

104-106 OAK STREET



SWAROVSKI

925K - 925S - 925L - 925LZ - 925SP - 925CZ - 925CR

City of Portland, Maine  
Fire Department

Mr. George Sanborn  
104 Oak St.  
Portland, ME

Re: Fire at 104 Oak St.

Dear Sir

On February 25, 1981 a fire occurred in the building listed above of  
which you are reported to be the owner ( ).

If permanent repair work is required for this building, you must obtain a permit  
from the Building & Inspection Department in City Hall before starting such work.

Very Truly Yours,

\_\_\_\_\_  
Chief  
Portland Fire Department

cc: Building & Inspection Department  
Corporation Counsel  
Health Department (Housing Div)  
City Assessor's (Mr. Lucci)

Cause arson. Bottom step of the staircase.

# APPLICATION FOR PERMIT



B.O.C.A. USE GROUP .....  
 B.O.C.A. TYPE OF CONSTRUCTION .....  
 ZONING LOCATION \_\_\_\_\_, PORTLAND, MAINE, Oct. 10, 1974...

PERMIT NUMBER  
0985

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ... 104 Oak Street ..... Fire District #1  #2   
 1. Owner's name and address ... Oak Realty Co., 34 Preble Street ..... Telephone 774-8013.....  
 2. Lessee's name and address ..... Telephone .....  
 3. Contractor's name and address ... owner ..... Telephone .....  
 4. Architect ..... Specifications ..... Plans ..... No. of sheets .....  
 Proposed use of building ... apt. 4 ..... No. families .....  
 Last use ..... No. families .....  
 Material ..... No. stories ..... Heat ..... Style of roof ..... Roofing .....  
 Other buildings on same lot .....  
 Estimated contractual cost \$ ..... Fee \$ 10.00 .....

FIELD INSPECTOR—Mr. *W.C. Cope* ..... GENERAL DESCRIPTION  
 This application is for: @ 775-5451 .....  
 Dwelling ..... Ext. 234 ..... To cover front ~~main~~ elevation only, with  
 Garage ..... aluminum siding  
 Masonry Bldg. .....  
 Metal Bldg. .....  
 Alterations .....  
 Demolitions .....  
 Change of Use .....  
 Other .....  
 Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO  1  2  3  4

Other: .....

## DETAILS OF NEW WORK

Is any plumbing involved in this work? ..... Is any electrical work involved in this work? .....  
 Is connection to be made to public sewer? ..... If not, what is proposed for sewage? .....  
 Has septic tank notice been sent? ..... Form notice sent? .....  
 Height average grade to top of plate ..... Height average grade to highest point of roof .....  
 Size, front ..... depth ..... No. stories ..... solid or filled land? ..... earth or rock? .....  
 Material of foundation ..... Thickness, top ..... bottom ..... cellar .....  
 Kind of roof ..... Rise per foot ..... Roof covering .....  
 No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat ..... fuel .....  
 Framing Lumber—Kind ..... Dressed or full size? ..... Corner posts ..... Sills .....  
 Size Girder ..... Columns under girders ..... Size ..... Max. on centers .....  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor ..... 2nd ..... 3rd ..... roof .....  
 On centers: 1st floor ..... 2nd ..... 3rd ..... roof .....  
 Maximum span: 1st floor ..... 2nd ..... 3rd ..... roof .....  
 If one story building with masonry walls, thickness of walls? ..... height? .....

## IF A GARAGE

No. cars now accommodated on same lot ...., to be accommodated ... number commercial cars to be accommodated ...  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

## APPROVALS BY:

## DATE

## MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER ..... Will work require disturbing of any tree on a public street? .....

## ZONING:

Will there be in charge of the above work a person competent  
 to see that the State and City requirements pertaining thereto  
 are observed? ..yes....

BUILDING CODE: *0-10-28.10/10/74*

Fire Dept.: .....

Health Dept.: .....

Others: .....

Signature of Applicant

Type Name of above ... Oak Realty Co. ....

Phone # .....

2  3  4

Other .....  
 and Address .....

FIELD INSPECTOR'S COPY

## NOTES

10-21-74 About done ~~Re~~

No covering dormers only

Re

Permit No. 74/955

Location 104 Lake St

Owner Clark ~~Architect Co~~

Date of permit 10/10/74

Approved

Revised

PERMIT NUMBER	3379	PERMIT TO INSTALL PLUMBING																																																																			
Date Issued	5-26	Address: 104 Beck St.																																																																			
PORTLAND PLUMBING INSPECTOR		Installation For:																																																																			
By: FF 21, 1/14		Owner of Bldg.: Minich Corp.																																																																			
APPROVED FIRST INSPECTION		Owner's Address: 34 Pachle St.																																																																			
Date	11-17	Plumber:	Wendell C. Miller	Date: 3-27																																																																	
By	J.	APPROVED FINAL INSPECTION																																																																			
<table border="1"> <thead> <tr> <th>NEW</th> <th>RE</th> <th>FR-POSED INSTALLATION</th> <th>NUMBER</th> <th>FEES</th> </tr> </thead> <tbody> <tr> <td></td> <td></td> <td>SINKS</td> <td></td> <td>5</td> </tr> <tr> <td></td> <td></td> <td>LAVATORIES</td> <td>15</td> <td>5-50</td> </tr> <tr> <td></td> <td></td> <td>TOILETS</td> <td>5</td> <td>1-50</td> </tr> <tr> <td></td> <td></td> <td>BATH TUBS</td> <td>5</td> <td>1-200</td> </tr> <tr> <td></td> <td></td> <td>SHOWERS</td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td>DRAINS</td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td>HOT WATER TANKS</td> <td>3</td> <td></td> </tr> <tr> <td></td> <td></td> <td>TANKLESS WATER HEATERS</td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td>GARBAGE GRINDERS</td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td>SEPTIC TANKS</td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td>HOUSE SEWERS</td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td>ROOF LEADERS (conn. to house drain)</td> <td></td> <td></td> </tr> </tbody> </table>					NEW	RE	FR-POSED INSTALLATION	NUMBER	FEES			SINKS		5			LAVATORIES	15	5-50			TOILETS	5	1-50			BATH TUBS	5	1-200			SHOWERS					DRAINS					HOT WATER TANKS	3				TANKLESS WATER HEATERS					GARBAGE GRINDERS					SEPTIC TANKS					HOUSE SEWERS					ROOF LEADERS (conn. to house drain)		
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SM 12-53 □																																																																					
PORTLAND HEALTH DEPT.		PLUMBING INSPECTION																																																																			
Total: 13. 100																																																																					

PERMIT NUMBER		3201			PERMIT TO INSTALL PLUMBING	
Date Issued		3-28-56			Address: 1416 8th St.	
Portland Plumbing Inspector					Installation For: <i>Rich Haven Apartments</i>	
By <i>J.P. McNamee</i>					Owner of Bldg.: <i>Rich Haven Apartments</i>	
APPROVED FIRST INSPECTION					Owner's Address: <i>Castille Street</i>	
Date <i>7-12-56</i>					Plumber: <i>P. Guichers</i> Date: 3-28-56	
By <i>J. McNamee</i>					PROPOSED INSTALLATIONS	
APPROVED FINAL INSPECTION					NUMBER	FEES
Date <i>7-12-56</i>					SINKS	
By <i>J. McNamee</i>					LAVATORIES	5 *5
TYPE OF BUILDING					TOILETS	5 150
<input type="checkbox"/> COMMERCIAL					BATH TUBS	5 150
<input type="checkbox"/> RESIDENTIAL					SHOWERS	5 150
<input type="checkbox"/> SINGLE					DRAINS	
<input type="checkbox"/> MULTI FAMILY					HOT WATER TANKS	3
<input type="checkbox"/> NEW CONSTRUCTION					TANKLESS WATER HEATERS	
<input type="checkbox"/> REMODELING					GASSEAGE GRINDERS	
					SEPTIC TANKS	
					HOUSE SEWERS	
					ROOF LEADERS (conn. to house drain)	
SM 12-53					PLUMBER INSPECTION	
					Total <i>15</i>	



## (G) GENERAL BUSINESS ZONE

## APPLICATION FOR PERMIT

Class of Building or Type of Structure... Second Class

PERMIT NO. 00191  
SE 9 29 1956

Portland, Maine, Feb. 20, 1956

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~make alterations~~ the following building ~~according~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 104 Oak St. Within Fire Limits? Yes Dist. No. 1  
 Owner's name and address Nathan Cope, 34 Prable St. Telephone  
 Lessee's name and address  
 Contractor's name and address The Mirat Corp., 34 Prable St. Telephone  
 Architect Specifications Plans no No. of sheets  
 Proposed use of building apartment house No. families  
 Last use  
 Material brick No. stories 4 Heat Style of roof  
 Other building on same lot  
 Estimated cost \$ 24,000. Fee \$ 24.00

## General Description of New Work

To repair after fire to former condition without alterations and without change of use, but if conditions in the areas of repair are found to be dangerously sub-standard of Building Code requirements, both Building Department and owner will be notified immediately. Fire took place recently.  
 2x8 floor joists, 16" on centers, 12' span.

CERTIFICATE OF OCCUPANCY  
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO The Mirat Corp.

## Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?  
 Is connection to be made to public sewer? If not, what is proposed for sewage?  
 Has septic tank notice been sent? Form notice sent?  
 Height average grade to top of plate Height average grade to highest point of roof  
 Size, front depth No. stories solid or filled land? earth or rock?  
 Material of foundation Thickness, top bottom cellar  
 Material of underpinning Height Thickness  
 Kind of roof Rise per foot Roof covering  
 No. of chimneys Material of chimneys of lining Kind of heat fuel  
 Framing lumber—Kind Dressed or full size?  
 Corner posts Sills Girt or ledger board? Size  
 Girders Size Columns under girders Size Max. on centers  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor 2nd 3rd roof  
 On centers: 1st floor 2nd 3rd roof  
 Maximum height: 1st floor 2nd 3rd roof  
 If one story building with masonry walls, thickness of walls? height?

## If a Garage

No. cars now accommodated on same lot , to be accommodated number commercial cars to be accommodated  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

## APPROVED:

## Miscellaneous

Will work require disturbing of any tree on a public street? no  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes  
 Nathan Cope

INSPECTION COPY

Signature of owner by:

C16-254-1N-Marks

*Nathaniel Cope*

## NOTES

3/5/56 - Inspect on 1st firestopping  
at Mitchell Cope. Firestoppings  
needed around chimneys at  
each floor, above chimneys  
floors on each side of  
chimneys on each floor  
except 1st flr and on  
2nd, 4th flr. On the 4th  
flor it will be firestopped  
in the ceiling on each side  
of the chimney. On the  
2nd, 3rd & 4th flr fire-  
stoppings will be installed  
above on each floor  
non Cope will call  
for a final inspection  
and everything is all  
right - All clear

3/5/56 - Told to check Mr  
Mitchell Cope by flr 1 (5PM)  
to tell for about ventilation  
of kitchens + bathrooms  
- All clear

3/6/56 - Ventilation of bathrooms  
& kitchens is O.K. Firestopping  
is O.K. on the 1st & 2nd floor  
except around chimneys & chimneys  
- All clear

3/7/56 - Went over some more  
of the firestopping. Mitchell  
Cope + his foreman - All clear

3/9/56 - Firestopping needed  
around chimneys in the 1st floor  
kitchens + roofs - All clear

3/14/56 - Told one of Mr. Cope's  
men that firestopping was  
needed in the 4 left chimneys on 4th  
flor - All clear

4/11/56 - Mitchell gone except  
for final work - All clear

Permit No. 56-191  
Location 104 Oak St.  
Owner Nathan Cope  
Date of permit 2/20/56  
Notif. closing-in 3/5/56  
Inspe. closing-in \_\_\_\_\_  
Final Notif. \_\_\_\_\_  
Final Inspn. 4/14/56  
Cert. of Occupancy issued \_\_\_\_\_  
Staking Out Notice \_\_\_\_\_  
Form Check Notice \_\_\_\_\_



104 S. Congress Street, Business Zone  
APPLICATION FOR PERMIT

Class of Building or Type of Structure

Portland, Maine, Oct. 27, 1954

PERMIT ISSUED

NOV 3 1954

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~reconstruct~~ and inclose the following building structure, etc., in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 104 Oak St.

Within Fire Limits? yes Dist. No. \_\_\_\_\_

Owner's name and address The Minat Corp., 220 Cumberland Ave. Telephone \_\_\_\_\_

Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_

Contractor's name and address Pallotta Oil Co., 112 Exchange St. Telephone 4-2571

Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 1

Proposed use of building apartment house No. families \_\_\_\_\_

Last use " " No. families \_\_\_\_\_

Material brick No. stories 5 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_

Other buildings on same lot \_\_\_\_\_

Estimated cost \$ 350. Fee \$ 2.00

General Description of New Work

To install 1-3000 gallon fuel oil tank and provide enclosure as per plans.

Permit Issued with Letter

DATE OF OCCUPANCY  
REQUERIMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Pallotta Oil Co.

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work? \_\_\_\_\_

Is connection to be made to public sewer? If not, what is proposed for sewage? \_\_\_\_\_

Has septic tank notice been sent? Form notice sent? \_\_\_\_\_

Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of, - - -

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_

Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_

Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_

Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_

No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_

Framing lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_

Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_

Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

Miscellaneous

Will work require disturbing of any tree or a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

The Minat Corp.  
Pallotta Oil Co.

INSPECTION COPY

Signature of owner by:

*Edward J. Pallotta*

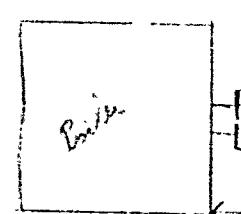
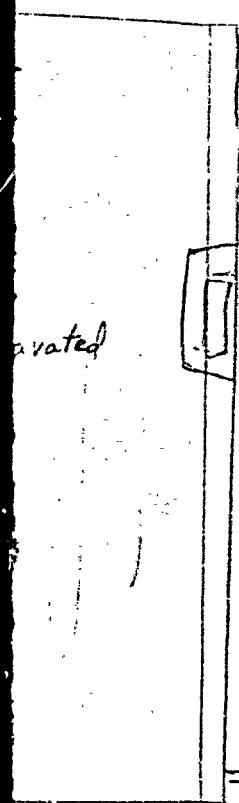
## NOTES

1/21/54 - 1st check issued Allen  
12/13/54 - 1st check issued Allen  
12/27/54 - Steel started work  
Jerdon Allen  
2/4/55 - Last 1st check issued  
Allen

Permit No. 54-1967  
Location 1st Park St.  
Owner The Minar Corp.  
Date of permit 11/5/54  
Notif. closing-in  
Insp. closing-in  
Final Notif.  
Final Inspn.  
Cert. of Occupancy issued  
Sealing Out Notice  
Form Check Notice

Next Building

Drive way



4'10"

12'5"

Brick

Present  
7-225 Oil Ths

Rear

Brick

Wood Partition  
6"

New tank to  
be installed here

Fire Proof ceiling  
Concrete floor

8'

Covered with  
Sheet Metal

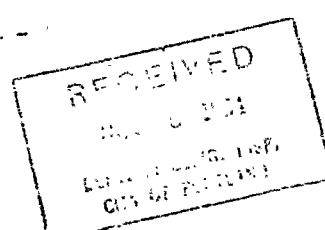
6" Wooden Partition

No Fire door

Ceiling height 7'6"

Hallway

Storage & Work Shop  
This side



Boiler Room Plan for Oak View

Scale  $\frac{1}{4}$ " = 1 foot.  
Pallotta Oil Co

To Front

oak St.

To Cumberland AV

Side St.

Front

unexcavated

8' drive

Next Building

4' 10"

12' 5"

Fire Proof ceiling  
Concrete floor

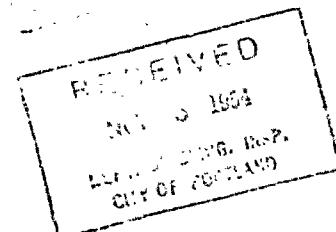
6" Wooden Partition  
No Fire door

Covered with  
Sheet Metal

ceiling high

Hallway

Janitors Apartment





FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR  
HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, 7/2/51

PERMIT NUMBER  
01261  
JUL 3 1951  
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 109 Oak St. Use of Building Apartments No. Stories 3 New Building  
Name and address of owner of appliance Minat Corp 220 Cumberland Ave. Existing  
Installer's name and address Pallotto Oil Co. Telephone 4-2671

General Description of Work

To install Oil Burner in Old Steam Boiler

IF HEATER, OR POWER BOILER

Location of appliance or source of heat ..... Type of floor beneath appliance .....  
If wood, how protected? ..... Kind of fuel .....  
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace .....  
From top of smoke pipe ..... From front of appliance ..... From sides or back of appliance .....  
Size of chimney flue ..... Other connections to same flue .....  
If gas fired, how vented? ..... Rated maximum demand per hour .....

IF OIL BURNER

Name and type of burner Fluid heat Pressure Labelled by underwriters' laboratories? Yes  
Will operator be always in attendance? No Does oil supply line feed from top or bottom of tank? Top  
Type of floor beneath burner Concrete .....  
Location of oil storage Park ..... Number and capacity of tanks 2 - 275 gal .....  
If two 275-gallon tanks, will three-way valve be provided? Yes .....  
Will all tanks be more than five feet from any flame? Yes ..... How many tanks fire proofed? .....  
Total capacity of any existing storage tanks for furnace burners None .....

IF COOKING APPLIANCE

Location of appliance ..... Kind of fuel ..... Type of floor beneath appliance .....  
If wood, how protected? .....  
Minimum distance to wood or combustible material from top of appliance .....  
From front of appliance ..... From sides and back ..... From top of smokepipe .....  
Size of chimney flue ..... Other connections to same flue .....  
Is hood to be provided? ..... If so, how vented? .....  
If gas fired, how vented? ..... Rated maximum demand per hour .....

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

RECEIVED

JUL 3 1951

DEPT. OF BLDG. INSP.  
CITY OF PORTLAND

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

Off 7-3-51 Rmt

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

INSPECTION COPY

Signature of Installer Pallotto Oil Co.  
E. J. Pallotto

## NOTES

1 Fill Pipe	
2 Vent Pipe	
3 Kind of Heat	
4 Burner Rigidity & Supports	
5 Name & Label	
6 Stack Control	
7 Burner Location	
8 Return Location	
9 Flue Gas Stack & Location	
10 Valve In Supply Line	
11 Capacity of Tanks	
12 Tank 1	
13 Tank 2	
14 Tank 3	
15 Inspection Date	
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(G) GENERAL BUSINESS ZONING  
APPLICATION FOR PERMIT



Class of Building or Type of Structure second

Portland, Maine, Jan 9, 1946

PERMIT ISSUED  
00073

JAN 15 1946

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the same specifications:

Location 104 Oak St.

Within Fire Limits? yes Dist. No. 1

Owner's name and address Nathan Cope 27 Wilmet St. Telephone 2-3604

Lessee's name and address None Telephone \_\_\_\_\_

Contractor's name and address owner Telephone \_\_\_\_\_

Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans \_\_\_\_\_ No. of sheets \_\_\_\_\_

Proposed use of building apartment house No. families 28

Last use apartment house No. families 28

Material brick No. stories 4 Heat steam Style of roof flat Roofing \_\_\_\_\_

Other buildings on same lot \_\_\_\_\_

Estimated cost \$ 300 Fee \$ 1.00

General Description of New Work

Repair after fire ~~alterations~~ first floor, cause defective wiring

CERTIFICATE OF OCCUPANCY  
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? no Is any electrical work involved in this work? yes

Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_

Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_

Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_

Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_

No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_

Framing lumber-Kind hemlock Dressed or full size? dressed

Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_

Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

Maxim. span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:


Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner Nathan Cope

*Nathan Cope*

Permit No 46173

Location 164 Oak St

Owner Nathan Cope

Date of permit 1/15/46

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn 1/17/46 0000

Cert. of Occupancy issued None

NOTES

1/17/46 Further inspection  
not necessary a/c.

(G) GENERAL BUSINESS ZONE  
APPLICATION FOR PERMIT

PERMIT IS ISSUED  
Permit No. 1886

Class of Building or Type of Structure Second Class

Portland, Maine, November 19, 1940

NOV 19 1940

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect and install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 104 Oak Street

Within Fire Limits? yes Dist. No. 1

Owner or lessee's name and address Mitchell, Cope, 22 Elmwood St. Telephone \_\_\_\_\_

Contractor's name and address The Fels Co., 42 Union St. Telephone 2-1939

Architect \_\_\_\_\_

Plans filed yes No. of sheets 3

Proposed use of building Apartment house No. families \_\_\_\_\_

Other buildings on same lot \_\_\_\_\_

Estimated cost \$ 150 Fee \$ 1.00

Description of Present Building to be Altered

Material brick No. stories 4 1/2 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_

Last use Apartment house No. families \_\_\_\_\_

General Description of New Work

To install wet pipe sprinkler system with alarm valve in basement and corridors as per plans

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? \_\_\_\_\_

Is any electrical work involved in this work? \_\_\_\_\_ Height average grade to top of plate \_\_\_\_\_

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_

To be erected on solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_

Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_

Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_

Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_

No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_

Kind of heat \_\_\_\_\_ Type of fuel \_\_\_\_\_ Is gas fitting involved? \_\_\_\_\_

Framing lumber-kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_

Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledge board? \_\_\_\_\_ Size \_\_\_\_\_

Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_ to be accommodated \_\_\_\_\_

Total number commercial cars to be accommodated \_\_\_\_\_

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner Mitchell Cope By The Fels Co.

By Charles H. Nelson

Permit No. 40/1886  
Location 104 Oak St.  
Owner Mitchell Cope  
Date of permit 1/17/40  
Notif. closing-in.  
Inspn. closing-in.  
Final Notif.  
Final Inspn. 1/13/40  
Cert. of Occupancy issued None

NOTES  
1/13/40 - Installation  
completed - 2/1/40

SPECIFICATIONS ACCOMPANYING APPLICATION OF MITCHELL COPE FOR A BUILDING PERMIT TO  
COVER ALTERATIONS IN AND CONVERSION OF THE BUILDING AT 104-106 OAK STREET, FORMERLY  
THE KENMORE HOTEL, FOR USE AS AN APARTMENT HOUSE.

May 31, 1940

1. These specifications are to be considered as much a part of the application for the building permit as though written on the application form, but failure to mention herein any requirements of the Building Code or any other law relating to the same subject matter shall not relieve owner, contractor, tenant or any other person from compliance therewith.

2. The existing air shaft running upwards from the second floor level will be lined on the inside with sheet metal, gypsum wallboard of similar incombustible material made tight at window openings and everywhere else. The floor will be covered with similar incombustible material and the windows opening from the shaft whether to hallways or to kitchenettes or any other place will be glazed with wire glass.

3. The building will be equipped with a standard automatic sprinkler system covering the entire cellar or basement including all apartments that may be in the cellar or basement, all hallways and stairways and all concealed attic or other spaces. Plans of the sprinkler system bearing the stamp of approval of the New England Insurance Exchange will be filed with the Inspector of Buildings before the installation of the system is commenced.

4. All toilet or bathrooms which do not have outside operative windows in them will be vented by means of metal ducts extending through the roof of the building, such ducts to be at least 56 square inches in cross section for each toilet or bathroom connected thereto.

5. All cooking in the building is to be done by gas. All ranges furnished by the owner will have vent outlets for the oven of each appliance and vent ducts will be provided for the ovens of all such appliances, whether the appliance is furnished by the owner or not, consisting of wrought iron pipe of the type usually used as water pipe in all parts not always exposed to the view and at least 26 gauge sheet metal in all other parts, such ducts to extend through the roof of the building and an adequate distance above the roof of the building, and to be not less than one square inch in area for each 15 cubic feet of gas per hour capacity of appliances connected thereto, horizontal flues to have a rise of not less than one foot in ten and to be 10% larger in area than vertical flues.

6. There will be at least one operative window not less than 6 square feet in area in the public and stairhalls of the building at each floor.

7. If there are any closets of any description beneath stairs in the building, they will be eliminated, and no new closets will be constructed beneath stairs.

8. Handrails, if not already provided, will be provided on at least one side of each flight of stairs.

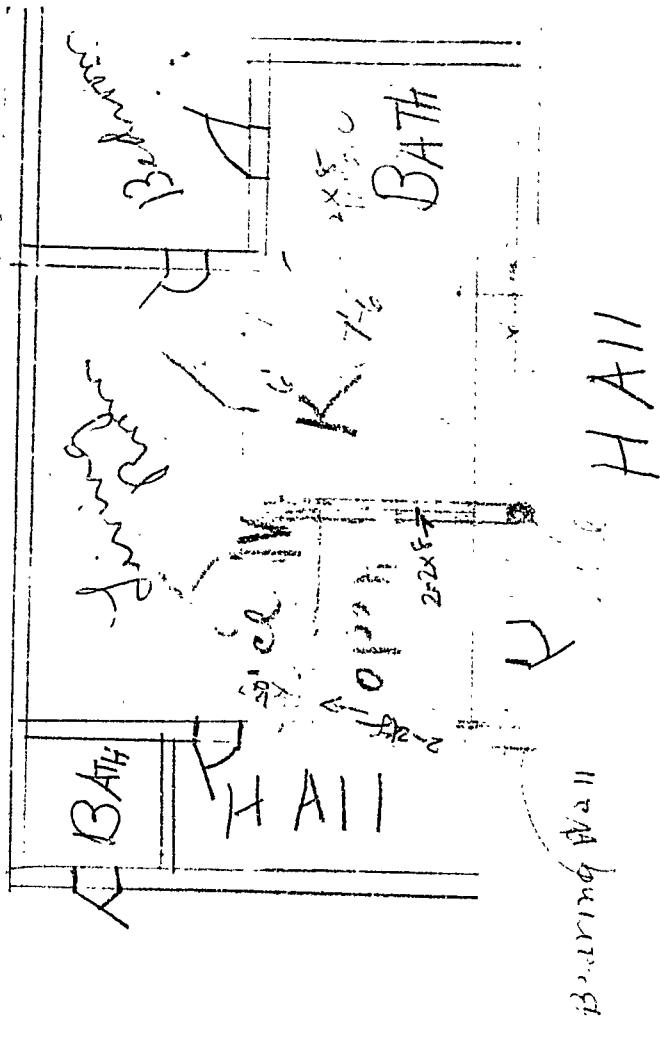
9. The rear brick wall of the building where bulging or cracking is in evidence will be thoroughly rebuilt or permanently repaired so as to be undoubtedly safe and sound.

10. A number of the partitions enclosing public halls and stair halls are to be reconstructed at new locations and all of these as well as the ceiling over such public halls and the soffits, if any, under any <sup>new</sup> stairways will be covered on both sides with plaster on metal lath or <sup>an</sup> incombustible gypsum board plaster base.

11. Adequate artificial lighting on owner's meter will be provided in all public and stair halls to illuminate all means of egress, and these lights will be always kept burning from sunset to sunrise each night.

12. Chimneys will be repaired wherever necessary to make them sound. Fire stops will be introduced where opportunity is afforded during the alteration work to keep down the travel of possible fire in the building. Wherever inadequate conditions as to structural supports are encountered during the alteration work, adequate adjustments and strengthening will be introduced to fully take care of all loads according to Building Code standards.

Mitchell Tjzen



grate area not more than 9 square  
 feet - min. fire clay  
 self-closing hoppers so constructed  
 that when closed off while  
 hopper is being charged, there is  
 no risk to project into fire - area of  
 sum of openings not to exceed  $1\frac{1}{3}$   
 area of chimney top.

Scale  $\frac{1}{4}$ " = 1 FT



Original Permit No. 10171  
Amendment No. 1

### AMENDMENT TO APPLICATION FOR PERMIT 10171

Portland, Maine, July 15, 1940

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 10171 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 104-106 Oak St. Within Fire Limits? Yes Dist. No. 1

Owner's or Lessee's name and address Mitchell Cope 27 Winsor St.

Contractor's name and address Owner

Plans filed as part of this Amendment Yes No. of Sheets 1

Is any plumbing work involved in this work? Yes Is any electrical work involved in this work? Yes

Increased cost of work 150

Additional fee .25

Framing Lumber: Kind 2x6

Dressed or Full Size? Dressed

Description of Proposed Work  
The number of apartments will be 28 instead of 32 as called for in original permit  
reducing the estimated cost from \$5000 to \$4000.

To close off existing air shaft at all floor levels as per my plan, this section to be used  
as kitchenette with vent through roof at same height as in original permit. Floor 210-16'  
0.03 7'6" span. The other half of this shaft will have a closet 30" deep, with the remaining  
part open for future dumb waiter.

To build incinerator with chimney on concrete slab, brick to be fitted all around with fire brick  
lime wash between on top.

Approved:

*Mitchell Cope*  
Signature of Owner

Chief of Fire Department

Commissioner of Public Works

Approved: *7/29/40 - W.M.C.*  
Inspector of Buildings

CONSTRUCTION COPY

SPECIFICATIONS ACCOMPANYING APPLICATION OF MITCHELL COPE FOR A BUILDING PERMIT TO  
COVER ALTERATIONS IN AND CONVERSION OF THE BUILDING AT 113-116 OAK STREET, FORMERLY  
THE KENMORE HOTEL, FOR USE AS AN APARTMENT HOUSE.

May 31, 1940

1. These specifications are to be considered as much a part of the application for the building permit as though written on the application form, but failure to mention herein any requirements of the Building Code or any other law relating to the same subject matter shall not relieve owner, contractor, tenant or any other person from compliance therewith.

2. The existing air shaft running upwards from the second floor level will be lined on the inside with sheet metal, gypsum wallboard or similar incombustible material made tight at window openings and everywhere else. The floor will be covered with similar incombustible material and the windows opening from the shaft whether to hallways or to kitchenettes or any other place will be glazed with wire glass.

3. The building will be equipped with a standard automatic sprinkler system covering the entire cellar or basement including all apartments that may be in the cellar or basement, all hallways and stairways and all concealed attics or other spaces. Plans of the sprinkler system bearing the stamp of approval of the New England Insurance Exchange will be filed with the Inspector of Buildings before the installation of the system is commenced.

4. All toilet or bathrooms which do not have outside operative windows in them will be vented by means of metal ducts extending through the roof of the building, such ducts to be at least 56 square inches in cross section for each toilet or bathroom connected thereto.

5. All cooking in the building is to be done by gas. All ranges furnished by the owner will have vent outlets for the oven of each appliance and vent ducts will be provided for the ovens of all such appliances, whether the appliance is furnished by the owner or not, consisting of wrought iron pipe of the type usually used as water pipe in all parts not always exposed to the view and at least 26 gauge sheet metal in all other parts, such ducts to extend through the roof of the building and an adequate distance above the roof of the building, and to be not less than one square inch in area for each 15 cubic feet of gas per hour capacity of appliances connected thereto, horizontal flues to have a rise of not less than one foot in ten and to be 10% larger in area than vertical flues.

6. There will be at least one operative window not less than 6 square feet in area in the public and stairhalls of the building at each floor.

7. If there are any closets of any description beneath stairs in the building, they will be eliminated, and no new closets will be constructed beneath stairs.

8. Handrails, if not already provided, will be provided on at least one side of each flight of stairs.

9. The rear brick wall of the building where bulging or cracking is in evidence will be thoroughly rebuilt or permanently repaired so as to be undoubtedly safe and sound.

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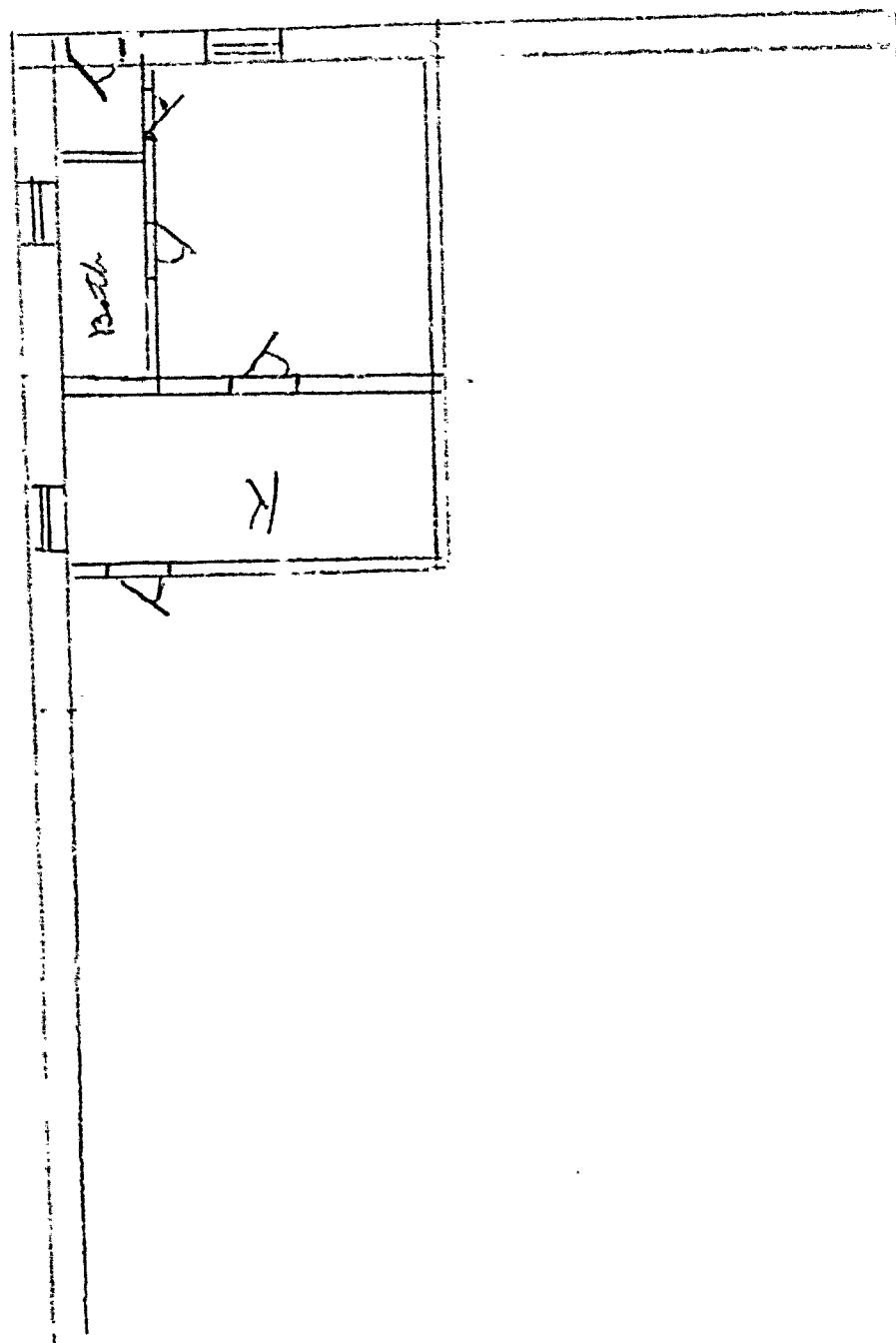
10. A number of the partitions enclosing public halls and stair halls are to be reconstructed at new locations and all of these as well as the ceiling over such public halls and the soffits, if any, under any stairs will be covered on both sides with plaster on metal lath or incombustible gypsum board plaster base. ✓

11. Adequate artificial lighting on owner's meter will be provided in all public and stair halls to illuminate all means of egress, and these lights will be always kept burning from sunset to sunrise each night. ✓

12. Chimneys will be repaired wherever necessary to make them sound. Fire stops will be introduced where opportunity is afforded during the alteration work to keep down the travel of possible fire in the building. Wherever inadequate conditions as to structural supports are encountered during the alteration work, adequate adjustments and strengthening will be introduced to fully take care of all loads according to Building Code standards.

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OK 5.



SPECIFICATIONS ACCOMPANYING APPLICATION OF MITCHELL COPE FOR A BUILDING PERMIT TO  
COVER ALTERATIONS IN AND CONVERSION OF THE BUILDING AT 104-106 OAK STREET, FORMERLY  
THE KENTON HOTEL, FOR USE AS AN APARTMENT HOUSE.

May 31, 1940

1. These specifications are to be considered as much a part of the application for the building permit as though written on the application form, but failure to mention herein any requirements of the building Code or any other law relating to the same subject matter shall not relieve owner, contractor, tenant or any other person from compliance therewith.

2. The existing air shaft running upwards from the second floor level will be lined on the inside with sheet metal, gypsum wallboard of similar combustible material made tight at window openings and everywhere else. The floor will be covered with similar incombustible material and the windows opening from the shaft whether to hallways or to kitchenettes or any other place will be glazed with wire glass.

3. The building will be equipped with a standard automatic sprinkler system covering the entire cellar or basement including all apartments that may be in the cellar or basement, all hallways and stairways and all concealed attics or other spaces. Plans of the sprinkler system bearing the stamp of approval of the New England Insurance Exchange will be filed with the Inspector of Buildings before the installation of the system is commenced.

4. All toilet or bathrooms which do not have outside operative windows in them will be vented by means of metal ducts extending through the roof of the building, such ducts to be at least 56 square inches in cross section for each toilet or bathroom connected thereto.

5. All cooking in the building is to be done by gas. All ranges furnished by the owner will have vent outlets for the oven of each appliance and vent ducts will be provided for the ovens of all such appliances, whether the appliance is furnished by the owner or not, consisting of wrought iron pipe of the type usually used as water pipe in all parts not always exposed to the view and at least 26 gauge sheet metal in all other parts, such ducts to extend through the roof of the building and an adequate distance above the roof of the building, and to be not less than one square inch in area for each 15 cubic feet of gas per hour capacity of appliances connected thereto, horizontal flues to have a rise of not less than one foot and to be 10% larger in area than vertical flues.

6. There will be at least one operative window not less than 6 square feet in area in the public and stairhalls of the building at each floor.

7. If there are any closets of any description beneath stairs in the building, they will be eliminated, and no new closets will be constructed beneath stairs.

8. Handrails, if not already provided, will be provided on at least one side of each flight of stairs.

9. The rear brick wall of the building where bulging or cracking is in evidence will be thoroughly rebuilt or permanently repaired so as to be undoubtedly safe and sound.

10. A number of the partitions enclosing public halls and stair halls are to be reconstructed at new locations and all of these as well as the ceiling over such public halls and the soffits, if any, under any stairways will be covered on both sides with plaster on metal lath or incombustible gypsum board plaster base.

11. Adequate artificial lighting on owner's meter will be provided in all public and stair halls to illuminate all means of egress, and these lights will be always kept burning from sunset to sunrise each night.

12. Chimneys will be repaired where necessary to make them sound. Fire stops will be introduced where opportunity is afforded during the alteration work to keep down the travel of possible fire in the building. Wherever inadequate conditions as to structural supports are encountered during the alteration work, adequate adjustments and strengthening will be introduced to fully take care of all loads according to Building Code standards.

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GENERAL BUSINESS ZONE *Permit No. 1000*  
APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class July 7 1949  
Portland, Maine, May 15, 1949

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect or alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

-106

Location 106 Oak Street Within Fire Limits? yes Dist. No. 1

Owner's or lessee's name and address Mitchell Garage, 27 Elmwood St. Telephone 2-3504

Contractor's name and address Owner Telephone \_\_\_\_\_

Architect \_\_\_\_\_ Plans filed yes No. of sheets 6

Proposed use of building Apartment House No. families 20

Other buildings on same lot \_\_\_\_\_

Estimated cost \$ 5,000. Fee \$ 3.75

Description of Present Building to be Altered

Material brick No. stories 4 Heat steam Style of roof flat Roofing T&G

Last use Hotel No. families \_\_\_\_\_

General Description of New Work

To make alterations to building as per plans submitted

To Repair roof covering

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? yes

Is any electrical work involved in this work? yes Height average grade to top of plate \_\_\_\_\_

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_

To be erected on solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_

Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_

Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_

Kind of Roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering Tar and gravel

No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_

Kind of heat \_\_\_\_\_ Type of fuel \_\_\_\_\_ Is gas fitting involved? \_\_\_\_\_

Framing Lumber—Kind \_\_\_\_\_ Dressed or Full Size? \_\_\_\_\_

Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_

Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_

Total number commercial cars to be accommodated \_\_\_\_\_

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

Miscellaneous

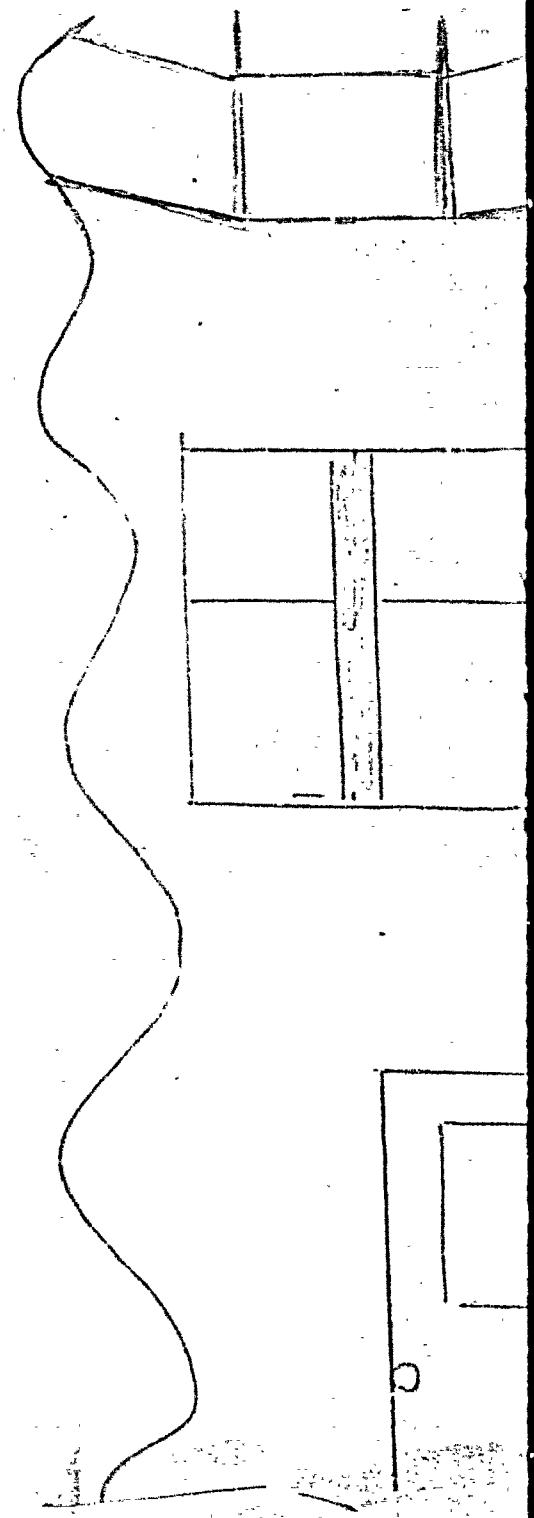
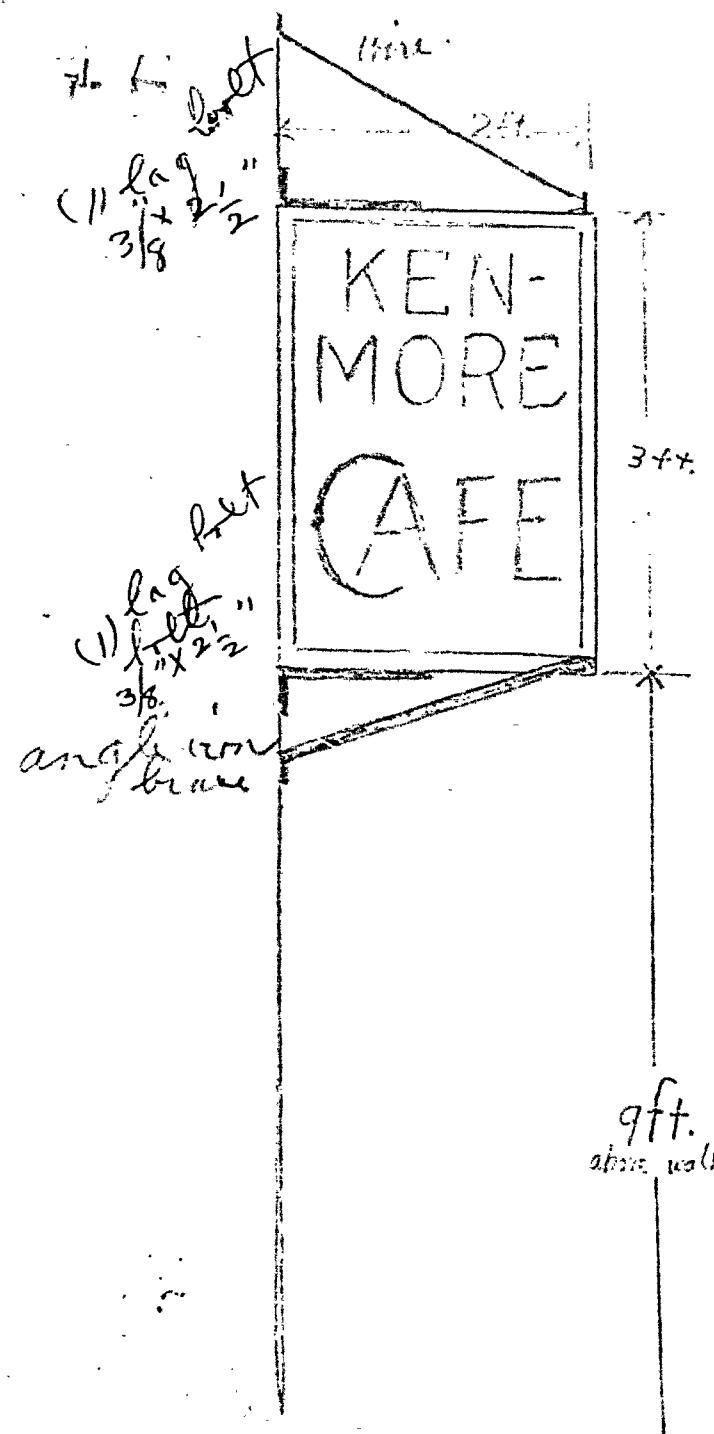
Will above work require removal or disturbing of any shade tree on a public street? no

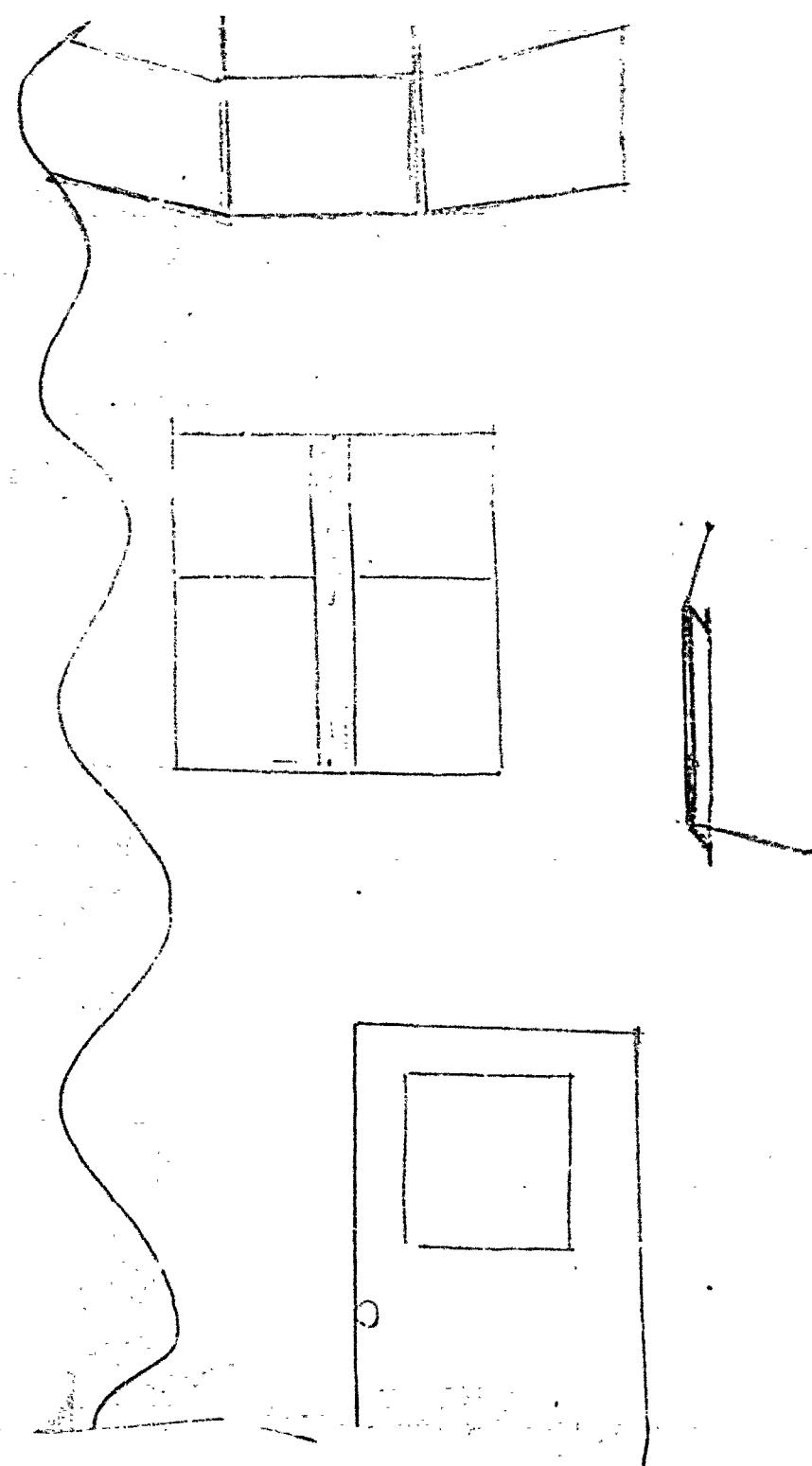
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Mitchell Topp

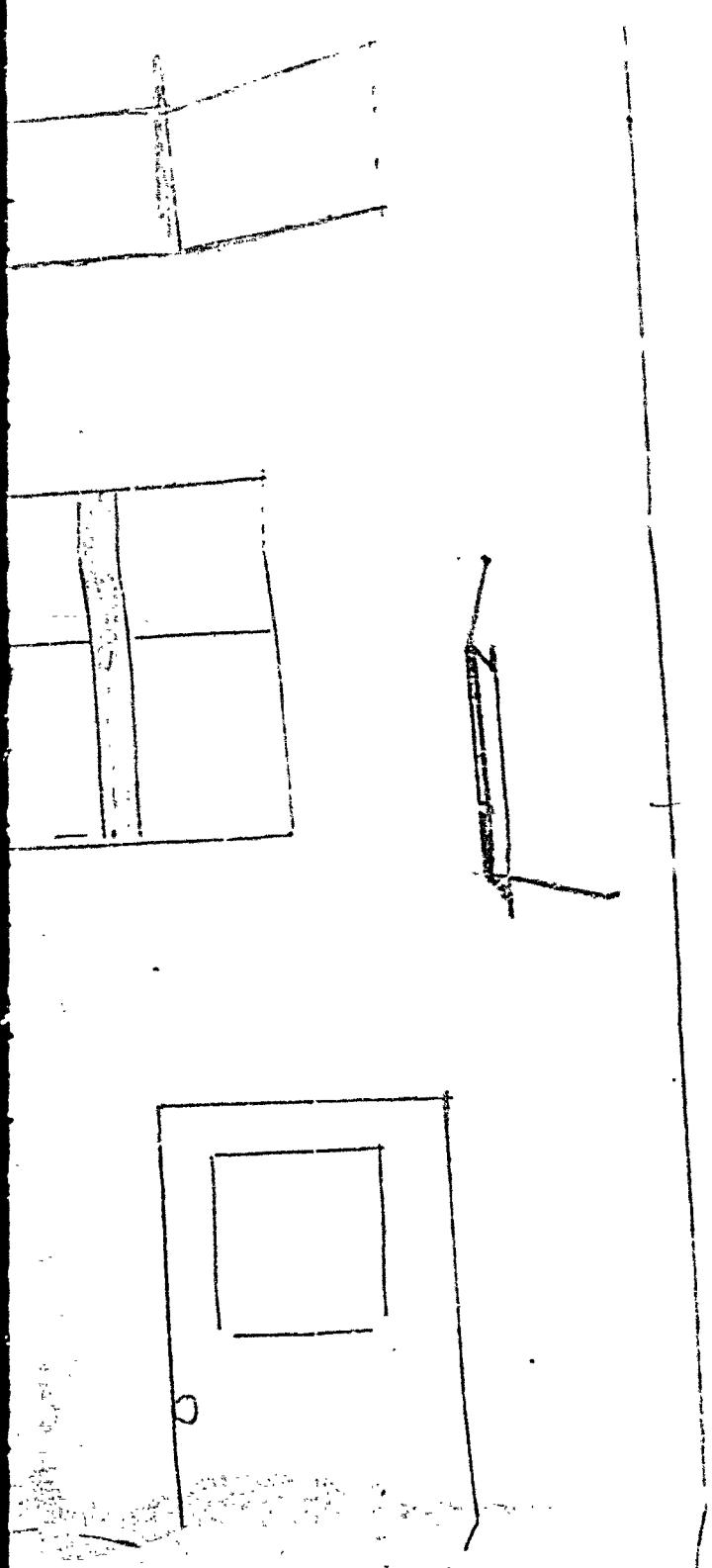
INSTRUCTION COPY







ON



SIGN  
2 ft. x 3 ft.  
DOUBLE FACE  
GAL. IRON 26 GAUGE  
WOOD FRAME 1" x 2"  
ON KENMORE HOTEL BUILDING  
104 OAK ST.



GENERAL BUSINESS ZONE

PERMIT ISSUED

Permit No. 1.554

Sept. 24, 1938

APPLICATION FOR PERMIT TO ERECT SIGN  
OVER PUBLIC SIDEWALK OR STREET

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 106 Oak St., Ward 6 Within Fire Limits? yes Dist. No. 1

Owner of building to which sign is to be attached Mrs. Alice Silverman, Kenmore Hotel,

Name and address of owner of sign E. W. Jones, Kenmore Cafe, 106 Oak St.,

Contractor's name and address G. C. Tainsh Sign Co., 225 Middle St., Telephone 4-1702

When does contractor's bond expire? July 11, 1937.

Information Concerning Building

No. stories 1 Material of wall to which sign is to be attached brick

Details of Sign and Connections

Electric? no Vertical dimension after erection 8 feet Horizontal 2 feet

Weight 20 lbs, Will there be any hollow spaces? no Any rigid frame? yes

Material of frame wood No. advertising faces two material galv. iron

No. rigid connections two Are they fastened directly to frame of sign? yes

No. through bolts no Size no Location, top or bottom no

No. guys two material angle iron and wire Size 1" angle 5 strand wire

Minimum clear height above sidewalk or street 9 feet

Maximum projection into street 2 feet

Fee \$ 1.00

INVESTIGATION COPY

Signature of contractor  
Alvin D. Tainsh G. C. Tainsh Sign Co.  
by Alvin D. Tainsh

OFFICE OF FIRE DEPT.

Permit No. 36/1559

Location 106 Oak St.

Owner Kenmore Cafe

Date of permit 9/24/36

Sign Contractor

Final Inspn. 10/12/36

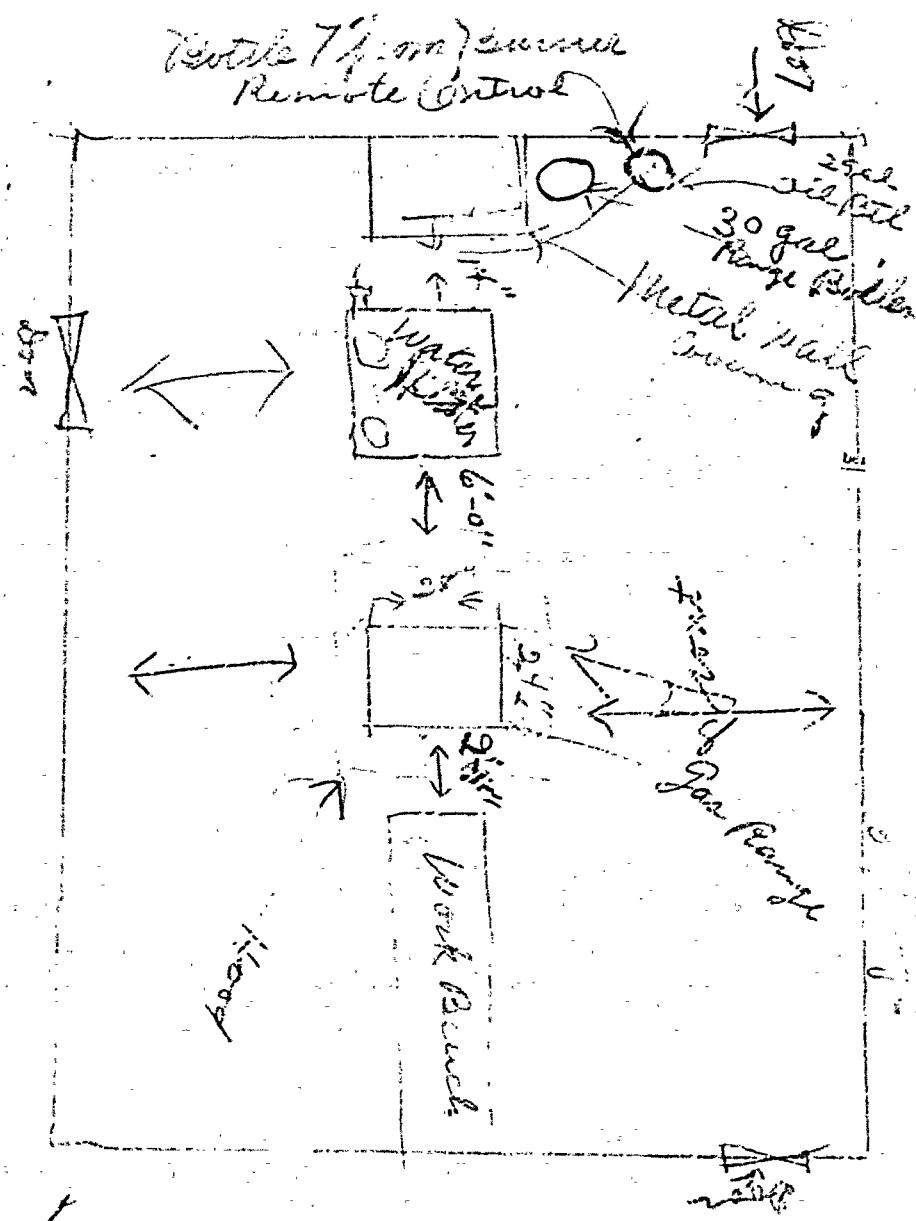
NOTES

Exempt Not Required  
Shop Insp. 9/29/36  
Sign Inspect. 9/18/37  
Post Office Inspect. 9/18/36

Sign on Artwork Construction

~~DEMOLITION~~

~~DEMOLITION~~





FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED

07-14

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, June 2, 1976

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location: 108 Oak Street

Use of Building: Restaurant and Hotel

Name and address of owner: Everett W. Jones, 104 Oak Street

Ward: 5

Contractor's name and address: Owner

Telephone: \_\_\_\_\_

General Description of Work

To install gas fired restaurant range and oil hot water heater  
(hot water heater is ordinary range with oil burner)

CERTIFICATE OF OCCUPANCY  
REQUIREMENT IS HANDED

IF HEATER, POWER BOILER OR COOKING DEVICE

Is heater or source of heat to be in cellar? yes If not, which story \_\_\_\_\_ Kind of Fuel: gas and oil

Material of supports of heater or equipment (concrete floor or what kind): concrete - heater 14" above floor  
Minimum distance to wood or combustible material, from top of boiler or casing top of furnace: 4 1/2"

from top of smoke pipe: 2' from front of heater: 3' from sides or back of heater: 5'

Size of chimney flue: 8:12 Other connections to same flue: none  
hood to be provided over range

IF OIL BURNER

Name and type of burner: Economy not connected to burner. Labeled and approved by Underwriters' Laboratories?

Will operator be always in attendance? \_\_\_\_\_ Type of oil feed (gravity or pressure) \_\_\_\_\_

Location oil storage: 5 gal. drum in rear shed No. and capacity of tanks: \_\_\_\_\_

Will all tanks be more than seven feet from any flame? \_\_\_\_\_ How many tanks fireproofed? \_\_\_\_\_

Amount of fee enclosed? 1.50 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

INSPECTION COPY

Signature of contractor: Everett W. Jones 6663

Ward 5 Permit No. 36/744

Location 106 Oak St.

Owner Everett W. Jones

Date of permit 6/2/36

Post Card sent

Notif. for inspn. None

Approval Tag issued 7/7/36, CSC

Oil Burner Check List (None)

1. Kind of heat Restaurant Range

2.

3. Anti-siphon

4. Oil storage

5. Tank distance

6. Vent pipe

7. Fill pipe

8. Gauge

9. Rigidity

10. Feed safety

11. Pipe sizes and material

12. Control valve

13. Ash pit vent

14. Temp. or pressure safety

15. Instruction card

16.

NOTES

considered

Place must be located  
as an Industrial  
burner - 20M

6/13/36. Hood not provided  
over range. Hood will be  
provided and bottle fu-  
lled water heater re-located  
by June 18th 36. CSC.

7/4/36. Work not done.  
Bottle and heater will be  
delivered June 1st. CSC.

7/7/36. Hood provided  
over gas range and  
bottle location with  
remote control located  
as per plan. CSC.



1) CENTRAL BUSINESS ZONE

PERMIT ISSUED

APPLICATION FOR PERMIT TO ERECT SIGN 1407  
OVER PUBLIC SIDEWALK OR STREET

SEP 13 1932

Portland, Maine, SEP 14, 1932

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.  
The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 104 Oak St Ward 5 Within Fire Limits?  Dist. No. 1

Owner of building to which sign is to be attached Alice Silverman

Name and address of owner of sign Alice Silverman 104 Oak St

Contractor's name and address The Kimball System of Portland Telephone F 1514

When does contractor's bond expire? February 1933

Information Concerning Building

CERTIFICATE OF OCCUPANCY  
REQUIREMENT IS WAIVED

No. stories 4 Material of wall to which sign is to be attached Brick

NOTIFICATION BEFORE LATHING  
OR CLOSING-IN IS WAIVED

Details of Sign and Connections

Electric? yes Vertical dimension after erection 5' Horizontal 5' 6"

Weight 75 lbs lbs. Will there be any hollow spaces?  Any rigid frame?

Material of frame angle iron No. advertising faces 2 material metal

No. rigid connections 4 Are they fastened directly to frame of sign?

No. through bolts no Size Location, top or bottom

No. guys 3 material  $1\frac{1}{2}$  x  $1\frac{1}{2}$  angle and  $3/8$  cable Size

Minimum clear height above sidewalk or street 16 feet

Maximum projection into street 6 feet

Fee \$

INSPECTION COPY

Signature of contractor Oliver T. Sembors

CHIEF OF FIRE DEPT.

The Kimball System of Portland Inc.

Borland J. Clegg Pres

cc 23

Ward 5 Permit No. 32/1407  
Loc 104 Oak St  
Owner Alice Silberman  
Date Permit 9/13/32

Sign Contractor

Final Inspn. 7/15/32

NOTES

Permit for Surface Side Wall of Street  
Sign

✓



PERMIT ISSUED  
Permit No. 2194

NOV 3 1927

## APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class

Portland, Maine, November 2, 1927

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~cross~~ alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 106 Oak Street Ward 5 Within Fire Limits? Yes Dist. No. 1

Owner's or Lessee's name and address Mrs. Annie Smith, 106 Oak St. Telephone

Contractor's name and address Portland Gas Light Co., 5 Temple St. Telephone F 5500

Architect's name and address

Proposed use of building Balcary No. families

Other buildings on same lot

### Description of Present Building to be Altered

Material Brick No. stories 6 Heat Style of roof Roofing

Last use Store No. families

### General Description of New Work

To install a gas oven as per requirements of the Building Code

NOTIFICATION BEFORE LATHE  
OR CLOSING-IN IS WAIVED.

CERTIFICATE OF OCCUPANCY  
REQUIREMENT IS WAIVED.

### Details of New Work

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_

To be erected on solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_

Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_

Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_

Kind of roof \_\_\_\_\_ Roof covering \_\_\_\_\_

No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_

Kind of heat \_\_\_\_\_ Type of fuel \_\_\_\_\_ Distance, heater to chimney \_\_\_\_\_

If oil burner, name and model \_\_\_\_\_

Capacity and location of oil tanks \_\_\_\_\_

Is gas fitting involved? \_\_\_\_\_ Size of service \_\_\_\_\_

Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_

Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_

Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof. span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_

Total number commercial cars to be accommodated \_\_\_\_\_

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

### Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? No

Plans filed as part of this application? No No. sheets \_\_\_\_\_

Estimated cost \$ 175. Fee \$ .75

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Mrs. Annie Smith  
Signature of owner  
Leased by Portland Gas Light Co.

INSPECTION COPY

Ward 5 Permit No. 27/2194

Location 106 Oak St.

Owner Mrs Annie Smith

Date of permit Mar. 3/27

Notif. closing-in

Inspr. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued None

NOTES

Not in collation  
14/2/27 C1 No

Specification only  
8x10 from ceiling  
1/12/27 C100  
OK 1/17/28 Final  
None



104 Oak st  
City of Portland, Maine

Warren McDonald COMMITTEE ON SIGNS  
MEMBER OF COMMITTEE. INSPECTOR OF BUILDINGS F. E. Sargent  
MEMBER OF COMMITTEE. CHIEF OF FIRE DEPARTMENT CITY ELECTRICIAN  
Oliver Sanborn

OFFICE OF INSPECTOR OF BUILDINGS

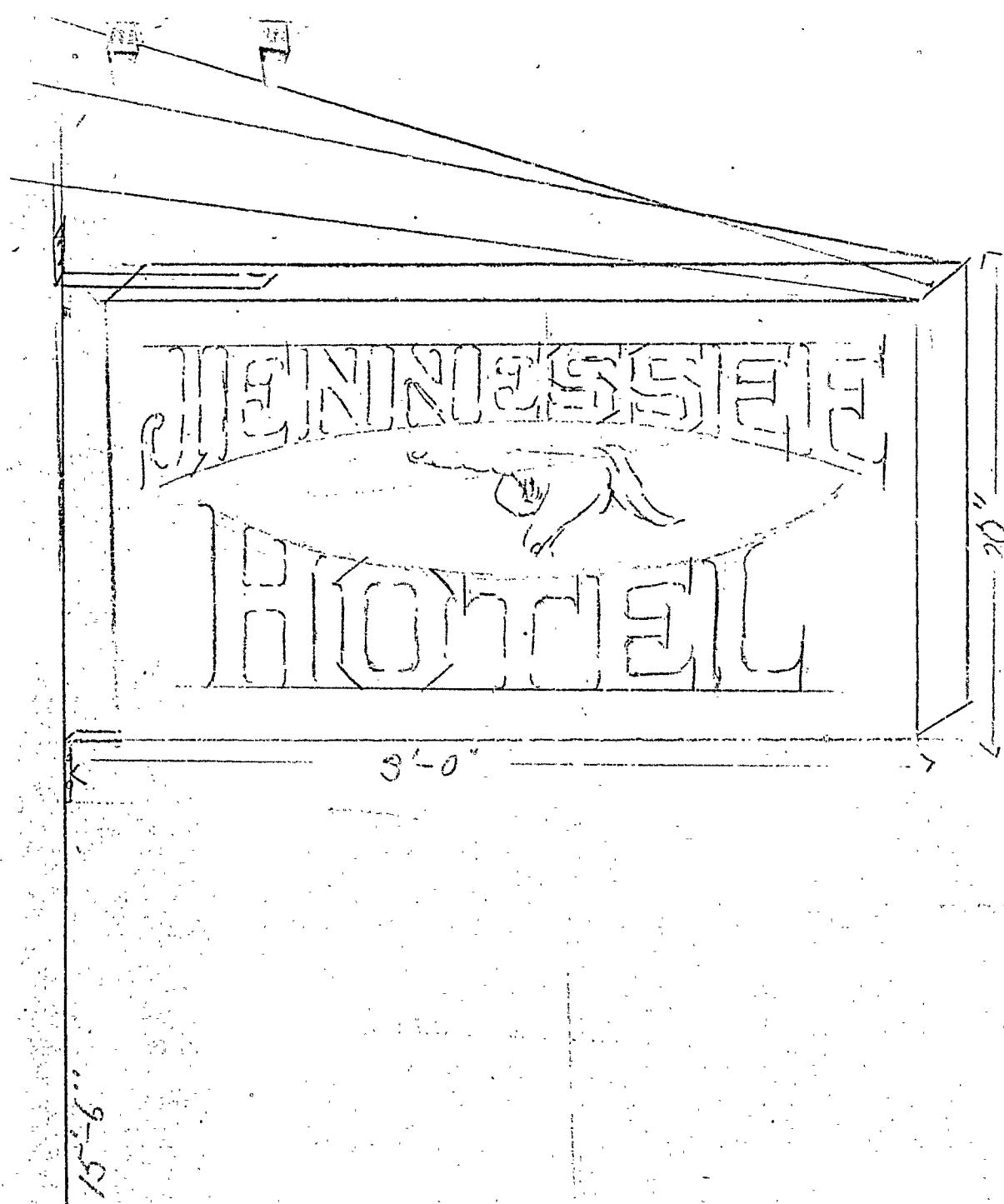
September 1

1925

This may certify that G C Tainsh Sign Co (Jennessse Hotel  
has permission to erect maintain a electrical sign on 104 Oak Street  
Ward 5 All connections to be at least  $\frac{1}{4}$ " metal, all connecting  
bolts at least  $\frac{5}{8}$ " diam.

Provided said electric sign to be steadfast and free from oscillation, and not to extend over or  
upon the sidewalk of said street more than 6 feet from the building line or the inside line of said sidewalk,  
and the lower edge of said sign to be fifteen feet or more above the grade of said sidewalk, and in all other particulars  
to be erected and maintained in accordance with the ordinances of the City of Portland relating to signs.  
All illuminated signs shall be constructed of metal.

For Committee on Signs.



weight - approx 30 lbs.

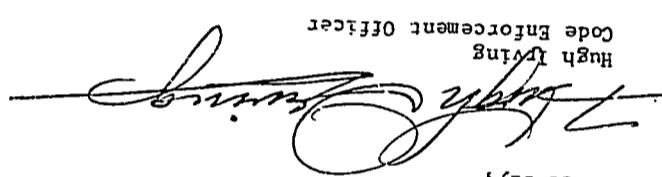
15-6"

cc: Joseph E. Gray, Jr., Director of Planning and Urban Development  
P. Samuel Hoffses, Chief of Inspection Services  
L. James Collins, Fire Prevention

/el

Hugh Irving  
Code Enforcement Officer

Sincerely,



Please include a phone number where someone can be contacted at any time  
within 24 hours on any given day.  
The City of Portland Fire Department should be notified by you of the date  
for their inspection.  
Please have someone contact this office immediately to arrange for a housing  
and building inspection by this department.

Dear Sir:

Streetford Management Associates  
98 Irving St.  
Wincsster, Mass. 01890

RE: 104-106 Oak St., Portland, Maine  
Assessors 37-A-009

April 21, 1988

P. SAMUEL HOFFSES, CHIEF  
DEPARTMENT OF PLANNING & URBAN DEVELOPMENT  
INSPECTION SERVICES DIVISION

CITY OF PORTLAND, MAINE  
389 CONGRESS STREET  
PORTLAND, MAINE 04101  
(207) 775-5651



City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 104 Oak St	Owner: Cloutier Toothaker	Phone:	Permit No: <b>960619</b>
Owner Address:	Leasee/Buyer's Name:	Phone:	BusinessName:
Contractor Name: Sentry Protective Systems	Address: 536 Riverside St	Phone: Ptd, ME 04103 797-7799	Permit Issued: <b>PERMIT ISSUED</b>
Past Use: Apartment Building	Proposed Use: Same	COST OF WORK: \$ 4,200.00	PERMIT FEE: \$ 40.00
		FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type:
		Signature: <i>MM</i>	Signature:
Proposed Project Description:  XXXXXXXXXXXXXX Install Fire Alarm System		<b>PEDESTRIAN ACTIVITIES DISTRICT (P.U.D.)</b> Action: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Signature: Date:	
Permit Taken By: Mary Gresik	Date Applied For: 27 June 1996	Zoning Approval: <i>OK</i> 6/27/96 <b>Special Zone or Reviews:</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm	
1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..			
<b>CERTIFICATION</b> I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit			
SIGNATURE OF APPLICANT <i>Tim Johnson</i>	ADDRESS:	DATE: 7 June 1996	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE White-Permit Desk Greer-Assessor's Canarv-D.P.W. Pink-Public File Ivory Card-Inspector			
		<b>PERMIT ISSUED WITH REQUIREMENTS</b> <b>PERMIT ISSUED WITH REQUIREMENTS</b> Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Date: <i>6/27/96</i> <i>D. Andrews</i> CEO DISTRICT <b>5</b> <i>m. wing</i>	