

104-106 OAK STREET



7-11-41 920H - 920H - 920H - 920H - 920H - 920H - 920H - 920H - 920H - 920H

City of Portland, Maine  
Fire Department

Mr. George Sanborn  
104 Oak St.  
Portland, ME

Re: Fire at 104 Oak St.

Dear Sir

On February 25, 1981 a fire occurred in the building listed above of which you are reported to be the owner ( ).

If permanent repair work is required for this building, you must obtain a permit from the Building & Inspection Department in City Hall before starting such work.

Very Truly Yours,

\_\_\_\_\_  
Chief  
Portland Fire Department

cc: Building & Inspection Department  
Corporation Counsel  
Health Department (Housing Div)  
City Assessor's (Mr. Lucci)

Cause arson. Bottom step of the staircase.



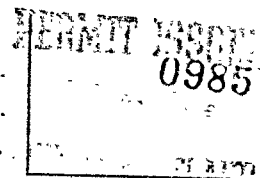
# APPLICATION FOR PERMIT

B.O.C.A. USE GROUP .....

B.O.C.A. TYPE OF CONSTRUCTION .....

ZONING LOCATION .....

PORTLAND, MAINE, Oct. 10, 1974



To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ... 104 Oak Street

1. Owner's name and address ... Oak Realty Co., 34 Preble Street ... Fire District #1 ☐ #2 ☐  
2. Lessee's name and address ... Telephone 774-8013  
3. Contractor's name and address ... owner ... Telephone  
4. Architect ... Specifications ... Plans ... No. of sheets  
Proposed use of building ... apt. ... No. families  
Last use ... No. families  
Material ... No. stories ... Heat ... Style of roof ... Roofing  
Other buildings on same lot  
Estimated contractual cost \$ ... Fee \$ 10.00

FIELD INSPECTOR—Mr. *W. Nelson*

## GENERAL DESCRIPTION

This application is for:

@ 775-5451

Dwelling ... Ext. 234 To cover front ~~exterior~~ elevation only, with  
Garage ... aluminum siding  
Masonry Bldg.  
Metal Bldg.  
Alterations  
Demolitions  
Change of Use  
Other

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 ☒ 2 ☐ 3 ☐ 4 ☐

Other: .....

## DETAILS OF NEW WORK

Is any plumbing involved in this work? ... Is any electrical work involved in this work? ...  
Is connection to be made to public sewer? ... If not, what is proposed for sewage? ...  
Has septic tank notice been sent? ... Form notice sent? ...  
Height average grade to top of plate ... Height average grade to highest point of roof ...  
Size, front ... depth ... No. stories ... solid or filled land? ... earth or rock? ...  
Material of foundation ... Thickness, top ... bottom ... cellar ...  
Kind of roof ... Rise per foot ... Roof covering ...  
No. of chimneys ... Material of chimneys ... of lining ... Kind of heat ... fuel ...  
Framing Lumber—Kind ... Dressed or full size? ... Corner posts ... Sills ...  
Size Girder ... Columns under girders ... Size ... Max. on centers ...  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters ... 1st floor ... 2nd ... 3rd ... roof ...  
On centers: ... 1st floor ... 2nd ... 3rd ... roof ...  
Maximum span: ... 1st floor ... 2nd ... 3rd ... roof ...  
If one story building with masonry walls, thickness of walls? ... height?

## IF A GARAGE

No. cars now accommodated on same lot ..., to be accommodated ... number commercial cars to be accommodated ...  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? ...

APPROVALS BY:

DATE

MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER .....

Will work require disturbing of any tree on a public street? ..

ZONING: .....

BUILDING CODE: 0-15: 2, 8, 10, 11, 14

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? ... yes ...

Fire Dept.: .....

Health Dept.: .....

Others: .....

Signature of Applicant

*W. Nelson*

Phone # .....

Type Name of above Oak Realty Co.

1 ☒ 2 ☐ 3 ☐ 4 ☐

Other

and Address .....

FIELD INSPECTOR'S COPY

NOTES

10-21-74 About done ~~AD~~  
 No wiring dormers only

~~AD~~

Permit No. 74/985  
 Location 104 Cite 4  
 Owner Cate Realty Co  
 Date of permit 10/10/74  
 Approved

Reliable



PERMIT NUMBER 3201

Date Issued 3-28-56

PORTLAND PLUMBING INSPECTOR

By J.P. W. Wok

APPROVED FIRST INSPECTION

Date 7-2-56

By

APPROVED FINAL INSPECTION

Date

By

TYPE OF BUILDING

☐ COMMERCIAL

☐ RESIDENTIAL

☐ SINGLE

☐ MULTI FAMILY

☐ NEW CONSTRUCTION

☐ REMODELING

PERMIT TO INSTALL PLUMBING

Address: 104 Oak St.

Installation For:

Owner of Bldg.: Oak View Apartments

Owner's Address: Oak View Street

Plumber: P. G. W. Wok

Date: 3-28-56

NEW	REPL	PROPOSED INSTALLATIONS	NUMBER	FEE
		SINKS		
	5	LAVATORIES	5	\$5.
	5	TOILETS	5	1.50
	5	BATH TUBS	5	1.50
		SHOWERS		
		DRAINS		
		HOT WATER TANKS	3	
		TANKLESS WATER HEATERS		
		GARBAGE GRINDERS		
		SEPTIC TANKS		
		HOUSE SEWERS		
		ROOF LEADERS (conn. to house drain)		
			15	\$15.-
			Total	

SM 12-53

PORTLAND HEALTH DEPT.

PLUMBING INSPECTION

# APPLICATION FOR PERMIT



Portland, Maine, .....Feb. 20, 1956

00194

SEP 29 1955

The undersigned hereby applies for a permit to ~~and does~~ repair ~~and reconstruct~~ the following building ~~subject~~ ~~expended~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

### General Description of New Work

To repair after fire to former condition without alterations and without change of use, but if conditions in the areas of repair are found to be dangerously sub-standard of Building Code requirements, both Building Department and owner will be notified immediately. Fire took place recently.

2x8 floor joists, 16" on centers, 12' span.

CERTIFICATE OF OCCUPANCY  
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** The Minat Corp.

### Details of New Work

Is any plumbing involved in this work?	Is any electrical work involved in this work?
Is connection to be made to public sewer?	If not, what is proposed for sewage?
Has septic tank notice been sent?	Form notice sent?
Height average grade to top of plate	Height average grade to highest point of roof
Size, front depth No. stories	solid or filled land? earth or rock?
Material of foundation	Thickness, top bottom cellar
Material of underpinning	Height Thickness
Kind of roof	Rise per foot Roof covering
No. of chimneys	Material of chimneys of lining Kind of heat fuel
Framing lumber—Kind	Dressed or full size?
Corner posts Sills	Girt or ledger board? Size
Girders	Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.	
Joists and rafters:	1st floor, 2nd, 3rd, roof
On centers:	1st floor, 2nd, 3rd, roof
Maximum:	1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?	

### If a Garage

No. cars now accommodated on same lot ... , to be accommodated ... number commercial cars to be accommodated ...  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

**APPROVED:**

### Miscellaneous

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? . yes.....

Nathan Cope

Signature of owner by:

INSPECTION COPY

**C16-254-IN-Marka**

NOTES

2/15/56 - Grand view the firestopper  
with Mitchell Cape. Firestopper  
needed around chimney at  
each floor, pipes between  
floors on each side of  
bathrooms on each floor  
except the 1st floor and on  
the 4th floor. On the 4th  
floor it will be firestopped  
in the ceiling on the middle  
of the hallway. On the  
2nd, 3rd & 4th floor fire-  
stopper will be between  
apartments on each floor.  
Don Cape will call  
for a final inspection  
need everything in all  
floors. Allan  
3/5/56 - Did to reach the  
Mitchell Cape by plane (5 P.M.)  
to tell the about ventilation  
of bathrooms & hallways.  
Allan  
3/6/56 - Ventilation of bathrooms  
& hallways is O.K. Firestopper  
is O.K. on the 1st & 2nd floor  
except around pipes & chimney.  
Allan  
3/7/56 - Went over some more  
of the firestopper with Mitchell  
Cape & his partner. Allan  
3/9/56 - Firestopper needed  
around pipes in the bathrooms,  
chimney & vents. Allan  
3/14/56 - Told one of Don Cape's  
men that firestopper was  
needed in the 4 bathrooms on 4th  
floor. Allan  
4/11/56 - Mitchell says except  
for final work. Allan

Form Check Notice

Staking Out Notice

Cert. of Occupancy issued

Final Inspr. 4/11/56

Final Notif.

Inspr. closing-in

Notif. closing-in 3/5/56

Date of permit 2/20/56

Owner Anthony Cape

Location 104 Oak St.

Permit No. 56/191

3/2/56





# APPLICATION FOR PERMIT

Class of Building or Type of Structure

Portland, Maine, Oct. 27, 1954

PERMIT ISSUED

NOV 5 1954

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to alter ~~the existing building~~ the following building ~~structure~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 104 Oak St. Within Fire Limits? yes Dist. No. \_\_\_\_\_  
Owner's name and address The Minat Corp., 220 Cumberland Ave. Telephone \_\_\_\_\_  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address Pallotta Oil Co., 112 Exchange St. Telephone 4-2571  
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 1  
Proposed use of building apartment house No. families \_\_\_\_\_  
Last use \_\_\_\_\_ " " No. families \_\_\_\_\_  
Material brick No. stories 5 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_  
Estimated cost \$ 350. Fee \$ 2.00

## General Description of New Work

To install 1-3000 gallon fuel oil tank and provide enclosure as per plans.

Permit Issued with Letter

DATE OF OCCUPANCY  
REGISTRATION IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Pallotta Oil Co.

## Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_  
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ ex. or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Framing lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

## If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

## Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

The Minat Corp.  
Pallotta Oil Co.

Signature of owner by:

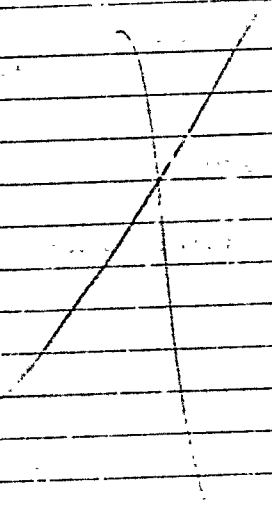
*Ewald J. Pallatto*

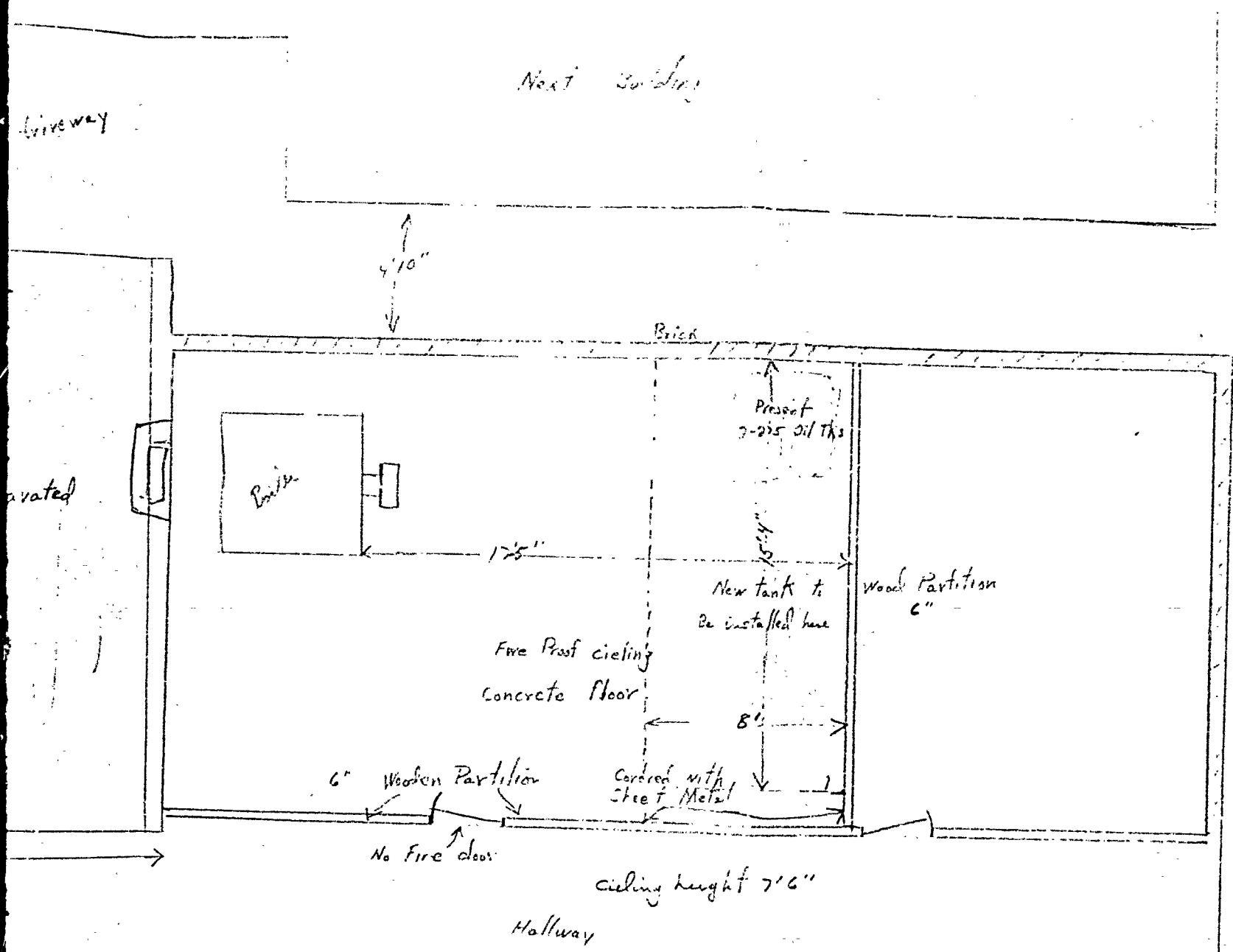
INSPECTION COPY

NOTES

1/22/54 - 4th - 10th - 1st Allen  
 12/12/54 - 10th - 1st Allen  
 12/27/54 - 10th - 1st Allen  
 2/4/55 - 10th - 1st Allen

Permit No. 54/1967  
 Location 104 Oak St.  
 Owner The Plymouth Corp.  
 Date of permit 11/5/54  
 Notif. closing-in  
 Inspn. closing-in  
 Final Notif.  
 Final Inspn.  
 Cert. of Occupancy issued  
 Settling Out Notice  
 Forth Check Notice





RECEIVED  
 MAY 10 1931  
 ENGINEERING DEPT.  
 CITY OF PITTSBURGH

Storage of Work Shop  
 This side

Boiler Room Plan for Oak View

Scale  $\frac{1}{4}" = 1 \text{ foot}$

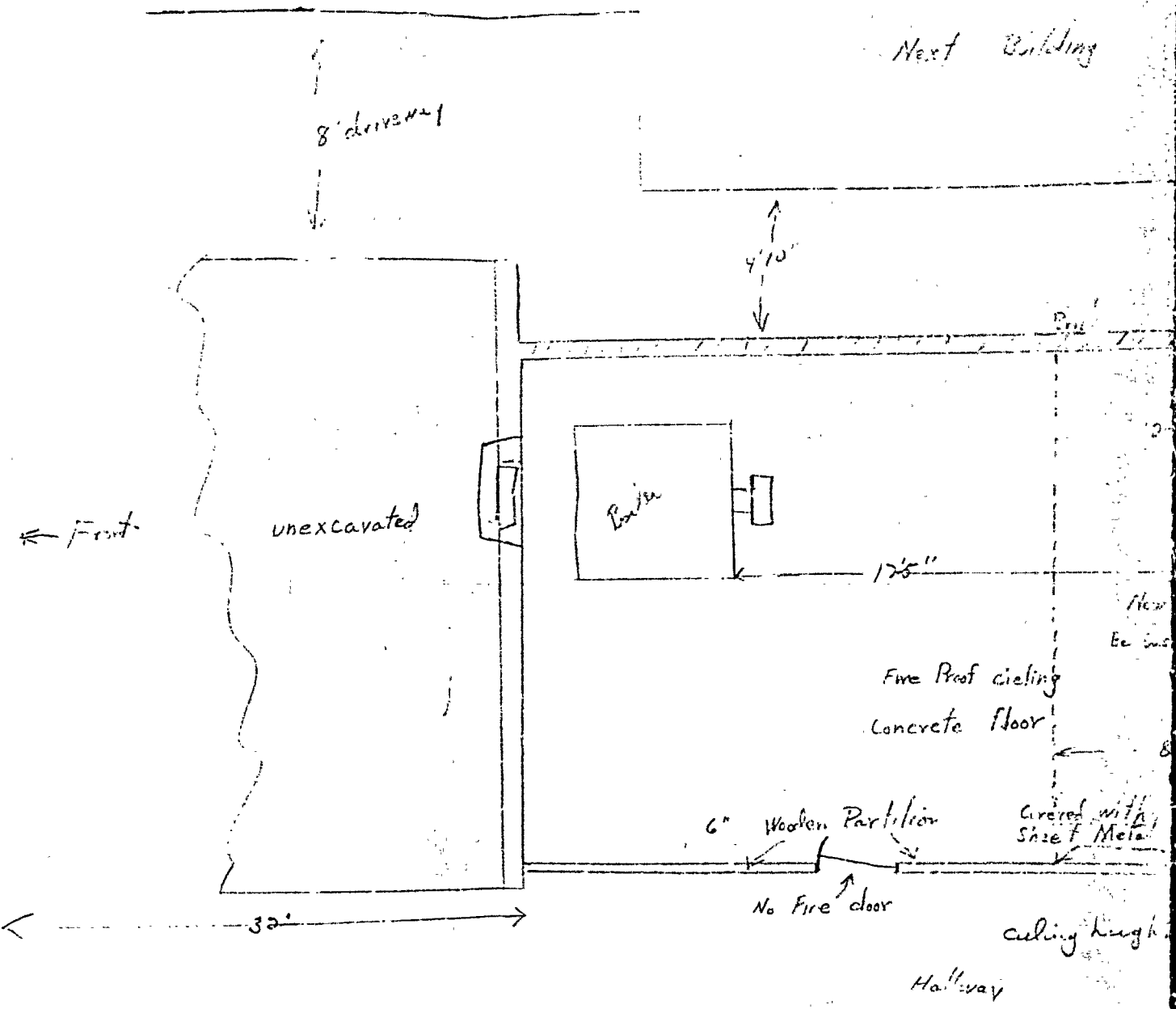
Pallotta Oil Co

To Congress St

oak St

Side St

To Cumberland Av



Jan's Apartment

RECEIVED  
MAY 3 1964  
BUREAU OF FIRE DEPT.  
CITY OF PORTLAND



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR  
HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, 7/2/51

PERMIT NO. 01241  
JUL 3 1951  
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 104 Oak St Use of Building Apartments No. Stories 3 New Building  
Name and address of owner of appliance Minat Corp 220 Cumberland Ave Existing "  "  
Installer's name and address Pallotta Oil Co Telephone 4-2671

General Description of Work

To install Oil Burner in Old Steam Boiler

IF HEATER, OR POWER BOILER

Location of appliance or source of heat ..... Type of floor beneath appliance .....  
If wood, how protected? ..... Kind of fuel .....  
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace .....  
From top of smoke pipe ..... From front of appliance ..... From sides or back of appliance .....  
Size of chimney flue ..... Other connections to same flue .....  
If gas fired, how vented? ..... Rated maximum demand per hour .....

IF OIL BURNER

Name and type of burner Fluid heat Pressure Labeled by underwriters' laboratories? Yes  
Will operator be always in attendance? No Does oil supply line feed from top or bottom of tank? Top  
Type of floor beneath burner Concrete  
Location of oil storage Basement Number and capacity of tanks 2 - 275 gal  
If two 275-gallon tanks, will three-way valve be provided? No  
Will all tanks be more than five feet from any flame? Yes How many tanks fire proofed? .....  
Total capacity of any existing storage tanks for furnace burners None

IF COOKING APPLIANCE

Location of appliance ..... Kind of fuel ..... Type of floor beneath appliance .....  
If wood, how protected? .....  
Minimum distance to wood or combustible material from top of appliance .....  
From front of appliance ..... From sides and back ..... From top of smokepipe .....  
Size of chimney flue ..... Other connections to same flue .....  
Is hood to be provided? ..... If so, how vented? .....  
If gas fired, how vented? ..... Rated maximum demand per hour .....

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

RECEIVED

JUL 3 1951

DEPT. OF BLD'G. INSP.  
CITY OF PORTLAND

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

CH. 73.51 RUL

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

INSPECTION COPY

Signature of Installer

Pallotta Oil Co  
E. J. Pallatto

NOTES

1. Fill Pipe
2. Vent Pipe
3. Kind of Heat *Steam*
4. Burner Rating & Supports
5. Name of Label
6. Stack Control
7. High Pressure Control
8. Reset Control
9. Discharge Support & Connection
10. Valve in Supply Line
11. Capacity of Tanks
12. Tank
13. Tank
14. Fuel Oil
15. Fuel Oil
16. Fuel Oil

Permit No. *511201*  
 Location *104 Oak St.*  
 Owner *McCoy's Corp.*  
 Date of permit *7/3/51*  
 Approved *7-18-51*



(G) GENERAL BUSINESS ZONING  
APPLICATION FOR PERMIT

Class of Building or Type of Structure second

Portland, Maine, Jan 9, 1946

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 104 Oak St. Within Fire Limits? yes Dist. No. 1  
Owner's name and address Nathan Cope 27 Wilnot St. Telephone 2-3604  
Lessee's name and address None Telephone \_\_\_\_\_  
Contractor's name and address owner Telephone \_\_\_\_\_  
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans \_\_\_\_\_ No. of sheets \_\_\_\_\_  
Proposed use of building apartment house No. families 28  
Last use apartment house No. families 28  
Material brick No. stories 4 Heat steam Style of roof flat Roofing \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_  
Estimated cost \$ 300 Fee \$ 1.00

General Description of New Work

Repair after fire alterations. First floor, cause defective wiring

CERTIFICATE OF OCCUPANCY  
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? no Is any electrical work involved in this work? yes  
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Framing lumber Kind hemlock Dressed or full size? dressed  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner Nathan Cope

Nathan Cope

Permit No 46173  
Location 164 Oak St  
Owner Nathan Cape  
Date of permit 1/15/46  
Notif. closing-in  
Inspn. closing-in  
Final Notif.  
Final Inspn 1/17/46 CMC  
Cert. of Occupancy issued None

NOTES

4/17/46 further inspection  
not necessary - a/c.





(G) GENERAL BUSINESS ZONE  
APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class

PERMIT ISSUED  
Permit No. 1886

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, November 19, 1940

NOV 19 1940

The undersigned hereby applies for a permit to ~~erect~~ install the following ~~building~~ structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 101 Oak Street Within Fire Limits? yes Dist. No. 1  
Own. Mitchell, Cope, 22 Willet St. Telephone \_\_\_\_\_  
Contractor's name and address The Fels Co., 42 Union St. Telephone 2-1939  
Architect \_\_\_\_\_ Plans filed yes No. of sheets 3  
Proposed use of building Apartment house No. families \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_  
Estimated cost \$ 250 Fee \$ 1.00

Description of Present Building to be Altered

Material brick No. stories 4 1/2 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Last use Apartment house No. families \_\_\_\_\_

General Description of New Work

To install wet pipe sprinkler system with alarm valve in basement and corridors as per plans

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? \_\_\_\_\_  
Is any electrical work involved in this work? \_\_\_\_\_ Height average grade to top of plate \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
To be erected on solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_  
Kind of heat \_\_\_\_\_ Type of fuel \_\_\_\_\_ Is gas fitting involved? \_\_\_\_\_  
Framing lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledge board? \_\_\_\_\_ Size \_\_\_\_\_  
Material columns, under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_  
Total number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner Mitchell Cope  
By The Fels Co.

By Charles H. Nelson

NOTES  
1/13/40 - Installation  
completed - O.J.

1. NAME  
 2. ADDRESS  
 3. CITY  
 4. STATE  
 5. ZIP  
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10

SPECIFICATIONS ACCOMPANYING APPLICATION OF MITCHELL COPE FOR A BUILDING PERMIT TO  
COVER ALTERATIONS IN AND CONVERSION OF THE BUILDING AT 104-106 OAK STREET, FORMERLY  
THE KENMORE HOTEL, FOR USE AS AN APARTMENT HOUSE.

May 31, 1940

1. These specifications are to be considered as much a part of the application for the building permit as though written on the application form, but failure to mention herein any requirements of the Building Code or any other law relating to the same subject matter shall not relieve owner, contractor, tenant or any other person from compliance therewith.

2. The existing air shaft running upwards from the second floor level will be lined on the inside with sheet metal, gypsum wallboard of similar incombustible material made tight at window openings and everywhere else. The floor will be covered with similar incombustible material and the windows opening from the shaft whether to hallways or to kitchenettes or any other place will be glazed with wire glass.

3. The building will be equipped with a standard automatic sprinkler system covering the entire cellar or basement including all apartments that may be in the cellar or basement, all hallways and stairways and all concealed attic or other spaces. Plans of the sprinkler system bearing the stamp of approval of the New England Insurance Exchange will be filed with the Inspector of Buildings before the installation of the system is commenced.

4. All toilet or bathrooms which do not have outside operative windows in them will be vented by means of metal ducts extending through the roof of the building, such ducts to be at least 56 square inches in cross section for each toilet or bathroom connected thereto.

5. All cooking in the building is to be done by gas. All ranges furnished by the owner will have vent outlets for the oven of each appliance and vent ducts will be provided for the ovens of all such appliances, whether the appliance is furnished by the owner or not, consisting of wrought iron pipe of the type usually used as water pipe in all parts not always exposed to the view and at least 26 gauge sheet metal in all other parts, such ducts to extend through the roof of the building and an adequate distance above the roof of the building, and to be not less than one square inch in area for each 15 cubic feet of gas per hour capacity of appliances connected thereto, horizontal flues to have a rise of not less than one foot in ten and to be 10% larger in area than vertical flues.

6. There will be at least one operative window not less than 6 square feet in area in the public and stairhalls of the building at each floor.

7. If there are any closets of any description beneath stairs in the building, they will be eliminated, and no new closets will be constructed beneath stairs.

8. Handrails, if not already provided, will be provided on at least one side of each flight of stairs.

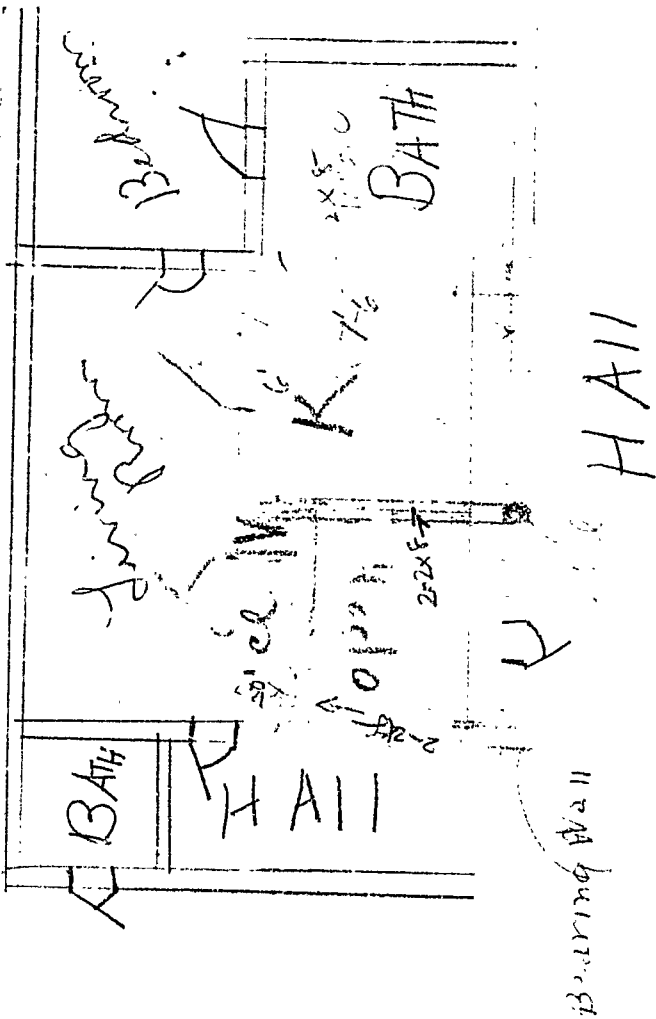
9. The rear brick wall of the building where bulging or cracking is in evidence will be thoroughly rebuilt or permanently repaired so as to be undoubtedly safe and sound.

10. A number of the partitions enclosing public halls and stair halls are to be reconstructed at new locations and all of these, as well as the ceiling over such public halls and the soffits, if <sup>new</sup> any, under any stairways will be covered on both sides with plaster on metal lath or <sup>on</sup> incombustible gypsum board plaster base.

11. Adequate artificial lighting on owner's meter will be provided in all public and stair halls to illuminate all means of egress, and these lights will be always kept burning from sunset to sunrise each night.

12. Chimneys will be repaired wherever necessary to make them sound. Fire stops will be introduced where opportunity is afforded during the alteration work to keep down the travel of possible fire in the building. Wherever inadequate conditions as to structural supports are encountered during the alteration work, adequate adjustments and strengthening will be introduced to fully take care of all loads according to Building Code standards.

Mitchell T. Jones



RECEIVED  
JUL 27 1940  
DEPT. OF BLD'G. INSP.  
CITY OF PORTLAND

grate areas not more than 9 square  
feet - per brick in fire chert.  
self-closing hoppers so as to limit  
that chert will be closed off while  
hopper is being charged. and no  
fuel to project into fire - area of  
same openings will be closed off  
area of chert will be.

Scale 1/4" = 1 FT



Original Permit No. 495  
Amendment No. 1

# AMENDMENT TO APPLICATION FOR PERMIT 1940

Portland, Maine, July 15, 1940

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 495 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 104-106 Oak St. Within Fire Limits? Yes Dist. No. 1  
Owner's or Lessee's name and address Mitchell Cape 27 Wilcox St.  
Contractor's name and address Owner  
Plans filed as part of this Amendment yes No. of Sheets 1  
Is any plumbing work involved in this work? yes Is any electrical work involved in this work? yes  
Increased cost of work 150 Additional fee 25  
Framing Lumber: Kidgus Dressed or Full Size? Dressed

## Description of Proposed Work

The number of apartments will be 28 instead of 32 as called for in original permit reducing the estimated cost from \$5000 to \$4000.

To close existing air shaft at all floor levels as per plan, this section to be used as kitchenette with vent through roof at least 30" in. in clear section. Floor 1st-16" O.C. 7'-6" span. The other half of this shaft will have a closet 30" deep, with the remaining part open for future dumb waiter.

To build incinerator with chimney on concrete slab, to be lined all around with fire brick, fine mesh screen on top.

Approved:

Chief of Fire Department

Commissioner of Public Works

Signature of Owner

*Mitchell Cape*

Approved:

7/29/40

Inspector of Buildings

REPRODUCTION COPY

SPECIFICATIONS ACCOMPANYING APPLICATION OF MITCHELL COPE FOR A BUILDING PERMIT TO  
COVER ALTERATIONS IN AND CONVERSION OF THE BUILDING AT 118-120 OAK STREET, FORMERLY  
THE KENMORE HOTEL, FOR USE AS AN APARTMENT HOUSE.

May 31, 1940

1. These specifications are to be considered as much a part of the application for the building permit as though written on the application form, but failure to mention herein any requirements of the Building Code or any other law relating to the same subject matter shall not relieve owner, contractor, tenant or any other person from compliance therewith.

2. The existing air shaft running upwards from the second floor level will be lined on the inside with sheet metal, gypsum wallboard or similar incombustible material made tight at window openings and everywhere else. The floor will be covered with similar incombustible material and the window opening from the shaft whether to hallways or to kitchenettes or any other place will be glazed with wire glass.

3. The building will be equipped with a standard automatic sprinkler system covering the entire cellar or basement including all apartments that may be in the cellar or basement, all hallways and stairways and all concealed attic or other spaces. Plans of the sprinkler system bearing the stamp of approval of the New England Insurance Exchange will be filed with the Inspector of Buildings before the installation of the system is commenced.

4. All toilet or bathrooms which do not have outside operative windows in them will be vented by means of metal ducts extending through the roof of the building, such ducts to be at least 56 square inches in cross section for each toilet or bathroom connected thereto.

5. All cooking in the building is to be done by gas. All ranges furnished by the owner will have vent outlets for the oven of each appliance and vent ducts will be provided for the ovens of all such appliances, whether the appliance is furnished by the owner or not, consisting of wrought iron pipe of the type usually used as water pipe in all parts not always exposed to the view and at least 26 gauge sheet metal in all other parts, such ducts to extend through the roof of the building and an adequate distance above the roof of the building, and to be not less than one square inch in area for each 15 cubic feet of gas per hour capacity of appliances connected thereto, horizontal flues to have a rise of not less than one foot in ten and to be 10% larger in area than vertical flues.

6. There will be at least one operative window not less than 6 square feet in area in the public and stairhalls of the building at each floor.

7. If there are any closets of any description beneath stairs in the building, they will be eliminated, and no new closets will be constructed beneath stairs.

8. Handrails, if not already provided, will be provided on at least one side of each flight of stairs.

9. The rear brick wall of the building where bulging or cracking is in evidence will be thoroughly rebuilt or permanently repaired so as to be undoubtedly safe and sound.

10. A number of the partitions enclosing public halls and stair halls are to be reconstructed at new locations and all of these, as well as the ceiling over such public halls and the soffits, if any, under any stairways will be covered on both sides with plaster on metal lath or incombustible gypsum board plaster base. ✓

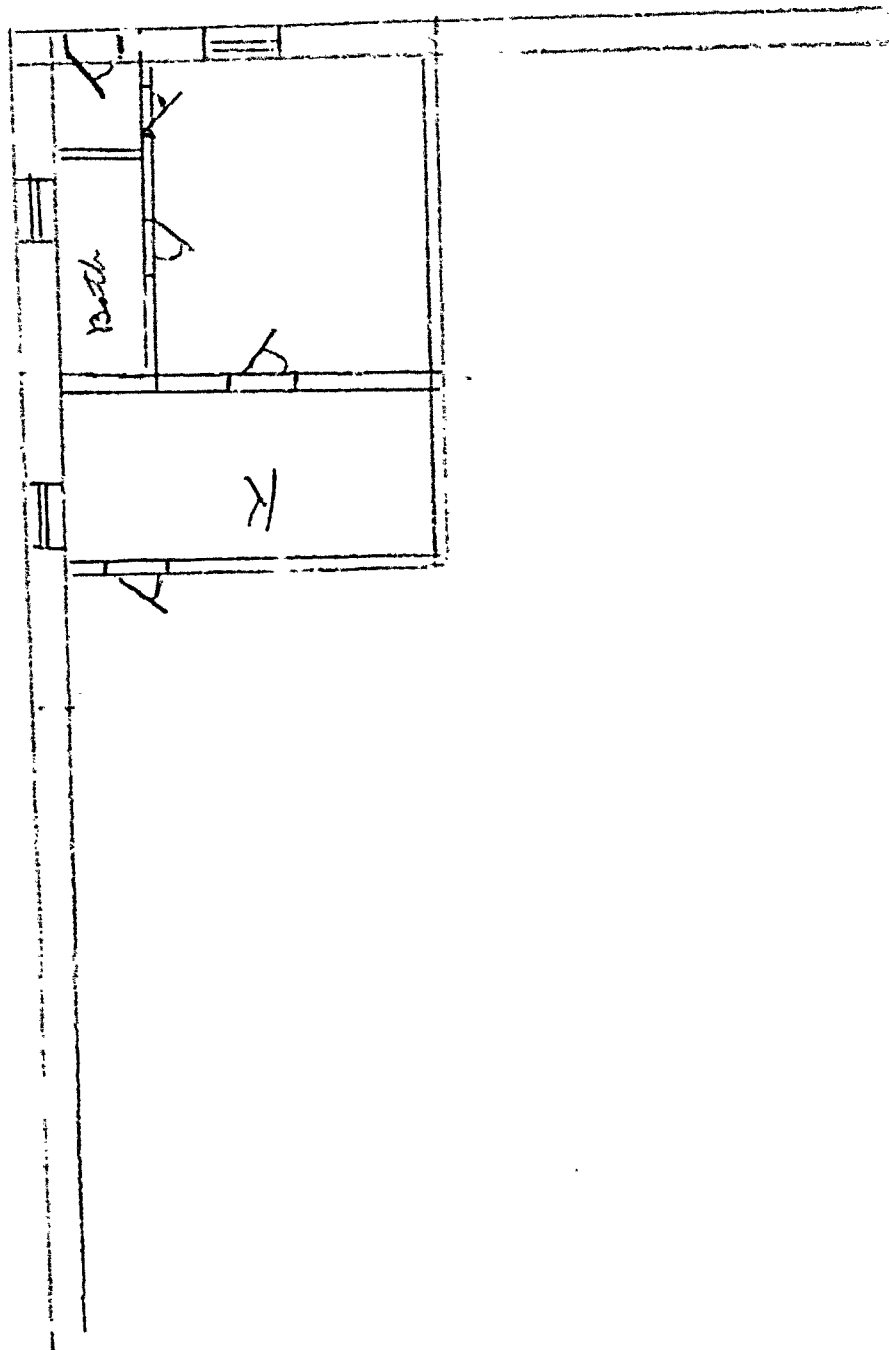
11. Adequate artificial lighting on owner's meter will be provided in all public and stair halls to illuminate all means of egress, and these lights will be always kept burning from sunset to sunrise each night. ✓

12. Chimneys will be repaired wherever necessary to make them sound. Fire stops will be introduced where opportunity is afforded during the alteration work to keep down the travel of possible fire in the building. Wherever inadequate conditions as to structural supports are encountered during the alteration work, adequate adjustments and strengthening will be introduced to fully take care of all loads according to Building Code standards.

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OAK ST



SPECIFICATIONS ACCOMPANYING APPLICATION OF MITCHELL COPE FOR A BUILDING PERMIT TO  
COVER ALTERATIONS IN AND CONVERSION OF THE BUILDING AT 104-106 OAK STREET, FORMERLY  
THE KENMORE HOTEL, FOR USE AS AN APARTMENT HOUSE.

May 31, 1940

1. These specifications are to be considered as much a part of the application for the building permit as though written on the application form, but failure to mention herein any requirements of the building Code or any other law relating to the same subject matter shall not relieve owner, contractor, tenant or any other person from compliance therewith.

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GENERAL BUSINESS ZONE  
APPLICATION FOR PERMITClass of Building or Type of Structure Second Class

JUN 7 1940

Portland, Maine, May 15, 1940

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 104 Oak Street Within Fire Limits? yes Dist. No. 1  
Owner's or Lessee's name and address Mitchell Cape, 27 Wilnot St. Telephone 2-3604  
Contractor's name and address Owner Telephone \_\_\_\_\_  
Architect \_\_\_\_\_ Plans filed yes No. of sheets 8  
Proposed use of building Apartment House No. families 28  
Other buildings on same lot \_\_\_\_\_  
Estimated cost \$ 5,000. Fee \$ 3.75

## Description of Present Building to be Altered

Material brick No. stories 4 Heat steam Style of roof flat Roofing T&G  
Last use Hotel No. families \_\_\_\_\_

## General Description of New Work

To make alterations to building as per plans submitted  
To Repair roof covering

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

## Details of New Work

Is any plumbing work involved in this work? yes  
Is any electrical work involved in this work? yes Height average grade to top of plate \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
To be erected on solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of Roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering Tar and gravel  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_  
Kind of heat \_\_\_\_\_ Type of fuel \_\_\_\_\_ Is gas fitting involved? \_\_\_\_\_  
Framing Lumber—Kind \_\_\_\_\_ Dressed or Full Size? \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

## If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_  
Total number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

## Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

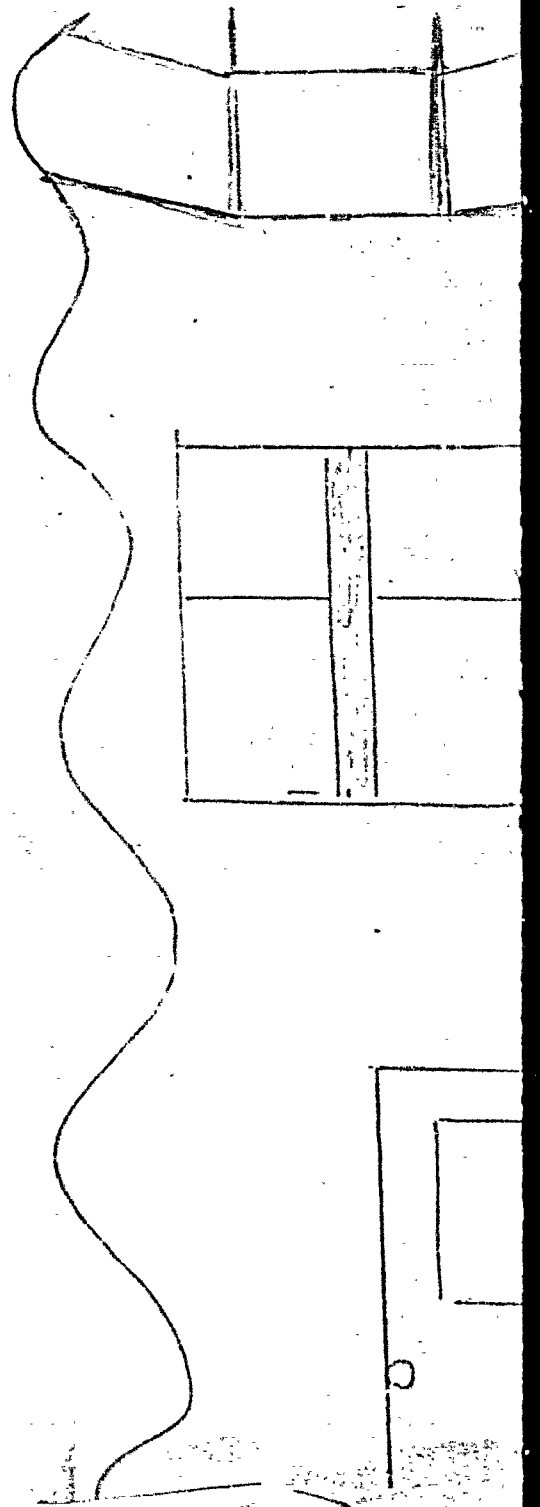
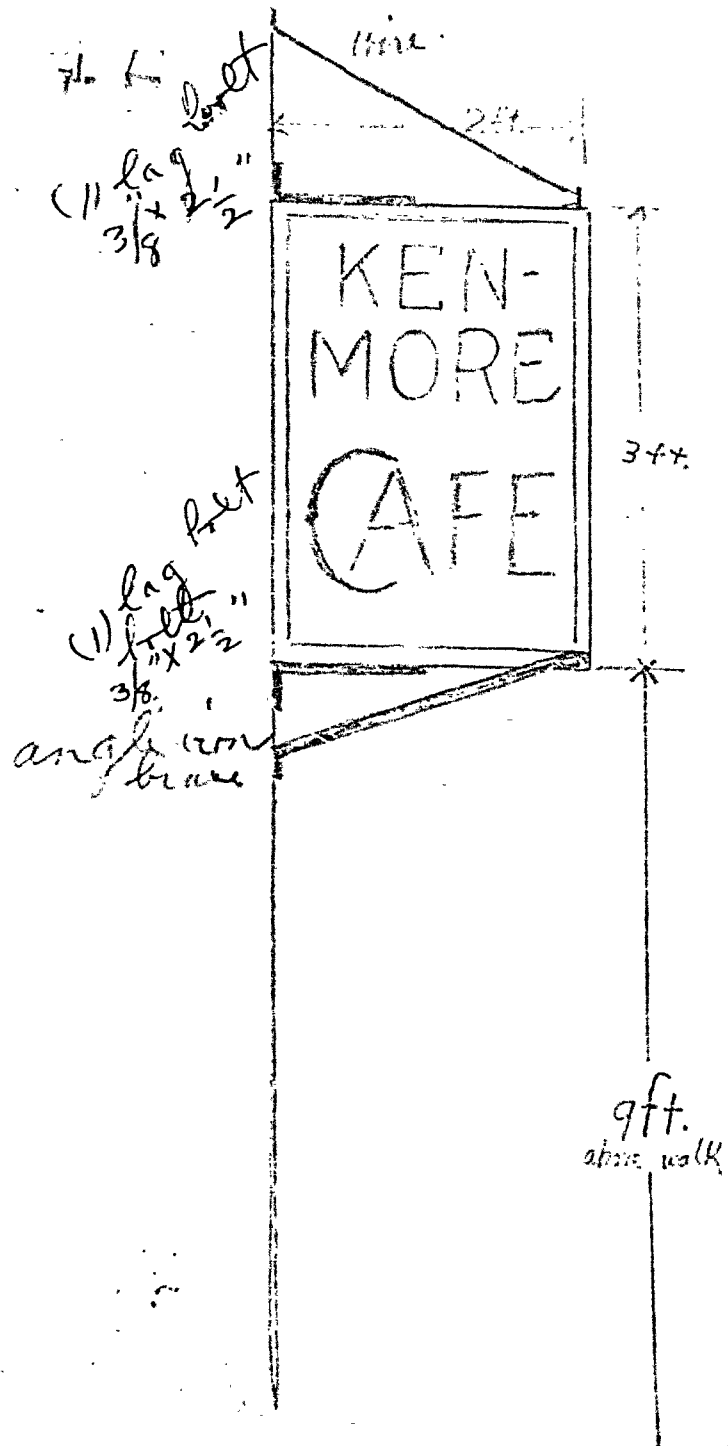
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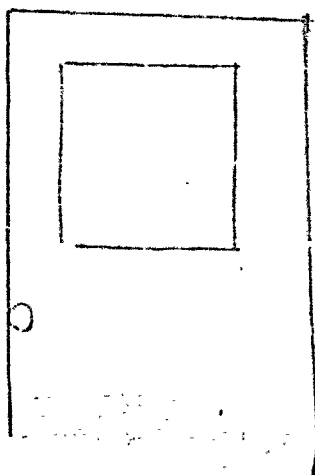
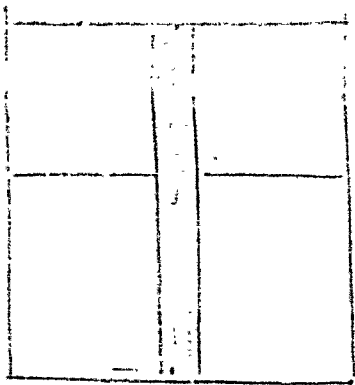
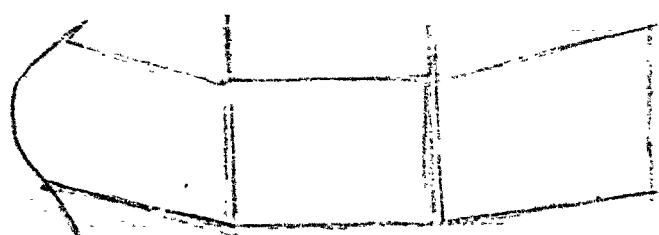
Signature of owner

Mitchell Cape

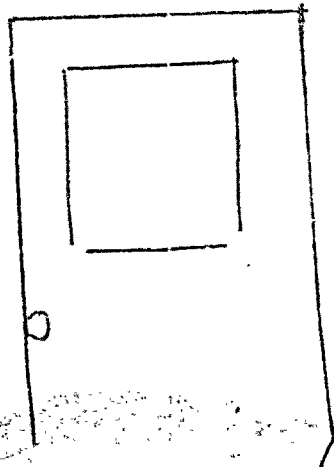
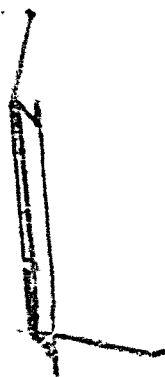
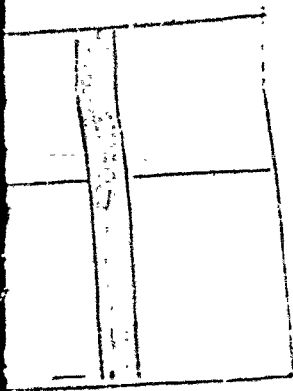
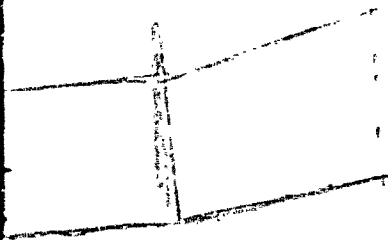
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100



SIGN

2 FT. X 3 FT.

DOUBLE FACE

GAL. IRON 26 GAUGE

WOOD FRAME 1" X 2"

ON KENMORE HOTEL BUILDING

104 OAK ST.





GENERAL BUSINESS ZONE

PERMIT ISSUED

Permit No. 1-1554  
24 1938

APPLICATION FOR PERMIT TO ERECT SIGN  
OVER PUBLIC SIDEWALK OR STREET

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, Sept. 23, 1938

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 106 Oak St. Ward 5 Within Fire Limits? yes Dist. No. 1  
Owner of building to which sign is to be attached Mrs. Alice Silverman, Kenmore Hotel  
Name and address of owner of sign E. W. Jones, Kenmore Cafe, 106 Oak St.  
Contractor's name and address G. J. Tainsh Sign Co., 225 1/2 Middle St. Telephone 4-1702  
When does contractor's bond expire? July 11-1939

Information Concerning Building

No. stories 15 Material of wall to which sign is to be attached brick

Details of Sign and Connections

Electric? no Vertical dimension after erection 3 feet Horizontal 2 feet  
Weight 20 lbs. Will there be any hollow spaces? no Any rigid frame? yes  
Material of frame wood No. advertising faces two material galv. iron  
No. rigid connections two Are they fastened directly to frame of sign? yes  
No. through bolts no Size no Location, top or bottom no  
No. guys two material angle iron and wire Size 1" angle 5 strand wire  
Minimum clear height above sidewalk or street 9 feet  
Maximum projection into street 2 feet

Fee \$ 1.00

INSPECTION COPY

OFFICE OF FIRE DEPT.

Signature of contractor G. J. Tainsh Sign Co.  
by Alice M. Tainsh

W 3 Permit No. 36/1559

Location 106 Oak St.

Owner Kennedy Cafe

Date of permit 9/24/36

Sign Contractor \_\_\_\_\_

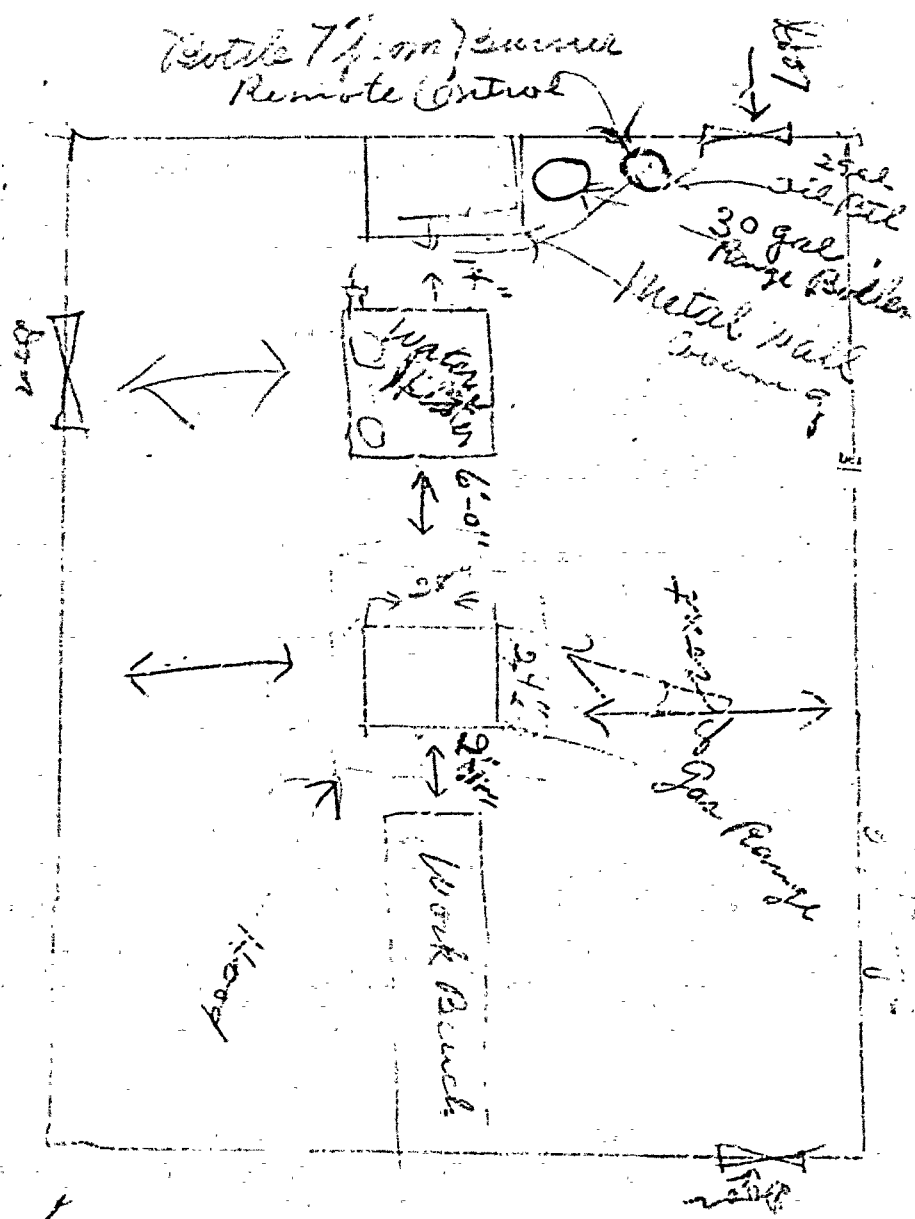
Final Inspn. 10/12/36

NOTES

~~Not Permitted  
9/24/36  
9/18/37  
Dist. Dept. of Public Works  
9/24/36 Sign for Kup. Bldg.~~

FOR PERMIT TO ERECT SIGN  
ON SIDEWALK OR STREET

Permit to sign and construction





FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED  
Permit No. 0744

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, June 2, 1936

The undersigned hereby applies for a permit to install the following heating, cooling or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location, 108 Oak Street

Use of Building Restaurant and Hotel

Name and address of owner Everett A. Jones, 104 Oak Street

Ward 5

Contractor's name and address Owner

Telephone

General Description of Work

To install gas fired restaurant range and oil hot water heater  
(hot water heater is ordinary range with oil burner)

CERTIFICATE OF OCCUPANCY  
REQUIREMENT IS WAIVED

IF HEATER, POWER BOILER OR COOKING DEVICE

Is heater or source of heat to be in cellar? yes If not, which story \_\_\_\_\_ Kind of Fuel gas and oil  
Material of supports of heater or equipment (concrete floor or what kind) wood - heater 14" above floor  
Minimum distance to wood or combustible material, from top of boiler or casing top of furnace, to be protected with metal  
from top of smoke pipe 2' from front of heater 3' from sides or back of heater 5'  
Size of chimney flue 8x12 Other connections to same flue none  
hood to be provided over range

IF OIL BURNER

Name and type of burner Economy not connected to burner  
Will operator be always in attendance? yes Labeled and approved by Underwriters' Laboratories? \_\_\_\_\_  
Location oil storage 5 gal. drum in rear shed Type of oil feed (gravity or pressure) \_\_\_\_\_  
Will all tanks be more than seven feet from any flame? \_\_\_\_\_ No. and capacity of tanks \_\_\_\_\_  
How many tanks fireproofed? \_\_\_\_\_

Amount of fee enclosed? 1.50 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

INSPECTION COPY

Signature of contractor Everett A. Jones

6463P

Ward 5 Permit No. 36/744  
Location 106 Oak St.  
Owner Everett W. Jones  
Date of permit 6/2/36

Post Card sent

Notif. for insp.

Approval Tag issued

Oil-Burner Check-List (date)

1. Kind of heat

2.

3. Anti-siphon

4. Oil storage

5. Tank distance

6. Vent pipe

7. Fill pipe

8. Gauge

9. Rigidity

10. Feed safety

11. Pipe sizes and material

12. Control valve

13. Ash pit vent

14. Temp. or pressure safety

15. Instruction card

16.

NOTES

considered  
This must be listed  
as an Industrial  
burner - Wm D.

6/13/36. Hood not provided  
over range. Hood will be  
provided and bottle for  
hot water heater relocated  
by June 18<sup>th</sup> 36. C.S.G.

6/24/36. Work not done.  
Mr. Jones said this will be  
done by July 1<sup>st</sup> 36.

7/7/36. Hood provided  
over gas range and  
bottle location with  
remote control located  
as per plan, C.S.G.



CENTRAL BUSINESS ZONE

PERMIT ISSUED

APPLICATION FOR PERMIT TO ERECT SIGN 1407  
OVER PUBLIC SIDEWALK OR STREET SEP 18 1932

Portland, Maine, Sept 14, 1932

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 104 Oak St Ward 5 Within Fire Limits? yes Dist. No. 1  
Owner of building to which sign is to be attached Alice Silverman  
Name and address of owner of sign Alice Silverman 104 Oak St  
The Kimball System of Portland Telephone F 1514  
Contractor's name and address \_\_\_\_\_  
When does contractor's bond expire? February 1933

Information Concerning Building

CERTIFICATE OF OCCUPANCY  
REQUIREMENT IS WAIVED.

No. stories 4 Material of wall to which sign is to be attached brick

Details of Sign and Connections

NOTIFICATION BEFORE LATHING  
OR CLOSING-IN IS WAIVED

Electric? yes Vertical dimension after erection 3' Horizontal 5' 2"  
Weight 75 lbs lbs., Will there be any hollow spaces? yes Any rigid frame? yes  
Material of frame angle iron No. advertising faces 2 material metal  
No. rigid connections 4 Are they fastened directly to frame of sign? yes  
No. through bolts no Size \_\_\_\_\_ Location, top or bottom \_\_\_\_\_  
No. guys 3 material 1 1/2 x 1 1/2 angle and 3/8 bolts Size \_\_\_\_\_  
Minimum clear height above sidewalk or street 15 feet  
Maximum projection into street 6 feet Fee \$ \_\_\_\_\_

Signature of contractor

The Kimball System of Portland Inc.

INSPECTION COPY

Oliver T. Sanborn  
CHIEF OF FIRE DEPT.

Howard J. Curry Pres

8250

Ward 5 Permit No. 32/1407  
Loc 104 Oak St  
Owner Alice Silverman  
Date 9/13/32  
Sign Contractor \_\_\_\_\_  
Final Inspn. 7/29/32

NOTES

~~CHES PUBLIC SIDEWALK ON STREET  
DEFICIENCY FOR PERMIT TO ERECT SIGN~~

Signature of Contractor \_\_\_\_\_  
Signature of Inspector \_\_\_\_\_  
Date \_\_\_\_\_

PERMIT ISSUED  
Permit No. 2194

## APPLICATION FOR PERMIT

NOV 3 1927

Class of Building or Type of Structure Second ClassPortland, Maine, November 2, 1927

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ install the following ~~building structure~~ equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 106 Oak Street Ward 5 Within Fire Limits? Yes Dist. No. 1  
Owner or Lessee's name and address Mrs. Annie Smith, 106 Oak St. Telephone \_\_\_\_\_  
Contractor's name and address Portland Gas Light Co., 5 Temple St. Telephone F 5500  
Architect's name and address \_\_\_\_\_  
Proposed use of building Bakery No. families \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_

## Description of Present Building to be Altered

Material Brick No. stories 5 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Last use Store No. families \_\_\_\_\_

## General Description of New Work

To install a gas oven as per requirements of the Building Code

NOTIFICATION BEFORE LATHING  
OR CLOSING-IN IS WAIVED.  
CERTIFICATE OF OCCUPANCY  
REQUIREMENT IS WAIVED.

## Details of New Work

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
To be erected on solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_  
Kind of heat \_\_\_\_\_ Type of fuel \_\_\_\_\_ Distance, heater to chimney \_\_\_\_\_  
If oil burner, name and model \_\_\_\_\_  
Capacity and location of oil tanks \_\_\_\_\_  
Is gas fitting involved? \_\_\_\_\_ Size of service \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof.  
span over 8 feet. Sills and corner posts all one piece in cross section.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

## If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_  
Total number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

## Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no  
Plans filed as part of this application? no No. sheets \_\_\_\_\_  
Estimated cost \$ 170. Fee \$ .75  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Signature of owner Mrs. Annie Smith  
Portland Gas Light Co.

INSPECTION COPY

R

5203



Ward 5 Permit No. 57/2194  
Location 106 Oak St.  
Owner Mrs Annie Smith  
Date of permit Nov. 3/27  
Notif. closing-in \_\_\_\_\_  
Inspn. closing-in \_\_\_\_\_  
Final Notif. \_\_\_\_\_  
Final Inspn. \_\_\_\_\_  
Cert. of Occupancy issued none

NOTES

Water in all lines  
7/4/27 - C. S. 16

Sm. pipe only  
8+10 from ceiling  
11/2/28 C. S. 16

OK 11/17/28 Final  
none



*104 Oak St*  
City of Portland, Maine

Warren McDonald COMMITTEE ON SIGNS F E Sargent  
~~MEMORANDUM~~ INSPECTOR OF BUILDINGS ~~SEE COMMENTS~~ CITY ELECTRICIAN  
~~MEMORANDUM~~ CHIEF OF FIRE DEPARTMENT  
Oliver Sanborn

OFFICE OF INSPECTOR OF BUILDINGS

September 1

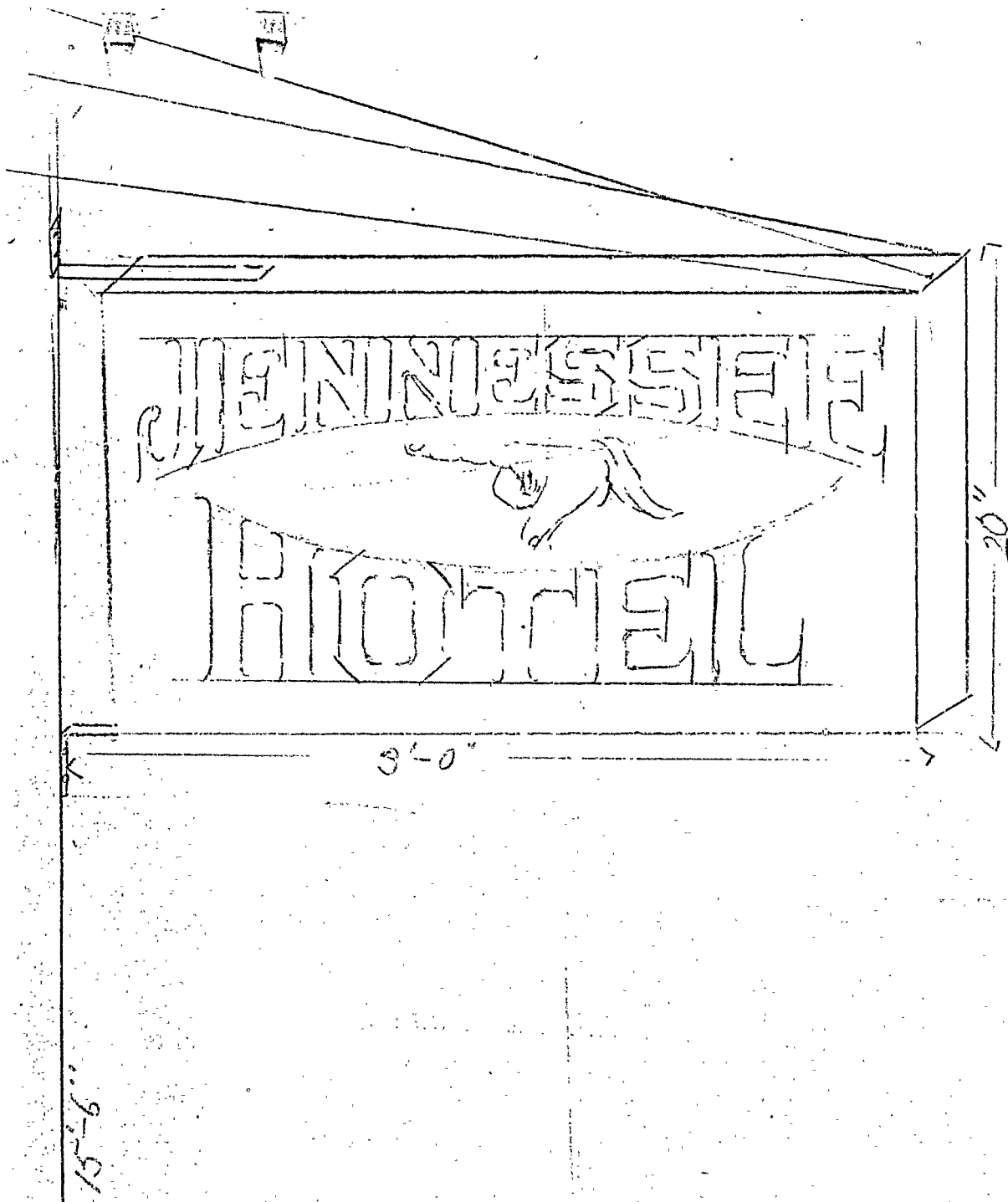
1925

This may certify that G C Tainsh Sign Co (Jennesssee Hotel  
has permission to erect a electrical sign on 104 Oak Street  
maintain a All connections to be at least  $\frac{1}{4}$ " metal, all connecting  
Ward 5 bolts at least  $\frac{5}{8}$ " diam.

Provided said electric sign to be steadfast and free from oscillation, and not to extend over or  
upon the sidewalk of said street more than 6 feet from the building line or the inside line of said sidewalk,  
and the lower edge of said sign to be fifteen feet or more above the grade of said sidewalk, and in all other particulars  
to be erected and maintained in accordance with the ordinances of the City of Portland relating to signs.

All illuminated signs shall be constructed of metal.

For Committee on Signs.



weight - approx. 30 lbs.

CITY OF PORTLAND, MAINE

389 CONGRESS STREET  
PORTLAND, MAINE 04101  
(207) 775-5451



DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

P. SAMUEL HOFFSES, CHIEF  
INSPECTION SERVICES DIVISION

April 21, 1988

RE: 104-106 Oak St. Portland, Maine  
Assessors 37-A-009

Stratford Management Associates  
98 Irving St.  
Winchester, Mass. 01890

Dear Sir:

Please have someone contact this office immediately to arrange for a housing and building inspection by this department.

The City of Portland Fire Department should be notified by you of the date for their inspection.

Please include a phone number where someone can be contacted at any time within 24 hours on any given day.

Sincerely,

*[Signature]*  
Hugh Irving  
Code Enforcement Officer

/el

cc: Joseph E. Gray, Jr., Director of Planning and Urban Development  
P. Samuel Hoffses, Chief of Inspection Services  
LT. James Collins, Fire Prevention

**City of Portland, Maine - Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 104 Oak St		Owner: Cloutier Toothaker		Phone:		Permit No: <b>960619</b>	
Owner Address:		Lease/Buyer's Name:		Phone:		Business Name:	
Contractor Name: Sentry Protective Systems		Address: 536 Riverside St		Phone: Pcld, ME 04103 797-7799		PERMIT ISSUED JUL - 1 1996 CITY OF PORTLAND	
Past Use: Apartment Building		Proposed Use: Same		COST OF WORK: \$ 4,200.00		PERMIT FEE: \$ 40.00	
Proposed Project Description:  <del>XXXXXXXXXXXXXXXXXXXX</del> Install Fire Alarm System		FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: Type:		Zone: CBL: 037-A-009	
		Signature: <i>[Signature]</i>		Signature:		Zoning Approval: <i>[Signature]</i> 6/27/96	
Permit Taken By: Mary Gresik		Date Applied For: 27 June 1996		PEDESTRIAN ACTIVITIES DISTRICT (P.U.D.) Action: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input checked="" type="checkbox"/> major <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

**PERMIT ISSUED  
WITH REQUIREMENTS**

**PERMIT ISSUED  
WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT: *[Signature]* Tim Johnson ADDRESS: DATE: 27 June 1996 PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE: White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

- Zoning Appeal**
- ☐ Variance
  - ☐ Miscellaneous
  - ☐ Conditional Use
  - ☐ Interpretation
  - ☐ Approved
  - ☐ Denied

- Historic Preservation**
- ☒ Not in District or Landmark
  - ☒ Does Not Require Review
  - ☐ Requires Review

- Action:**
- ☐ Approved
  - ☐ Approved with Conditions
  - ☐ Denied

Date: 6/27/96  
*[Signature]*

CEO DISTRICT *[Signature]*