

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-1063	Issue Date:	CBL: 036 I037001
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Location of Construction: 389 Cumberland Ave	Owner Name: Fidelity Partners	Owner Address: 556 Commercial St Ste 300	Phone: 415-788-0700
Business Name:	Contractor Name: Leddy Housen Associates	Contractor Address: 64 Eastern Promenade Portland	Phone: 2078718083
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B3/R6

Past Use: Back Bay Towers	Proposed Use: Back Bay Towers	Permit Fee: \$709.00	Cost of Work: \$98,000.00	CEO District: 2
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FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-2 Type: N/A 10/3/02
Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>

Proposed Project Description:
 Renovate Lobby and Spa Area

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: gad	Date Applied For: 09/18/2002	Zoning Approval	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>OK</i> <i>9/19/02</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
	<i>Separate permits are required for any new permits</i>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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02-1063

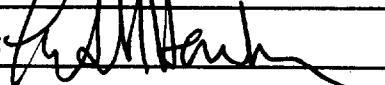
All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

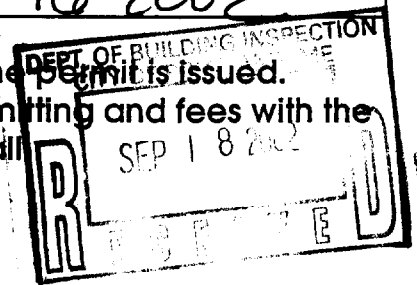
Location/Address of Construction: ^{389/} 401 Commercial Ave Portland Me		
Total Square Footage of Proposed Structure	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# 036 Block# I Lot# 037	Owner: Fidelity Partners	Telephone: 415-788-0700
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: Leddy Houser Assoc. 871-8083 64 Eastern Prom. P.O. Me 04101	Cost Of Work: \$ 98,000 Fee: \$ 709.
Current use: Lobby & SPA		
If the location is currently vacant, what was prior use: N/A		
Approximately how long has it been vacant: N/A		
Proposed use: Same		
Project description: Redecorate & Renovate - Lobby wall paneling, tile, blocked glass		
Contractor's name, address & telephone: Leddy Houser Associates 871-8083		
Who should we contact when the permit is ready: Leddy Houser Associates		
Mailing address: 64 Eastern Promenade Portland Me 04101 # Cell		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 871-8083 +1		

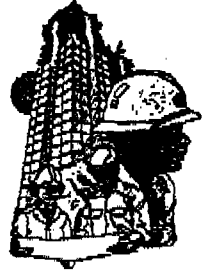
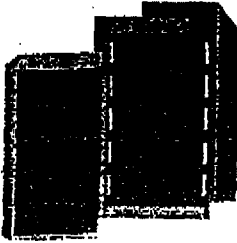
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 9-16-2002
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall





**CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Rm 315
Portland, ME 04101**

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: MICHAEL A. CARR, PRINCIPAL

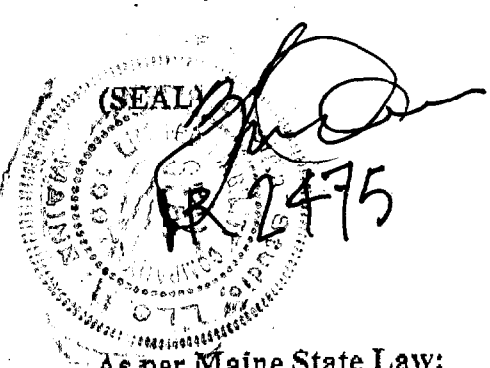
RE: Certificate of Design

DATE: Sept. 17, 2002

These plans and/or specifications covering construction work on:

THE LOBBY & SPA AREA @ BACK BAY TOWER
at 401 COMBERLAND AVE. PORTLAND ME 04101

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and local amendments.



Signature Michael A. Carr

Title PRINCIPLE

Firm WORLD DESIGN STUDIO, LLC.

Address 6 ECEVEN AVON STREET.
PORTLAND, MAINE 04101.

As per Maine State Law:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.



CITY OF PORTLAND
ACCESSIBILITY CERTIFICATE

Designer: WORLD DESIGN STUDIO, LLC.

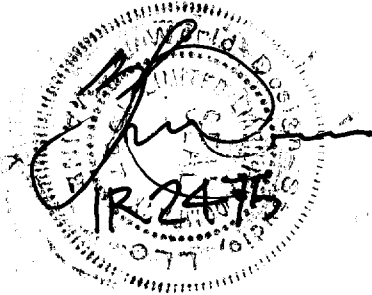
Address of Project BACK BAY TOWER 401 CUMBERLAND AVE, OHIO 1

Nature of Project RENOVATE REDECORATE LOBBY & SPA AREAS.

Date 09.17.02

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

(SEAL)



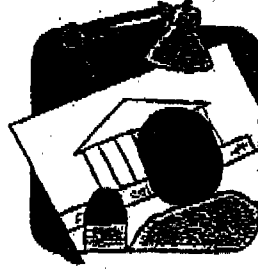
Signature *Michael H. [Signature]*

Title PRINCIPAL

Firm WORLD DESIGN STUDIO, LLC.

Address ELEVEN AVON STREET.
PORTLAND, MAINE OHIO 1.

Telephone 207-773-7652



CITY OF PORTLAND MAINE

389 Congress St., Rm 315
Portland, ME 04101
Tel. - 207-874-8704
Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services

FROM DESIGNER: Michael A. Carr Principal
World Design Studio, LLC.

DATE: Sept. 17, 2002.

Job Name: LOBBY & SPA RENOVATION @ BACK BAY TOWER
Address of Construction: 401 CUMBERLAND AVE, PORTLAND, ME 04101

THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION
Construction project was designed according to the building code criteria listed below:

Building Code and Year _____ Use Group Classification(s) _____

Type of Construction _____ Bldg. Height _____ Bldg. Sq. Footage _____

Seismic Zone _____ Group Class _____

Roof Snow Load Per Sq. Ft. _____ Dead Load Per Sq. Ft. _____

Basic Wind Speed (mph) _____ Effective Velocity Pressure Per Sq. Ft. _____

Floor Live Load Per Sq. Ft. _____

Structure has full sprinkler system? Yes _____ No _____ Alarm System? Yes _____ No _____
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building: Yes _____ No _____

If mixed use, what subsection of 313 is being considered _____

List Occupant loading for each room or space, designed into this Project.

(Designers Stamp & Signature)

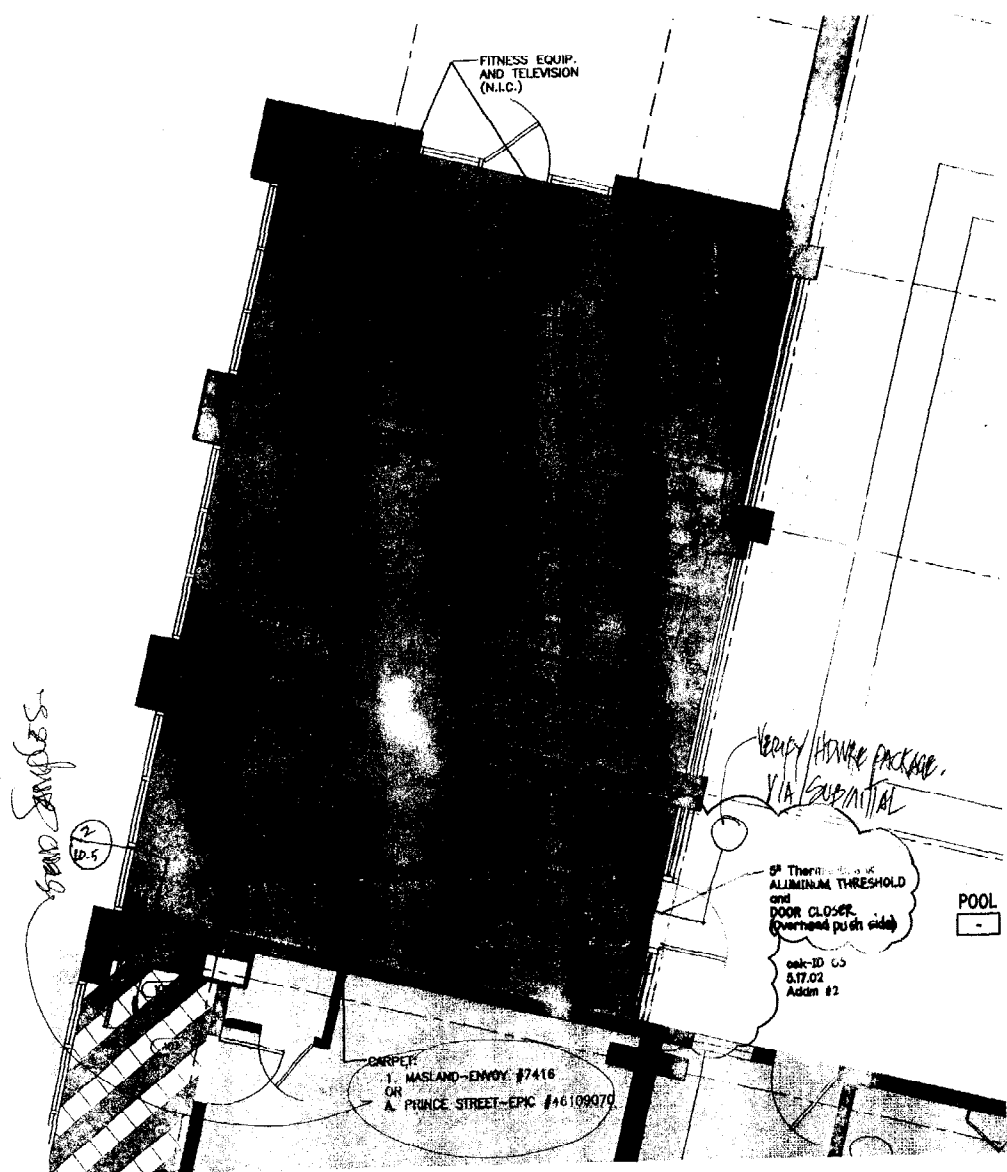


W O R L D

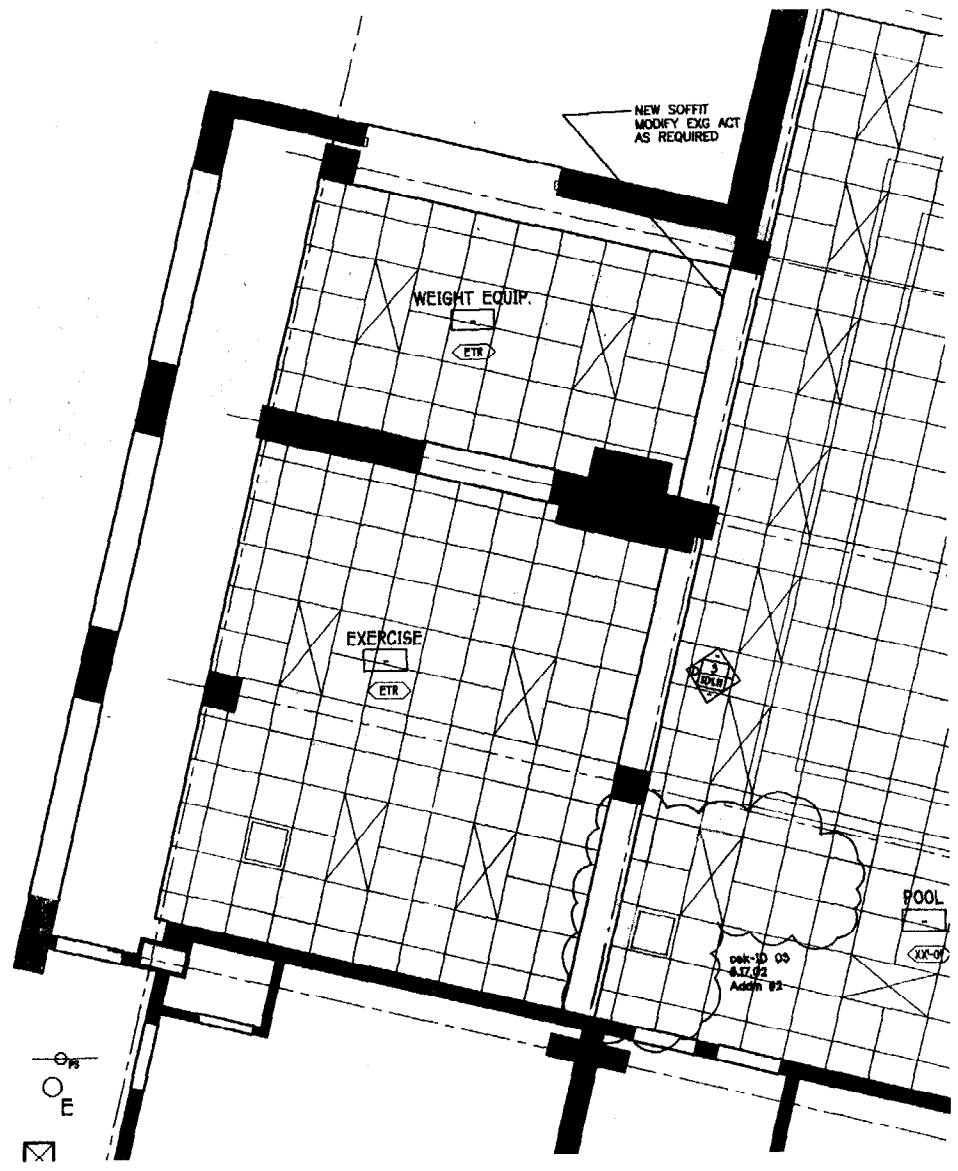
D E S I G N

S T U D I O

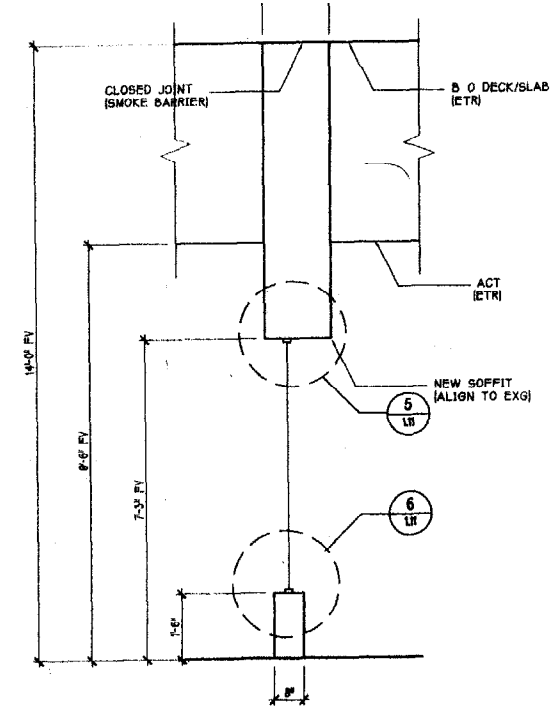
Kentel Reception - call 707-246-7510
- office
"fax 707-967-9907"
Fidelity - # 415-788-0700
fax 415-788-0495
550 canal st 94111 suite 300.



1 FLOOR PLAN
1/4"=1'-0"



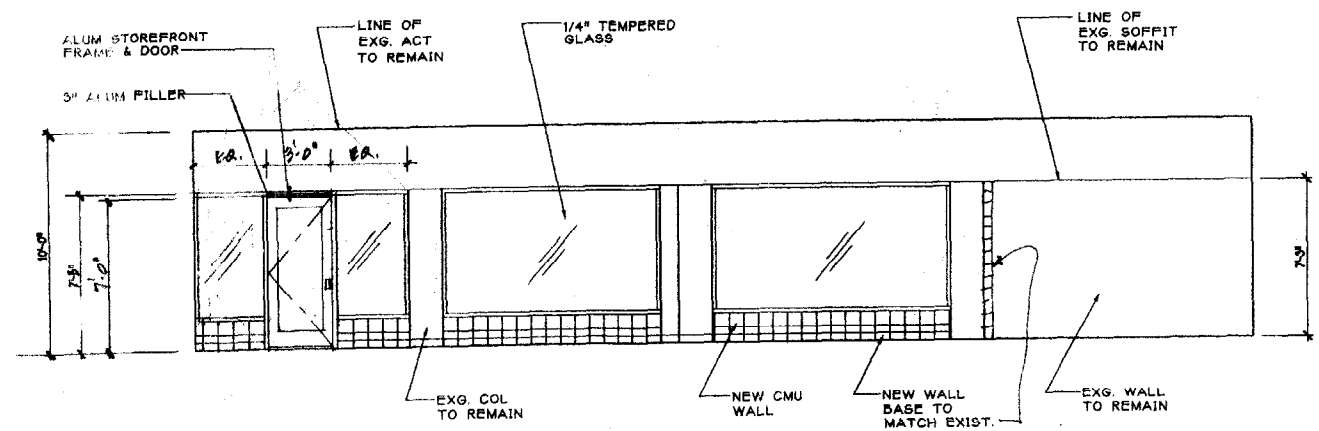
2 REFLECTED CEILING PLAN
1/4"=1'-0"



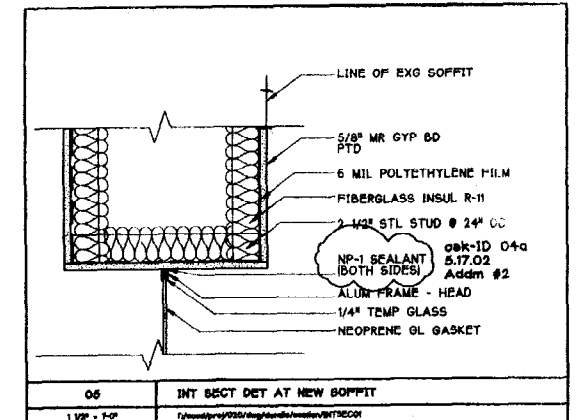
4 WALL SECTION
1/2"=1'-0"

KEY
BACK BAY TOWER - EXERCISE ROOM RENOVATION

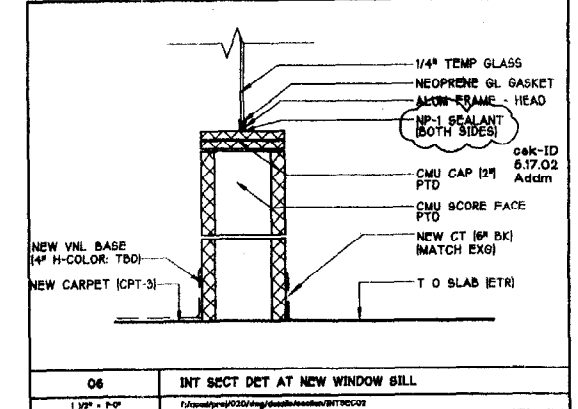
- EXISTING WALL TO REMAIN UNDISTURBED
- EXISTING BUILDING AREA TO REMAIN UNDISTURBED
- NEW FLOORING ATHLETIC CARPET



3 INT. ELEVATION (FACING POOL)
1/4"=1'-0"



06 INT SECT DET AT NEW SOFFIT
1/2" = 1'-0"



06 INT SECT DET AT NEW WINDOW BILL
1/2" = 1'-0"

Lobby & Spa Area Renovation
BACK BAY TOWER
 401 CUMBERLAND AVENUE
 PORTLAND, MAINE 04101
 FIDELITY PARTNERS
 SAN FRANCISCO CALIFORNIA

06.18.02

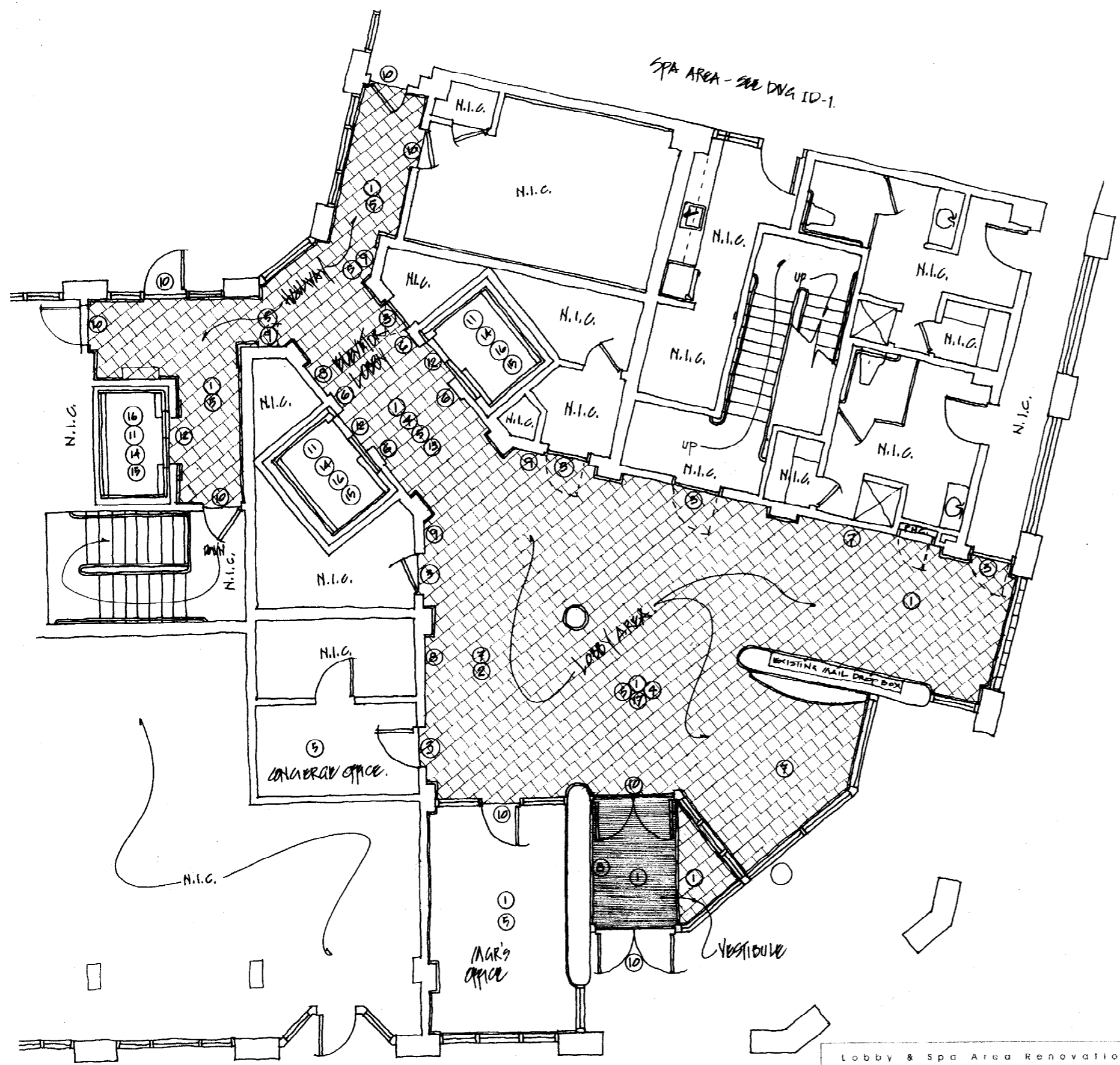
SPA AREA PLANS ELEVATIONS & DETAILS ID-1

Interior Design
 License
 IR 2475
 State of Maine

FACSIMILE 207 778 6643 TELEPHONE 207 778 7642

GENERAL SELECTIVE DEMOLITION NOTES.

World Design Studio
(NYS HEREINAFTER)



- 1 The Demolition Contractor shall be responsible of repair procedures for selective demolition operations.
- 2 The intent of the drawings is to include items necessary for the proper execution and completion of the demolition work. The demolition contractor shall review all drawings, and carefully verify existing conditions for coordination before proceeding with the work. ~~any~~ shall be notified immediately of any discrepancy.
- 3 All work shall be done in an orderly and professional manner. The Demolition Contractor is responsible to coordinate work to be done by subcontractors, with local authorities, state agencies, or utility companies that may have jurisdiction over this project during demolition operations.
- 4 Conduct demolition operations and remove debris to ensure minimum interference with roads, streets, walks, tenant egress and access, and other adjacent occupied and used facilities.
- 5 Demolition contractor shall visit the site at designated times to review existing conditions and should verify the location of existing utilities before commencing demolition work. Before starting work, the demolition contractor shall verify dimensions and elevations, shall survey all existing conditions, and shall prepare a list of existing damaged area documented by dated photographs and signed by the person conducting the survey.
- 6 All utility extensions and connections shall be done in accordance with the State of Maine and the City of Portland laws. In case of conflict, the most restrictive rule applies.
- 7 Equipment and Furnishing removed and not scheduled for relocation shall be turned over to the owner.
- 8 Where plumbing work is indicated to be removed, existing piping shall be capped below finish floor and/or wall surface. Incidental cutting and patching shall be finished to match existing adjacent construction.
- 9 Where new finishes are indicated to be provided such ^{as} suspended ceiling systems, base and floor finish, the demolition contractor shall remove existing finishes including light fixtures and electrical devices not scheduled or indicated to remain. Where existing flooring tile occurs and is not scheduled to remain, the demolition contractor shall remove and coordinate repair or fill-in with the general contractor as required to accommodate installation of new finish by other trades.
- 10 The Demolition Contractor shall be responsible to restore ceilings and partitions disturbed by demolition work to original condition or better.
- 11 During demolition phase, carefully maintain integrity of fire rated assemblies and fire protection equipment, appliances, and systems. Note: they shall remain undisturbed.
- 12 All demolition work shall conform to local, state, and federal safety standards and regulations including, but not limited to, Standard of Safeguarding Building Construction and Demolition Operations of the Department of Labor (DOL/OSHA-29 CFR 1910), and Construction Industry Standards (DOL/OSHA-29 CFR 1926).
- 13 The Demolition Contractor shall be responsible for removal and storage of all salvage items.
- 14 The Demolition Contractor shall be responsible for compliance with hauling and disposal regulations.
- 15 Incidental mechanical and electrical demolition work shall be coordinated with the general contractor, and shall be executed by a licensed mechanical or electrical contractor.
- 16 Owner will occupy portions of the building immediately adjacent to selective demolition area. Conduct demolition work so that Owner's operations will not be disrupted.
- 17 Provide not less than 72 hours' notice to Owner of activities that will affect Owner's operations.
- 18 Owner assumes no responsibility for actual condition of existing work to be selectively demolished.
- 19 Use repair materials equivalent to existing materials.
- 20 Patch and repair floor and wall surfaces in the new space where demolition operations occurred, and sweep the area broom clean on completion of selective demolition work.

INDEX of PLAN NOTES.

- ① Remove existing ceramic tile flooring.
- ② Remove existing reception desk, ~~including associated electrical work security system.~~ RELOCATE EXISTING JUNCTION BOXES PER ELEVATION 15/ID-8
- ③ Remove existing door leaf. Hardware to be re-installed in new door. Note: framing to remain.
- ④ Replace existing lamps at cove lighting (See RCP).
- ⑤ Remove existing carpet flooring.
- ⑥ Replace existing sconce lighting.
- ⑦ Remove existing furniture, and wall or ceiling mounted artwork.
- ⑧ Relocate electrical apparatus (box and plate) to face of new wall. (TYR THROUGHOUT AS NEC.)
- ⑨ REMOVE EXISTING WALL SCONCE & RELATED ELECTRICAL, PATCH & PAINT WALL.
- ⑩ Existing door to remain undisturbed.
- ⑪ Elevator cab walls and ceiling to be renovated.
- ⑫ Existing elevator car doors and frames to remain. Glued carpet on frame must be removed. Provide power tooling cleaning as required to receive new electro-painting.
- ⑬ Existing elevator hall fixtures (buttons, indicators) shall be relocated to face of panel.
- ⑭ Existing elevator car fixtures and cab front wall and control panel (S/S) to remain undisturbed.
- ⑮ Existing elevator cab handrail to be replaced.
- ⑯ Existing elevator cab flooring to be removed. Note: New insert carpet & dimensional stone border.
- ⑰ Ceiling fans shall be removed. Coordinate work with Mechanical contractor.

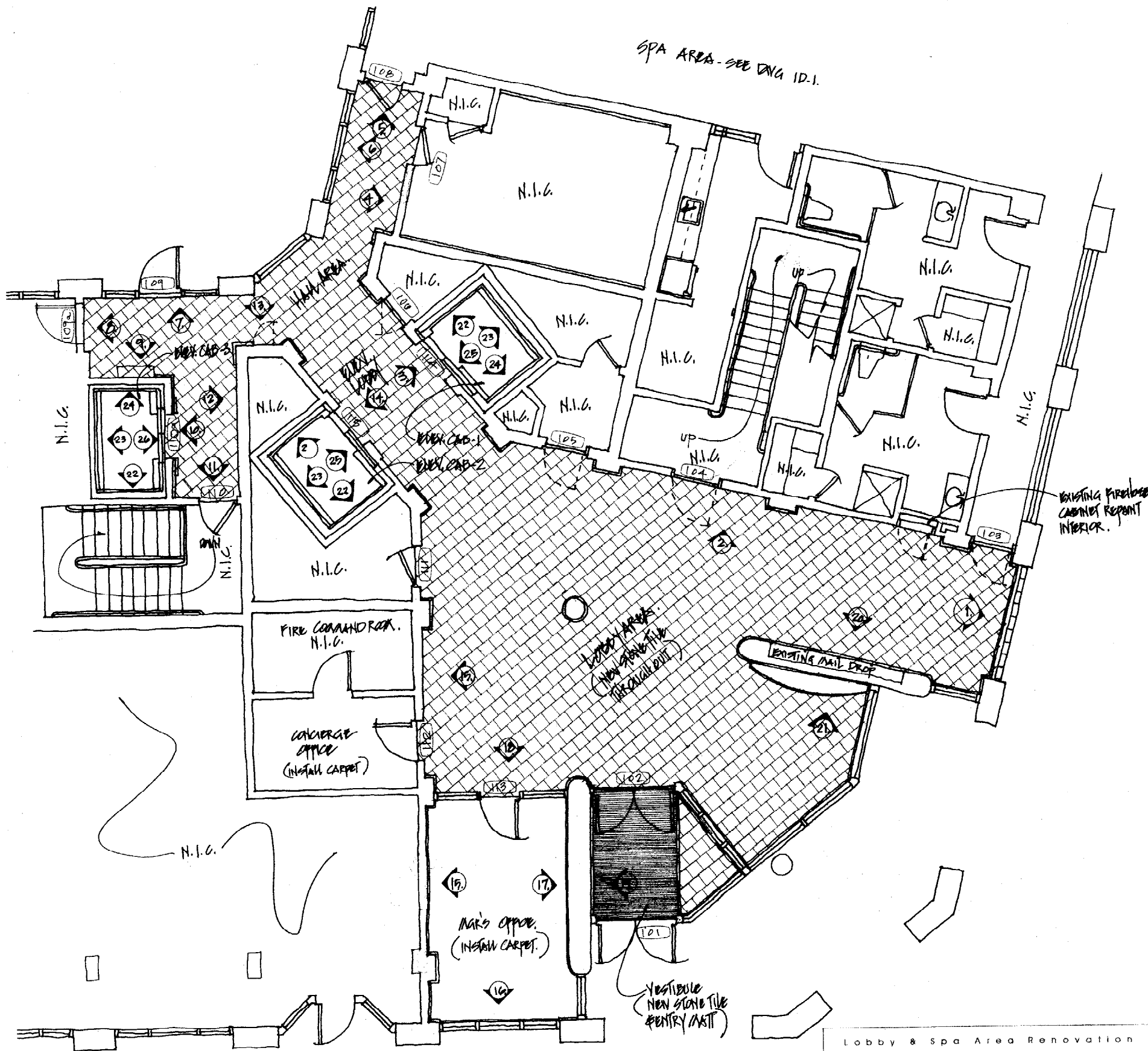
Lobby & Spa Area Renovation
BACK BAY TOWER
 401 CUMBERLAND AVENUE
 PORTLAND, MAINE 04101
 FIDELITY PARTNERS
 SAN FRANCISCO CALIFORNIA

Interior Design License IR 2475 State of Maine
 WORLD DESIGN STUDIO
 FACSIMILE 207 771 0241 TELEPHONE 207 771 7789

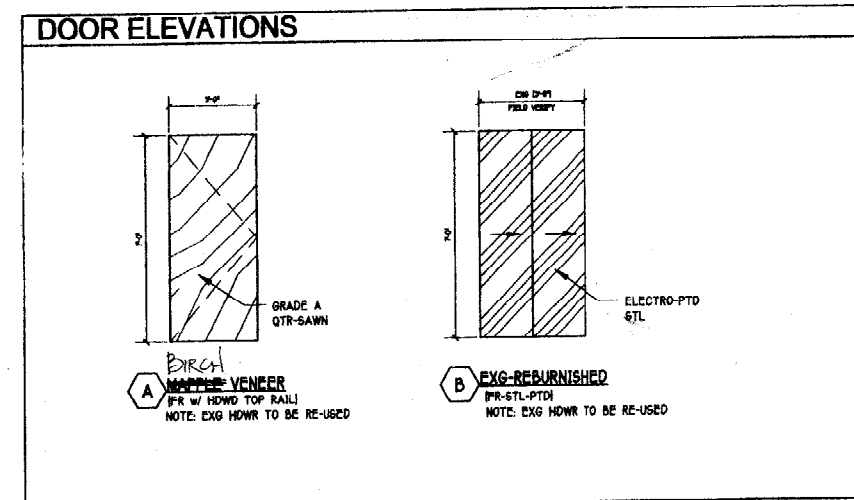
06.20.02
 SELECTIVE DEMOLITION PLAN
 ID-2

GENERAL NOTES:

- The intent of the drawings is to include items necessary for the proper execution and completion of the work. The contractor shall review all drawings, and carefully verify existing conditions for coordination before proceeding with the work. **WDS** shall be notified immediately of any discrepancy.
- All work shall be done in an orderly and professional manner. The Contractor is responsible for coordinating work to be done by its subcontractors, with local authorities, state agencies, or utility companies that may have jurisdiction over this project.
- All contractors shall visit the site at designated times to review existing conditions and should verify the location of existing utilities before commencing work.
- All utility extensions and connections shall be done in accordance with the State of Maine and the City of Portland laws. In case of conflict, the most restrictive rule applies.
- Fire and smoke barrier assemblies (existing to remain) shall be continuous including, but not limited to, unit demising walls, corridor walls, and other barriers forming or being part of fire compartments. Horizontal and vertical continuity shall be provided/maintained throughout full length of barrier, from outside wall to outside wall, from one fire barrier to another, from floor to floor, floor to roof, or a combination thereof, including interstitial spaces, protected openings, and by the construction assembly with a fire resistance rating not less than that of the fire barrier.
- Walls and partitions of protective rated shafts, i.e. hallways, exit enclosures, mechanical or electrical equipment shall be sealed in strict compliance of the indicated fire rating.
- The General Contractor shall be responsible to coordinate construction work of areas that have doors and windows removed to be infilled with framing and finishes in size and character to match adjacent existing or new construction.
- Exterior existing (face masonry) Wall shall remain undisturbed, unless otherwise noted.
- Interior drywall (facing Lobby) partition shall be painted, unless otherwise noted.
- Existing ACT-Ceiling and Drywall soffits, including cove lighting, shall be painted, unless otherwise noted.
- Existing doors shall be replaced, unless otherwise noted.
- Existing wall and ceiling light fixtures shall be replaced, unless otherwise noted.
- Existing wall and ceiling fire alarm appliances shall be replaced, unless otherwise noted.
- In all cases, dimensions take precedence over scale.
- Only persons properly trained and qualified in the specific trade shall install system being provided. The installer shall certify that the installation is in complete agreement with the manufacturer's instructions and the contract documents.
- General Contractor shall be responsible to incorporate and coordinate the owner-provided items and incidental mechanical or electrical work to be provided under separate contract.
- All interior joints between dissimilar materials, installed by the same or different trades, shall receive "caulking". General Contractor shall be responsible to delegate "caulking" work to the joint sealants sub-contractor.



DOOR SCHEDULE						
DOOR NO.	LOCATION	HT	DOOR WIDTH	THK	FIRE RATING	REMARKS (SEE ALTERNATE 3 BELOW)
101	ENTRANCE					EXG TO REMAIN UNDISTURBED
102	VESTIBULE					EXG TO REMAIN UNDISTURBED
103	FROM POOL	70"	30"	1-3/4"	B-20	- NEW
104	FROM STAIRS	70"	30"	1-3/4"	B-80	- "
105	TO CHUTE	70"	30"	1-3/4"	S-20	- "
106	UTILITY CL.	70"	30"	1-3/4"	S-20	- "
107	LAUNDRY					EXG TO REMAIN UNDISTURBED
108	F EXERCISE					EXG TO REMAIN UNDISTURBED
109	TO OUT DECK					EXG TO REMAIN UNDISTURBED
110	TO PKG STAIR					EXG TO REMAIN UNDISTURBED
111	ELECTRIC CL.	70"	30"	1-3/4"	B-80	- NEW
112	CONCIERGE	70"	30"	1-3/4"	C-45	- NEW
113	MGR'S OFFICE	70"	30"	1-3/4"	S-20	EXG TO REMAIN UNDISTURBED
114	ELEV CAB P1	70"	EXG		B-80	ELEV ENTRANCE
115	ELEV CAB P2	70"	EXG		B-80	ELEV ENTRANCE
109a	CLUB TENANT	"	"	"	"	EXISTG TO REMAIN UNDISTURBED
110a	ELEV CAB 3	"	"	"	"	ELEV ENTRANCE



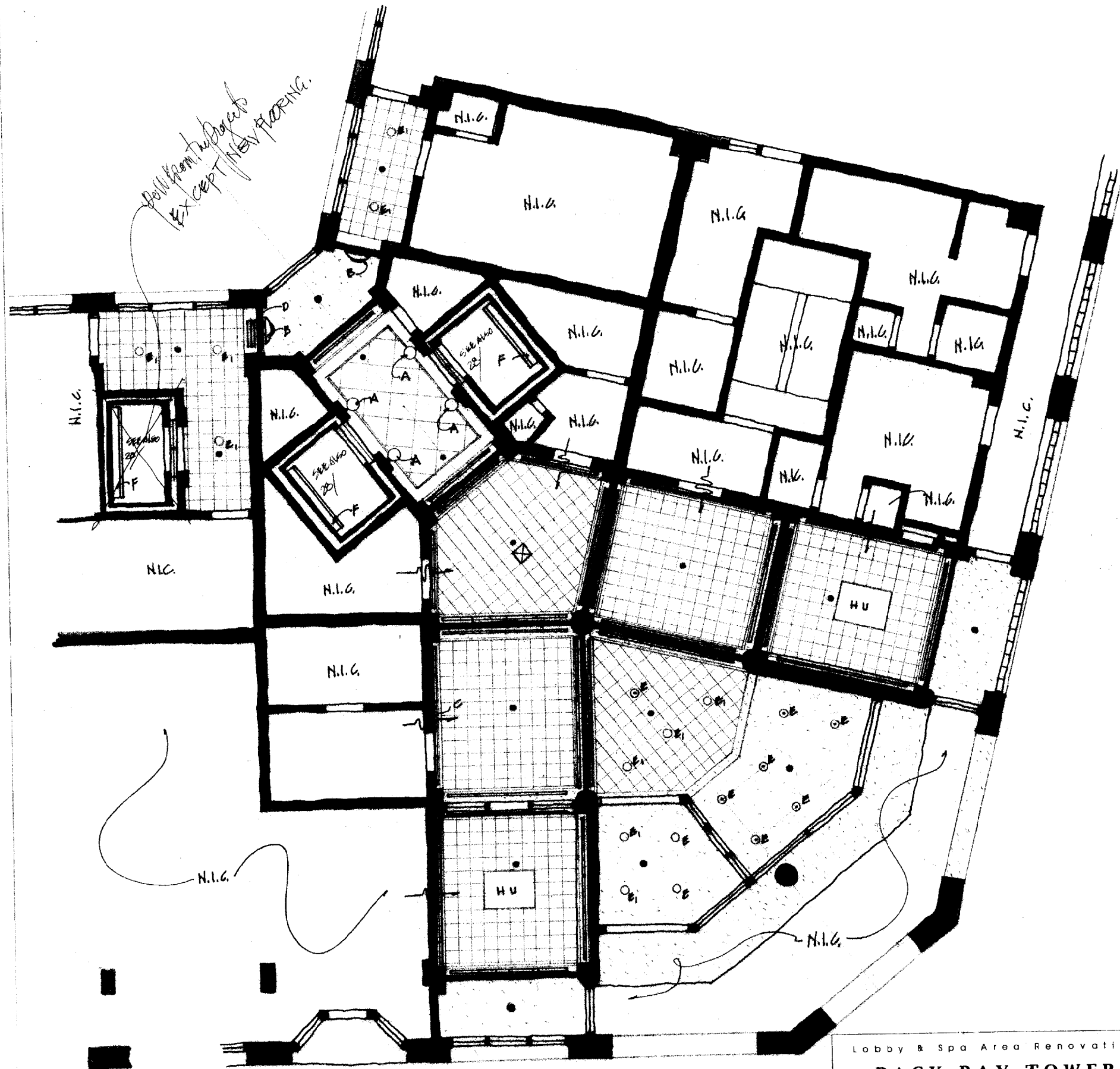
Lobby & Spa Area Renovation
BACK BAY TOWER
 401 CUMBERLAND AVENUE
 PORTLAND, MAINE 04101
 for
FIDELITY PARTNERS
 SAN FRANCISCO CALIFORNIA

Interior Design
 License
 822475
 State of Maine

06-20-02

CONSTRUCTION SCOPE KEY PLAN

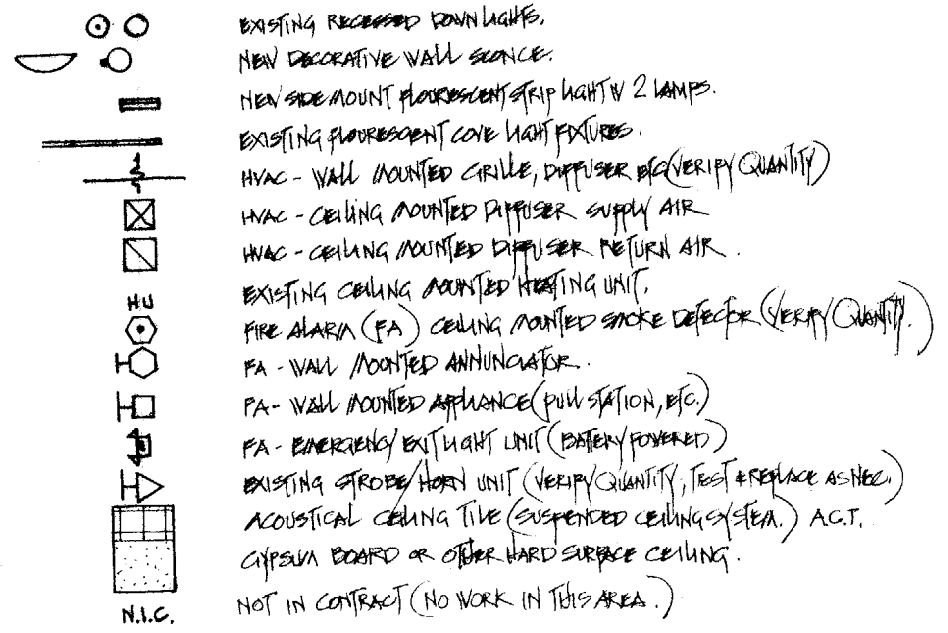
ID-3



REFLECTED CEILING PLAN NOTES:

1. DOWNLIGHTS IN ACT SHALL BE CENTERED IN PANEL, TYPICAL.
2. ALL SMOKE DETECTORS IN LOBBY AREA SHALL BE REPLACED (APPLIANCE ONLY)
3. HVAC - REGISTERS GRILLES DIFFUSERS SUPPLY & RETURN SHALL BE VACUUM CLEANED & WASHED PRIOR TO PAINTING.
4. FLUORESCENT LAMPS IN ALL EXISTING LIGHT TROUGH COVES SHALL BE REPLACED WITH NEW 3500K, TYPICAL.
5. REFER TO DRAWING ID-549 FOR ROOM/AREA FINISH SCHEDULE & PAINT COLORS.
6. REFER BELOW THIS SHEET FOR LIGHT FIXTURE SCHEDULE.
7. RELAMP ALL FIXTURES E1 WITH NEW THROUGHOUT, TYPICAL.
8. SEE DRAWING ID-1, FOR SPA AREA PLANS, ELEVATION, & DETAILS.

REFLECTED CEILING PLAN SYMBOL LEGEND



BACK BAY TOWER - LIGHT FIXTURE SCHEDULE

PLANTING	QUANTITY	DESCRIPTION	FIXTURE TYPE
	4	VICTOR LIGHTING CORPORATION - "KING VEGA" WALL SCONCE. Polished chrome and Black Satin Lacquer finish. 21" high x 13" wide, 14" projection, with ONE R75, 500 watt, 11.8mm, Halogen lamp Each	A
	2	VICTOR LIGHTING CORPORATION - "WING" WALL SCONCE. Polished chrome and Black Satin Lacquer finish. 21" high x 24" wide, 8" projection, with ONE R75, 250 watt, 7.8mm, Halogen lamp Each	B
	Verify	Energy saver type lamps 3500° Kelvin, with a Color Rendering Index of 85 or better NEW LAMPS ONLY EXISTING FIXTURES TO REMAIN. Test/verify all existing ballasts and replace only as necessary.	C
	1	Surface mounted fluorescent, side mounted TWO lamp Industrial Strip in 3' length by COLUMBIA #D3-2, 130-138-120V, with energy saver type T8, 3500° Kelvin lamp, with a CRI of 85 or better.	D
	9	Replace existing Recessed Fluorescent Downlight, with "JUNO" #424-B, RETROFIT KIT, & Remodel housing #10-122 and one 12 volt, 50 watt NSF, MF-16 lamp, or Approved equal assembly.	E
	3	FOCAL POINT "WAYFINDER" #FL-38M two lamp configuration. #FSX-68", M-2-186-120 WATTAGE EM-SF-MA-C-4" SF. Custom Cut Length of 5'8" long x 9 1/4" deep x 3 7/8" high, in Energy saver 4 ft., 18 lamps 3500° Kelvin, with a Color Rendering Index of 85 or better.	F

Lobby & Spa Area Renovation
BACK BAY TOWER
 401 CUMBERLAND AVENUE
 PORTLAND, MAINE 04101
 FIDELITY PARTNERS
 SAN FRANCISCO CALIFORNIA

Interior Design License R 2475 State of Maine
 FACSIMILE 207 773 0843
 WORLD DESIGN GROUP
 TELEPHONE 207 773 7657

06.25.02

LOBBY AREA REFLECTED CEILING

ID-4

PAINT	
P 1 - soffits & light troughs	Sherwin-Williams Satin Finish # 1396 Honey White.
P 2 - Doors, both sides	Sherwin-Williams Satin Finish, Custom to match finished wood sample
P 3 - Door Frames	Sherwin-Williams Semi-gloss Finish, Custom to match finished wood sample
P 4 - General Wall	Sherwin-Williams Satin Finish # 1358 Amber Grain
P 5 - Accent Wall & Mail	Sherwin-Williams Semi-gloss Finish # 0023 Pewter Tankard.
P 6 - Reveals & Elev Clgs	Sherwin-Williams Satin Finish # 1014 Hematite.
P 7 - Elevator Doors	Sherwin-Williams Semi-gloss Finish # 1014 Hematite
P 8 - Sup.Clgs. & troughs	Sherwin-Williams Flat Finish # 1900 Studio White. See also Notes below.

WALL PANELS - See Details and Plan for Layout.
 1/2" Moisture resistant, Medium density Fiber Board (MR/MDF) with quarter sawn Birch Veneer stained sealed and clear-coated per Sample available at World Design Studio. Provide World Design Studio with sample for approval. Miscellaneous Solid Birch trim as necessary.

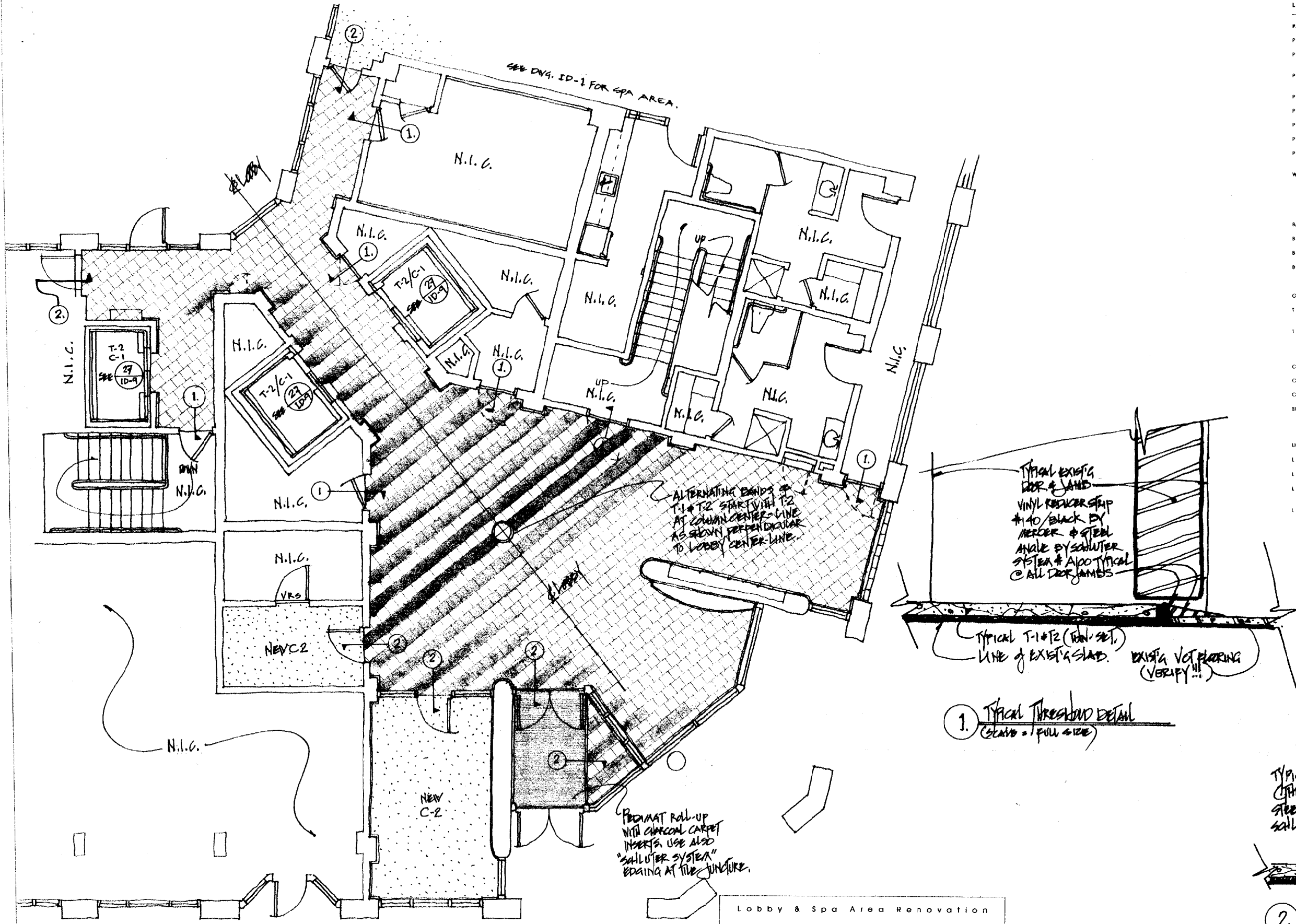
BASE - See Details and Plan for Layout.
 B 1 - NEOPRENE RUBBER 1/2" thick, x 14 3/4" Tall - see plans, elevations and details.
 B 2 - PAINTED SOLID HARDWOOD 1/2" thick, x 4 1/4" Tall (nominal) - see plans, elevations and details.
 B 3 - BASE BO PANELS IN ELEVATOR CABS - NEVAMAR-"PURE METALS" #PM-0-3 Branded Chrome on 3/4" MR/MDF, sanded for ventilation. - See Details and Plan for Layout.

GRANITE TILE FLOORS - See Details and Plan for Layout.
 T 1 - Kashmir Gold - Thermal (Flame) Finish, 12" x 12" x 3/8" per sample from Paul White Tile Provide World Design Studio with sample for approval.
 T 2 - hero Impala - Thermal (Flame) Finish, 12" x 12" x 3/8" per sample from Paul White Tile Provide World Design Studio with sample for approval. Note also used as Border in Elevator Cabs, but in Polished finish.

CARPET - Elevator Cabs and Office Areas. See Details and Plan for Layout.
 C 1 - KARASTAN CONTRACT - "FORTITUDE" #1142 Chacory, in Elevator Cabs.
 C 2 - RICHMOND - "AMERICANA SERIES" Conroy Blend #231C Toupette, in Office Areas.

SUSPENDED CEILING - Elevator Cabs Only. See Details and Plan for Layout.
 USC Interior - "CURVATURA" Suspended Ceiling System 60 Degree Arc "Curvatura Diahex 2" Chrome 066 finish.

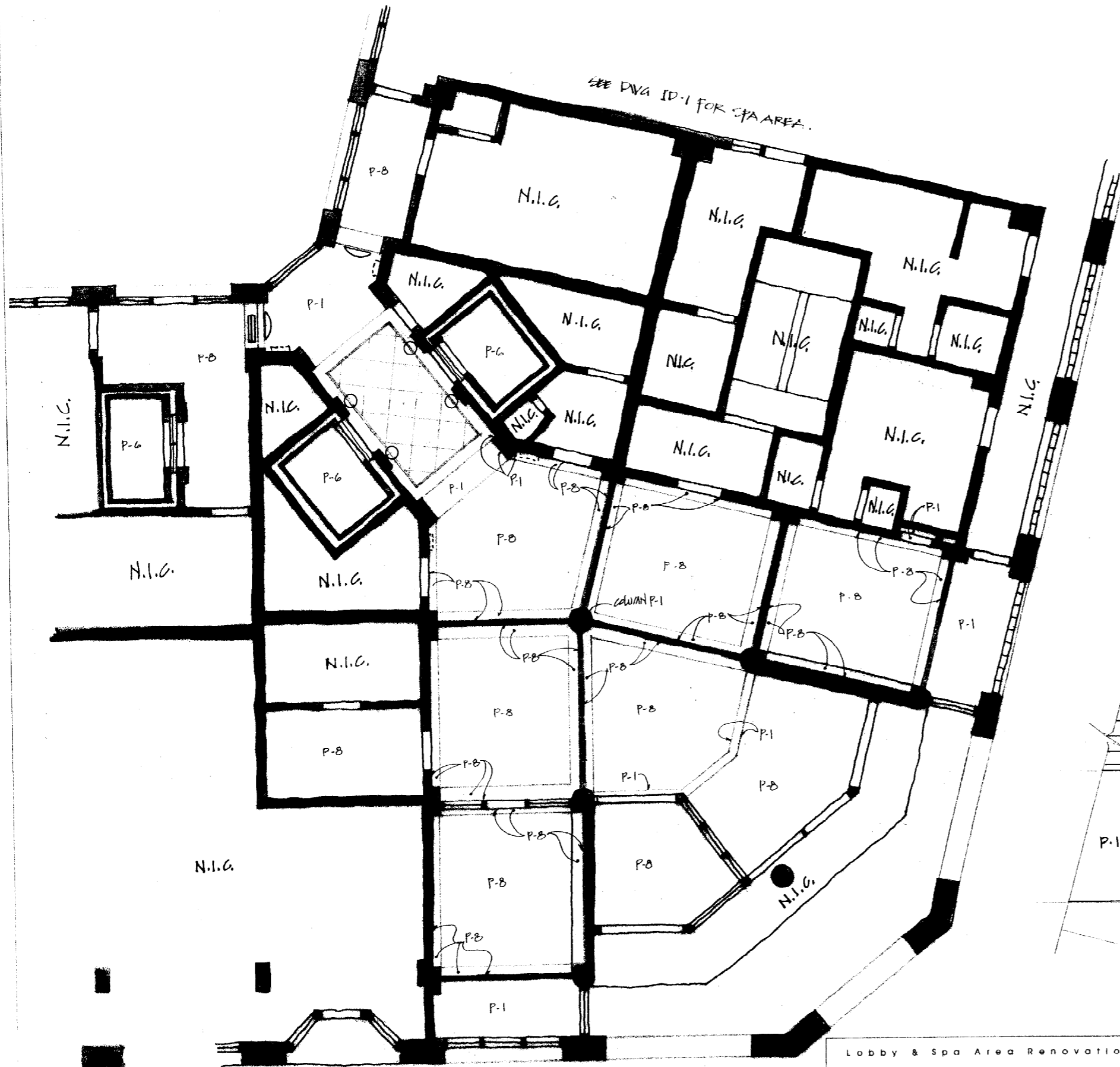
LIGHT FIXTURES - Elevator Cabs, Lobby, and Office Areas. See Details and Plan for Layout.
 L 1 - FOCAL POINT "WAYFINDER" #FLE-38M two lamp configuration, Custom, 68" wide x 91/4" deep x 3 7/8" high
 L 2 - ROLAND JAMOS "Vega" Grand Model Wall Sconce in Chrome with Black, and 300 watt Halogen R75 lamp each
 L 3 - ROLAND JAMOS "Maio" Wall Sconce in Polished Chrome with Black Armature, and 300 watt Halogen R75 lamp each
 L 4 - JUNO Remodel Housing #JC-122, as necessary and / with retrofit trim #424-B, in Clear polished Specular Alzox finish and 50w (MS) MR-16 Lamps throughout.



Lobby & Spa Area Renovation
BACK BAY TOWER
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00-20-02
 FINISHES - FLOORING LAYOUT
 ID-5



LEGEND OF FINISHES - BACK BAY TOWER

PAINT	See Finish Schedule, Plans, and Elevations for Layout
P-1 - Soffits & Light Frouths	Sherwin-Williams Satin Finish # 1396 Honey White.
P-2 - Doors, both sides	Sherwin-Williams Satin Finish .Custom to match finished wood sample
P-3 - Door Frames	Sherwin-Williams Semi-gloss Finish, Custom to match finished wood sample
P-4 - General Wall	Sherwin-Williams Satin Finish # 1358 Amber Grain
P-5 - Accent Wall & Mail	Sherwin-Williams Semi-gloss Finish # 0023 Pewter Tankard
P-6 - Reveals & Elev. Clgs	Sherwin-Williams Satin Finish # 1014 Hematite
P-7 - Elevator Doors	Sherwin-Williams Semi-gloss Finish # 1014 Hematite
P-8 - Susp. Clgs. & Frouths	Sherwin-Williams Flat Finish # 1900 Studio White. See also Notes below.

WALL PANELS - See Details and Plan for Layout.

1/2" Moisture resistant, Medium density Fibre Board (MR/MDF) with quarter-sawn Birch Veneer stained sealed and clear coated per Sample available at World Design Studio. Provide World Design Studio with sample for approval. Miscellaneous Solid Birch trim as necessary.

BASE - See Details and Plan for Layout.

B-1 - NEOPRENE RUBBER 1/2" thick, x 14 3/4" Tall, - see plans, elevations and details.

B-2 - PAINTED SOLID HARDWOOD 1/2" thick, x 4 1/4" Tall (nominal) - see plans, elevations and details.

B-3 - BASE BD PANELS IN ELEVATOR CABS - NEVAMAR "PURE METALS" #PM-6-5 Brushed Chrome on 3/4" MR/MDF, sanded for ventilation. - See Details and Plan for Layout.

GRANITE TILE FLOORS - See Details and Plan for Layout.

T-1 - Kashmiri Gold - Thermal (Flame) Finish, 12" x 12" x 3/8" per sample from Paul White Tile Provide World Design Studio with sample for approval.

T-2 - Nero Impato - Thermal (Flame) Finish, 12" x 12" x 3/8" per sample from Paul White Tile Provide World Design Studio with sample for approval. Note also used as Border in Elevator Cabs, but in Polished finish.

CARPET - Elevator Cabs and Office Areas. See Details and Plan for Layout.

C-1 - KARASTAN CONTRACT - "FORTITUDE" #1142 Chocoy, in Elevator Cabs.

C-2 - RICHMOND - "AMERICANA SERIES" Coney Island #2310 Taupe/No. in Office Areas.

SUSPENDED CEILING - Elevator Cabs Only. See Details and Plan for Layout.

USG Interiors - "CURVATURA" Suspended Ceiling System 60 Degree Arc "Curvatura DiaFlex 2" Chrome 066 finish.

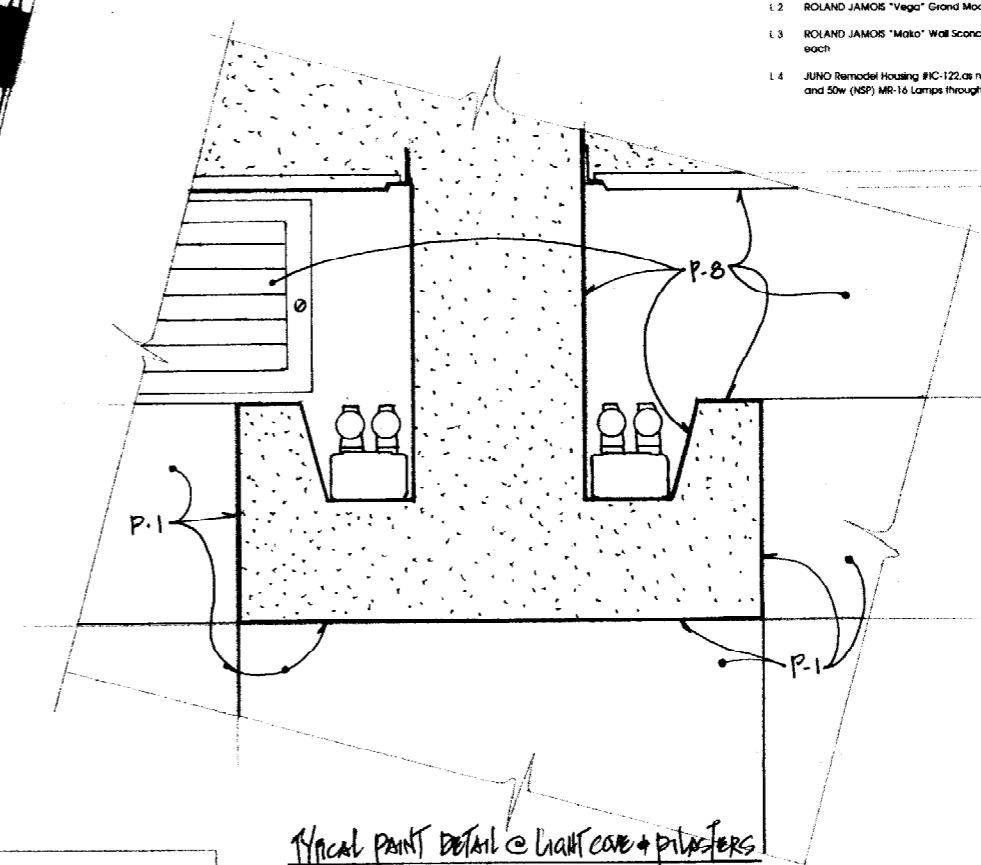
LIGHT FIXTURES - Elevator Cabs, Lobby, and Office Areas. See Details and Plan for Layout.

L-1 - FOCAL POINT "WAYFINDER" #FLE-38M two lamp configuration. Custom, 58" wide x 91/4" deep x 3 7/8" high

L-2 - ROLAND JAMOR "Vego" Grand Model Wall Sconce in Chrome with Black, and 300 watt Halogen R75 lamp each

L-3 - ROLAND JAMOR "Mako" Wall Sconce in Polished Chrome with Black Armature, and 300 watt Halogen R75 lamp each

L-4 - JUNO Remodel Housing #JC-122, as necessary and / with retrofit trim #424, in Clear polished Specular Alzac finish and 50w (NSP) MR-16 Lamps throughout.



Typical PAINT DETAIL @ LIGHT COVER & PILASTERS
(3" = 1'-0")

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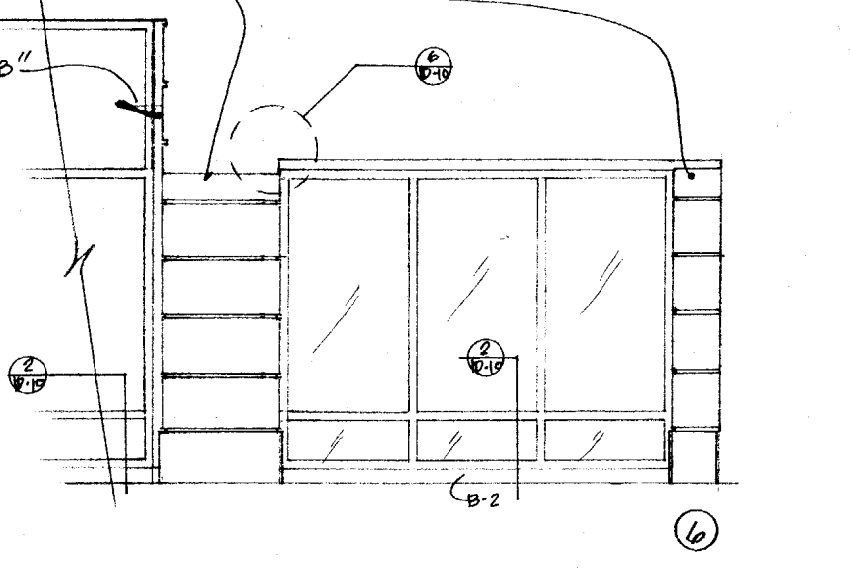
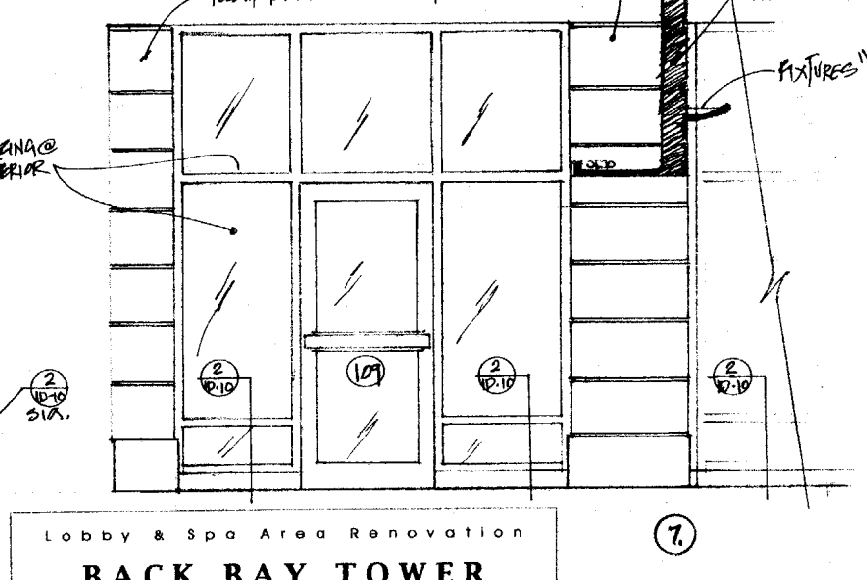
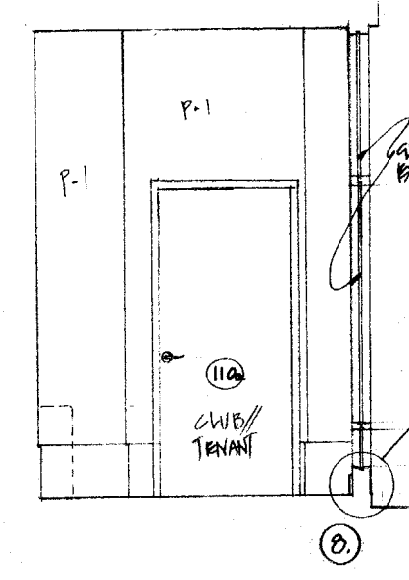
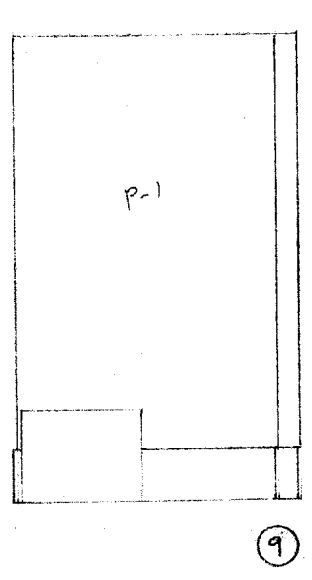
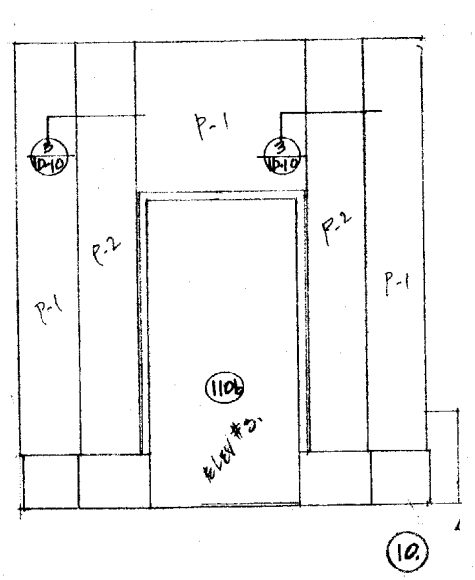
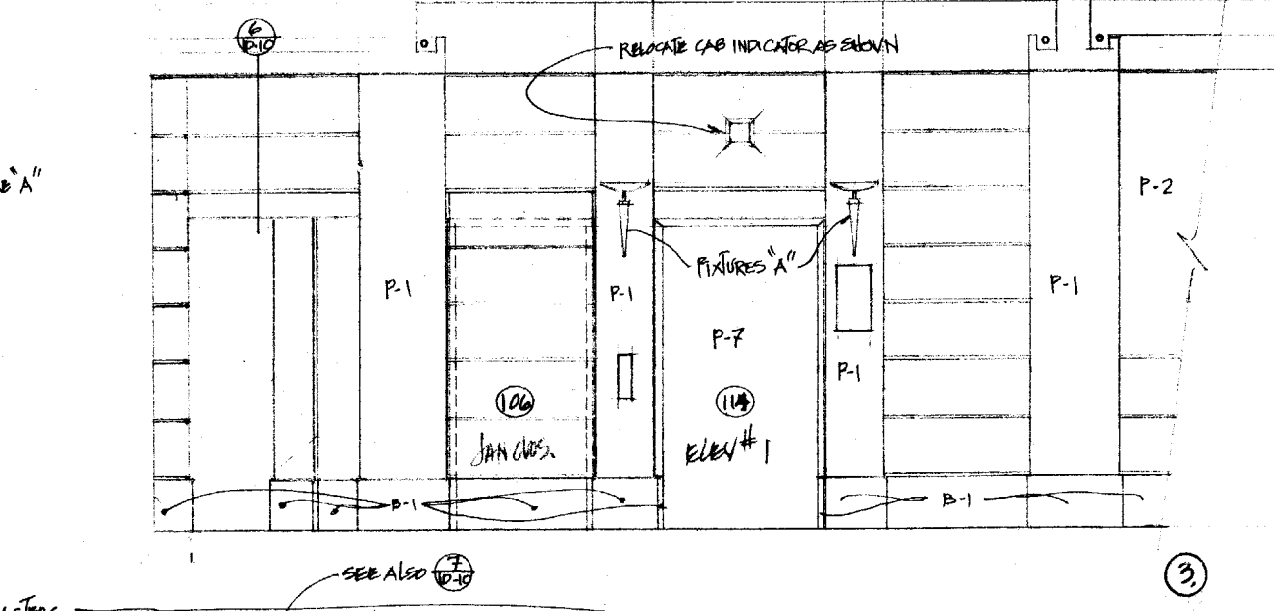
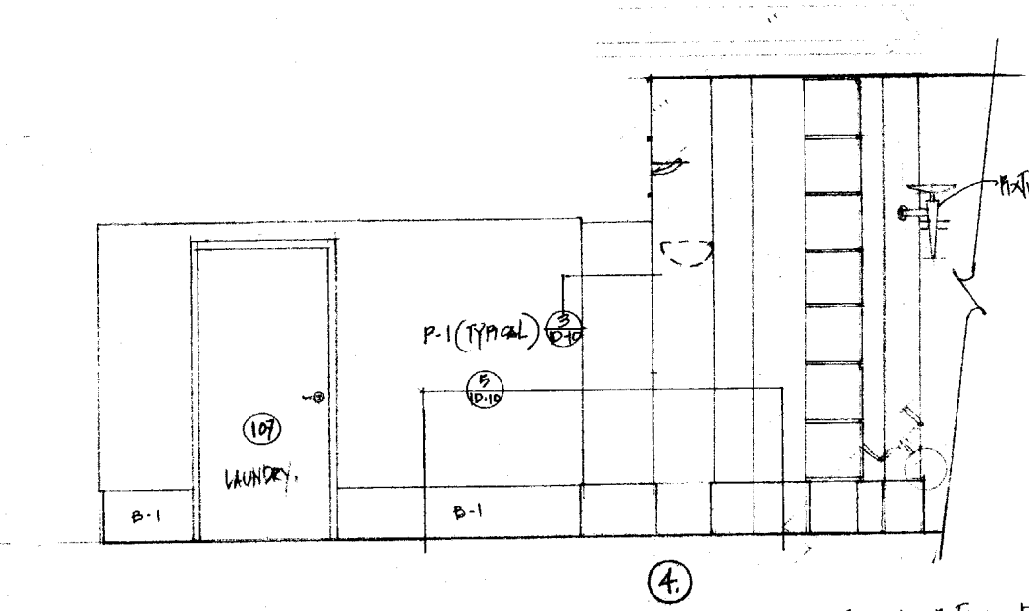
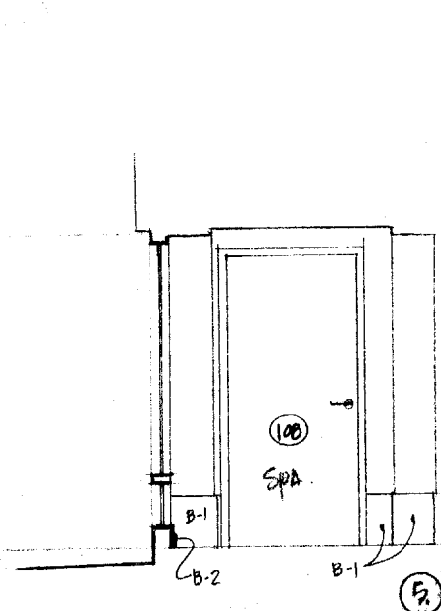
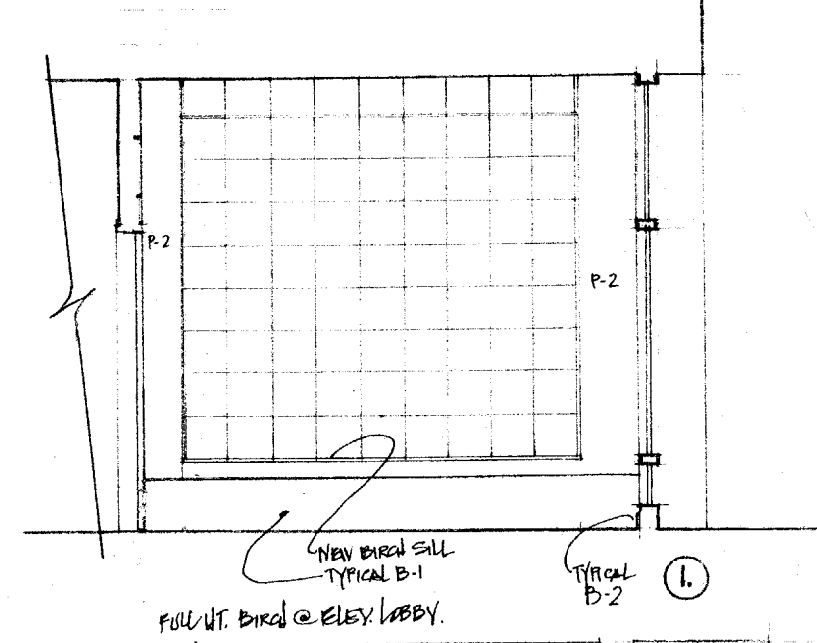
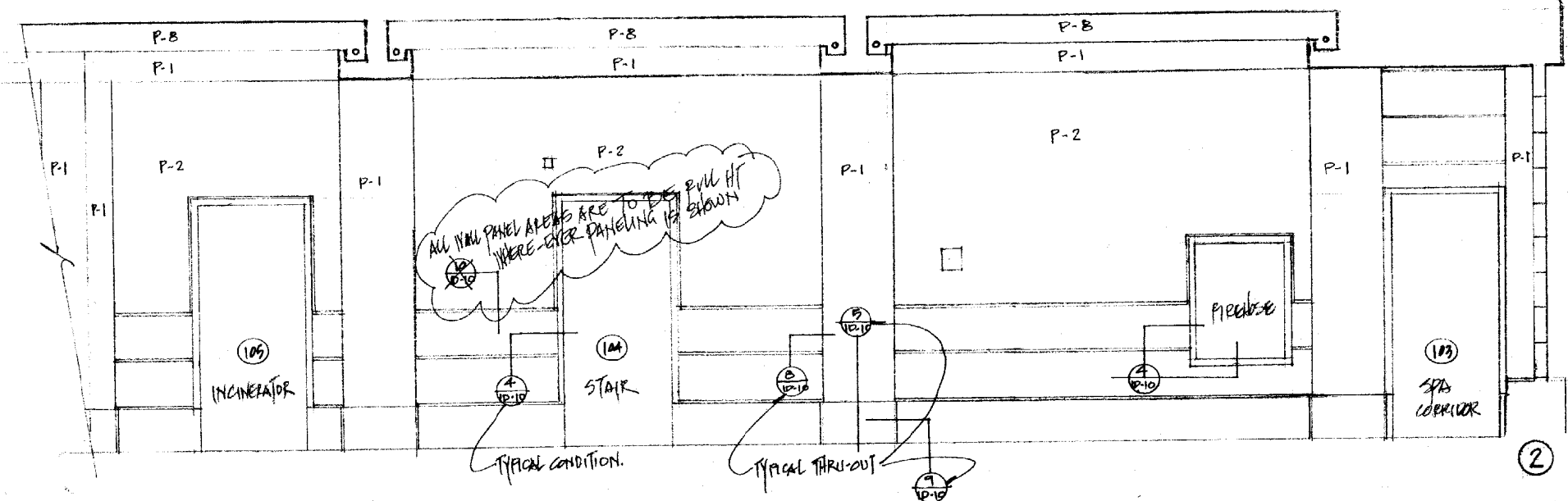
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FINISHES - CEILING LAYOUT.

ID-6



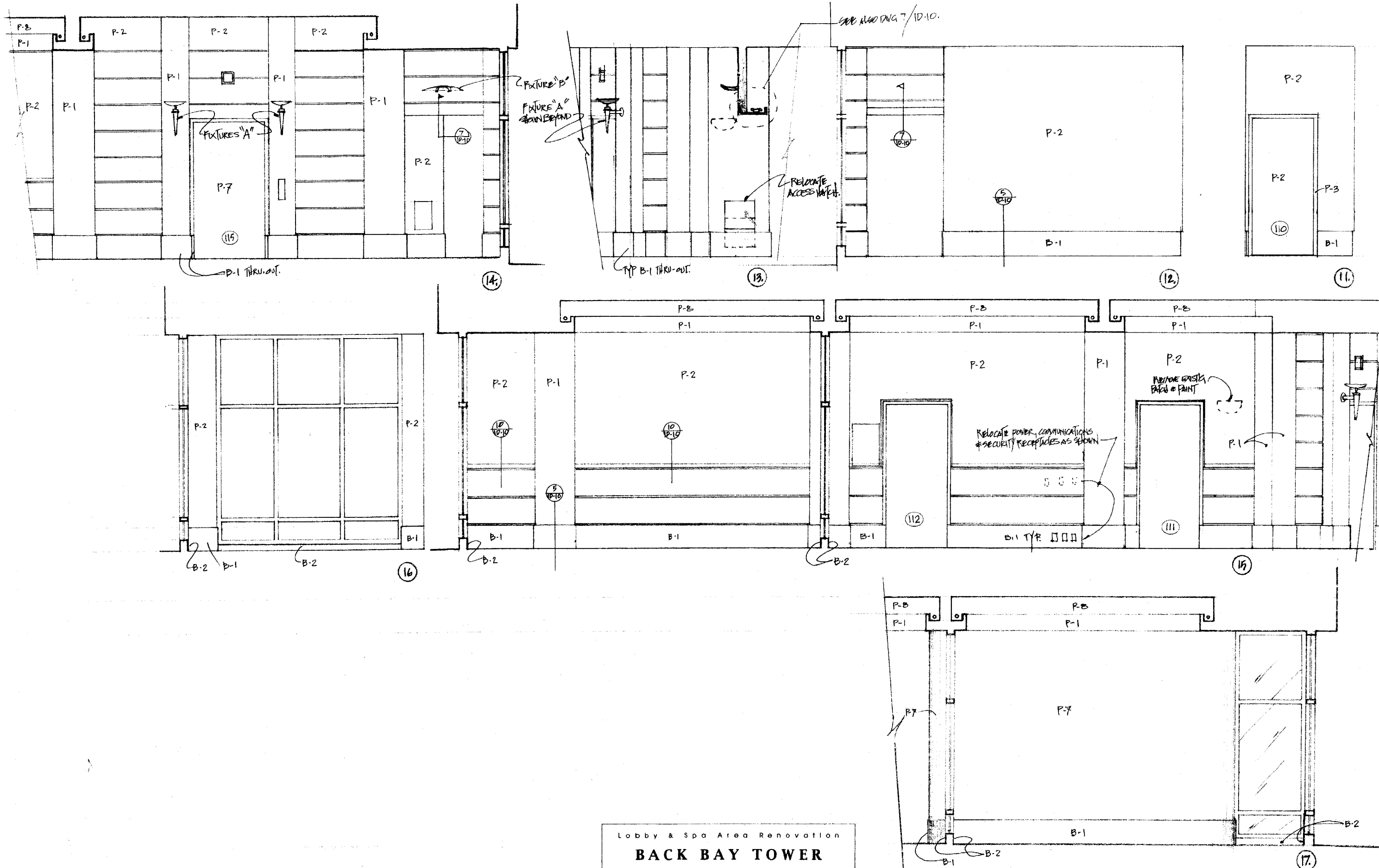
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LOBBY INTERIOR ELEVATIONS

10-7



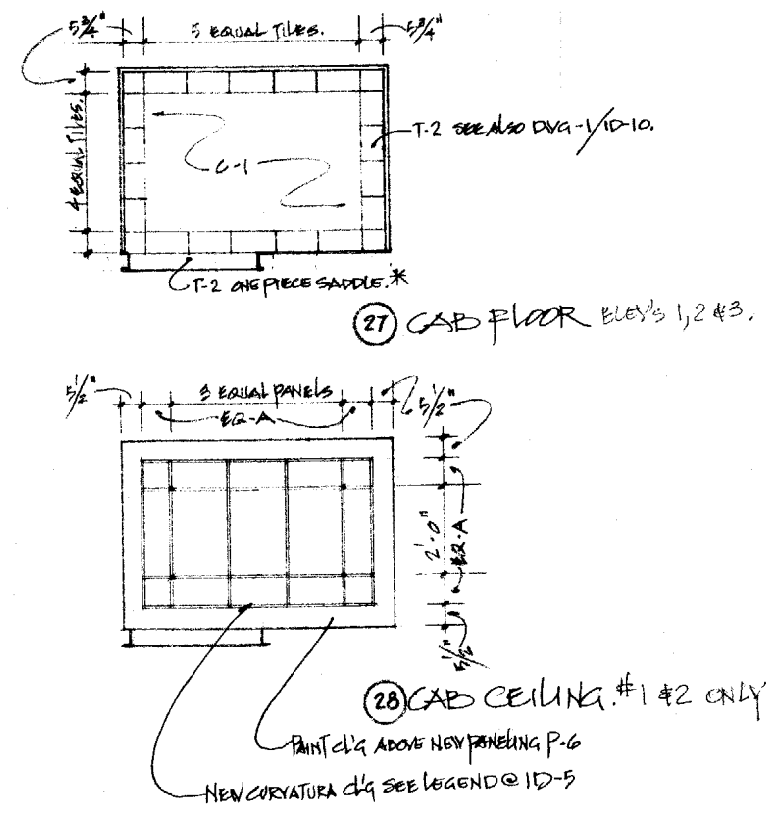
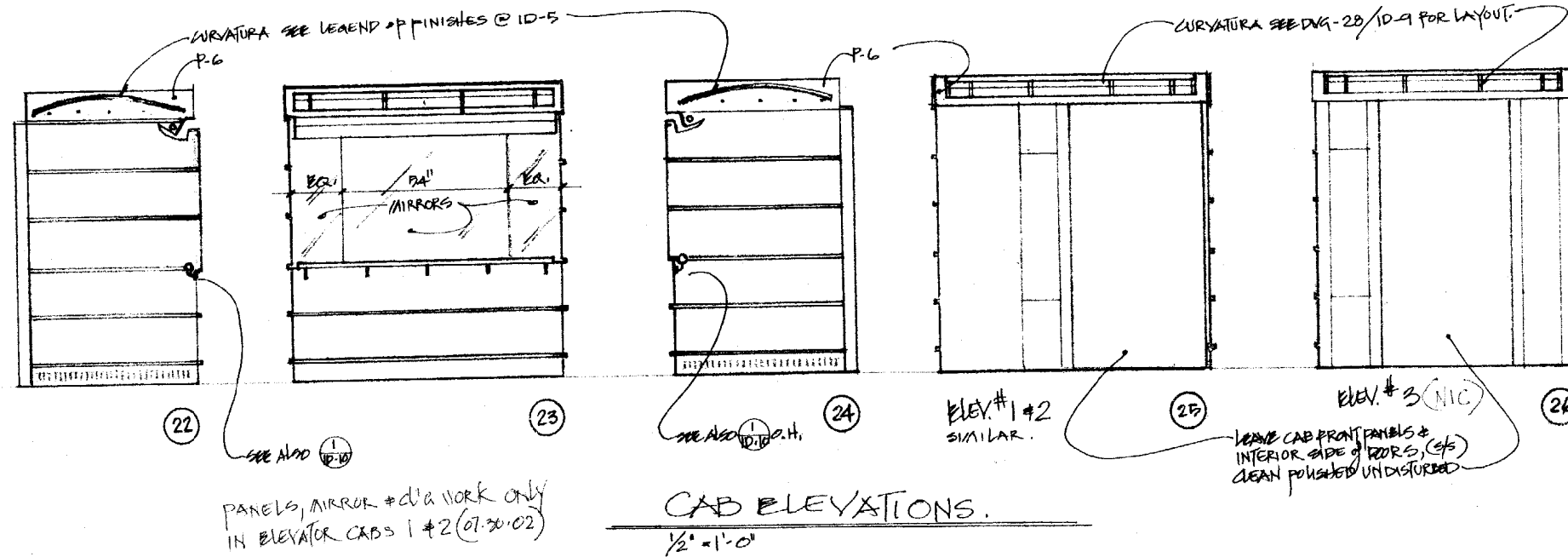
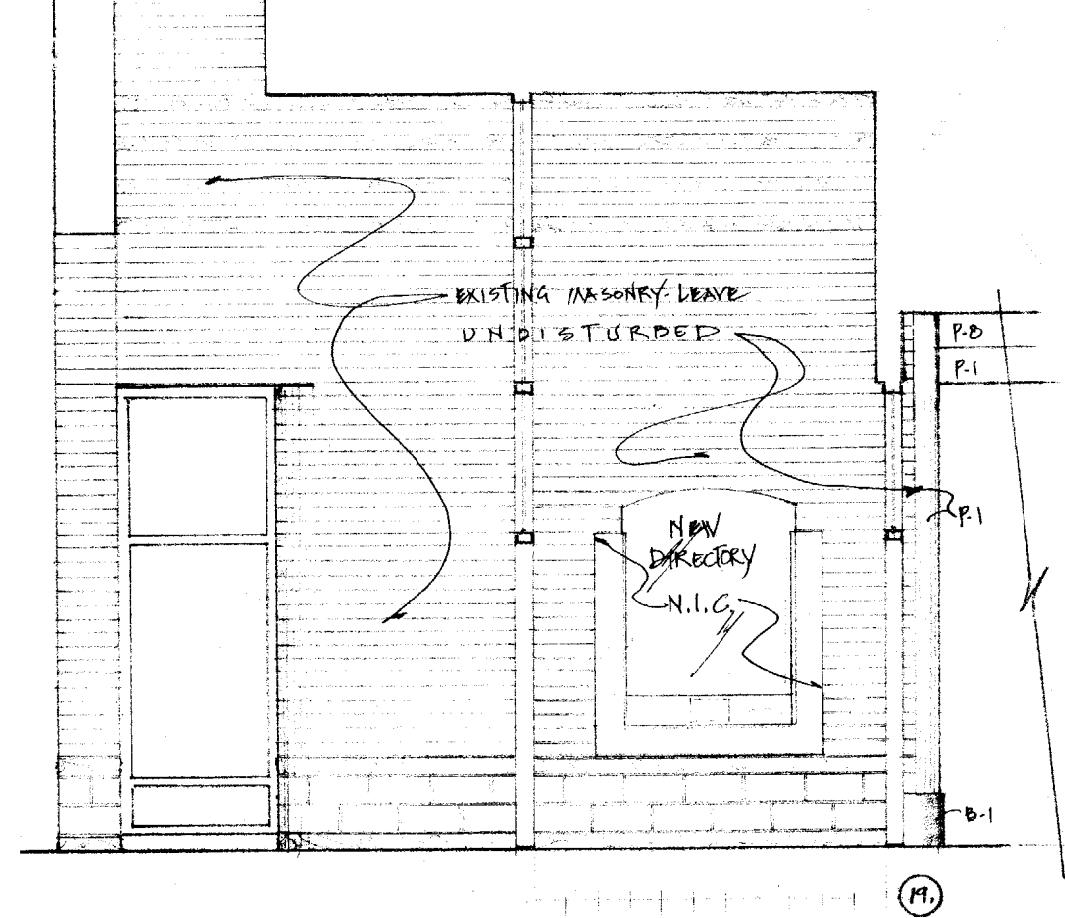
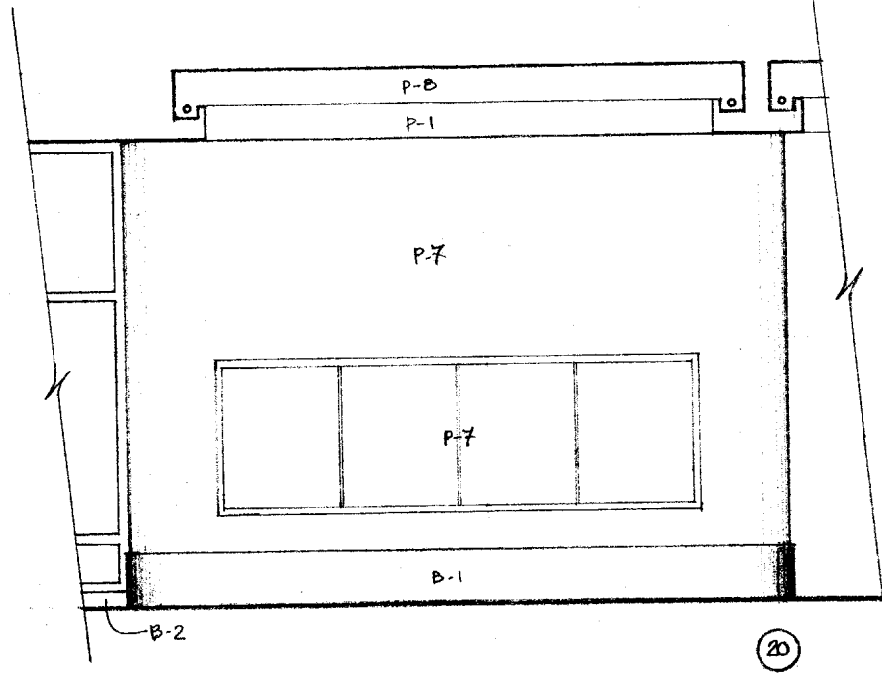
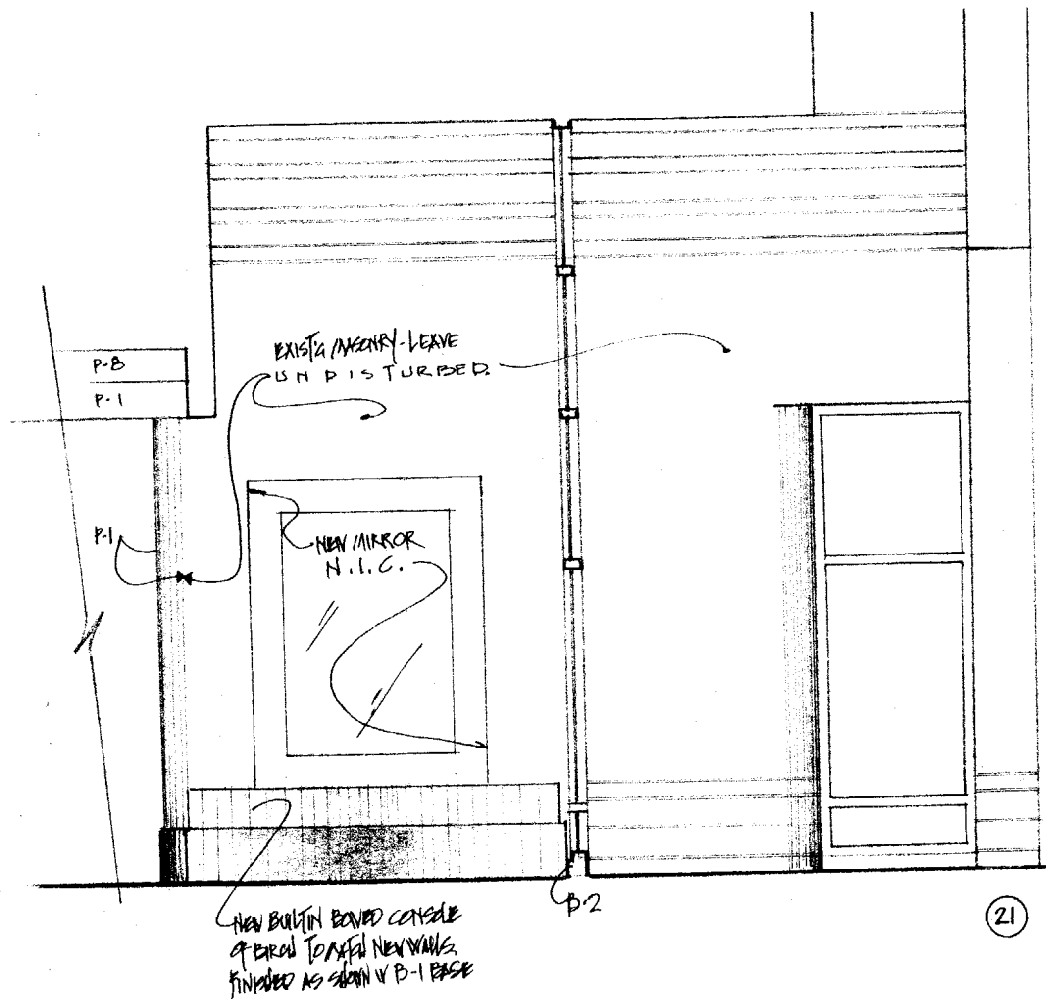
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LOBBY INTERIOR ELEVATIONS

1D-B



CAB ELEVATIONS.
1/2" = 1'-0"

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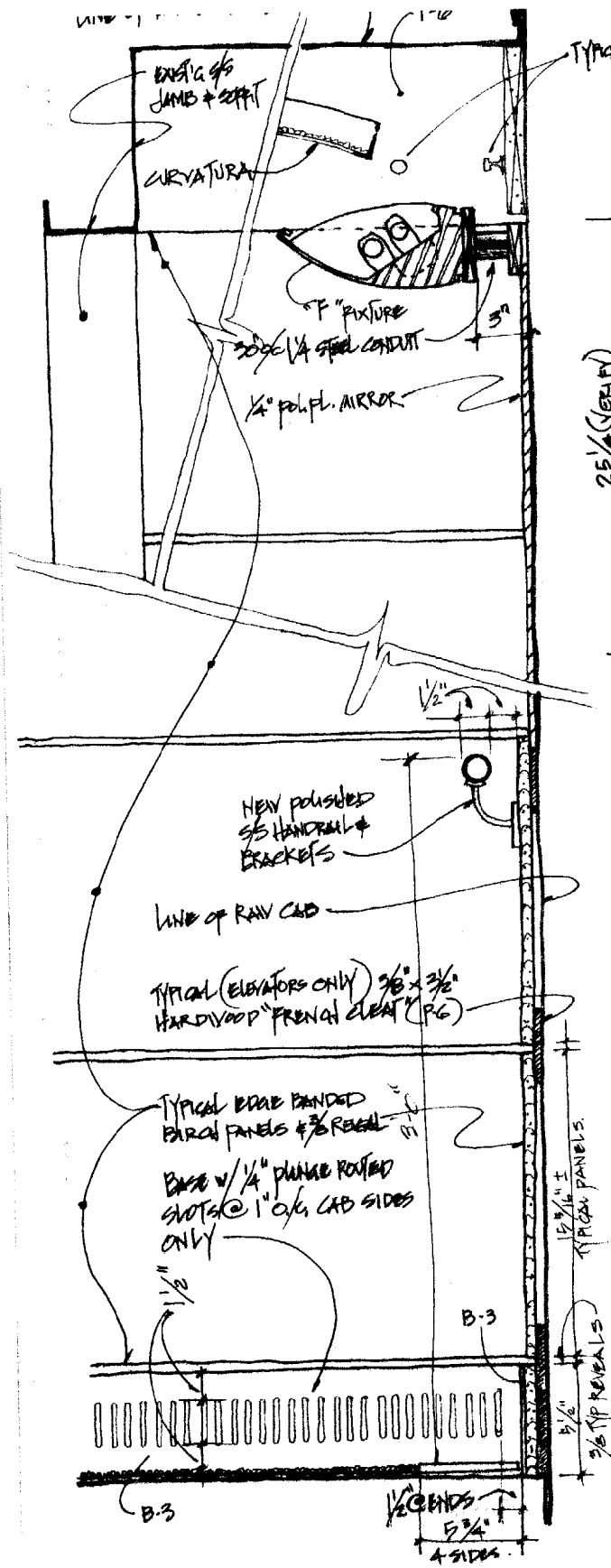
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FACE 611114 207 778 8443

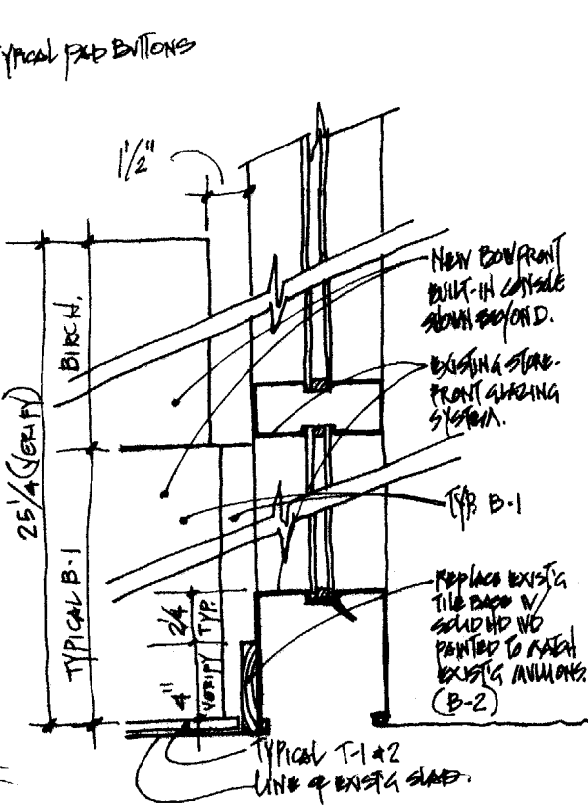
TELEPHONE 207 773 7682

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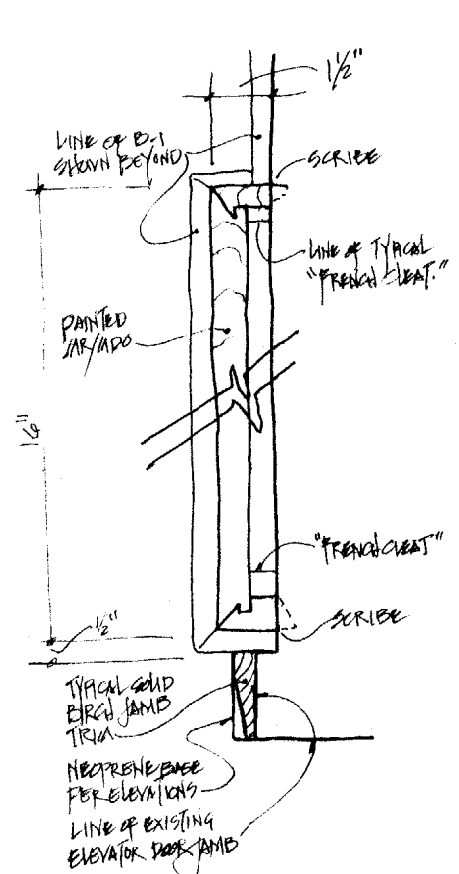
LOBBY INTERIOR ELEVATIONS. 1D-9



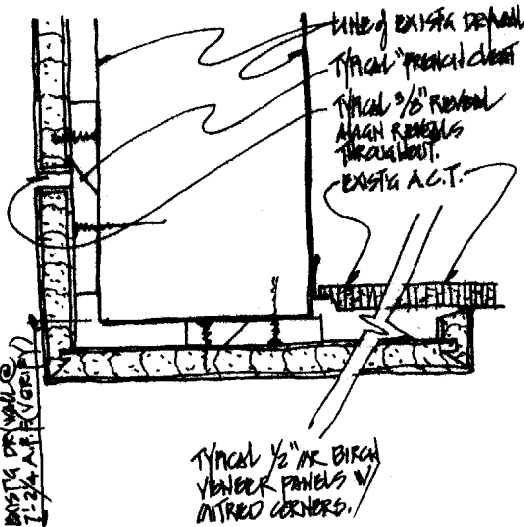
1. VERTICAL SECTION @ ELEV. CAB. (1/4 FULL SIZE)



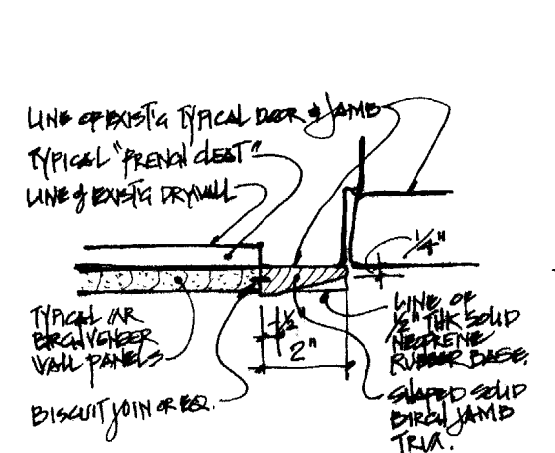
2. VERT. SECTION @ NEW STORE FRONT BASE (1/4 FULL SIZE)



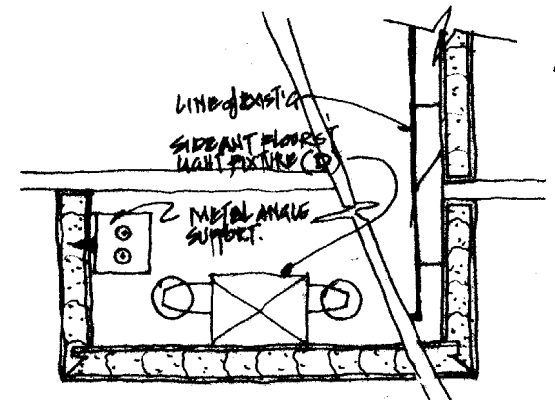
3. HORIZ. SECTION @ NEW PLASTER (1/2 FULL SIZE)



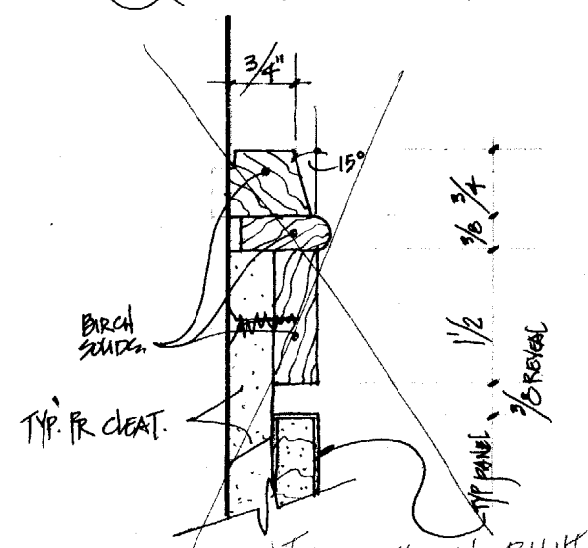
6. SECTION @ SOFFIT / HEADER B (FULL SIZE I)



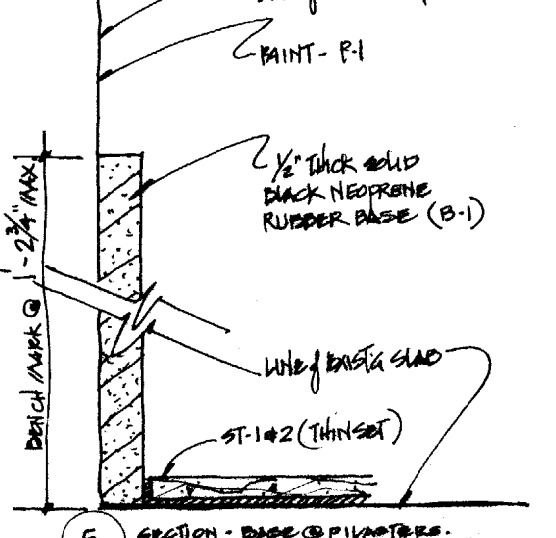
4. SECTION @ TYPICAL HOLLOW METAL JAMB. (1/2 FULL SIZE)



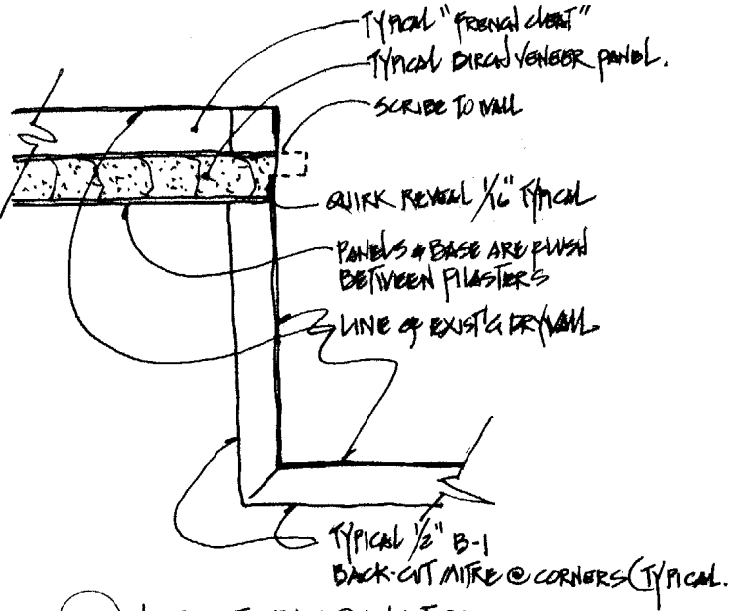
7. SECTION @ SOFFIT / LIGHT TROUGH A (FULL SIZE)



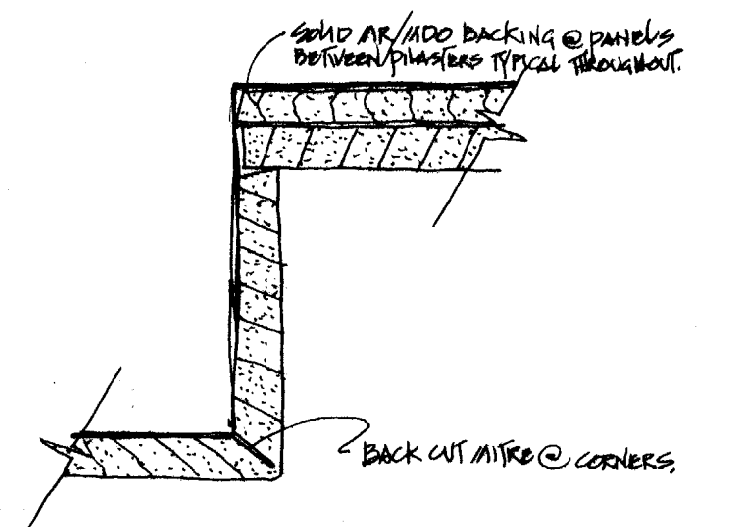
10. VERTICAL SECT. BASE CAP (FULL SIZE)



5. SECTION - BASE @ PILASTERS. (FULL SIZE)



8. HORIZ. SECT. - BASE @ PILASTERS (FULL SIZE)



9. HORIZ. SECT. - BASE @ PILASTERS. (FULL SIZE)

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