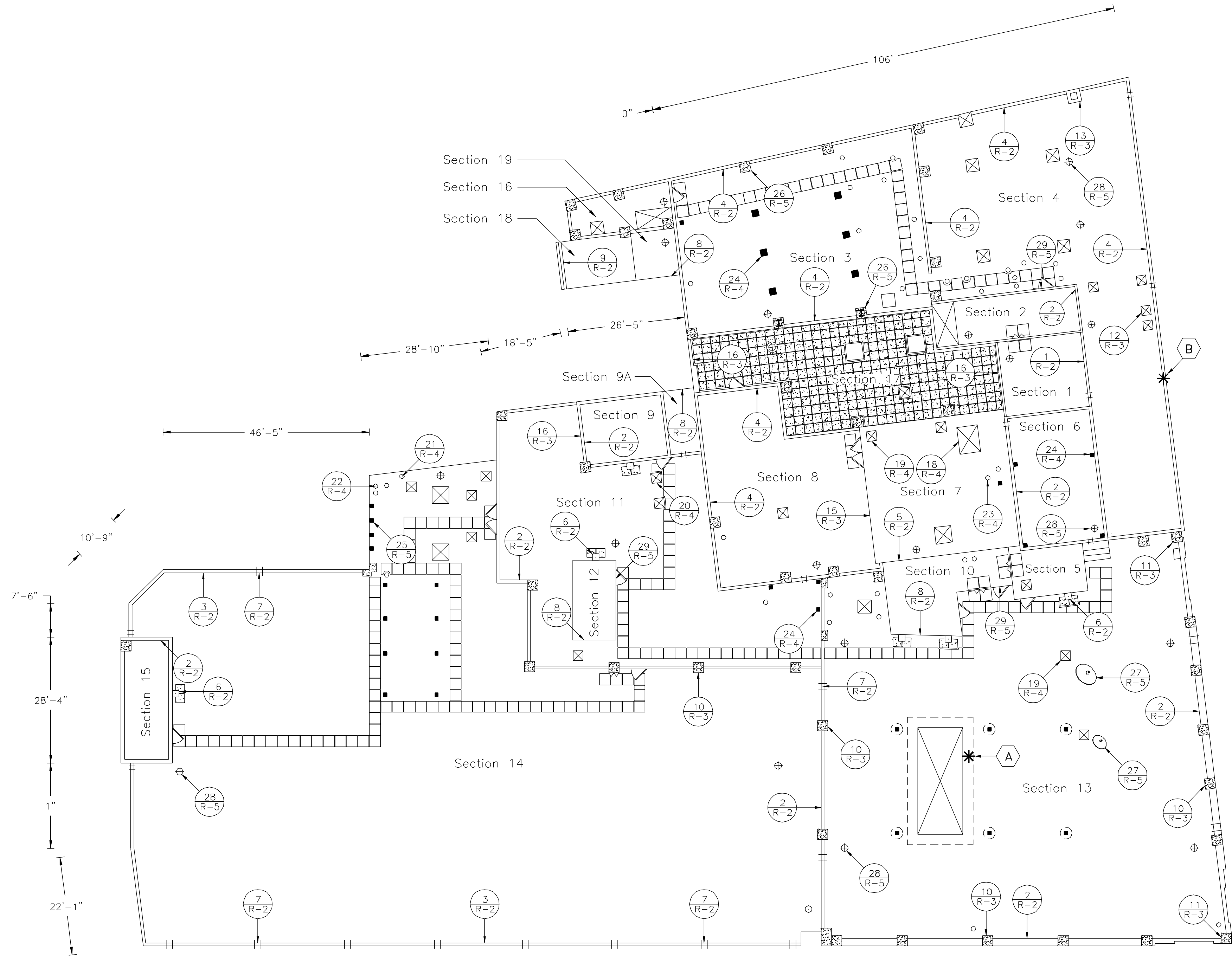


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Date 14 SEPTEMBER 2010

Arch. Proj. No. 1810

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	<b>ARCHITECTURAL</b>		<b>ROOFING</b>
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A3	PROPOSED ELEVATIONS	R-1B	ROOF PROTECTION
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**Keyed Notes:**

- (A) UNIT, DUNNAGE SUPPORT, & UTILITIES TO BE DEMOLISHED PRIOR TO START OF PHASE 1.
- (B) WALL TO BE REBUILT—ROOFING CONTRACTOR TO FURNISH & INSTALL TEMPORARY ROOFING OVER PARAPET DURING MASONRY RESTORATION.

**GENERAL NOTES:**

- A. Roof Composition: The existing roof system consists of a concrete deck, foamglass insulation, underlying and residual pitch, built-up roof PVC with slag, 2 loose-laid ballasted PVC roof system.
- B. Laboratory Analysis: Preliminary testing of representative samples of the residual built-up roofing and flashing materials verified no asbestos in the built-up roof material sample.
- 1. Dependent upon regional requirements, the Oakman Enterprises, Inc. Asbestos Coordinator shall have jurisdiction over acceptance of the preliminary test results. If additional testing is required, the testing shall be performed by a Oakman Enterprises, Inc. approved Asbestos Consultant under a separate contract with Oakman Enterprises, Inc..
- 2. No roof demolition or removal work shall be performed until all test results have been verified and approved by the Oakman Enterprises, Inc. Asbestos Coordinator.
- C. Asbestos Material Warning: On all Oakman Enterprises, Inc. projects, products and materials containing asbestos are not permissible for incorporation into new work. Contractors are required to verify that all new materials that they purchase are asbestos free. This includes materials containing Canadian fibers and Chrysotile mineral fibers. Contractors should check and verify the material content listing from the manufacturer and the material M.S.D.S. listing.
- D. Roof Demolition and Removal: Remove the existing ballast, PVC membrane, underlying polyisocyanurate insulation, built-up roof and foamglass insulation down to the concrete deck. The Roofing Contractor shall thoroughly inspect the concrete deck for cracks, spalls and deflection prior to application of primer and torch-applied SBS temporary roof membrane.
- 1. Remove parapet wall flashing, Remove "RUSS" or batten strip at angle change. Remove interior curb flashing including hot bar terminations. Ensure that all existing PVC and residual BUR material on interior curbs is removed from the curb substrates. Remove existing PVC on dividing walls and perimeter edges.
- 2. Remove PVC from parapet column extensions. Remove all terminations and batten strips to facilitate new EPDM applications.
- 3. Remove all flat bar terminations and extension counterflashing at curb and wall locations. Remove existing copings, fascias, edges, gutters, scupper inserts and wall caps. Do not remove throughwall counterflashing or throughwall reglets.
- 4. Remove the preformed and field-fabricated vent pipe flashings and penetration and exhaust stack flashings. Do not disturb or alter existing curb-mounted equipment. Retain existing fiberglass partial cap for incorporation into the new roof system.
- 5. Haze test all drain assemblies to ensure that the drain lines are open and working properly. Remove all existing clamping rings, bolts and strainers. Inspect the condition of the existing drain bowls and lines to the first elbow. Verify drain bowls are set flush with the structural deck. If required, the Roofing Contractor shall retain a plumbing subcontractor to reconstruct damaged or unusable drain assemblies and to reset bowls flush with the deck per the Unit Price breakdown.
- 6. Remove all existing cant strips related to the perimeter parapet walls. Ensure that all existing PVC and residual BUR material is completely removed from the vertical intersections.
- 7. Do not remove more roofing and flashing material than can be completely replaced during the same day. All new roof membrane and flashing applications, including flat bar terminations will be installed on a daily basis. There will be no exceptions to this project requirement.
- 8. Roofing Contractor shall furnish and install temporary roof protection materials during masonry demolition and roof replacement work. Protection shall consist of 1 1/2" overlaid with 1/2" CDX plywood with boards connected together with metal plates.
- E. Roof System Installation: The scope of work for the new .075 reinforced EPDM roof system installation and related roofing and sheet metal work includes, but is not limited to the following:
  - 1. Upon completion of roof tear-off, clean all dirt, dust and residual debris from the concrete deck. Inspect the concrete deck for damage and deflection. Institute repairs with Pyrofl Quick-set cement. Furnish and apply asphalt primer to the prepared deck surface, followed by Siplast Parodiene 20 TG-5 torch-applied temporary roof.
  - 2. The Roofing Contractor shall apply a separate piece of SBS flashing extending 4" onto the vertical surface of parapet walls and curbs and onto the deck sheet a minimum of 4". On parapet walls, extend existing to remain EPDM flashing on existing SBS flashing. On parapet walls, extend with bonding adhesive.
  - 3. Furnish and install 1/16" and 1/8" insulation. Layout tapered boards as indicated on the Taper Plan Drawing. All tapered insulation shall be adhered to the Parodiene 20 temporary roof in full applications of Fast 100 adhesive. Insulation shall be 25 psi compressive density, with tapered boards 1-1/2" minimum thickness. Overlay insulation with 1/2" cover board set in Fast 100 adhesive.
  - 4. Furnish and install .075 reinforced EPDM membrane, fully-adhered to the new insulation system. Only pre-kleened EPDM membrane sheets shall be utilized for this project. There will be no exceptions to this project requirement. Install membrane sheets in accordance with the roof system manufacturer's instructions.
  - 5. Furnish and install cured .075 EPDM membrane for flashing applications. Bond flashing to vertical surfaces with bonding adhesive. All vertical intersections shall utilize vertically mounted "RUSS" or "RFF" details. Install flashing terminations in accordance with the manufacturer's instructions and Detail Drawings.
  - 6. All field-fabricated membrane and flashing sheet lap seams shall be constructed with 6" solingable seams sealed with seam tape. All membrane and flashing field seams shall be overlaid with 6" wide cured pressure-sensitive flashing material. 7 stainless steel screen covers and 7. Install new cast iron clamping rings, strainers and stainless steel securement bolts at all drain locations. Paint all rings and strainers with Rust-Oleum Safety Blue paint.
  - 8. Furnish and install 16 oz. Zinc Coated Copper coping cap system as shown on the Detail Drawings. Install continuous anchor plates for proper attachment of new coping cap system. Provide concealed joint plates and mitered corners at all corner and offset locations.
  - 9. Furnish and install 16 oz. zinc coated copper column cap extensions tied into the parapet coping system at each column chase location. Fabricate 1/4" install over existing chase openings. 7 diameter downspouts, sized to fit existing openings
  - 10. Install new membrane and flashing terminations in accordance with the Detail Drawings. No exceptions will be permitted without prior written approval by the Roof Consultant. 7 gap between walkpads.
  - 11. Terminate all flashing details with aluminum flat bar covered with 16 oz. zinc coated copper extension counterflashing. Cut-in and surface mounted counterflashing as shown on Detail Drawings. Provide pressure sensitive EPDM separation between dissimilar metals.
  - 12. Fabricate and install new 16 oz. zinc coated copper overflow scupper inserts and throughwall scupper drains with collector boxes with 3.5 and drain profiles.
  - 13. Furnish and install 30 x 30 preformed rubber walkpads at locations shown on the Roof Plan Drawing. Install walkpads fully-adhered to EPDM surface with a 1
  - 14. Furnish and install 2 x 2 x 22 Hanover Prest Pavers in natural buff color with stipple finish. Install pavers at the locations noted on the Roof Plan Drawing. Provide 7/16" compressive strength drainage board between the EPDM membrane and new concrete pavers.
  - 15. Clean, prime and paint plumbing vent pipes above the preformed flashing boot with rust-resistant Silver paint. Paint wall loaders and stair Safety Yellow and equipment supports and steel dunnage Light Grey.
  - 16. The Roofing Contractor shall install end-of-day tie-ins and high seals at the end of each day. There will be no exceptions to this project requirement.
  - 17. Remove all project-related trash and debris from the roof on a daily basis. Stockpiling debris on the roof or grounds of the site is prohibited.
- F. Project Warranties and Product Guarantees:
  - 1. The Roofing Contractor shall provide a written two (2) year Roofing Contractor's Workmanship Warranty covering labor and materials to maintain the roof system in a watertight condition at no cost to Oakman Enterprises, Inc..
  - 2. The Roofing Contractor shall provide a written twenty (20) year Roof System Manufacturer's Total System Warranty and twenty (20) year Membrane Material Warranty covering labor and materials to maintain the roof system in a watertight condition at no cost to Oakman Enterprises, Inc..

**Legend**

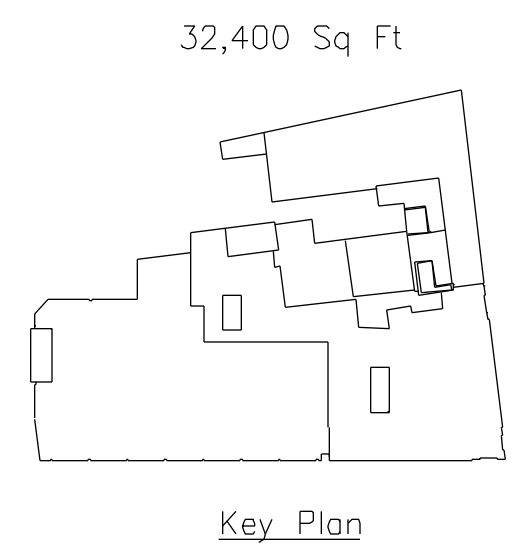
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- CAPE COLLAR
- PITCH POCKET
- ⊕ DRAIN
- ⊕ OVERFLOW SCUPPER
- THROUGHWALL DRAIN
- ⊗ CURB
- △ THRESHOLD
- ▽ LADDER
- CONCRETE COLUMN
- CHIMNEY
- SATELLITE DISH

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 Lepperton, PA 16833  
 Phone: (610) 826-3447

Fairpoint Communications  
 45 Forest Avenue  
 Portland, Maine  
 Roof Replacement

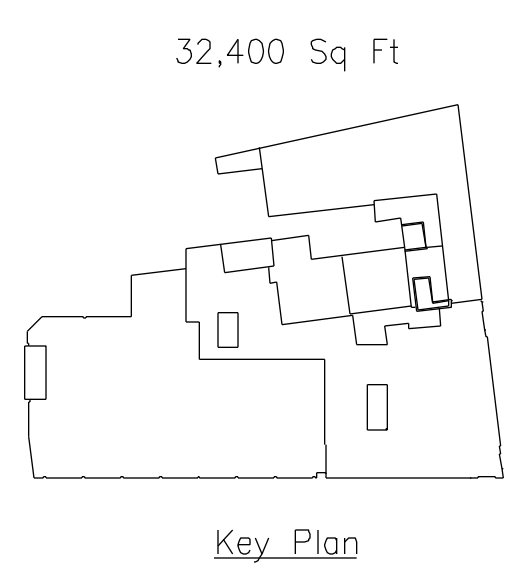
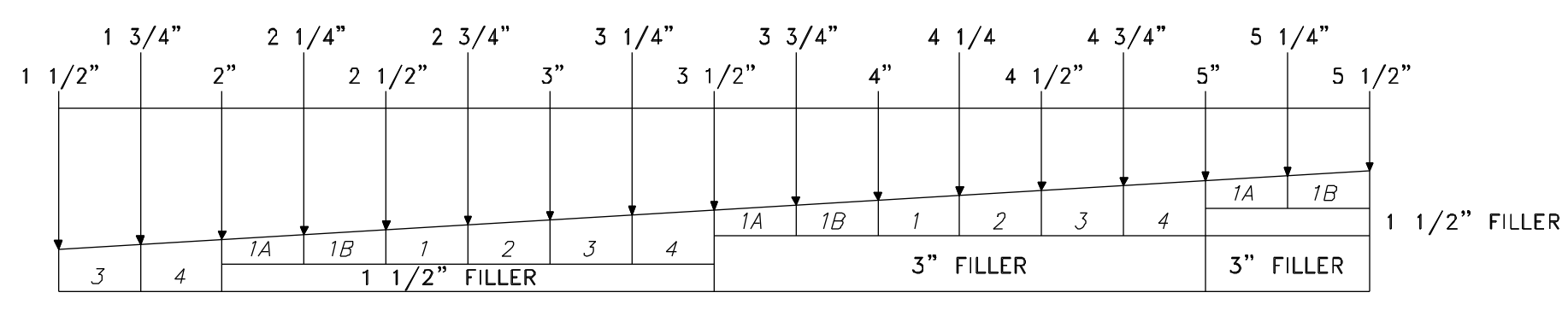
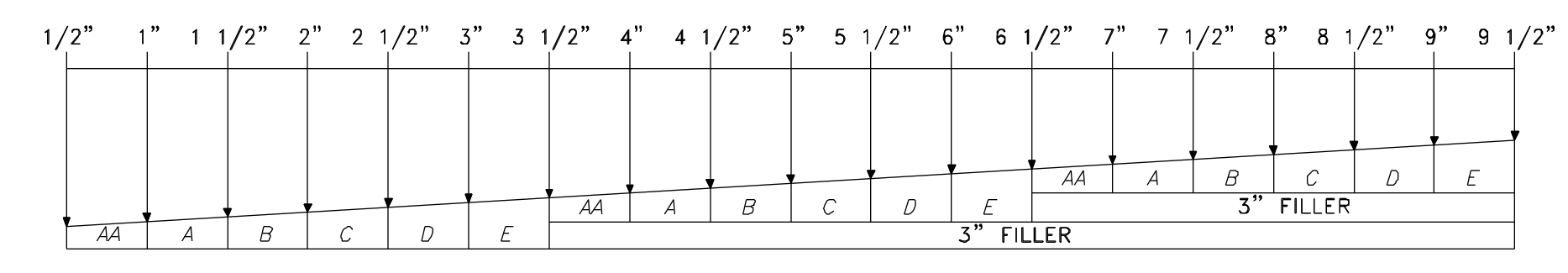
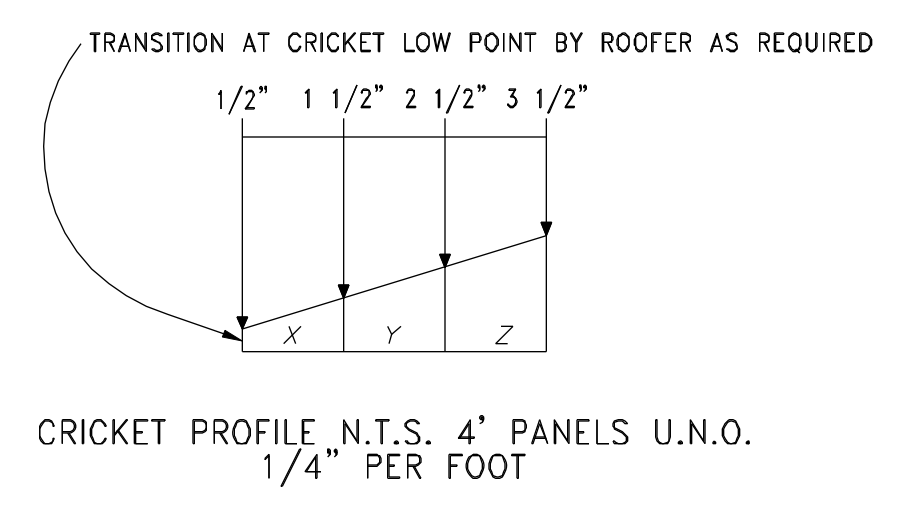
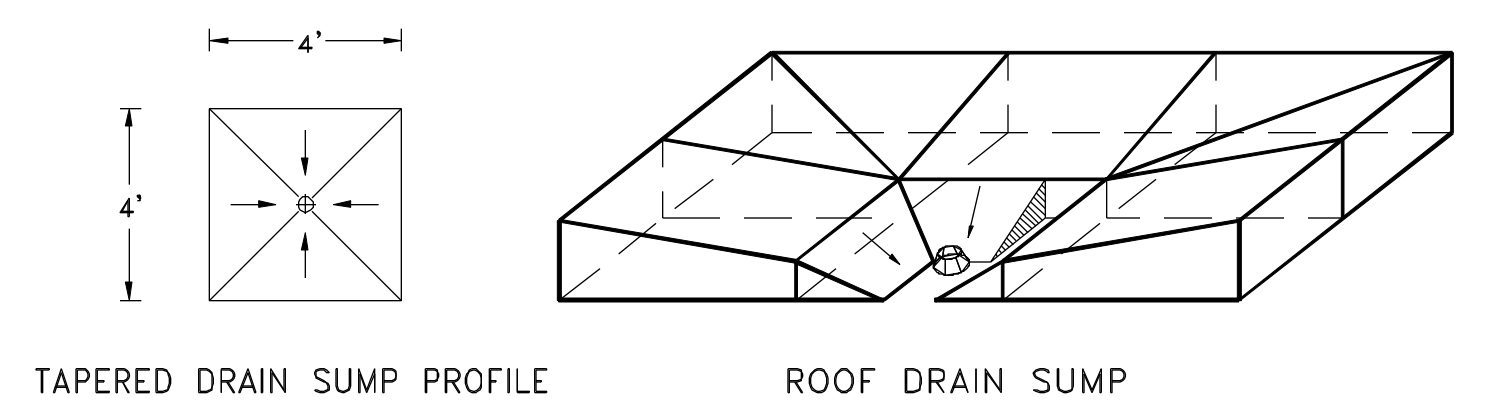
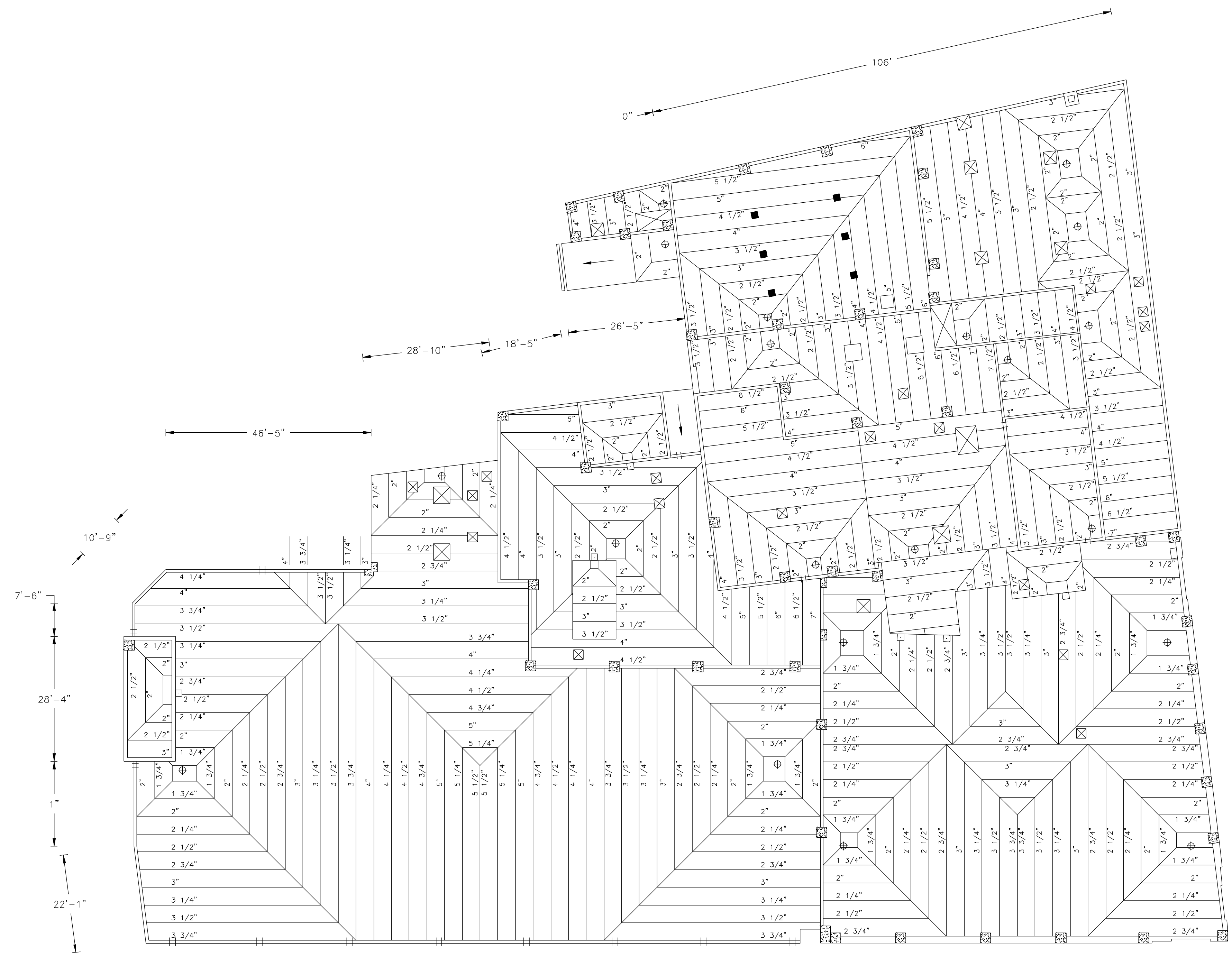
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Drawn By: N. Smey
Approved By: W. Thomas
Roof Plan
Job No. 10192
R-1
Sheet 1 of 7



NOTE: ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR AT THE SITE

**Legend**

- VENT
- CAPE COLLAR
- PITCH POCKET
- ⊕ DRAIN
- ⊕ OVERFLOW SCUPPER
- THROUGHWALL DRAIN
- ⊕ CURB
- ⊕ THRESHOLD
- ⊕ LADDER
- ⊕ CONCRETE COLUMN
- ⊕ CHIMNEY
- SATELLITE DISH



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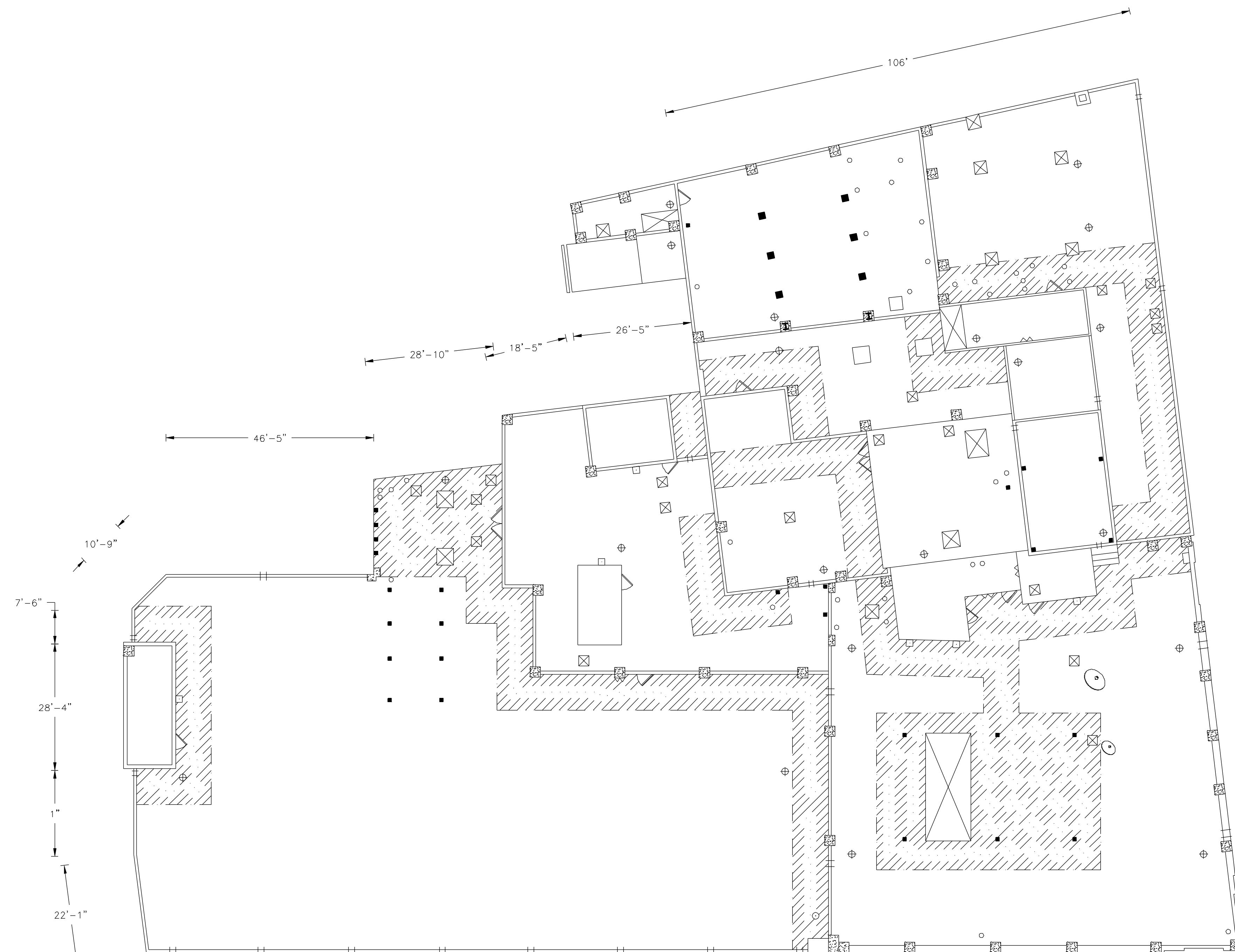
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Taper Plan

Job No. 10192

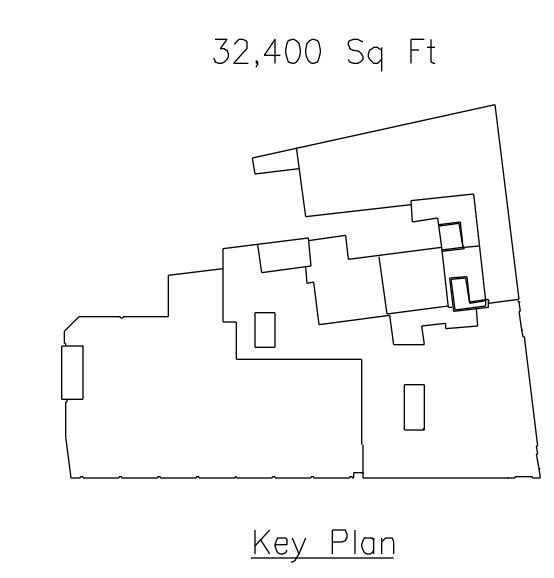
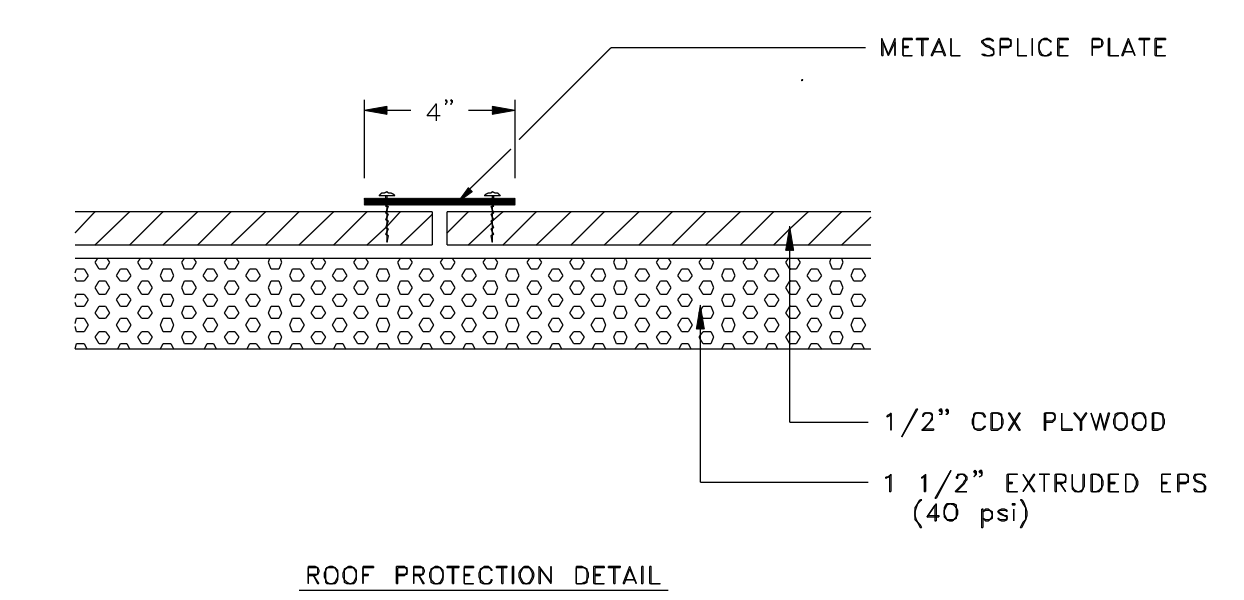
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**Legend**

- VENT
- CAPE COLLAR
- PITCH POCKET
- ⊕ DRAIN
- ⊕ OVERFLOW SCUPPER
- THROUGHWALL DRAIN
- ⊗ CURB
- △ THRESHOLD
- ▽ LADDER
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- CHIMNEY
- SATELLITE DISH



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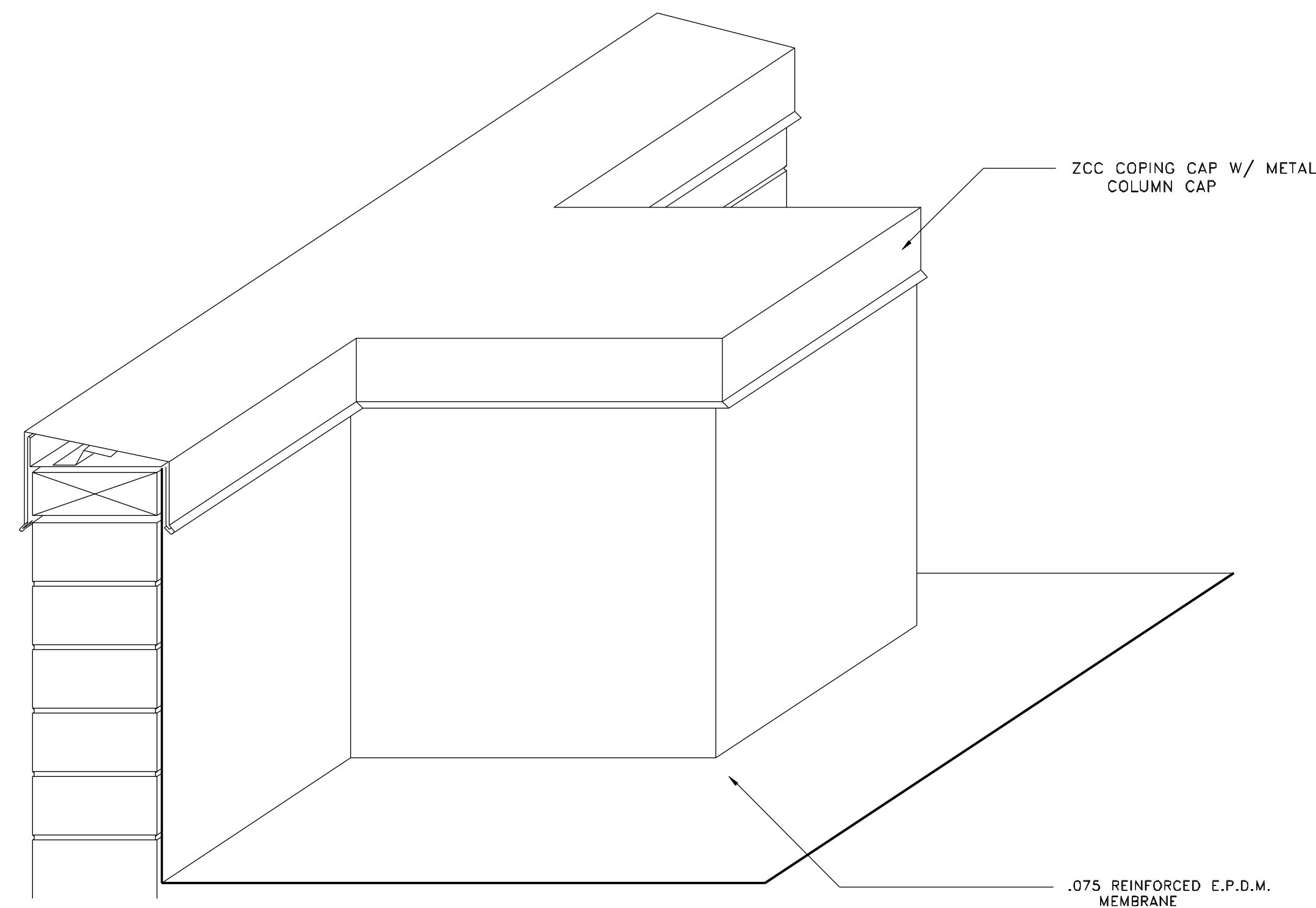
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Roof Replacement

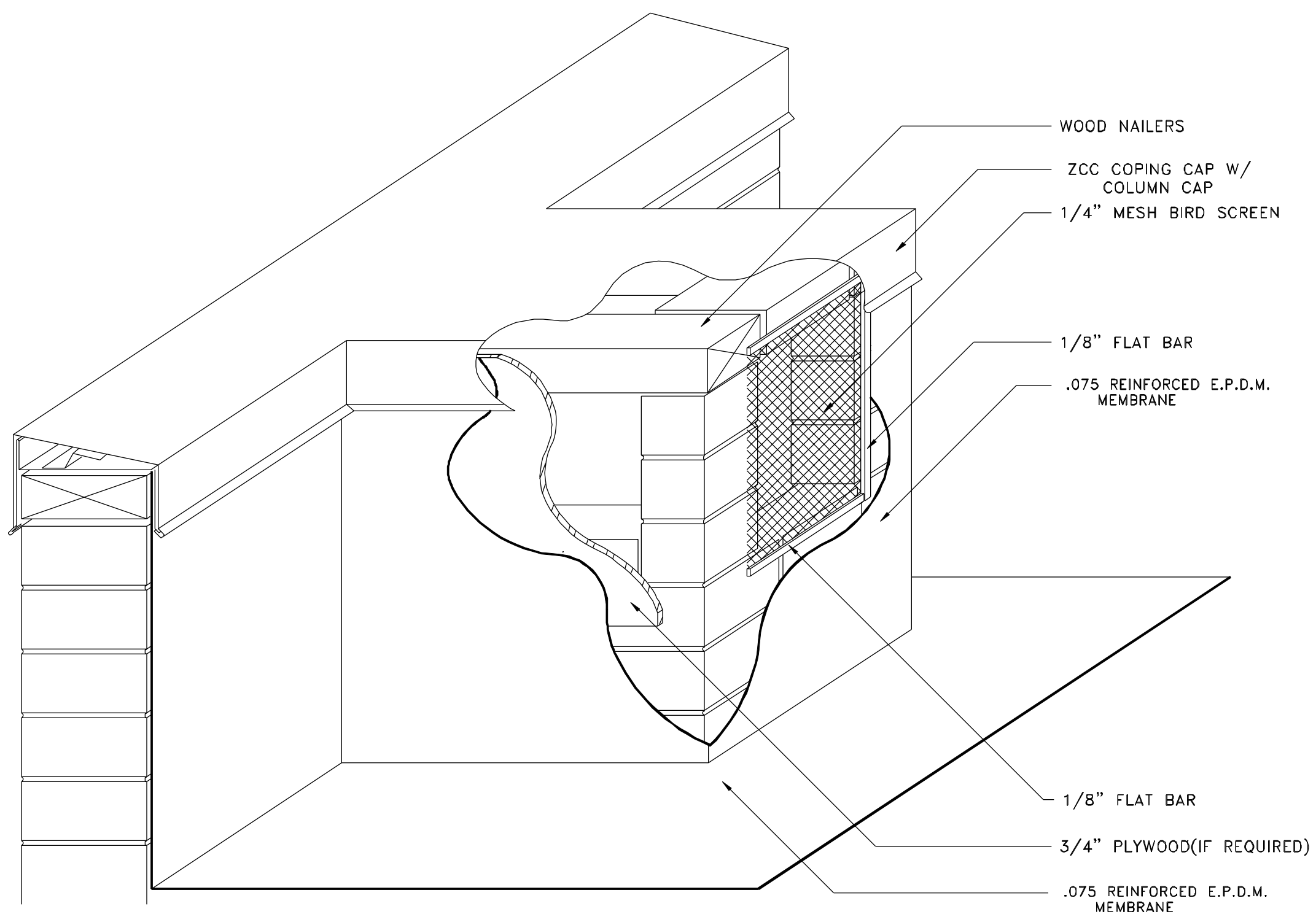
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Approved By: W. Thomas
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Job No. 10192
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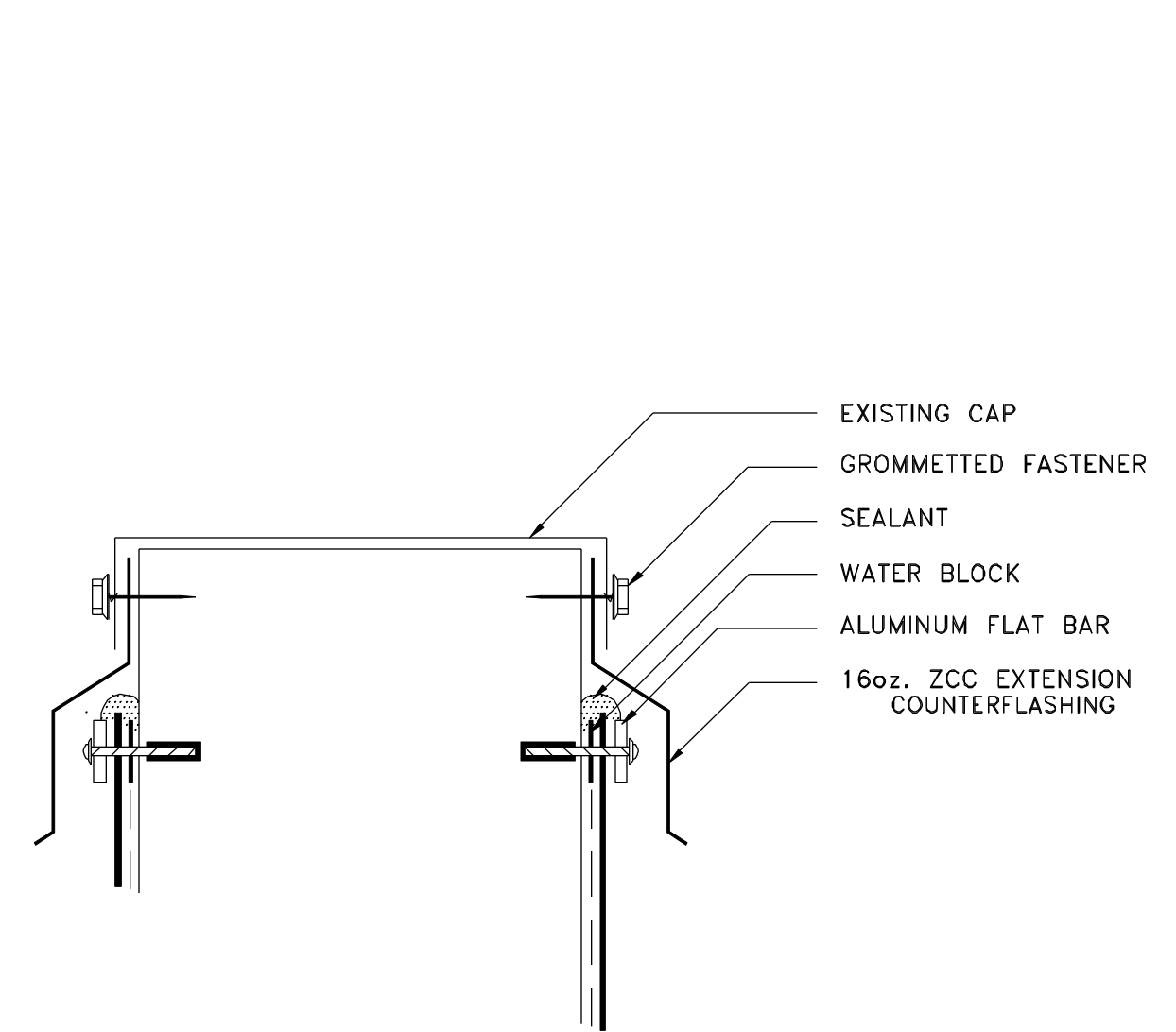




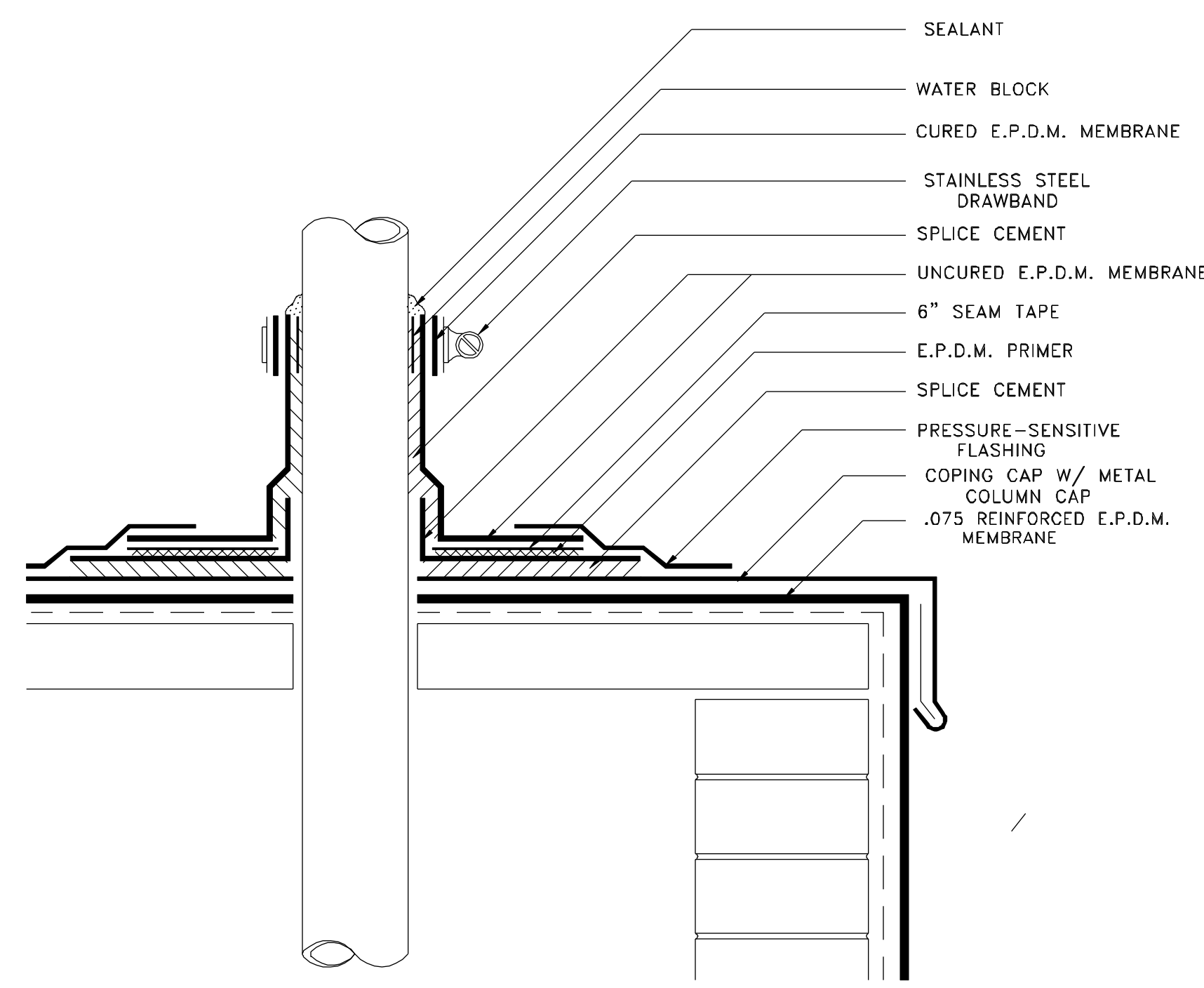
10 PARAPET WALL W/ COLUMN CAP  
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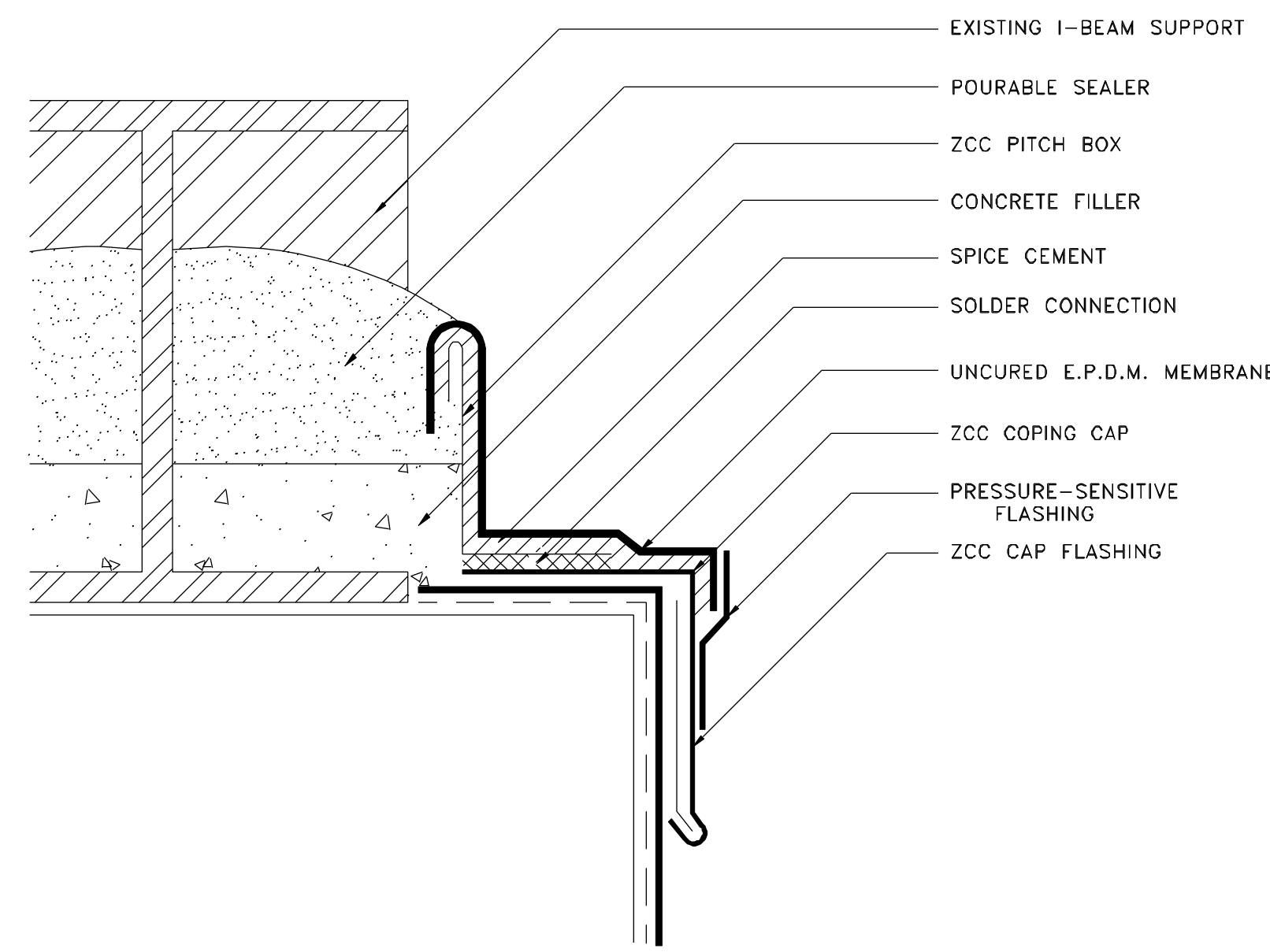
11 WALL CHASE FLASHING  
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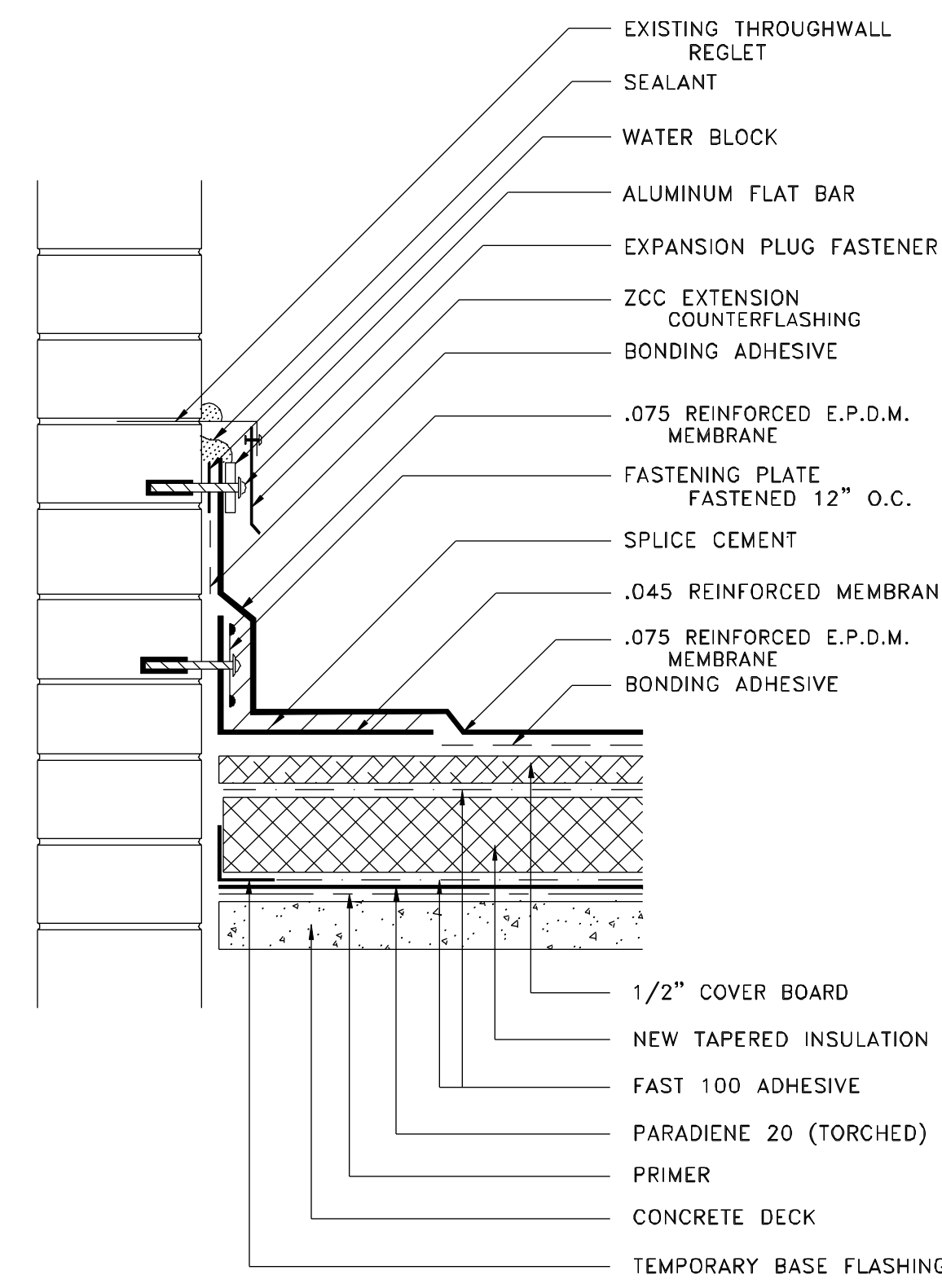
12 COLUMN CAP DETAIL  
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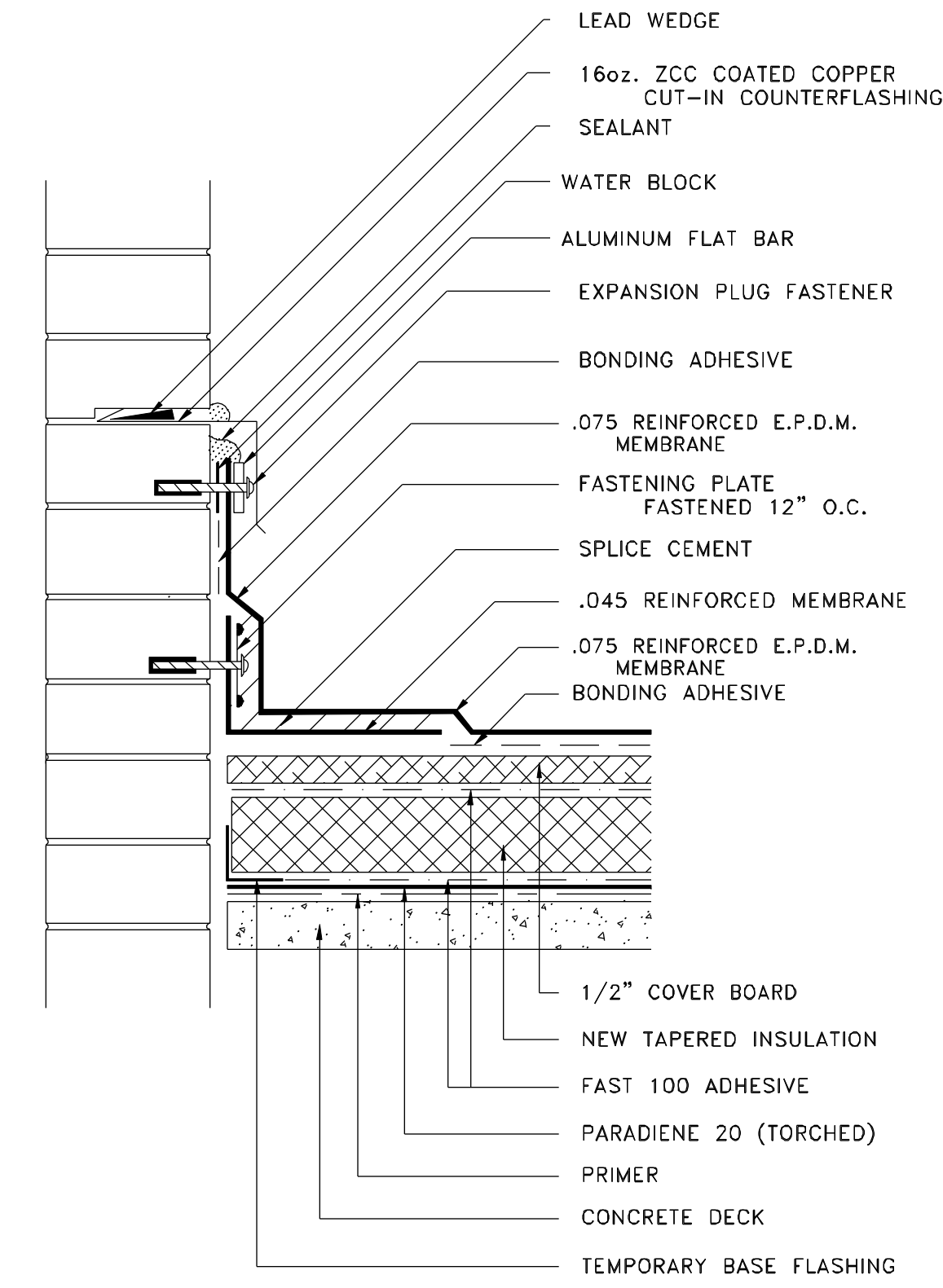
13 COLUMN CAP W/ PIPE DETAIL  
R-3



14 DIVIDING WALL W/ PITCH BOX  
R-3

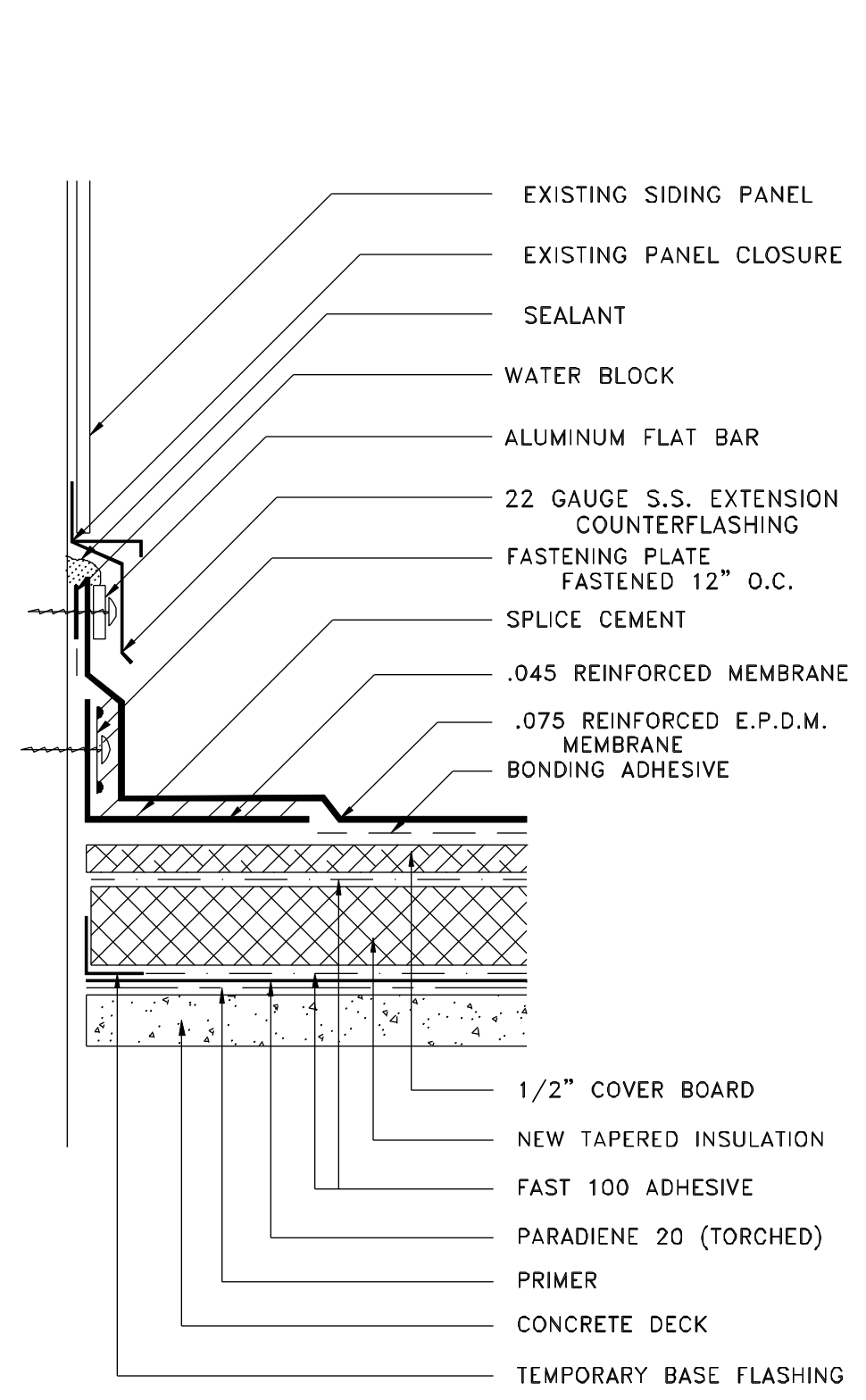


15 RISING WALL FLASHING  
R-3

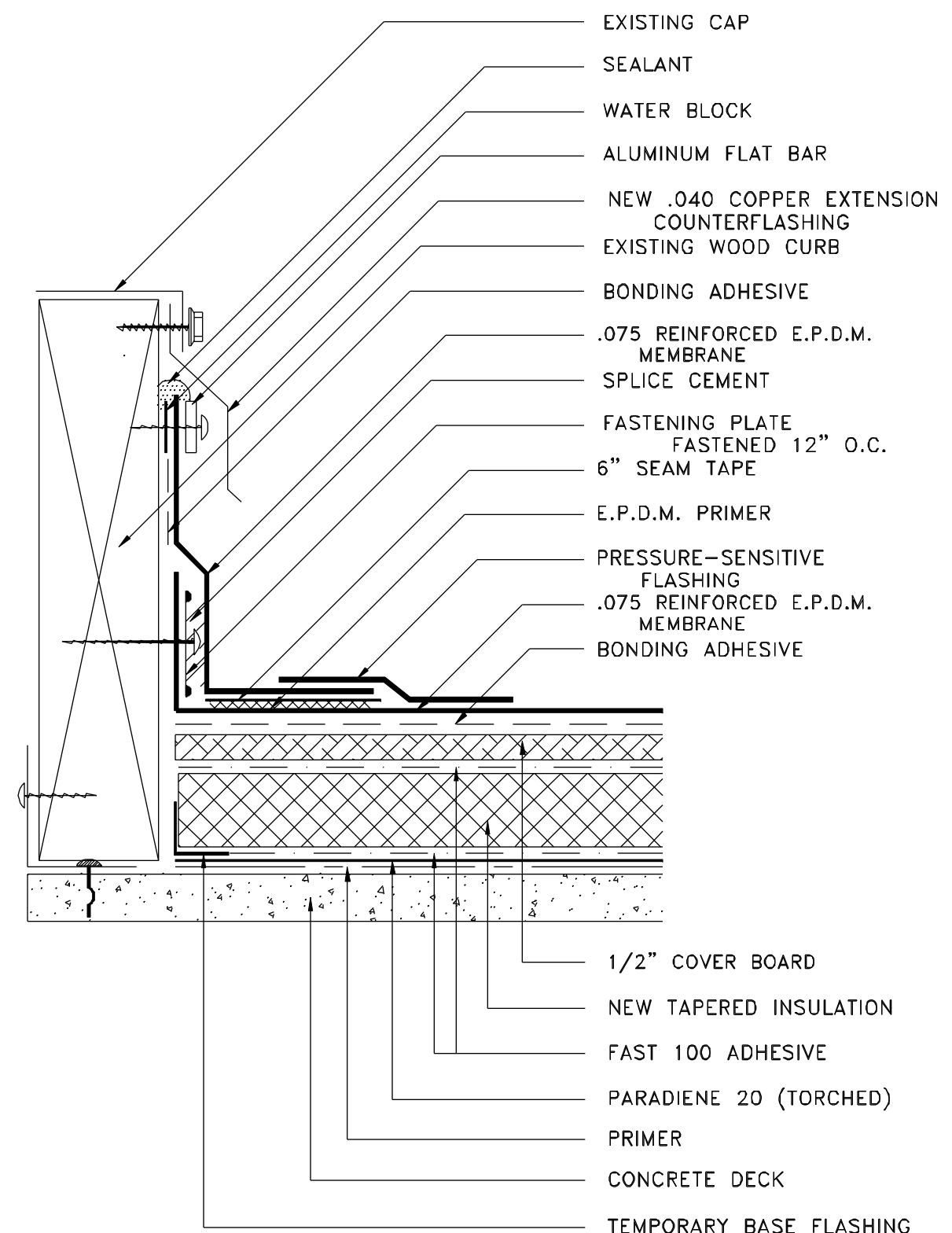


16 RISING WALL FLASHING  
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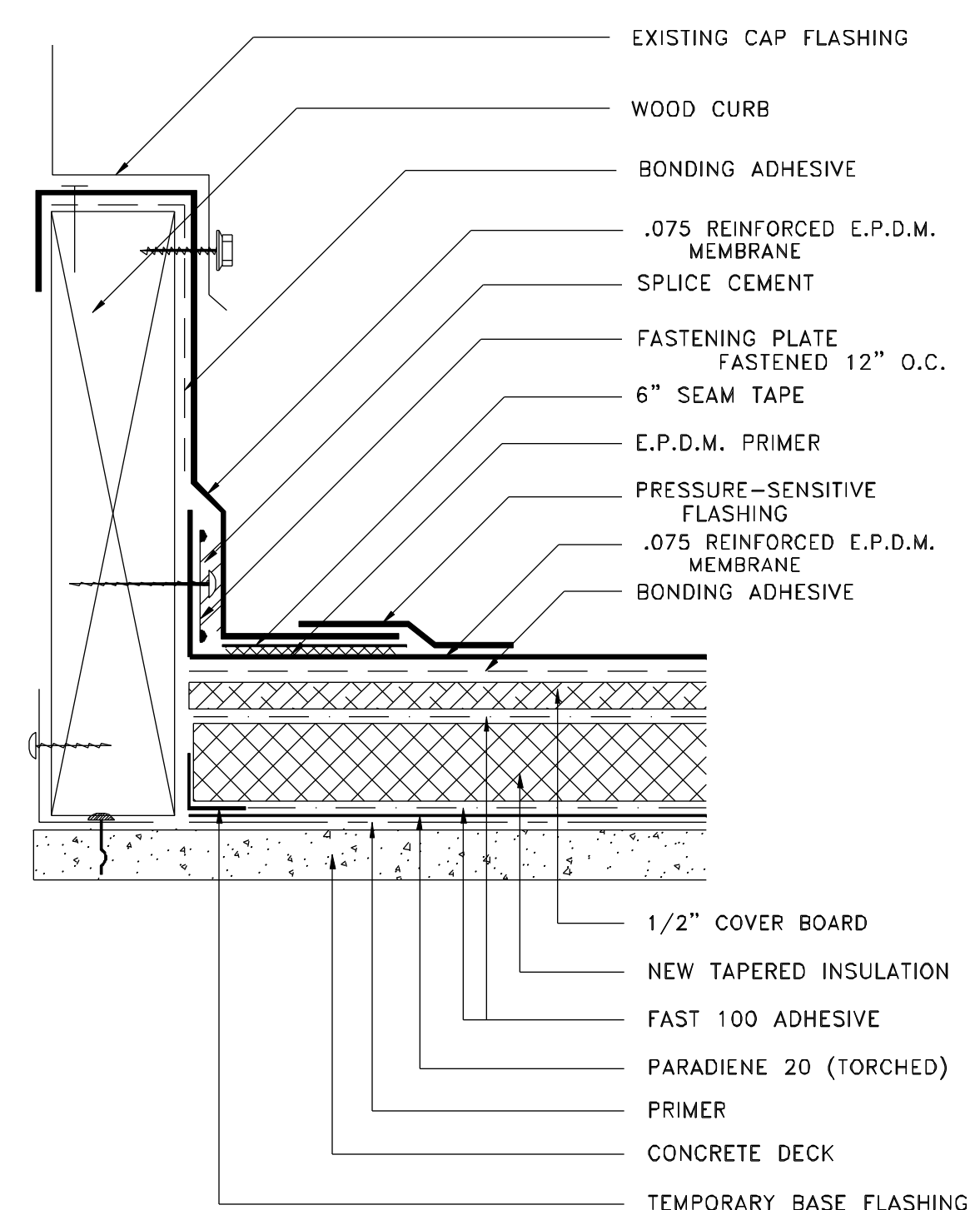
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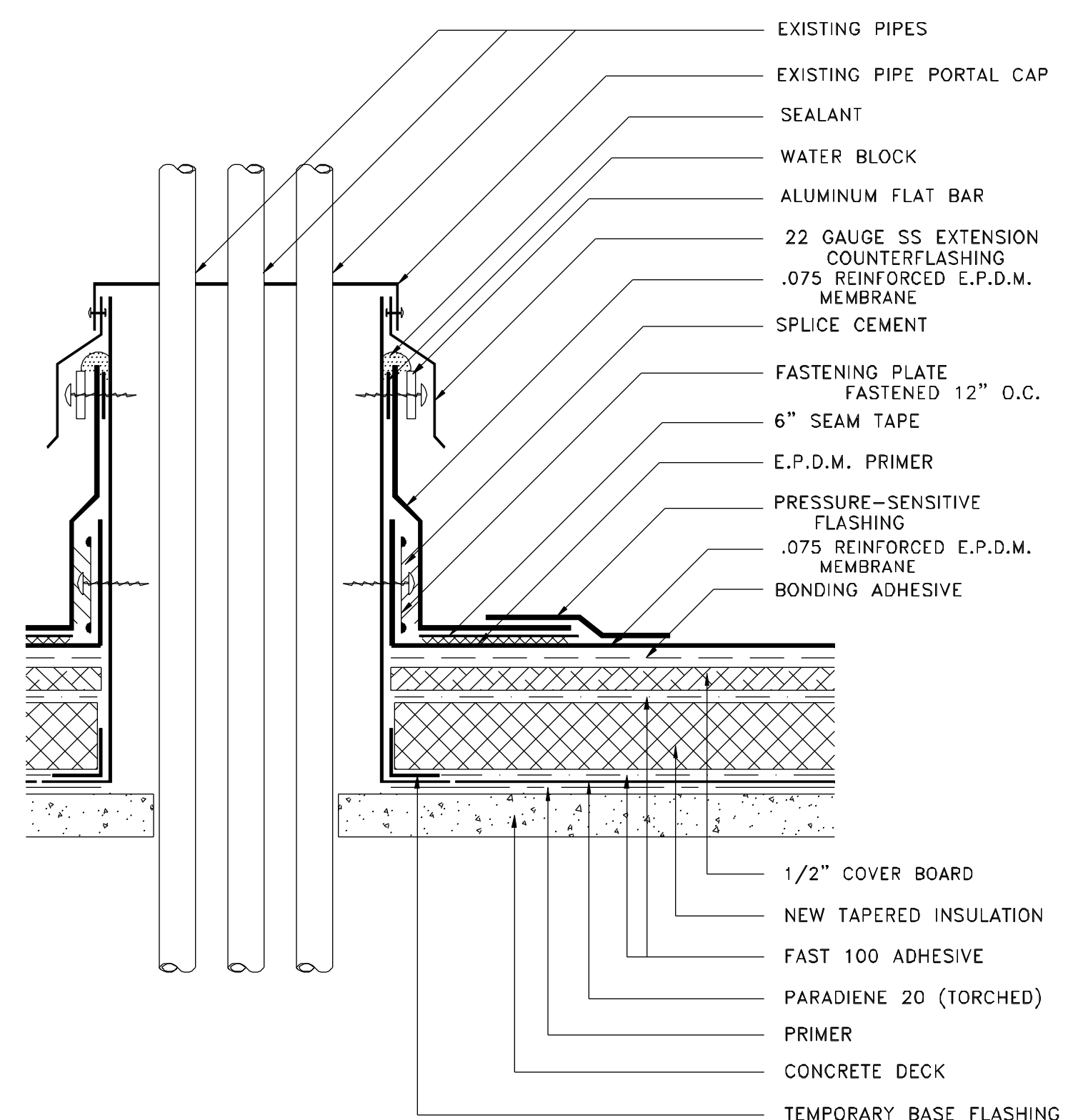
17 RISING WALL FLASHING  
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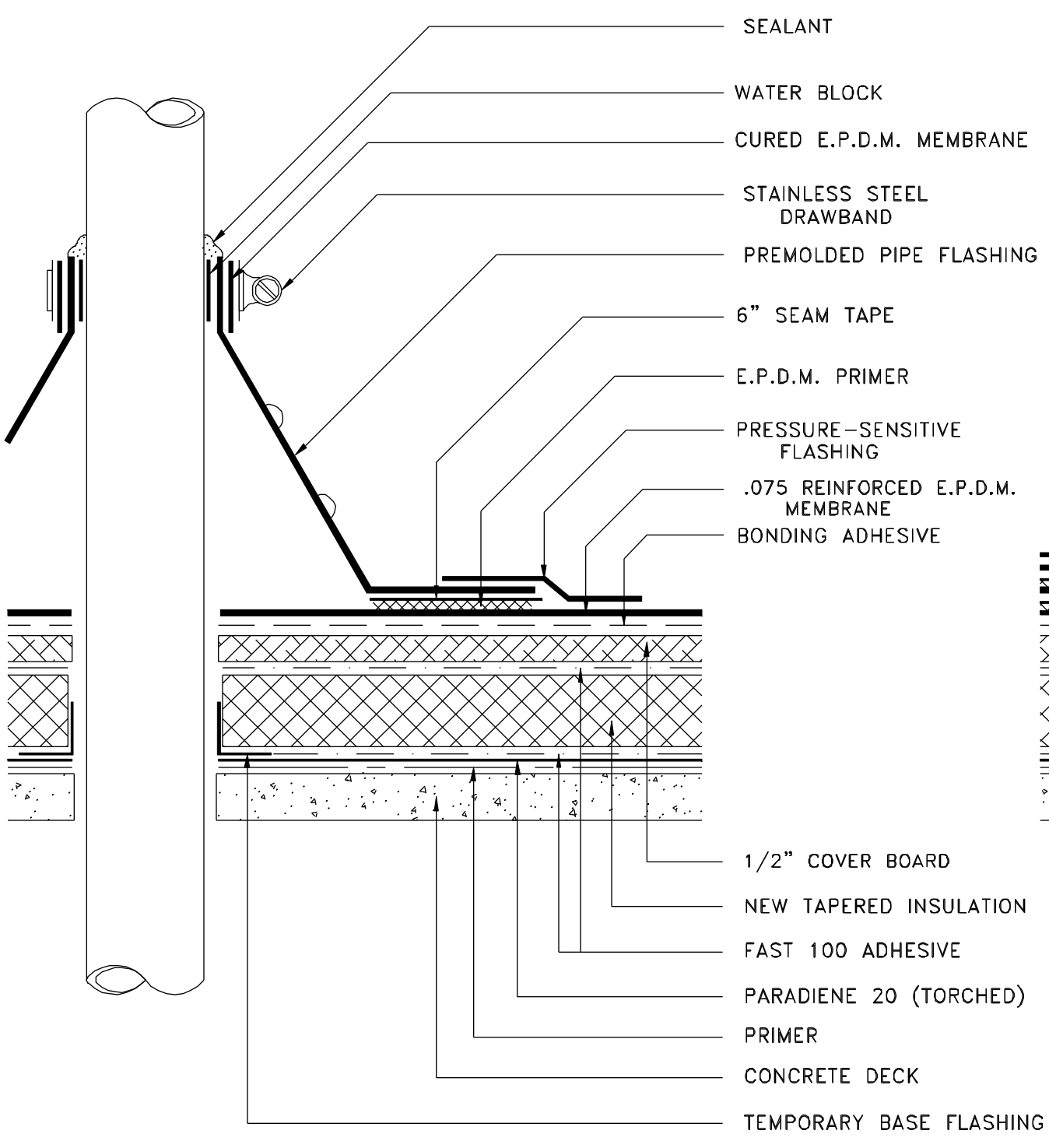
18 CURB FLASHING  
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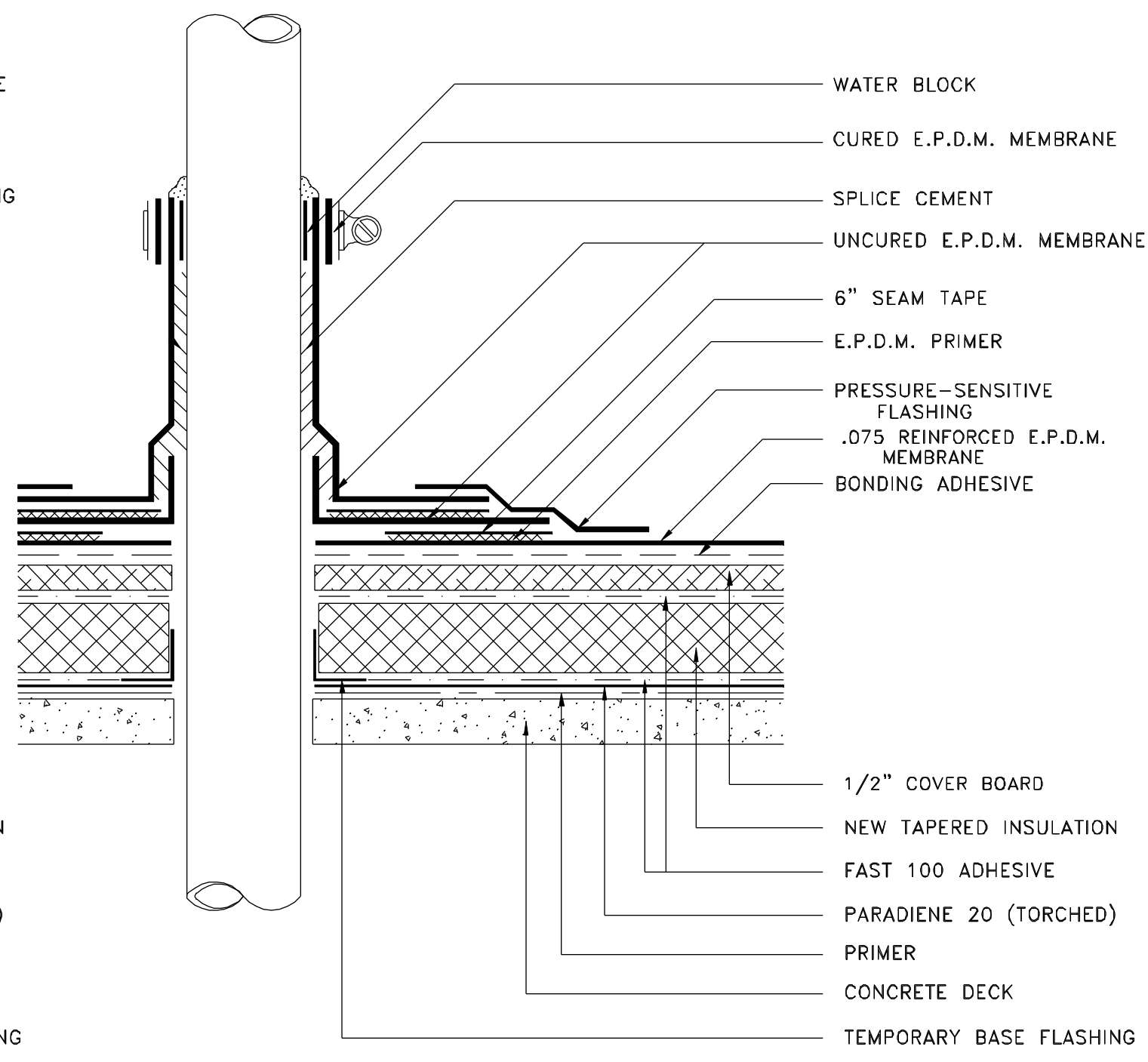
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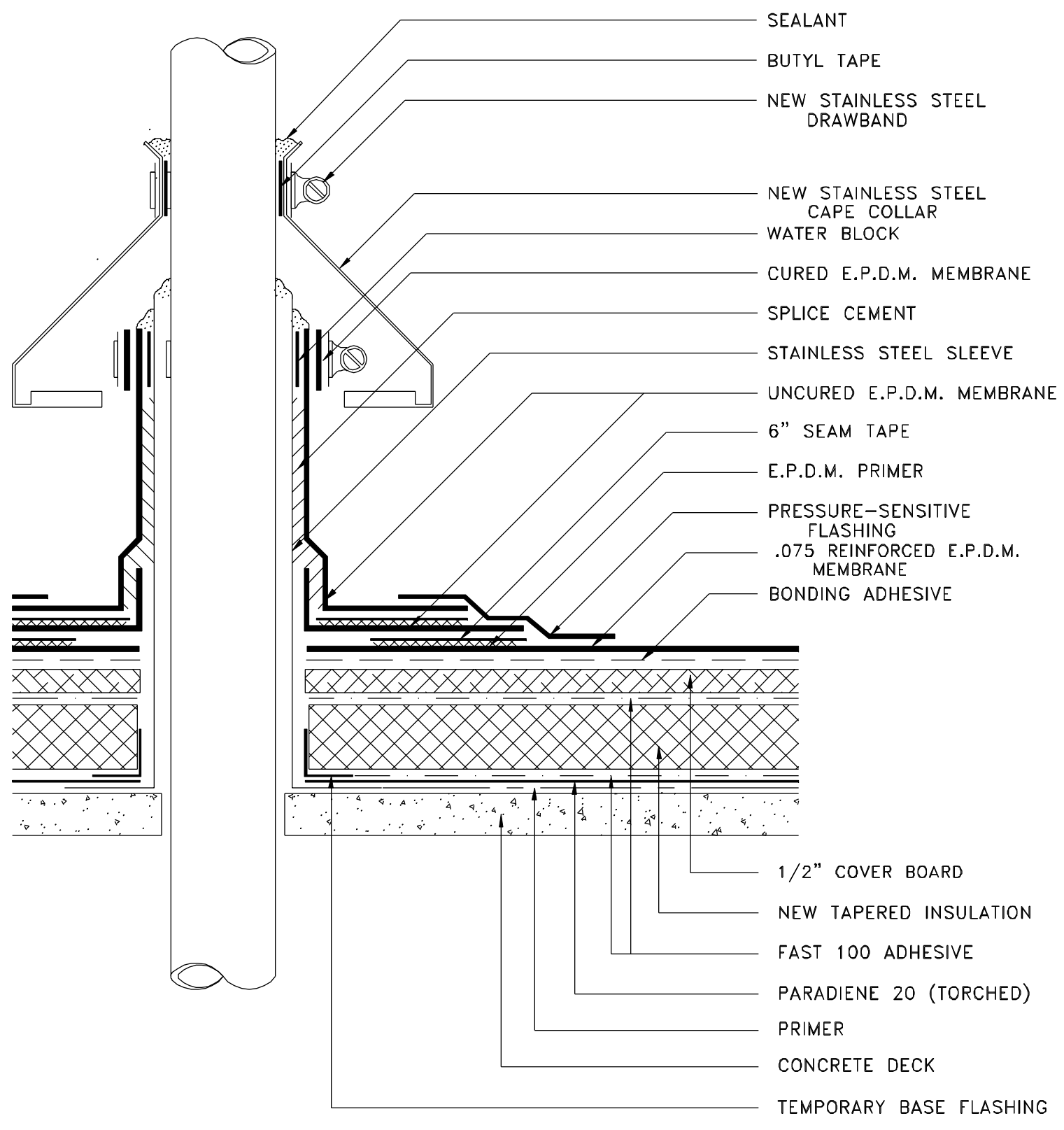
20 PIPE PORTAL FLASHING  
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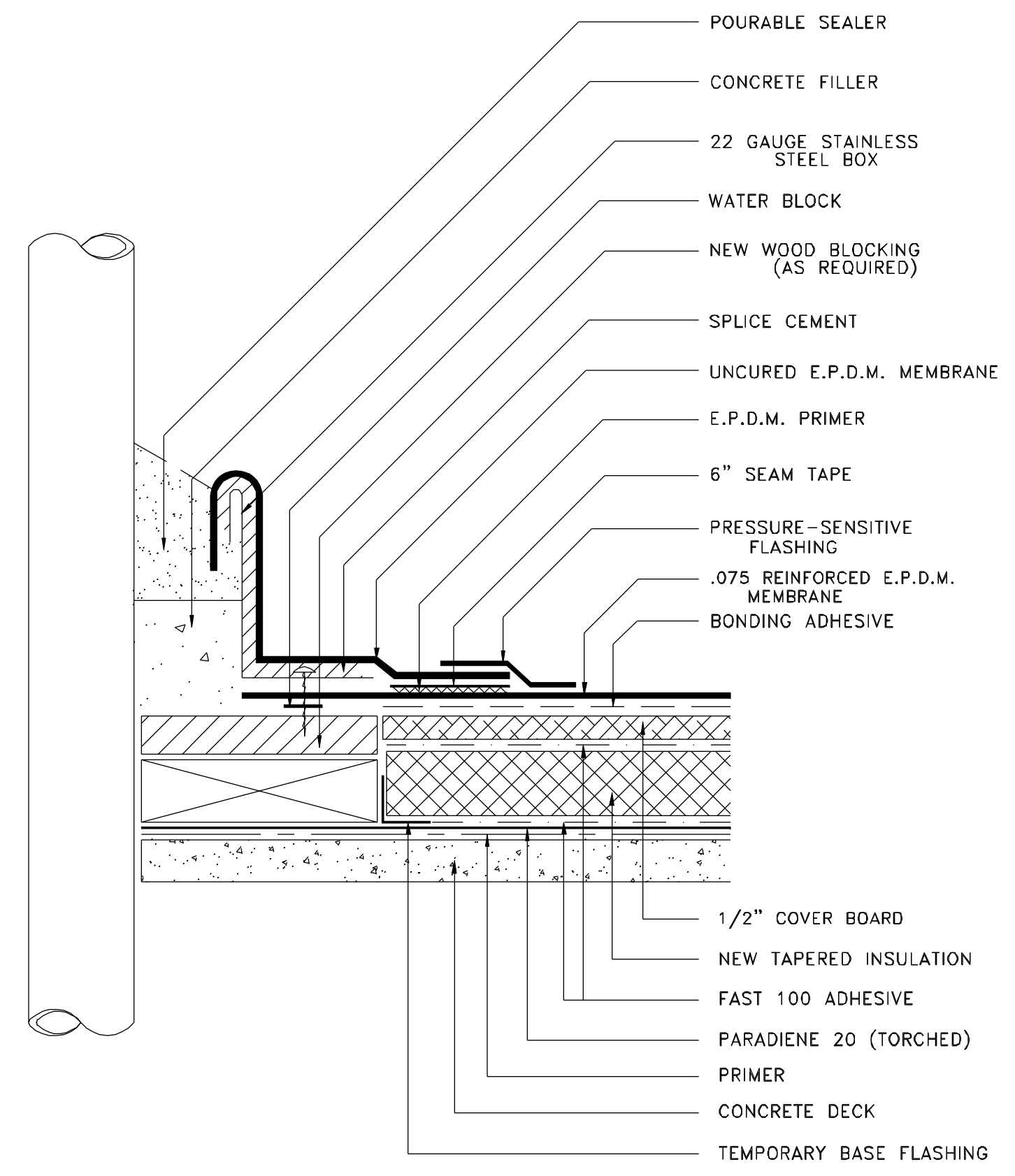
21 PREMOLDED PIPE FLASHING  
R-4



22 FIELD-FABRICATED PIPE FLASHING  
R-4



23 CAPE COLLAR FLASHING  
R-4



24 PITCH POCKET FLASHING  
R-4

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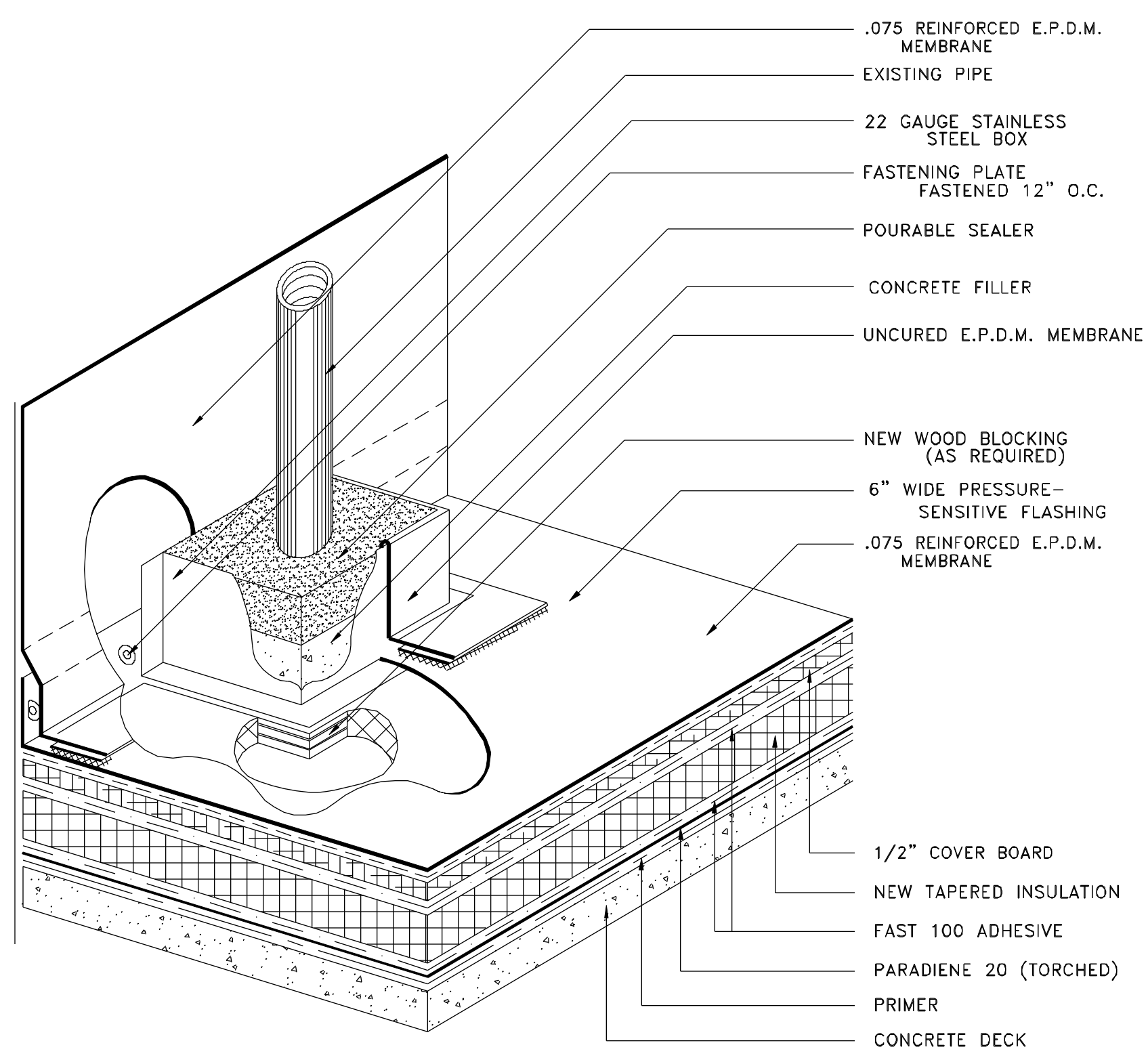
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Lewiston, ME 04501  
Phone: (617) 825-3447

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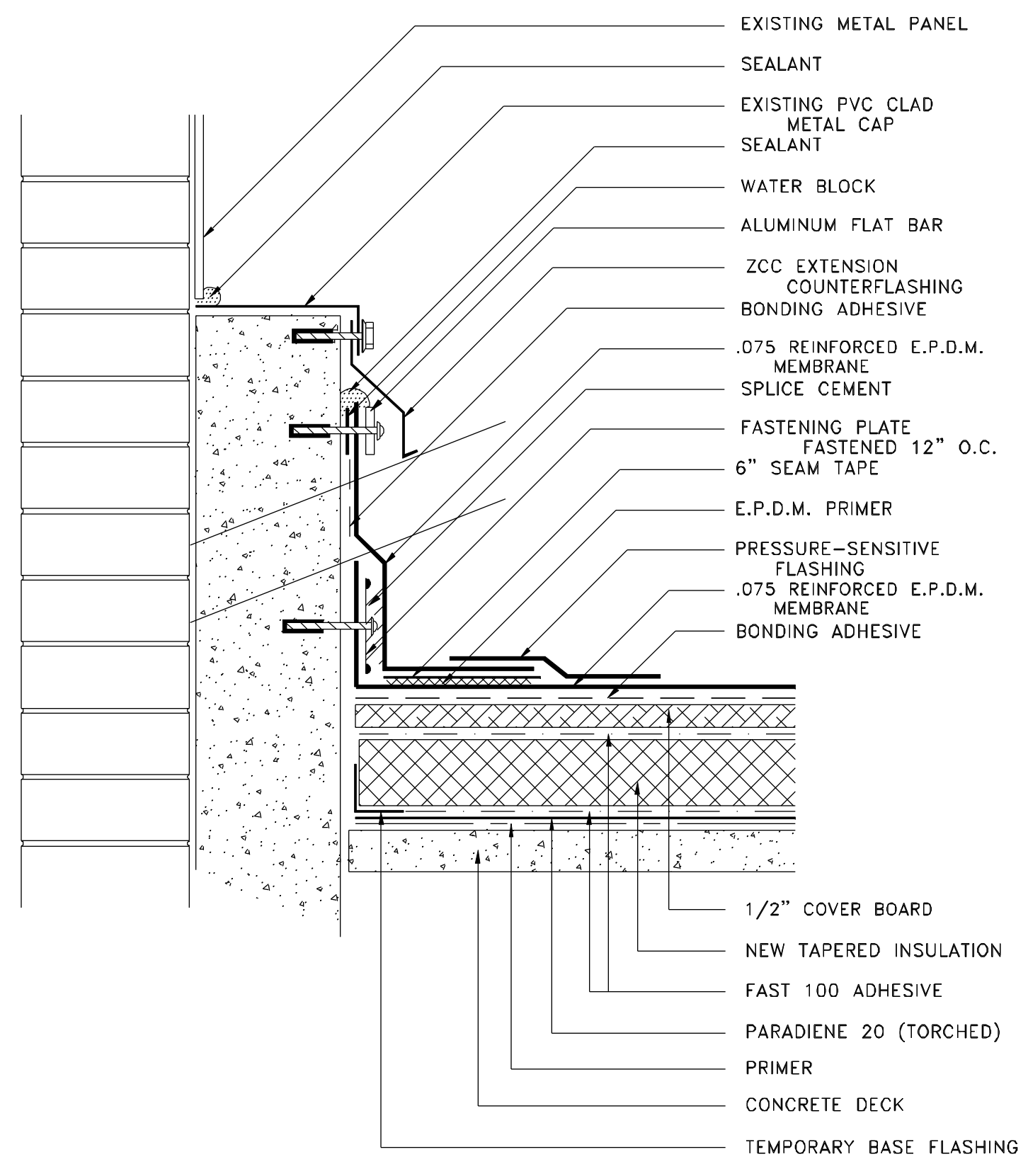
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Portland, Maine

Roof Replacement

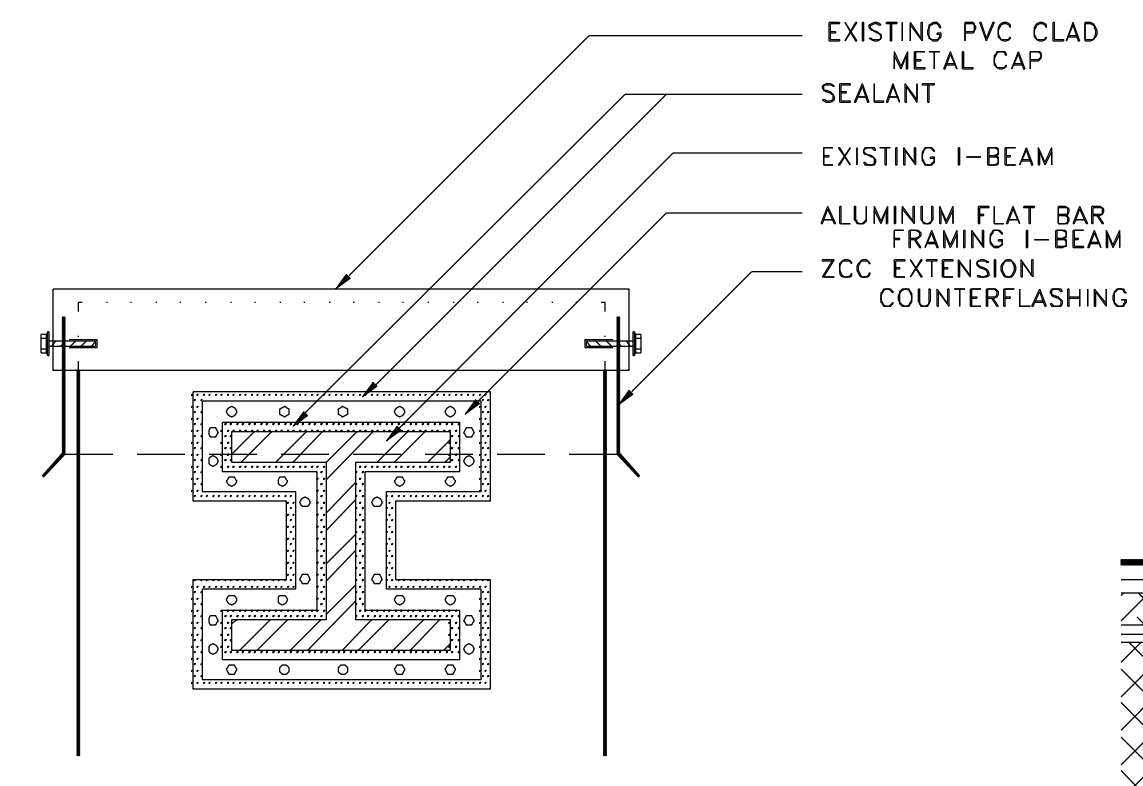
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Approved By: W. Thomas
Details
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R-4
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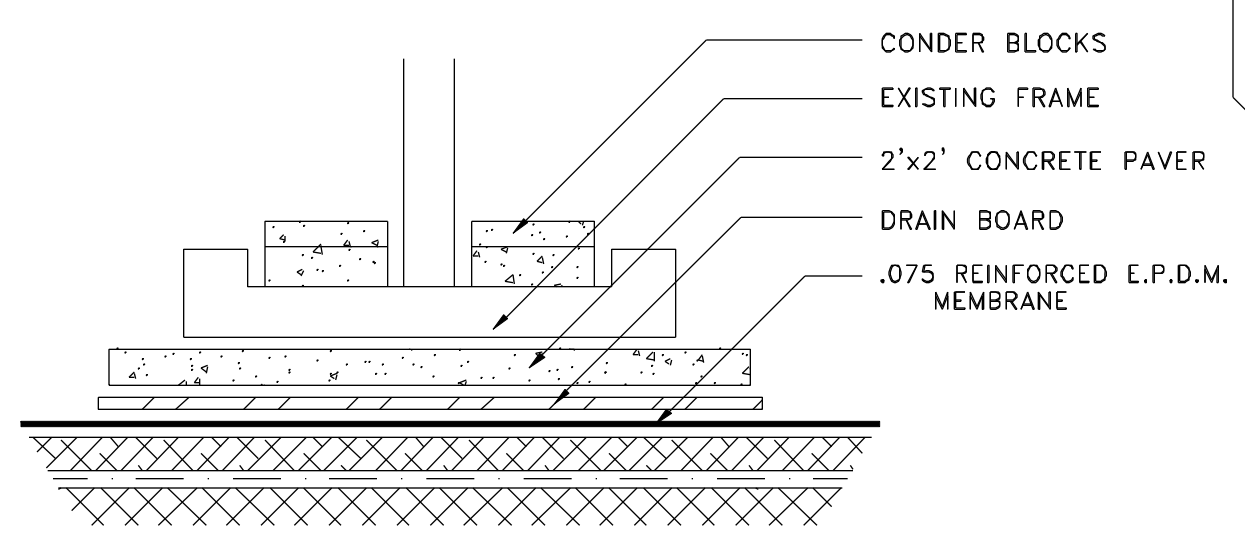
25 PITCH POCKET FLASHING  
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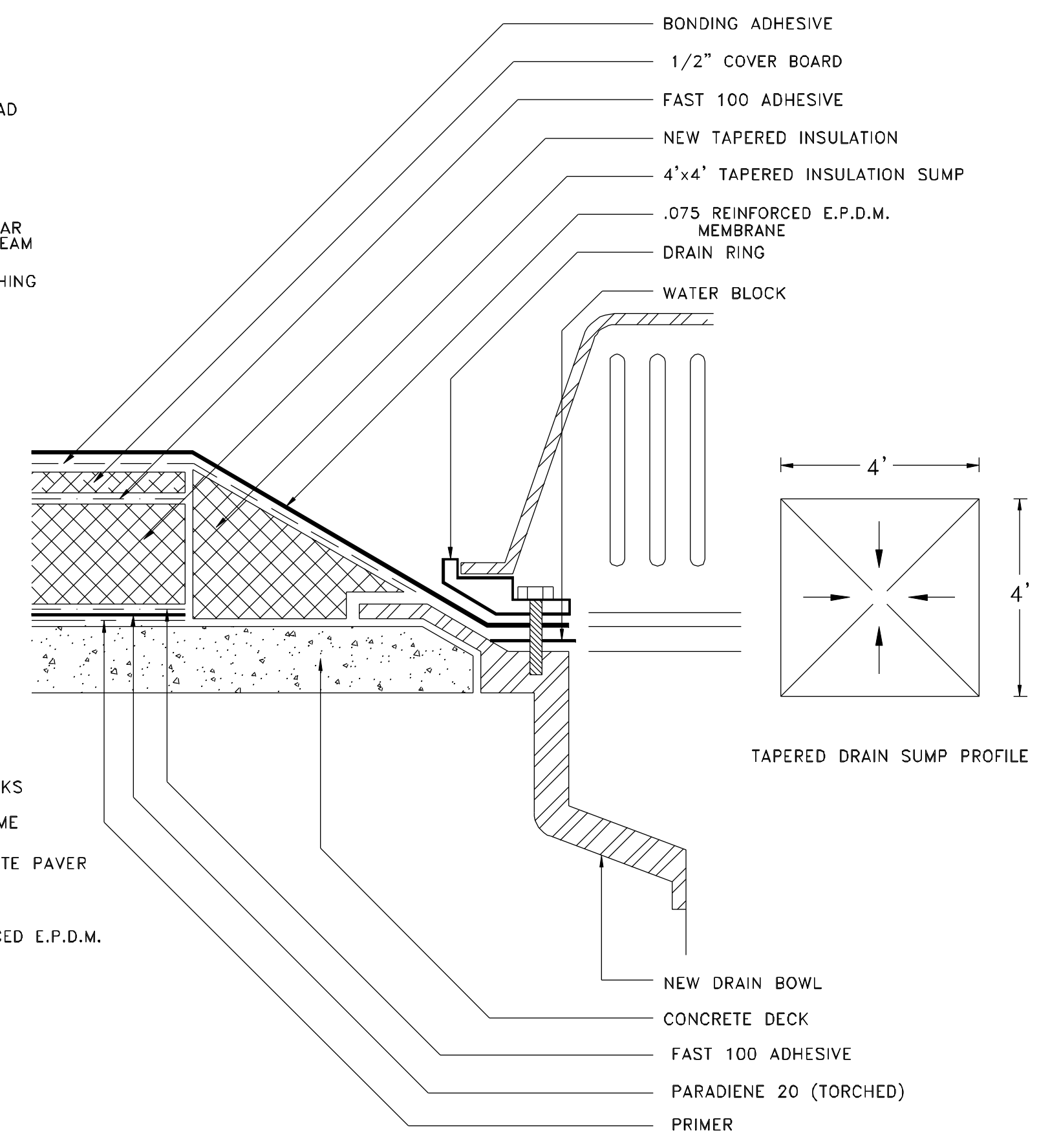
26 COLUMN FLASHING W/ I-BEAM  
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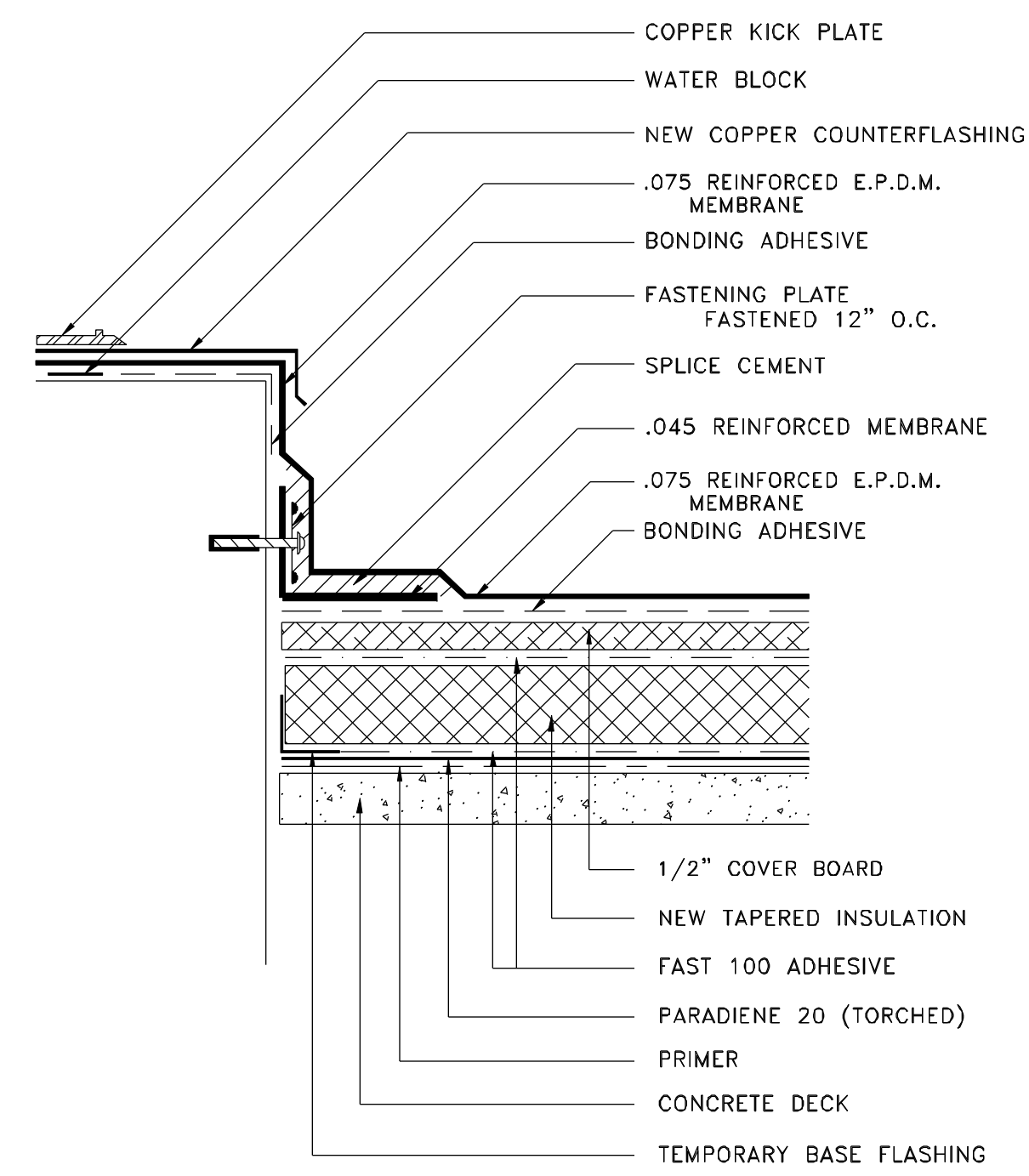
26A FLAT BAR PROFILE  
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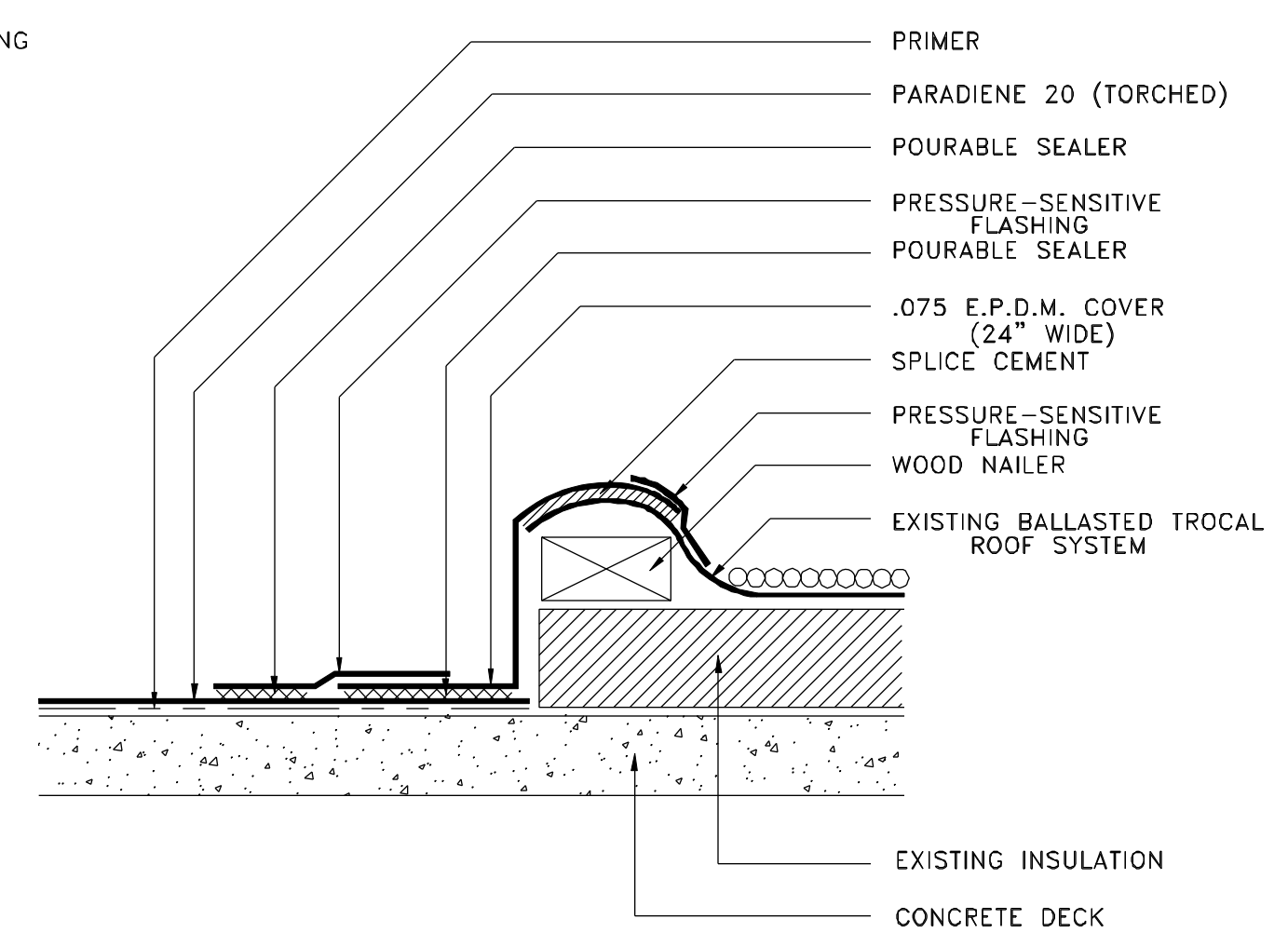
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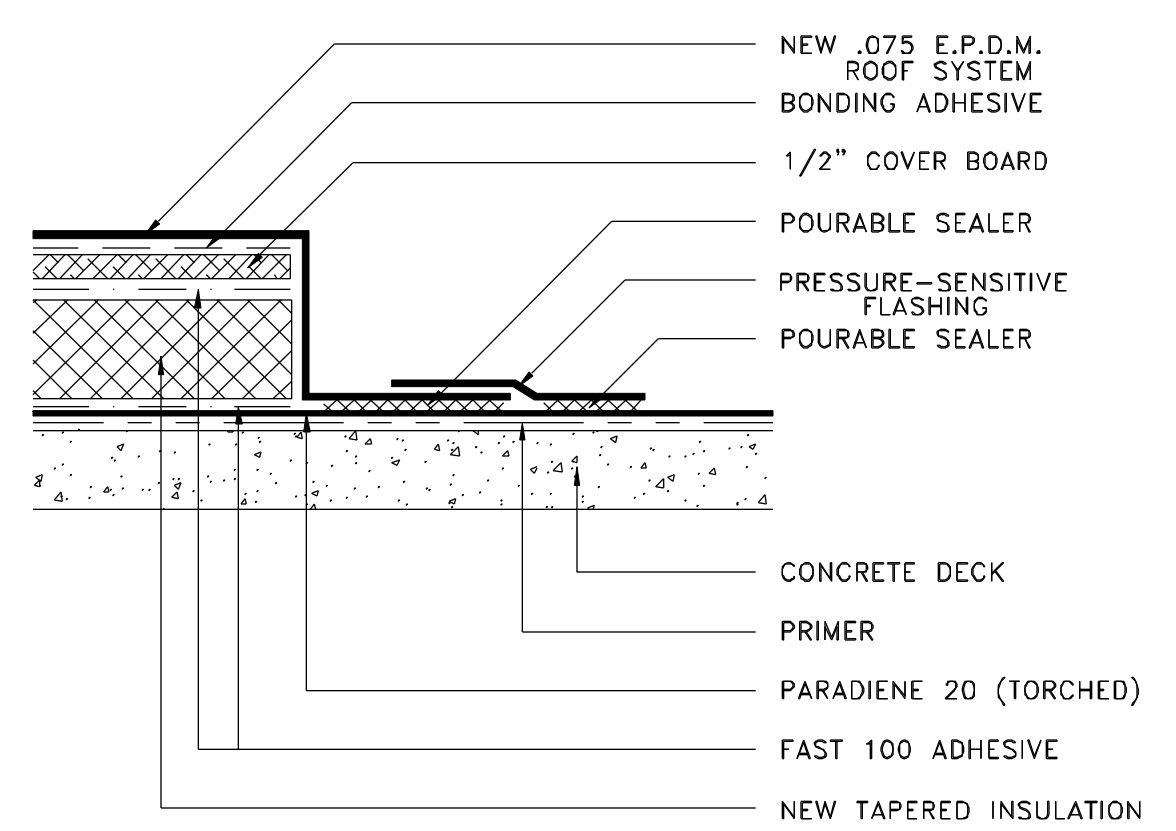
28 NEW CLAMPING RING DRAIN ASSEMBLY W/ BALLAST RETAINER  
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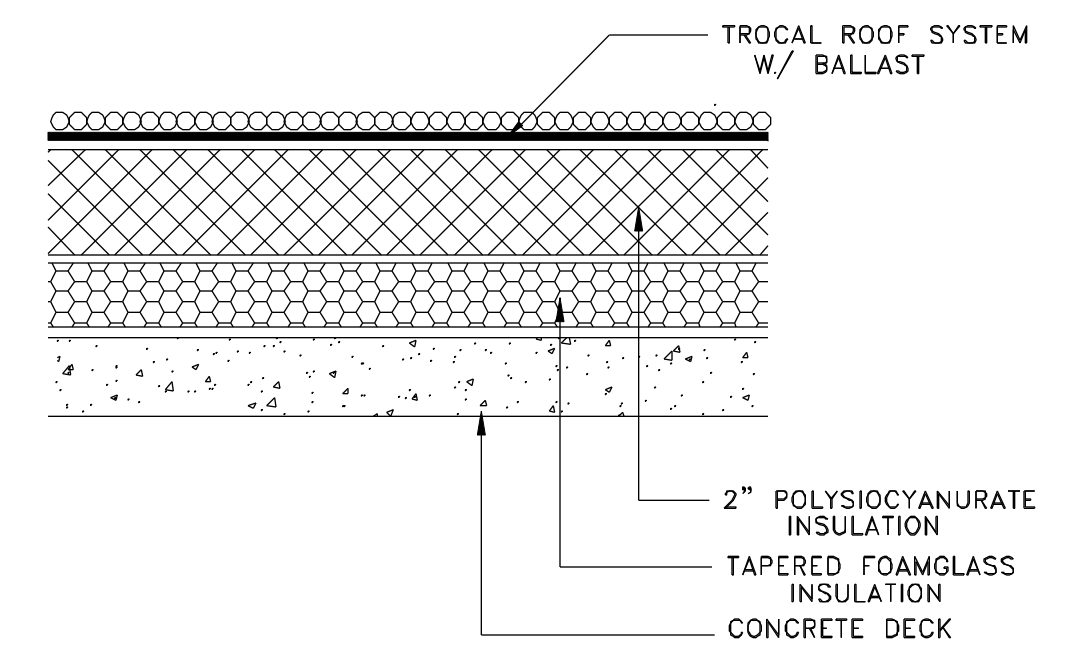
29 THRESHOLD FLASHING  
R-5



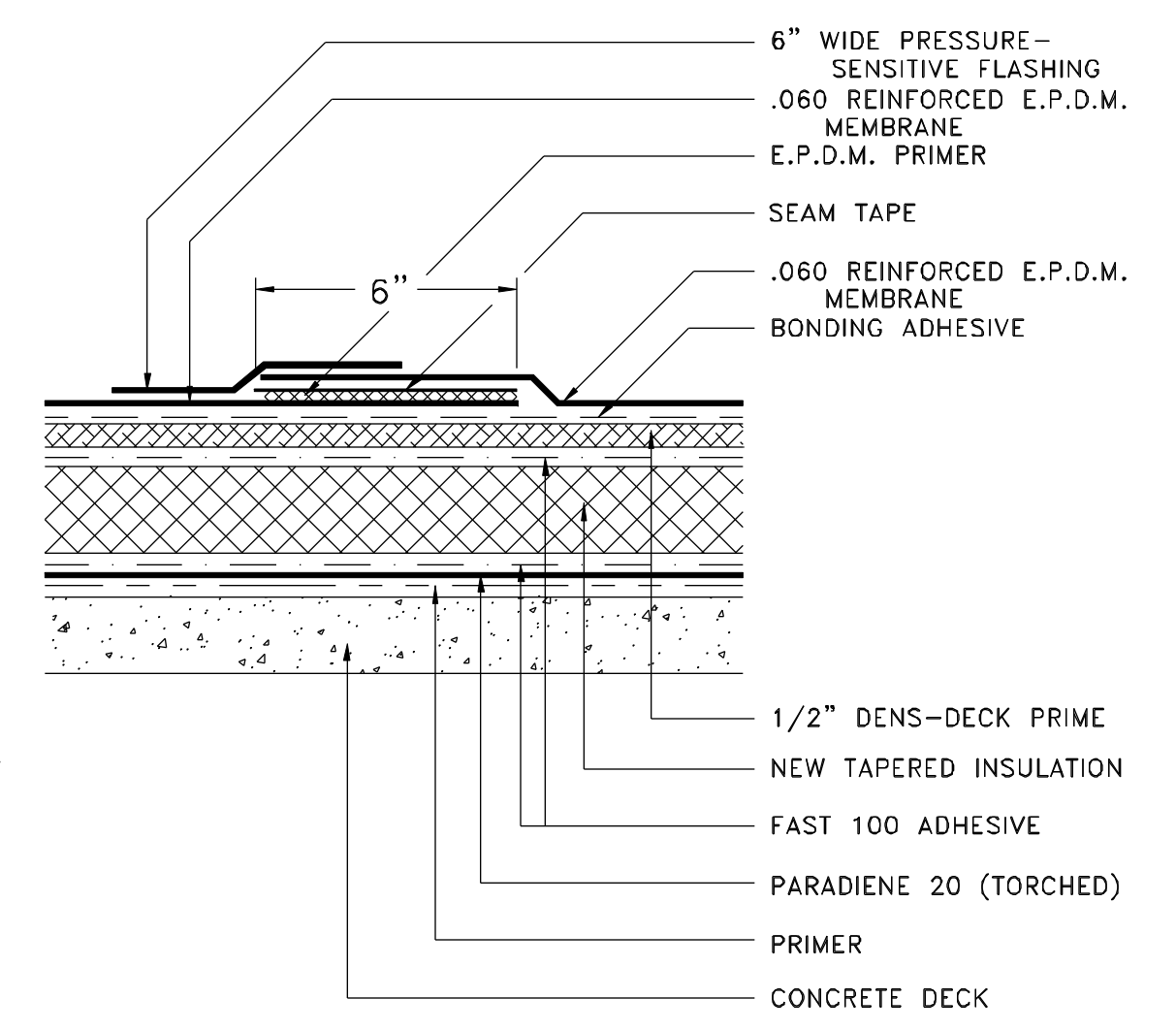
30 OVERNIGHT TIE-IN DETAIL TEMPORARY ROOF  
R-5



31 OVERNIGHT TIE-IN DETAIL  
R-5



32 EXISTING ROOF SYSTEM  
R-5



33 PROPOSED ROOF SYSTEM  
R-5

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Revisions:
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Drawn By: N. Smey
Approved By: W. Thomas
Details
Job No. 10192
R-5
Sheet 7 of 7



**GENERAL NOTES**

- GENERAL CONTRACTOR & SUBCONTRACTORS TO DETERMINE MOST EFFECTIVE USE OF STAGING FOR MASONRY CLEANING, REPOINTING, RECONSTRUCTION AND REPLACEMENT OF THE WINDOWS.
- ALL WINDOWS TO BE REPLACED FROM EXTERIOR OF BUILDING.
- IF FIXED SCAFFOLDING IS UTILIZED, ERECTION PLANS FOR SCAFFOLDING TO BE PREPARED AND STARTED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF MAINE.
- COORDINATE WITH FAIRPOINT AND CITY OFFICIALS IN PROVIDING TEMPORARY WALKWAYS AND LIGHTING AT BUILDING ENTRIES AND SIDEWALKS IF REQUIRED.
- DEMOLITION DEBRIS TO BE FULLY CONTAINED THROUGH ENCLOSED CHUTES & DUMPSTERS.
- DUMPSTERS WITHIN CITY REQUIRE INDIVIDUAL PERMITS.
- PROVIDE DUST CONTAINMENT & PROTECTION AT ALL WORK.
- WEEKLY COORDINATION MEETINGS WITH FAIRPOINT REPRESENTATIVES TO REVIEW PLANNED WORK.
- AND TO ADDRESS EMPLOYEE CONCERNS ARE REQUIRED.
- USE OF FAIRPOINT PARKING AREAS WILL BE LIMITED TO CONSTRUCTION EQUIPMENT STORAGE AND STAGING REQUIRED TO PERFORM THE WORK.
- PROTECT ADJACENT LANDSCAPING, VEHICLES, ETC FROM OVERSPRAY AND DEBRIS.
- NEW ROOFING IS TO BE PROTECTED WITH EPS SLIP SHEET AND FLUOYD TO 8" FROM WALL & BEYOND WORK AREA PRIOR TO ANY WORK ON WALLS OR PARAPETS ABOVE. ROOFING SEE ROOFING SHEET.
- Maintain security of building at all times.
- Notify building mechanic of work schedule and activities that may affect fire alarm system.

**PHASING & COORDINATION**

SEE ROOFING SHEET FOR TEMPORARY PROTECTION OF EXISTING ROOFS TO BE COMPLETED PRIOR TO ANY WORK IN EACH BUILDING.

MASONRY & CONCRETE REPAIR/RECONSTRUCTION ABOVE ROOFS TO BE COMPLETED PRIOR TO ROOFING EACH SECTION - SEE SCHEDULE FOR SECTIONS SCHEDULE.

PHASE 1 - SECTIONS 1134 & 116  
PHASE 2 - SECTIONS 56183801/2  
ALL WORK TO BE COMPLETED BY JUNE 30, 2011

**MASONRY REPOINTING NOTES**

REMOVE ALL ABANDONED EQUIPMENT, PLATES, CLIPS, ANTENNAS, CONDUITS, PIPES. SEE ALSO SPECIFIC NOTES FOR IDENTIFIED REMOVALS.

PRIOR TO REPOINTING & SEALING CAREFULLY INSPECT ALL STONE, CONCRETE AND MASONRY UNITS, REBUILD AND FILL FORM HOLES, CRACKS, SEAMS, AND ERODED AREAS.

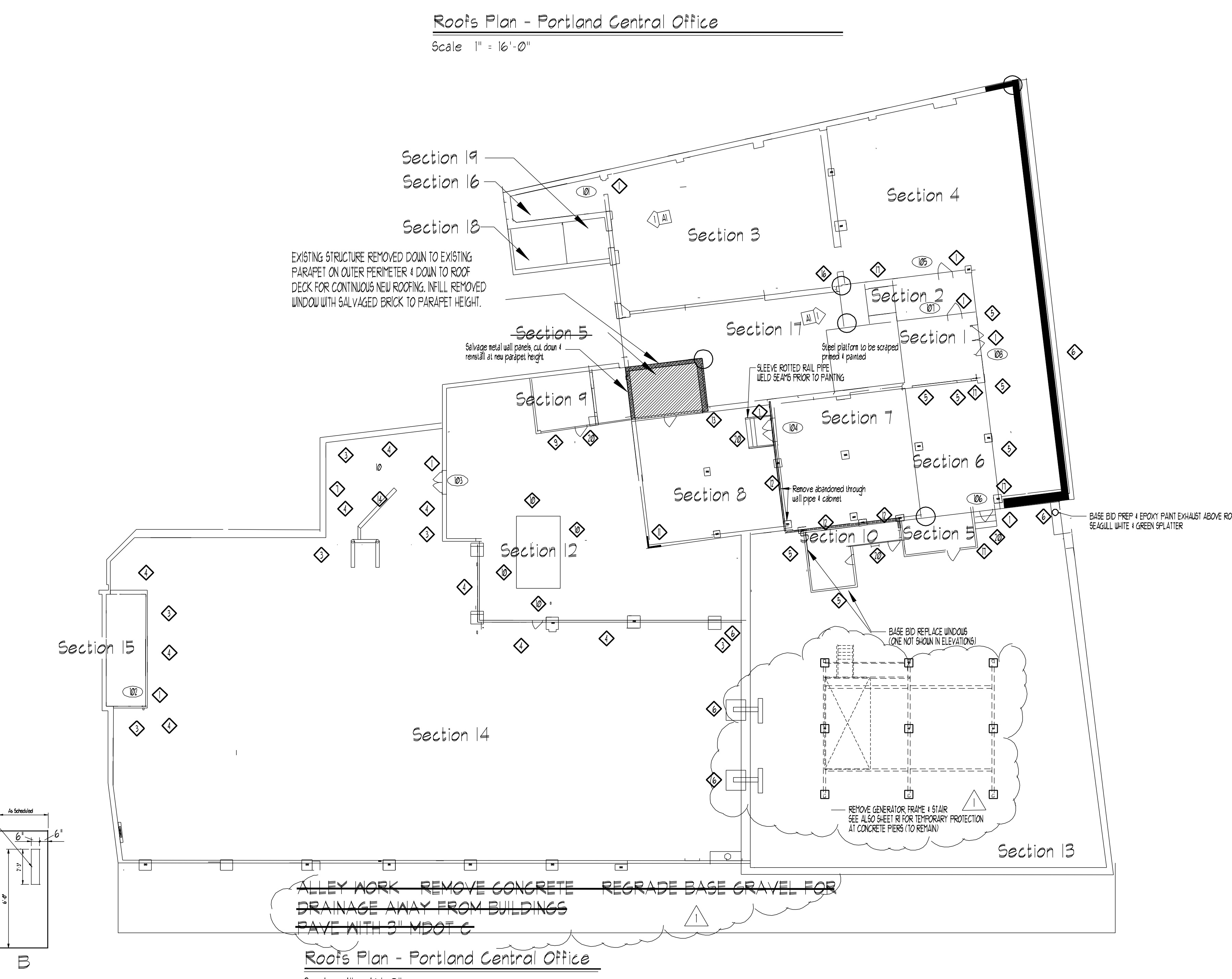
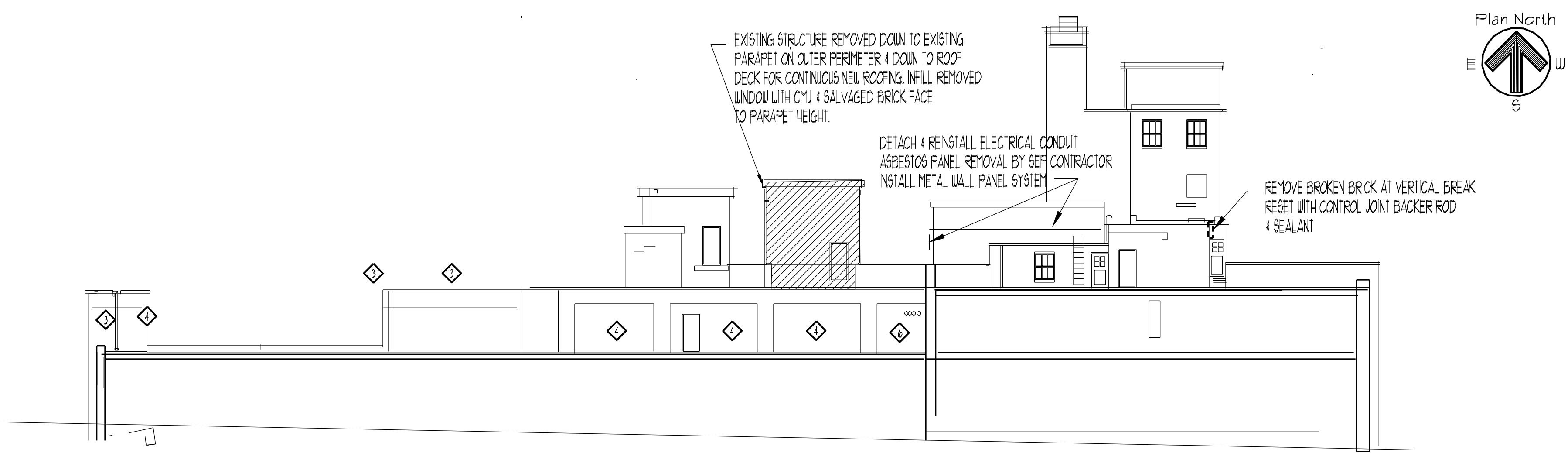
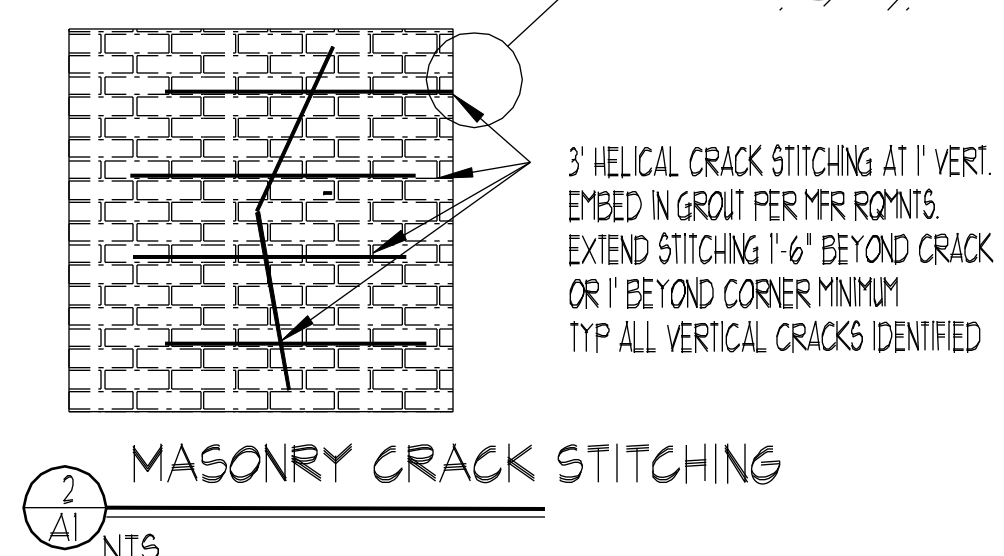
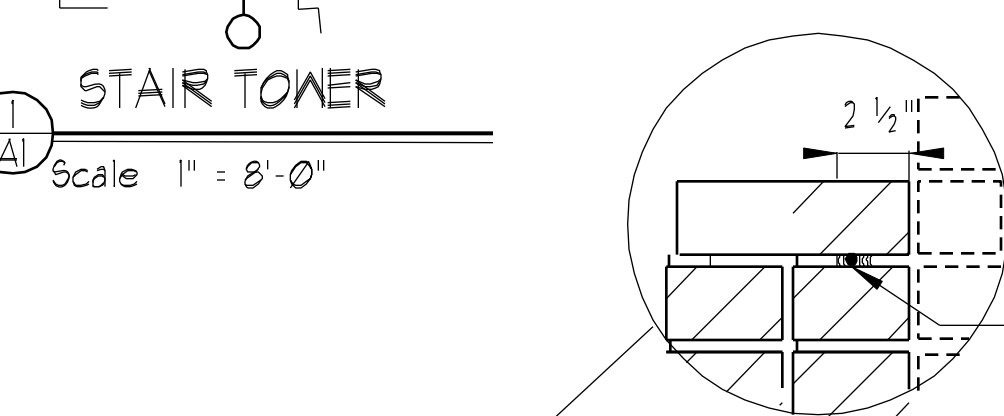
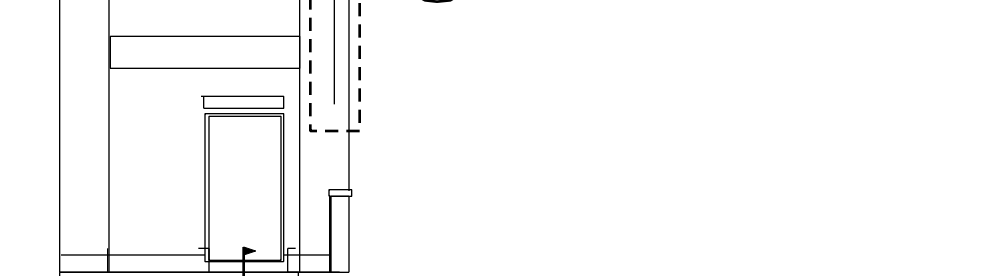
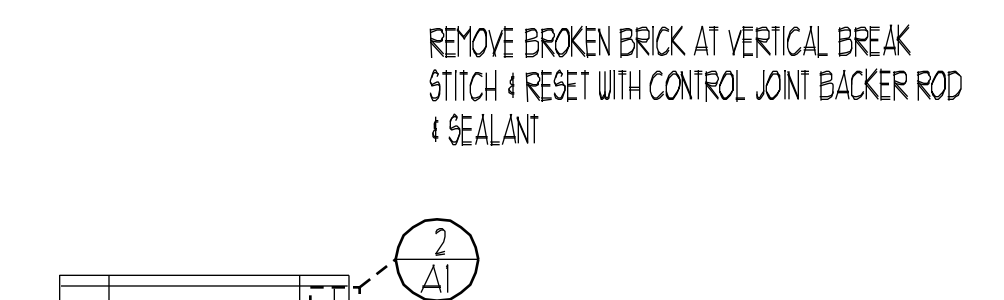
INDIVIDUALLY SEAL ALL EXPOSED REBAR IN CONCRETE WALLS AND SOFFITS ABOVE SECTIONS 116. INDIVIDUALLY SEAL PERIMETER OF EXTERIOR WALL, HORIZONTAL LIGHTS ABOVE SECTIONS 116. REPLACE DOORS & FRAMES SHOWN TO BE REPLACED. SALVAGE & REINSTALL SIGNAGE ON EXISTING DOORS.

EQUIPMENT WINDOW & DOOR FRAMES WITH LEAD BASED PAINT SHALL BE REPAIRED BY SEPARATE CONTRACTOR PRIOR TO REPOINTING.

INSPECT AND CLEAN ALL MASONRY JOINTS. REMOVE ALL FILLERS, SEALANTS AND FOREIGN MATTER. POWER CLEAN HOLD & GRIND FROM CONCRETE AND MASONRY ABOVE SECTIONS 116. PRIOR TO SEALING, REMOVE BACKER ROD AND SEALANTS FROM ALL MASONRY CONTROL JOINTS ON BUILDING EXTERIOR. INSTALL NEW BACKER ROD AND SEALANTS.

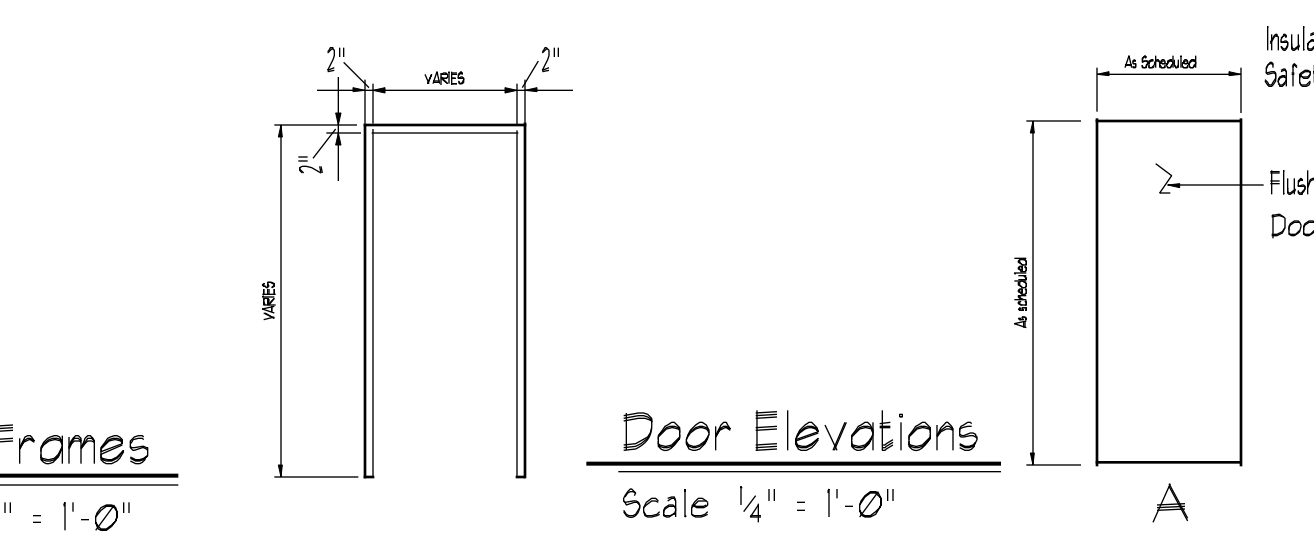
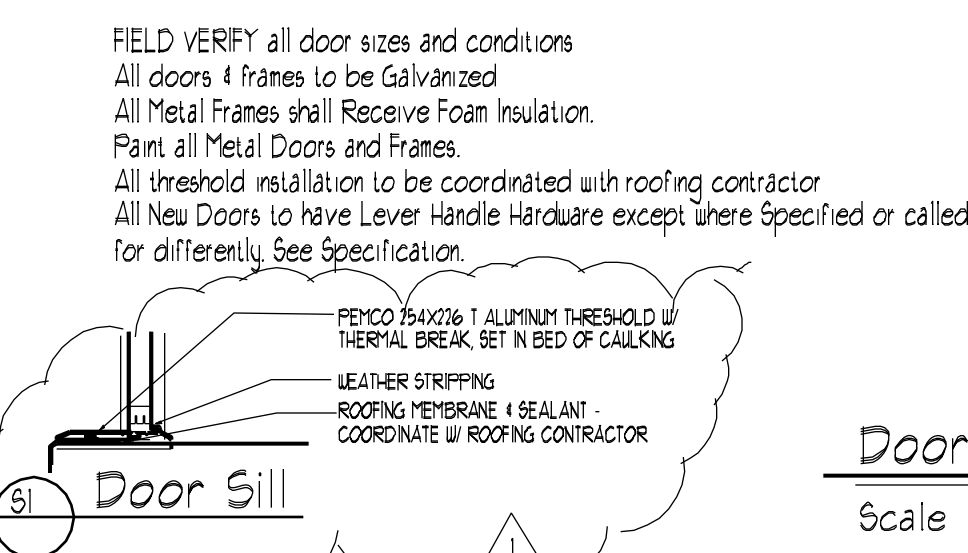
SEAL ALL MASONRY & CONCRETE WITH WATERPROOFING SEALANT.

- SCOPE OF WORK** (IDENTIFIES AREA OF WORK, SEE THE PLAN, ELEVATIONS AND NOTES BELOW FOR WORK LOCATIONS AND DESCRIPTIONS)
- Remove & Replace door frame & hardware. Co-ordinate sill replacement w/ roofing contractor.
  - Remove nail from exposed Re-bar. Epoxy Seal.
  - Prep & fill exposed aggregate with parge coat.
  - Prep cracks & Seams - Parge & Seal.
  - Caulk & Seal window frame - coordinate with Abatement contractor.
  - Seal exposed Metal junctions w/ NPP-1 sealant.
  - Remove existing discontinued electrical Patch & repair.
  - Remove Fuel Piping - Cap in interior closet. Seal wall openings.
  - Remove loose & broken brick at Lintel. Scrape & Paint Lintel. Reset Brick. Fill joint w/ Backer rod and sealant.
  - Grind cracks in CMU. Prep, coat, CMU w/ flexible sheet waterproofing.
  - Remove broken & disturbed brick. Reset corner prior to roofing membrane encasement.
  - Install 24 ga exposed Insulated Metal siding. Coordinate with Abatement contractor removals.
  - Remove steel w/ to 2" into face of brick. Install new brick.
  - Install 50LPI 10" x 4" ID Pipe - Add AHJ's....
  - Fill concrete w/ Backer Rod & Caulking.
  - Remove Broken Brick @ corner. Develop uniform Control Joint. Fill w/ Backer rod & Sealant.
  - Remove brackets, clips or other abandoned hardware. Fill & Seal holes.
  - Fill & Seal holes at discontinued mounting holes.
  - Remove & Reinstall 10" LPI deformed parapet. Replace Parapet - see diti for I/AI. Salvage all original face brick for reuse.
  - PREP, SEAL & PAINT METAL RAILS, LANDINGS, & STEPS.



**Door Schedule ROOF** 6'-0"x1'-0"

No.	Room Name	Doors		Type	Mat'l	Frames					Weather-stripping	Remarks
		Size	Thk.			Elev.	Head	Jamb	Sill	Mat'l		
101	Mech Room	3'-0"x1'-0"	1 1/4"	A	GHM	I	HI	J1	S1	GHM	"Yes"	
102	STAIR			A								
103	Mech Room	6'-0"x1'-0"		B								
104	Mech Room											USE EXISTING STRUCTURAL FRAME. REPLACE SILL COORD W/ ROOFING CONTRACTOR.
105	Hall	3'-0"x1'-0"		B		I	HI	J1		GHM		
106	Hall			B								
107	Mechanical Room	3'-6"x5'-6"		A								
108	Mechanical Room	5'-0"x1'-0"		B					S2			



ALLEY WORK - REMOVE CONCRETE - REGRADE BASE GRAVEL FOR DRAINAGE AWAY FROM BUILDINGS. PAVE WITH 3" MDOT'S.

Roofs Plan - Portland Central Office  
Scale 1" = 16'-0"

Arch. Proj. No. 1010  
Date: Sept. 14, 2010  
Drawn By: JMM  
Checked By: JMM

REVISIONS

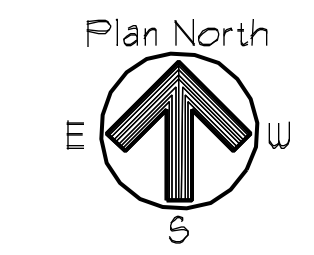
Bunker & Savage Architects  
555 Western Ave.  
Augusta, Maine 04330  
Tel. (207) 629-4700  
E-Mail Address: bsarch@bunkerandsavage.com

**BSA**

**FairPoint communications**

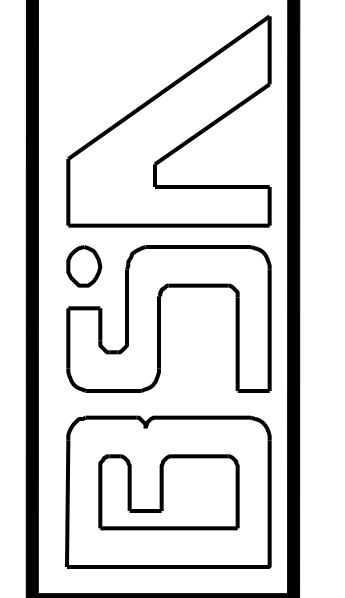
Fair Point - Construction Services  
PORTLAND CENTRAL OFFICE  
Masonry Restoration/Roofing & Window Replacement  
45 Forest Avenue, Portland, Maine

Drawing No. **A1**



REVISIONS	DATE	BY	CHECKED BY

**Bunker & Savage Architects**  
 555 Western Ave.  
 Augusta, Maine 04330  
 Tel: (207) 623-4708  
 E-Mail Address: bsarch@bunkerandsavage.com  
 Fax: (207) 623-3552



**FairPoint communications**

Fair Point - Construction Services  
 PORTLAND CENTRAL OFFICE  
 Masonry Restoration, Roofing & Window Replacement  
 45 Forest Avenue, Portland, Maine  
 Proposed Elevations

Drawing No.

**A3**

LIMIT OF FACADE CLEANING & SEALING

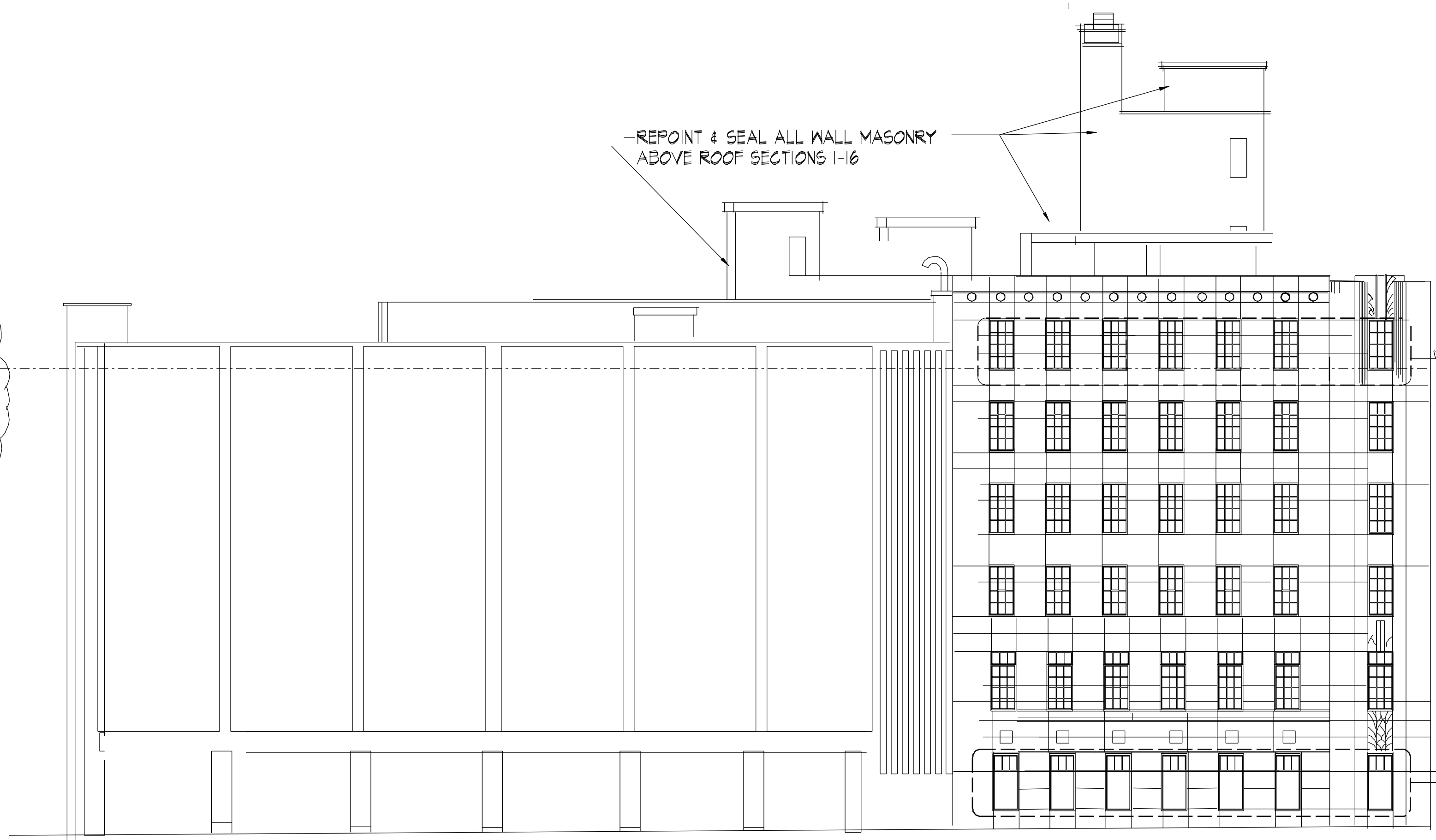


FACADE CLEANING & SEALING THIS BUILDING FACE

LIMIT OF FACADE CLEANING & SEALING

Roots Plan - Portland Central Office  
 Scale 1" = 16'-0"

-REPOINT & SEAL ALL WALL MASONRY ABOVE ROOF SECTIONS 1-16



DEDUCT ALTERNATE - REPLACE ONLY 1 WINDOW THIS FLOOR ELEVATION

BASE BID - REPLACE ALL WINDOWS THIS ELEVATION

BASE BID - RESTORE FRAMES  
 REGLAZE WITH SPANDREL GLASS

REMOVE BROKEN BRICK AT VERTICAL BREAK  
 STITCH & RESET WITH CONTROL JOINT BACKER  
 ROD SEALANT

BASE BID - REPLACE ALL WINDOWS THIS ELEVATION EXCEPT THOSE INDICATED TO REMAIN

DEDUCT ALTERNATE - REPLACE ONLY 1 WINDOW THIS FLOOR ELEVATION

BASE BID - REMOVE & REPLACE WINDOWS THIS ELEVATION

BASE BID - RESTORE FRAMES  
 REGLAZE WITH SPANDREL GLASS

REPOINT ALL WALL MASONRY ABOVE ROOF SECTIONS 1-16

Remove existing discontinued electrical Patch & repair

2  
AI

REMOVE BROKEN BRICK AT VERTICAL BREAK  
 STITCH & RESET WITH CONTROL JOINT BACKER  
 ROD SEALANT

2  
AI

SPANDREL GLASS THIS ROW

DEDUCT ALTERNATE - REPLACE ONLY 25 WINDOWS THIS FLOOR ELEVATION

SPANDREL GLASS THIS ROW

SPANDREL GLASS THIS ROW

EXISTING DOORS & WINDOW TO REMAIN

BASE BID - REPLACE ALL WINDOWS THIS ELEVATION  
 SPOT REPOINT CLEAN & SEAL ALL MASONRY THIS ELEVATION

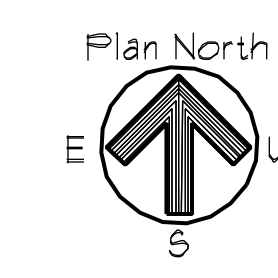
BASE BID - REPLACE ALL WINDOWS THIS ELEVATION  
 SPOT REPOINT CLEAN & SEAL ALL MASONRY THIS ELEVATION

ELEVATION  
 Scale 1" = 16'-0"

NO WINDOW REPLACEMENT THIS ELEVATION

ELEVATION  
 Scale 1" = 16'-0"

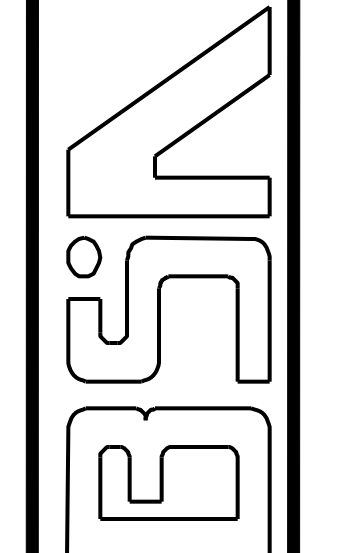
ELEVATION  
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Arch Proj. No.	1500
Date Revis. 1	2010
Drawn By	J.M.
Checked By	J.M.

REVISIONS

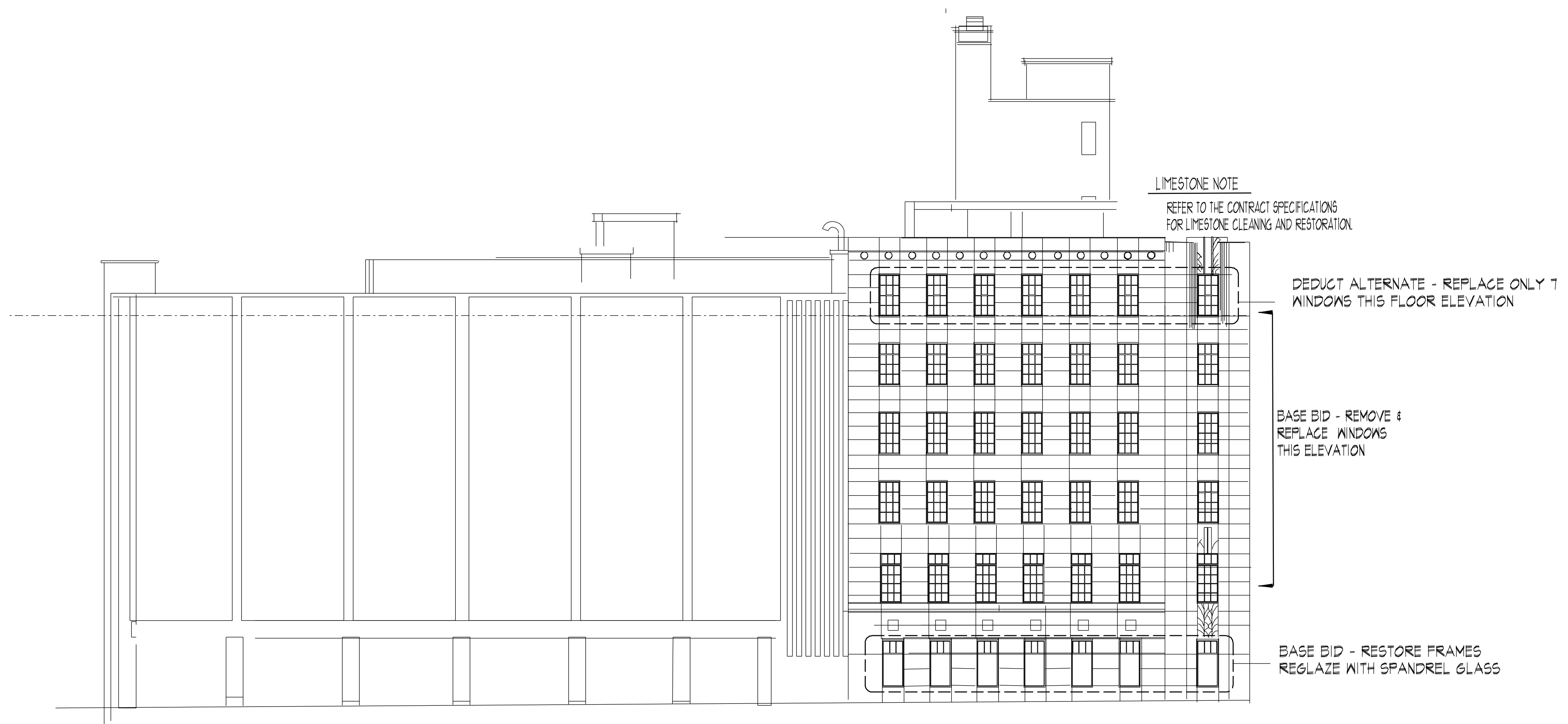
1	Architects	Bunker & Savage
2	Architects	555 Western Ave.
3	Architects	Augusta, Maine 04330
4	Architects	Telephone (207) 623-4100
5	Architects	Facsimile (207) 623-4552
6	Architects	E-Mail Address: info@bunkerandsavage.com



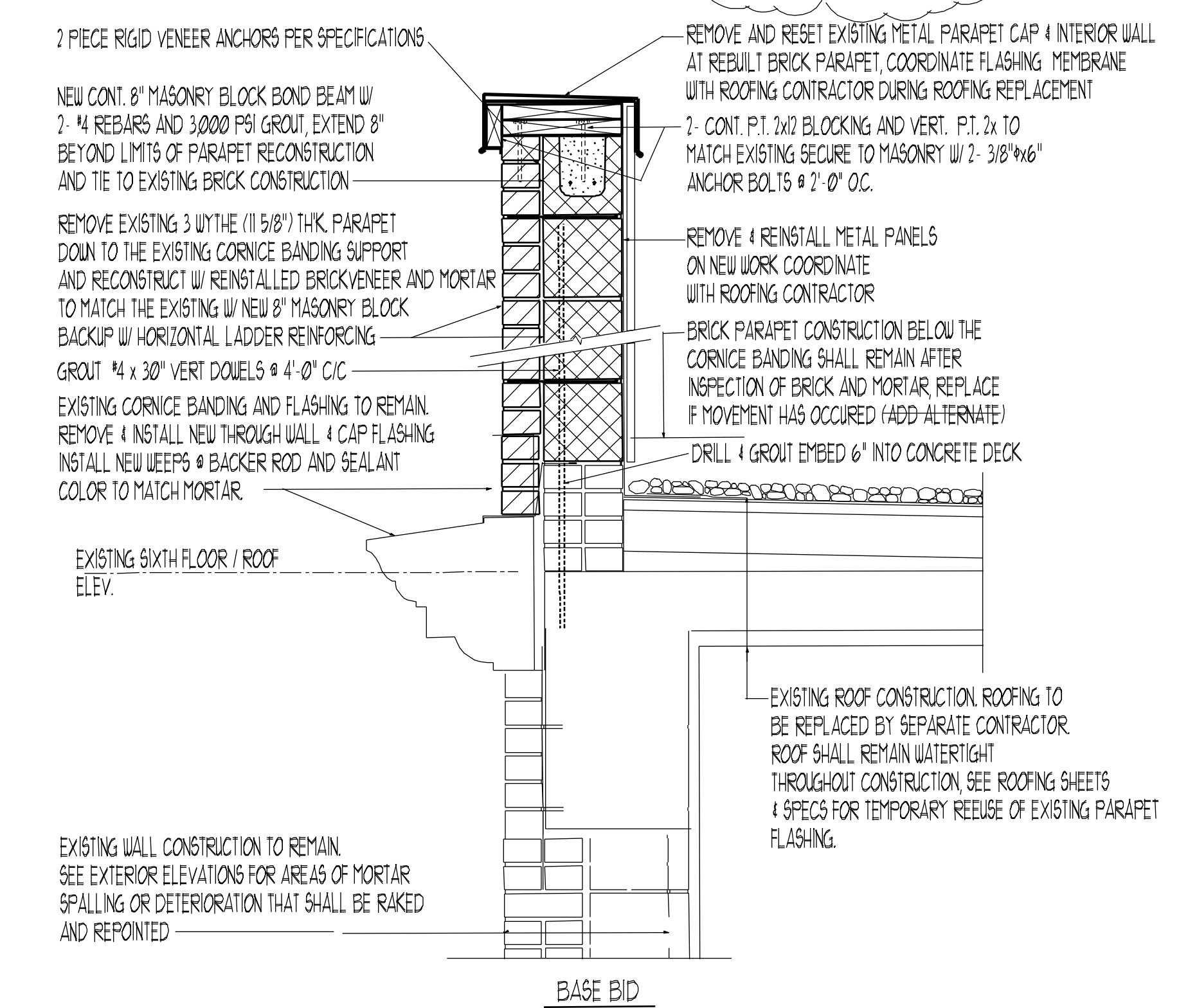
**FairPoint**  
communications

Fair Point - Construction Services  
PORTLAND CENTRAL OFFICE  
Masonry, Restoration, Roofing & Window Replacement  
45 Forest Avenue, Portland, Maine  
Existing Elevations

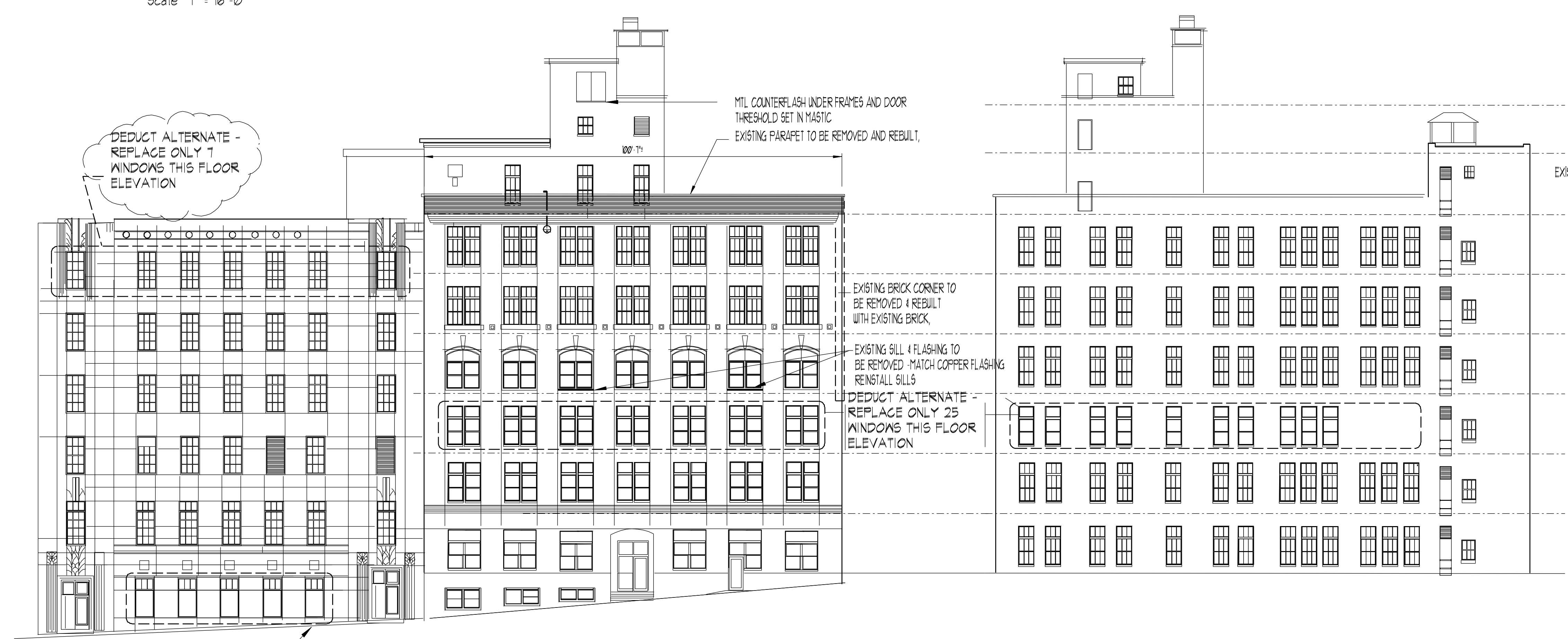
Drawing No.  
**A2**



**SOUTH ELEVATION - Portland Central Office**  
Scale 1" = 16'-0"



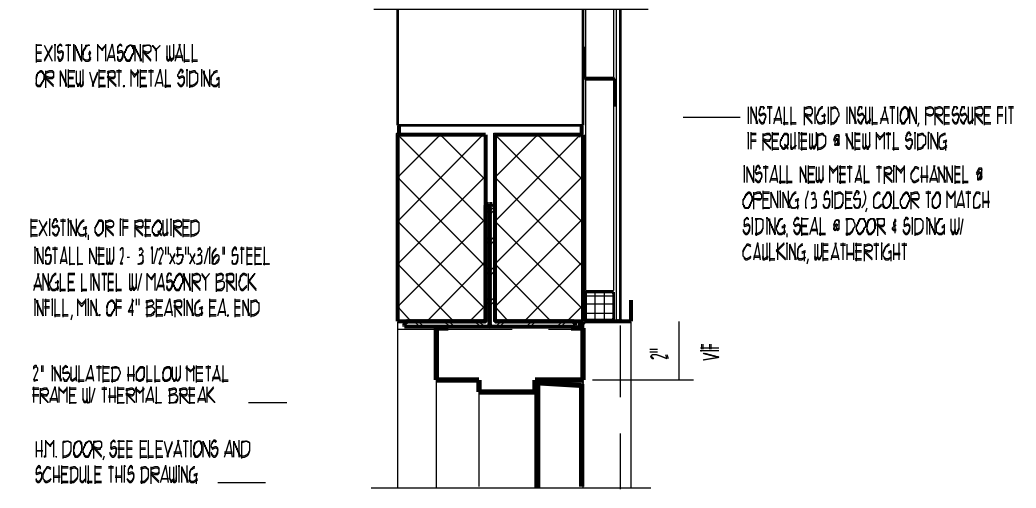
**SECTION @ UPPER PARAPET**  
Scale 1" = 1'-0"



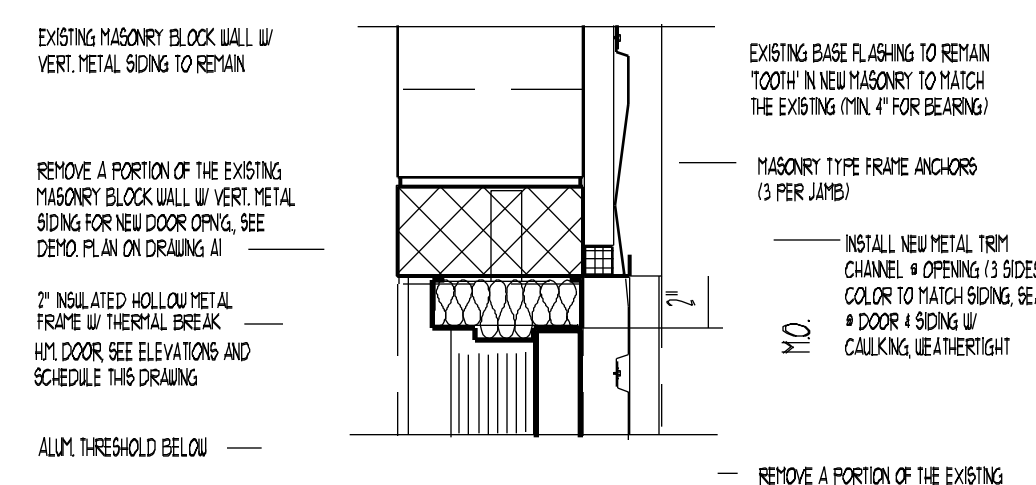
**SOUTH ELEVATION - Portland Central Office**  
Scale 1" = 16'-0"

**EAST ELEVATION - Portland Central Office**  
Scale 1" = 16'-0"

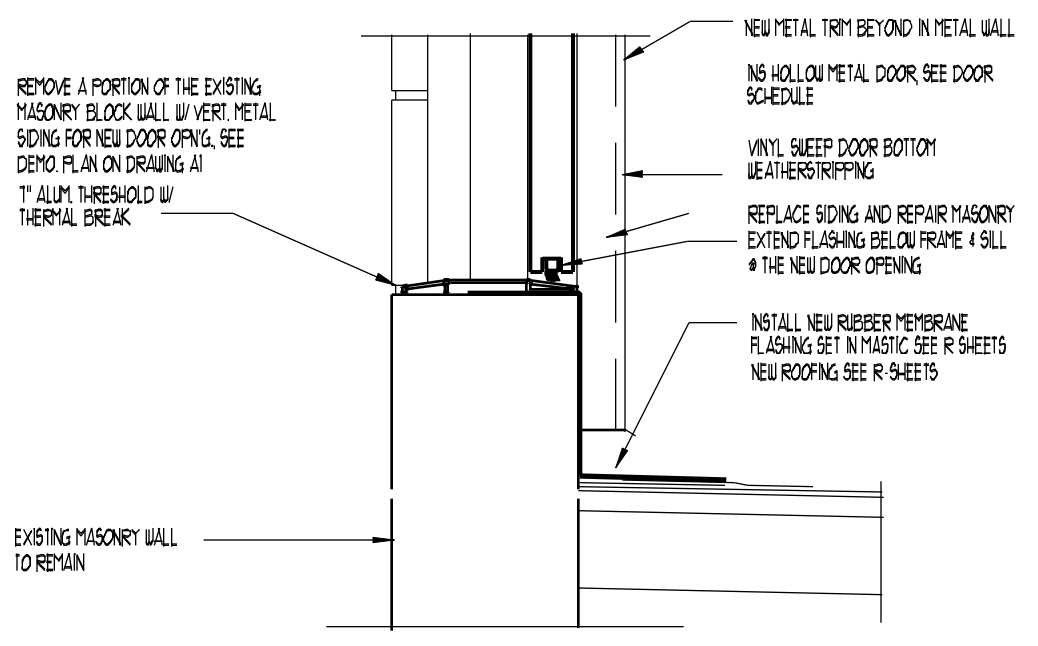
**Wall Section**  
Scale 3/4" = 1'-0"



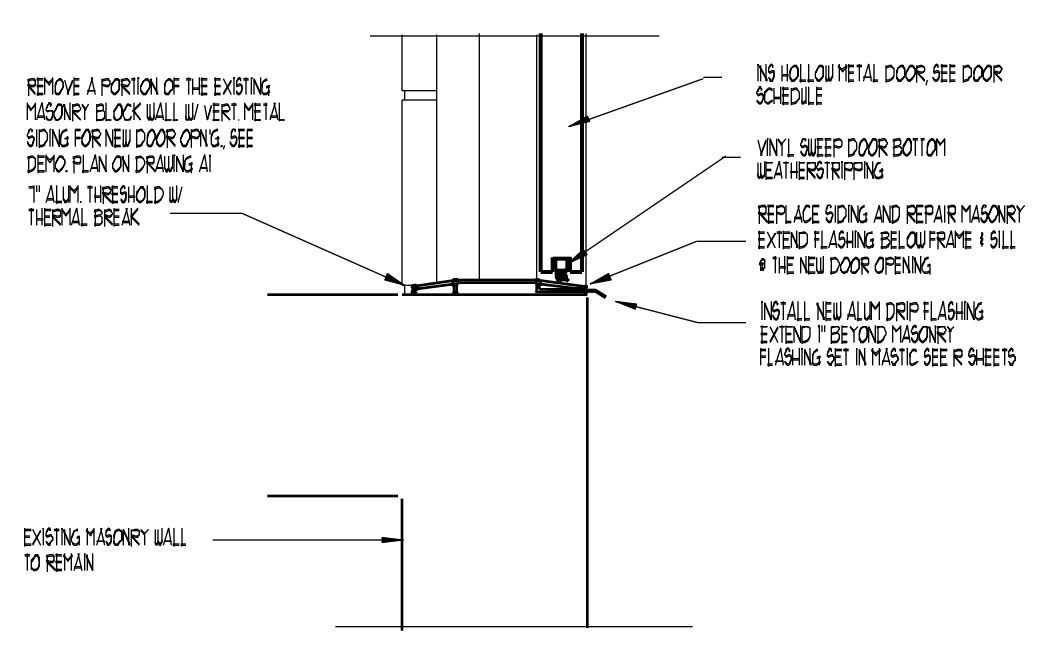
(H) HEAD (EXTERIOR)



(J) JAMB (EXTERIOR)



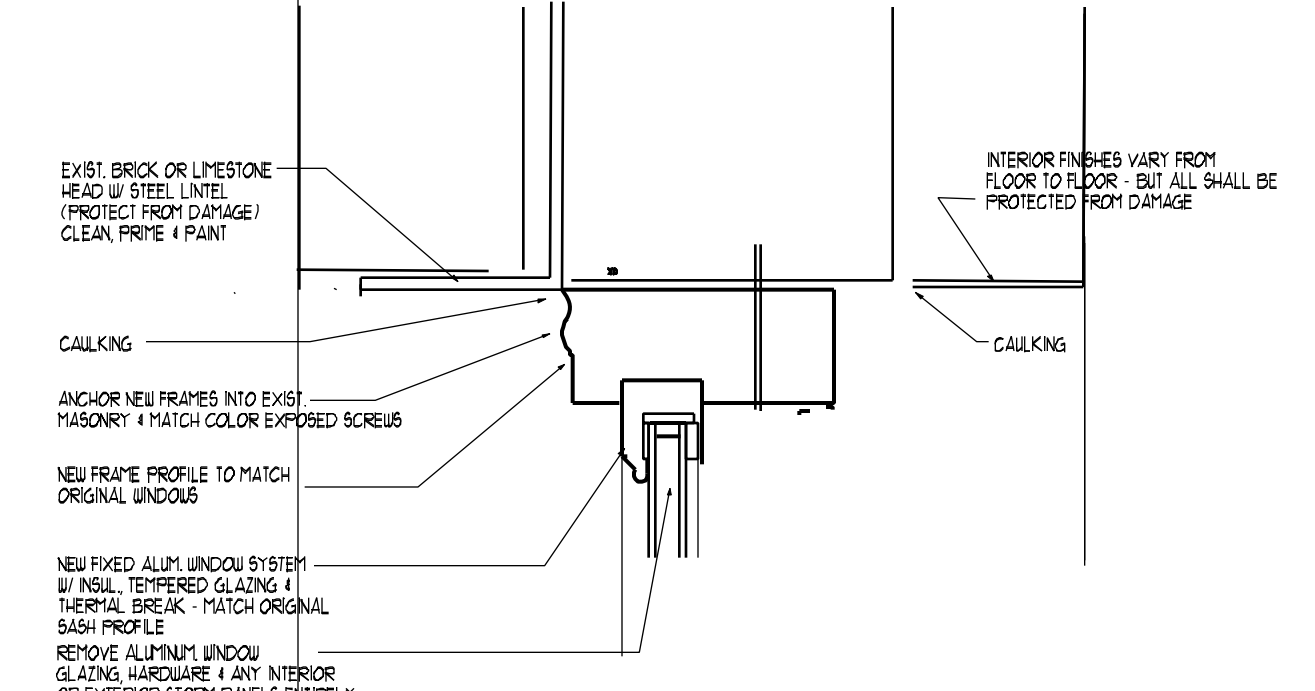
(S1) SILL



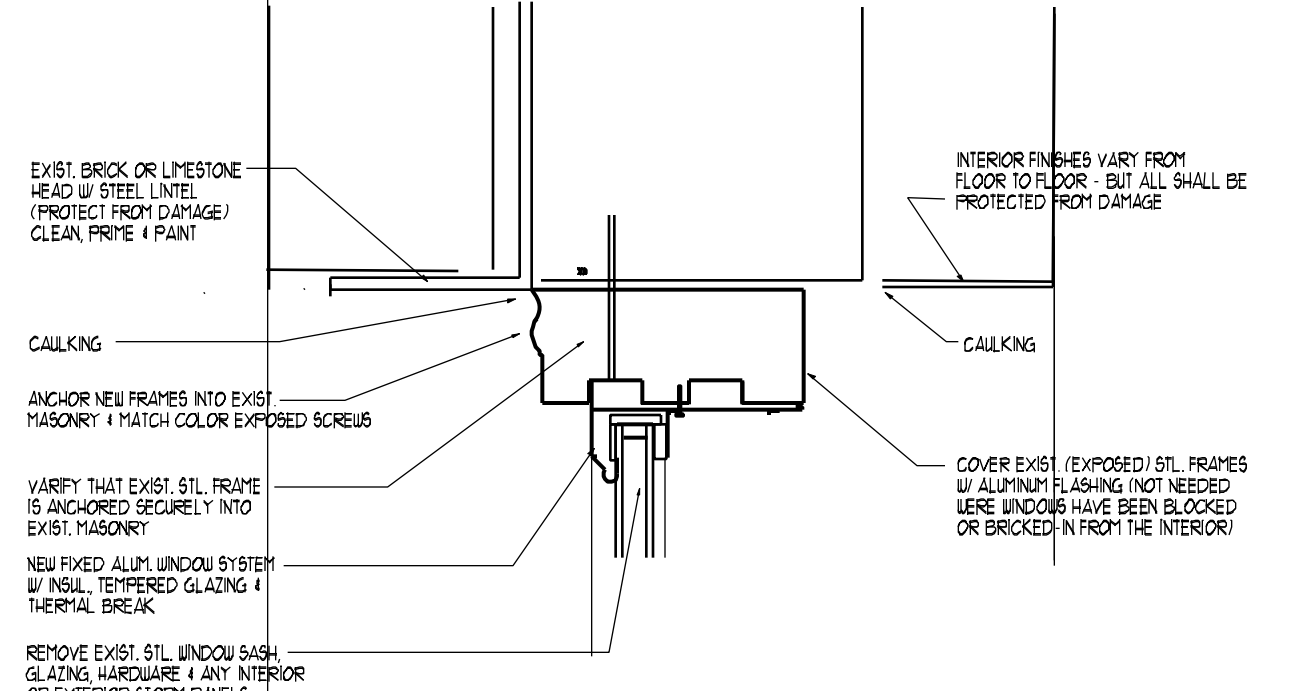
(S2) SILL

**WINDOW NOTES**  
 FAIRPOINT HAS PREPURCHASED 2 SAMPLE WINDOWS - MANUFACTURER WILL BE IDENTIFIED BY ADDENDUM 1  
 IT IS THE INTENT THAT ALL WINDOW REPLACEMENT WILL BE COMPLETED FROM THE OUTSIDE CEILING & TRIM REPAIR WILL BE COORDINATED WITH THE PROJECT MANAGER  
 VERIFY ALL OPENINGS PRIOR TO COMPLETING FABRICATION. DRAINAGES FOR ALL WINDOWS REMOVE EXISTING GASKETS THOROUGHLY INSPECT, REMOVE RUST, CLEAN AND SEAL WINDOW FRAMES  
 ALL SWITCH/OUT EQUIPMENT WITHIN 10' OF ANY WINDOW REPLACEMENT IS TO BE COMPLETELY PROTECTED FROM EXPOSURE TO WATER AND DUST DURING THE WORK. NON-FUNCTIONABLE ELECTRODIP RESISTIVE TAPPS MAY BE USED WHEN ADEQUATE CLEARANCE FOR PROTECTION OF EQUIPMENT IS AVAILABLE  
 FAIRPOINT REQUIRES ALL WORK IN SWITCH/OUT AREAS TO BE DONE UNDER SAFETY PROCEDURES. SEE PROJECT MANUAL

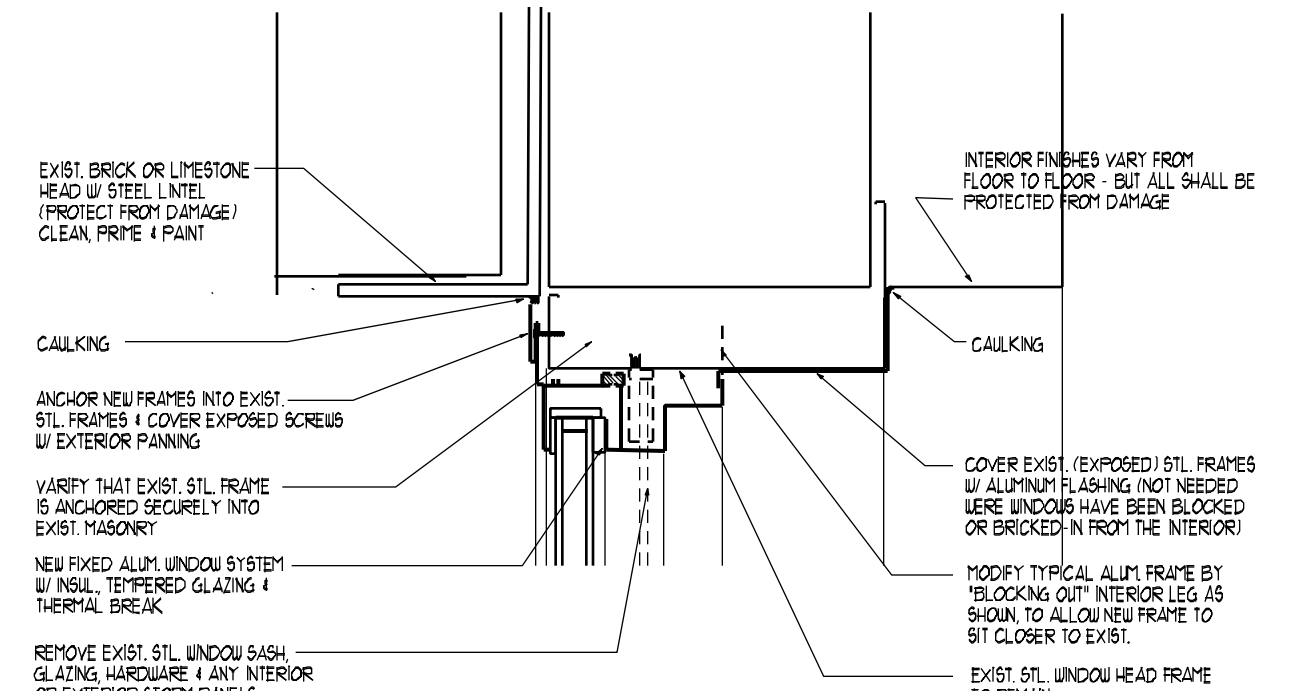
**GLAZING NOTES**  
 SWITCH AND TOOL ROOM GLAZING TO BE SPANDREL GLASS WINDOW PANELS ABOVE CEILING TO BE SPANDREL GLASS WINDOWS WITH 5/8\"/>



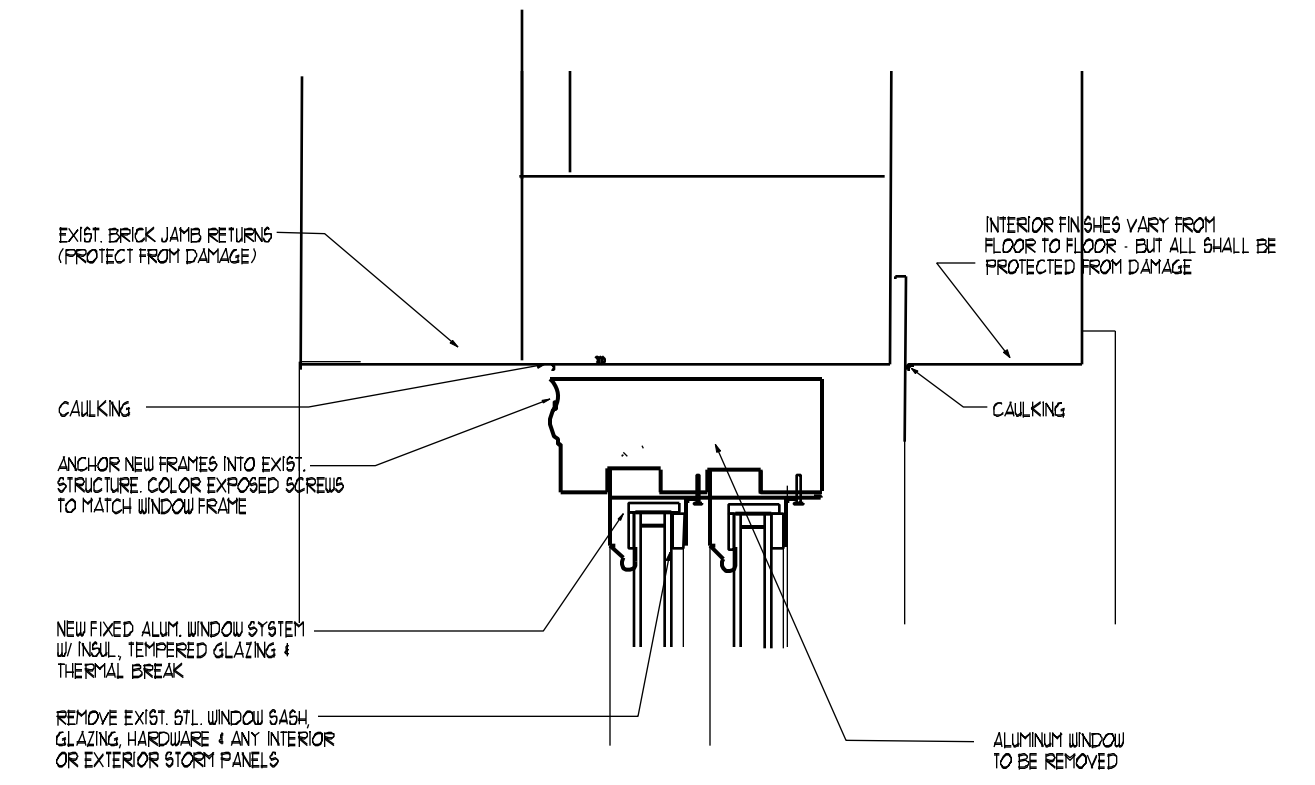
TYPICAL NEW WINDOW FRAME HEAD DETAIL  
 SCALE - 3" = 1'-0"



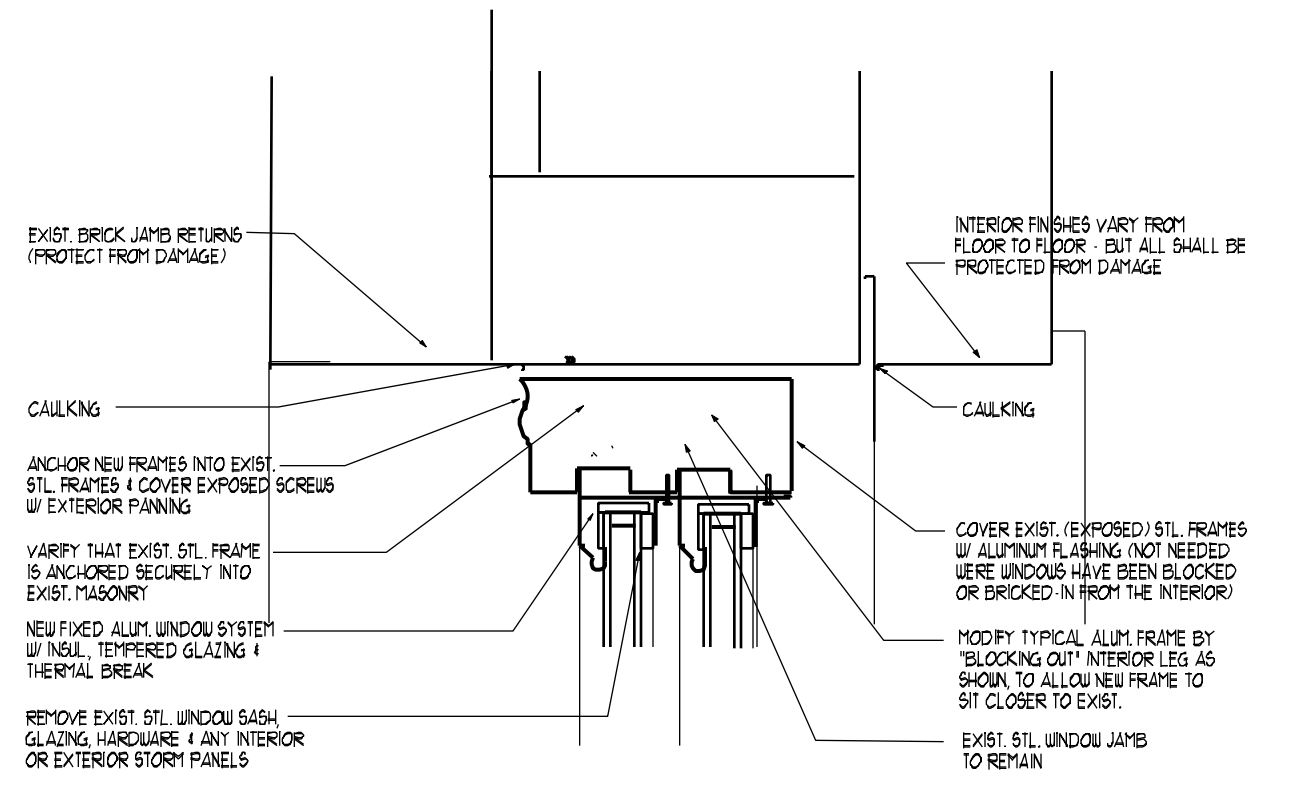
TYPICAL NEW WINDOW FRAME HEAD DETAIL  
 SCALE - 3" = 1'-0"



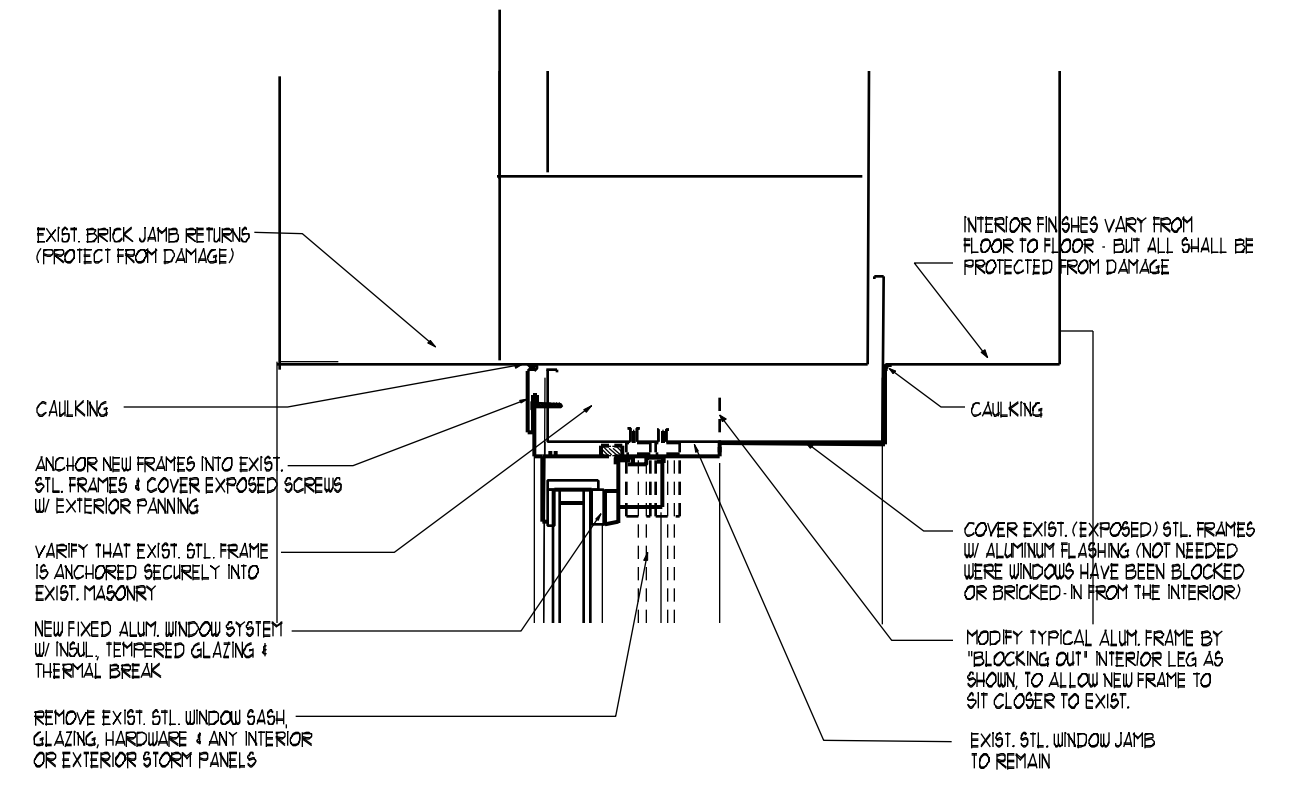
TYPICAL WINDOW HEAD DETAIL  
 SCALE - 3" = 1'-0"



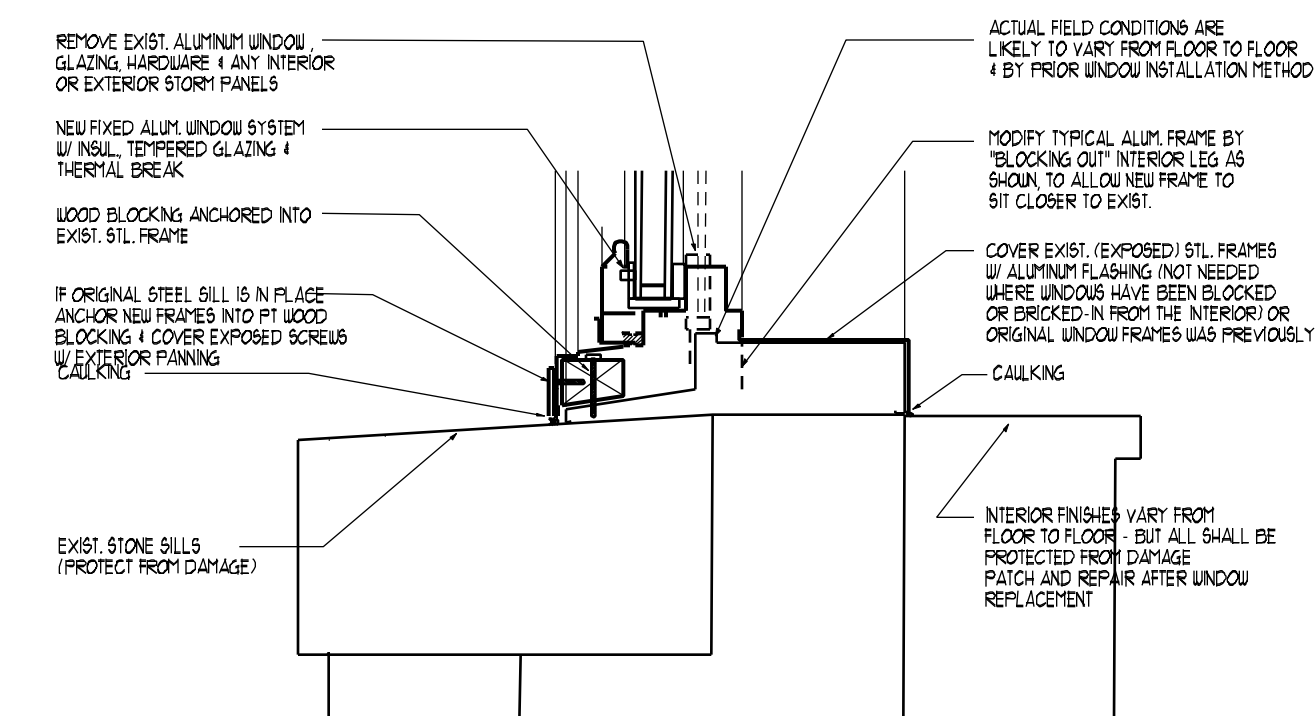
TYPICAL WINDOW JAMB DETAIL  
 SCALE - 3" = 1'-0"



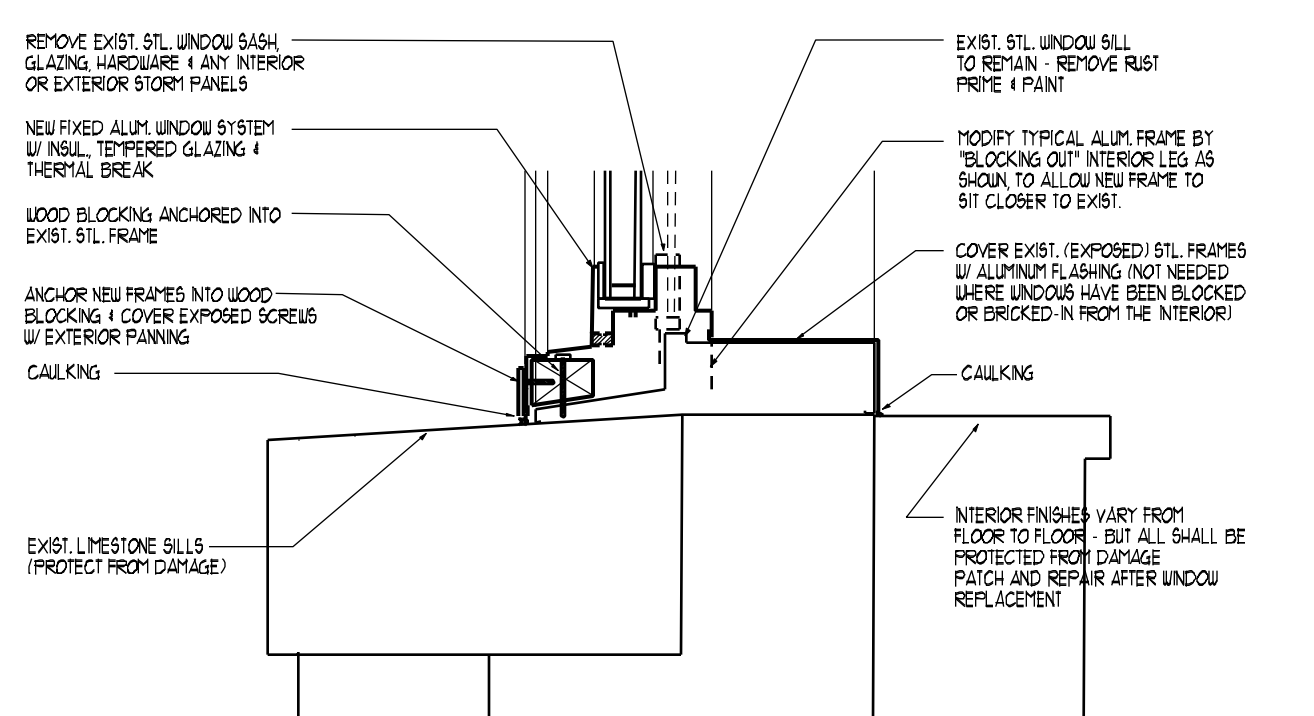
TYPICAL WINDOW JAMB DETAIL  
 SCALE - 3" = 1'-0"



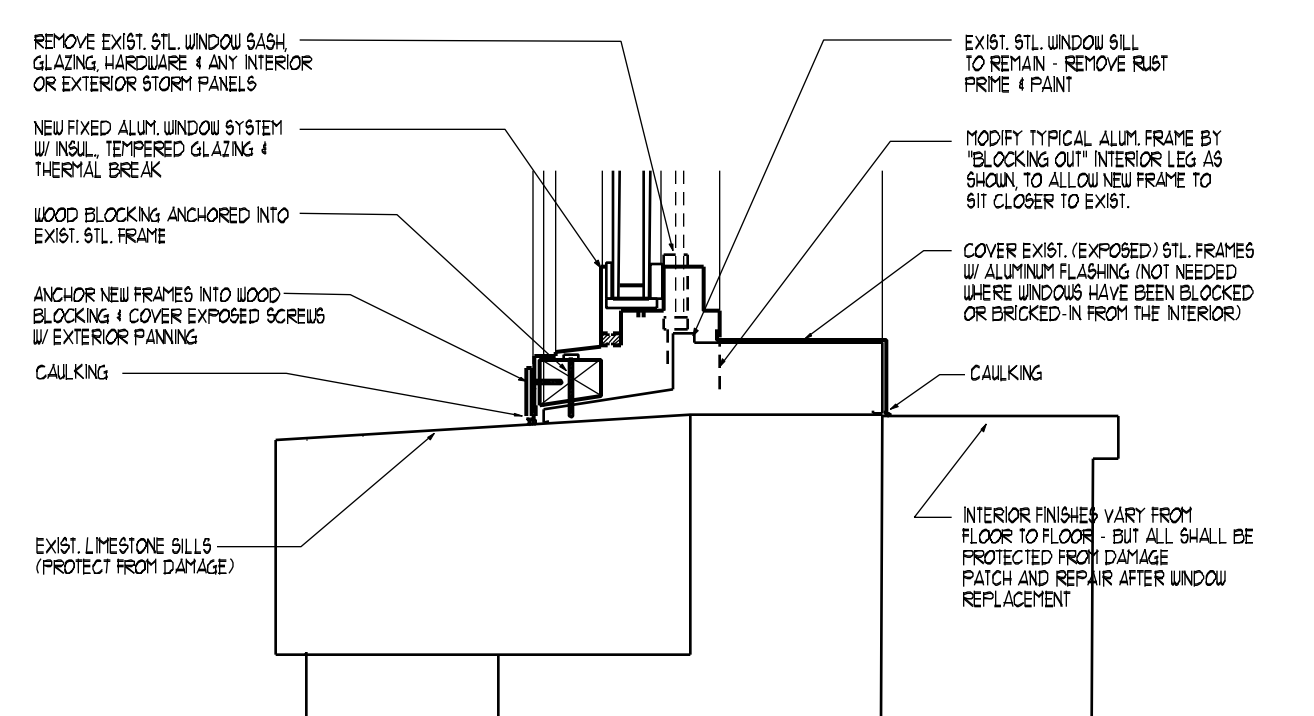
TYPICAL WINDOW JAMB DETAIL  
 SCALE - 3" = 1'-0"



FEDERALIST MASONRY BUILDING WINDOW SILL DETAIL  
 SCALE - 3" = 1'-0"



FEDERALIST MASONRY BUILDING WINDOW SILL DETAIL  
 SCALE - 3" = 1'-0"



ART DECO BUILDING TYPICAL WINDOW SILL DETAIL  
 SCALE - 3" = 1'-0"

Arch. Proj. No. 1800  
 Date: SEPT 14, 2010  
 Drawn By: [Signature]  
 Checked By: [Signature]

REVISIONS

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**FairPoint communications**

Fair Point - Construction Services  
 PORTLAND CENTRAL OFFICE  
 HVAC ALTERATIONS  
 45 Forest Avenue, Portland, Maine  
 DOOR & WINDOW DETAILS

Drawing No. **A4**