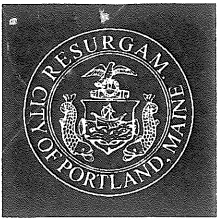


36-I-1
92 Portland Street
Building Addition
Bubba's

2004-0221
1999-0084
2001-0169

on Spreadsheet



Strengthening a Remarkable City, Building a Community for Life

www.portlandmaine.gov

Planning & Urban Development Department
Penny St. Louis Littell, Director

Planning Division
Alexander Jaegerman, Director

October 20, 2008

Robert Larkin
Bubba's Sulky Lounge
92 Portland Street
Portland, ME 04101

RE: Bubba's Building Addition / 92 Portland Street
Revised Application #2004-0221, CBL #036 I001001

Dear Mr. Larkin:

On October 20, 2008 the Portland Planning Authority approved revisions to Bubbas Sulky Lounge at 92 Portland Street, which included exterior lighting, removal of CMP lights and final paving and striping of the parking lot, as shown on the approved plan with the following conditions:

1. The lighting plan is approved with a waiver of the maximum standard exceeded at the light poles, not to exceed an illumination level of 10 directly under each pole and all exterior lights shall have house shields to against light trespass on adjoining properties. The proposed lights are full cut offs. The lights and lighting plan are attached.
2. Central Maine Power (CMP) will receive instructions from the applicant to remove the three existing lights on electrical poles prior to the issuance of a certificate of occupancy.
3. The Parking Plan layout is approved as shown on the approved plan and must be striped according to this approved layout with spaces marked at 9 by 19 feet.

The approval is based on the submitted site plan dated September 19, 2008 and 11 x17's dated September 22, 2008. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. Where submission drawings are available in electronic form, the applicant shall submit any available electronic Autocad files (*.dwg), release 14 or greater, with seven (7) sets of the final plans.

2. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
3. A performance guarantee is in place for the remainder of the site work. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
4. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

Philip DiPierro, Development Review Coordinator, must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Barbara Barhydt at 874-8699.

Sincerely,



Alexander Jaegerman
Planning Division Director

Attachments:

1. Applicant's lighting plan

Electronic Distribution:

Penny St. Louis Littell, Director of Planning and Urban Development
 Alexander Jaegerman, Planning Division Director
 Barbara Barhydt, Development Review Services Manager
 Philip DiPierro, Development Review Coordinator
 Marge Schmuckal, Zoning Administrator
 Jeanie Bourke, Inspections Division
 Lisa Danforth, Administrative Assistant
 Michael Bobinsky, Public Services Director
 Katherine Earley, Public Services
 Bill Clark, Public Services
 David Margolis-Pineo, Public Services
 Jim Carmody, City Transportation Engineer
 Jane Ward, Public Services
 Captain Greg Cass, Fire Prevention
 Jeff Tarling, City Arborist
 Tom Errico, Wilbur Smith Consulting Engineers
 Dan Goyette, Woodard & Curran
 Assessor's Office
 Approval Letter File
Hard Copy: Project File



Central Maine Power

October 1, 2008

To: Barbara Barhyte, City of Portland, 389 Congress St, Portland ME 04101
From: Breanna Pierce, Customer Service Advisor, Central Maine Power Company
CC: David Laurie Fax 207-221-1688
CC: FILE 162 Canco Rd, Portland, ME 04103
Reg: 3 lights at Bubba's 92 Portland St Portland (1 Park, 2 Mechanic)

Dear Ms Barhyte,

This letter is to confirm that when instructed, I will create the order to remove these three lights. There will be no charge to the City or the customer for the removal.

The contract terms have been met.

If you should have any questions please contact me at 842-2304.

Sincerely,

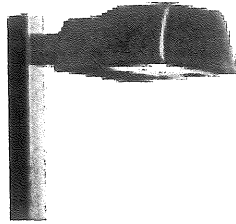
Breanna Pierce

An equal opportunity employer

162 Canco Road | Portland, ME 04103
tel 1-800-750-4000 | fax (207) 791-1026
www.cmpco.com



ALH175QT



JOB NAME: _____

DATE: _____

TYPE: _____

DESCRIPTION

Type III distribution Area Light with pole top fixed arm mount. Factory wired with QT CWA-HPF ballast. Fixed mounting at 90° to pole. Drilling 2" on center. Factory wired for 277V, except 175W. Lamp supplied.

SPECIFICATIONS

Finish:

Chip and fade resistant bronze polyester powder coat finish.

Housing:

One-piece precision die cast aluminum housing and door held captive when opened. Removable hinge pins for door removal.

Lens Gasket:

High temperature extruded silicone set in die cast retaining groove. Remains in place during relamping.

Lens:

Thermal, tempered shock resistant glass, 5/32" thick.

Mounting Arm:

Mounts with two 5/16 -18 threaded rods at 2" on center.

Reflector:

Hydroformed Type 3 reflector.

Patents:

RAB sensor and fixture designs are protected under U.S. and International Intellectual Property Laws

Socket:

Porcelain socket pulse rated 4kv, 1500 watts and 600 volts, reinforced with cat's eyes for added durability. Silicone and fiberglass #14 gauge socket leads rated for 200° C. Plated screw shell designed to resist corrosion with spring loaded center contact.

UL Listing:

Suitable for wet locations. Suitable for mounting within 4' of the ground.

EPA:

1

Color:

Bronze

Weight:

30.71

ORDERING INFORMATION

Metal Halide Lamp supplied with fixture	Total Watts	Lamp Type	Lamp Base	Ballast	Starting Amps/ Operating Amps				Input Watts	LAMP ANSI	Initial Lumens	Lamp Hours
					120V	208V	240V	277V				
	175	ED28	Mogul	CWA HPF QT	1.3/1.8	0.8/1.0	0.7/0.9	0.6/0.8	210	M57	13500	10000

Factory Installed Options
Add suffix to Catalog Number

Swivel Photocontrol (/PCS)
Single fusing for 120 and 277 volt (/F)
Double fusing for 208 and 240 volt (/FF)

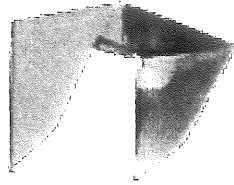
Button Photocontrol (/PC)
480 volt ballast (consult factory) (/480)

Note: Specifications may change without notice

RAB Lighting, Inc. • 170 Ludlow Ave • Northvale, NJ 07647 • Tel: 888 RAB-1000 • Fax: 888 RAB-1232 • www.rabweb.com
© 2008

RAB
LIGHTING

MEGH9



JOB NAME: _____

DATE: _____

TYPE: _____

DESCRIPTION

Accessories for the "AL" Area Light.

SPECIFICATIONS

Shield:

9" deep heavy duty shield cuts down on glare and directs light where you need it. Easy field installation.

Color:

Bronze

Weight:

0

Note: Specifications may change without notice

RAB Lighting, Inc. • 170 Ludlow Ave • Northvale, NJ 07647 • Tel: 888 RAB-1000 • Fax: 888 RAB-1232 • www.rabweb.com
© 2008

From: Barbara Barhydt
To: Lourie, David A.
Date: Tuesday, August 12, 2008 8:16:09 AM
Subject: Re: Bubba Larkin Lighting Plan

Hello David:

I have looked at the lighting plan. I would like to see the catalog cut of the the two fixtures that are proposed. There are a couple of hot spots under each light. I wonder if a 150 rather than 175 wattage bulb would bring the plan into conformance.

Lastly, I believe the City wanted the CMP lights on Portland Street and Mechanic Street removed. The plans notes each light with a delete, but it is unclear to me that those lights are to be removed.

Thank you for your attention to this matter.

Barbara

Barbara Barhydt
Development Review Services Manager
Planning Division
389 Congress Street 4th Floor
Portland, ME 04101
(207) 874-8699
Fax: (207) 756-8256
bab@portlandmaine.gov

>>> "David A. Lourie" <david@lourielaw.com> Thursday, August 07, 2008 9:49 AM >>>
See attached PDF file with point x point calculations for MAINTAINED
luminance's.

I am advised that this was based upon the specifications provided
already to the City, and that calculations were based on an ALH175QT
fixture @10' AFG with MEG9 installed as a House Side Shield.

The files were originally created using an 11"x17" page size and should
scale as noted if printed at that size.

They really need to start the work ASAP, so your prompt attention will
be appreciated.

--

This message was sent from the Law Office of David A. Lourie. Any questions should be addressed to
David A. Lourie, 189 Spurwink Avenue, Cape Elizabeth, ME 04107; (207)799-4922/cell phone (207)749-
3642/Fax (207)221-1688.

If you received this communication in error, please "reply" and advise us of its receipt to avoid any
repetition. This communication may contain attorney-client privileged or confidential matters, if received in
error, dissemination or further distribution is prohibited.

CC: Littell , Penny

From: "David A. Lourie" <david@lourielaw.com>
To: BARHYDT BARBARA <bab@portlandmaine.gov>
Date: Thursday, August 07, 2008 9:50:03 AM
Subject: Bubba Larkin Lighting Plan

See attached PDF file with point x point calculations for MAINTAINED luminance's.

I am advised that this was based upon the specifications provided already to the City, and that calculations were based on an ALH175QT fixture @10' AFG with MEG9 installed as a House Side Shield.

The files were originally created using an 11"x17" page size and should scale as noted if printed at that size.

They really need to start the work ASAP, so your prompt attention will be appreciated.

--

This message was sent from the Law Office of David A. Lourie. Any questions should be addressed to David A. Lourie, 189 Spurwink Avenue, Cape Elizabeth, ME 04107; (207)799-4922/cell phone (207)749-3642/Fax (207)221-1688.

If you received this communication in error, please "reply" and advise us of its receipt to avoid any repetition. This communication may contain attorney-client privileged or confidential matters, if received in error, dissemination or further distribution is prohibited.

February 15, 2005

Robert Larkin
Bubba's Sulky Lounge
92 Portland Street
Portland, ME 04101

RE: Bubba's Building Addition / 92 Portland Street
Application #2004-0221, CBL #036 I001001

Dear Mr. Larkin:

On February 14, 2005, the Portland Planning Authority approved the above referenced site plan application based findings that, with certain conditions of approval satisfied, all applicable City codes and standards of will be met. The approval is based on plans dated October 20, 2005 and supplemental information presented November 17 and 18, 2005.

The approval is for a 1,490 square foot building addition to the rear of an existing building (Bubba's Sulky Lounge) and related site improvements at 92 Portland Street.

Conditions of Approval:

1. The applicant shall present a survey of the site prepared by a professional land surveyor. Proposed site plans shall be based on said survey.
2. The project shall provide stormwater treatment for the entire site, to City standards, subject to final review and approval by the City's development review engineer and Department of Public Works.
3. The site plan shall be revised so as to resolve major inconsistencies between the parking lot plan presented in the October 20, 2005 submissions and described as "existing conditions" and the actual parking lot layout as it exists today.
4. The project shall demonstrate conformance with the City's exterior lighting standards subject to final review and approval of the Planning Authority.

✓✓ W/ GAIL PETTI

5. The applicant shall present a letter from the Department of Public Works demonstrating adequate sewer and stormwater capacity for the proposed project.

Please note the following provisions and requirements for all site plan approvals:

1. The applicant shall submit seven (7) sets of the final plans to the Planning Authority. Where submission drawings are available in electronic form, the applicant shall submit any available electronic Autocad files (*.dwg), release 14 or greater.
2. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.
3. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
4. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
5. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
6. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Department at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions or concerns, please contact Ethan Boxer-Macomber at 756-8083 or

ebm@portlandmaine.gov.

Sincerely,

Alex Jaegerman, Planning Division Director

cc:

Sarah Hopkins, Development Review Services Manager

Ethan Boxer-Macomber, Planner

Jay Reynolds, Development Review Coordinator

Marge Schmuckal, Zoning Administrator

Inspections Division

Eric Labelle, City Engineer

Approval Letter File

Attention: Ethan

SECTION V - STORMWATER MANAGEMENT STANDARDS

FIGURE V-1
(Page 1 of 2)

STORMWATER DRAINAGE SYSTEM
MAINTENANCE AGREEMENT

IN CONSIDERATION OF minor site plan approval granted by the Planning Authority of the City of Portland to a plan entitled Addition to Bubba's Sulky Lounge dated August 3, 2005, and filed with the City of Portland, Department of Planning and Development, 389 Congress Street, Portland, Maine, and pursuant to a condition thereof, Bubba's Sulky Lounge a with a place of business at 92 Portland Street, Robert Larkin, the owner of the subject premises, does hereby agree, for itself, its successors and assigns (the "Owner"), as follows:

That it will, at its own cost and expense and at all time in perpetuity, maintain in good repair and in proper working order the stormwater drainage system, as shown on said plan, including but not limited to the treatment tank and the outlet therefrom. Owner of the subject premises further agrees to periodically clean out said tanks in accordance with the manufacturer's specifications as included on Exhibit A, attached hereto and incorporated herein by reference (Manufacturer's name and address Bea-Techies, 200 Enterprise Drive, Scarborough, ME 04072) and to keep a log detailing: 1) the date and nature of the maintenance performed; and 2) who performed said maintenance. Such log shall be made available for inspection by the City of Portland upon reasonable notice and request. Said agreement is for the benefit of the said City of Portland and all persons in lawful possession of said premises and abutters thereto; further, that the said City of

Where this Agreement is a condition of subdivision rather than site plan approval, this clause should instead read "and recorded in the Cumberland County Registry of Deeds in Plan Book _____, Page _____."

SECTION V - STORMWATER MANAGEMENT STANDARDS

Portland, said persons in lawful possession and said abutters, or any of them, may enforce this Agreement by an action at law or in equity in any court of competent jurisdiction; further, that after giving the Owner written notice and a reasonable time to perform, the said City of Portland, by its authorized agents or representatives, may, but is not obligated to enter upon said premises to maintain, repair, or replace said stormwater drainage system, including but not limited to, treatment tank(s) and outlet(s) thereon in the event of any failure or neglect thereof, the cost and expense thereof to be reimbursed in full to the said City of Portland by the Owner upon demand.

This Agreement shall not confer upon the City of Portland or any other person the right to utilize said stormwater drainage system for public use or for the development of any other property, and the Owner shall bear no financial responsibility by virtue of this Agreement for enlarging the capacity of said surface water drainage system for any reason whatsoever.

This Agreement shall bind the undersigned only so long as it retains any interest in said premises, and shall run with the land and be binding upon its successors and assigns as their interests may from time to time appear.

Dated at Portland, Maine this 23 day of Sept, 2005
By: Robert Larkin
Its: _____

STATE OF MAINE
CUMBERLAND, ss.

Personally appeared the above-named Robert Larkin and acknowledged the foregoing instrument to be his/her free act and deed in his/her said capacity, and the free act and deed of said permit application.

Before me,
Melanie A. Greenleaf
Notary Public/Attorney at Law
Print Name: Melanie A. Greenleaf

Melanie A. Greenleaf, Notary Public
State of Maine
My Commission Expires 9/2/2008

V-7

City of Portland
Department of Planning and Development
Planning Division

389 Congress Street, 4th Floor
Portland ME 04101
(207)874-8721 or (207)874-8719
Fax: (207)756-8258



FAX

To:

HERB GRAY

Company:

Fax #:

767-1861

Date:

SEPTEMBER ²¹ ~~20~~, 2005

From:

ETHAN BOXER-MACOMBER

You should receive 3 page(s) including this cover sheet.

FAXED
TO
9/22/05

Comments:

HERB →

BUBBA IS ALL SET WITH THE EXCEPTION
OF THE ATTACHED DRAINAGE & MAINTENANCE
AGREEMENT. PLEASE HAVE BUBBA COMPLETE
& NOTARIZE THIS FORM - FROM THERE WE
WILL GIVE BUILDING INSPECTIONS THE OKAY
TO ACCEPT THE APPLICATION FOR A PERMIT.

BEST REGARDS,

ETHAN

TEL: 756-8083

SECTION V - STORMWATER MANAGEMENT STANDARDS

FIGURE V-1
(Page 1 of 2)
STORMWATER DRAINAGE SYSTEM
MAINTENANCE AGREEMENT

IN CONSIDERATION OF minor site plan approval granted by the Planning Authority of the City of Portland to a plan entitled Addition to Bubba's Sulky Lounge dated August 8, 2005, and filed with the City of Portland, Department of Planning and Development, 389 Congress Street, Portland, Maine,* and pursuant to a condition thereof, Bubba's Sulky Lounge a with a place of business at 92 Portland Street, Robert Larkin, the owner of the subject premises, does hereby agree, for itself, its successors and assigns (the "Owner"), as follows:

That it will, at its own cost and expense and at all time in perpetuity, maintain in good repair and in proper working order the stormwater drainage system, as shown on said plan, including but not limited to the treatment tank and the outlet therefrom. Owner of the subject premises further agrees to periodically clean out said tanks in accordance with the manufacturer's specifications as included on Exhibit A, attached hereto and incorporated herein by reference (Manufacturer's name and address _____) and to keep a log detailing: 1) the date and nature of the maintenance performed; and 2) who performed said maintenance. Such log shall be made available for inspection by the City of Portland upon reasonable notice and request. Said agreement is for the benefit of the said City of Portland and all persons in lawful possession of said premises and abutters thereto; further, that the said City of

*Where this Agreement is a condition of subdivision rather than site plan approval, this clause should instead read "and recorded in the Cumberland County Registry of Deeds in Plan Book _____, Page _____."

SECTION V - STORMWATER MANAGEMENT STANDARDS

Portland, said persons in lawful possession and said abutters, or any of them, may enforce this Agreement by an action at law or in equity in any court of competent jurisdiction; further, that after giving the Owner written notice and a reasonable time to perform, the said City of Portland, by its authorized agents or representatives, may, but is not obligated to enter upon said premises to maintain, repair, or replace said stormwater drainage system, including but not limited to, treatment tank(s) and outlet(s) thereon in the event of any failure or neglect thereof, the cost and expense thereof to be reimbursed in full to the said City of Portland by the Owner upon demand.

This Agreement shall not confer upon the City of Portland or any other person the right to utilize said stormwater drainage system for public use or for the development of any other property, and the Owner shall bear no financial responsibility by virtue of this Agreement for enlarging the capacity of said surface water drainage system for any reason whatsoever.

This Agreement shall bind the undersigned only so long as it retains any interest in said premises, and shall run with the land and be binding upon its successors and assigns as their interests may from time to time appear.

Dated at Portland, Maine this _____ day of _____, 199____.

By: _____
Its: _____

STATE OF MAINE
CUMBERLAND, ss.

Date: _____, 2005

Personally appeared the above-named _____, and acknowledged the foregoing instrument to be his/her free act and deed in his/her said capacity, and the free act and deed of said _____.

Before me,

Notary Public/Attorney at Law

Print Name: _____



1586 Main Street Oxford, Maine 04270

FAX

Date: 9-29-05
 Number of pages including cover sheet: 2

To: Marge

 Phone: _____
 Fax phone: 874-8766
 CC: _____

From: Blanche

 Phone: 207-743-8133
 Fax phone: (207) 743-5248
 Questions? Please call number above.

REMARKS: Urgent For your review Reply ASAP Please comment

Notice:
 The information contained in this facsimile message is legally privileged and confidential information intended only for the use of the individual or entity named above. If the reader of this message is not the intended recipient, you are hereby notified that any dissemination, distribution or copying of this facsimile is strictly prohibited. If you have received this facsimile in error, please notify us by telephone and destroy the original message.



Maine

1586 Main Street
Oxford, ME 04270
T: 207 743-8131 F: 207 743-5248
Toll Free: 800 464-8100
TDBanknorth.com

September 29, 2005

Town of Portland Planning Board
City Hall
Portland, ME 04101

Attn: Marge

Re: Robert Larkin
Sewer and Addition to 92 Portland St., Portland,
Maine

To Whom It May Concern:

Robert Larkin has been a valued customer of our bank for many years. We feel that he has the financial capability to complete the above-captioned project to his property.

If you should need anything further, please do not hesitate to call.

Sincerely,

Ann E. Hebert
Vice President



A division of TD Banknorth, N.A.

18 August, 2005

**To: Portland Dept of Public Works
% Mr. Frank Brancly
Portland, Maine.**

**Re: 1490 sf Storage building addition to rear of
Bubba's Sulky Lounge
92 Portland Street
Portland, Maine.**

Dear Frank,

I am requesting a letter demonstrating adequate sewer and stormwater capacity for this proposed project. The addition comprises 1490 sf, one floor only.

The Rainwater and drainage system Engineering has been completed by Mr. Herb Gray and Dan Seymour of Sebago Technics.

The addition will be used for storage and additional overflow for the restaurant. No water or sewage connections will be needed.

Mr. Ethan Boxer Macomber, of Planning is aware of the project and is ready to place it on the Planning Board Agenda together with your letter of approval.

Thank you for your kind attention to this matter.

I remain,



JOHN H. LEASURE ARCHITECT, INC.

SIX Q STREET
SOUTH PORTLAND, MAINE 04106
207-767-4600

FAX: 767. 4600

18 August, 2005

**To: Portland Dept of Public Works
% Mr. Frank Brancly
Portland, Maine.**

**Re: 1490 sf Storage building addition to rear of
Bubba's Sulky Lounge
92 Portland Street
Portland, Maine.**

Dear Frank,

I am requesting a letter demonstrating adequate sewer and stormwater capacity for this proposed project. The addition comprises 1490 sf, one floor only.

The Rainwater and drainage system Engineering has been completed by Mr. Herb Gray and Dan Seymour of Sebago Technics.

The addition will be used for storage and additional overflow for the restaurant. No water or sewage connections will be needed.

Mr. Ethan Boxer Macomber, of Planning is aware of the project and is ready to place it on the Planning Board Agenda together with your letter of approval.

Thank you for your kind attention to this matter.

I remain,



JOHN H. LEASURE ARCHITECT, INC.
SIX Q STREET
SOUTH PORTLAND, MAINE 04106
207-767-4600

FAX: 767. 4600



July 29, 2005

Herbert Gray
Consulting Engineer
111 Simmons Rd
So Portland, ME 04106

Re: Bubba's Sulky Lounge # 11017

Dear Mr Gray,

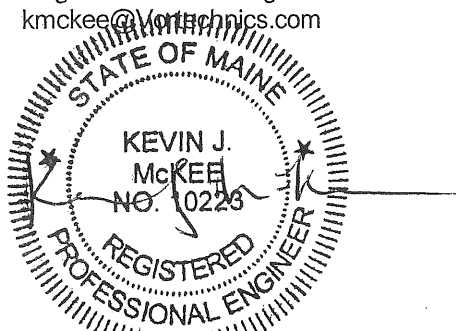
Please find enclosed Hydrocad calculations prepared by Stormwater360™ to analyze the volume of flow that may be expected at the Vortechs Model 3000 in the 10-year storm event. These calculations have allowed us to determine that a flow of 3.38 c.f.s. will be generated and introduced to the Vortechs System in the design storm event. For the purpose of our analysis the site was modeled as if all of the flow from the building was being introduced to Catchbasin #2. We realize that several roof leader connections may be made to the piping downstream of CB #2 but for the purpose of our analysis it was necessary to model it as if all of the connections were introduced to the upstream catchbasin. The flow from Catchbasin #2 is the total flow that will be introduced to the Vortechs System.

Also enclosed is a TSS Removal Efficiency spreadsheet that allows us to predict the expected TSS removal efficiency for the proposed system.

Please don't hesitate to contact me or Jeremy Gray in my office if you have any questions regarding this material.

Sincerely,

Kevin J. McKee, PE
Regional Sales Manager
kmckee@vortechs.com



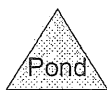
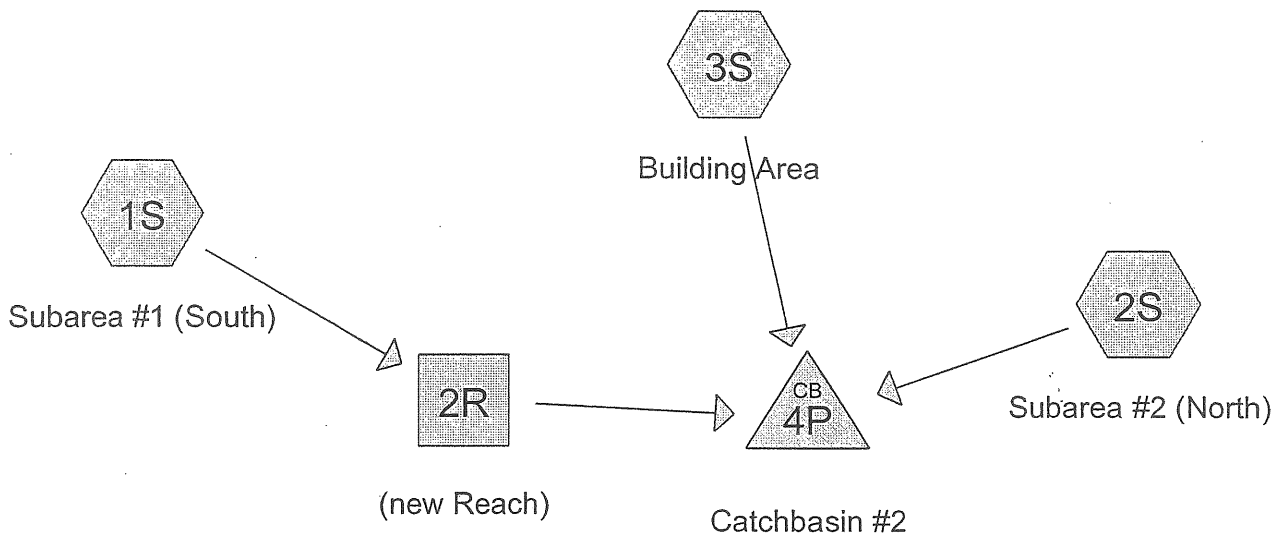
The leaders in the stormwater industry, Stormwater Management, Inc. and Vortechs, Inc., have united as Stormwater360™ – the comprehensive provider of stormwater solutions. With an unparalleled product line and unmatched customer support team under one umbrella, Stormwater360 has the treatment option to meet your water quality goals.

www.stormwater360.com

East:
200 Enterprise Drive, Scarborough, ME 04074
Toll-free: 877.907.8676 Fax: 207.885.9825

West:
12021-B NE Airport Way, Portland, OR 97220
Toll-free: 800.548.4667 Fax: 800.561.1271

Mid-Atlantic:
7020 Troy Hill Drive, Suites A-B, Elkridge, MD 21075
Toll-free: 886-740-3318 Fax: 866-376.8511



Bubba's Sulky

Rainfall Duration=10 min, Inten=5.40 in/hr

Prepared by HydroCAD SAMPLER 1-800-927-7246 www.hydrocad.net

Page 2

HydroCAD® 7.00 s/n 000000 © 1986-2003 Applied Microcomputer Systems

7/29/2005

Time span=0.00-3.00 hrs, dt=0.01 hrs, 301 points

Runoff by Rational method, Rise/Fall=1.0/1.0 xTc

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Subarea #1 (South)Runoff Area=11,230 sf Runoff Depth=0.85"
Tc=5.0 min C=0.95 Runoff=1.33 cfs 0.018 af**Subcatchment 2S: Subarea #2 (North)**Runoff Area=10,314 sf Runoff Depth=0.85"
Tc=5.0 min C=0.95 Runoff=1.22 cfs 0.017 af**Subcatchment 3S: Building Area**Runoff Area=6,913 sf Runoff Depth=0.85"
Tc=5.0 min C=0.95 Runoff=0.82 cfs 0.011 af**Reach 2R: (new Reach)**Peak Depth=0.28' Max Vel=7.6 fps Inflow=1.33 cfs 0.018 af
D=12.0" n=0.012 L=76.0' S=0.0430 1' Capacity=8.01 cfs Outflow=1.33 cfs 0.018 af**Pond 4P: Catchbasin #2**Peak Elev=39.46' Inflow=3.38 cfs 0.046 af
15.0" x 86.0' Culvert Outflow=3.38 cfs 0.046 af**Total Runoff Area = 0.653 ac Runoff Volume = 0.046 af Average Runoff Depth = 0.85"**

Bubba's Sulky

Rainfall Duration=10 min, Inten=5.40 in/hr

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Subcatchment 1S: Subarea #1 (South)

Runoff = 1.33 cfs @ 0.09 hrs, Volume= 0.018 af, Depth= 0.85"

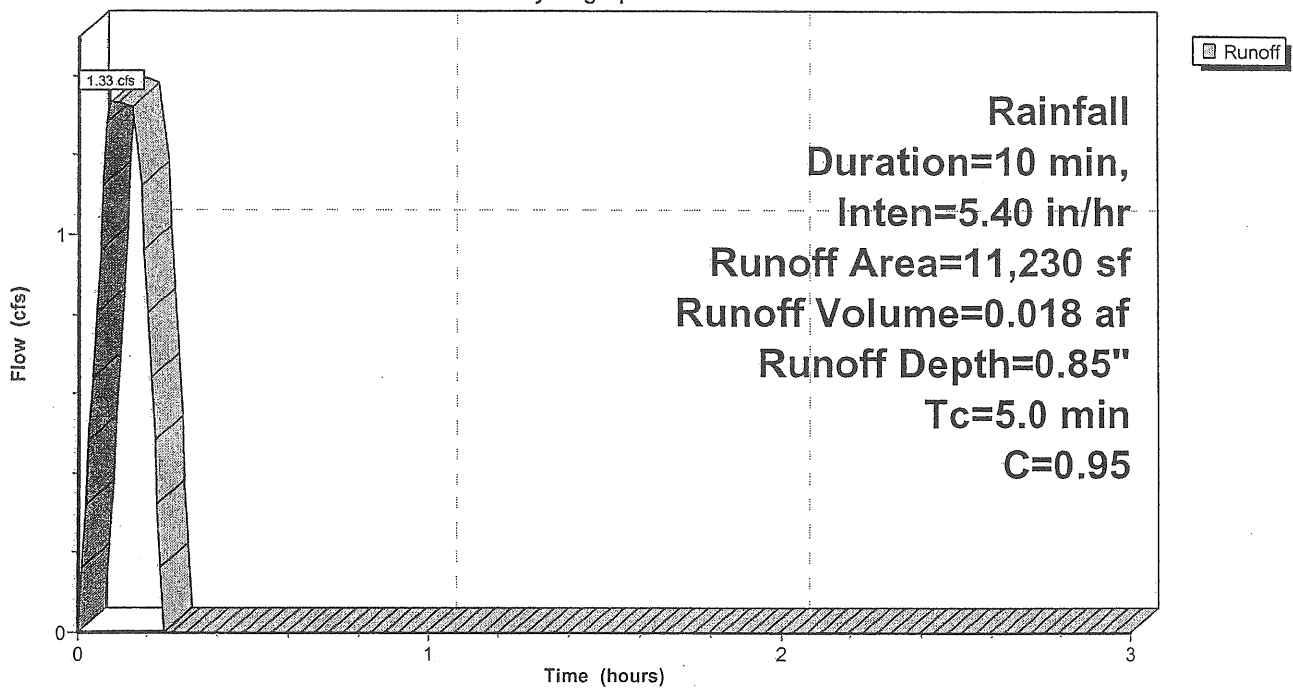
Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
 Rainfall Duration=10 min, Inten=5.40 in/hr

Area (sf)	C	Description
11,230	0.95	Parking area at south end of prop

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry, Minimum Tc

Subcatchment 1S: Subarea #1 (South)

Hydrograph



Bubba's Sulky

Rainfall Duration=10 min, Inten=5.40 in/hr

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Subcatchment 2S: Subarea #2 (North)

Runoff = 1.22 cfs @ 0.09 hrs, Volume= 0.017 af, Depth= 0.85"

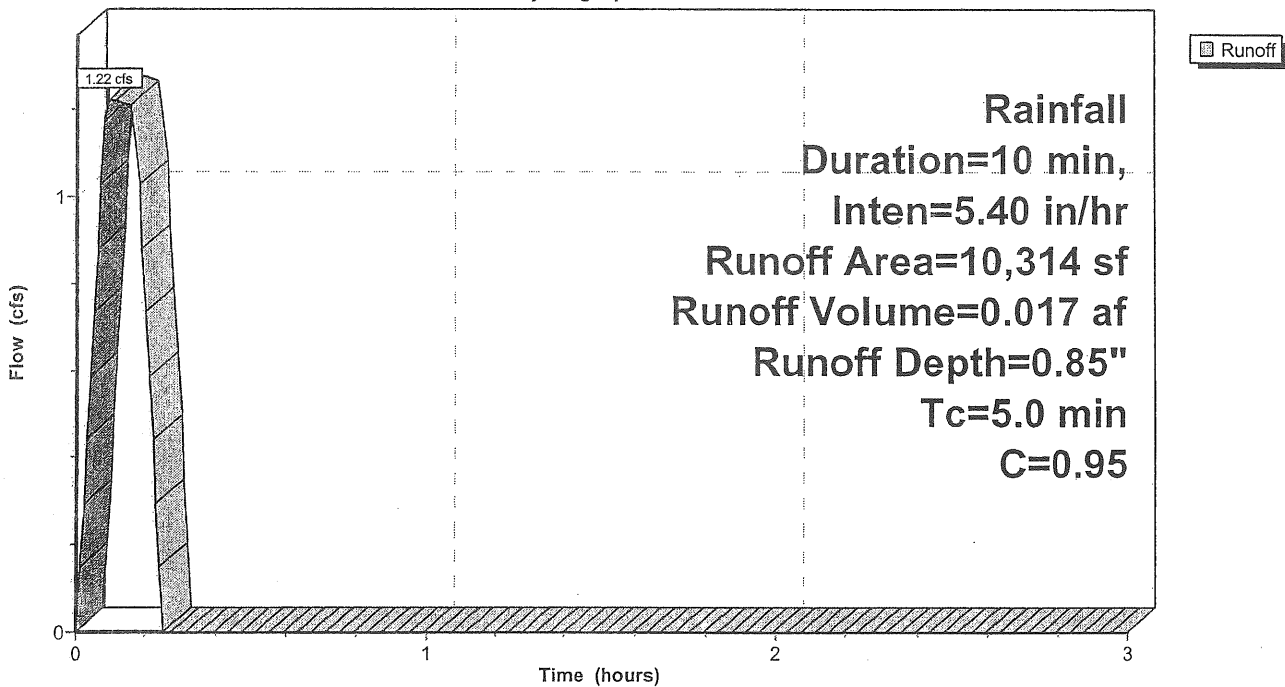
Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
 Rainfall Duration=10 min, Inten=5.40 in/hr

Area (sf)	C	Description
10,314	0.95	Parking Lot & Proposed Addition

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry, Minimum Tc

Subcatchment 2S: Subarea #2 (North)

Hydrograph



Bubba's Sulky

Rainfall Duration=10 min, Inten=5.40 in/hr

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Subcatchment 3S: Building Area

Runoff = 0.82 cfs @ 0.09 hrs, Volume= 0.011 af, Depth= 0.85"

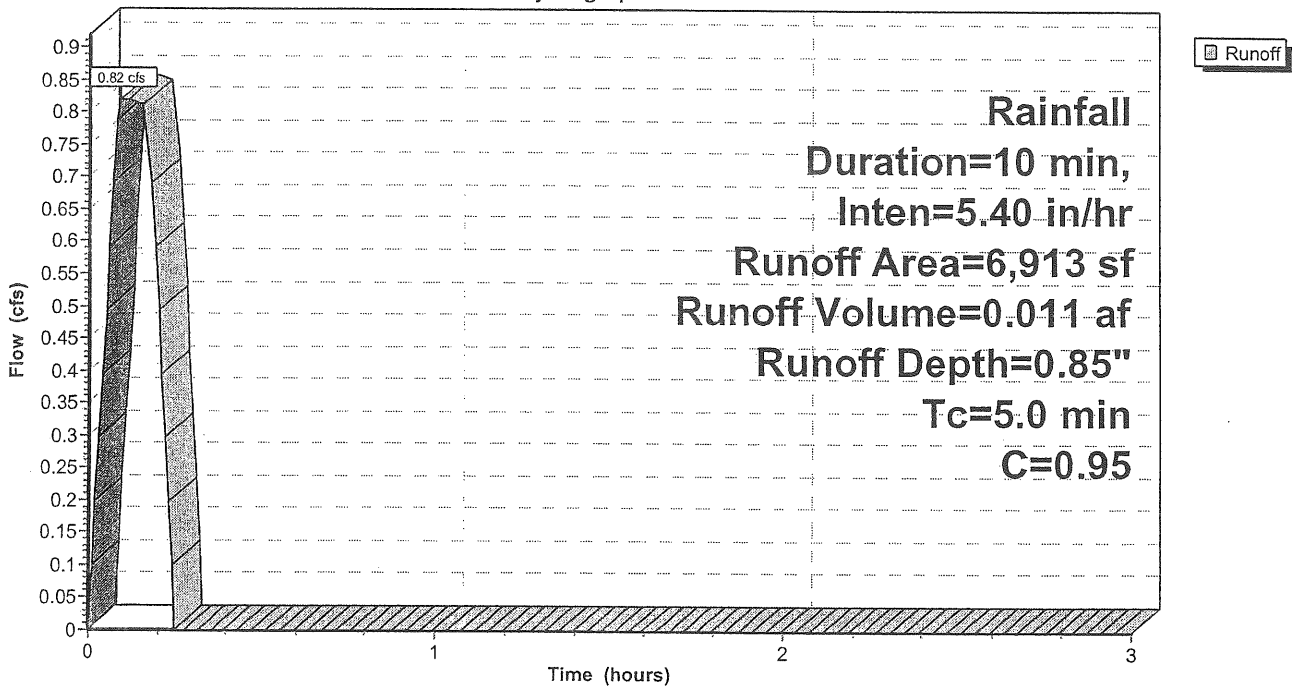
Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
 Rainfall Duration=10 min, Inten=5.40 in/hr

Area (sf)	C	Description
6,913	0.95	

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry, Flow from Roof

Subcatchment 3S: Building Area

Hydrograph



Bubba's Sulky

Rainfall Duration=10 min, Inten=5.40 in/hr

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7/29/2005

Reach 2R: (new Reach)

[52] Hint: Inlet conditions not evaluated

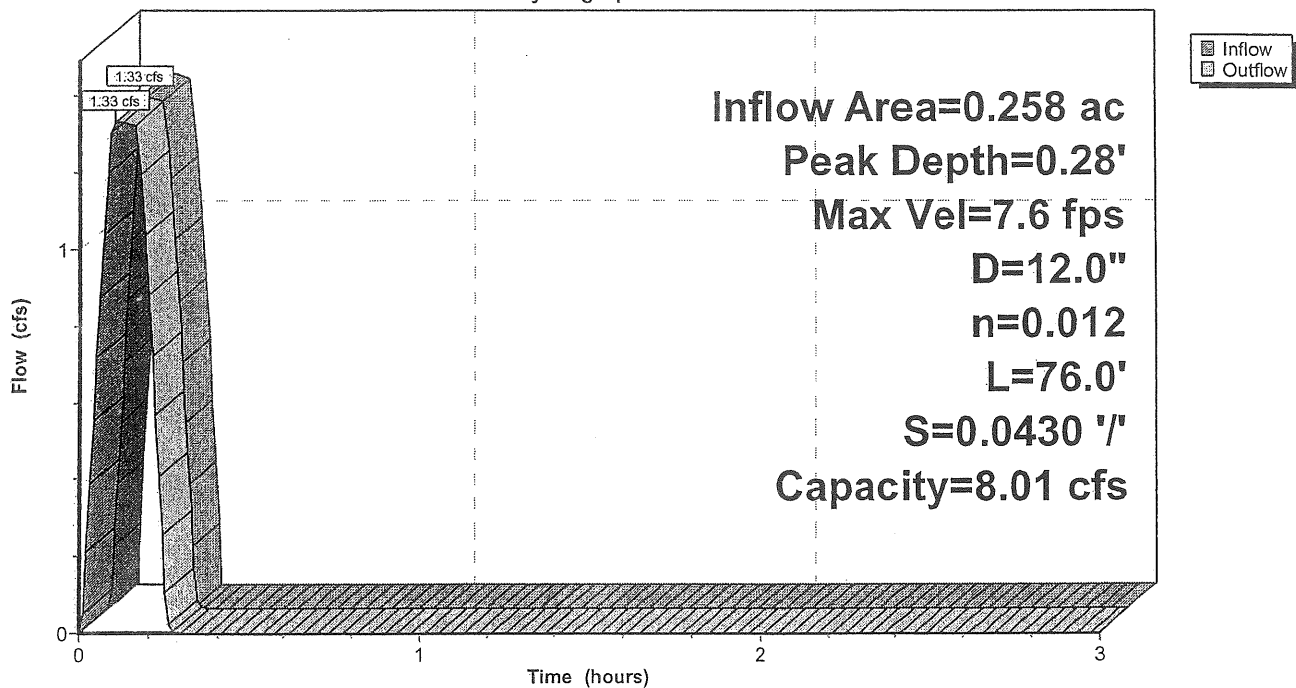
Inflow Area = 0.258 ac, Inflow Depth = 0.85"
Inflow = 1.33 cfs @ 0.09 hrs, Volume= 0.018 af
Outflow = 1.33 cfs @ 0.10 hrs, Volume= 0.018 af, Atten= 0%, Lag= 0.6 min

Routing by Stor-Ind+Trans method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
Max. Velocity= 7.6 fps, Min. Travel Time= 0.2 min
Avg. Velocity = 5.1 fps, Avg. Travel Time= 0.2 min

Peak Depth= 0.28' @ 0.10 hrs
Capacity at bank full= 8.01 cfs
Inlet Invert= 42.00', Outlet Invert= 38.73'
12.0" Diameter Pipe n= 0.012 Length= 76.0' Slope= 0.0430 '/'

Reach 2R: (new Reach)

Hydrograph



Bubba's Sulky

Rainfall Duration=10 min, Inten=5.40 in/hr

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7/29/2005

Pond 4P: Catchbasin #2

[57] Hint: Peaked at 39.46' (Flood elevation advised)

[61] Hint: Submerged 22% of Reach 2R bottom

Inflow Area = 0.653 ac, Inflow Depth = 0.85"
Inflow = 3.38 cfs @ 0.10 hrs, Volume= 0.046 af
Outflow = 3.38 cfs @ 0.10 hrs, Volume= 0.046 af, Atten= 0%, Lag= 0.0 min
Primary = 3.38 cfs @ 0.10 hrs, Volume= 0.046 af

Routing by Stor-Ind method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs

Peak Elev= 39.46' @ 0.10 hrs

Plug-Flow detention time=0.0 min calculated for 0.046 af (100% of inflow)

Center-of-Mass det. time= (not calculated: outflow precedes inflow)

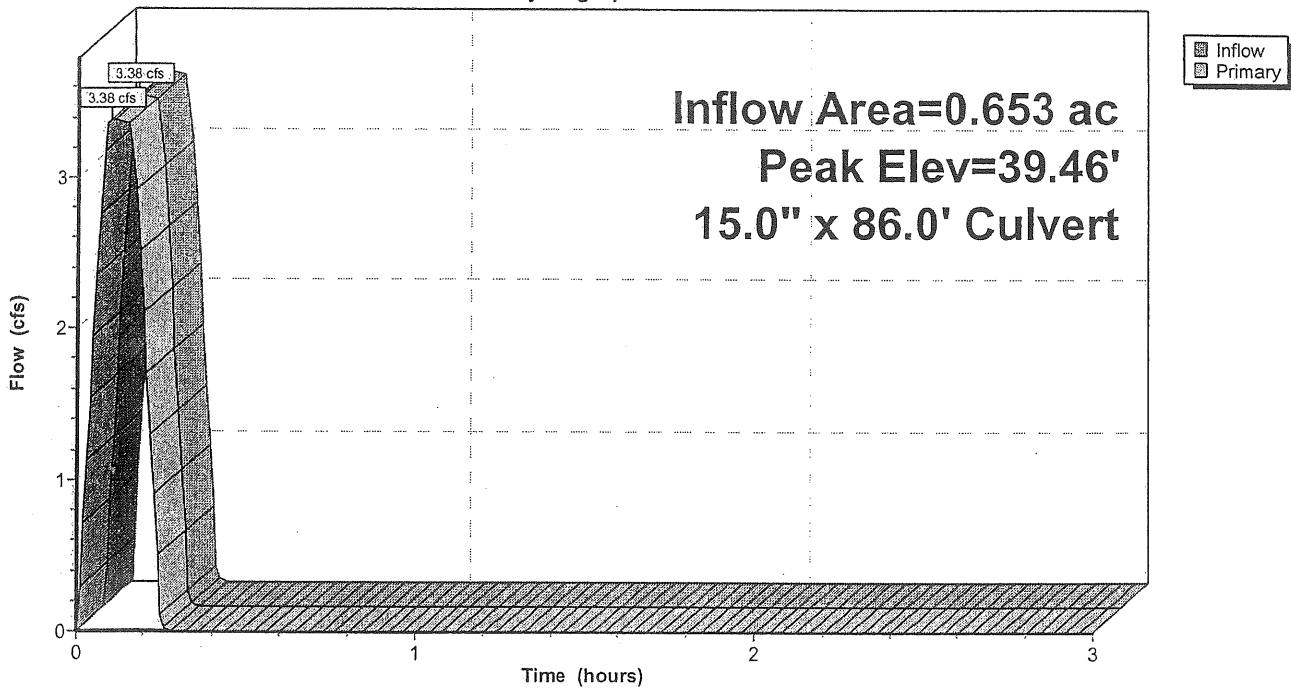
#	Routing	Invert	Outlet Devices
1	Primary	38.50'	15.0" x 86.0' long Culvert RCP, square edge headwall, Ke= 0.500 Outlet Invert= 33.34' S= 0.0600 ' /' n= 0.012 Cc= 0.900

Primary OutFlow Max=3.38 cfs @ 0.10 hrs HW=39.46' (Free Discharge)

1=Culvert (Inlet Controls 3.38 cfs @ 3.3 fps)

Pond 4P: Catchbasin #2

Hydrograph





VORTECHS SYSTEM NET ANNUAL TSS REMOVAL EFFICIENCY

**Bubba's Sulky Lounge
Portland, ME
Model 3000
System Vortechs**

Design Ratio¹ = $\frac{(0.7 \text{ acres}) \times (0.9) \times (449 \text{ gpm/cfs})}{(19.6 \text{ sf})} = 13.5$

<u>Rainfall Intensity</u> "/hr	<u>Operating Rate²</u> gpm/sf	<u>% Total Rainfall</u> Volume ³	<u>Rmvl. Effic⁴</u> (%)	<u>Rel. Effic^y</u> (%)
0.02	0.3	10.5%	98.0%	10.3%
0.04	0.5	10.4%	98.0%	10.2%
0.06	0.8	11.0%	98.0%	10.7%
0.08	1.1	8.9%	98.0%	8.7%
0.10	1.4	7.7%	98.0%	7.5%
0.12	1.6	5.5%	98.0%	5.4%
0.14	1.9	5.4%	98.0%	5.3%
0.16	2.2	5.2%	97.0%	5.0%
0.18	2.4	4.4%	97.0%	4.3%
0.20	2.7	3.6%	97.0%	3.5%
0.25	3.4	7.1%	95.8%	6.8%
0.35	4.7	7.8%	94.1%	7.4%
0.45	6.1	4.5%	91.2%	4.1%
0.65	8.8	4.3%	88.3%	3.8%
1.00	13.5	2.1%	80.3%	1.7%
1.50	20.3	1.1%	69.7%	0.8%
2.50	33.8	0.5%	53.9%	0.3%

95.8%

% rain falling at >2.5"/hr = 0.0%
Assumed Removal Efficiency of remaining % = 0.0%
Removal Efficiency Adjustment⁵ = 6.5%
Net Annual TSS Removal Efficiency = 89%

1 - Design Ratio = (Total Drainage Area) x (Runoff Coefficient) x (cfs to gpm conversion) / Grit Chamber Area
 - The Total Drainage Area and Runoff Coefficient is specified by the site engineer.
 - The conversion factor from cfs to gpm is 449.

2 - Operating Rate (gpm/sf) = intensity ("/hr) x Design Ratio

3 - Based on 10 years of rainfall data from NCDC station 6905, Portland Airport, Cumberland County, ME

4 - Based on Vortechs laboratory verified removal of 50 micron particle gradation (see Technical Bulletin #1).

5- Reduction due to use of 60-minute data for a site that has a time of concentration less than 30-minutes.

Calculated by: JAG 7/29/2005

Checked by:



July 29, 2005

Herbert Gray
Consulting Engineer
111 Simmons Rd
So Portland, ME 04106

Re: Bubba's Sulky Lounge # 11017

Dear Mr Gray,

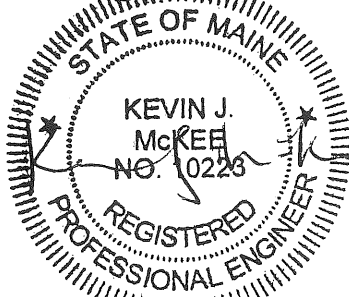
Please find enclosed Hydrocad calculations prepared by Stormwater360™ to analyze the volume of flow that may be expected at the Vortechs Model 3000 in the 10-year storm event. These calculations have allowed us to determine that a flow of 3.38 c.f.s. will be generated and introduced to the Vortechs System in the design storm event. For the purpose of our analysis the site was modeled as if all of the flow from the building was being introduced to Catchbasin #2. We realize that several roof leader connections may be made to the piping downstream of CB #2 but for the purpose of our analysis it was necessary to model it as if all of the connections were introduced to the upstream catchbasin. The flow from Catchbasin #2 is the total flow that will be introduced to the Vortechs System.

Also enclosed is a TSS Removal Efficiency spreadsheet that allows us to predict the expected TSS removal efficiency for the proposed system.

Please don't hesitate to contact me or Jeremy Gray in my office if you have any questions regarding this material.

Sincerely,

Kevin J. McKee, PE
Regional Sales Manager
kmckee@vortechtechnics.com



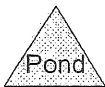
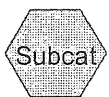
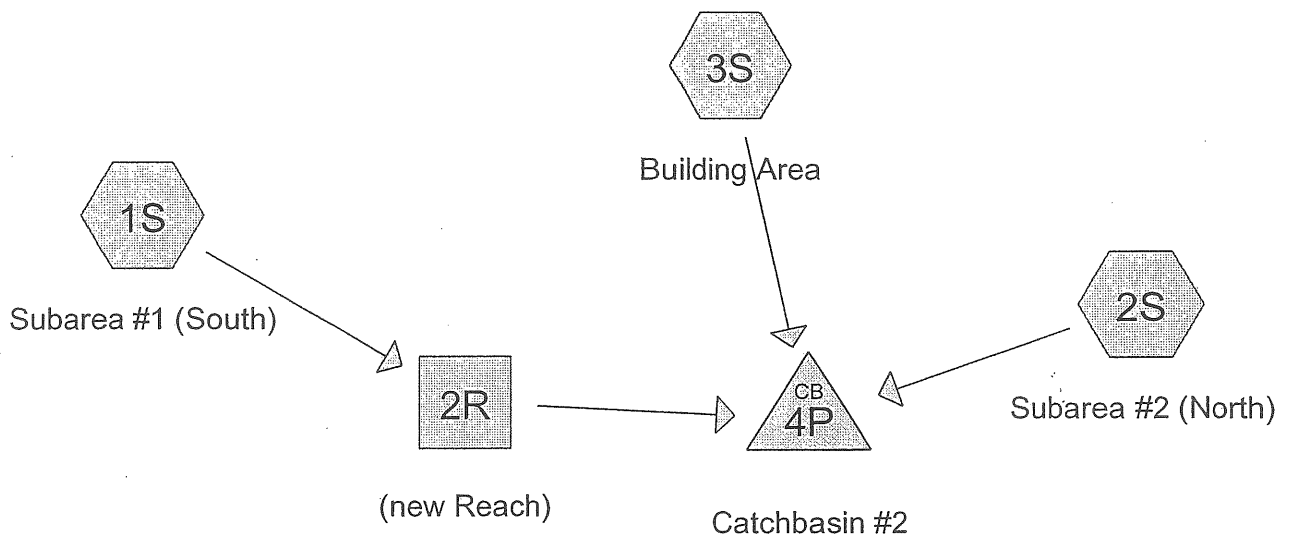
The leaders in the stormwater industry, Stormwater Management, Inc. and Vortechtechnics, Inc., have united as Stormwater360™ – the comprehensive provider of stormwater solutions. With an unparalleled product line and unmatched customer support team under one umbrella, Stormwater360 has the treatment option to meet your water quality goals.

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Toll-free: 800.548.4667 Fax: 800.561.1271

Mid-Atlantic:
7020 Troy Hill Drive, Suites A-B, Elkridge, MD 21075
Toll-free: 866-740-3318 Fax: 866-376.8511



Bubba's Sulky

Rainfall Duration=10 min, Inten=5.40 in/hr

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7/29/2005

Time span=0.00-3.00 hrs, dt=0.01 hrs, 301 points
Runoff by Rational method, Rise/Fall=1.0/1.0 xTc
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Subarea #1 (South)Runoff Area=11,230 sf Runoff Depth=0.85"
Tc=5.0 min C=0.95 Runoff=1.33 cfs 0.018 af**Subcatchment 2S: Subarea #2 (North)**Runoff Area=10,314 sf Runoff Depth=0.85"
Tc=5.0 min C=0.95 Runoff=1.22 cfs 0.017 af**Subcatchment 3S: Building Area**Runoff Area=6,913 sf Runoff Depth=0.85"
Tc=5.0 min C=0.95 Runoff=0.82 cfs 0.011 af**Reach 2R: (new Reach)**Peak Depth=0.28' Max Vel=7.6 fps Inflow=1.33 cfs 0.018 af
D=12.0" n=0.012 L=76.0' S=0.0430 '/ Capacity=8.01 cfs Outflow=1.33 cfs 0.018 af**Pond 4P: Catchbasin #2**Peak Elev=39.46' Inflow=3.38 cfs 0.046 af
15.0" x 86.0' Culvert Outflow=3.38 cfs 0.046 af**Total Runoff Area = 0.653 ac Runoff Volume = 0.046 af Average Runoff Depth = 0.85"**

Bubba's Sulky

Rainfall Duration=10 min, Inten=5.40 in/hr

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Subcatchment 1S: Subarea #1 (South)

Runoff = 1.33 cfs @ 0.09 hrs, Volume= 0.018 af, Depth= 0.85"

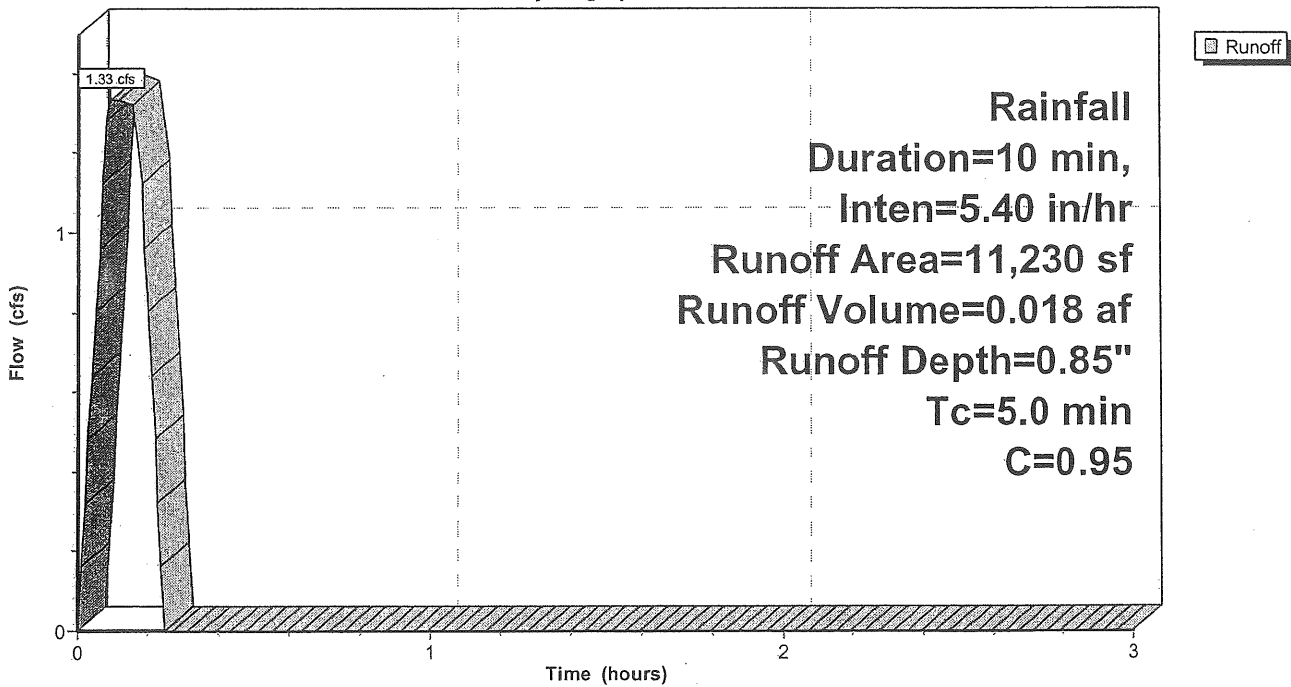
Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
 Rainfall Duration=10 min, Inten=5.40 in/hr

Area (sf)	C	Description
11,230	0.95	Parking area at south end of prop

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry, Minimum Tc

Subcatchment 1S: Subarea #1 (South)

Hydrograph



Bubba's Sulky

Rainfall Duration=10 min, Inten=5.40 in/hr

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Subcatchment 2S: Subarea #2 (North)

Runoff = 1.22 cfs @ 0.09 hrs, Volume= 0.017 af, Depth= 0.85"

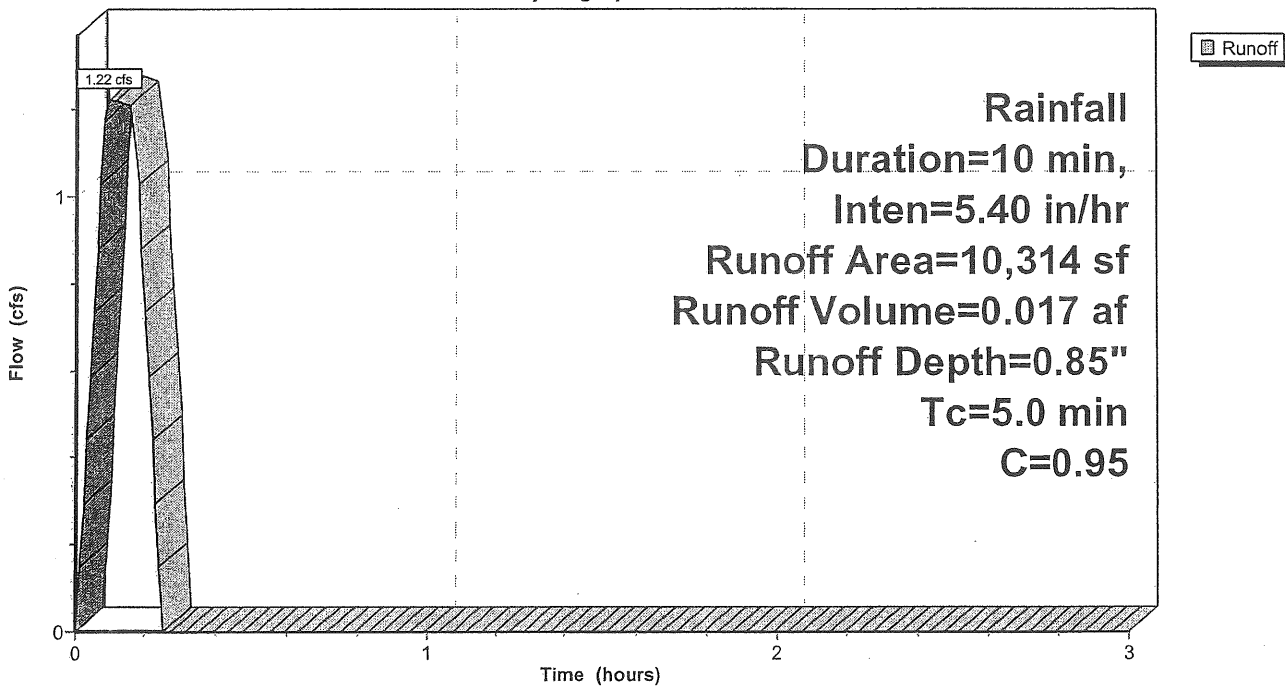
Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
 Rainfall Duration=10 min, Inten=5.40 in/hr

Area (sf)	C	Description
10,314	0.95	Parking Lot & Proposed Addition

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry, Minimum Tc

Subcatchment 2S: Subarea #2 (North)

Hydrograph



Bubba's Sulky

Rainfall Duration=10 min, Inten=5.40 in/hr

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Subcatchment 3S: Building Area

Runoff = 0.82 cfs @ 0.09 hrs, Volume= 0.011 af, Depth= 0.85"

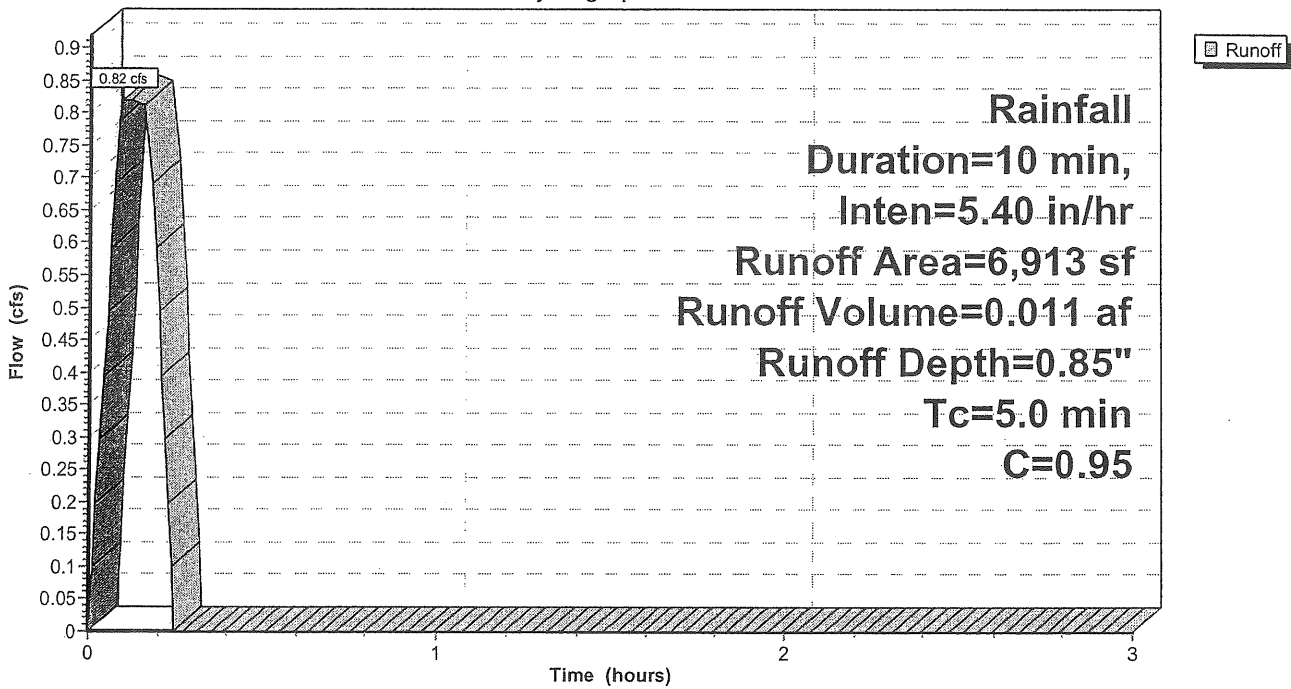
Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
 Rainfall Duration=10 min, Inten=5.40 in/hr

Area (sf)	C	Description
6,913	0.95	

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry, Flow from Roof

Subcatchment 3S: Building Area

Hydrograph



Bubba's Sulky

Rainfall Duration=10 min, Inten=5.40 in/hr

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Page 6

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7/29/2005

Reach 2R: (new Reach)

[52] Hint: Inlet conditions not evaluated

Inflow Area = 0.258 ac, Inflow Depth = 0.85"
Inflow = 1.33 cfs @ 0.09 hrs, Volume= 0.018 af
Outflow = 1.33 cfs @ 0.10 hrs, Volume= 0.018 af, Atten= 0%, Lag= 0.6 min

Routing by Stor-Ind+Trans method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs

Max. Velocity= 7.6 fps, Min. Travel Time= 0.2 min

Avg. Velocity = 5.1 fps, Avg. Travel Time= 0.2 min

Peak Depth= 0.28' @ 0.10 hrs

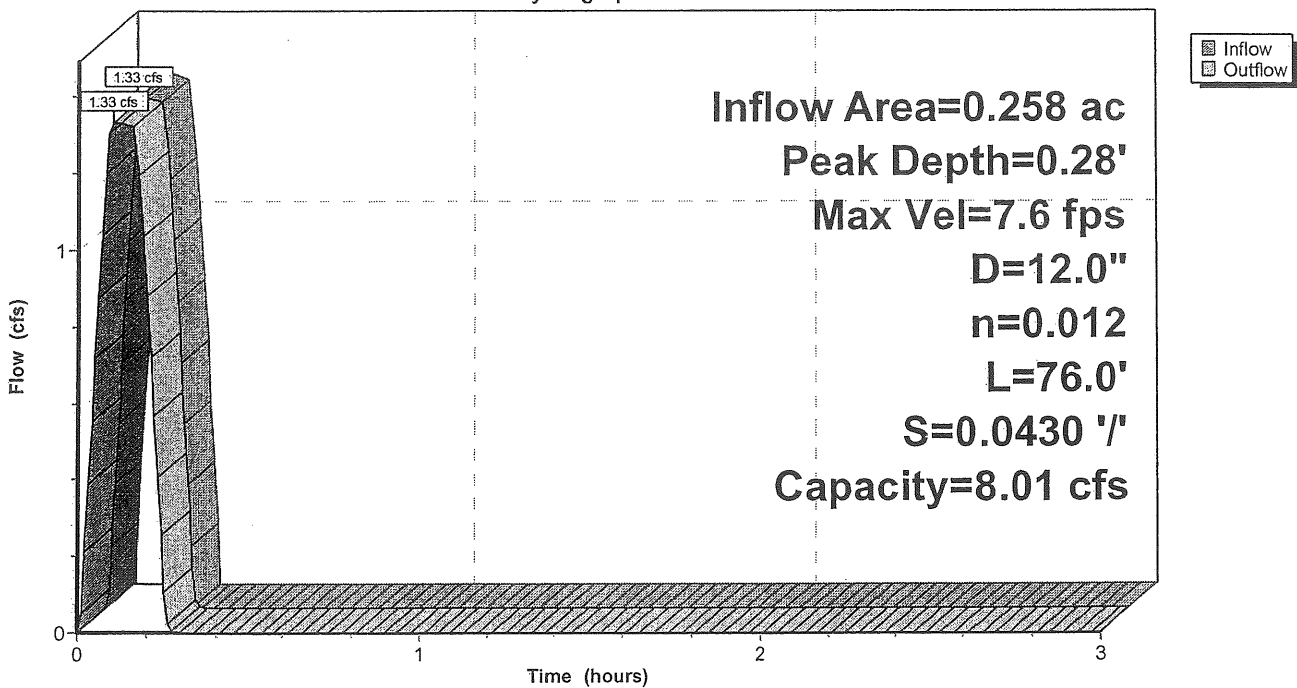
Capacity at bank full= 8.01 cfs

Inlet Invert= 42.00', Outlet Invert= 38.73'

12.0" Diameter Pipe n= 0.012 Length= 76.0' Slope= 0.0430 '/'

Reach 2R: (new Reach)

Hydrograph



Bubba's Sulky

Rainfall Duration=10 min, Inten=5.40 in/hr

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7/29/2005

Pond 4P: Catchbasin #2

[57] Hint: Peaked at 39.46' (Flood elevation advised)

[61] Hint: Submerged 22% of Reach 2R bottom

Inflow Area = 0.653 ac, Inflow Depth = 0.85"
Inflow = 3.38 cfs @ 0.10 hrs, Volume= 0.046 af
Outflow = 3.38 cfs @ 0.10 hrs, Volume= 0.046 af, Atten= 0%, Lag= 0.0 min
Primary = 3.38 cfs @ 0.10 hrs, Volume= 0.046 af

Routing by Stor-Ind method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs

Peak Elev= 39.46' @ 0.10 hrs

Plug-Flow detention time=0.0 min calculated for 0.046 af (100% of inflow)

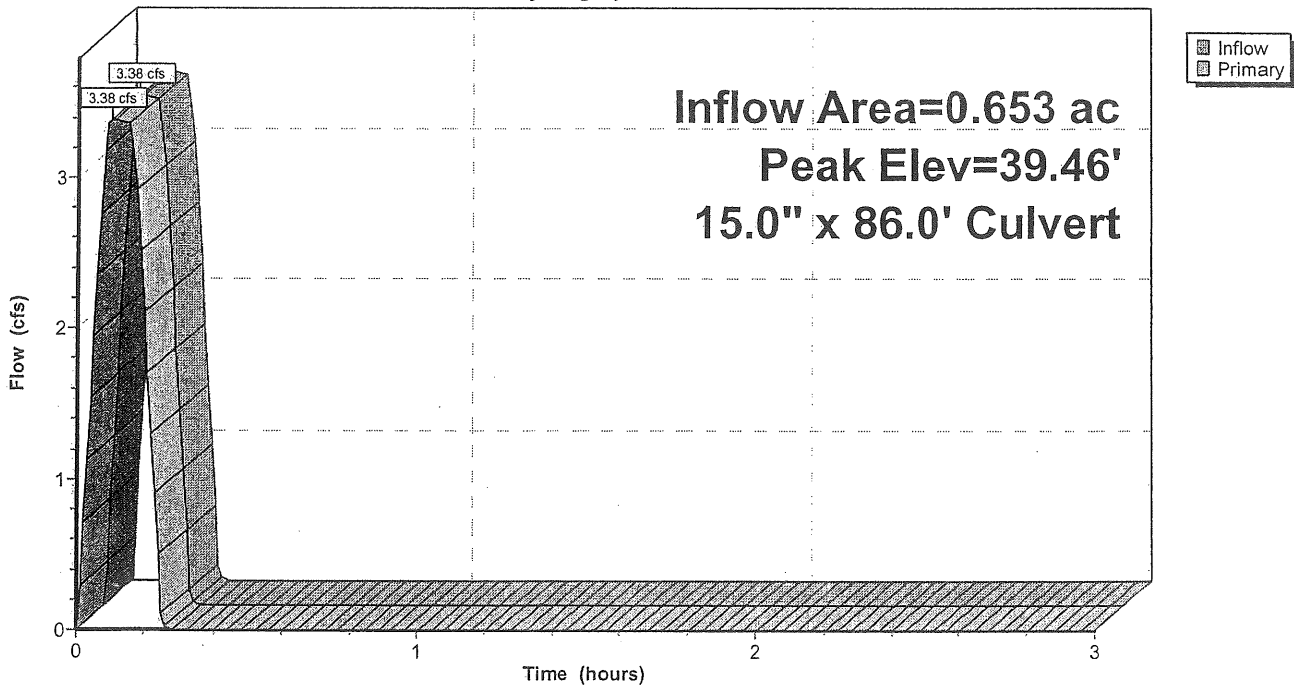
Center-of-Mass det. time= (not calculated: outflow precedes inflow)

#	Routing	Invert	Outlet Devices
1	Primary	38.50'	15.0" x 86.0' long Culvert RCP, square edge headwall, Ke= 0.500 Outlet Invert= 33.34' S= 0.0600 '/' n= 0.012 Cc= 0.900

Primary OutFlow Max=3.38 cfs @ 0.10 hrs HW=39.46' (Free Discharge)
↑ 1=Culvert (Inlet Controls 3.38 cfs @ 3.3 fps)

Pond 4P: Catchbasin #2

Hydrograph





VORTECHS SYSTEM NET ANNUAL TSS REMOVAL EFFICIENCY

**Bubba's Sulky Lounge
Portland, ME
Model 3000
System Vortechs**

Design Ratio¹ = $\frac{(0.7 \text{ acres}) \times (0.9) \times (449 \text{ gpm/cfs})}{(19.6 \text{ sf})} = 13.5$

<u>Rainfall Intensity</u> "/hr	<u>Operating Rate²</u> gpm/sf	<u>% Total Rainfall</u> Volume ³	<u>Rmvl. Effcy⁴</u> (%)	<u>Rel. Effcy</u> (%)
0.02	0.3	10.5%	98.0%	10.3%
0.04	0.5	10.4%	98.0%	10.2%
0.06	0.8	11.0%	98.0%	10.7%
0.08	1.1	8.9%	98.0%	8.7%
0.10	1.4	7.7%	98.0%	7.5%
0.12	1.6	5.5%	98.0%	5.4%
0.14	1.9	5.4%	98.0%	5.3%
0.16	2.2	5.2%	97.0%	5.0%
0.18	2.4	4.4%	97.0%	4.3%
0.20	2.7	3.6%	97.0%	3.5%
0.25	3.4	7.1%	95.8%	6.8%
0.35	4.7	7.8%	94.1%	7.4%
0.45	6.1	4.5%	91.2%	4.1%
0.65	8.8	4.3%	88.3%	3.8%
1.00	13.5	2.1%	80.3%	1.7%
1.50	20.3	1.1%	69.7%	0.8%
2.50	33.8	0.5%	53.9%	0.3%
				95.8%

% rain falling at >2.5"/hr = 0.0%
Assumed Removal Efficiency of remaining % = 0.0%
Removal Efficiency Adjustment⁵ = 6.5%
Net Annual TSS Removal Efficiency = 89%

1 - Design Ratio = (Total Drainage Area) x (Runoff Coefficient) x (cfs to gpm conversion) / Grit Chamber Area
 - The Total Drainage Area and Runoff Coefficient is specified by the site engineer.
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2 - Operating Rate (gpm/sf) = intensity ("/hr) x Design Ratio

3 - Based on 10 years of rainfall data from NCDC station 6905, Portland Airport, Cumberland County, ME

4 - Based on Vortechs laboratory verified removal of 50 micron particle gradation (see Technical Bulletin #1).

5- Reduction due to use of 60-minute data for a site that has a time of concentration less than 30-minutes.

Calculated by: JAG 7/29/2005

Checked by:

City of Portland
Department of Planning and Development
Planning Division
389 Congress Street, 4th Floor
Portland ME 04101
(207)874-8721 or (207)874-8719
Fax: (207)756-8258



FAX

To: HERB GRAY

Company: _____

Fax #: 767-1861

Date: SEPTEMBER 8, 2005

From: ETHAN BOYER-MACOMBER

You should receive 3 page(s) including this cover sheet.

Comments:

HERB →
Jim's 8-25-05 comments, as per our
conversation.
EBM



05P000

TO: Ethan Macomber Boxer – Planner
FROM: Jim Seymour – Development Review Coordinator, Sebago Technics, Inc.
RE: Bubba’s Sulky Lounge – Parking & Site Improvements TEL: 856-0277
92 Portland Street, Portland, ME
DATE: August 25, 2005

Sebago Technics has reviewed the minor Site Plan Package (dated 8/08/05) prepared by Herbert P. Gray, PE for the proposed Parking & Site Improvements to be located at 92 Portland Street for Bubba’s Sulky Lounge. We understand that the applicant has met with the Public Works engineer and agreed in principle with the drainage concepts. The following comments are submitted in for the Planning Staff and applicants review:

Comments

- A. The plan indicates that there are two very close conflicts of construction activity adjacent to existing CMP poles. The new Type ‘E’ catch basin in Portland Street is against CMP Pole #12 and the proposed storm drain line heading across the sidewalk ramp is running against the existing pole at the intersection. Structures and pipes need to be re-aligned to avoid costly conflicts.
- B. Limits of City Sidewalk and street repair shall be disclosed and shown on the plans.
- C. Will the Catch basin to be replaced on Portland Street require a new CB head stone?
- D. The stormwater report did not include a mapping of the watersheds on an actual plan.
- E. The City requires a drainage maintenance agreement to connect into City infrastructure.
- F. The limits of parking lot paving and detail of on-site trench paving is needed.
- G. The parking lot ramp shall be reconstructed in brick, not repaved per Note 5.

- H. General notes are needed discussing Dig Safe, City street permits, storage of existing City materials, and daily cleaning of City streets of debris and or dust control

The plan still needs some minor corrections before approval to resolve a few infrastructure alignment/conflicts with CMP poles. Please contact our office with any questions.

JRS:jrs

MODE = MEMORY TRANSMISSION

START=SEP-08 09:39

END=SEP-08 09:41

FILE NO.=464

STN NO.	COMM.	ABBR NO.	STATION NAME/TEL NO.	PAGES	DURATION
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-CITY OF PORTLAND -

City of Portland
 Department of Planning and Development
 Planning Division
 389 Congress Street, 4th Floor
 Portland ME 04101
 (207)874-8721 or (207)874-8719
 Fax: (207)756-8258



FAX

To: HERB GRAY

Company: _____

Fax #: 767-1861

Date: SEPTEMBER 8, 2005

From: ETHAN BOXER-MACAMBER

You should receive 3 page(s) including this cover sheet.

Comments:

HERB →

JIM'S 8-25-05 COMMENTS, AS PER OUR CONVERSATION.

EBM

Herbert P. Gray

Consulting Engineer

111 SIMMONS ROAD, SOUTH PORTLAND, MAINE 04106 TEL. & FAX: 207-767-1861

September 13, 2005

Mr. Ethan Boxer Macomber, Planner
Planning Department
City of Portland, Maine 04101

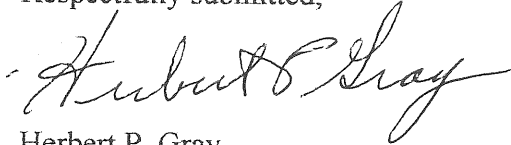
Re: Bubba's Sulky Lounge addition

Dear Planning Department:

On September 8, 2005, I received comments from Jim Seymour for the above project. I talked with Jim on the phone and the following corrections were made to the plans.

Also included is a map of the watersheds on an actual plan.

Respectfully submitted,



Herbert P. Gray



05P000

TO: Ethan Macomber Boxer - Planner
FROM: Jim Seymour - Development Review Coordinator, Sebago Technics, Inc.
RE: Bubba's Sulky Lounge - Parking & Site Improvements
92 Portland Street, Portland, ME
DATE: August 25, 2005

Sebago Technics has reviewed the minor Site Plan Package (dated 8/08/05) prepared by Herbert P. Gray, PE for the proposed Parking & Site Improvements to be located at 92 Portland Street for Bubba's Sulky Lounge. We understand that the applicant has met with the Public Works engineer and agreed in principle with the drainage concepts. The following comments are submitted in for the Planning Staff and applicants review:

Comments

- A. The plan indicates that there are two very close conflicts of construction activity adjacent to existing CMP poles. The new Type 'E' catch basin in Portland Street is against CMP Pole #12 and the proposed storm drain line heading across the sidewalk ramp is running against the existing pole at the intersection. Structures and pipes need to be re-aligned to avoid costly conflicts.
- B. Limits of City Sidewalk and street repair shall be disclosed and shown on the plans.
- C. Will the Catch basin to be replaced on Portland Street require a new CB head stone?
- D. The stormwater report did not include a mapping of the watersheds on an actual plan.
- E. The City requires a drainage maintenance agreement to connect into City infrastructure.
- F. The limits of parking lot paving and detail of on-site trench paving is needed.
- G. The parking lot ramp shall be reconstructed in brick, not repaved per Note 5.
- H. General notes are needed discussing Dig Safe, City street permits, storage of

Parking & Site Improvements
61 Monument Street

-2-

July 28, 2005

existing City materials, and daily cleaning of City streets of debris and or dust control

The plan still needs some minor corrections before approval to resolve a few infrastructure alignment/conflicts with CMP poles. Please contact our office with any questions.
JRS:jrs



July 29, 2005

Herbert Gray
Consulting Engineer
111 Simmons Rd
So Portland, ME 04106

Re: Bubba's Sulky Lounge # 11017

Dear Mr Gray,

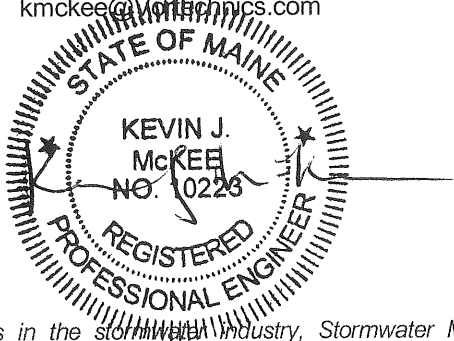
Please find enclosed Hydrocad calculations prepared by Stormwater360™ to analyze the volume of flow that may be expected at the Vortechs Model 3000 in the 10-year storm event. These calculations have allowed us to determine that a flow of 3.38 c.f.s. will be generated and introduced to the Vortechs System in the design storm event. For the purpose of our analysis the site was modeled as if all of the flow from the building was being introduced to Catchbasin #2. We realize that several roof leader connections may be made to the piping downstream of CB #2 but for the purpose of our analysis it was necessary to model it as if all of the connections were introduced to the upstream catchbasin. The flow from Catchbasin #2 is the total flow that will be introduced to the Vortechs System.

Also enclosed is a TSS Removal Efficiency spreadsheet that allows us to predict the expected TSS removal efficiency for the proposed system.

Please don't hesitate to contact me or Jeremy Gray in my office if you have any questions regarding this material.

Sincerely,

Kevin J. McKee, PE
Regional Sales Manager
kmckee@vortechs.com



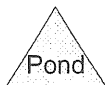
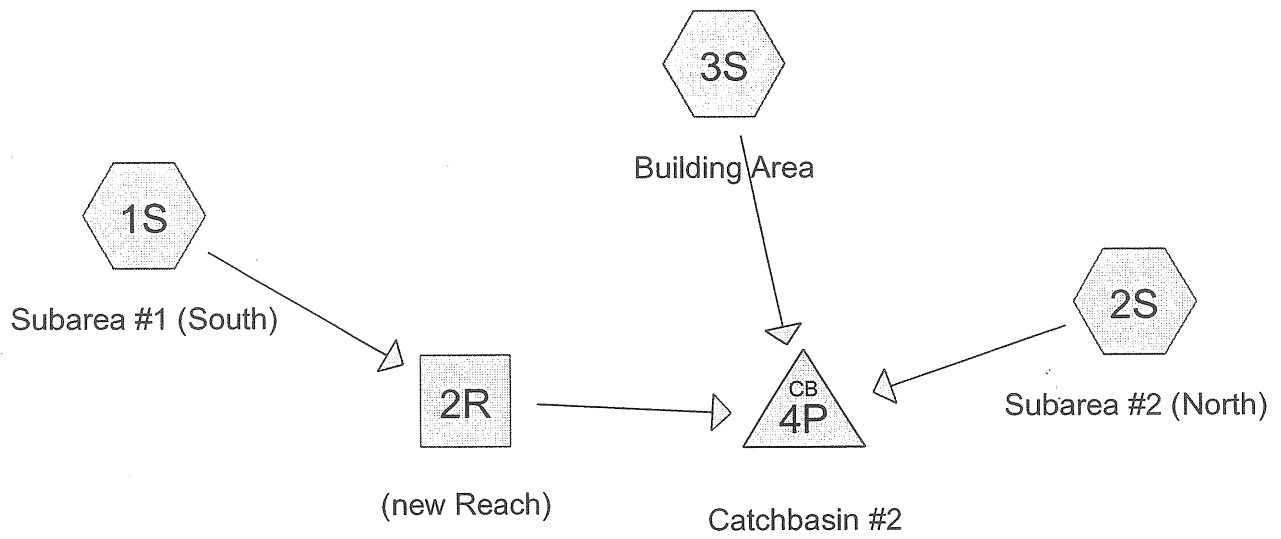
The leaders in the stormwater industry, Stormwater Management, Inc. and Vortechs, Inc., have united as Stormwater360™ – the comprehensive provider of stormwater solutions. With an unparalleled product line and unmatched customer support team under one umbrella, Stormwater360 has the treatment option to meet your water quality goals.

www.stormwater360.com

East:
200 Enterprise Drive, Scarborough, ME 04074
Toll-free: 877.907.8676 Fax: 207.885.9825

West:
12021-B NE Airport Way, Portland, OR 97220
Toll-free: 800.548.4667 Fax: 800.561.1271

Mid-Atlantic:
7020 Troy Hill Drive, Suites A-B, Elkridge, MD 21075
Toll-free: 886-740-3318 Fax: 866-376.8511



Drainage Diagram for Bubba's Sulky

Prepared by HydroCAD SAMPLER 1-800-927-7246 www.hydrocad.net 7/29/2005
 HydroCAD® 7.00 s/n 000000 © 1986-2003 Applied Microcomputer Systems

Bubba's Sulky

Rainfall Duration=10 min, Inten=5.40 in/hr

Prepared by HydroCAD SAMPLER 1-800-927-7246 www.hydrocad.net

Page 2

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7/29/2005

Time span=0.00-3.00 hrs, dt=0.01 hrs, 301 points

Runoff by Rational method, Rise/Fall=1.0/1.0 xTc

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Subarea #1 (South)Runoff Area=11,230 sf Runoff Depth=0.85"
Tc=5.0 min C=0.95 Runoff=1.33 cfs 0.018 af**Subcatchment 2S: Subarea #2 (North)**Runoff Area=10,314 sf Runoff Depth=0.85"
Tc=5.0 min C=0.95 Runoff=1.22 cfs 0.017 af**Subcatchment 3S: Building Area**Runoff Area=6,913 sf Runoff Depth=0.85"
Tc=5.0 min C=0.95 Runoff=0.82 cfs 0.011 af**Reach 2R: (new Reach)**Peak Depth=0.28' Max Vel=7.6 fps Inflow=1.33 cfs 0.018 af
D=12.0" n=0.012 L=76.0' S=0.0430 '/' Capacity=8.01 cfs Outflow=1.33 cfs 0.018 af**Pond 4P: Catchbasin #2**Peak Elev=39.46' Inflow=3.38 cfs 0.046 af
15.0" x 86.0' Culvert Outflow=3.38 cfs 0.046 af**Total Runoff Area = 0.653 ac Runoff Volume = 0.046 af Average Runoff Depth = 0.85"**

Bubba's Sulky

Prepared by HydroCAD SAMPLER 1-800-927-7246 www.hydrocad.net
 HydroCAD® 7.00 s/n 000000 © 1986-2003 Applied Microcomputer Systems

Rainfall Duration=10 min, Inten=5.40 in/hr

Page 3
 7/29/2005

Subcatchment 1S: Subarea #1 (South)

Runoff = 1.33 cfs @ 0.09 hrs, Volume= 0.018 af, Depth= 0.85"

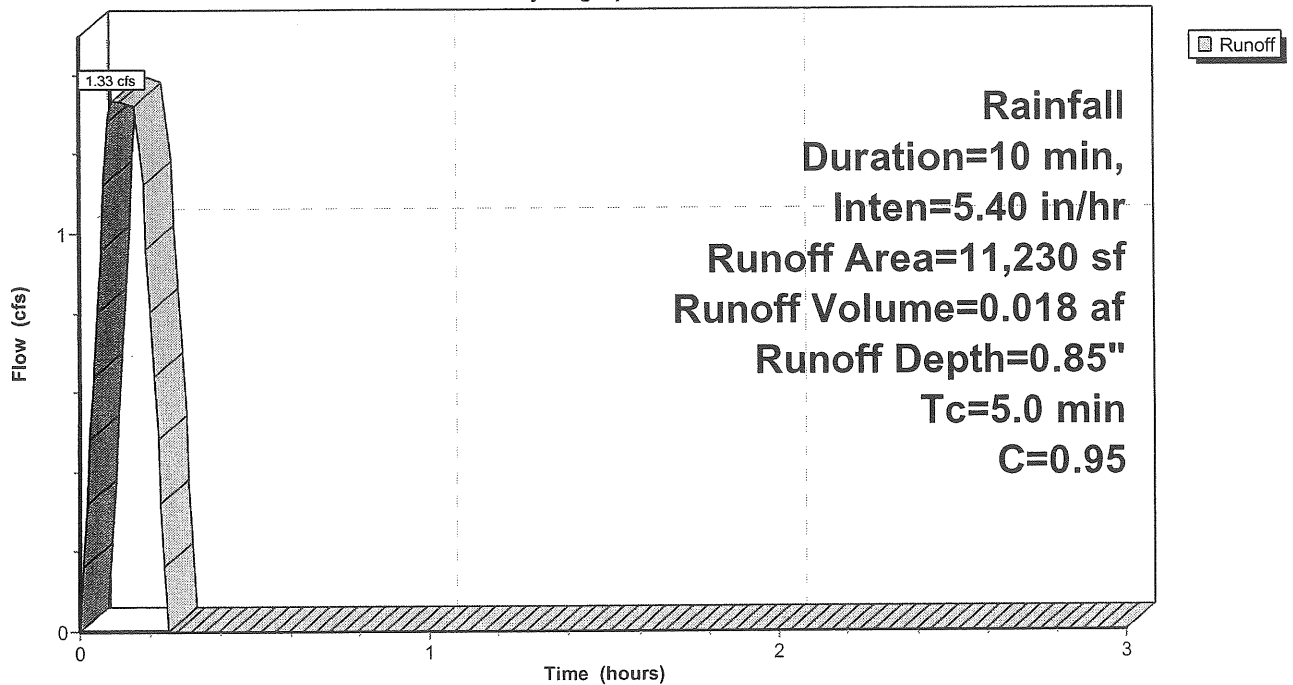
Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
 Rainfall Duration=10 min, Inten=5.40 in/hr

Area (sf)	C	Description
11,230	0.95	Parking area at south end of prop

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry, Minimum Tc

Subcatchment 1S: Subarea #1 (South)

Hydrograph



Bubba's Sulky

Prepared by HydroCAD SAMPLER 1-800-927-7246 www.hydrocad.net
HydroCAD® 7.00 s/n 000000 © 1986-2003 Applied Microcomputer Systems

Rainfall Duration=10 min, Inten=5.40 in/hr

Page 4
7/29/2005

Subcatchment 2S: Subarea #2 (North)

Runoff = 1.22 cfs @ 0.09 hrs, Volume= 0.017 af, Depth= 0.85"

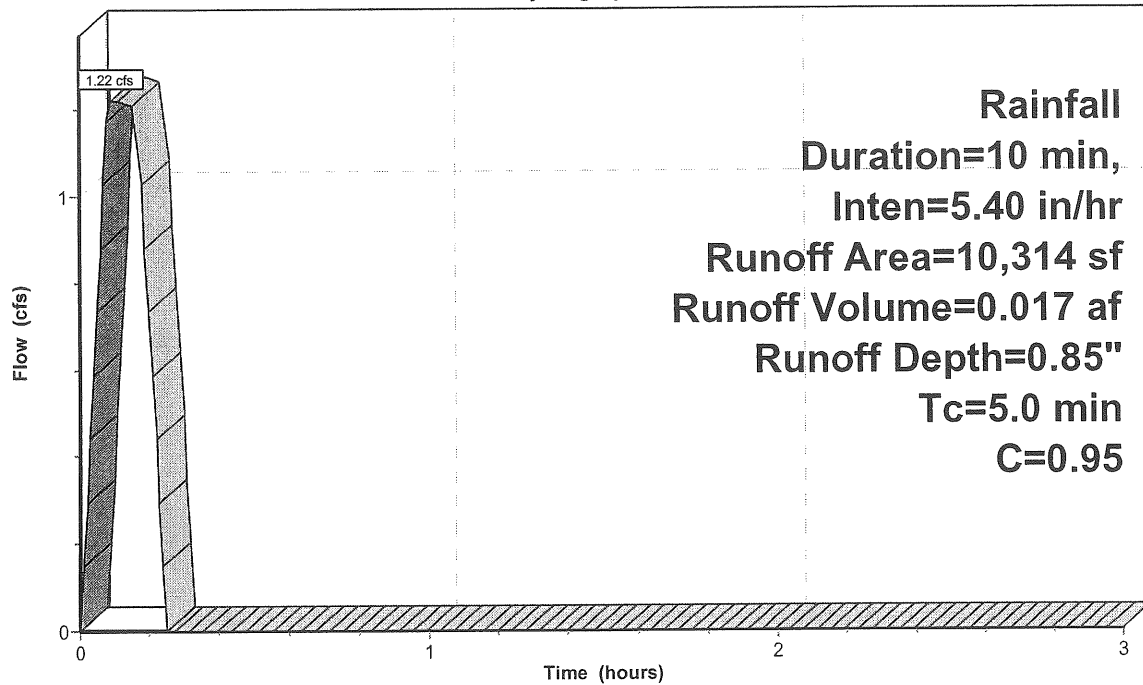
Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
Rainfall Duration=10 min, Inten=5.40 in/hr

Area (sf)	C	Description
10,314	0.95	Parking Lot & Proposed Addition

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry, Minimum Tc

Subcatchment 2S: Subarea #2 (North)

Hydrograph



Bubba's Sulky

Rainfall Duration=10 min, Inten=5.40 in/hr

Prepared by HydroCAD SAMPLER 1-800-927-7246 www.hydrocad.net

Page 5

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7/29/2005

Subcatchment 3S: Building Area

Runoff = 0.82 cfs @ 0.09 hrs, Volume= 0.011 af, Depth= 0.85"

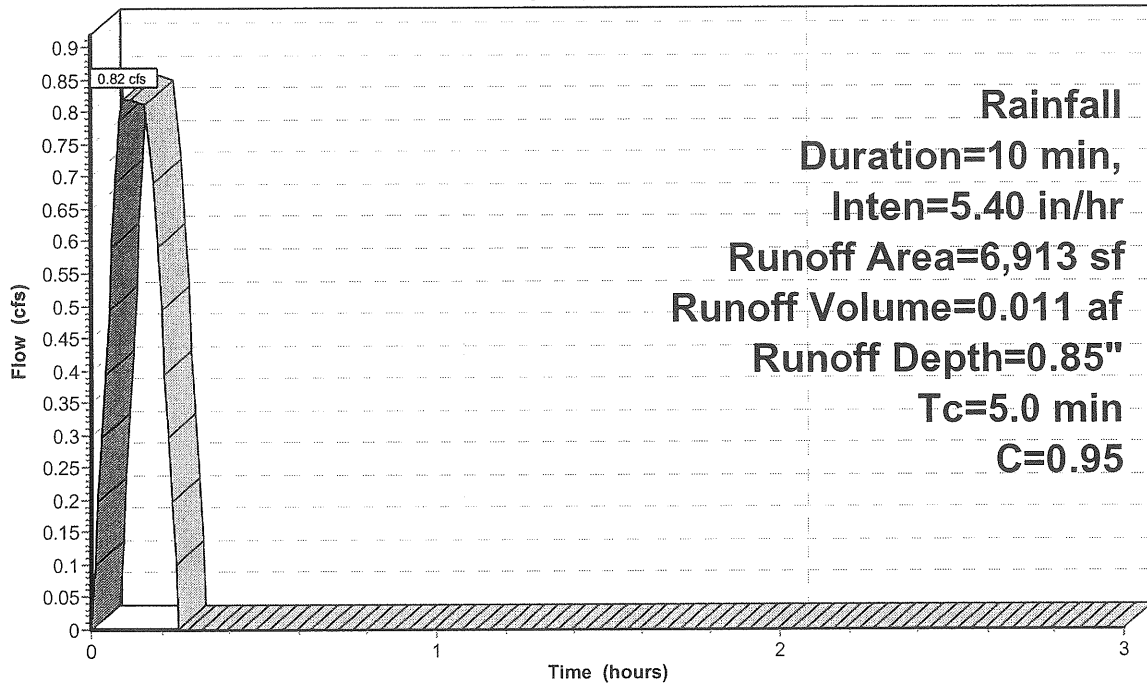
Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
Rainfall Duration=10 min, Inten=5.40 in/hr

Area (sf)	C	Description
6,913	0.95	

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry, Flow from Roof

Subcatchment 3S: Building Area

Hydrograph



Reach 2R: (new Reach)

[52] Hint: Inlet conditions not evaluated

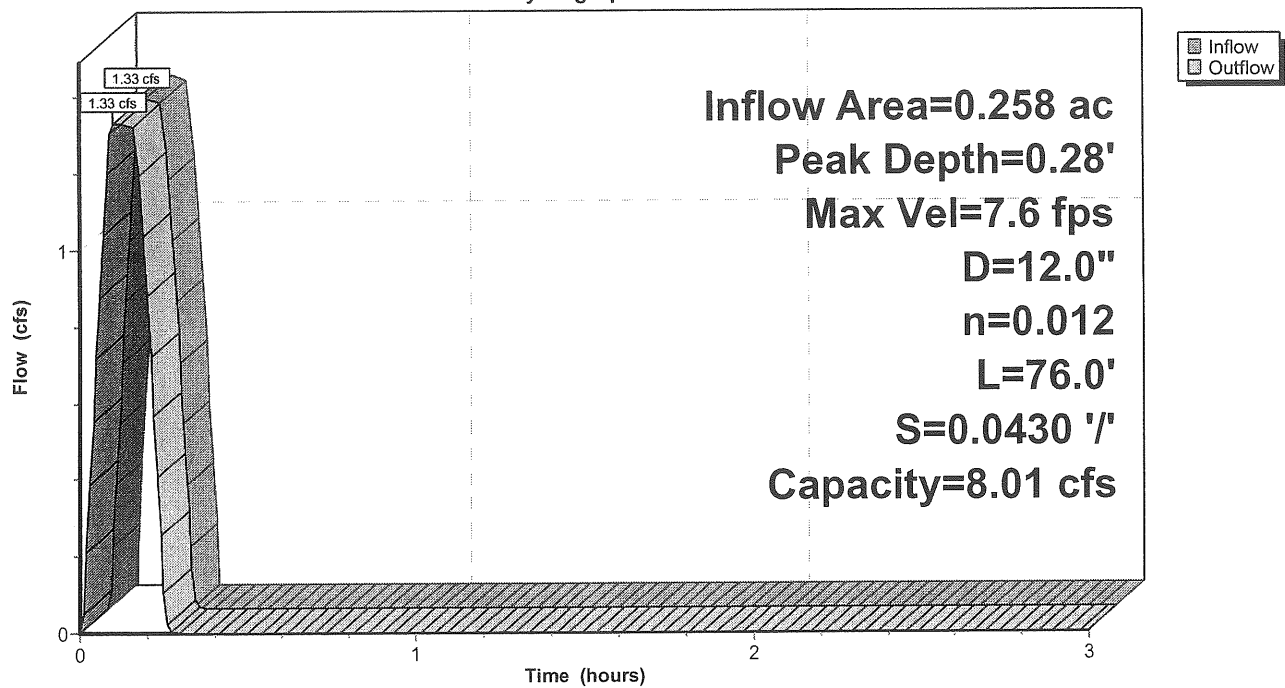
Inflow Area = 0.258 ac, Inflow Depth = 0.85"
Inflow = 1.33 cfs @ 0.09 hrs, Volume= 0.018 af
Outflow = 1.33 cfs @ 0.10 hrs, Volume= 0.018 af, Atten= 0%, Lag= 0.6 min

Routing by Stor-Ind+Trans method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
Max. Velocity= 7.6 fps, Min. Travel Time= 0.2 min
Avg. Velocity = 5.1 fps, Avg. Travel Time= 0.2 min

Peak Depth= 0.28' @ 0.10 hrs
Capacity at bank full= 8.01 cfs
Inlet Invert= 42.00', Outlet Invert= 38.73'
12.0" Diameter Pipe n= 0.012 Length= 76.0' Slope= 0.0430 '/'

Reach 2R: (new Reach)

Hydrograph



Pond 4P: Catchbasin #2

[57] Hint: Peaked at 39.46' (Flood elevation advised)

[61] Hint: Submerged 22% of Reach 2R bottom

Inflow Area = 0.653 ac, Inflow Depth = 0.85"
 Inflow = 3.38 cfs @ 0.10 hrs, Volume= 0.046 af
 Outflow = 3.38 cfs @ 0.10 hrs, Volume= 0.046 af, Atten= 0%, Lag= 0.0 min
 Primary = 3.38 cfs @ 0.10 hrs, Volume= 0.046 af

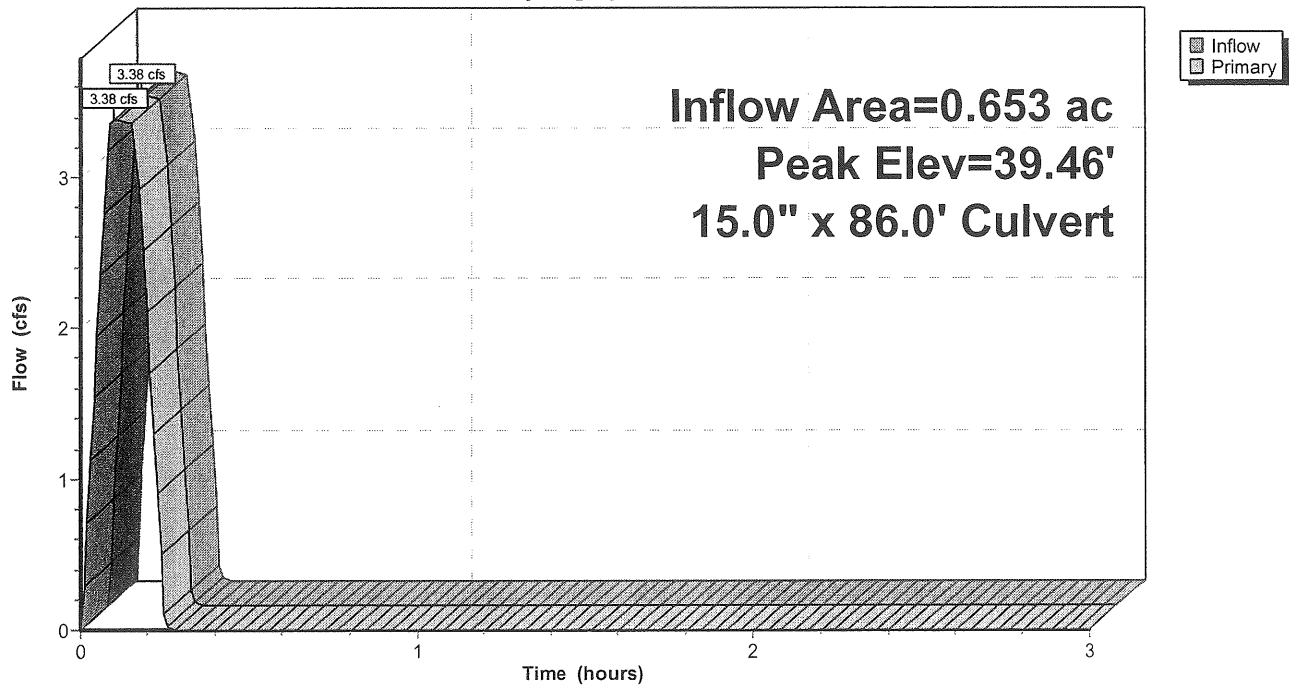
Routing by Stor-Ind method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
 Peak Elev= 39.46' @ 0.10 hrs
 Plug-Flow detention time=0.0 min calculated for 0.046 af (100% of inflow)
 Center-of-Mass det. time=(not calculated: outflow precedes inflow)

#	Routing	Invert	Outlet Devices
1	Primary	38.50'	15.0" x 86.0' long Culvert RCP, square edge headwall, Ke= 0.500 Outlet Invert= 33.34' S= 0.0600 '/' n= 0.012 Cc= 0.900

Primary OutFlow Max=3.38 cfs @ 0.10 hrs HW=39.46' (Free Discharge)
 ↳1=Culvert (Inlet Controls 3.38 cfs @ 3.3 fps)

Pond 4P: Catchbasin #2

Hydrograph





VORTECHS SYSTEM NET ANNUAL TSS REMOVAL EFFICIENCY

**Bubba's Sulky Lounge
Portland, ME
Model 3000
System Vortechs**

Design Ratio¹ = (0.7 acres) x (0.9) x (449 gpm/cfs) = 13.5
(19.6 sf)

<u>Rainfall Intensity</u> "/hr	<u>Operating Rate²</u> gpm/sf	<u>% Total Rainfall</u> Volume ³	<u>Rmvl. Effic⁴</u> (%)	<u>Rel. Effic</u> (%)
0.02	0.3	10.5%	98.0%	10.3%
0.04	0.5	10.4%	98.0%	10.2%
0.06	0.8	11.0%	98.0%	10.7%
0.08	1.1	8.9%	98.0%	8.7%
0.10	1.4	7.7%	98.0%	7.5%
0.12	1.6	5.5%	98.0%	5.4%
0.14	1.9	5.4%	98.0%	5.3%
0.16	2.2	5.2%	97.0%	5.0%
0.18	2.4	4.4%	97.0%	4.3%
0.20	2.7	3.6%	97.0%	3.5%
0.25	3.4	7.1%	95.8%	6.8%
0.35	4.7	7.8%	94.1%	7.4%
0.45	6.1	4.5%	91.2%	4.1%
0.65	8.8	4.3%	88.3%	3.8%
1.00	13.5	2.1%	80.3%	1.7%
1.50	20.3	1.1%	69.7%	0.8%
2.50	33.8	0.5%	53.9%	0.3%

95.8%

% rain falling at >2.5"/hr = 0.0%
Assumed Removal Efficiency of remaining % = 0.0%
Removal Efficiency Adjustment⁵ = 6.5%
Net Annual TSS Removal Efficiency = 89%

1 - Design Ratio = (Total Drainage Area) x (Runoff Coefficient) x (cfs to gpm conversion) / Grit Chamber Area
 - The Total Drainage Area and Runoff Coefficient is specified by the site engineer.
 - The conversion factor from cfs to gpm is 449.

2 - Operating Rate (gpm/sf) = intensity ("/hr) x Design Ratio

3 - Based on 10 years of rainfall data from NCDC station 6905, Portland Airport, Cumberland County, ME

4 - Based on Vortechs laboratory verified removal of 50 micron particle gradation (see Technical Bulletin #1).

5- Reduction due to use of 60-minute data for a site that has a time of concentration less than 30-minutes.

Calculated by: JAG 7/29/2005

Checked by:



Central Maine Power

October 1, 2008

To: Barbara Barhyte, City of Portland, 389 Congress St, Portland ME 04101
From: Breanna Pierce, Customer Service Advisor, Central Maine Power Company
CC: David Laurie Fax 207-221-1688
CC: FILE 162 Canco Rd, Portland, ME 04103
Reg: 3 lights at Bubba's 92 Portland St Portland (1 Park, 2 Mechanic)

Dear Ms Barhyte,

This letter is to confirm that when instructed, I will create the order to remove these three lights. There will be no charge to the City or the customer for the removal.

The contract terms have been met.

If you should have any questions please contact me at 842-2304.

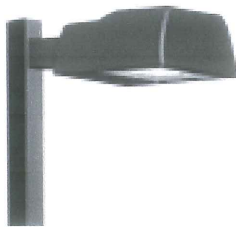
Sincerely,

Breanna Pierce

An equal opportunity employer

162 Canco Road | Portland, ME 04103
tel 1-800-750-4000 | fax (207) 791-1026
www.cmpco.com

RAB LIGHTING ALH175QT



JOB NAME: _____

DATE: _____

TYPE: _____

DESCRIPTION

Type III distribution Area Light with pole top fixed arm mount. Factory wired with QT CWA-HPF ballast. Fixed mounting at 90° to pole. Drilling 2" on center. Factory wired for 277V, except 175W. Lamp supplied.

SPECIFICATIONS

Finish:

Chip and fade resistant bronze polyester powder coat finish.

Housing:

One-piece precision die cast aluminum housing and door held captive when opened. Removable hinge pins for door removal.

Lens Gasket:

High temperature extruded silicone set in die cast retaining groove. Remains in place during relamping.

Lens:

Thermal, tempered shock resistant glass, 5/32" thick.

Mounting Arm:

Mounts with two 5/16 -18 threaded rods at 2" on center.

Reflector:

Hydroformed Type 3 reflector.

Patents:

RAB sensor and fixture designs are protected under U.S. and International Intellectual Property Laws

Socket:

Porcelain socket pulse rated 4kv, 1500 watts and 600 volts, reinforced with cat's eyes for added durability. Silicone and fiberglass #14 gauge socket leads rated for 200° C. Plated screw shell designed to resist corrosion with spring loaded center contact.

UL Listing:

Suitable for wet locations. Suitable for mounting within 4' of the ground.

EPA:

1

Color:

Bronze

Weight:

30.71

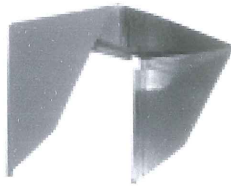
ORDERING INFORMATION

Metal Halide Lamp supplied with fixture	Total Watts	Lamp Type	Lamp Base	Ballast	Starting Amps/ Operating Amps				Input Watts	LAMP ANSI	Initial Lumens	Lamp Hours
					120V	208V	240V	277V				
	175	ED28	Mogul	CWA HPF QT	1.3/1.8	0.8/1.0	0.7/0.9	0.6/0.8	210	M57	13500	10000
Factory Installed Options Add suffix to Catalog Number				Swivel Photocontrol (/PCS) Single fusing for 120 and 277 volt (/F) Double fusing for 208 and 240 volt (/FF)					Button Photocontrol (/PC) 480 volt ballast (consult factory) (/480)			

Note: Specifications may change without notice

RAB Lighting, Inc. • 170 Ludlow Ave • Northvale, NJ 07647 • Tel: 888 RAB-1000 • Fax: 888 RAB-1232 • www.rabweb.com
© 2008

RAB
LIGHTING
MEGH9



JOB NAME: _____

DATE: _____

TYPE: _____

DESCRIPTION

Accessories for the "AL" Area Light.

SPECIFICATIONS

Shield:

9" deep heavy duty shield cuts down on glare and directs light where you need it. Easy field installation.

Color:

Bronze

Weight:

0

Note: Specifications may change without notice

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PORTLAND MAINE

Strengthening a Remarkable City. Building a Community for Life www.portlandmaine.gov

Planning & Urban Development Department

Penny St. Louis Littell, Director

Planning Division

Alexander Jaegerman, Director

October 20, 2008

Robert Larkin
Bubba's Sulky Lounge
92 Portland Street
Portland, ME 04101

RE: Bubba's Building Addition / 92 Portland Street
Revised Application #2004-0221, CBL #036 I001001

Dear Mr. Larkin:

On October 20, 2008 the Portland Planning Authority approved revisions to Bubbas Sulky Lounge at 92 Portland Street, which included exterior lighting, removal of CMP lights and final paving and striping of the parking lot, as shown on the approved plan with the following conditions:

1. The lighting plan is approved with a waiver of the maximum standard exceeded at the light poles, not to exceed an illumination level of 10 directly under each pole and all exterior lights shall have house shields to against light trespass on adjoining properties. The proposed lights are full cut offs. The lights and lighting plan are attached.
2. Central Maine Power (CMP) will receive instructions from the applicant to remove the three existing lights on electrical poles prior to the issuance of a certificate of occupancy.
3. The Parking Plan layout is approved as shown on the approved plan and must be striped according to this approved layout with spaces marked at 9 by 19 feet.

The approval is based on the submitted site plan dated September 19, 2008 and 11 x17's dated September 22, 2008. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. Where submission drawings are available in electronic form, the applicant shall submit any available electronic Autocad files (*.dwg), release 14 or greater, with seven (7) sets of the final plans.

2. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
3. A performance guarantee is in place for the remainder of the site work. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
4. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

Philip DiPierro, Development Review Coordinator, must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Barbara Barhydt at 874-8699.

Sincerely,


Alexander Jaegerman
Planning Division Director

Attachments:

1. Applicant's lighting plan

Electronic Distribution:

Penny St. Louis Little, Director of Planning and Urban Development
Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Philip DiPierro, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Jeanie Bourke, Inspections Division
Lisa Danforth, Administrative Assistant
Michael Bobinsky, Public Services Director
Katherine Earley, Public Services
Bill Clark, Public Services
David Margolis-Pinco, Public Services
Jim Carmody, City Transportation Engineer
Jane Ward, Public Services
Captain Greg Cass, Fire Prevention
Jeff Earling, City Arborist
Tom Enrico, Wilbur Smith Consulting Engineers
Dan Goyette, Woodard & Curran
Assessor's Office
Approval Letter File
Hard Copy: Project File



Central Maine Power

October 1, 2008

To: Barbara Barhyte, City of Portland, 389 Congress St, Portland ME 04101
From: Breanna Pierce, Customer Service Advisor, Central Maine Power Company
CC: David Laurie Fax 207-221-1688
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Reg: 3 lights at Bubba's 92 Portland St Portland (1 Park, 2 Mechanic)

Dear Ms Barhyte,

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Sincerely,

Breanna Pierce

An equal opportunity employer.

162 Canco Road | Portland, ME 04103
tel 1-800-750-4000 | fax (207) 791-1026
www.cmpco.com

RAB LIGHTING

ALH175QT



JOB NAME: _____
 DATE: _____
 TYPE: _____

DESCRIPTION

Type III distribution Area Light with pole top fixed arm mount. Factory wired with QT CWA-HPF ballast. Fixed mounting at 90° to pole. Drilling 2" on center. Factory wired for 277V, except 175W. Lamp supplied.

SPECIFICATIONS

Finish:

Chip and fade resistant bronze polyester powder coat finish.

Housing:

One-piece precision die cast aluminum housing and door held captive when opened. Removable hinge pins for door removal.

Lens Gasket:

High temperature extruded silicone set in die cast retaining groove. Remains in place during relamping.

Lens:

Thermal, tempered shock resistant glass, 5/32" thick.

Mounting Arm:

Mounts with two 5/16 -18 threaded rods at 2" on center.

Reflector:

Hydroformed Type 3 reflector.

Patents:

RAB sensor and fixture designs are protected under U.S. and International Intellectual Property Laws

Socket:

Porcelain socket pulse rated 4kv, 1500 watts and 600 volts, reinforced with cat's eyes for added durability. Silicone and fiberglass #14 gauge socket leads rated for 200° C. Plated screw shell designed to resist corrosion with spring loaded center contact.

UL Listing:

Suitable for wet locations. Suitable for mounting within 4' of the ground.

EPA:

1

Color:

Bronze

Weight:

30.71

ORDERING INFORMATION

Metal Halide Lamp supplied with fixture	Total Watts	Lamp Type	Lamp Base	Ballast	Starting Amps/ Operating Amps				Input Watts	LAMP ANSI	Initial Lumens	Lamp Hours
					120V	208V	240V	277V				
	175	ED28	Mogul	CWA HPF QT	1.3/1.8	0.8/1.0	0.7/0.9	0.6/0.8	210	M57	13500	10000
Factory Installed Options Add suffix to Catalog Number												
				Swivel Photocontrol (/PCS)								
				Single fusing for 120 and 277 volt (/F)								
				Double fusing for 208 and 240 volt (/FF)								
												Button Photocontrol (/PC)
												480 volt ballast (consult factory) (/480)

Note: Specifications may change without notice

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RAB
LIGHTING
MEGH9



JOB NAME: _____

DATE: _____

TYPE: _____

DESCRIPTION

Accessories for the "AL" Area Light.

SPECIFICATIONS

Shield:

9" deep heavy duty shield cuts down on glare and directs light where you need it. Easy field installation.

Color:

Bronze

Weight:

0

Note: Specifications may change without notice

RAB Lighting, Inc. • 170 Ludlow Ave • Northvale, NJ 07647 • Tel: 888 RAB-1000 • Fax: 888 RAB-1232 • www.rabweb.com
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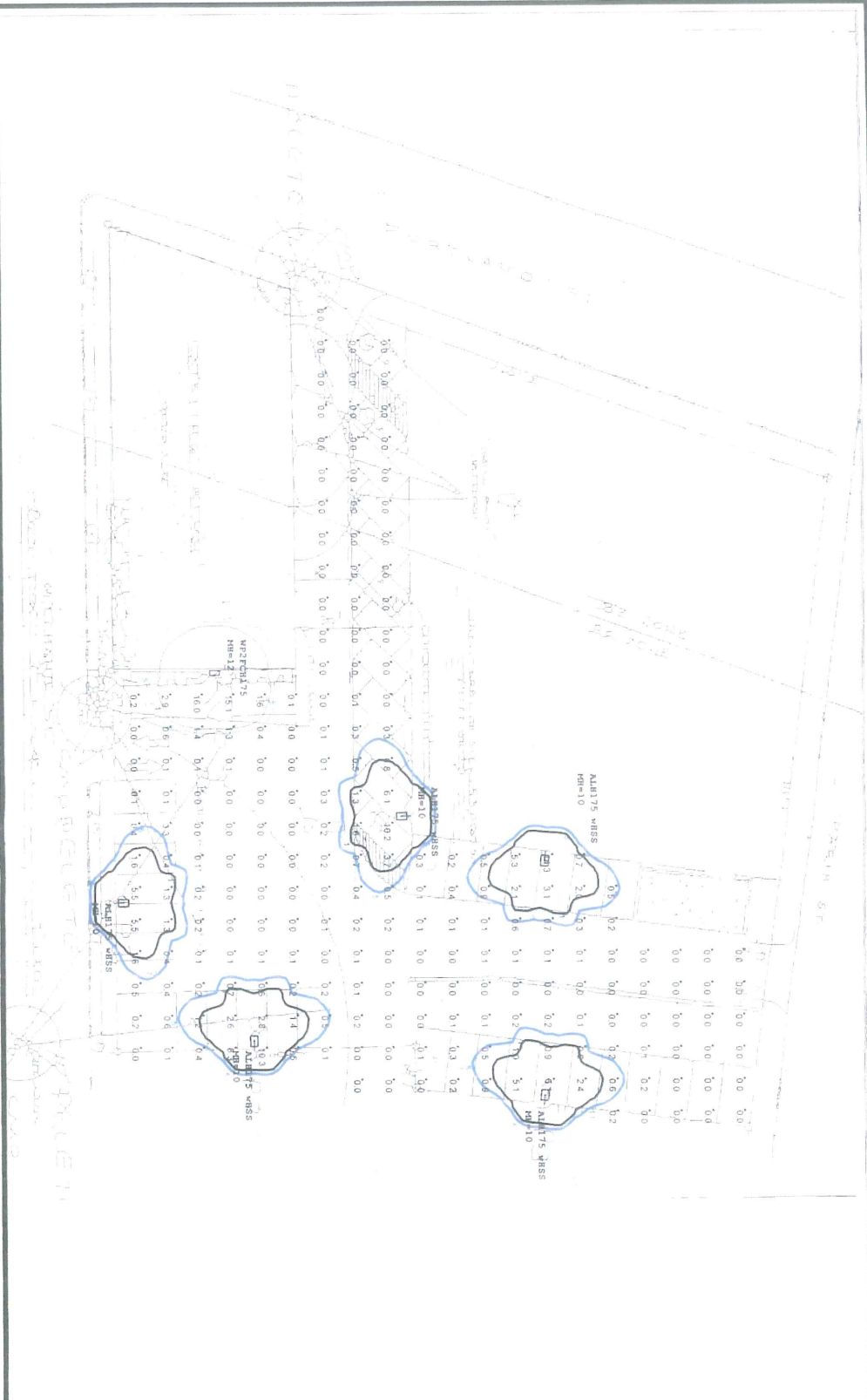
Scale: 1 inch = 30 Ft.
 170 Ludlow Avenue
 Northvale, NJ 07641
 Tel: 973-224-1100
 Fax: 973-224-1232
 WWW.RABLIGHTING.COM

Prepared For:
 CED Johnson - Fortland
 Attn: Bruce

Job Name:
 Ruben's Salty Lounge Addition
 Fortland & Mechanic Street
 Fortland, ME

Scale: 1"=30'
 Date: 08/01/08
 File: 080108 Ruben's Salty Lounge V2
 Drawn By: NDM

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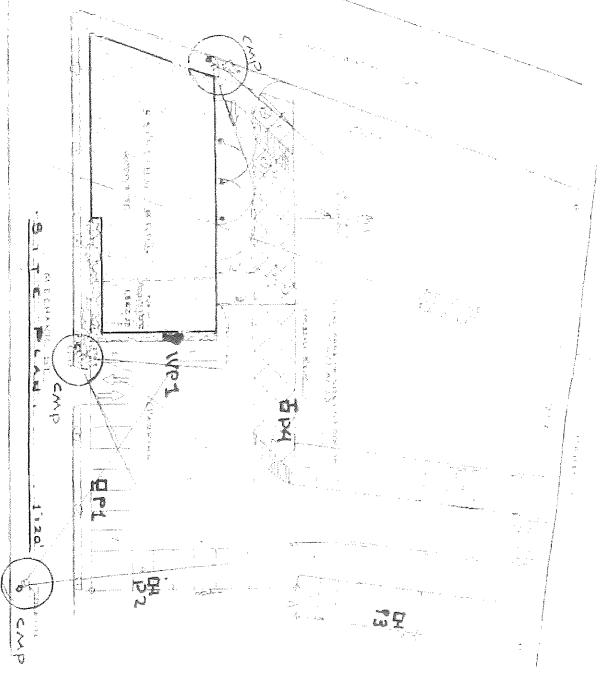
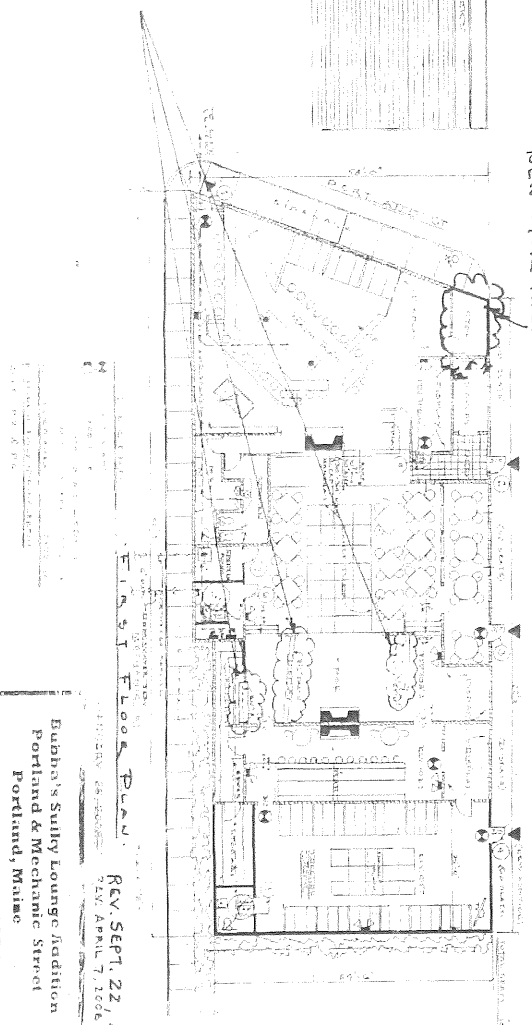
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts	ILLUMINANCE	Fc	0.77	16.0	0.0	N.A.	N.A.

Symbol	Qty	Label	Arrangement	Lumens	LIF	Description
□	1	AL1175-WSS8	SINGLE	14000	7.430	AL1175 TYPE III LUMINAIRE w. 800
□	1	AL1175-WSS10	SINGLE	14000	7.650	AL1175 TYPE III LUMINAIRE w. 1000

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ADD'N OF 2-3'-6" HIGH WOOD PART'NS & OPNG FOR KITCHEN ACCESS!

New Stor. Area



Hubba's Sully Lounge Addition
Portland & Mechanic Street
Portland, Maine

REV. SEPT. 22, 2008
REV. APRIL 7, 2008

JOHN H. LEASURE ARCHITECT, INC
SIX Q STREET
SOUTH PORTLAND, MAINE 04106

REV.	DATE	DESCRIPTION



Introduction

Buildings and their energy use account for about half of the energy consumption and greenhouse gas emissions, and 75 percent of electricity consumption in the United States.¹ Emissions from buildings are projected to grow faster than emissions from any other sector, with commercial building emissions growing the fastest.²

This report has been prepared in accordance with Resolve 2009, ch. 206, “Resolve, To Develop Practices for Developments of State and Regional Significance in Order to Reduce Dependency on Fossil Fuels and Meet the State’s Greenhouse Gas Emissions Reduction Goals”, which requires the Maine Department of Environmental Protection (DEP) to submit a report to the Joint Standing Committee on Natural Resources by January 1, 2011.

The report introduces alternative practices that may be relevant to the Site Location of Development Act. A second section discusses how these relate to the Maine Uniform Building & Energy Code. A third section describes some best management practices for the design and location of buildings. Lastly, the report provides brief recommendations.

Identification of alternative practices promoting energy efficiency and reduction of greenhouse gases

The primary alternative practices to regulatory restrictions that are in use today are voluntary benchmarking systems. A system may be broadly constructed so as to consider a variety of environmental performance metrics, such as the United States Green Building Code Council’s “LEED” system, or may focus specifically on energy, such as Energy Star program of the United States Department of Energy and United States Environmental Protection Agency. The Green Buildings Initiative (GBI) operates the Green Globes system in Canada and the United States, and was the first green building organization to be accredited as a standards developer by the American National Standards Institute (ANSI).

Benchmarking systems remain largely voluntary. Some jurisdictions have experimented with incentives, or with linking ordinances and other regulatory requirements to benchmarking systems.

The move to enforceable standards has accelerated in recent years with the development of green building standards, which provide a basis for the adoption of regulatory standards. Some examples:

- ANSI approved ICC 700-2008 National Green Building Standard in 2007 for single and multifamily homes and related construction, in which Chapter 7 addresses energy efficiency.
- The American Society of Heating, Refrigerating, and Air-conditioning Engineers (ASHRAE) standard 90.2 addresses the energy-efficient design of low-rise residential buildings.

Similar systems of standards are developing outside the United States.³ The International Energy Conservation Code (IECC) is a model code for buildings was created under the auspices of the International Code Council (ICC).

¹ Architecture 2030, Press Release, “Building Sector Leaders Call for Steep Energy and Emission Cuts” (2009).

² U.S. Green Building Council, press release, 5/7/2007.

³ See, for example, standards developed by the British Standard Institute (BSI) and Deutsches Institut für Normung (DIN).

Evaluation of current energy-efficient and carbon-efficient building practices

In 2008, the Maine Legislature instructed the Maine Technical Building Codes and Standards Board to “adopt, maintain, and amend” the Maine Uniform Building and Energy Code (MUBEC). That code consists of several components: 2009 editions of established codes (e.g., IECC, International Building Code, International Existing Building Code); established standards (e.g., 2007 ASHRAE 62.1, 62.1, 90.1); and other codes that continue in effect (e.g., electrical, plumbing, fuel burning equipment, elevators). The MUBEC was adopted in 2010, and implementation and enforcement have begun. Effective implementation of MUBEC is expected to result in significant energy savings. For example, a comparison of the 2009 IECC to the 2004 version of ASHRAE indicates savings may be 15-25%, depending on local climate and construction practices. Future updates to standards and codes can be expected to produce additional savings.

In accordance with the requirements of the Legislative Resolve, DEP has evaluated the energy performance of MUBEC and some commonly used benchmarking systems. Unfortunately, the various systems do not share common focus and criteria, so a rigorous comparative evaluation is not feasible. For example, some systems emphasize building energy performance while others evaluate all aspects of a development project. In addition, these systems are designed to be flexible and project-specific in order to accommodate the project performance goals of the developer. In contrast, MUBEC is built around specific building codes and standards and, as its name indicates, is intended to be uniformly applied across the state.

Energy Star is a joint program of the US Environmental Protection Agency and the US Department of Energy. The program provides energy management resources and efficiency ratings for products and appliances, home improvements, new home construction, and commercial buildings and plants. In terms of energy savings, new homes constructed to the Energy Star standard compared to the 2004 International Residential Code (IRC) are at least 15% more efficient and 20-30% more efficient than standard homes. Under the Energy Star Version 3 Guidelines, that will be implemented in 2011 – 2012, new homes are expected to be 20% more efficient in comparison to homes built under the 2009 IECC, reducing bills by 15% compared to those code-built homes.⁴

The US Green Building Council (not a government organization) has developed the LEED (Leadership in Energy and Environmental Design) program for the design, operation, and maintenance of high-performing energy efficiency buildings. LEED is a third-party certification program that can be applied to a wide variety of building types: e.g., schools, hospitals, laboratories. US EPA reports that buildings constructed to LEED New Construction (LEED-NC) basic criteria will generally be 10% more efficient than those constructed according to the 2007 version of the ASHRAE 90.1 standard. LEED technical services assist developers who desire to achieve even greater savings.

The Green Globes system is an on-line building project assessment and rating system. Like LEED, it provides an array of tools for building design, operation, and maintenance. Developed initially in Canada by the Canadian Standards Association, Green Globes is promoted and developed in the US by the Green Buildings Initiative (GBI). GBI is an accredited standards developer under the American National Standards Institute (ANSI). US EPA reports that, according data collected by the Canadian Building

⁴ See the New Homes section at the Energy Star website: <http://www.energystar.gov/>

Maine Department of Environmental Protection

December 14, 2010

DRAFT report (LD 891)

Owners and Managers Association (BOMA), Green Globes buildings are 13% less energy intensive than average commercial buildings.⁵

The New Buildings Institute (NBI) has developed the Advanced Buildings program: “a suite of tools and resources that helps design teams create energy-efficient, high performance commercial buildings”. Included are Advanced Building Core Performance Standards, which were recently adopted for the 2012 version of IECC. New and renovated commercial buildings applying these standards will be 30% more energy efficiency compared to buildings built to the ASHRAE 90.1-2004 model code.⁶ Endorsement of Core Performance Standards has been widespread, including state and provincial governments and the USGBC.

The NBI Advanced Building program has been the basis of the Efficiency Maine Advanced Buildings program. Under this program, Maine builders applying Core Performance requirements have been eligible for financial incentives that help offset additional capital construction costs associated with high-performance, energy efficient buildings.

Building on the established programs of Efficiency Maine, the newly-formed Efficiency Maine Trust (EMT) has also been evaluating energy efficiency construction systems. In its Triennial Plan, issued in April 2010, EMT describes its New Construction Program for residential buildings. This program is intended to encourage builders to go beyond the 2009 IECC (the basis for MUBEC), and is built around three tiers of home certification.

1. EPA’s successful National Energy Star New Homes brand (approximately 15 percent savings above 2009 IECC).
2. A “High Performance” tier requiring significant additional savings (approximately 25 percent above 2009 IECC).
3. A “Micro Load” tier aimed at generating at least 40 percent savings above the 2009 IECC requirements.⁷

The first step beyond compliance with the current Maine building codes is reliance upon the Energy Star system. Nearly 17% of all single family homes built nationally in 2008 earned the Energy Star label. The market share for Energy Star Qualified homes is 20% or greater in 15 states.⁸ Energy Star homes can include a variety of features such as effective insulation, high-performance windows, tight construction and ducts, and efficient heating and cooling equipment. A core element of the Energy Star program is that only products that are cost-effective can be qualified. USEPA policy for determining cost-effectiveness of Energy Star Qualified Homes is that all program requirements must result in an incremental monthly mortgage cost that is the same or less than the projected monthly savings.

The department supports the analysis reflected in EMT’s adopted triennial plan, and recommends that following a period of evaluation, standards be phased in under the Site Law for new development that begin with reliance upon Maine’s recently revised building codes and over time consider implementation of the residential three tier program, the Advanced Buildings Program for commercial facilities, or other systems. It is expected that as the EMT implements, monitors, and evaluates their programs, the programs will be adapted and modified. The DEP should closely follow the work of EMT and fully vet

⁵ USEPA, “Using Energy Star Resources for Green Building Rating Systems” (power point presentation), April 29, 2010.

⁶ New Buildings Institute, Advanced Buildings, “Historic changes to commercial building energy codes will drive efficiency” (November 2, 2010).

⁷ Triennial Plan of the Efficiency Maine Trust 2011-2013 (April 2010), pp 39-40.

⁸USEPA, “Celebrating 1 Million Energy Star Homes”..

TO: Inspections Department
FROM: Philip DiPierro, Development Review Coordinator
DATE: May 28, 2009
RE: C. of O. for #92 Portland Street, Bubba's Sulky Lounge
(Id#2004-0221) (CBL 036 I 001001)

After visiting the site, I have the following comments:

Site work complete

At this time, **I recommend issuing a permanent Certificate of Occupancy.**

Cc: Barbara Barhydt, Development Review Services Manager
Tammy Munson, Inspection Services Manager
File: Urban Insight

TO: Inspections Department

FROM: Philip DiPierro, Development Review Coordinator

DATE: January 9, 2009

RE: C. of O. for #92 Portland Street, Bubba's Sulky Lounge
(Id#2004-0221) (CBL 036 I 001001)

After visiting the site, I have the following comments:

Site work incomplete:

1. Parking Lot Striping,

I anticipate this work can be completed by **May 15, 2009**.

At this time, **I recommend issuing a temporary Certificate of Occupancy.**

Cc: Barbara Barhydt, Development Review Services Manager
Tammy Munson, Inspection Services Manager
File: Urban Insight

From: Lannie Dobson
To: C of O; jmb
Date: 12/30/2008 1:21:47 PM
Subject: Certificate of Occupancy/**ALL PERMITS** Property Addr: 84 PORTLAND ST Parcel ID:
036 I001001 Dis

ALL PERMITS

Date: 1/5/2009 Time: 6:00:00 AM

Note: Bubba Property Addr: 84 PORTLAND ST Parcel ID: 036 I001001

Application Type: Prmt
Application ID: 80084

Contact:
Phone1: Phone2:

Owner Name: LARKIN ROBERT
Owner Addr: 2 COTTAGE RD
SOUTH PORTLAND, ME 04106

- Camp lights
- Striping

From: Penny Littell
To: Barbara Barhydt; Philip DiPierro ; Tammy Munson
Date: 12/26/2008 9:16:47 AM
Subject: Bubba's

Last call for comments re Bubba's...

DAVID A. LOURIE
ATTORNEY AT LAW
189 SPURWINK AVENUE
CAPE ELIZABETH, MAINE 04107
(207) 799-4922 (Fax) 221-1688
david@lourielaw.com

Advance Copy Via E-mail
August 18, 2008

Barbara Barhyte, City Planner
389 Congress Street
Portland, Maine 04101

Re: Temporary C/o Pending Lighting Change at Bubba's Larkins Sulky Lounge Parking Lot

Dear Barbara:

Mr. Larkin has reluctantly agreed to the removal of the street light he rents from CMP on Portland Street. He has agreed that he will order CMP to remove all three lights attached to street poles in the vicinity of his establishment as soon as the new lighting is operational. CMP could not provide an estimate of time for the work to be accomplished, as it will be done on a first-come basis once the order is received. It is my understanding that you will approve the lighting plan recently submitted by Gilman Electric (as modified) upon receipt of this letter.

Mr. Larkin would really like to open the back room for business ASAP. I therefore request that the City issue a temporary certificate of occupancy conditioned upon the installation of the lighting and striping of the lot by a date certain? I am certain that Bubba will agree to any reasonable conditions on this permit.

Please advise.

Sincerely,

David A. Lourie

cc: client

From: "David A. Lourie" <david@lourielaw.com>
To: Barbara Barhydt <BAB@portlandmaine.gov>
Date: Tuesday, October 07, 2008 10:29:46 AM
Subject: Bubba's Lounge Lighting

I have been advised by Jeannie Bourke that Building Inspection is not processing necessary permits to resolve issues at Bubba's due to a hold placed by planning as to site plan compliance.

I understood that the only issue remaining was lighting and striping of parking lot, and that only issue as to lighting was CMP removal of lights. Was that correct?

The CMP lighting issue is addressed by the attached CMP letter stating that they will remove all those lights when directed to do so (when other lighting is in place) at no cost.

The final paving and striping can't be done until the exterior lighting and electrical work is done - but Bubba can't get electrical permit for that without your sign off.

Also held up is building permit application (after the fact) for front (bottle) room for storage, and half-walls. I am advised that we cannot apply for electrical permit (in half-wall) until bldg permit is issued. Hopefully, once we get all the above straightened out we can get change of use for rear storage to lounge area.

*What else do you need beyond CMP letter to get these other things moving within inspections division? *

----- Original Message -----

Subject: eFax message from 2077918000 - 1 page(s), Caller-ID: 207-791-1000
Date: Wed, 01 Oct 2008 14:13:52 +0000
From: eFax <message@inbound.efax.com>
To: david@lourielaw.com

eFax

Fax Message [Caller-ID: 207-791-1000]

You have received a 1 page fax at 2008-10-01 10:13:52 EDT.

* The reference number for this fax is spr1_did14-1222870385-2072211688-18.

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This message was sent from the Law Office of David A. Lourie. Any questions should be addressed to David A. Lourie, 189 Spurwink Avenue, Cape Elizabeth, ME 04107; (207)799-4922/cell phone (207)749-3642/Fax (207)221-1688.

If you received this communication in error, please "reply" and advise us of its receipt to avoid any repetition. This communication may contain attorney-client privileged or confidential matters, if received in error, dissemination or further distribution is prohibited.

CC: Penny Littell <PL@portlandmaine.gov>, Jeanie Bourke <buildinginspections@portlandmaine.gov>

From: "Bruce Williams" <bruce@gilmanportland.com>
To: <bab@portlandmaine.gov>
Date: Tuesday, August 12, 2008 11:35:22 AM
Subject: Bubbas Sulky Lounge AGI 080108 v2.pdf

Good Afternoon Barbara,

I have enclosed a new photometric plan adding one more pole. This should address your concerns about the dark area in the driveway. The few hot spots in front of the fixtures are because of the houseside shields. This is typical of this fixture and shield as the light is thrown forward and doesn't escape to the rear of the fixture. The fixture will meet your light trespassing ordinance. If the wattage of the fixture is reduced to 150 watts we will no longer be in compliance with the foot candles required by the IES standards.

If you have any more concerns or questions please contact me.

Thank You
Bruce Williams
CED Gilman Electric
85 St. James ST.
Portland, ME. 04102
207-761-7788
207-761-7733 fax

CC: <Pd@portlandmaine.gov>, <david@lourielae.com>

From: "David A. Lourie" <david@lourielaw.com>
To: Barbara Barhydt <BAB@portlandmaine.gov>
Date: Tuesday, August 12, 2008 9:20:03 AM
Subject: Re: Bubba Larkin Lighting Plan

I have scanned in earlier Lease Plan showing location of existing Wall Packs in case you do not have it.

Barbara Barhydt wrote:

> David:

>

> Another point: the driveway is showing 0 illumination levels. I
> suspect that is because they CMP light is not counted into the
> calculation. The driveway will need lighting for safety, but again, the
> CMP lights exceed the City's standards.

>

> Thanks.

>

> Barbara

>

>

>

> Barbara Barhydt
> Development Review Services Manager
> Planning Division
> 389 Congress Street 4th Floor
> Portland, ME 04101
> (207) 874-8699
> Fax: (207) 756-8256
> bab@portlandmaine.gov

>

>

>>>> "David A. Lourie" <david@lourielaw.com> Tuesday, August 12, 2008

>>>>

> 8:43 AM >>>

> I am forwarding your request for "catalog cut" and suggestion to Gilman

>

> electric. We will get back to you soon, as they really want to proceed

> ASAP.

>

> Barbara Barhydt wrote:

>

>> Hello David:

>>

>> I have looked at the lighting plan. I would like to see the catalog
>> cut of the the two fixtures that are proposed. There are a couple

>>

> of

>

>> hot spots under each light. I wonder if a 150 rather than 175

>>

> wattage

>

>> bulb would bring the plan into conformance.

>>

>> Lastly, I believe the City wanted the CMP lights on Portland Street

>>
> and
>
>> Mechanic Street removed. The plans notes each light with a delete,
>>
> but
>
>> it is unclear to me that those lights are to be removed.
>>
>> Thank you for your attention to this matter.
>>
>> Barbara
>>
>>
>> Barbara Barhydt
>> Development Review Services Manager
>> Planning Division
>> 389 Congress Street 4th Floor
>> Portland, ME 04101
>> (207) 874-8699
>> Fax: (207) 756-8256
>> bab@portlandmaine.gov
>>
>>
>>
>>>>> "David A. Lourie" <david@lourielaw.com> Thursday, August 07, 2008
>>>>>
>>>>>
>> 9:49 AM >>>
>> See attached PDF file with point x point calculations for MAINTAINED
>>
>
>
>> luminance's.
>> I am advised that this was based upon the specifications provided
>> already to the City, and that calculations were based on an ALH175QT
>>
>
>
>> fixture @10' AFG with MEG9 installed as a House Side Shield.
>>
>> The files were originally created using an 11"x17" page size and
>>
> should
>
>> scale as noted if printed at that size.
>>
>> They really need to start the work ASAP, so your prompt attention
>>
> will
>
>> be appreciated.
>>
>>
>>
>

>

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This message was sent from the Law Office of David A. Lourie. Any questions should be addressed to David A. Lourie, 189 Spurwink Avenue, Cape Elizabeth, ME 04107; (207)799-4922/cell phone (207)749-3642/Fax (207)221-1688.

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CC: <bruce@gilmanportland.com>, Philip DiPierro <PD@portlandmaine.gov>, Penny Littell <PL@portlandmaine.gov>

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To: Barbara Barhydt <BAB@portlandmaine.gov>
Date: Tuesday, October 07, 2008 10:29:46 AM
Subject: Bubba's Lounge Lighting

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The CMP lighting issue is addressed by the attached CMP letter stating that they will remove all those lights when directed to do so (when other lighting is in place) at no cost.

The final paving and striping can't be done until the exterior lighting and electrical work is done - but Bubba can't get electrical permit for that without your sign off.

Also held up is building permit application (after the fact) for front (bottle) room for storage, and half-walls. I am advised that we cannot apply for electrical permit (in half-wall) until bldg permit is issued. Hopefully, once we get all the above straightened out we can get change of use for rear storage to lounge area.

*What else do you need beyond CMP letter to get these other things moving within inspections division? *

*A of use in rear
 permit applied in
 petition
 bottle storage*

CMP - 9 sets

----- Original Message -----

Subject: eFax message from 2077918000 - 1 page(s), Caller-ID: 207-791-1000
Date: Wed, 01 Oct 2008 14:13:52 +0000
From: eFax <message@inbound.efax.com>
To: david@lourielaw.com

eFax

Fax Message [Caller-ID: 207-791-1000]

You have received a 1 page fax at 2008-10-01 10:13:52 EDT.

* The reference number for this fax is spr1_did14-1222870385-2072211688-18.

View this fax using your PDF reader.

Please visit www.efax.com/en/efax/twa/page/help
 <<http://www.efax.com/en/efax/twa/page/help>> if you have any questions regarding this message or your service.

Thank you for using the eFax service!

<<http://ads.m4internet.com/delivery/ck.php?zoneid=5>>
 Home <<http://www.efax.com/en?VID=5&>> Contact
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--

This message was sent from the Law Office of David A. Lourie. Any questions should be addressed to David A. Lourie, 189 Spurwink Avenue, Cape Elizabeth, ME 04107; (207)799-4922/cell phone (207)749-3642/Fax (207)221-1688.

If you received this communication in error, please "reply" and advise us of its receipt to avoid any repetition. This communication may contain attorney-client privileged or confidential matters, if received in error, dissemination or further distribution is prohibited.

CC: Penny Littell <PL@portlandmaine.gov>, Jeanie Bourke
<buildinginspections@portlandmaine.gov>



Central Maine Power

October 1, 2008

To: Barbara Barhyte, City of Portland, 389 Congress St, Portland ME 04101
From: Breanna Pierce, Customer Service Advisor, Central Maine Power Company
CC: David Laurie Fax 207-221-1688
CC: FILE 162 Canco Rd, Portland, ME 04103
Reg: 3 lights at Bubba's 92 Portland St Portland (1 Park, 2 Mechanic)

Dear Ms Barhyte,

This letter is to confirm that when instructed, I will create the order to remove these three lights. There will be no charge to the City or the customer for the removal.

The contract terms have been met.

If you should have any questions please contact me at 842-2304.

Sincerely,

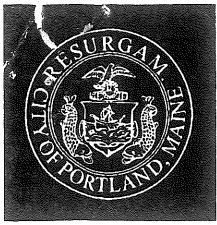
Breanna Pierce

An equal opportunity employer

162 Canco Road | Portland, ME 04103
tel 1-800-750-4000 | fax (207) 791-1026

www.cmpco.com


An Energy East Company
TOTAL P.01



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Corporation Counsel
Gary C. Wood

Associate Counsel
Elizabeth L. Boynton
Penny Littell
James R. Adolf
Mary E. Costigan

May 6, 2008

Andrews Campbell, Esq.
45 Kalers Corner Road
Waldoboro, ME 04572-6000

Re: Bubba's Sulky Lounge/ 92 Portland Street

Dear Mr. Campbell:

Please know that over the last two weeks I have attempted to contact you by telephone, only to receive an answering machine message. I did not leave a message. To follow up on the status of Bubba's Sulky Lounge, the following outlines the progress (or lack thereof) that has been made at the 92 Portland Street property.

Progress

a. Fire Inspection

As you know from being present, the fire inspector visited this property on no less than six occasions to conduct a routine inspection of the property. There was much difficulty in your client's ability to demonstrate the emergency lighting was functional. When the system was capable of being tested, it needed repair. That repair was undertaken and the fire department has signed off on the structure not including the back "addition" which continues to be posted against use or occupancy of any kind.

b. Food Service Inspection

Likewise of food inspection was undertaken. This, too, proved anything but routine. Bubba admitted on the initial inspection that he did not serve food. The kitchen located within the building was dusty and not code compliant. It obviously had not been used in quite some time. After the inspections department repeatedly explained the need for some level of food service, your client produced a hot dog machine and represented that he would be selling hot dogs to patrons. Based on these representations and an observation of the hot dog service, the food license was signed off on. There is an

explicit condition of the food service license that the kitchen portion of the establishment is not to be used unless it passes further inspection.

c. Site Plan Inspection

This property received conditional site plan approval for a storage addition on the rear of the existing establishment from the City in February 2005. Several conditions of approval have not yet been completed. The following is the present status of each condition:

- done*
1. the installation of a stormwater treatment facility to handle the stormwater from the parking lot and the site. **Not yet done. The City has approved the installation of a downstream defender as opposed to original treatment unit. The downstream defender has not been installed.**
 2. clarification of the existing condition of the parking lot and the proposed parking scheme which was required to meet City standards for parking lot layout. **A meeting was held on the stripping of the parking lot. At that meeting Mr. Leasure represented that a large number of the parking spaces were being rented out to adjacent property owners. This is not allowed as those spaces are required for parking for the patrons of Bubba's Sulky Lounge. The stripping of the lot is purported to occur after the downstream defender is installed. We do not have a date as to when this will take place.**
 3. a lighting plan, with photometrics, which met the City's lighting standards. **No lighting plan has been submitted. Mr. Leasure has represented that bubba's intends on using existing lights mounted on CMP poles. No photometric plan has been submitted so staff has not been able to determine compliance with the City's lighting standards.**
 4. a sewer capacity letter from the City's Public Works Department. **This has been received and is complete.**
- done*

In 2007 the City discovered that the addition on the rear of the building was not only being occupied without having received a Certificate of Occupancy (which would not have been issued in light of the fact that essential site plan issues had not been addressed), but it was being used as an extension of the restaurant/bar establishment known as Bubba's. This area was supposed to be used as storage. Even as storage the use was not given a certificate of occupancy because the site plan standards had not been completed. The City posted the space against occupancy of any kind until a Certificate of Occupancy is issued. **This posting is still in effect and the space cannot be occupied.**

In addition to observing the addition being used in violation of City Code, it was also observed that a "bottle storage room" was added to the front of the building without having received necessary permits. **A revised site plan must be submitted showing this addition and a building permit must be submitted for this addition.**

d. Change of Use Application

At the present time, Bubba's has requested approval to change the use of the rear addition from storage to "function room." The City will take no action on your change of use application until you have complied with the approved site plan.

e. Liquor License

In my letter to you of February 1, 2008 I indicated that bringing the site into compliance by May 1 was a necessary precursor to obtaining the liquor and special entertainment license for Bubba's. The City has determined to issue the liquor license for the previously approved portion of the building. However, no use of the rear addition or the bottle room may occur until the site plan issues noted above are addressed. Any unauthorized use of those two areas for the service of alcohol will be considered a violation of your state liquor license, as well as a violation of City Code.

If the site plan requirements are not addressed in the near term, you will be subject to an 80K Land Sue action. As a result, let me know when the site plan issues will be professionally addressed and rectified.

Sincerely,



Penny Littell
Associate Corporation Counsel

Cc: Alexandra Murphy, License Administrator
Barbara Barhydt, Planner ✓
Jon Rioux, Inspections
Captain Greg Cass, Fire Dept.



PORTLAND

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www.portlandmaine.gov

Corporation Counsel
Gary C. Wood

Associate Counsel
Elizabeth L. Boynton
Penny Littell
James R. Adolf
Mary E. Costigan

February 1, 2008

Andrews Campbell, Esq.
45 Kalers Corner Road
Waldoboro, ME 04572-6000

Re: Bubba's Sulky Lounge/ 92 Portland Street

Dear Mr. Campbell:

This letter is intended to reflect how the City will address the non-compliance issues at the property located at 92 Portland Street, which property contains the business establishment known as Bubba's. In an attempt to bring the property into compliance the City will address the liquor license and the Special Entertainment License (SEL) for Bubba's, as well as its site plan status and the pending application for a change of use on the site.

History

This property received conditional site plan approval for a storage addition on the rear of the existing establishment from the City in February 2005. The conditions of approval which needed to be met before the addition was to be occupied include the following:

1. the installation of a stormwater treatment facility to handle the stormwater from the parking lot and the site; and ✓
2. clarification of the existing condition of the parking lot and the proposed parking scheme which was required to meet City standards for parking lot layout; and
3. a lighting plan, with photometrics, which met the City's lighting standards; and
4. a sewer capacity letter from the City's Public Works Department. ✓

In 2007 the City discovered that the addition on the rear of the building was not only being occupied without having received a Certificate of Occupancy (which would not have been issued in light of the fact that essential site plan issues had not been addressed), but it was being used as an extension of the restaurant/bar establishment

Fire Issues

The City is unclear what you have proposed to bring the rear addition into compliance with Life Safety Codes. Although something has apparently been submitted to the State Fire Marshall's Office regarding its inspection, please be in touch with Captain Greg Cass of the Portland Fire Department to ensure you have met all of the City's requirements for fire prevention issues.

Summary

I trust this letter assists you in coming into compliance with the Codes of the City. As you know, at this time, the Stop Work Order remains in effect for the rear addition to the property so that no use of this space is permitted until a Certificate of Occupancy is obtained. We are willing to work with you to remedy the existing, longstanding violations.

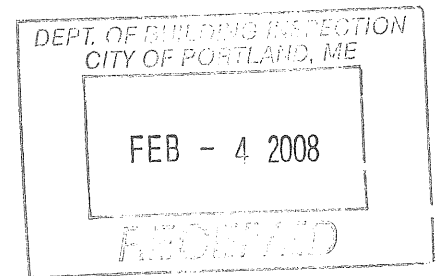
Sincerely,



Penny Littell

Associate Corporation Counsel

Cc: Joe Gray, City Manager
Gary Wood, Corporation Counsel
Alexandra Murphy, License Administrator
Alex Jaegerman, Planner
Barbara Barhydt, Planner
Jon Rioux, Inspections
Ann Machado, Inspections ✓
Captain Greg Cass, Fire Dept.





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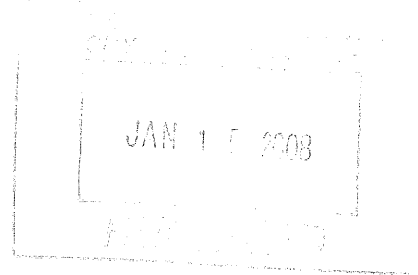
www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

February 15, 2004⁵

Robert Larkin
Bubba's Sulky Lounge
92 Portland Street
Portland, ME 04101



RE: Bubba's Building Addition / 92 Portland Street
Application #2004-0221, CBL #036 I001001

Dear Mr. Larkin:

On February 14, 2004, the Portland Planning Authority approved the above referenced site plan application based findings that, with certain conditions of approval satisfied, all applicable City codes and standards of will be met. The approval is based on plans dated October 20, 2004 and supplemental information presented November 17 and 18, 2004.

The approval is for a 1,490 square foot building addition to the rear of an existing building (Bubba's Sulky Lounge) and related site improvements at 92 Portland Street.

Conditions of Approval:

1. The applicant shall present a survey of the site prepared by a professional land surveyor. Proposed site plans shall be based on said survey.
2. The project shall provide stormwater treatment for the entire site, to City standards, subject to final review and approval by the City's development review engineer and Department of Public Works.
3. The site plan shall be revised so as to resolve major inconsistencies between the parking lot plan presented in the October 20, 2004 submissions and described as "existing conditions" and the actual parking lot layout as it exists today.
4. The project shall demonstrate conformance with the City's exterior lighting standards

If there are any questions or concerns, please contact Ethan Boxer-Macomber at 756-8083 or ebm@portlandmaine.gov.

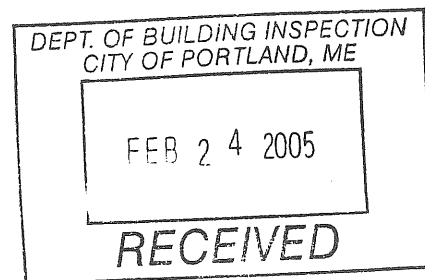
Sincerely,

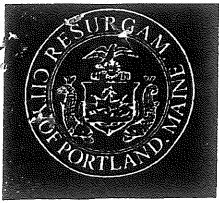


Alex Jaegerman, Planning Division Director

cc:

Sarah Hopkins, Development Review Services Manager
Ethan Boxer-Macomber, Planner
Jay Reynolds, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Inspections Division
Eric Labelle, City Engineer
Approval Letter File





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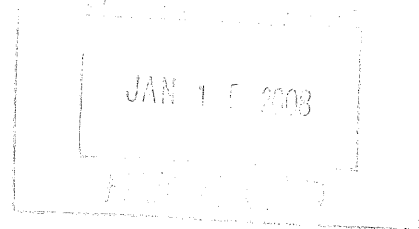
www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

February 15, 2004

Robert Larkin
Bubba's Sulky Lounge
92 Portland Street
Portland, ME 04101



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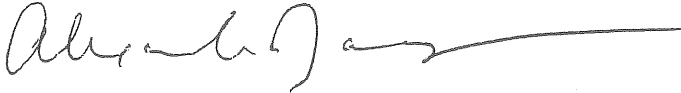
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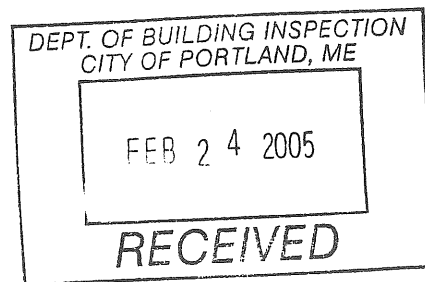
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Alex Jaegerman, Planning Division Director

cc:

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Inspections Division
Eric Labelle, City Engineer
Approval Letter File





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Corporation Counsel
Gary C. Wood

Associate Counsel
Elizabeth L. Boynton
Penny Littell
James R. Adolf
Mary E. Costigan

May 6, 2008

Andrews Campbell, Esq.
45 Kalers Corner Road
Waldoboro, ME 04572-6000

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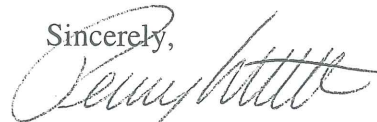
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e. Liquor License

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If the site plan requirements are not addressed in the near term, you will be subject to an 80K Land Sue action. As a result, let me know when the site plan issues will be professionally addressed and rectified.

Sincerely,



Penny Littell
Associate Corporation Counsel

Cc: Alexandra Murphy, License Administrator
Barbara Barhydt, Planner ✓
Jon Rioux, Inspections
Captain Greg Cass, Fire Dept.



PORTLAND MAINE

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www.portlandmaine.gov

Office of the City Clerk
Linda C. Cohen, MMC, City Clerk

Barbara - F9I

February 5, 2008

Mr. Jeff Austin
Department of Public Safety
Liquor Licensing
164 State House Station
Augusta ME 04333

RE: Bubba's Sulky Lounge, 92 Portland Street

Dear Mr. Austin:

Please be advised that Bubba's Sulky Lounge submitted a Class A Lounge (Class X) Liquor License renewal application for the City of Portland and State of Maine on January 10, 2008. Their current City and State Licenses expire on February 9, 2008.

Pursuant to 28-A M.R.S.A. § 653(2)(D), we have agreed to extend Bubba's current licenses to May 5, 2008 to give them time to comply with their February 2005 site plan and other City codes. If they comply on or before that date, we will renew their licenses administratively and notify you.

If compliance has not been met by that date, we will recommend to the City Council at the May 5, 2008 City Council Meeting that approval of these licenses be denied as Title 28-A sec 653(2)(B) makes noncompliance with local land use laws a basis for denial of a liquor license. In such a case, the final decision is up to the Council.

Please grant the appropriate extension for this State Liquor License for the period of time of February 9, 2008 to May 5, 2008.

Thank you for your understanding in this very important matter.

Yours truly,

Alexandra J. P. Murphy
Business License Administrator

CC: Gary C. Wood, Corporation Counsel

CC: Penny Littell, Associate Corporation Counsel
(cont.) Alex Jeagerman, Planning
Capt. Vernon Malloch, Portland Police Dept.
Robert Larkin, Bubba's Sulky Lounge

Bubba's 2004

- lighting standards
- parking
- parking layout standards -

letter to
- Bubba
Penny



PORTLAND MAINE

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Lee Urban - Director of Planning and Development
Jeanie Bourke - Inspection Division Services Director

December 27, 2007

LARKIN ROBERT
2 COTTAGE RD
SOUTH PORTLAND, ME 04106

CBL: 036 I001001
Located at 84 PORTLAND ST

Certified 70070710000135792506

PERMIT DENIED/ POSTING NOTICE

Dear Robert Larkin,

An examination of permit # 07-1010 for 84 Portland Street revealed that the application fails to comply with § 14-523 of Article V Site Plan of the Land Use Ordinance of the City of Portland.

An evaluation of your property on the 21st day of December, 2007 with your staff member confirmed the commercial addition for storage space (Permit #041626) and function room addition (Permit Application # 07-1010) are occupied without approval from this office.

Our files indicate that a letter sent to Mr. Larkin on the 15th day of February, 2004 from Alex Jaegerman, Planning Division Director specified conditions of approvals by the Development Review Coordinator prior to issuance of a Certificate of Occupancy for permit # 04-1626. Permit application # 07-1010 "Change of use from storage space (Permit #041626) to function room and build addition for bottle storage" is denied due to failure to comply with site regulations under permit #041626 pursuant to § 105.3.1 (Action on Application).

Based on that list, and pursuant to § 120.(e), and § 110.1 (Use and Occupancy), this office is authorized to prevent occupancy or use of the space specified in permit application # 07-1010 in violation of this code or of any other ordinances of this jurisdiction. You shall not occupy the "storage space" area as specified in permit application # 07-1010 until a Certificate of Occupancy is issued.

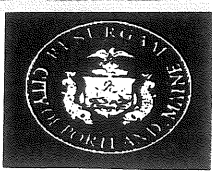
Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in § 1-15 of the Code and in Title 30-A M.R.S.A. § 4452.

This constitutes an appealable decision within (10) ten days of the date of this letter pursuant to § 14-527 of the Land Use Ordinance of the City of Portland Code of Ordinances. Please feel free to contact me at 207.874.8702, if you wish to discuss the matter or have any questions.

Sincerely,

Jon Rioux,
Code Enforcement Officer

CC: Alex Jaegerman, Planning Division Director, Marge Schmuckal, Zoning Administrator, Greg Cass, Captain, Jeannie Bourke, Inspection Services Division Director, Andrews B. Campbell, Esq., & Penny Littell, Associate Corporation Counsel.



PORTLAND MAINE

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Lee Urban - Director of Planning and Development
Jeanie Bourke - Inspection Division Services Director

LARKIN ROBERT
2 COTTAGE RD
SOUTH PORTLAND, ME 04106

CBL: 036 I001001
Located at 84 PORTLAND ST

Hand Delivered

PERMIT DENIED/ NOTICE OF VIOLATION

Dear Robert Larkin,

An evaluation of permit # 07-1010 for 84 Portland Street revealed that the application fails to comply with § 14-523 of Article V Site Plan of the Land Use Ordinance of the City of Portland.

This is a Permit Denial letter pursuant to § 105.3.1 (Action on Application) of the International 2003 Building Code®. Permit application # 07-1010 is rejected until an application for site plan is filed and approved.

§ 105.3.1 Action on Application. The building officials shall examine or cause to be examined applications for permits and amendments thereto within a reasonable time after filing. If the application or the construction documents do not conform to the requirements of pertinent laws, the building officials shall reject such applications in writing, stating the reasons therefore. If the building official is satisfied that the proposed work conforms to the requirements of this code and laws and ordinances applicable thereto, the building official shall issue a permit therefore as soon as practicable.

This is a Violation Notice pursuant to § 14-52, stating:

§14-52 (Conformity Required) No building or structure shall be erected, altered, enlarged rebuilt, moved or used, and no premises shall be used unless in conformity with the provisions of this article.

You shall not occupy the "storage space" area as specified in permit application # 07-1010 until a Certificate of Occupancy is issued.

Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in § 1-15 of the Code and in Title 30-A M.R.S.A. § 4452.

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Sincerely,

Jon Rioux,
Code Enforcement Officer

Cc: Barbara Barhydt, Development Review Services Manager, Marge Schmuckal, Zoning Administrator, Greg Cass, Captain, Jeannie Bourke, Inspection Services Division Director

February 15, 2005

Robert Larkin
Bubba's Sulky Lounge
92 Portland Street
Portland, ME 04101

RE: Bubba's Building Addition / 92 Portland Street
Application #2004-0221, CBL #036 I001001

Dear Mr. Larkin:

On February 14, 2005, the Portland Planning Authority approved the above referenced site plan application based findings that, with certain conditions of approval satisfied, all applicable City codes and standards of will be met. The approval is based on plans dated October 20, 2005 and supplemental information presented November 17 and 18, 2005.

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Conditions of Approval:

1. The applicant shall present a survey of the site prepared by a professional land surveyor. Proposed site plans shall be based on said survey.
2. The project shall provide stormwater treatment for the entire site, to City standards, subject to final review and approval by the City's development review engineer and Department of Public Works.
3. The site plan shall be revised so as to resolve major inconsistencies between the parking lot plan presented in the October 20, 2005 submissions and described as "existing conditions" and the actual parking lot layout as it exists today.
4. The project shall demonstrate conformance with the City's exterior lighting standards subject to final review and approval of the Planning Authority.

5. The applicant shall present a letter from the Department of Public Works demonstrating adequate sewer and stormwater capacity for the proposed project.

Please note the following provisions and requirements for all site plan approvals:

1. The applicant shall submit seven (7) sets of the final plans to the Planning Authority. Where submission drawings are available in electronic form, the applicant shall submit any available electronic Autocad files (*.dwg), release 14 or greater.
2. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.
3. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
4. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
5. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
6. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Department at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions or concerns, please contact Ethan Boxer-Macomber at 756-8083 or

ebm@portlandmaine.gov.

Sincerely,

Alex Jaegerman, Planning Division Director

cc:

Sarah Hopkins, Development Review Services Manager

Ethan Boxer-Macomber, Planner

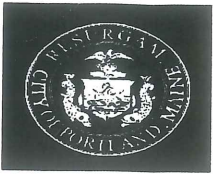
Jay Reynolds, Development Review Coordinator

Marge Schmuckal, Zoning Administrator

Inspections Division

Eric Labelle, City Engineer

Approval Letter File



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Lee Urban - Director of Planning and Development
Jeanie Bourke - Inspection Division Services Director

LARKIN ROBERT
2 COTTAGE RD
SOUTH PORTLAND, ME 04106

COPY

CBL: 036 I001001
Located at 84 PORTLAND ST

Hand Delivered

PERMIT DENIED/ NOTICE OF VIOLATION

Dear Robert Larkin,

An evaluation of permit # 07-1010 for 84 Portland Street revealed that the application fails to comply with § 14-523 of Article V Site Plan of the Land Use Ordinance of the City of Portland.

This is a Permit Denial letter pursuant to § 105.3.1 (Action on Application) of the International 2003 Building Code®. Permit application # 07-1010 is rejected until an application for site plan is filed and approved.

§ 105.3.1 Action on Application. The building officials shall examine or cause to be examined applications for permits and amendments thereto within a reasonable time after filing. If the application or the construction documents do not conform to the requirements of pertinent laws, the building officials shall reject such applications in writing, stating the reasons therefore. If the building official is satisfied that the proposed work conforms to the requirements of this code and laws and ordinances applicable thereto, the building official shall issue a permit therefore as soon as practicable.

This is a Violation Notice pursuant to § 14-52, stating:

§14-52 (Conformity Required) No building or structure shall be erected, altered, enlarged rebuilt, moved or used, and no premises shall be used unless in conformity with the provisions of this article.

You shall not occupy the "storage space" area as specified in permit application # 07-1010 until a Certificate of Occupancy is issued.

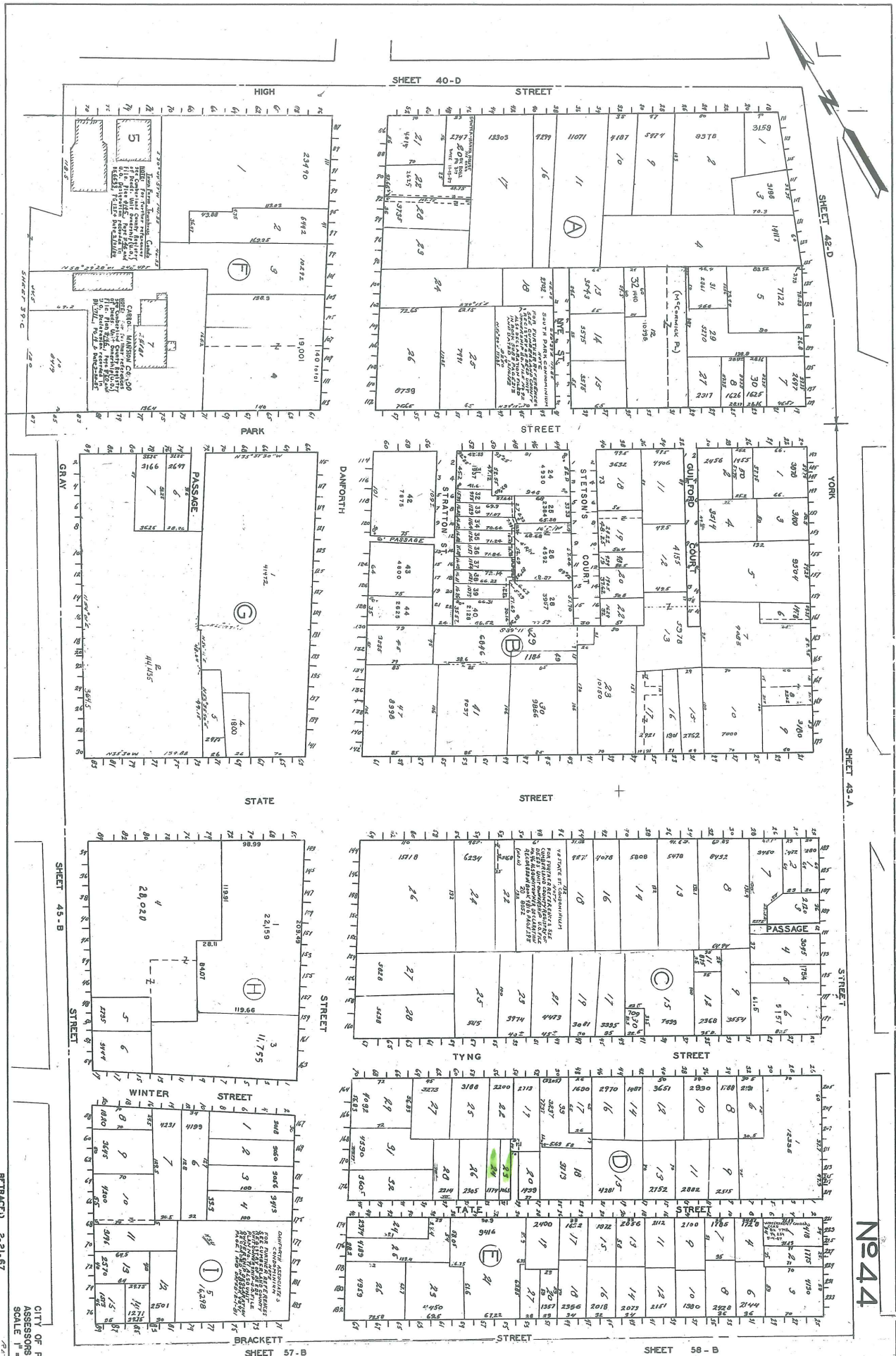
Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in § 1-15 of the Code and in Title 30-A M.R.S.A. § 4452.

This constitutes an appealable decision within (10) ten days of the date of this letter pursuant to § 14-527 of the Land Use ordinance of the City of Portland Code of Ordinances. Please feel free to contact me at 874.8702, if you wish to discuss the matter or have any questions.

Sincerely,

Jon Rioux,
Code Enforcement Officer

Cc: Barbara Barhydt, Development Review Services Manager, Marge Schmuckal, Zoning Administrator, Greg Cass, Captain, Jeanie Bourke, Inspection Services Division Director



No 44

RETRACTED 2-21-87

CITY OF PORTLAND
ASSESSORS PLAN
SCALE 1" = 50'

12-21-1987

DAVID A. LOURIE
ATTORNEY AT LAW
189 SPURWINK AVENUE
CAPE ELIZABETH, MAINE 04107
(207) 799-4922 (Fax) 221-1688
david@lourielaw.com

Advance Copy Via E-mail
August 18, 2008

Barbara Barhyte, City Planner
389 Congress Street
Portland, Maine 04101

Re: Temporary C/o Pending Lighting Change at Bubba's Larkins Sulky Lounge Parking Lot

Dear Barbara:

Mr. Larkin has reluctantly agreed to the removal of the street light he rents from CMP on Portland Street. He has agreed that he will order CMP to remove all three lights attached to street poles in the vicinity of his establishment as soon as the new lighting is operational. CMP could not provide an estimate of time for the work to be accomplished, as it will be done on a first-come basis once the order is received. It is my understanding that you will approve the lighting plan recently submitted by Gilman Electric (as modified) upon receipt of this letter.

Mr. Larkin would really like to open the back room for business ASAP. I therefore request that the City issue a temporary certificate of occupancy conditioned upon the installation of the lighting and stripping of the lot by a date certain? I am certain that Bubba will agree to any reasonable conditions on this permit.

Please advise.

Sincerely,

David A. Lourie

cc: client

**City of Portland
Department of Planning and Development
Planning Division**

389 Congress Street, 4th Floor
Portland ME 04101
(207)874-8721 or (207)874-8719
Fax: (207)756-8258



FAX

To:

David Laurie

Company:

Fax #:

207-221-1688

Date:

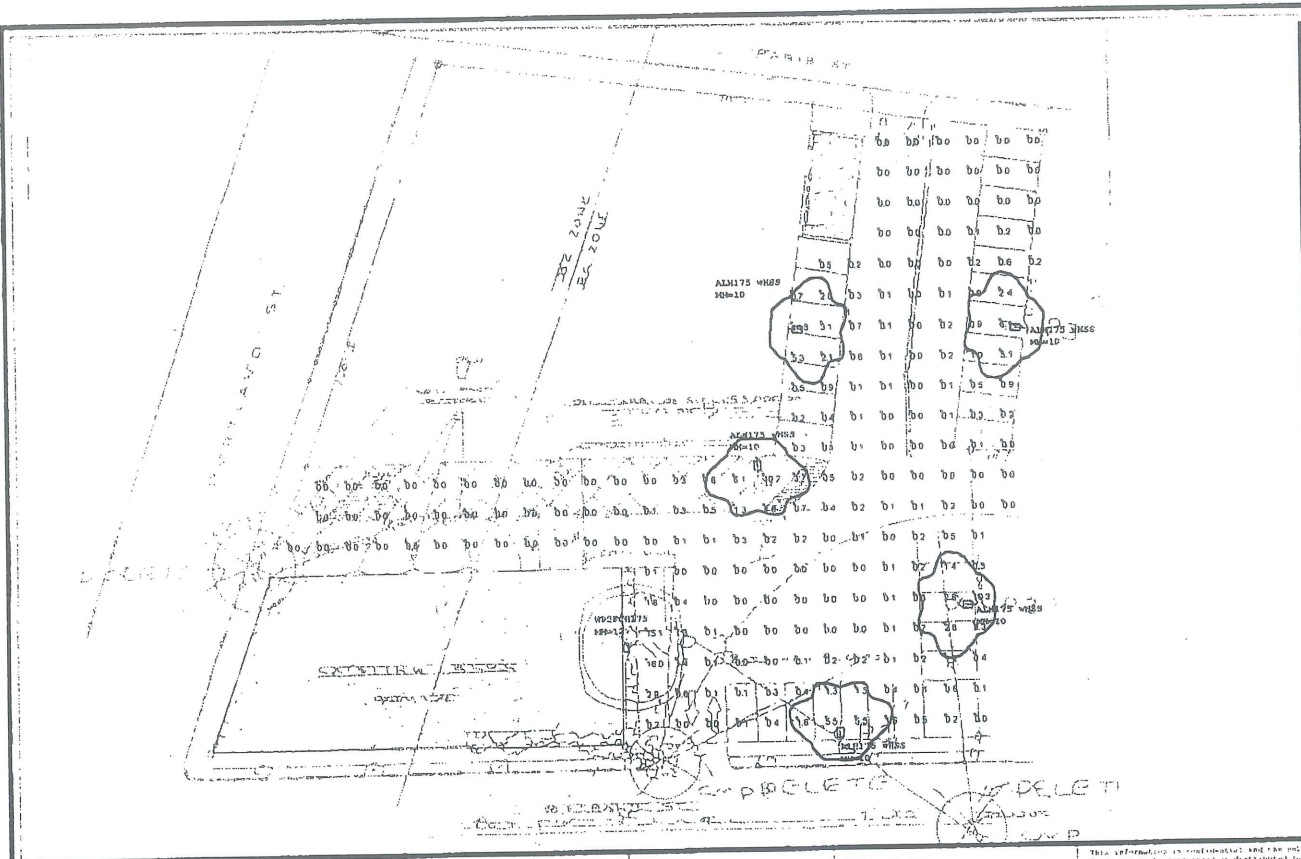
8/12/08

From:

Barbara Barklydt

You should receive 4 page(s) including this cover sheet.

Comments:



MAINTAINED DIMENSION - Calculation Summary							
Units	Area	Permit	Calculation	Area	Permit	Calculation	Area
1	1	1	1	1	1	1	1
2	2	2	2	2	2	2	2
3	3	3	3	3	3	3	3
4	4	4	4	4	4	4	4
5	5	5	5	5	5	5	5
6	6	6	6	6	6	6	6
7	7	7	7	7	7	7	7
8	8	8	8	8	8	8	8
9	9	9	9	9	9	9	9
10	10	10	10	10	10	10	10
11	11	11	11	11	11	11	11
12	12	12	12	12	12	12	12
13	13	13	13	13	13	13	13
14	14	14	14	14	14	14	14
15	15	15	15	15	15	15	15
16	16	16	16	16	16	16	16
17	17	17	17	17	17	17	17
18	18	18	18	18	18	18	18
19	19	19	19	19	19	19	19
20	20	20	20	20	20	20	20

Scale: 1 inch = 10 Ft.
RAB
LIGHTING

4401 1st St.
17th Building
Northampton, MA 01061
Tel: (413) 339-1000
Fax: (413) 339-1002
www.rablighting.com

Prepared For:
1001 1st St. - Building
Northampton, MA

Job Name:
Rab's Policy Group Addition
Portland & Mechanic Street
Northampton, MA

Drawn By: MKC

This information is confidential and the sole property of RAB Lighting, Inc. It is not to be reproduced or disseminated in any way without the written permission of RAB Lighting, Inc. The information and calculations herein are for informational purposes only and are not to be used for any other purpose. RAB Lighting, Inc. makes no warranty or representation of any kind, either explicit or implied, in connection with the sale of its products. RAB Lighting, Inc. is not responsible for any errors or omissions in this document. The information herein is provided for informational purposes only and does not constitute a contract or any other legal agreement. RAB Lighting, Inc. is not responsible for any damages, including consequential damages, arising out of the use of its products. RAB Lighting, Inc. is not responsible for any damages, including consequential damages, arising out of the use of its products.

RE: Bubba's



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life® www.portlandmaine.gov

Finance Department
Ellen Sanborn, Director

August 4, 2008

Robert Larkin
92 Portland Street
Portland, ME 04101

Re: Performance Guarantee – Bubba's Sulky Lounge
Escrow Account #710-0000-233-83-00

Enclosed please find a check for \$18,847.14, which the Planning Department has authorized me to release. This leaves a \$2,071.91 balance in the above-referenced account.

If you require any further information, please let me know.

Sincerely,

Ellen Sanborn
Finance Director

ES:mma
Enclosure

cc: Barbara Barhydt, Development Review Services Manager
Philip DiPierro, Development Review Coordinator



PORTLAND MAINE

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Finance Department
Ellen Sanborn, Director

August 4, 2008

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92 Portland Street
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Finance Director

ES:mma
Enclosure

cc: Barbara Barhydt, Development Review Services Manager
~~Philip DiPierro~~, Development Review Coordinator



PORTLAND, MAINE

Strengthening a Remarkable City, Building a Community for Life
www.portlandmaine.gov

Planning and Urban Development
Penny St. Louis Littell, Director

Planning Division
Alexander Jaegerman, Director

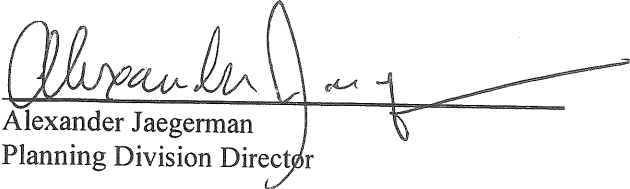
TO: Ellen Sanborn, Finance Department
FROM: Alexander Jaegerman, Planning Division Director
DATE: July 30, 2008
SUBJECT: Request for Reduction of Performance Guarantee
Bubba's Sulky Lounge, 92 Portland Street
(ID# 2004-0221 Lead CBL#036 I 001001)

Please reduce the Performance Guarantee, City Account#710-0000-233.83-00 for the Bubba's Sulky Lounge Project at 92 Portland.

Original Amount	\$20,719.05
<u>This Reduction</u>	<u>\$18,647.14</u>
Remaining Balance	\$ 2,071.91

This is the first reduction for the project.

Approved:


Alexander Jaegerman
Planning Division Director

cc: Barbara Barhydt, Development Review Services Manager
Philip DiPierro, Development Review Coordinator
File: Urban Insight

TO: Ellen Sanborn, Finance Department
FROM: Alexander Jaegerman, Planning Division Director
DATE: July 30, 2008
SUBJECT: Request for Reduction of Performance Guarantee
Bubba's Sulky Lounge, 92 Portland Street
(ID# 2004-0221 Lead CBL#036 I 001001)

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Original Amount	\$20,719.05
<u>This Reduction</u>	<u>\$18,647.14</u>
Remaining Balance	\$ 2,071.91

This is the first reduction for the project.

Approved: _____
Alexander Jaegerman
Planning Division Director

cc: Barbara Barhydt, Development Review Services Manager
Philip DiPierro, Development Review Coordinator
File: Urban Insight

PERFORMANCE GUARANTEE
with the City of Portland

Developer's Tax Identification Number: 01-026-2489

Developer's Name and Mailing Address: Robert Larkin

92 Portland St.

Portland me 04101

City Account Number: 710-0000 - 233.83-00

Treasurer's Report of Receipts Number: 63995

Project Job Number: 2004-0221
(from Site Plan Application form)

Application of Robert Larkin [Applicant] for 92 Portland [Insert street/Project Name] at 92 Portland St. [Address], Portland, Maine.

The City of Portland (hereinafter the "City") will hold the sum of \$20,719.05 [amount of performance guarantee] on behalf of Robert Larkin [Applicant] in a non-interest bearing account established with the City. This account shall represent the estimated cost of installing Site Improvements [insert: subdivision and/ or site improvements (as applicable)] as depicted on the subdivision/site plan, approved on 2-14-05 [date] as required under Portland Code of Ordinances Chapter 14 §§499, 499.5, 525 and Chapter 25 §§46 through 65. It is intended to satisfy the Applicant's obligation, under Portland Code of Ordinances Chapter 14 §§501, 502 and 525, to post a performance guarantee for the above referenced development. *I.R. for RL*

The City, through its Director of Planning and Development and in his sole discretion, may draw against this Escrow Account in the event that:

- I.R. for RL* 1. the Developer has failed to satisfactorily complete by 10-20-07 [date: within two years] the work on the improvements contained within the Site Improvements [insert: subdivision and/ or site improvements (as applicable)] approval, dated 2-14-05 [insert date]; or *I.R. for RL*
2. the Developer has failed to deliver to the City a deed containing the metes and bounds description of any streets, easements or other improvements required to be deeded to the City; or
3. the Developer has failed to post the ten percent (10%) Defect Guarantee required by Portland Code of Ordinances Chapter 14 §§501 and 525; or
4. the Developer has failed to notify the City for inspections in conjunction with the installation of improvements noted in paragraph one.

The Director of Planning and Development may draw on this guarantee, at his option, either thirty days prior to the expiration date contained herein, or s/he may draw against this escrow for a period not to exceed ninety (90) days after the expiration of this commitment; provided that the Applicant will give the City written notice, by certified mail (restricted delivery to Duane Kline, Director of Finance, City of Portland, 389 Congress Street, Room 110, Portland, Maine) of the expiration of this escrow within sixty (60) days prior thereto. Otherwise, drafts may be submitted by the City of Portland no later than ninety (90) days following such notice, whenever given.

After all underground work has been completed and inspected to the satisfaction of the Department of Public Works and Planning, including but not limited to sanitary sewers, storm drains, catch basins, manholes, electrical conduits, and other required improvements constructed chiefly below grade, the City of Portland Director of Planning and Development or its Director of Finance as provided in Chapter 14 §501 of the Portland Code of Ordinances, may authorize the City to reduce the available amount of the escrowed money by a specified amount.

This Escrow will automatically expire upon the earlier of:

1. the written notification from Portland's Director of Planning and Development that said work contained within the Site Improvements P.R. [insert: subdivision and/ or site improvements as applicable] approval and as required by Portland Code of Ordinances Chapter 14 §§499, 499.5, 525 and Chapter 25 §46 through 65 has been completed in accordance with the City of Portland's specifications; or
2. the expiration date of 10-20-07 P.R. [date may not fall between October 30 and April 15] or any automatically extended date as specified herein.

Seen and Agreed to: [Applicant]

By: 

Attach **Letter of Approval and Estimated Cost of Improvements** to this form.

Distribution

1. This information will be completed by Planning Staff.
2. The account number can be obtained by calling Paul Colpitts, ext. 8665.
3. The Agreement will be executed with one original and one copy.
4. The original and copy, each signed by the Developer, will be delivered to the Finance Office, together with a copy of the Report of Receipts form.
5. The Director of Finance will sign the copies, retain the original for their files and deliver the other signed copy to the Planning Office.


DRC 10-20-05

REPORT OF RECEIPTS



To the Director of Finance, City of Portland, Maine

From the Department of Planning

Date 11-1-05

63995

Source of Receipts

For The Period of

HTE Description - up to 19 characters (-----)

Amount

Revenue /Expenditure Code Project #

Richard - ck. 10776 (mailed)	128.15	05
# 2005-0147 notices Eng fee	390.18	04
Buller - ck. 2926 (mailed)	20719.05	110-0000-233.82-00
# 2004-0221 - pay. guarantee		
Totals		
Notes/Wire Transfer \$	250.00	03
Total Credit Card Receipts \$	200.00	07
Total Direct Deposits \$		
Total Checks \$		
Total Cash \$		
Total Amount	21087.38	

The undersigned certifies that this is a true, complete report of all collections made since the date of their last report.

Authorized Agent Yvonne Ben

Phone # 8119

Forward all copies to the Treasury Department where they will be received and returned.

Received This Day

CITY OF PORTLAND PAID
 2005 NOV - 20 PM 3:28 PM 3:22
 THANK YOU

BUBBA'S SULKY LOUNGE
92 PORTLAND STREET
PORTLAND, MAINE 04101

DATE	INVOICE	AMOUNT

52-7445/2112

2926

PAY

— Twenty thousand Seven hundred and sixteen Dollars ⁰⁵/₁₀₀

CHECK AMOUNT

DATE	TO THE ORDER OF	DESCRIPTION	CHECK NO.	CHECK AMOUNT
09/19/05	CITY OF PORTLAND	Performance Guarantee	2926	\$ 20,719.05

Performance Guarantee



Robert F. [Signature]

⑈002926⑈ ⑆211274450⑆ 0290 18290⑈

CAMPBELL LAW OFFICES
A Professional Corporation

207LEGAL.COM

Andrews Bruce Campbell, Attorney 919 Ridge Road, Bowdoinham, ME 04008
207-666-5601; fax 207-666-5633

December 26, 2007

Jon Rioux
Code Enforcement Officer
Room 315, 389 Congress Street
Portland ME 04101
874-8715; fax 874-8716
874-8702

FAX AND REGULAR MAIL

Re: CBL 036 I001001
Located at 84 Portland Street
Robert Larkin - APPEAL

Dear Mr. Rioux:

I represent Robert Larkin. Please accept this letter as appeal of undated hand delivered "PERMIT DENIED/ NOTICE OF VIOLATION" recently received. It is unclear whether there is an intended permit denial or intended violation citation. The communication is unclear to Mr. Larkin because he says he has already been granted a permit and his payment was accepted from the City for existing usages, that is storage. This would be permit # 07-1010 for Storage P[ace].

Mr. Larkin, as you know, is in the process of working out his permit with the State Fire Marshall's office and filing enlarged construction plans. He is not permitted to occupy or use for his business operations the enlarged area behind Bubba's existing use.

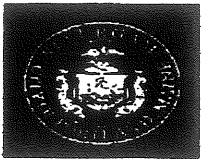
I look forward to speaking with you. Thank you for your attention.

Yours truly,


Andrews B. Campbell

c: Robert Larkin

File 1
Bubba
Amund



Strengthening a Remarkable City, Building a Community for Life - www.portlandmaine.gov

Lee Urban - Director of Planning and Development
Jeanie Bourke - Inspection Division Services Director

Sublime
City of Portland

LARKIN ROBERT
2 COTTAGE RD
SOUTH PORTLAND, ME 04106

666
5600

CBL: 036 I001001
Located at 84 PORTLAND ST

Hand Delivered

PERMIT DENIED/ NOTICE OF VIOLATION

Dear Robert Larkin,

An evaluation of permit # 07-1010 for 84 Portland Street revealed that the application fails to comply with § 14-523 of Article V Site Plan of the Land Use Ordinance of the City of Portland.

This is a Permit Denial letter pursuant to § 105.3.1 (Action on Application) of the International 2003 Building Code®. Permit application # 07-1010 is rejected until an application for site plan is filed and approved.

§ 105.3.1 Action on Application. The building officials shall examine or cause to be examined applications for permits and amendments thereto within a reasonable time after filing. If the application or the construction documents do not conform to the requirements of pertinent laws, the building officials shall reject such applications in writing, stating the reasons therefore. If the building official is satisfied that the proposed work conforms to the requirements of this code and laws and ordinances applicable thereto, the building official shall issue a permit therefore as soon as practicable.

This is a Violation Notice pursuant to § 14-52, stating:

§14-52 (Conformity Required) No building or structure shall be erected, altered, enlarged rebuilt, moved or used, and no premises shall be used unless in conformity with the provisions of this article.

You shall not occupy the "storage space" area as specified in permit application # 07-1010 until a Certificate of Occupancy is issued.

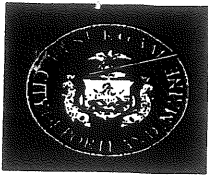
Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in § 1-15 of the Code and in Title 30-A M.R.S.A. § 4452.

This constitutes an appealable decision within (10) ten days of the date of this letter pursuant to § 14-527 of the Land Use ordinance of the City of Portland Code of Ordinances. Please feel free to contact me at 874.8702, if you wish to discuss the matter or have any questions.

Sincerely,

Jon Rioux,
Code Enforcement Officer

Cc: Barbara Barhydt, Development Review Services Manager, Marge Schmuckal, Zoning Administrator, Greg Cass, Captain, Jeannie Bourke, Inspection Services Division Director



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Lee Urban - Director of Planning and Development
Jeanie Bourke - Inspection Division Services Director

December 27, 2007

LARKIN ROBERT
2 COTTAGE RD
SOUTH PORTLAND, ME 04106

CBL: 036 I001001
Located at 84 PORTLAND ST

Certified 70070710000135792506

PERMIT DENIED/ POSTING NOTICE

Dear Robert Larkin,

An examination of permit # 07-1010 for 84 Portland Street revealed that the application fails to comply with § 14-523 of Article V Site Plan of the Land Use Ordinance of the City of Portland.

An evaluation of your property on the 21st day of December, 2007 with your staff member confirmed the commercial addition for storage space (Permit #041626) and function room addition (Permit Application # 07-1010) are occupied without approval from this office.

Our files indicate that a letter sent to Mr. Larkin on the 15th day of February, 2004 from Alex Jaegerman, Planning Division Director specified conditions of approvals by the Development Review Coordinator prior to issuance of a Certificate of Occupancy for permit # 04-1626. Permit application # 07-1010 "Change of use from storage space (Permit #041626) to function room and build addition for bottle storage" is denied due to failure to comply with site regulations under permit #041626 pursuant to § 105.3.1 (Action on Application).

Based on that list, and pursuant to § 120.(e), and § 110.1 (Use and Occupancy), this office is authorized to prevent occupancy or use of the space specified in permit application # 07-1010 in violation of this code or of any other ordinances of this jurisdiction. You shall not occupy the "storage space" area as specified in permit application # 07-1010 until a Certificate of Occupancy is issued.

Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in § 1-15 of the Code and in Title 30-A M.R.S.A. § 4452.

This constitutes an appealable decision within (10) ten days of the date of this letter pursuant to § 14-527 of the Land Use Ordinance of the City of Portland Code of Ordinances. Please feel free to contact me at 207.874.8702, if you wish to discuss the matter or have any questions.

Sincerely,

Jon Rioux,
Code Enforcement Officer

CC: Alex Jaegerman, Planning Division Director, Marge Schmuckal, Zoning Administrator, Greg Cass, Captain, Jeannie Bourke, Inspection Services Division Director, Andrews B. Campbell, Esq., & Penny Littell, Associate Corporation Counsel.

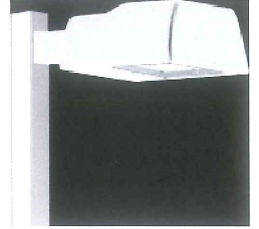
Title : BUBBA'S SULKY LOUNGE

Date : 30 Jun 2008

Description : Enter the description here (3 lines maximum)

For : CED PORTLAND

By : GERRY GILLEN



IES Filename : ALH175.IES

P1

Description : AL AREA LIGHT
WITH SEMI-SPECULAR REFLECTOR AND CLEAR
FLAT GLASS LENS

Arrangement

User-Defined (customized) [1 lum]

Mounting Height :	-- ft	X	Y	Z	Orient	Tilt	Tilt Factor
Arm Length :	-- ft	-70.00	0.00	10.00	0	0	1.00
Offset Length :	-- ft						

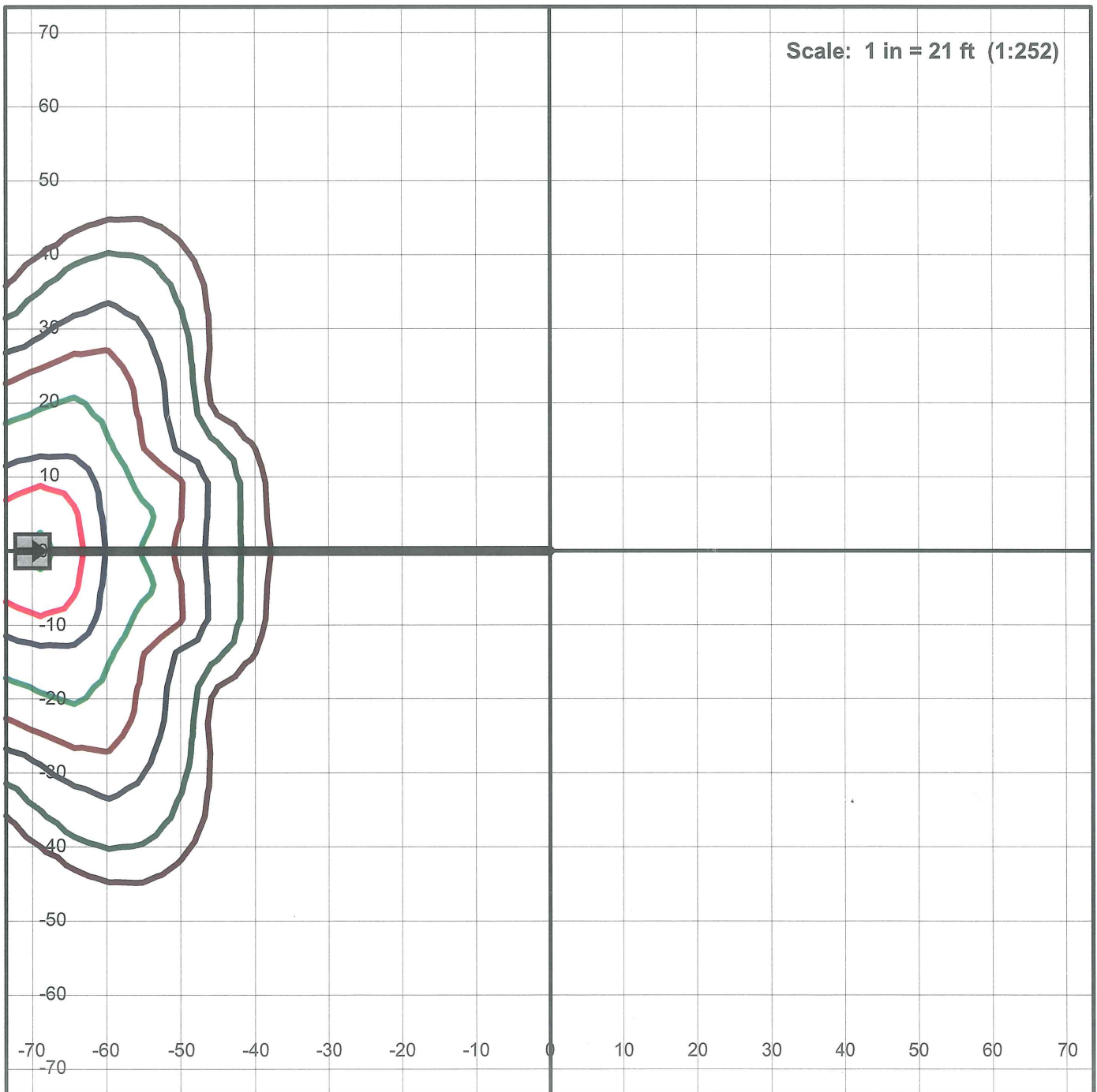
Scale: 1 in = 21 ft (1:252)

Arrangement Magnification: 100 %

Avg = 0 fc
Max = 24.36 fc
Min = 0 fc
Avg/Min = Infinity
Max/Min = Infinity
Units: feet, footcandles (horizontal)

Luminaire

Number of Lamps : 1
Lamp Lumens : 13500 lms
Luminaire Watts : 1 W
Light Loss Factor (LLF) : 1.00



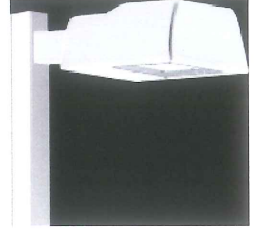
Title : BUBBA'S SULKY LOUNGE

Date : 30 Jun 2008

Description : Enter the description here (3 lines maximum)

For : CED PORTLAND

By : GERRY GILLEN



P2

IES Filename : ALH175.IES

Arrangement

User-Defined (customized) [1 lur]

Description : AL AREA LIGHT
WITH SEMI-SPECULAR REFLECTOR AND CLEAR
FLAT GLASS LENS

Mounting Height :	--	ft	X	Y	Z	Orient	Tilt	Tilt Factor
Arm Length :	--	ft	-70.00	0.00	10.00	0	0	1.00
Offset Length :	--	ft						

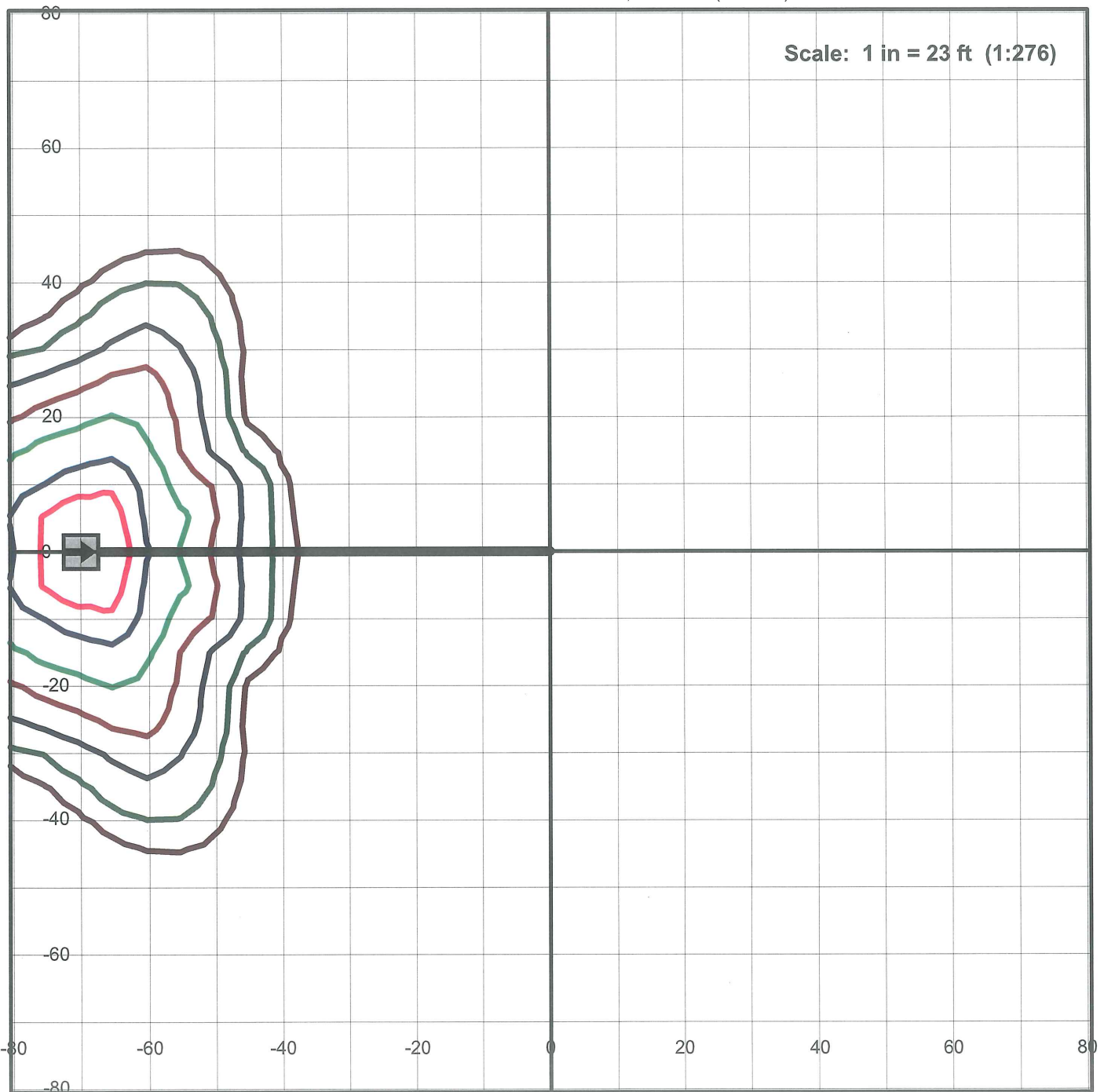
Scale: 1 in = 23 ft (1:276)

Arrangement Magnification: 100 %

Avg = 0 fc
Max = 21 fc
Min = 0 fc
Avg/Min = Infinity
Max/Min = Infinity
Units: feet, footcandles (horizontal)

Luminaire

Number of Lamps : 1
Lamp Lumens : 13500 lms
Luminaire Watts : 1 W
Light Loss Factor (LLF) : 1.00



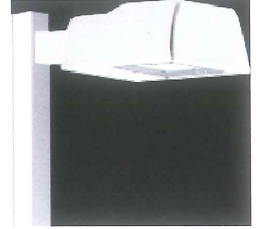
Title : BUBBA'S SULKY LOUNGE

Date : 30 Jun 2008

Description : Enter the description here (3 lines maximum)

For : CED PORTLAND

By : GERRY GILLEN



P3

IES Filename : ALH175.IES

Arrangement

User-Defined (customized) [1 lur]

Description : AL AREA LIGHT
WITH SEMI-SPECULAR REFLECTOR AND CLEAR
FLAT GLASS LENS

Mounting Height :	-- ft	X	Y	Z	Orient	Tilt	Tilt Factor
Arm Length :	-- ft	-70.00	0.00	10.00	0	0	1.00
Offset Length :	-- ft						

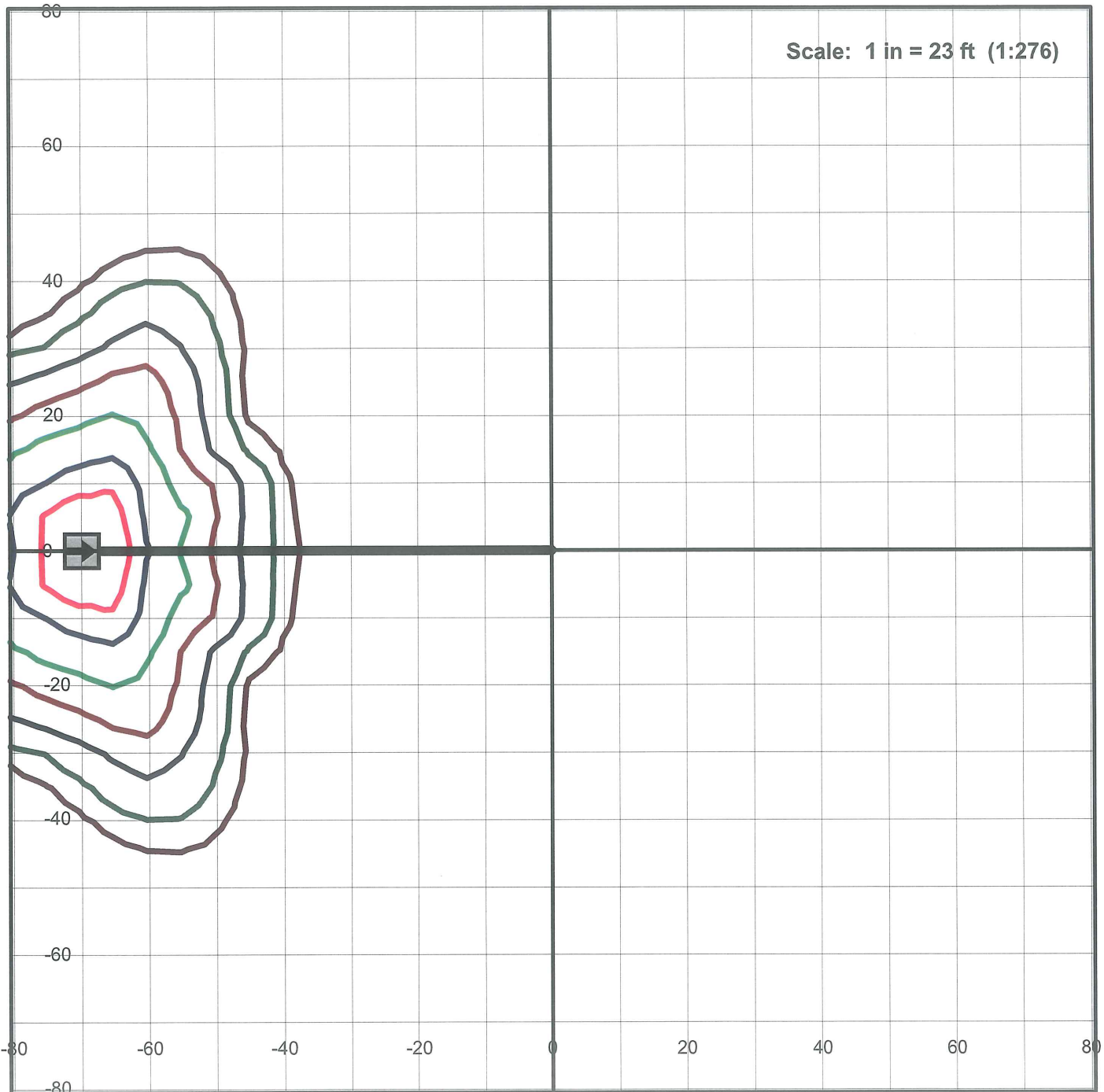
Scale: 1 in = 23 ft (1:276)

Arrangement Magnification: 100 %

Avg = 0 fc
Max = 21 fc
Min = 0 fc
Avg/Min = Infinity
Max/Min = Infinity
Units: feet, footcandles (horizontal)

Luminaire

Number of Lamps : 1
Lamp Lumens : 13500 lms
Luminaire Watts : 1 W
Light Loss Factor (LLF) : 1.00



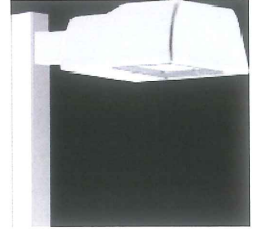
Title : BUBBA'S SULKY LOUNGE

Date : 30 Jun 2008

Description : Enter the description here (3 lines maximum)

For : CED PORTLAND

By : GERRY GILLEN



IES Filename : ALH175.IES

~~P4~~

Description : AL AREA LIGHT
WITH SEMI-SPECULAR REFLECTOR AND CLEAR
FLAT GLASS LENS

Arrangement

User-Defined (customized) [1 lur]

Mounting Height :	--	ft	X	Y	Z	Orient	Tilt	Tilt Factor
Arm Length :	--	ft	-70.00	0.00	10.00	0	0	1.00
Offset Length :	--	ft						

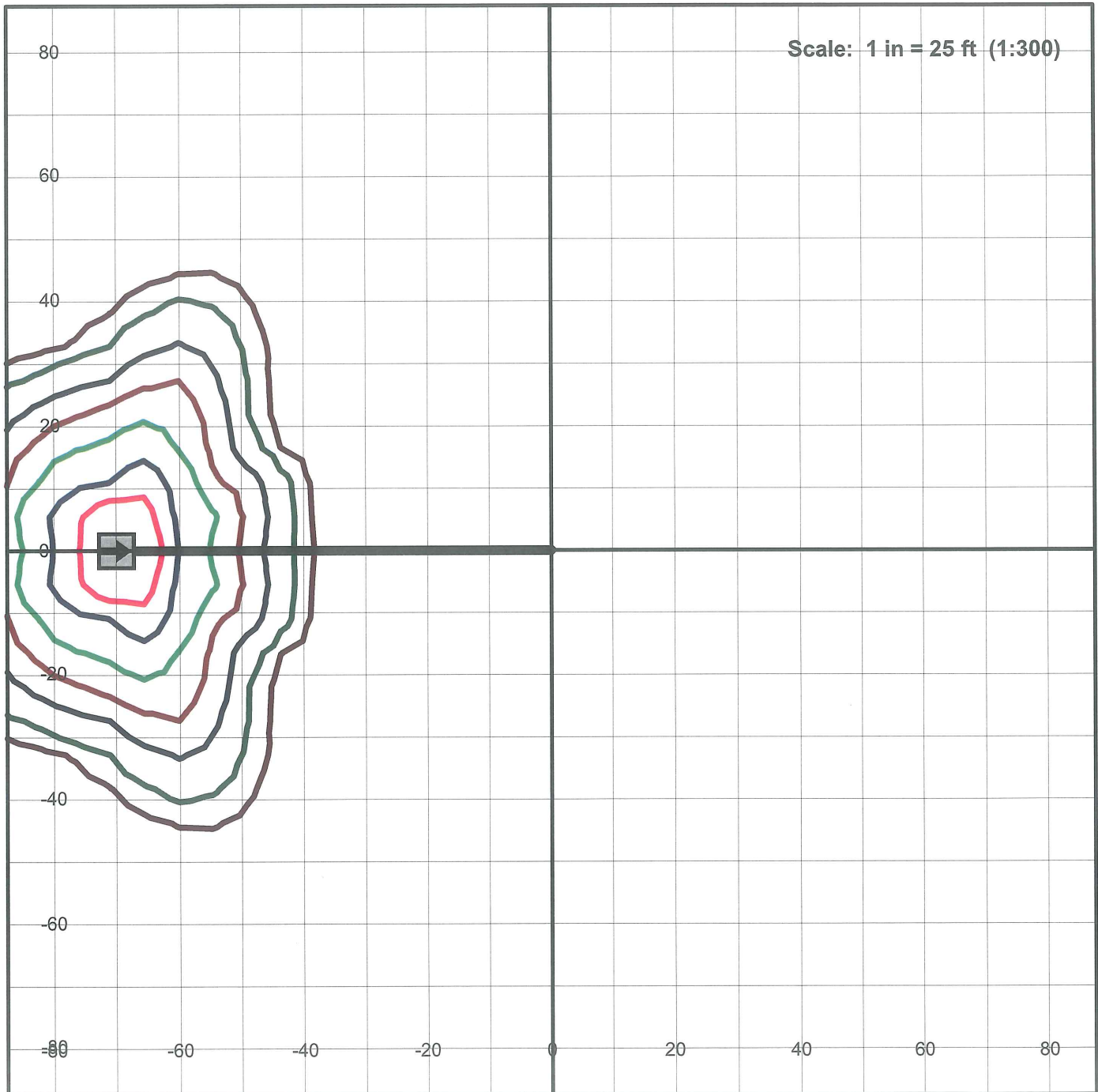
Scale: 1 in = 25 ft (1:300)

Arrangement Magnification: 100 %

Avg = 0 fc
Max = 19.04 fc
Min = 0 fc
Avg/Min = Infinity
Max/Min = Infinity
Units: feet, footcandles (horizontal)

Luminaire

Number of Lamps : 1
Lamp Lumens : 13500 lms
Luminaire Watts : 1 W
Light Loss Factor (LLF) : 1.00



RAB LIGHTING ALH175QT



JOB NAME: _____
 DATE: _____
 TYPE: _____

DESCRIPTION

Type III distribution Area Light with pole top fixed arm mount. Factory wired with QT CWA-HPF ballast. Fixed mounting at 90° to pole. Drilling 2" on center. Factory wired for 277V, except 175W. Lamp supplied.

SPECIFICATIONS

Finish:

Chip and fade resistant bronze polyester powder coat finish.

Housing:

One-piece precision die cast aluminum housing and door held captive when opened. Removable hinge pins for door removal.

Lens Gasket:

High temperature extruded silicone set in die cast retaining groove. Remains in place during relamping.

Lens:

Thermal, tempered shock resistant glass, 5/32" thick.

Mounting Arm:

Mounts with two 5/16 -18 threaded rods at 2" on center.

Reflector:

Hydroformed Type 3 reflector.

Patents:

RAB sensor and fixture designs are protected under U.S. and International Intellectual Property Laws

Socket:

Porcelain socket pulse rated 4kv, 1500 watts and 600 volts, reinforced with cat's eyes for added durability. Silicone and fiberglass #14 gauge socket leads rated for 200° C. Plated screw shell designed to resist corrosion with spring loaded center contact.

UL Listing:

Suitable for wet locations. Suitable for mounting within 4' of the ground.

EPA:

1

Color:

Bronze

Weight:

30.71

ORDERING INFORMATION

Metal Halide Lamp supplied with fixture	Total Watts	Lamp Type	Lamp Base	Ballast	Starting Amps/ Operating Amps				Input Watts	LAMP ANSI	Initial Lumens	Lamp Hours
					120V	208V	240V	277V				
	175	ED28	Mogul	CWA HPF QT	1.3/1.8	0.8/1.0	0.7/0.9	0.6/0.8	210	M57	13500	10000
Factory Installed Options Add suffix to Catalog Number				Swivel Photocontrol (/PCS) Single fusing for 120 and 277 volt (/F) Double fusing for 208 and 240 volt (/FF)								
												Button Photocontrol (/PC) 480 volt ballast (consult factory) (/480)

Note: Specifications may change without notice

RAB Lighting, Inc. • 170 Ludlow Ave • Northvale, NJ 07647 • Tel: 888 RAB-1000 • Fax: 888 RAB-1232 • www.rabweb.com
 © 2008

Wiring Diagram: © 1985- 2008 RAB LIGHTING, ALL RIGHTS RESERVED. [Click Here](#)

Terms of Sale

SPECIFICATIONS



UL Listing:

Suitable for we locations. Suitable for mounting within 4' of the ground.

Lens Gasket:

High temperature extruded silicone set in die cast retaining groove. Remains in place during relamping.

Housing:

One-piece precision die cast aluminum housing and door held captive when opened. Removable hinge pins for door removal.

Reflector:

Hydroformed Type 3 reflector.

Finish:

Chip and fade resistant bronze polyester powder coat finish.

Lens:

Thermal, tempered shock resistant glass, 5/32" thick.

Socket:

Porcelain socket pulse rated 4kv, 1500 watts and 600 volts, reinforced with cat's eyes for added durability. Silicone and fiberglass #14 gauge socket leads rated for 200° C. Plated screw shell designed to resist corrosion with spring loaded center contact.

Mounting Arm:

Mounts with two 5/16 -18 threaded rods at 2" on center.

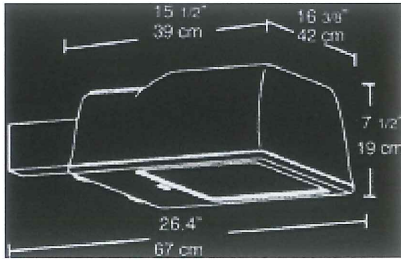
Patents:

RAB sensor and fixture designs are protected under U.S. and International Intellectual Property Laws

EPA:

1

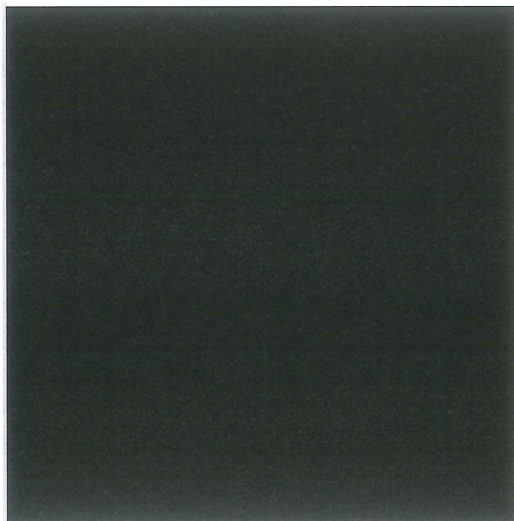
DIMENSIONS

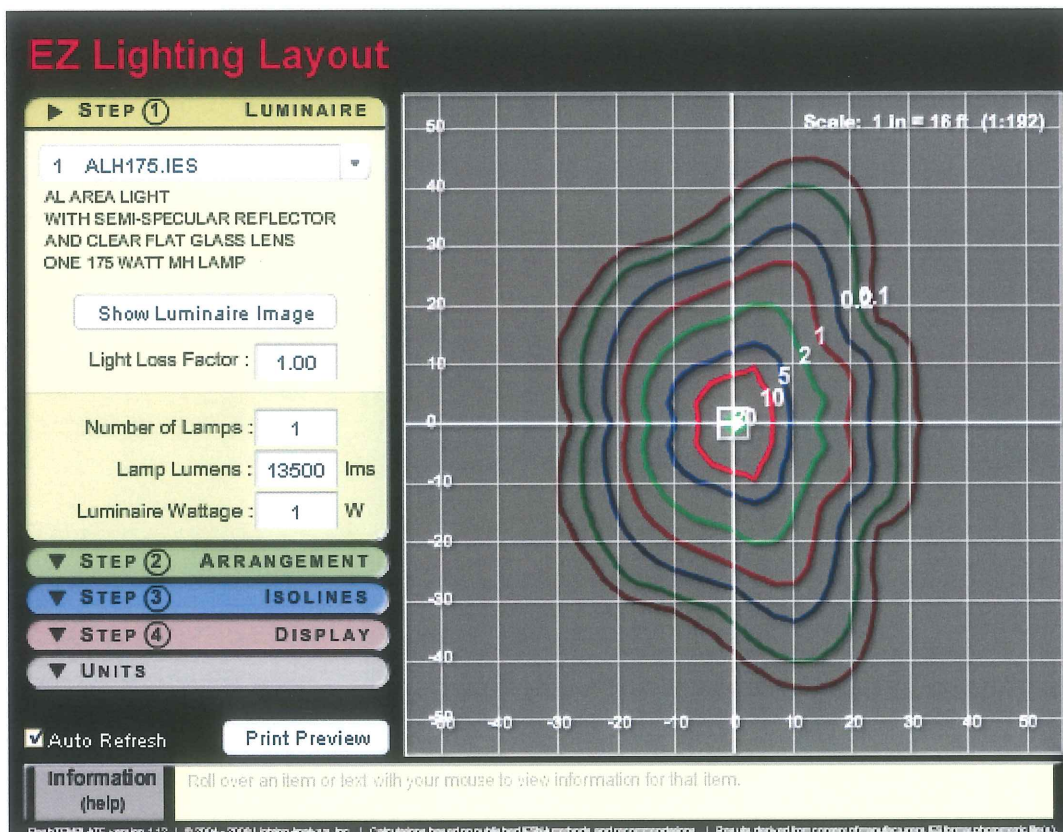


PHOTOMETRICS

[EZ Layout](#)

[IES File](#)





PRODUCT INFORMATION

Fixture Color: Bronze
Lamp supplied with fixture

Weight: 30.71 lbs

Lamp Information

Type: MH
Watts: 175W
Shape/Size: ED28
Base: Mogul
ANSI: M57
Hours: 10000
Initial Lumens: 13500

Ballast Information

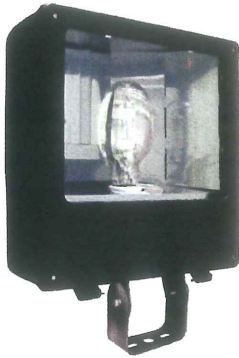
Type: CWA HPF QT
Input Watts: 210W
Efficiency: 83 %
Start/Operating Amps
120V: 1.3/1.8
208V: 0.8/1.0
240V: 0.7/0.9
277V: 0.6/0.8

New!

MegaFlood Trunnion

MegaFlood with steel trunnion mount allows easy surface mounting for aiming flexibility. Factory wired with QT CWA-HPF ballast and 3-foot flexible cord. Adjustable aiming over 180° arc. Mounting can be locked securely in place. Factory wired for 277V, except 175W. Lamp supplied.

Finish: ● Bronze



New!

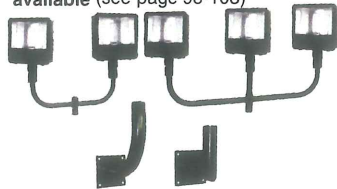
MegaFlood Slipfitter

MegaFlood with heavy duty, die cast slipfitter for 2 3/8" O.D. tenon size. Slipfitter joint adjusts over 180° arc. Factory wired for 277V, except 175W. Lamp supplied.

Finish: ● Bronze



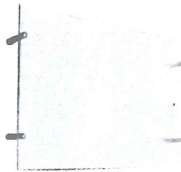
Poles, Bullhorns and Brackets available (see page 98-103)



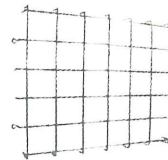
Shield MegaFlood & Guard

Clear polycarbonate shield and chrome plated wire guard protects MegaFlood against vandalism and accidental breakage.

Finish: Clear



Finish: Chrome



MegaFlood Hoods

Heavy duty hoods cut down on glare and direct light where you need it. Available in 4" and 9" sizes for easy on site installation.

Finish: ● Bronze



Catalog Numbers

MEGS250QT
MEGS400QT

MEGH175QT
MEGH200PSQ
MEGH250QT
MEGH250PSQ
MEGH320PSQ
MEGH350PSQ
MEGH400QT
MEGH400PSQ

/PC
/PCS
/F
/FF
/480
GDMEGW
GDMEGP
MEGH4
MEGH9

MEGS250SFQT
MEGS400SFQT

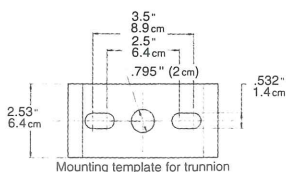
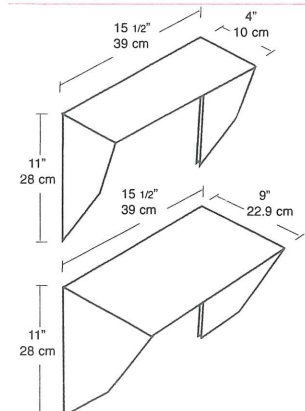
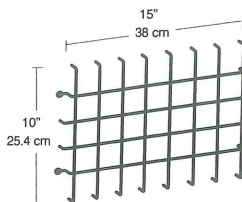
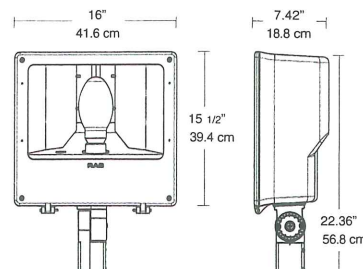
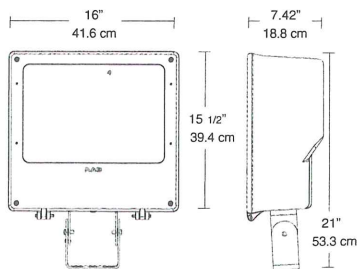
MEGH175SFQT
MEGH200SFPSQ
MEGH250SFQT
MEGH250SFPSQ
MEGH320SFPSQ
MEGH350SFPSQ
MEGH400SFQT
MEGH400SFPSQ

/PC
/PCS
/F
/FF
/480
GDMEGW
GDMEGP
MEGH4
MEGH9

/PC
/PCS
/F
/FF
/480
GDMEGW
GDMEGP
MEGH4
MEGH9

/PC
/PCS
/F
/FF
/480
GDMEGW
GDMEGP
MEGH4
MEGH9

Dimensions



Fits
2 3/8"
6 cm
(O.D.)
Tenon

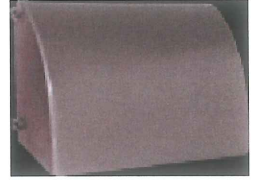
Title : BUBBA'S SULKY LOUNGE

Date : 30 Jun 2008

Description : Enter the description here (3 lines maximum)

For : CED PORTLAND

By : GERRY GILLEN



WP1

IES Filename : T20376.IES

Arrangement

User-Defined (customized) [1 lur]

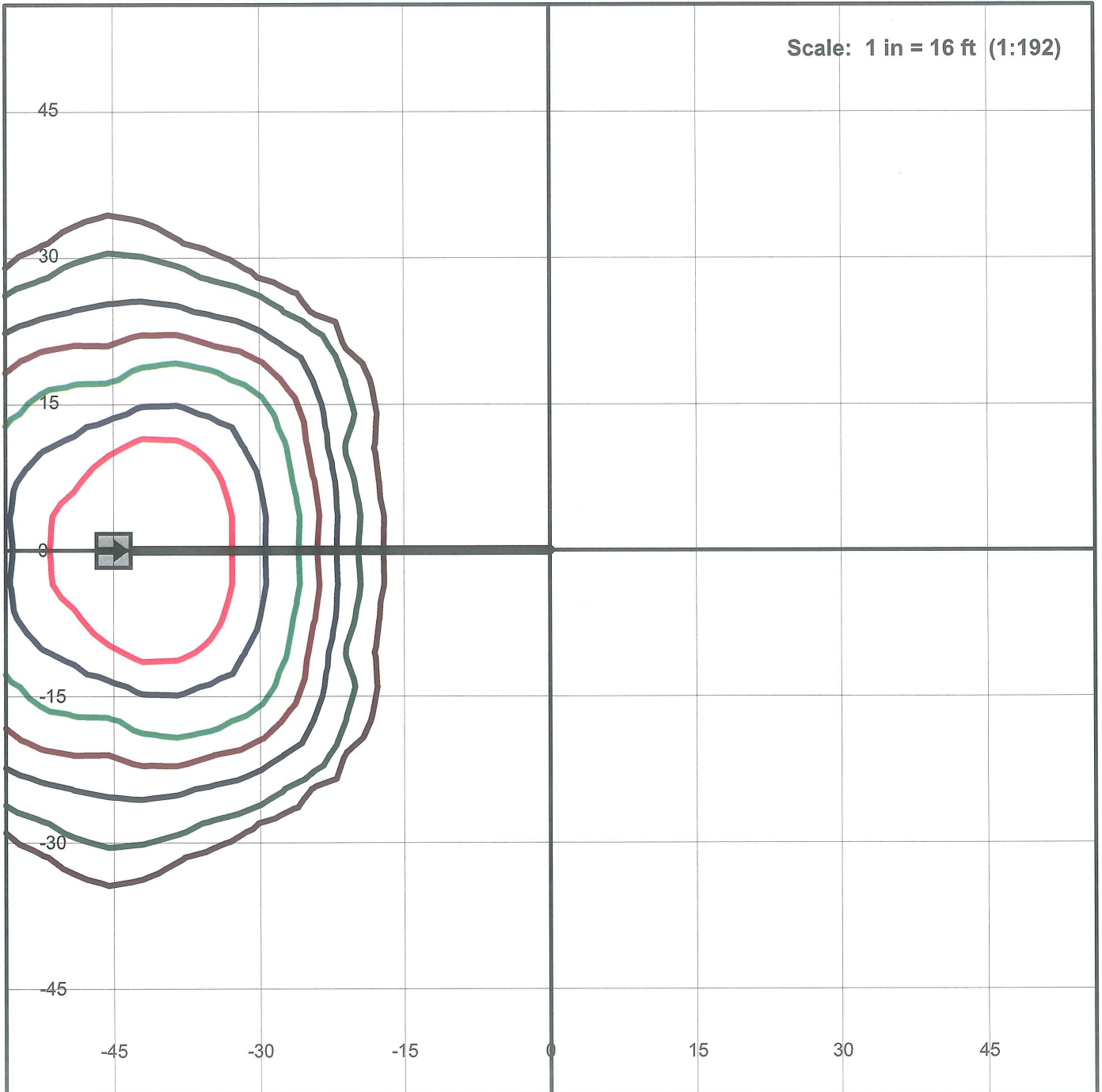
Description : WP2FCH175
WITH SEMI-SPECULAR REFLECTOR AND CLEAR
FLAT GLASS LENS

Mounting Height :	--	ft	X	Y	Z	Orient	Tilt	Tilt Factor
Arm Length :	--	ft	-45.00	0.00	15.00	0	0	1.00
Offset Length :	--	ft						

Scale: 1 in = 16 ft (1:192)
Arrangement Magnification: 100 %
Avg = 0.01 fc
Max = 18.65 fc
Min = 0 fc
Avg/Min = 199.84
Max/Min = 2572.72 .85
Units: feet, footcandles (horizontal)

Luminaire

Number of Lamps : 1
Lamp Lumens : 13500 lms
Luminaire Watts : 0 W
Light Loss Factor (LLF) : 1.00





WP2FCH175QT



JOB NAME: _____
 DATE: _____
 TYPE: _____

DESCRIPTION

Fully shielded, full cutoff wallpack. Full cutoff optics for 70 - 150W HPS, 70 - 175 MH or 42W CFL. Full Cutoff optics with flat tempered glass lens. Cap/Ignitor cradle and EZ mount knockouts for easy wiring. Lamp supplied.

SPECIFICATIONS

Cutoff Lens:

Tempered glass.

Finish:

Chip and fade resistant polyester powder coating.

Housing:

Die cast aluminum, 1/2" NPS tapped holes top, both sides and back for conduit or photocontrol. Hinged refractor frame. Continuous silicone rubber gasket.

Reflector:

Specular anodized aluminum, removable for installation. Symmetrical light pattern maximizes distance between fixtures.

Quad Tap:

Fixture works with 120, 208, 240 and 277 Volts

Refractor:

Prismatic optics designed to minimize glare and throw light down and out. Heat resistant borosilicate glass.

UL Listing:

Suitable for wet locations. HID fixtures can be wired with 90° C supply wiring if supply wires are routed 3" away from ballast.

Patents:

RAB sensor and fixture designs are protected under U.S. and International Intellectual Property laws

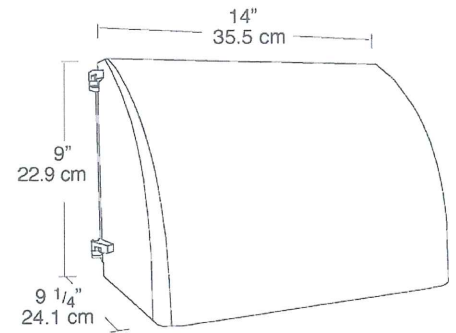
Color:

Bronze

Weight:

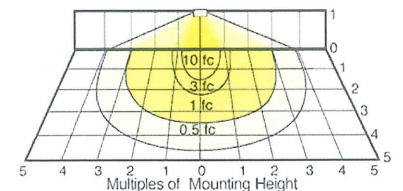
18.05

DIMENSIONS



PHOTOMETRIC

150w HPS @10' Mounting Height



Mounting Height	Multiplier	Multiplier		
		Watts	HPS	MH CFL
8'	1.6	175		.9
10'	1.0	150PS		.9
12'	.7	150	1.0	.8
16'	.4	125PS		.7
20'	.25	100	.6	.6
		70	.4	.4
		42		.2
		84		.4

ORDERING INFORMATION

Metal Halide

Lamp supplied with fixture

Total Watts	Lamp Type	Lamp Base	Ballast
175	ED17	Medium	CWA-HPF QT

Starting Amps/ Operating Amps				Input Watts	LAMP ANSI	Initial Lumens	Lamp Hours
120V	208V	240V	277V				
1.3/1.8	.8/1.1	.7/ .9	.6/ .8	210	M57	14000	10000

Factory Installed Options
 Add suffix to Catalog Number

Tamperproof screws (/TP)
 Swivel Photocontrol (/PCS)
 Single fusing for 120 and 277 volt (/F)

Double fusing for 208 and 240 volt (/FF)
 Button Photocontrol for 208 - 277 volt (/PC2)
 Button Photocontrol (/PC)

Note: Specifications may change without notice

Wiring Diagram: [Click Here](#)
 © 1985-2008 RAB LIGHTING, ALL RIGHTS RESERVED.

Terms of Sale

SPECIFICATIONS



UL Listing:

Suitable for wet locations. HID fixtures can be wired with 90° C supply wiring if supply wires are routed 3" away from ballast.

Housing:

Die cast aluminum, 1/2" NPS tapped holes top, both sides and back for conduit or photocontrol. Hinged refractor frame. Continuous silicone rubber gasket.

Reflector:

Specular anodized aluminum, removable for installation. Symmetrical light pattern maximizes distance between fixtures.

Cutoff Lens:

Tempered glass.

Refractor:

Prismatic optics designed to minimize glare and throw light down and out. Heat resistant borosilicate glass.

Finish:

Chip and fade resistant polyester powder coating.

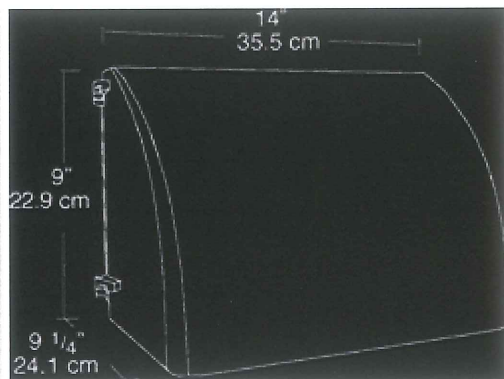
Quad Tap:

Fixture works with 120, 208, 240 and 277 Volts

Patents:

RAB sensor and fixture designs are protected under U.S. and International Intellectual Property laws

DIMENSIONS

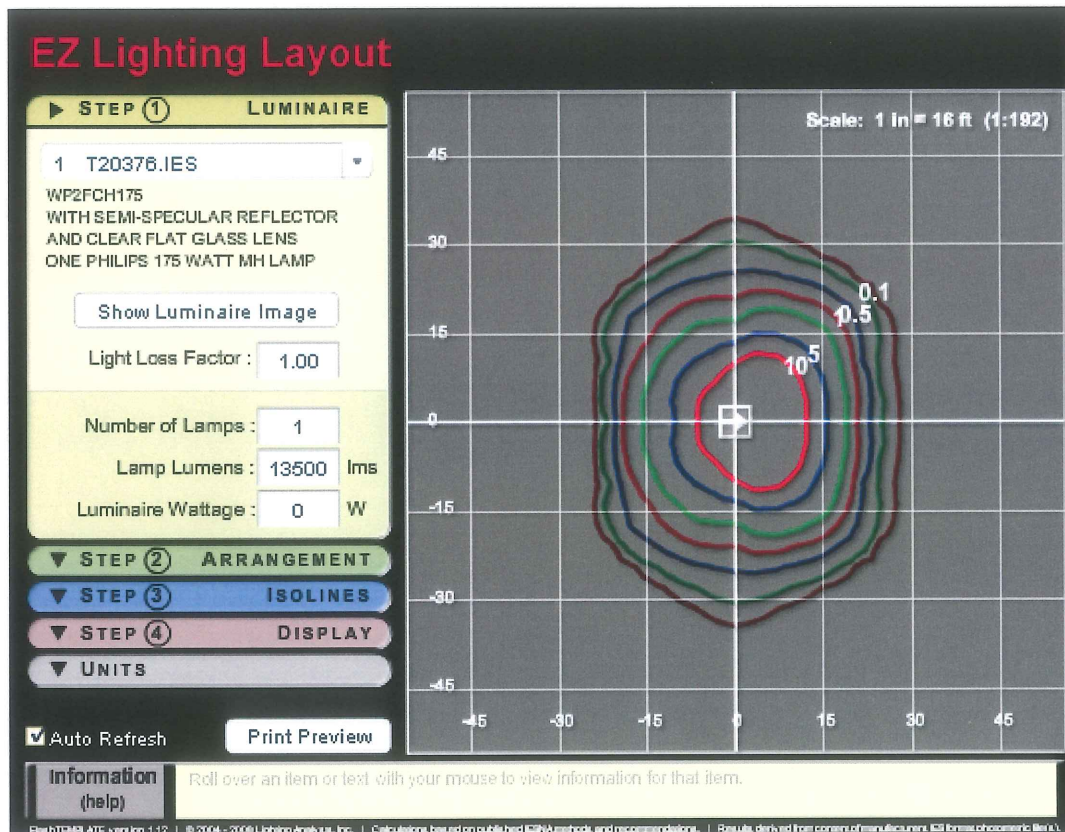


PHOTOMETRICS

[EZ Layout](#) [IES File](#)



Mounting Height	Multiplier	Multiplier		
		Watts	HPS	MH CFL
8'	1.6	175	.9	
10'	1.0	150PS	.9	
12'	.7	150	1.0	.8
16'	.4	125PS	.7	
20'	.25	100	.6	.6
		70	.4	.4
		42		.2
		84		.4



PRODUCT INFORMATION

Fixture Color: Bronze
 Lamp supplied with fixture

Weight: 18.05 lbs

Lamp Information

Type: MH
 Watts: 175W
 Shape/Size: ED17
 Base: Medium
 ANSI: M57
 Hours: 10000
 Initial Lumens: 14000

Ballast Information

Type: CWA-HPF QT
 Input Watts: 210W
 Efficiency: 83 %
 Start/Operating Amps
 120V: 1.3/1.8
 208V: .8/1.1
 240V: .7/1.9
 277V: .6/1.8



PS4-11-10D2

JOB NAME: _____

DATE: _____

TYPE: _____

DESCRIPTION

Square steel poles drilled for 2 RAB Area Lights. Designed for ground mounting. The type of foundation required for each pole is determined by your local soil conditions.

SPECIFICATIONS

Base Plates:

Slotted base plates 36,000 p.s.i.

Hand Holes:

Reinforced with grounding lug and removable cover.

Shaft:

46,000 p.s.i. minimum yield

Shipping Protection:

All poles are shipped in individual corrugated cartons to prevent finish damage.

Surface Preparation:

All poles are blasted to a SP6 or better surface finish to remove all dirt, mill scale, oxides and other foreign matter. Blasting is performed with abrasives conforming to SAE Shot Number S230. Surfaces are coated with a TGIC polyester or urethane powder to a minimum dry film thickness per powder manufacturer's recommendations. The coating is electrostatically applied and cured in a gas-fired convection oven by heating the steel substrate to the powder manufacturer's specifications.

Terms of Sale:

No provisions have been made for banners, pendants, signs, flags, overhead wiring or other items that might be fastened to the pole. Local soil conditions determine the type of foundation required for each pole. The capacities shown are based on a 24" off center load. If we know your application, we can provide you with the most economical pole. Pole order form is available

Anchor Bolt:

3/4" x 17" x 3" Galvanized anchor bolts and galvanized hardware and anchor bolt template. Bolts can be pre-shipped upon request for additional freight charge. All bolts have a 3" hook. Templates shipped with anchor bolts and available

Base Dimension:

8"

Bolt Circle:

8-9"

Gauge:

11

Hand Hole Dimensions:

3" x 5"

Height:

10 FT

MaxEPA's/Max Weights:

70MPH: 27.6 ft²/690 lb
80MPH: 21.1 ft²/530 lb
90MPH: 16.4 ft²/410 lb
100MPH: 13.1 ft²/330 lb
110MPH: 10.5 ft²/265 lb
120MPH: 8.6 ft²/215 lb
130MPH: 7.0 ft²/175 lb
140MPH: 5.8 ft²/145 lb
150MPH: 4.8 ft²/120 lb

Shaft Size:

4"

Wall Thickness:

1/8"

Color:

Bronze

Weight:

0

Note: Specifications may change without notice

PS4-11-10D2

Spec Sheet



- ‡ Designed for ground mounting
- ‡ Heavy duty TGIC polyester coating
- ‡ Galvanized anchor bolts and template included
- ‡ Reinforced hand holes with grounding lug and removable cover for easy wiring access
- ‡ Hand hole cover and base cover included
- ‡ Custom manufactured for each application
- ‡ Type of foundation required for each pole is determined by your local soil conditions

SPECIFICATIONS



Shaft:
46,000 p.s.i. minimum yield

Base Plates:
Slotted base plates 36,000 p.s.i.

Surface Preparation:
All poles are blasted to a SP6 or better surface finish to remove all dirt, mill scale, oxides and other foreign matter. Blasting is performed with abrasives conforming to SAE Shot Number S230. Surfaces are coated with a TGIC polyester or urethane powder to a minimum dry film thickness per powder manufacturer's recommendations. The coating is electrostatically applied and cured in a gas-fired convection oven by heating the steel substrate to the powder manufacturer's specifications.

Height:
10 FT

Wall Thickness:
1/8"

Hand Hole Dimensions:
3" x 5"

Base Dimension:
8"

Hand Holes:
Reinforced with grounding lug and removable cover.

Shipping Protection:
All poles are shipped in individual corrugated cartons to prevent finish damage.

Terms of Sale:
No provisions have been made for banners, pendants, signs, flags, overhead wiring or other items that might be fastened to the pole. Local soil conditions determine the type of foundation required for each pole. The capacities shown are based on a 24" off center load. If we know your application, we can provide you with the most economical pole. Pole order form is available online

Gauge:
11

Shaft Size:
4"

Bolt Circle:
8-9"

Anchor Bolt:
3/4" x 17" x 3" Galvanized anchor bolts and galvanized hardware and anchor bolt template. Bolts can be pre-shipped upon request for additional freight charge. All bolts have a 3" hook. Templates shipped with anchor bolts and available online

MaxEPA's/Max Weights:

70MPH: 27.6 ft²/690 lb

80MPH: 21.1 ft²/530 lb

90MPH: 16.4 ft²/410 lb



DOWNSTREAM DEFENDER® TECHNICAL SUBMITTAL

PROJECT NAME: **Bubba's Sulky Lounge**
LOCATION: **Portland, ME**
HYDRO REF: **2006-388**

CONSULTANT: **Theodore Larkin**
Herbert P. Gray
111 Simmons Road
South Portland, ME 04106

P: (207) 615-9429
F:

CONTRACTOR: **Whorff & Sons Excavation**
P.O. Box 209
Bath, ME 04530

P: (207) 443-9724
F: (207) 443-4372

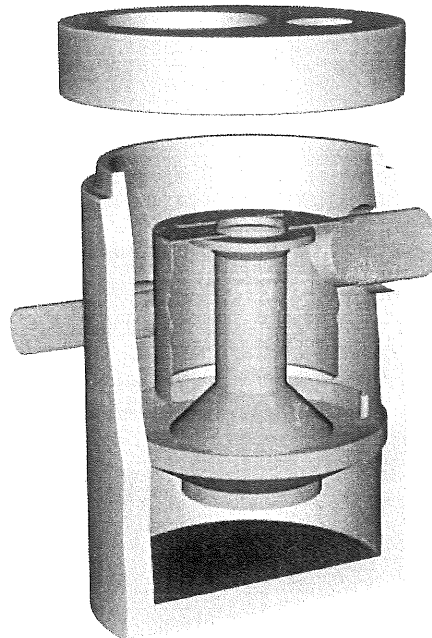


TABLE OF CONTENTS:

SUBMITTAL LETTER

SHOP DRAWINGS

PRODUCT LITERATURE

DOWNSTREAM DEFENDER PIPE CONNECTIONS

MATERIALS AND DESIGN

FRAME AND COVER CUTSHEETS

STATE OF MAINE TSS RATING



4/16/2008

Mr. Thomas Quinn
Bill Whorff & Sons Excavating
P.O. Box 209
Bath, ME 04530

Dear Mr. Quinn:

**RE: Bubba's Sulky Lounge - Portland, ME - Downstream Defender[®]
Submittal (shop drawings)**

We have enclosed shop drawings of the Downstream Defender proposed as an alternate for the Bubba's Sulky Lounge project. The unit has been sized to provide a TSS removal efficiency that equals or exceeds the specified device as determined by the Maine DEP test protocol. The submittal package also includes ancillary documents such as installation instructions and O&M manuals.

Site Information

Please refer to the shop drawings.

Please note that Downstream Defenders are designed with a submerged inlet. The Defender overflow pipe stub is typically placed on the hydraulic profile and the invert of the inlet is placed one inlet pipe diameter below the invert of the overflow pipe stub. In addition, the inlet enters the Defender so that the I.D. of the inlet pipe is tangent to the I.D. of the Defender manhole.

To aid installation of the Downstream Defender inlet pipe by avoiding an excessively steep slope, we have proposed raising the unit about 0.47'. We have proposed an outlet invert of 34.1'. The inlet would lay one inlet pipe diameter below the outlet at el. 33.1'. Ideally, the outlet of the Downstream Defender should lie below the invert of the junction immediately upstream of the treatment unit (junction of down spout and 12" main.)

Installation

Please refer to the enclosed installation instructions.

There are a few important items that we would like to bring to your attention:

- Please call Hydro International to confirm the heaviest pick weight after the unit has been placed into production. We recommend that the contractor arrange to have the appropriate gear on hand (spreader bar, ring clutches, crane, chains, etc.) to offload and place the Defender manhole sections.

Hydro International • 94 Hutchins Drive • Portland, Maine 04102
Tel: (207) 756-6200 • Fax: (207) 756-6212 • E-mail: hiltech@hil-tech.com

- ***The contractor will need to provide a coupling to connect the Defender overflow pipe stub to the storm drain system. The overflow pipe stub has the following dimensions:***

6-ft Defender - O.D. = 18 11/16 in. I.D. = 18 3/16 in. Length = 6 in.

In addition to the standard coupling, the contractor may have to supply additional fittings or couplings to make the reduction at the outlet.

- ***We recommend that the contractor measure the distance from the bottom of the structure to the outlet invert to set the unit. Do not use the invert of the pipe openings to set the structure as the treatment structure will likely be set too high. Once the unit has been placed into production, Hydro International can provide a bottom of structure elevation which may be used to properly prepare the manhole excavation.***
- The inlet pipe will need to enter the Defender manhole so that the I.D. of the inlet pipe is tangent to the inside wall of the manhole. In addition, the end of the inlet pipe will need to be cut off at a 30° angle inside the Defender manhole.
- Both the inlet and overflow pipes will need to be grouted in with non-shrink grout to ensure watertight connections.

To close, we hope that this submittal package is acceptable. If you have any questions please do not hesitate to call us. We would be happy to assist you.

Regards,



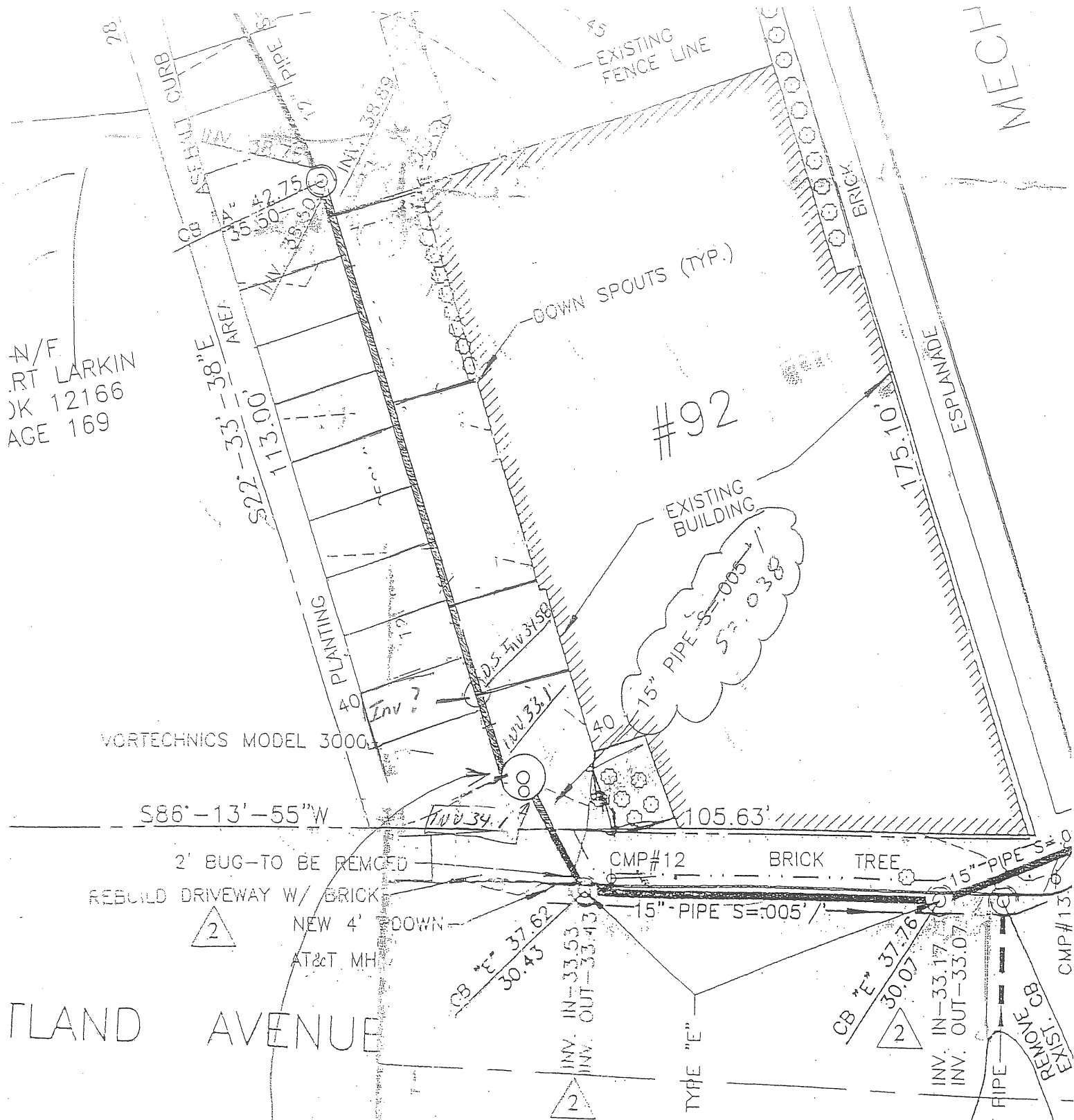
Mark Johnston
Project E.I.T.

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cc: file
file: 2006-388, Bubba's Sulky Lounge

Shop Drawings

N/F
RT LARKIN
JK 12166
AGE 169



Prop 6" ϕ Downstream Defender
Rim = 39.2
Inv In = 33.1 (12")
Inv Out = 34.1 (15")

D. J. SAUER
Tex, INC.

Tex

1" = 20'



Notes

REVISION HISTORY	
REV BY	DATE DESCRIPTION
MJ	4/16/08 FIRST ISSUE
Date	Scale
4/16/2008	3/16" = 1'-0"
Drawn MJ	Checked
	Approved

Title

6-FT DIAMETER
DOWNSTREAM DEFENDER

Bubba's Sulky Lounge
Portland, ME

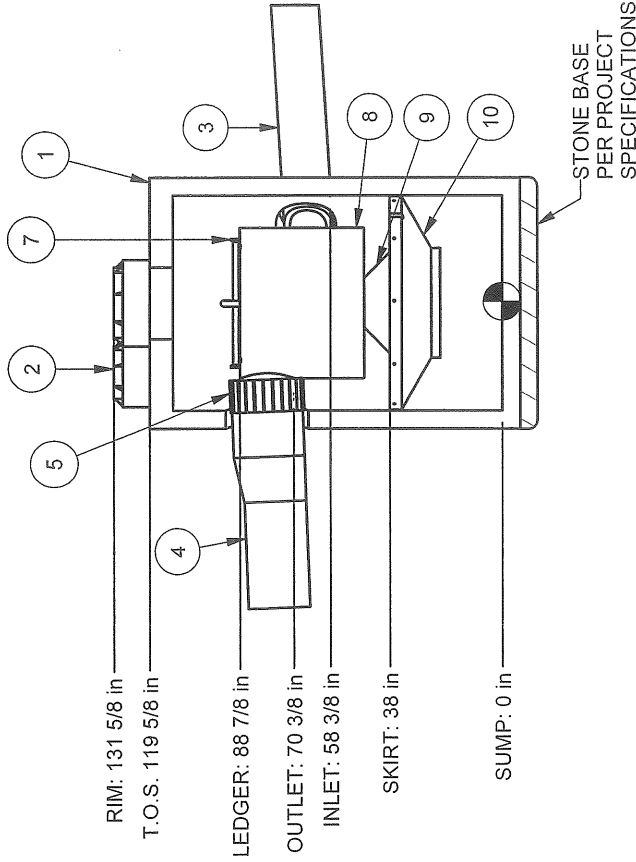


94 Hutchins Drive
Portland, Maine 04102
Tel: (207) 756-6200
Fax: (207) 756-6212
Email: hiltech@hil-tech.com

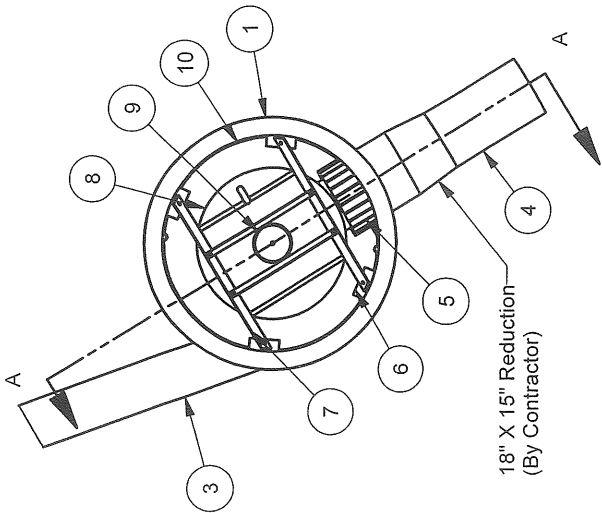
CAD Ref: D6S1

Project No. 2006-388

Drawing No. D6S1 Rev.



SECTION A-A



EQUIPMENT PERFORMANCE

The stormwater treatment unit shall adhere to the hydraulic parameters given in the chart below and provide the removal efficiencies and storage capacities as follows:

1. Performance objectives: The unit shall be capable of treating the peak flow rate listed below.
2. Peak Treatment Flow: 8.0 cfs
3. Sediment Storage Capacity: 2.10 cu. yd.
4. Continuous Oil Storage Capacity: 230 gal.
5. Sediment shall be stored in a zone that is isolated from the main flow path and protected from reentrainment by a benching skirt.

Parts List		
ITEM	DESCRIPTION	SIZE
1	PRECAST MANHOLE (BY HYDRO VIA PRECASTER)	72 in
2	FRAMES AND COVERS	
3	INLET PIPE (BY OTHERS)	12 in
4	OUTLET PIPE (BY OTHERS)	15 in
5	PIPE COUPLING (BY OTHERS)	
6	LEDGER ANGLE	
7	SUPPORT FRAME	
8	DIP PLATE	
9	CENTER SHAFT AND CONE	
10	BENCHING SKIRT	

HYDRAULIC PARAMETERS
Design Storm Flow: 4.5 cfs
Outlet Pipe Slope: 0.01 ft/ft
Headloss at 4.5 cfs: 12 in

(Headloss is defined as the difference between the static water level at the inlet of the Downstream Defender to the free water surface in the outlet pipe, assuming free discharge)

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Notes

REVISION HISTORY		
REV	BY	DATE DESCRIPTION
	MJ	4/16/08 FIRST ISSUE
Date		Scale
4/16/2008		1/4" = 1'-0"
Drawn	Checked	Approved
MJ		

Title

6-FT DIAMETER
DOWNSTREAM DEFENDER

Bubba's Sulky Lounge
Portland, ME

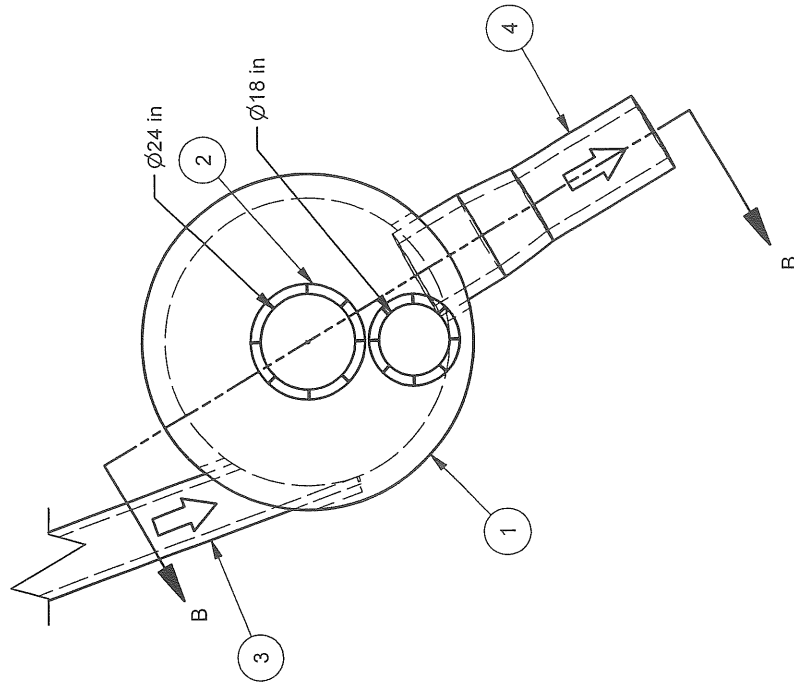


94 Hutchins Drive
Portland, Maine 04102
Tel: (207) 756-6200
Fax: (207) 756-6212
Email: hiltech@hil-tech.com

CAD Ref: D6S2

Project No. 2006-388

Drawing No. D6S2 Rev.



Parts List

ITEM	DESCRIPTION	SIZE
1	PRECAST MANHOLE (BY HYDRO VIA PRECASTER)	72 in
2	FRAMES AND COVERS	
3	INLET PIPE (BY OTHERS)	12 in
4	OUTLET PIPE (BY OTHERS)	15 in

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Notes

REVISION HISTORY	
REV	DATE DESCRIPTION
MJ	4/16/08 FIRST ISSUE

Date
4/16/2008
Scale
1/4"=1'0"

Drawn MJ	Checked	Approved
-------------	---------	----------

Title

6-FT DIAMETER
DOWNSTREAM DEFENDER

Bubba's Sulky Lounge
Portland, ME

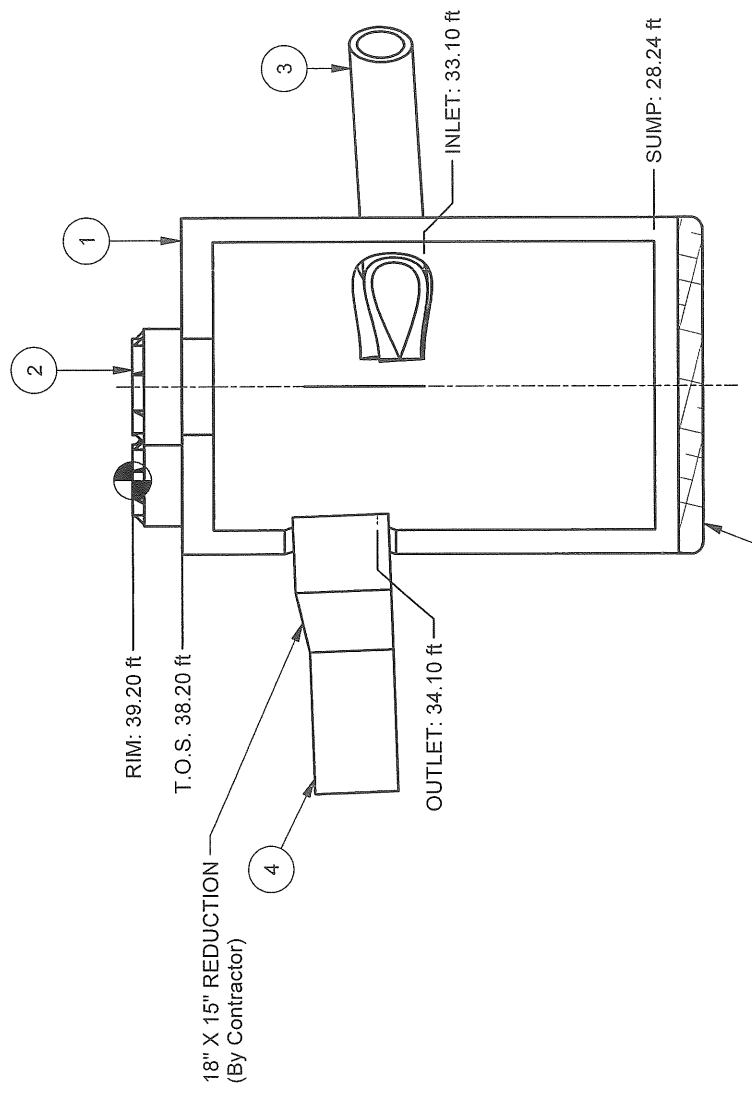


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Portland, Maine 04102
Tel: (207) 756-6200
Fax: (207) 756-6212
Email: hiltech@hil-tech.com

CAD Ref: D6S3

Project No. 2006-388

Drawing No. D6S3 Rev.



DOWNSTREAM DEFENDER
(INTERNAL COMPONENTS
NOT SHOWN FOR CLARITY)

STONE BASE
PER PROJECT
SPECIFICATIONS

SECTION B-B

DEFENDER PIPE CONNECTIONS

1. Pipe openings will be sized for RCP unless noted otherwise on the returned submittal.
2. Large diameter coupling required to connect outlet pipe to overflow stub.

OVERFLOW PIPE STUB DIMENSIONS:

O.D. = 18.70 in
I.D. = 18.00 in
STUB LENGTH = 6.00 in

3. Inlet pipe enters unit tangent to inside of Defender manhole. Cut Pipe off at 30 degree angle. (See installation instructions.)
4. Grout inlet and outlet pipes with non-shrink grout to ensure a watertight connection.
5. Backfill structures and pipes per project specifications.

Parts List		
ITEM	DESCRIPTION	SIZE
1	PRECAST MANHOLE (BY HYDRO VIA PRECASTER)	72 in
2	FRAMES AND COVERS	
3	INLET PIPE (BY OTHERS)	12 in
4	OUTLET PIPE (BY OTHERS)	15 in

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Product Literature

Downstream Defender[®]

Advanced
Vortex Separator

Proven to be more efficient for removing pollutants and preventing washout

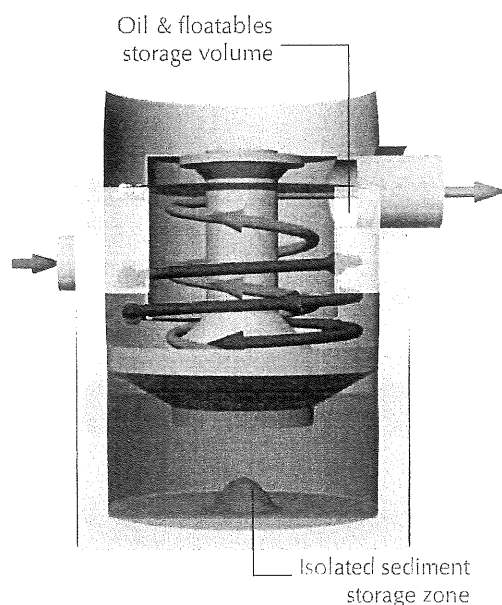
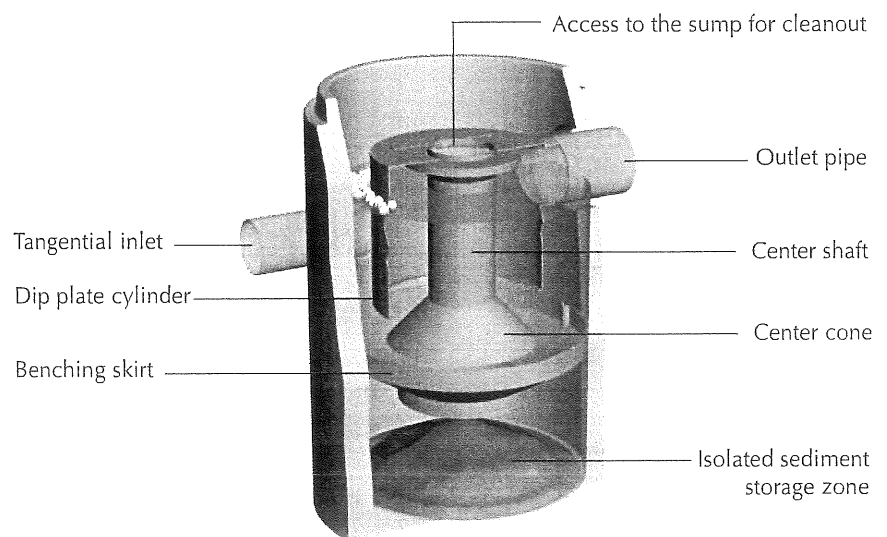
APPLICATIONS

- Control of sediment, floatable trash and petroleum products
- New developments
- Redevelopment projects
- Streets, roadways and parking lots
- Pretreatment for filters, infiltration or storage

ADVANTAGES

- Most efficient separator available
- Smaller footprint
- Lower capital cost than other devices
- Proven to prevent washout
- Verified through nationally recognized programs
- Low system headloss

The Downstream Defender is the most advanced vortex separator available for the removal of sediment, oil and floatables from stormwater runoff. The Downstream Defender is proven to be more efficient than other structural treatment devices in as little as 1/2 the footprint and is the only separator with internal components proven to prevent pollutant washout.



HOW IT WORKS

The Downstream Defender has internal components designed to advance vortex separation by minimizing turbulence and headloss, increasing efficiency and preventing washout of stored pollutants.

Stormwater is introduced tangentially into the side of the vessel, generating a rotating flow that spirals around the outside of the dip plate (red arrow).

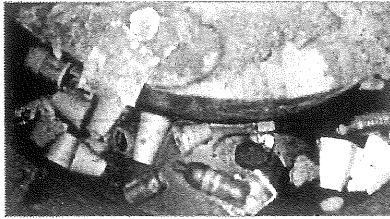
Oils, trash and floatable debris rise to the water surface and are trapped in the oil and floatables storage volume (yellow zone).

As flow continues to spiral down around the dip plate cylinder, low energy vortex motion directs sediment inward along the benching skirt and into the protected sediment storage zone (brown zone).

The benching skirt and center cone redirect the rotating flow up and inward between the center shaft and dip plate cylinder away from the stored sediment. The outlet pipe discharges treated effluent from within the dip plate cylinder ensuring the longest possible residence time (blue arrow).

Advanced vortex separation is provided by extending and stabilizing the flow path while protecting trapped pollutants for a wide range of flow rates.

Maintenance

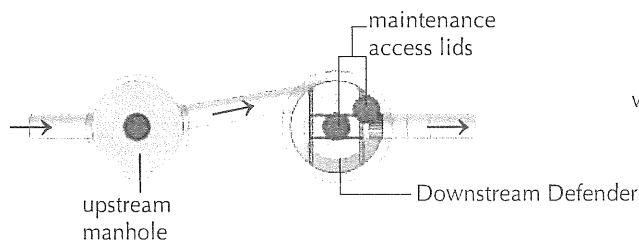


The Downstream Defender is easy to maintain using a sump-vac to remove captured sediment and floatables. Cleanout ports are located in the top of the manhole and provide access to pollutant storage areas. Maintenance is generally conducted every 12 to 18 months, although individual maintenance schedules are site specific. Hydro International works with owners and municipalities through networks of certified maintenance contractors to ensure proper maintenance practices.

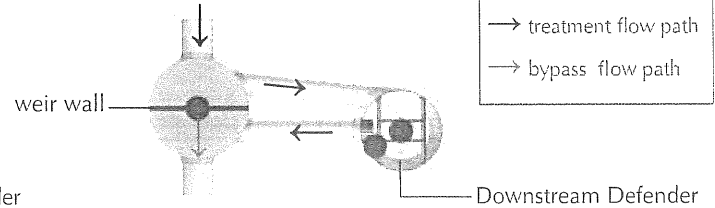
Sizing and Design

The Downstream Defender is sized and designed to accommodate site parameters. The device is commonly installed in an on-line configuration (figure A). In an off-line configuration an upstream diversion structure with an integral weir diverts treatment flows to the Downstream Defender. Excess storm flows spill over the weir directly to the outlet (figure B).

A. Example of On-line Configuration

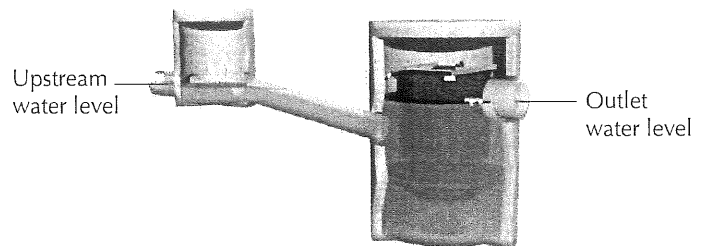


B. Example of Off-line Configuration



Low Headloss

The Downstream Defender has clear openings and no internal restrictions in order to minimize hydraulic losses, blockages and the risk of upstream flooding.



Downstream Defender Design Chart

Model Number and Diameter (ft)	Peak Treatment Flow (cfs)	Maximum Pipe Diameter (in)	Headloss at Peak Treatment Flow (in)	Oil Storage Capacity (gallons)	Sediment Storage Capacity (cubic yards)	Minimum Distance from Outlet Invert to Top of Rim (ft)	Standard Distance Outlet Invert to Sump Floor (ft)
4	3.0	12	6	70	0.70	3.2	4.0
6	8.0	18	8	230	2.10	3.6	5.9
8	15.0	24	9	525	4.65	4.1	7.7
10	25.0	30	10	1,050	8.70	4.9	9.4

For more information please call our office toll free at 800-848-2706 or inquire at www.hydro-international.biz.



Certificate No. 961366



This information is subject to change without notice.

Downstream Defender Pipe Connections



Downstream Defender Pipe Connections

Defender Outlet

The Defender outlet pipe passes through the manhole wall and is connected internally with a coupling to the overflow pipe stub. The overflow pipe stub is part of a rotomolded plastic component that has an outside diameter that corresponds to SDR 35 plastic pipe and cannot be modified. We recommend supporting the pipe and making the internal connection first, and then grouting the manhole opening with non-shrink grout after. Alternately, a manhole penetration boot may be used to obtain a watertight connection through the manhole wall.

Depending on the difference in pipe o.d., the internal connection to the pipe stub can be accomplished with a standard pipe coupling, a large diameter coupling and bushing arrangement similar to the Fernco L.D.C.X. product line, a bituminous pipe wrap similar to Mar Mac Polyseal, or pvc fittings. (The pipe wrap is typically the most cost effective means of making the connection.)

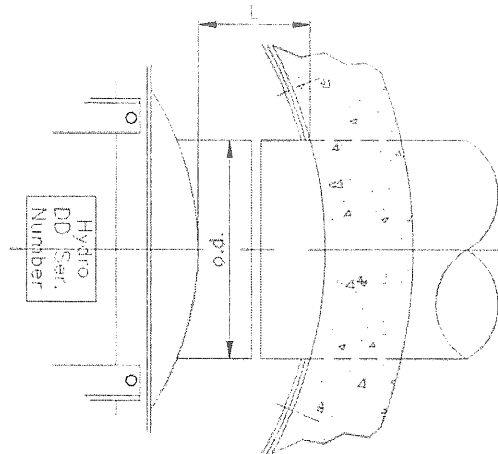
Where the outside diameters differ by more than 6" a pipe wrap may be the only option. In some instances where there is a very large difference in pipe o.d., a short length of pipe with an o.d. close to the stub should be connected with a standard "Fernco type" coupling and the connection to the larger o.d. pipe should be made outside of the Defender manhole. An external pipe wrap connection for pipes with very large differences in o.d. should utilize a grout diaper around the joint to ensure a watertight connection. In some cases there may be a lead-time of several days to fabricate and ship the required coupling. Please refer to the attached Downstream Defender Coupling Information sheet.

Defender Inlet

To initiate the vortex flow pattern, the inlet pipe enters the Defender manhole tangent to the inside diameter rather than passing through the manhole center line. The end of the pipe gets cut off at a 30° angle inside the manhole. An internal connection is not necessary on the inlet. To ensure a watertight connection, we recommend grouting the inlet with non-shrink grout. The shape and size of the inlet penetration in the manhole wall make it unlikely that a penetration boot can be used on the inlet.



Downstream Defender® Overflow Pipe Coupling Information



DIMENSIONS

DEFENDER Diameter (ft.)	L (in.)	Plastic o/flow pipe stub o.d. (in.)
4	6-3/8	12-1/2
6	9-9/16	18-11/16
8	12-3/4	24-13/16
10	15-1/4	36

VENDORS

Product	Manufacturer	Contact	Phone
Fernco	Fernco - East		800.521.1283
Fernco	Fernco - West		800.232.3092
Esky Wrap	Cadilloc, Inc.		906.786.0460
Indiana Seal	Indiana Seal		800.428.5309
PipeConX**	Uniseal		800.443.9081
Polyseal (need to supply pipe materials)	Mar Mac	Rich Howle, Bob Weir	877.962.7622

To ensure procurement of correct coupling, it is recommended that the coupling manufacturer be contacted directly well in advance with the o/flow pipe stub o.d. as listed above and the material and o.d. of the outlet pipe being utilized. Additional or different equipment may be required to connect to outlet pipe of different diameter or to CPP (Corrugated Plastic Pipe).

*Large Diameter Coupling Extra (LDCX) sizing, availability, costs and delivery to be determined by contractor.

**PipeConX - no couplings larger than 25", no custom sizes.

6/18/02 Rev. E

Materials and Design



Downstream Defender® Materials and Design

- A. Structures for precast stormwater treatment systems shall conform to ASTM C478, C857 and C858 and meet the following additional requirements:
1. In all cases the wall thickness shall be no less than the minimum thickness necessary to sustain HS20-44 loading requirements determined by a licensed professional engineer.
 2. Sections shall have tongue and groove or ship-lap joints with butyl mastic sealant conforming to ASTM C 990.
 3. Cement shall be Type II or Type III Portland cement conforming to ASTM C150.
 4. Aggregates shall conform to ASTM C33
 5. All sections shall be cured by an approved method. Sections shall not be shipped until the concrete has attained a compressive strength of 4,000 psi and shall have a 28 day compressive strength of 5000 psi.
 6. Pipe openings shall be sized to accept pipes of the specified size(s) and material(s), and shall be sealed by the Contractor with hydraulic cement conforming to ASTM C595M.
- B. Internal stainless steel components shall be grade 304 stainless steel in accordance with ASTM A314.
- C. 4', 6', and 8', dia. internal plastic components shall be rotationally molded from cross-linked high-density polyethylene. 10' dia. and larger units shall be fabricated from co-polymer polypropylene. All plastics shall have material properties similar to PAXON® HDPE 7004 rotational molding resin or Protec® copolymer polypropylene.
- D. Casting for manhole frames and covers shall be in accordance with ASTM A48, CL. 35B and AASHTO M105. Castings shall be placed on top of the structure per the requirements of the project engineer.

25 Years of
Vortex
Technology

Frame and Cover Cutsheets

**EAST JORDAN
IRON WORKS, INC.**
P.O. BOX 439
EAST JORDAN, MI. 49727
1-800-874-4100
FAX 231-536-4458

DRAWN	DATE
DEW	08/20/02
APPROVED	DATE

**V1600-3
REVERSIBLE RING**

PRODUCT NO.
41600310
UNDIPPED

CATALOG NO.
V1600-3

REF. PRODUCT DRAWING
41600310

EST. WT.

RING: 120 LBS 54kg

OPEN AREA
N/A

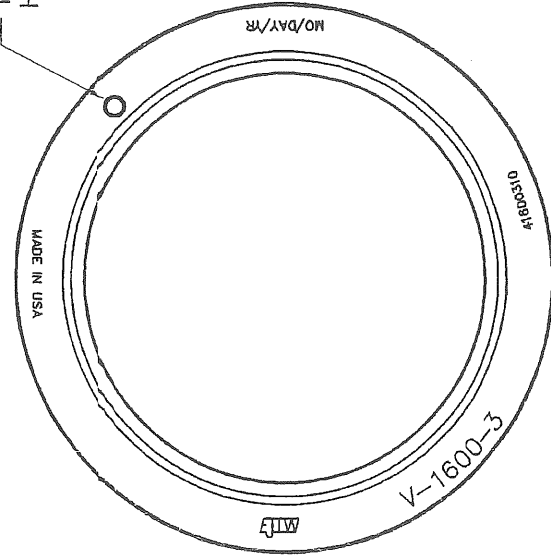
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RING - GRAY IRON
ASTM A48 CL35B

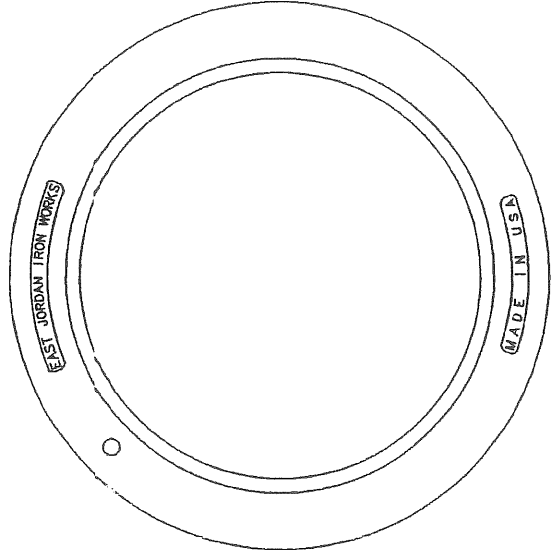
LOAD RATING

HEAVY DUTY

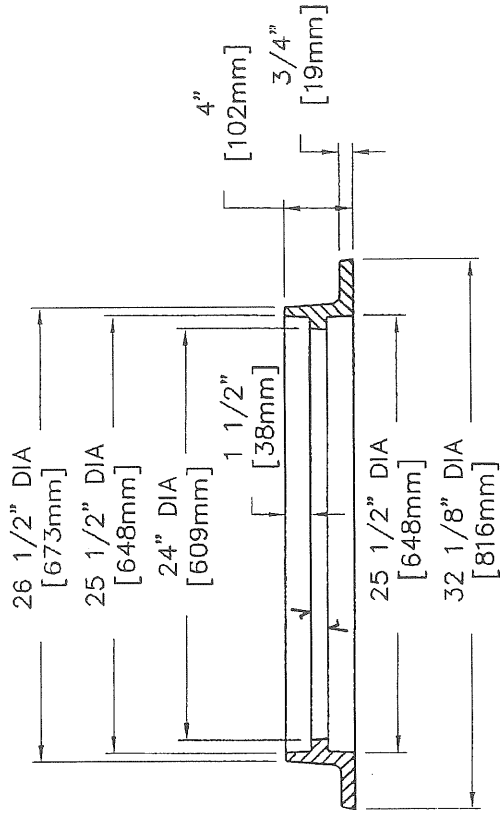
1" [25mm] DIA
HANDLING HOLE



RING BOTTOM FLANGE VIEW



RING TOP FLANGE VIEW



↓ MACHINED SURFACE

NOTE: FRAME IS REVERSIBLE.
WHEN ORDERING, SPECIFY TOP FLANGE
OR BOTTOM FLANGE

RING SECTION

EJIW EAST JORDAN
IRON WORKS EST. 1883

800-626-4653
www.ejiw.com
MADE IN USA

PRODUCT NUMBER
41600373

CATALOG NUMBER
V-1600-3

COVER

LOAD RATING
**HEAVY DUTY
(HS-25)**

COATING
DIPPED

ESTIMATED WEIGHT

COVER: 135 LBS 61kg

MATERIAL SPECIFICATION
COVER - GRAY IRON
ASTM A48 CL35B

OPEN AREA
N/A

DESIGNATES MACHINE SURFACE

DRAWN SMH	DATE
	12/23/06

LAST REVISED SMH	DATE
	01/10/07

REFERENCE INFORMATION
41600342

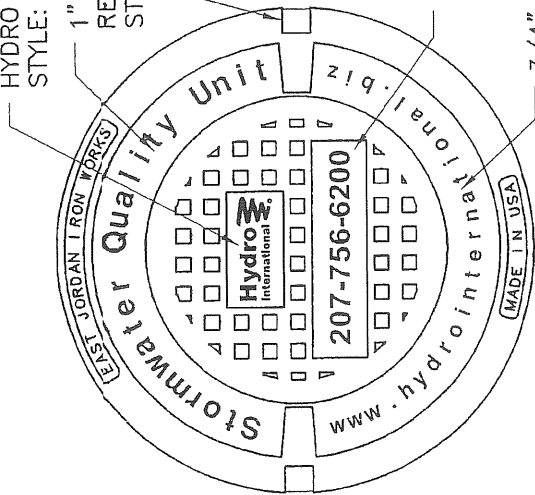
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STYLE: Arial Black

1" LETTERING
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STYLE: SansSerif BOLD

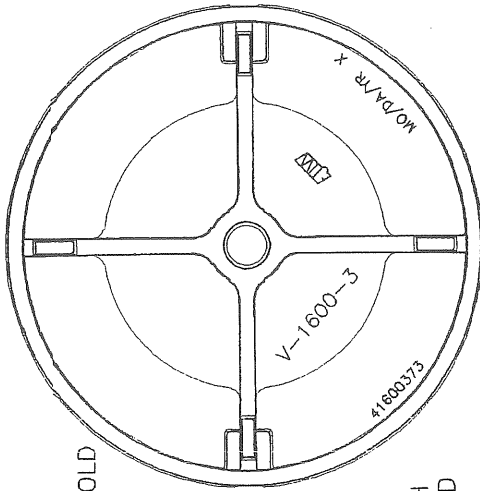
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1 1/2" [38mm]

1" LETTERING
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STYLE: Arial BOLD

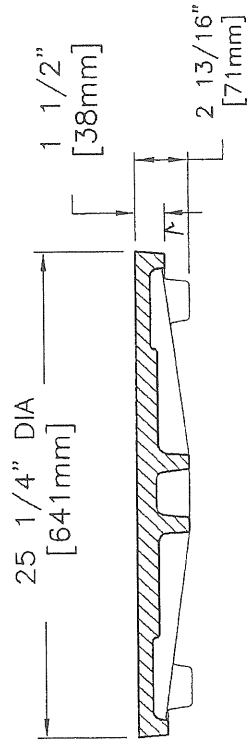
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STYLE: SansSerif BOLD



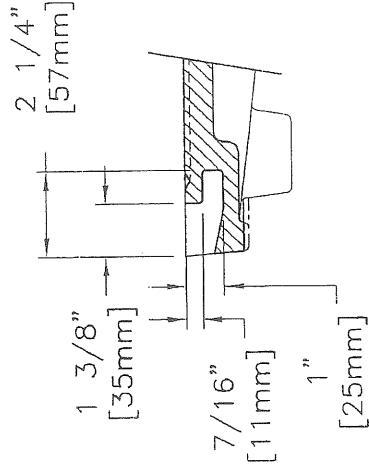
COVER FACE



COVER BACK



COVER SECTION



PICKHOLE DETAIL

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IRON WORKS, INC.
P.O. BOX 439
EAST JORDAN, MI. 49727
1-800-874-4100
FAX 231-536-4458

DRAWN	DATE
SBB/DAL	10/20/03
APPROVED	DATE

V-1600-1
REVERSIBLE RING

PRODUCT NO.
41600110
UNDIPPED

CATALOG NO.

V-1600-1

REF. PRODUCT DRAWING
41600110

EST. WT.

RING: 64 LBS 29kg

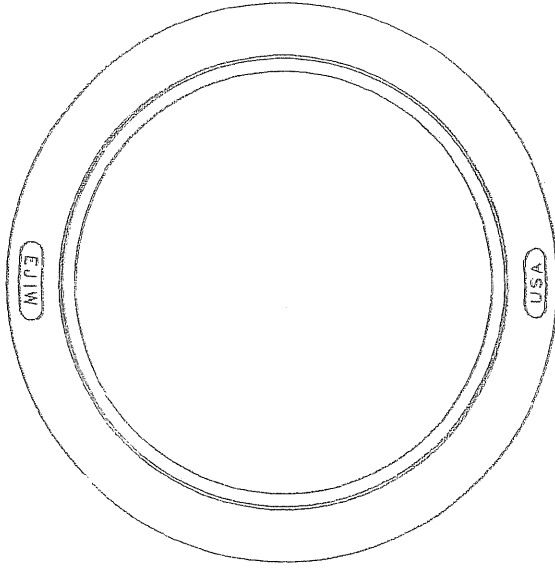
OPEN AREA
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MAT'L SPEC.

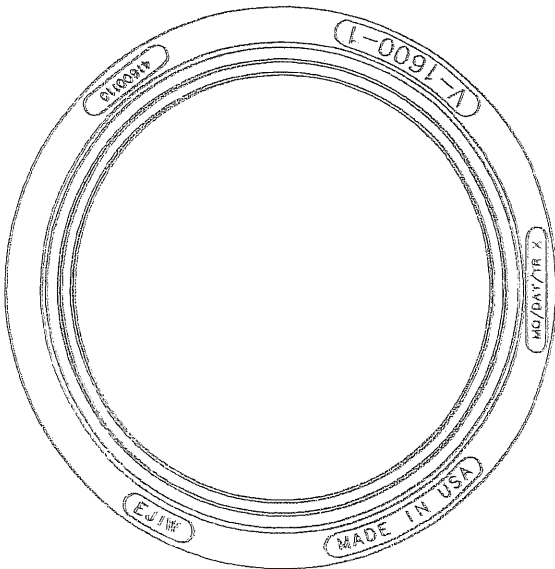
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ASTM A48 CL35

LOAD RATING

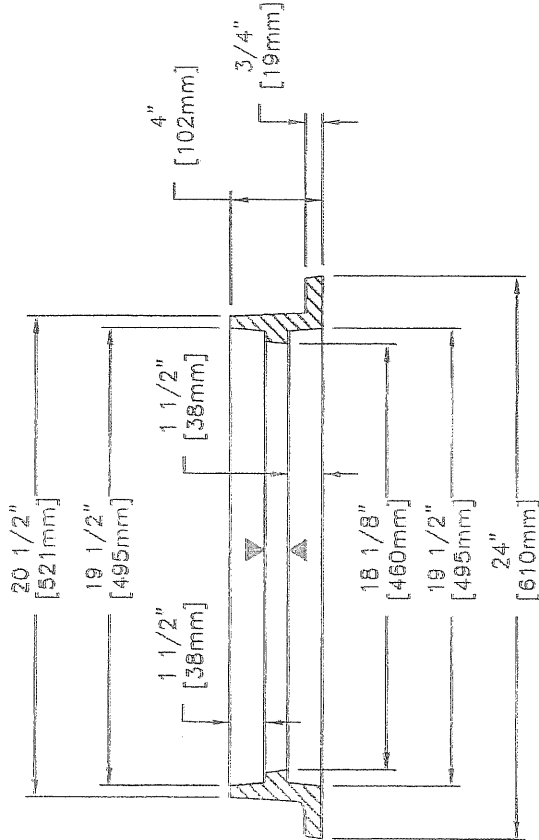
HEAVY DUTY



RING TOP FLANGE VIEW



RING BOTTOM FLANGE VIEW



RING SECTION

▽ MACHINED SURFACE

NOTE: FRAME IS REVERSIBLE.
WHEN ORDERING, SPECIFY TOP FLANGE
OR BOTTOM FLANGE

EJIW EAST JORDAN
IRON WORKS EST. 1883
800-626-4653
www.ejiw.com
MADE IN USA

PRODUCT NUMBER
41600143

CATALOG NUMBER
V-1600-1

COVER

LOAD RATING
HEAVY DUTY

COATING
DIPPED

ESTIMATED WEIGHT
COVER: 75 LBS 34kg

MATERIAL SPECIFICATION
COVER - GRAY IRON
ASTM A48 CL35B

OPEN AREA
N/A

DESIGNATES MACHINE SURFACE

DRAWN SMH	DATE
	12/23/06

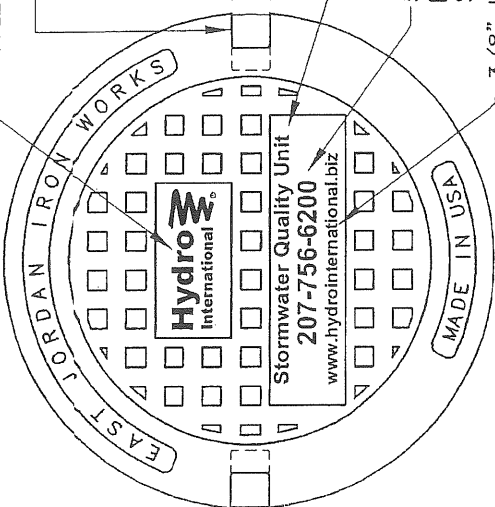
LAST REVISED SMH	DATE
	01/10/07

REFERENCE INFORMATION
41600142

HYDRO INTERNATIONAL LETTERING
STYLE: Arial Black

(2) CLOSED PICKHOLFS

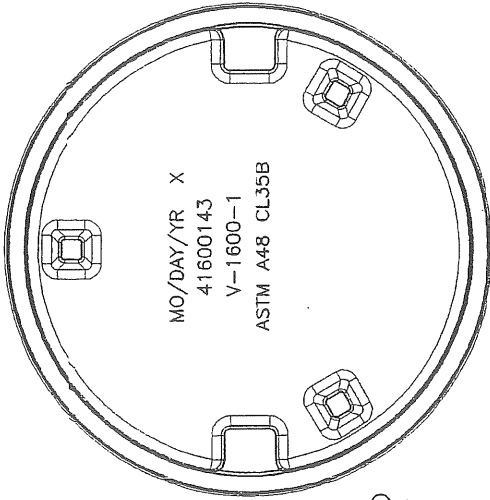
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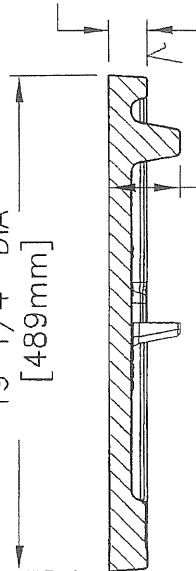
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STYLE: SansSerif BOLD

5/8" LETTERING RECESSED FLUSH
STYLE: SansSerif BOLD

3/8" LETTERING RECESSED FLUSH
STYLE: SansSerif BOLD



19 1/4" DIA [489mm]

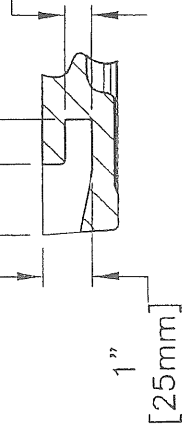


COVER SECTION

1 3/8" [35mm]

2 1/4" [57mm]

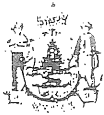
9/16" [14mm]



PICKHOLE DETAIL

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State of Maine TSS Rating

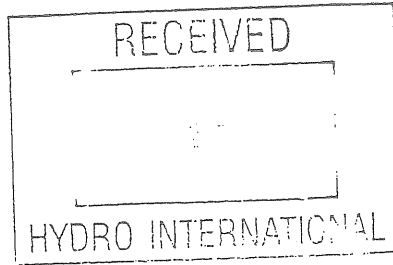


STATE OF MAINE
DEPARTMENT OF ENVIRONMENTAL PROTECTION

*ME DEP Test Protocol
Sizing for 1yr storm*

ANGUS S. KING, JR.
GOVERNOR
August 5, 2002

MARTHA KIRKPATRICK
COMMISSIONER



Pam Deahl
Hydro International
94 Hutchins Drive
Portland, ME 04102

Dear Ms. Deahl,

The purpose of this letter is to inform you that, in accordance with the Laboratory Testing Protocol for Manufactured Treatment Systems and based on the results of the confirmation test for removal of OK-110 grade silica sand performed on July 12, 2002 and described in the attached report, the Downstream Defender stormwater treatment device with an aspect ratio of 0.5 is approved for a total suspended solids (TSS) removal rating of 60%, provided that the device is sized such that the projected one year peak flow from the device's drainage area does not exceed the flow indicated by the following formula:

$$Q_{1ypf} = 583 (D/4)^{2.5}$$

Where:

- Q_{1ypf} = the projected one year peak flow from the device's drainage area and
- D = the diameter in feet of the device's treatment chamber

This scaling factor is based on Froude's Law and on the fact that a 4 ft diameter Downstream Defender has been shown to provide at least 80% removal of OK-110 grade silica sand at a flow of 583 gpm (see attached report). Solutions of this formula for a variety of Downstream Defender diameters are given in the following table.

Diameter of treatment chamber (ft)	Maximum 1 year peak flow (gpm//cfs)
2	103//0.23
4	583//1.30
6	1607//3.58
8	3297//7.35
10	5761//12.85
12	9088//20.27

If you have any questions regarding this letter or the attached report, please feel free to call Jeff Dennis at 207-287-7847.

Sincerely,

Donald T. Witherill

AUGUSTA Division of Watershed Management
17 STATE HOUSE STATION BANGOR
AUGUSTA, MAINE 04333-0017 106 HOGAN ROAD
(207) 287-7688 BANGOR, MAINE 04401
RAY BLDG., HOSPITAL ST. (207) 941-4570 FAX: (207) 941-4584

PORTLAND
312 CANCO ROAD
PORTLAND, MAINE 04103
(207) 822-6300 FAX: (207) 822-6303

PRESQUE ISLE
1235 CENTRAL DRIVE, SKYWAY PARK
PRESQUE ISLE, MAINE 04769-2094
(207) 764-0477 FAX: (207) 764-1507

ME DEP Test Protocol
Sizing For 1 yr Storm



Important Announcement

The Vortechs System now approved by the ME DEP for 60% TSS removal.

In accordance with the Laboratory Testing Protocol for Manufactured Treatment Systems and based on the results of the confirmation testing performed on May 1, 2002, the Vortechs Stormwater Treatment System is approved for a total suspended solids (TSS) removal rating of 60%.

To qualify for the 60% TSS removal rating Vortechs Systems shall be sized so that the projected one-year flow to the system does not exceed a grit chamber loading rate of 36.8 g.p.m./s.f.

If a 50% TSS removal is required, systems should be designed to have grit chamber loading rates of not greater than 42 g.p.m./s.f in the one-year storm.

Please refer to the chart below for system sizing.

Vortechs Model	Diameter (ft)	Grit Chamber Area (ft ²)	50% Removal Rate	60% Removal Rate
			24 Hour - 1 Year Flow (cfs)	
1000	3	7.07	0.66	0.58
2000	4	12.57	1.18	1.03
3000	5	19.63	1.84	1.61
4000	6	28.27	2.65	2.31
5000	7	38.48	3.60	3.15
7000	8	50.27	4.70	4.11
9000	9	63.62	5.95	5.20
11000	10	78.54	7.35	6.42
16000	12	113.10	10.58	9.25



As always, if you have any questions don't hesitate to contact Vortech with any issues dealing with stormwater quality.

Vortech Contacts:

Jennifer Knowles
Technical Support Engineer

jknowles@vortech.com
207-885-8930 x 324

Kevin McKee, PE
Regional Sales Engineer

kmckee@vortech.com
207-885-8930 x 232

Committed To Clean Water

Vortech, Inc. 0 200 Enterprise Drive 0 Scarborough, Maine 04074
phone 207.885.9830 fax 207.885.9825 toll-free 877.907.8676 web vortech.com

ATTN: —

JAY Reynolds

PH ^{II} 207 874-8632

FX ^{II} 736-8258

Fred LARKIN

Re^o 92 Portland St.

Bubba's

615-9429

230

Planning and Development Department
SUBDIVISION/SITE DEVELOPMENT

COST ESTIMATE OF IMPROVEMENTS TO BE COVERED BY PERFORMANCE GUARANTEE

Date: SEPT 29, '06

Name of Project: ADDITIONS TO BUBBA'S SULSY LOUNGE

Address/Location: 92 PORTLAND ST., PORTLAND, ME.

Developer: ROBERT LARKIN

Form of Performance Guarantee: _____

Type of Development: Subdivision _____ Site Plan (Major/Minor) ✓

TO BE FILLED OUT BY THE APPLICANT:

Item	PUBLIC			PRIVATE		
	Quantity	Unit Cost	Subtotal	Quantity	Unit Cost	Subtotal
1. STREET/SIDEWALK						
Road/Parking Areas	<u>100'</u>					
Curbing	<u>100'</u>					
Sidewalks	<u>100'</u>					
Esplanades						
Monuments						
Street Lighting						
Street Opening Repairs	<u>100'</u>					
Other						
2. EARTH WORK						
Cut	<u>110'</u>			<u>170'</u>		
Fill	<u>110'</u>			<u>170'</u>		
3. SANITARY SEWER						
Manholes						
Piping						
Connections						
Main Line Piping						
House Sewer Service Piping						
Pump Stations						
Other						
4. WATER MAINS						
5. STORM DRAINAGE						
Manholes	<u>2</u>	<u>\$240.00</u>	<u>\$480.00</u>	<u>2</u>	<u>\$362.50</u>	<u>\$725.00</u>
Catchbasins	<u>2</u>	<u>\$680.00</u>	<u>\$1360.00</u>	<u>3</u>	<u>\$611.63</u>	<u>\$1834.89</u>
Piping	<u>104'</u>	<u>\$11.95</u>	<u>\$1242.80</u>	<u>182'</u>	<u>\$10.65</u>	<u>\$1938.30</u>
Detention Basin						
Stormwater Quality Units						
Other	<u>4</u>	<u>\$55.29</u>	<u>\$221.16</u>	<u>1</u>	<u>\$15,900</u>	
	<u>12" X 6' INVERT TRENCH</u>					
	<u>6" SDR35 DOWNSPOUTS</u>	<u>70'</u>	<u>2.94</u>			<u>\$207.48</u>

6. B LIGHTING

EROSION CONTROL

- Silt Fence
- Check Dams
- Pipe Inlet/Outlet Protection
- Level Lip Spreader
- Slope Stabilization
- Geotextile
- Hay Bale Barriers
- Catch Basin Inlet Protection

_____	_____	_____	_____	_____	_____
_____	_____	_____	_____	_____	_____
_____	_____	_____	_____	_____	_____
_____	_____	_____	_____	_____	_____
_____	_____	_____	_____	_____	_____
_____	_____	_____	_____	_____	_____
1	3.50	3.50	1	3.50	3.50
_____	_____	_____	_____	_____	_____

8. RECREATION AND OPEN SPACE AMENITIES

_____	_____	_____	_____	_____	_____
-------	-------	-------	-------	-------	-------

9. LANDSCAPING (Attach breakdown of plant materials, quantities, and unit costs)

_____	_____	_____	_____	_____	_____
-------	-------	-------	-------	-------	-------

10. MISCELLANEOUS

LABOR 1 \$7,000.00 Labor 1 \$12,070
 + material 1,460 material 3,200
 TOTAL: \$11,353.35 \$15,270
 GRAND TOTAL: \$20,719.05 TL

INSPECTION FEE (to be filled out by the City)

	<u>PUBLIC</u>	<u>PRIVATE</u>	<u>TOTAL</u>
A: 2.0% of totals:	\$11,353.35	33,936.50	\$45,189.05
or			
B: Alternative Assessment:	_____	_____	_____
Assessed by:	_____	_____	_____
	(name)	(name)	



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Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

February 15, 2004

Robert Larkin
Bubba's Sulky Lounge
92 Portland Street
Portland, ME 04101

RE: Bubba's Building Addition / 92 Portland Street
Application #2004-0221, CBL #036 I001001

Dear Mr. Larkin:

On February 14, 2004, the Portland Planning Authority approved the above referenced site plan application based findings that, with certain conditions of approval satisfied, all applicable City codes and standards of will be met. The approval is based on plans dated October 20, 2004 and supplemental information presented November 17 and 18, 2004.

The approval is for a 1,490 square foot building addition to the rear of an existing building (Bubba's Sulky Lounge) and related site improvements at 92 Portland Street.

Conditions of Approval:

- dive*
1. The applicant shall present a survey of the site prepared by a professional land surveyor. Proposed site plans shall be based on said survey.
 2. The project shall provide stormwater treatment for the entire site, to City standards, subject to final review and approval by the City's development review engineer and Department of Public Works.
 3. The site plan shall be revised so as to resolve major inconsistencies between the parking lot plan presented in the October 20, 2004 submissions and described as "existing conditions" and the actual parking lot layout as it exists today.
 4. The project shall demonstrate conformance with the City's exterior lighting standards

subject to final review and approval of the Planning Authority.

5. The applicant shall present a letter from the Department of Public Works demonstrating adequate sewer and stormwater capacity for the proposed project.

Please note the following provisions and requirements for all site plan approvals:

1. The applicant shall submit seven (7) sets of the final plans to the Planning Authority. ~~Where submission drawings are available in electronic form, the applicant shall submit any available electronic Autocad files (*.dwg), release 14 or greater.~~
2. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.
3. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
4. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
5. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
6. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Department at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions or concerns, please contact Ethan Boxer-Macomber at 756-8083 or ebm@portlandmaine.gov.

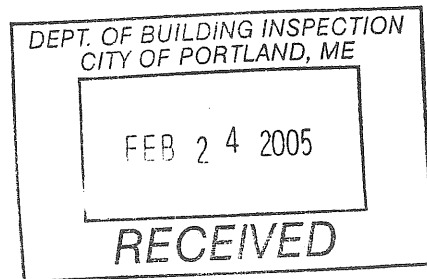
Sincerely,



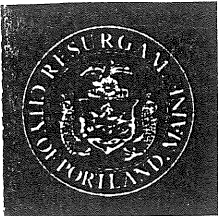
Alex Jaegerman, Planning Division Director

cc:

Sarah Hopkins, Development Review Services Manager
Ethan Boxer-Macomber, Planner
Jay Reynolds, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Inspections Division
Eric Labelle, City Engineer
Approval Letter File



file 08-13



PORTLAND MAINE

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Corporation Counsel
Gary C. Wood

Associate Counsel
Elizabeth L. Boynton
Penny Littell
James R. Adolf
Mary E. Costigan

February 1, 2008

Andrews Campbell, Esq.
45 Kalers Corner Road
Waldoboro, ME 04572-6000

Re: Bubba's Sulky Lounge/ 92 Portland Street

Dear Mr. Campbell:

This letter is intended to reflect how the City will address the non-compliance issues at the property located at 92 Portland Street, which property contains the business establishment known as Bubba's. In an attempt to bring the property into compliance the City will address the liquor license and the Special Entertainment License (SEL) for Bubba's, as well as its site plan status and the pending application for a change of use on the site.

History

This property received conditional site plan approval for a storage addition on the rear of the existing establishment from the City in February 2005. The conditions of approval which needed to be met before the addition was to be occupied include the following:

- BEGINS CONST. 1.** the installation of a stormwater treatment facility to handle the stormwater from the parking lot and the site; and
- 4-15-08**
- SEE SITE 2.** clarification of the existing condition of the parking lot and the proposed parking
- PLAN: PKG** scheme which was required to meet City standards for parking lot layout; and
- SEE CMP FAX 3.** a lighting plan, with photometrics, which met the City's lighting standards; and
- & SITE PLAN 4.** a sewer capacity letter from the City's Public Works Department.
- ENCL. LETTER FROM PUB. WORKS.**

ELECTRICIAN
874-8422 Gerd
DANE PETERSON
FRANK

In 2007 the City discovered that the addition on the rear of the building was not only being occupied without having received a Certificate of Occupancy (which would not have been issued in light of the fact that essential site plan issues had not been addressed), but it was being used as an extension of the restaurant/bar establishment

Hand delivered
4-16 @ 10:20 am

16 April, 2008

To: Ms Penny Littel, Esq., Assoc. Counsel
389 Congress St
Portland, Maine

Re: Bubba's Sulky Lounge
92 Portland Street
Portland, Maine

Dear Ms. Littel,

In response to your letter of Feb 1, 08, re several items needed as conditions of approval to generate an approval for our application for change of use on this site we offer the following:

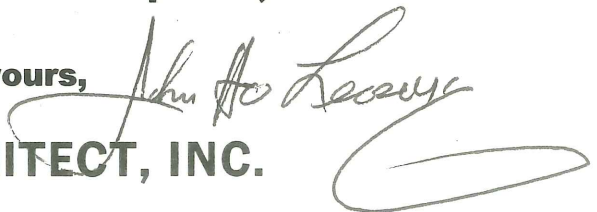
Item 1 Contracts have been signed and construction is under way re approved storm water treatment system for parking lot.

Item 2 Parking lot spaces have been redrawn and will be striped when Item 1 is completed. See attached Site Plan.

Item 3 CMP, Ms Breeanna Pierce (842 2304), has been contacted and they have sent a print out of their Lighting rating in lumens for this parking lot. See location on Site Plan. They have been in place for 40 years and we find them to be adequate.

Item 4 See Enclosed letter from Public Works re wastewater indicates adequate capacity to treat additional waste generated.

If you have further questions in this matter, please contact me at your earliest as Mr Larkin's Liquor License and SEL License are in jeopardy as of May 1, I believe? Also, how soon will Mr. Larkin be able to reopen the contested "Function Room" at rear of facility as it could really help to pay for the items requested, and completed, above.

Very truly yours, 

JOHN H. LEASURE ARCHITECT, INC.
SIX Q STREET
SOUTH PORTLAND, MAINE 04106
207-767-4600



From: Jonathan Rioux
To: Barhydt, Barbara; Bourke, Jeanie; Cass, Gregory; DiPierro, Philip; Littell, Penny; Munson, Tammy; MURPHY, Alexandra
Date: 4/8/2008 2:35:41 PM
Subject: Re: Bubba's Sulky Lounge

Penny:

Tammy and I inspected Bubba's Sulky Lounge. The FSE health portion is a pass; however Bubba has outstanding site-plan and fire prevention violations.

Under agreement (with Bubba), we signed-off on the bar and "hot dog service" process only. Bubba is not to use the kitchen portion until re-inspection.

Capt. Cass is scheduled to inspect this Thursday the 10th.

Do you want me to sign-off on Inspection Services portion... or hold off until fire/ planning approve? JGR

Jon Rioux,
Code Enforcement Officer

City of Portland
Inspection Services Division
389 Congress St. Rm 315
Portland, ME 04101
Office: 207.874.8702
jrioux@portlandmaine.gov

4/17/08

No site work started yet.



PORTLAND MAINE

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Public Works Department
Michael J. Bobinsky, Director

7 April 2008

Mr. John Leasure,
John H. Leasure Architect, Inc.
Six Q Street,
South Portland, Maine 04106

**RE: The Capacity to Handle the Anticipated Wastewater Flows,
from a Proposed Building Use Change, at 92 Portland Street.**

Dear Mr. John Leasure:

The existing twelve inch diameter vitrified clay sanitary sewer pipe, located in Portland Street, has adequate capacity to **transport**, while The Portland Water District sewage treatment facilities, located off Marginal Way, have adequate capacity to **treat** the anticipated additional wastewater flows of **1,320 G.P.D.**, from the proposed conversion of storage into a function room.

<u>Anticipated Wastewater Flows from the Proposed Project Conversion:</u>	
66 Function Room Seats @ 20 G.P.D./Seat	= 1,320 GPD
Total Proposed Increase in Wastewater Flows for this Project	= 1,320 GPD

The City combined sewer overflow (C.S.O.) abatement consent agreement, with the U.S.E.P.A. and with the Maine D.E.P., requires C.S.O. abatement, as well as storm water mitigation, from all projects, in order to offset any increase in sanitary flows.

If The City can be of further assistance, please call 874-8832.

Sincerely,
CITY OF PORTLAND

Frank Brancely
Frank J Brancely, B.A., and M.A.
Senior Engineering Technician

FJB

- cc:
- Alexander Q. Jaegerman, Director, Department of Planning, and Urban Development, City of Portland
 - Barbara Barhydt, Development Review Services Manager, Department of Planning, and Urban Development, City of Portland
 - David Margolis-Pineo, P.E., Deputy City Engineer, City of Portland
 - Bradley A. Roland, P.E., Environmental Projects Engineer, City of Portland
 - Michael Farmer, P.E., Project Engineer, City of Portland
 - Stephen K. Harris, Assistant Engineer, City of Portland
 - John Emerson, Wastewater Coordinator, City of Portland
 - Jane Ward, Administrative Assistant, City of Portland
 - Desk file



July 29, 2005

Herbert Gray
Consulting Engineer
111 Simmons Rd
So Portland, ME 04106

Re: Bubba's Sulky Lounge # 11017

Dear Mr Gray,

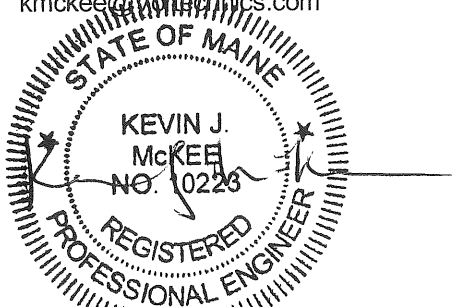
Please find enclosed Hydrocad calculations prepared by Stormwater360™ to analyze the volume of flow that may be expected at the Vortechs Model 3000 in the 10-year storm event. These calculations have allowed us to determine that a flow of 3.38 c.f.s. will be generated and introduced to the Vortechs System in the design storm event. For the purpose of our analysis the site was modeled as if all of the flow from the building was being introduced to Catchbasin #2. We realize that several roof leader connections may be made to the piping downstream of CB #2 but for the purpose of our analysis it was necessary to model it as if all of the connections were introduced to the upstream catchbasin. The flow from Catchbasin #2 is the total flow that will be introduced to the Vortechs System.

Also enclosed is a TSS Removal Efficiency spreadsheet that allows us to predict the expected TSS removal efficiency for the proposed system.

Please don't hesitate to contact me or Jeremy Gray in my office if you have any questions regarding this material.

Sincerely,

Kevin J. McKee, PE
Regional Sales Manager
kmckee@vortechs.com



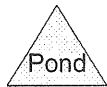
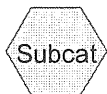
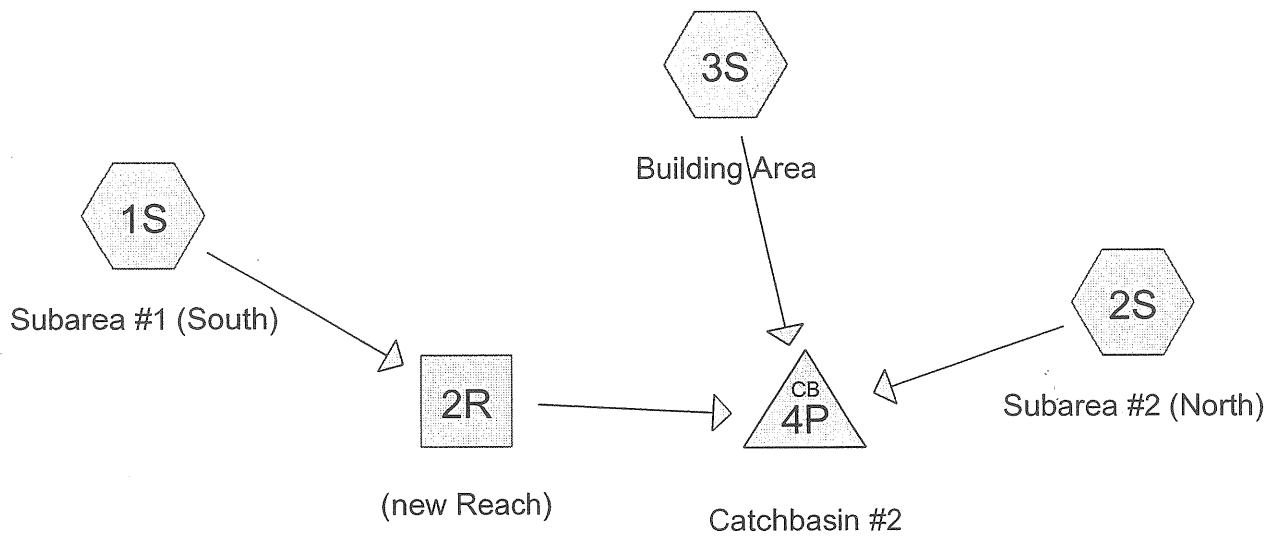
The leaders in the stormwater industry, Stormwater Management, Inc. and Vortechs, Inc., have united as Stormwater360™ – the comprehensive provider of stormwater solutions. With an unparalleled product line and unmatched customer support team under one umbrella, Stormwater360 has the treatment option to meet your water quality goals.

www.stormwater360.com

East:
200 Enterprise Drive, Scarborough, ME 04074
Toll-free: 877.907.8676 Fax: 207.885.9825

West:
12021-B NE Airport Way, Portland, OR 97220
Toll-free: 800.548.4667 Fax: 800.561.1271

Mid-Atlantic:
7020 Troy Hill Drive, Suites A-B, Elkridge, MD 21075
Toll-free: 886-740-3318 Fax: 866-376.8511



Bubba's Sulky

Rainfall Duration=10 min, Inten=5.40 in/hr

Prepared by HydroCAD SAMPLER 1-800-927-7246 www.hydrocad.net

Page 2

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7/29/2005

Time span=0.00-3.00 hrs, dt=0.01 hrs, 301 points

Runoff by Rational method, Rise/Fall=1.0/1.0 xTc

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Subarea #1 (South)

Runoff Area=11,230 sf Runoff Depth=0.85"
Tc=5.0 min C=0.95 Runoff=1.33 cfs 0.018 af

Subcatchment 2S: Subarea #2 (North)

Runoff Area=10,314 sf Runoff Depth=0.85"
Tc=5.0 min C=0.95 Runoff=1.22 cfs 0.017 af

Subcatchment 3S: Building Area

Runoff Area=6,913 sf Runoff Depth=0.85"
Tc=5.0 min C=0.95 Runoff=0.82 cfs 0.011 af

Reach 2R: (new Reach)

Peak Depth=0.28' Max Vel=7.6 fps Inflow=1.33 cfs 0.018 af
D=12.0" n=0.012 L=76.0' S=0.0430 '/' Capacity=8.01 cfs Outflow=1.33 cfs 0.018 af

Pond 4P: Catchbasin #2

Peak Elev=39.46' Inflow=3.38 cfs 0.046 af
15.0" x 86.0' Culvert Outflow=3.38 cfs 0.046 af

Total Runoff Area = 0.653 ac Runoff Volume = 0.046 af Average Runoff Depth = 0.85"

Bubba's Sulky

Prepared by HydroCAD SAMPLER 1-800-927-7246 www.hydrocad.net
HydroCAD® 7.00 s/n 000000 © 1986-2003 Applied Microcomputer Systems

Rainfall Duration=10 min, Inten=5.40 in/hr

Page 3
7/29/2005

Subcatchment 1S: Subarea #1 (South)

Runoff = 1.33 cfs @ 0.09 hrs, Volume= 0.018 af, Depth= 0.85"

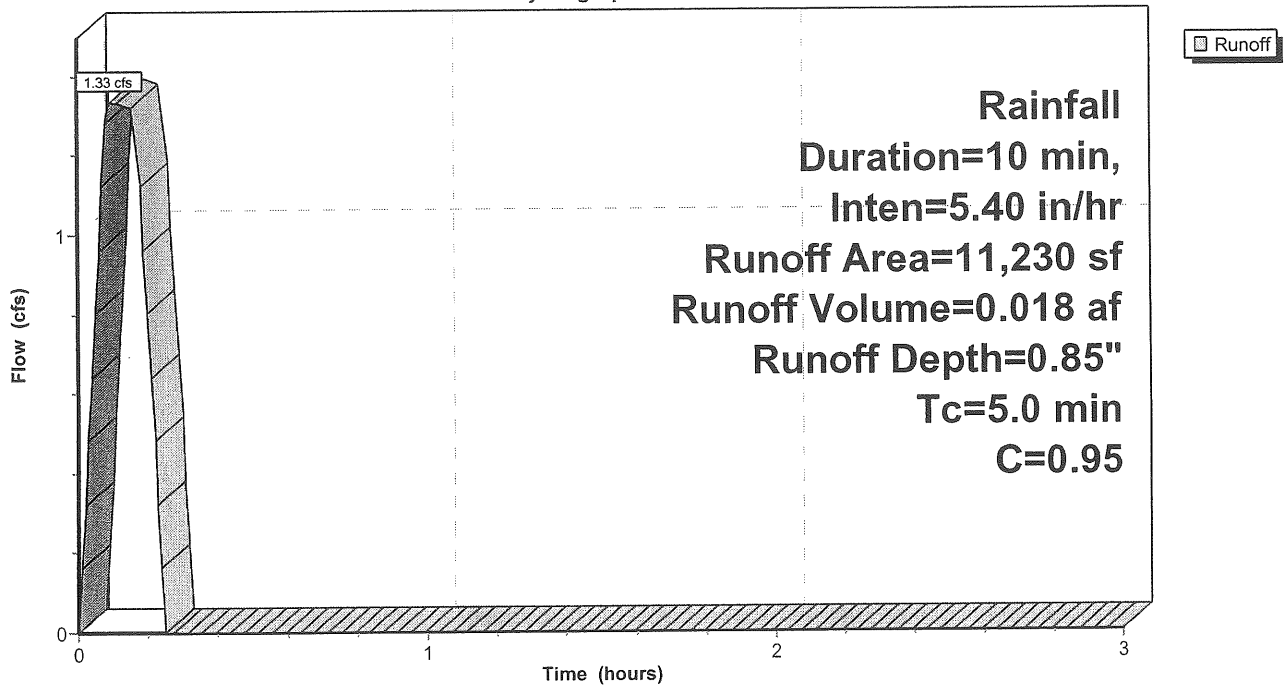
Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
Rainfall Duration=10 min, Inten=5.40 in/hr

Area (sf)	C	Description
11,230	0.95	Parking area at south end of prop

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry, Minimum Tc

Subcatchment 1S: Subarea #1 (South)

Hydrograph



Bubba's Sulky

Prepared by HydroCAD SAMPLER 1-800-927-7246 www.hydrocad.net
HydroCAD® 7.00 s/n 000000 © 1986-2003 Applied Microcomputer Systems

Rainfall Duration=10 min, Inten=5.40 in/hr

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7/29/2005

Subcatchment 3S: Building Area

Runoff = 0.82 cfs @ 0.09 hrs, Volume= 0.011 af, Depth= 0.85"

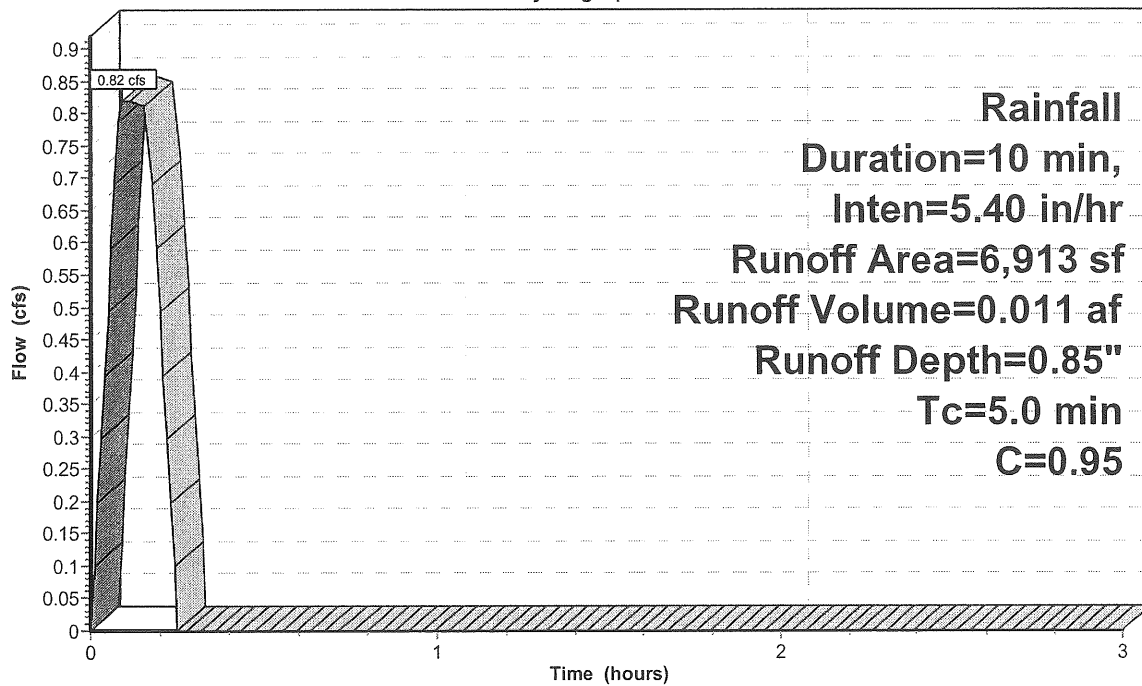
Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
Rainfall Duration=10 min, Inten=5.40 in/hr

Area (sf)	C	Description
6,913	0.95	

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry, Flow from Roof

Subcatchment 3S: Building Area

Hydrograph



Bubba's Sulky

Rainfall Duration=10 min, Inten=5.40 in/hr

Prepared by HydroCAD SAMPLER 1-800-927-7246 www.hydrocad.net

Page 6

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7/29/2005

Reach 2R: (new Reach)

[52] Hint: Inlet conditions not evaluated

Inflow Area = 0.258 ac, Inflow Depth = 0.85"
Inflow = 1.33 cfs @ 0.09 hrs, Volume= 0.018 af
Outflow = 1.33 cfs @ 0.10 hrs, Volume= 0.018 af, Atten= 0%, Lag= 0.6 min

Routing by Stor-Ind+Trans method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs

Max. Velocity= 7.6 fps, Min. Travel Time= 0.2 min

Avg. Velocity = 5.1 fps, Avg. Travel Time= 0.2 min

Peak Depth= 0.28' @ 0.10 hrs

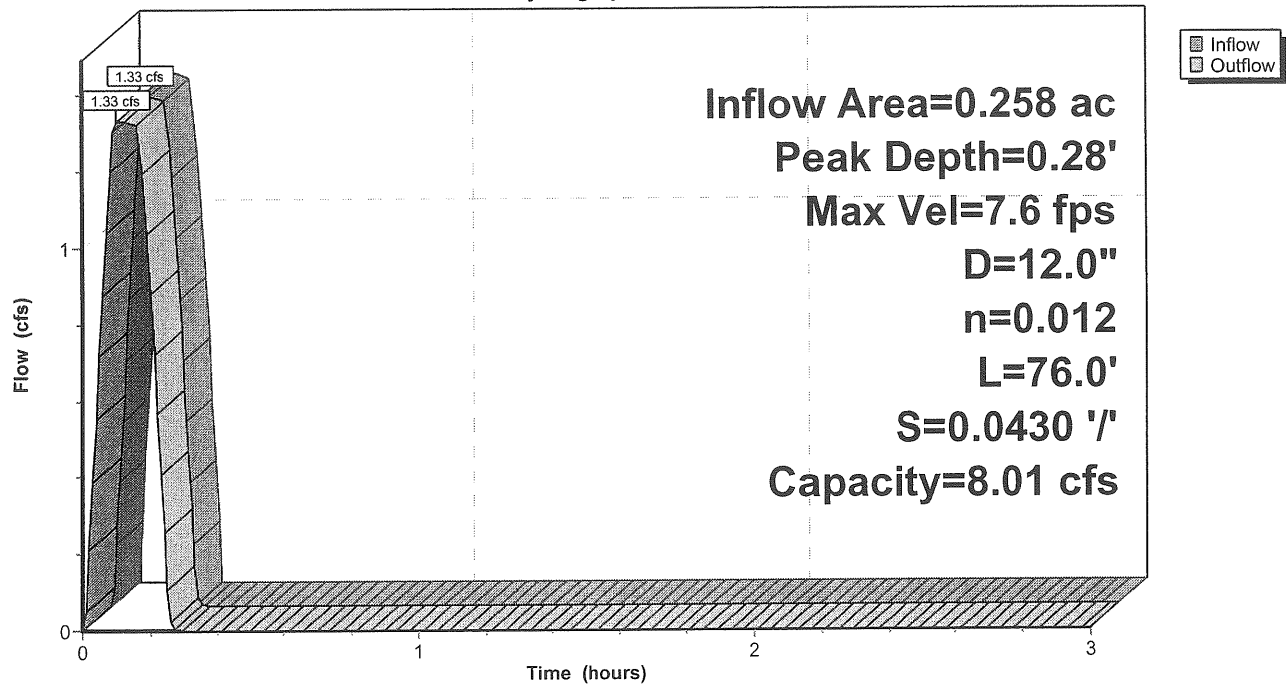
Capacity at bank full= 8.01 cfs

Inlet Invert= 42.00', Outlet Invert= 38.73'

12.0" Diameter Pipe n= 0.012 Length= 76.0' Slope= 0.0430 '/'

Reach 2R: (new Reach)

Hydrograph



Bubba's Sulky

Rainfall Duration=10 min, Inten=5.40 in/hr

Prepared by HydroCAD SAMPLER 1-800-927-7246 www.hydrocad.net

Page 7

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7/29/2005

Pond 4P: Catchbasin #2

[57] Hint: Peaked at 39.46' (Flood elevation advised)

[61] Hint: Submerged 22% of Reach 2R bottom

Inflow Area = 0.653 ac, Inflow Depth = 0.85"
Inflow = 3.38 cfs @ 0.10 hrs, Volume= 0.046 af
Outflow = 3.38 cfs @ 0.10 hrs, Volume= 0.046 af, Atten= 0%, Lag= 0.0 min
Primary = 3.38 cfs @ 0.10 hrs, Volume= 0.046 af

Routing by Stor-Ind method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs

Peak Elev= 39.46' @ 0.10 hrs

Plug-Flow detention time=0.0 min calculated for 0.046 af (100% of inflow)

Center-of-Mass det. time=(not calculated: outflow precedes inflow)

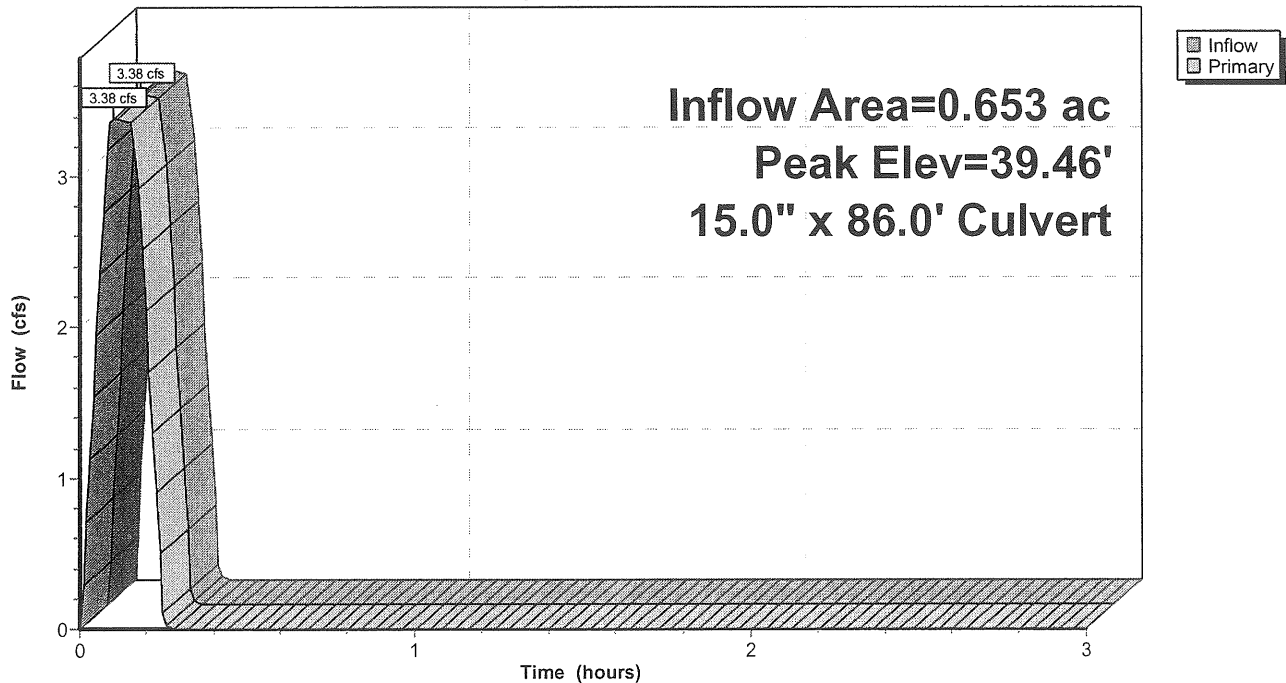
#	Routing	Invert	Outlet Devices
1	Primary	38.50'	15.0" x 86.0' long Culvert RCP, square edge headwall, Ke= 0.500 Outlet Invert= 33.34' S= 0.0600 '/' n= 0.012 Cc= 0.900

Primary OutFlow Max=3.38 cfs @ 0.10 hrs HW=39.46' (Free Discharge)

1=Culvert (Inlet Controls 3.38 cfs @ 3.3 fps)

Pond 4P: Catchbasin #2

Hydrograph





VORTECHS SYSTEM NET ANNUAL TSS REMOVAL EFFICIENCY

**Bubba's Sulky Lounge
Portland, ME
Model 3000
System Vortechs**

Design Ratio¹ = $\frac{(0.7 \text{ acres}) \times (0.9) \times (449 \text{ gpm/cfs})}{(19.6 \text{ sf})} = 13.5$

Rainfall Intensity "/hr	Operating Rate² gpm/sf	% Total Rainfall Volume ³	Rmvl. Effcy⁴ (%)	Rel. Effcy (%)
0.02	0.3	10.5%	98.0%	10.3%
0.04	0.5	10.4%	98.0%	10.2%
0.06	0.8	11.0%	98.0%	10.7%
0.08	1.1	8.9%	98.0%	8.7%
0.10	1.4	7.7%	98.0%	7.5%
0.12	1.6	5.5%	98.0%	5.4%
0.14	1.9	5.4%	98.0%	5.3%
0.16	2.2	5.2%	97.0%	5.0%
0.18	2.4	4.4%	97.0%	4.3%
0.20	2.7	3.6%	97.0%	3.5%
0.25	3.4	7.1%	95.8%	6.8%
0.35	4.7	7.8%	94.1%	7.4%
0.45	6.1	4.5%	91.2%	4.1%
0.65	8.8	4.3%	88.3%	3.8%
1.00	13.5	2.1%	80.3%	1.7%
1.50	20.3	1.1%	69.7%	0.8%
2.50	33.8	0.5%	53.9%	0.3%
				95.8%

% rain falling at >2.5"/hr = 0.0%
Assumed Removal Efficiency of remaining % = 0.0%
Removal Efficiency Adjustment⁵ = 6.5%
Net Annual TSS Removal Efficiency = 89%

1 - Design Ratio = (Total Drainage Area) x (Runoff Coefficient) x (cfs to gpm conversion) / Grit Chamber Area
 - The Total Drainage Area and Runoff Coefficient is specified by the site engineer.
 - The conversion factor from cfs to gpm is 449.

2 - Operating Rate (gpm/sf) = intensity ("/hr) x Design Ratio

3 - Based on 10 years of rainfall data from NCDC station 6905, Portland Airport, Cumberland County, ME

4 - Based on Vortechs laboratory verified removal of 50 micron particle gradation (see Technical Bulletin #1).

5- Reduction due to use of 60-minute data for a site that has a time of concentration less than 30-minutes.

Calculated by: JAG 7/29/2005

Checked by:



State of Maine
 Department of Public Safety
Construction Permit



Reviewed
 for Barrier
 Free

17403

Sprinkled
 Sprinkler Supervised

BUBBA'S SULKY LOUNGE
 Located at: 92 PORTLAND ST.
PORTLAND
 Occupancy/Use: ASSEMBLY CLASS B

Permission is hereby given to:

MR. ROBERT LARKIN

2 COTTAGE ROAD
 SOUTH PORTLAND, ME 04106

to construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner and now approved.

No departure from application form/plans shall be made without prior approval in writing. This permit is issued under the provision of Title 25, Chapter 317, Section 2448 and the provisions of Title 5, Section 4594 - F.

Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

This permit will expire at midnight on the 24 th of July 2008

Dated the 25 th day of January A.D. 2008

Commissioner

Copy-2 Architect

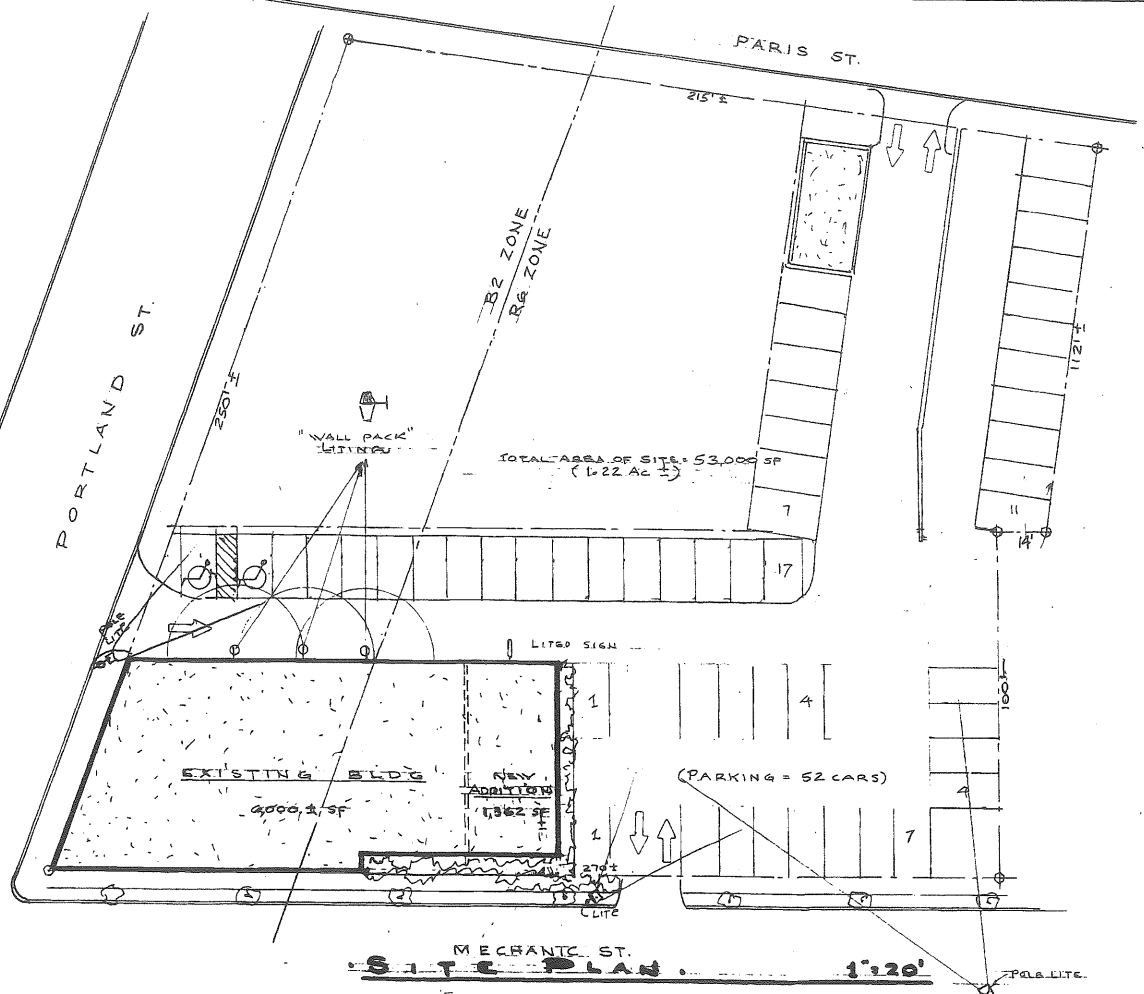
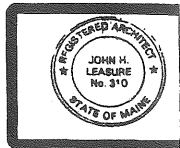
Comments:

JOHN H. LEASURE

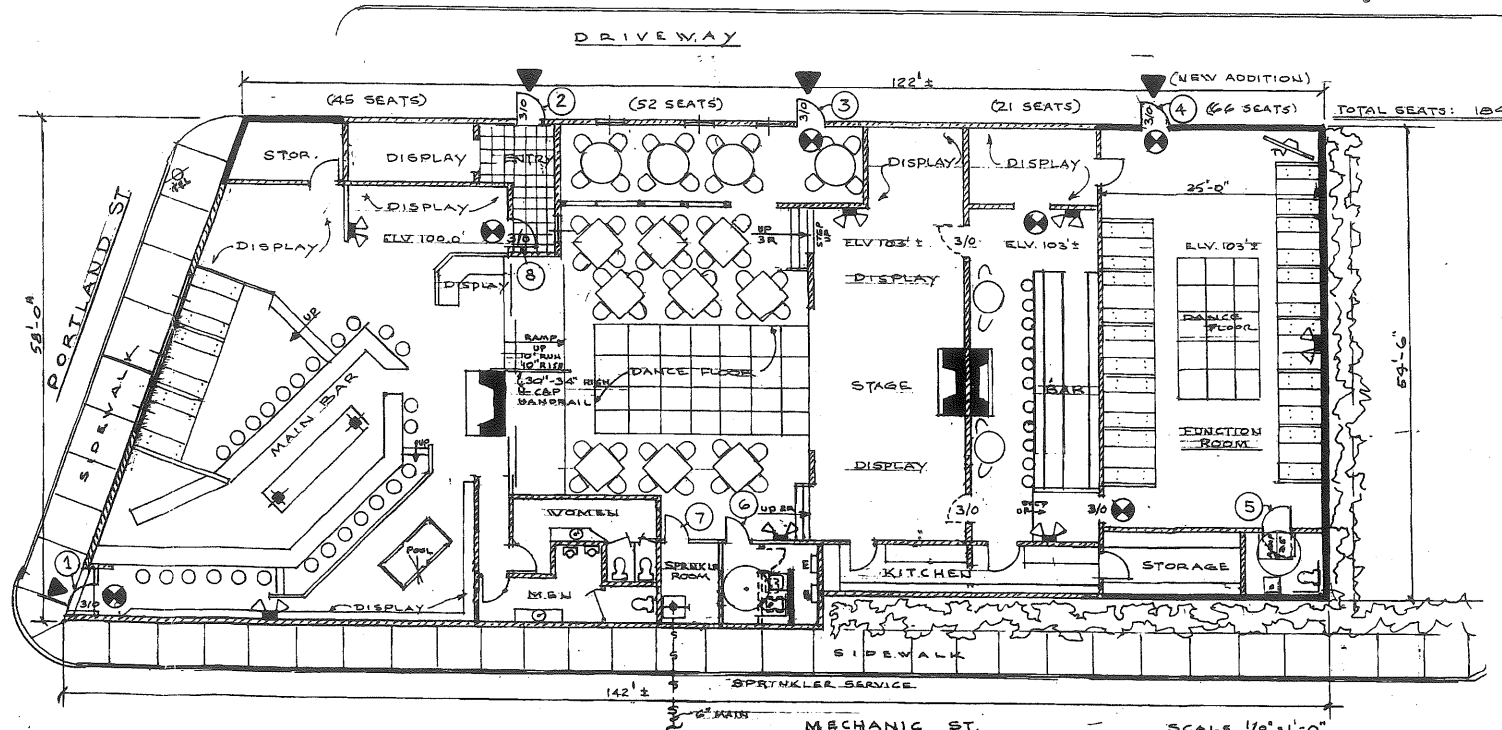
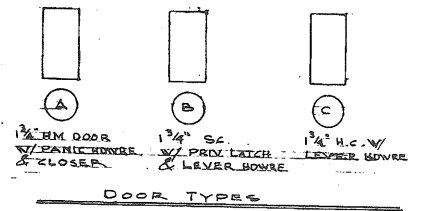
SIX Q ST.
 SOUTH PORTLAND, ME 04106



111 5633



DOOR SCHEDULE					
NO.	SIZE	TYPE	HARDWARE	CLASS	REMARKS
1	3/0 x 7/0	A	PANIC, CLOSER, KEY		
2	2/0 x 7/0	A	DO		
3	3/0 x 7/0	A	DO		
4	3/0 x 7/0	A	DO		
5	3/0 x 7/0	B	LEVER HANDLES, PRIV. LATCH		
6	3/0 x 7/0	B	DO		
7	3/0 x 7/0	C	KEYLOCK		
8	3/0 x 7/0	A	PANIC, CLOSER, KEY		
9					
10					



LEGEND

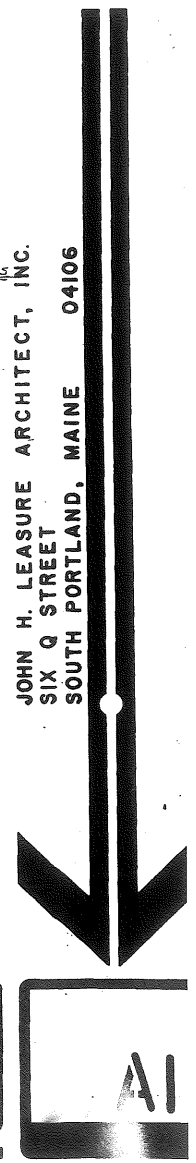
- EXIT LIGHT
- EMERG. LITE
- EXISTING FLOOR AREA: 4,210 SF
- NEW FUNCTION ROOM AREA: 1,362 SF
- TOTAL FLOOR AREA: 7,572 SF
- BUILDING IS FULLY SPRINKLERED!

JANUARY 7, 2008

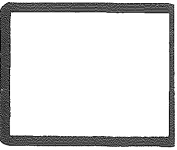
**Bubba's Sulky Lounge Addition
Portland & Mechanic Street
Portland, Maine**

JOHN H. LEASURE ARCHITECT, INC.
SIX Q STREET
SOUTH PORTLAND, MAINE 04106

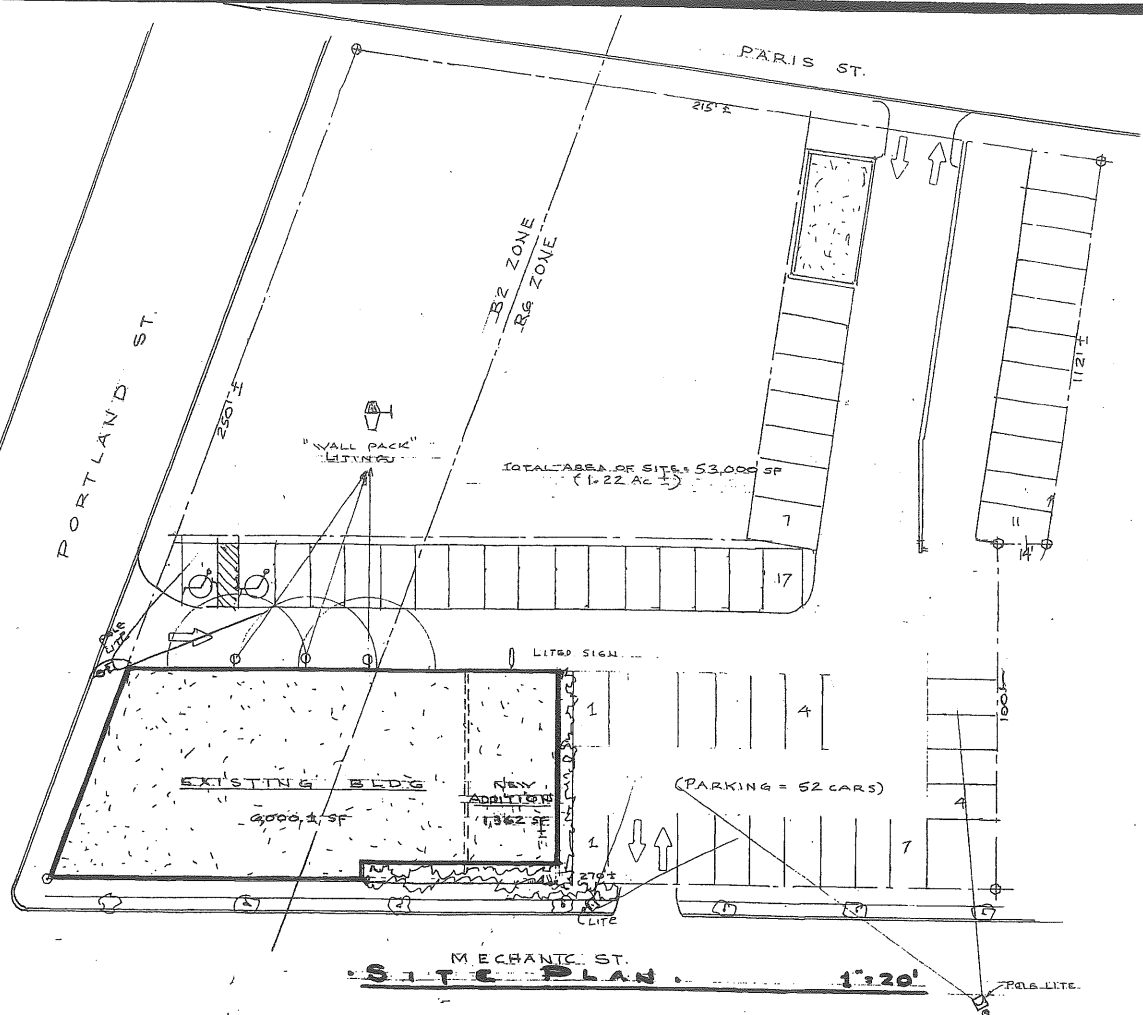
REV. DATE STATUS



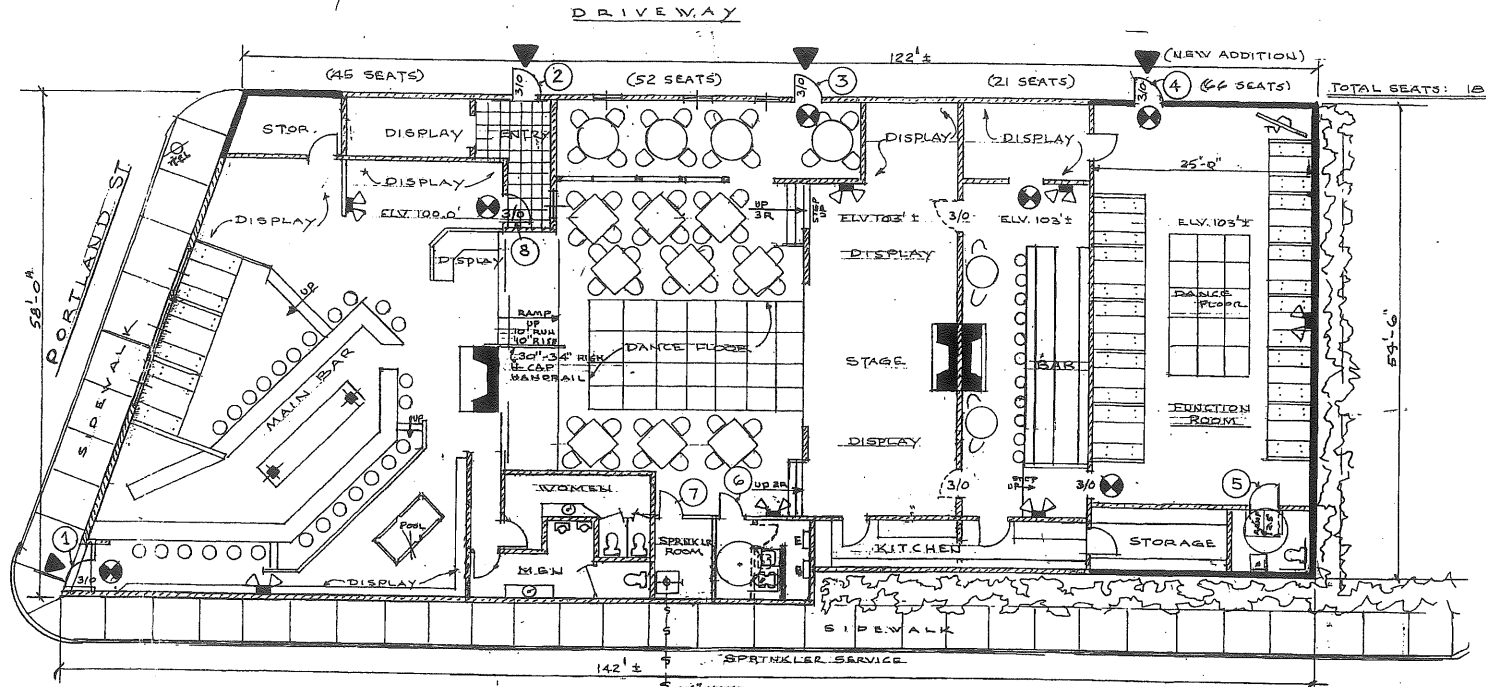
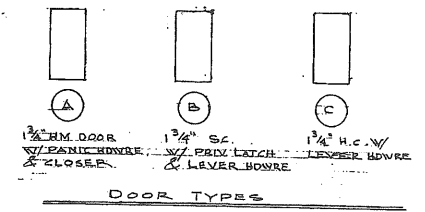
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REV. DATE	STATUS



DOOR SCHEDULE					
NK.	SIZE	TYPE	HARDWARE	CLASS	REMARKS
1	3/0 x 7/0	A	PANIC, TURNER KEY		
2	3/0 x 7/0	A	DO		
3	3/0 x 7/0	A	DO		
4	3/0 x 7/0	A	DO		
5	3/0 x 7/0	B	LEVER, HINDLES, PRIV. LATCH		
6	3/0 x 7/0	B	DO		
7	3/0 x 7/0	C	KEY LOCK		
8	3/0 x 7/0	A	PANIC, CLOSER, KEY		
9					
10					



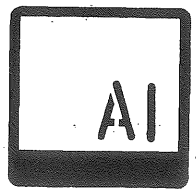
LEGEND

- EXIT LIGHT
- EMERG. LITE
- EXISTING FLOOR AREA: 3,210 SF
- NEW FUNCTION ROOM AREA: 1,362 SF
- TOTAL FLOOR AREA: 7,572 SF
- BUILDING IS FULLY SPRINKLERED

JANUARY 7, 2008

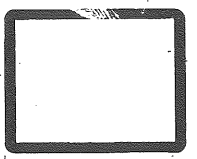
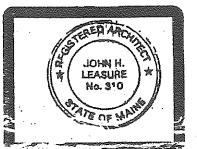
Bubba's Sulky Lounge Addition
Portland & Mechanic Street
Portland, Maine

JOHN H. LEASURE ARCHITECT, INC.
SIX Q STREET
SOUTH PORTLAND, MAINE 04106

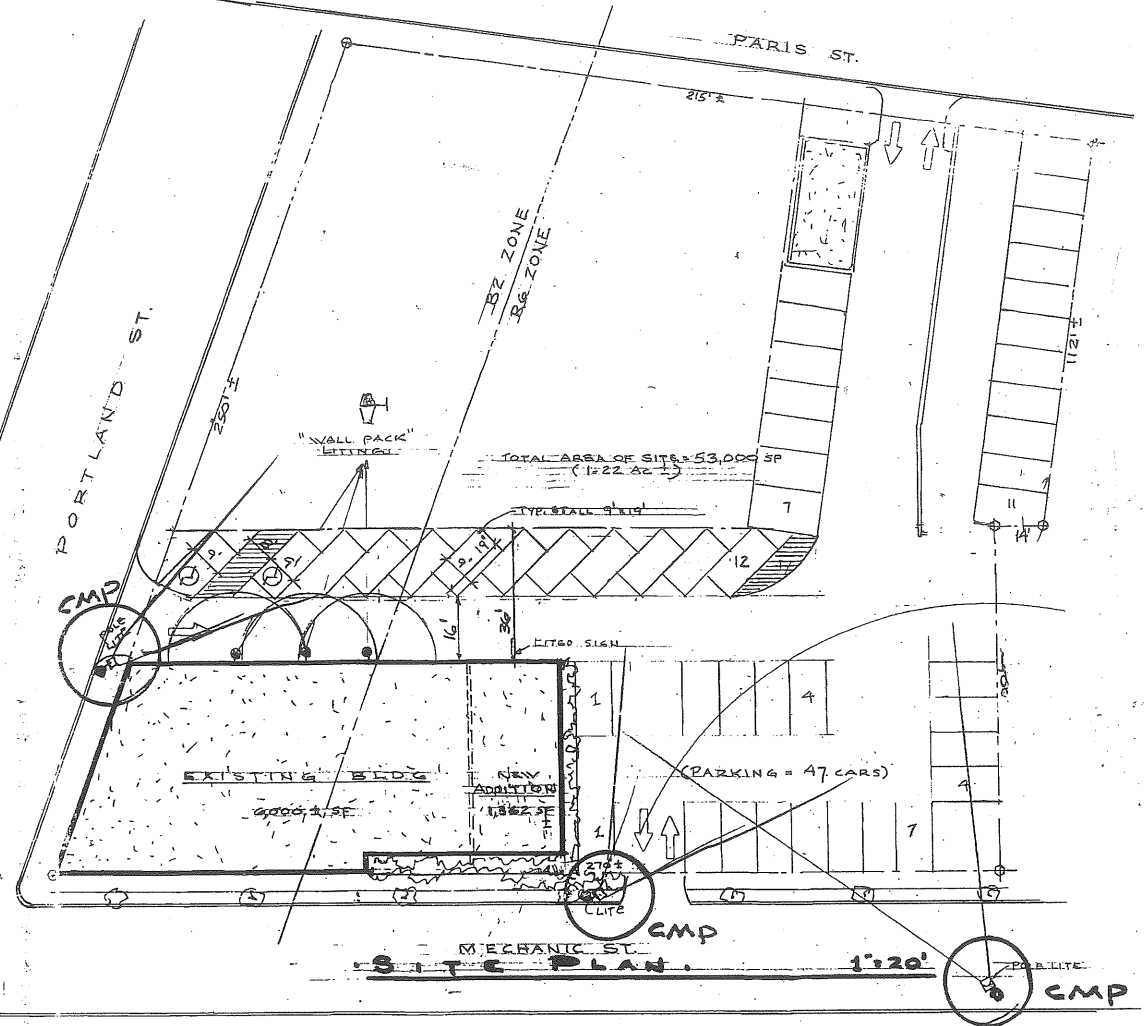


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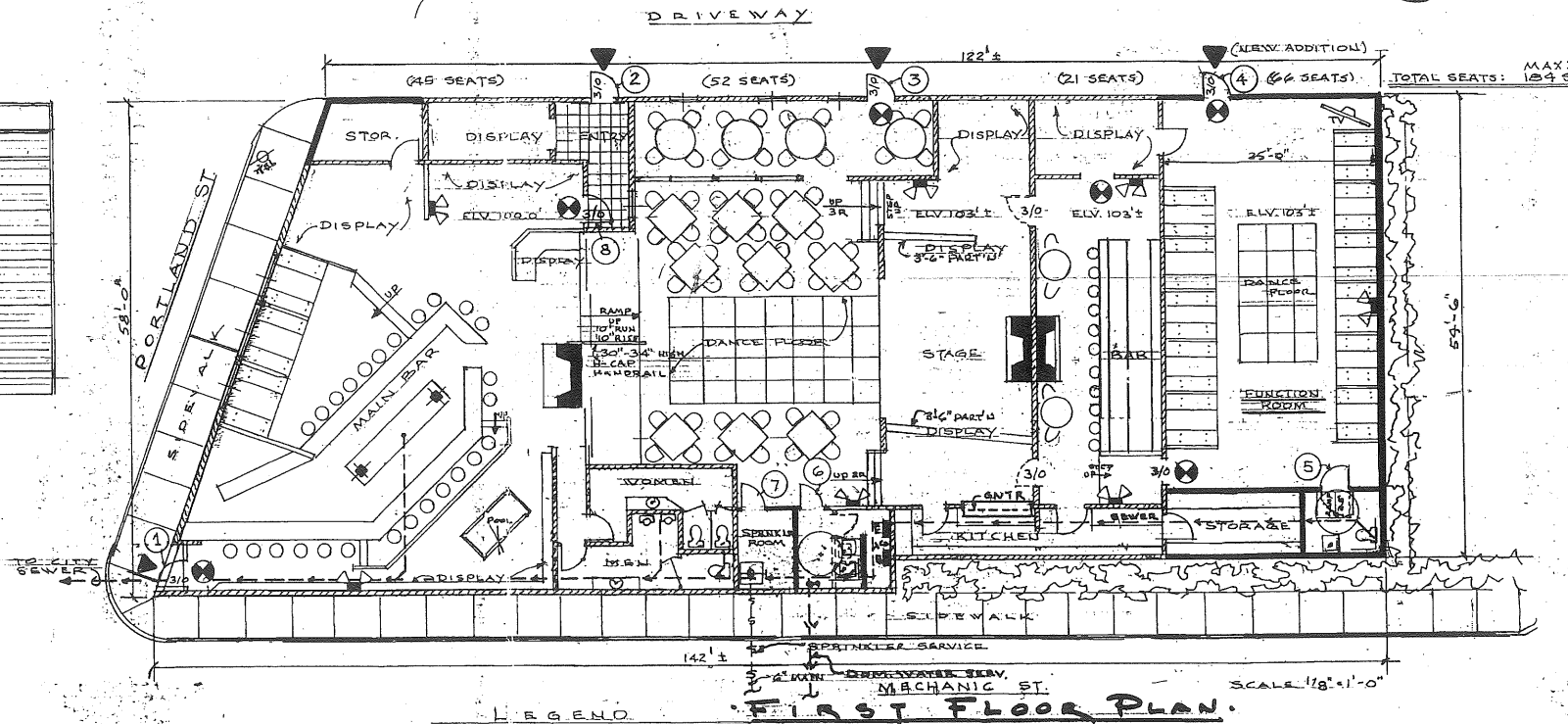
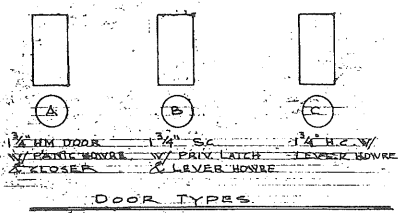
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REV.	DATE	STATUS



DOOR SCHEDULE					
NR.	SIZE	TYPE	HARDWARE	CLASS	REMARKS
1	3/0 x 7/0	A	PANIC, CLOSER, KEY		
2	3/0 x 7/0	A	DO		
3	3/0 x 7/0	A	DO		
4	3/0 x 7/0	A	DO		
5	3/0 x 7/0	B	LEVER HANDLES, PRIV. LATCH		
6	3/0 x 7/0	B	DO		
7	3/0 x 7/0	C	KEYLOCK		
8	3/0 x 7/0	A	PANIC, CLOSER, KEY		
9					
10					

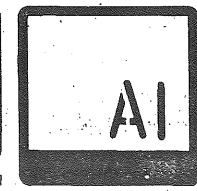


LEGEND
 SKYLIGHT
 MARG. LITE
 EXISTING FLOOR AREA: 2,210 SF
 NEW FUNCTION ROOM AREA: 1,362 SF
 TOTAL FLOOR AREA: 3,572 SF
 BUILDING IS FULLY SPRINKLERED.
 ZONE: BR & RG

JANUARY 25, 2008 REV: APRIL 7, 2008

Bubba's Sulky Lounge Addition
Portland & Mechanic Street
Portland, Maine

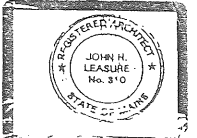
JOHN H. LEASURE ARCHITECT, INC.
 SIX Q STREET
 SOUTH PORTLAND, MAINE 04106



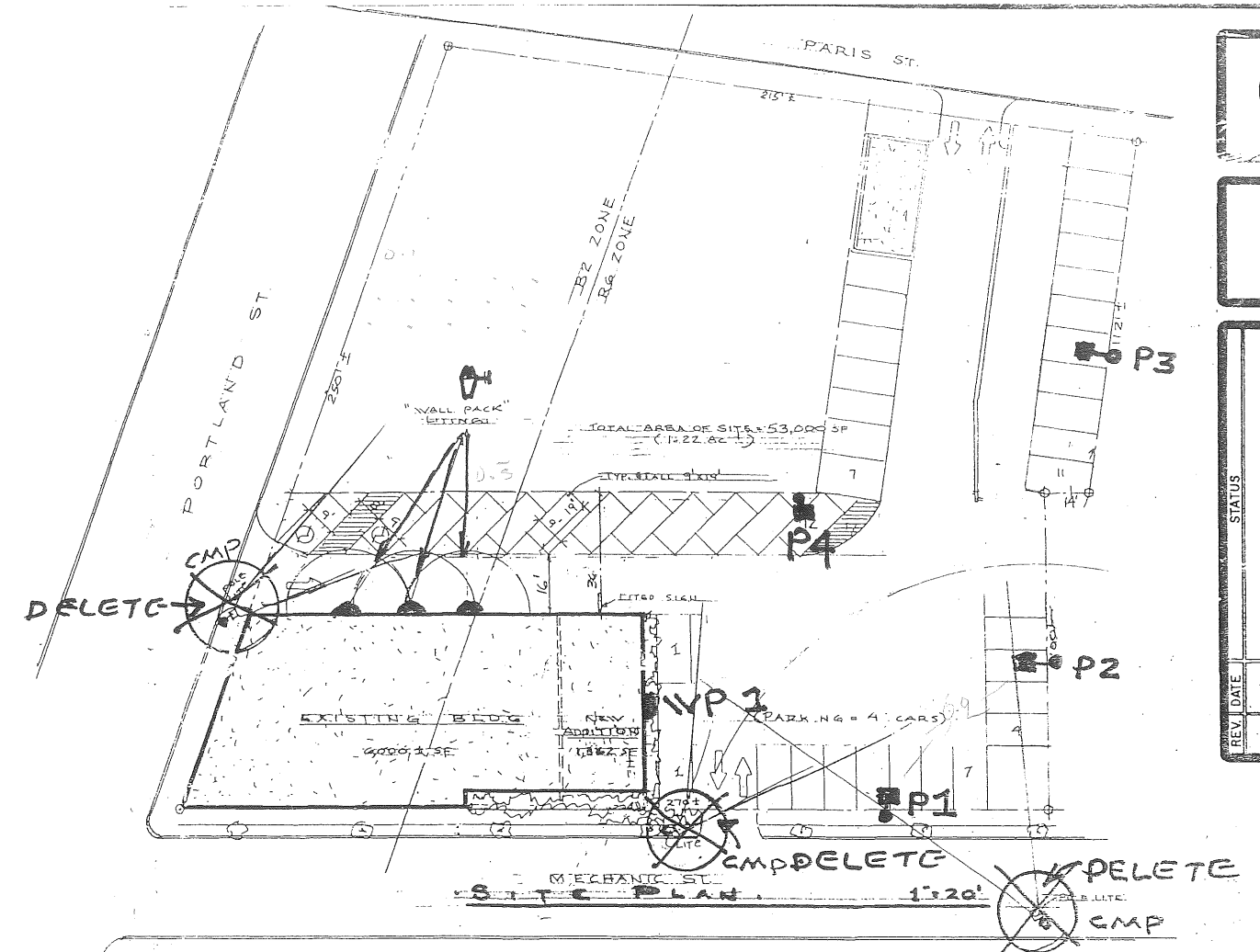
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BUBBA-2008

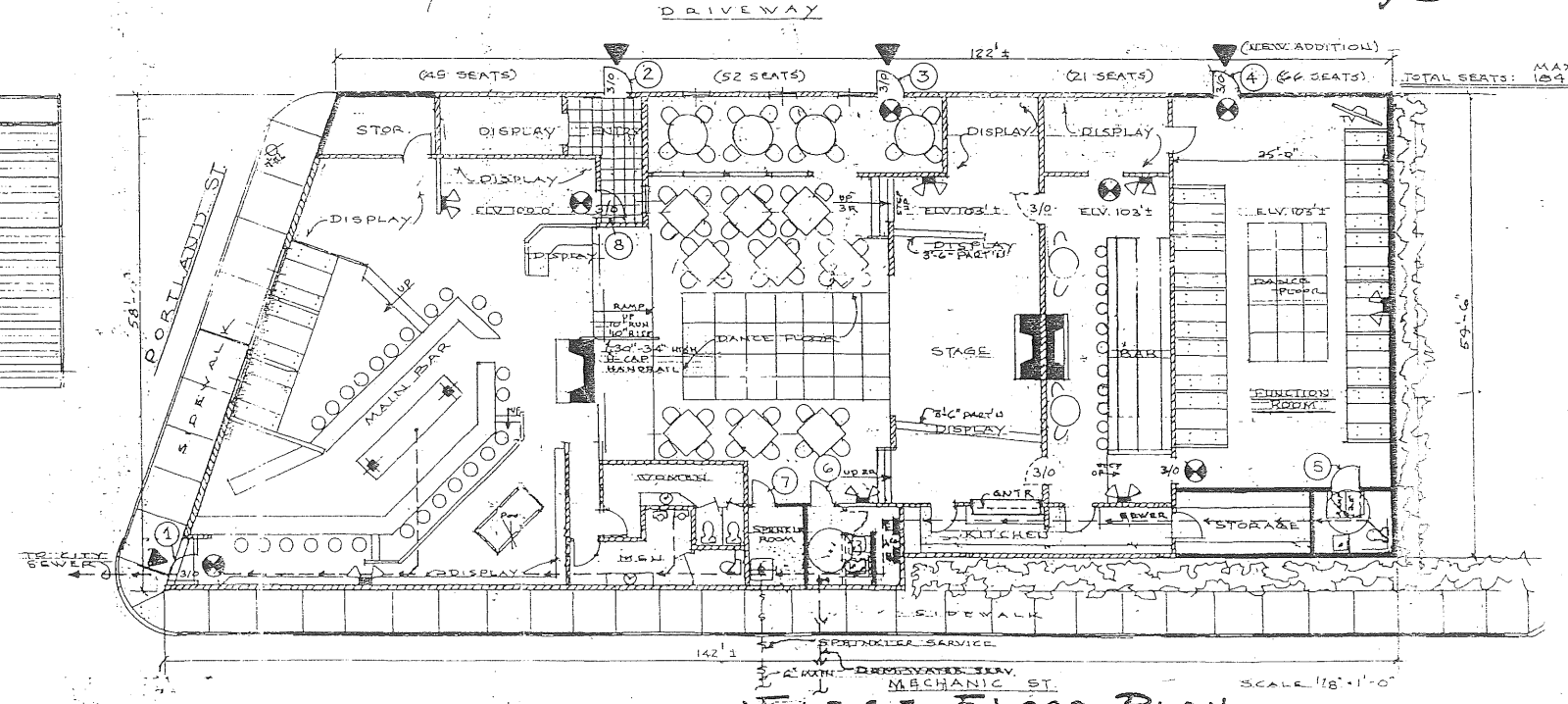
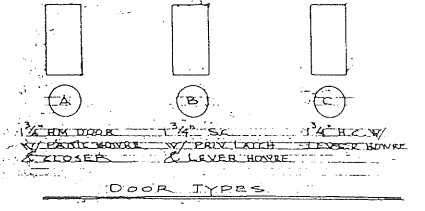
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REV.	DATE	STATUS



DOOR SCHEDULE					
NO.	SIZE	TYPE	HARDWARE	CLASS	REMARKS
1	3/0 x 7/0	A	PANIC, CLOSER, KEY		
2	3/0 x 7/0	A	DO		
3	3/0 x 7/0	A	DO		
4	3/0 x 7/0	A	DO		
5	3/0 x 7/0	B	LEVER HANDLES, PANIC LATCH		
6	3/0 x 7/0	C	DO		
7	3/0 x 7/0	C	KEYLOCK		
8	3/0 x 7/0	A	PANIC, CLOSER, KEY		
9					
10					

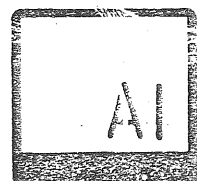


LEGEND
 ● EXIT LIGHT
 ○ PARKING SPACE
 EXISTING FLOOR AREA: 2,210 SF
 NEW FUNCTION ROOM AREA: 1,362 SF
 TOTAL FLOOR AREA: 3,572 SF
 BUILDING IS FULLY SPRINKLERED?
 ZONE: B2 & R4

JANUARY 25, 2008 REV: APRIL 7, 2008

Bubba's Sulky Lounge Addition
 Portland & Mechanic Street
 Portland, Maine

JOHN H. LEASURE ARCHITECT, INC.
 SIX Q STREET
 SOUTH PORTLAND, MAINE 04106

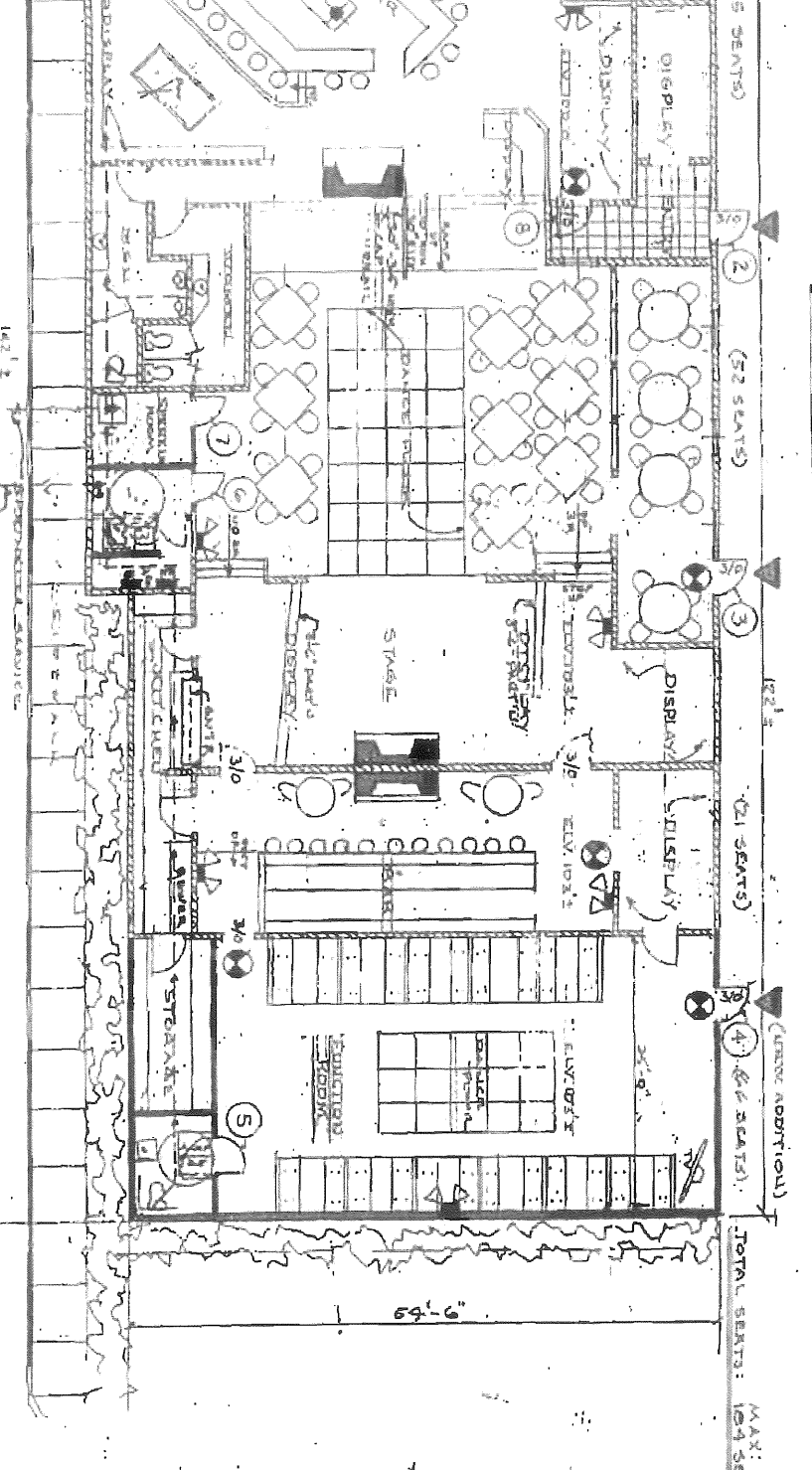


• NEW EXT. LIGHTING PLAN • JULY 9, 2008

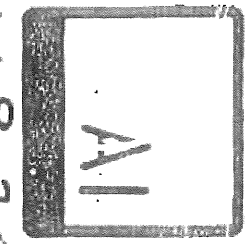
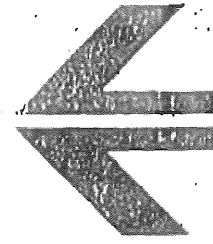
EXISTING FLOOR AREA: 6,410 SF
 NEW ADDITION ROOM AREA: 1,362 SF
 TOTAL FLOOR AREA: 7,772 SF
 BUILDING IS SUITABLE FOR OCCUPANCY
 ZONE: SR & RC

Bubba's Sukey Lounge Addition
 Portland & Mechanic Street
 Portland, Maine

JANUARY 25, 2008 REV. APRIL 7, 2008
 FLOOR PLAN SCALE 1/8"=1'-0"

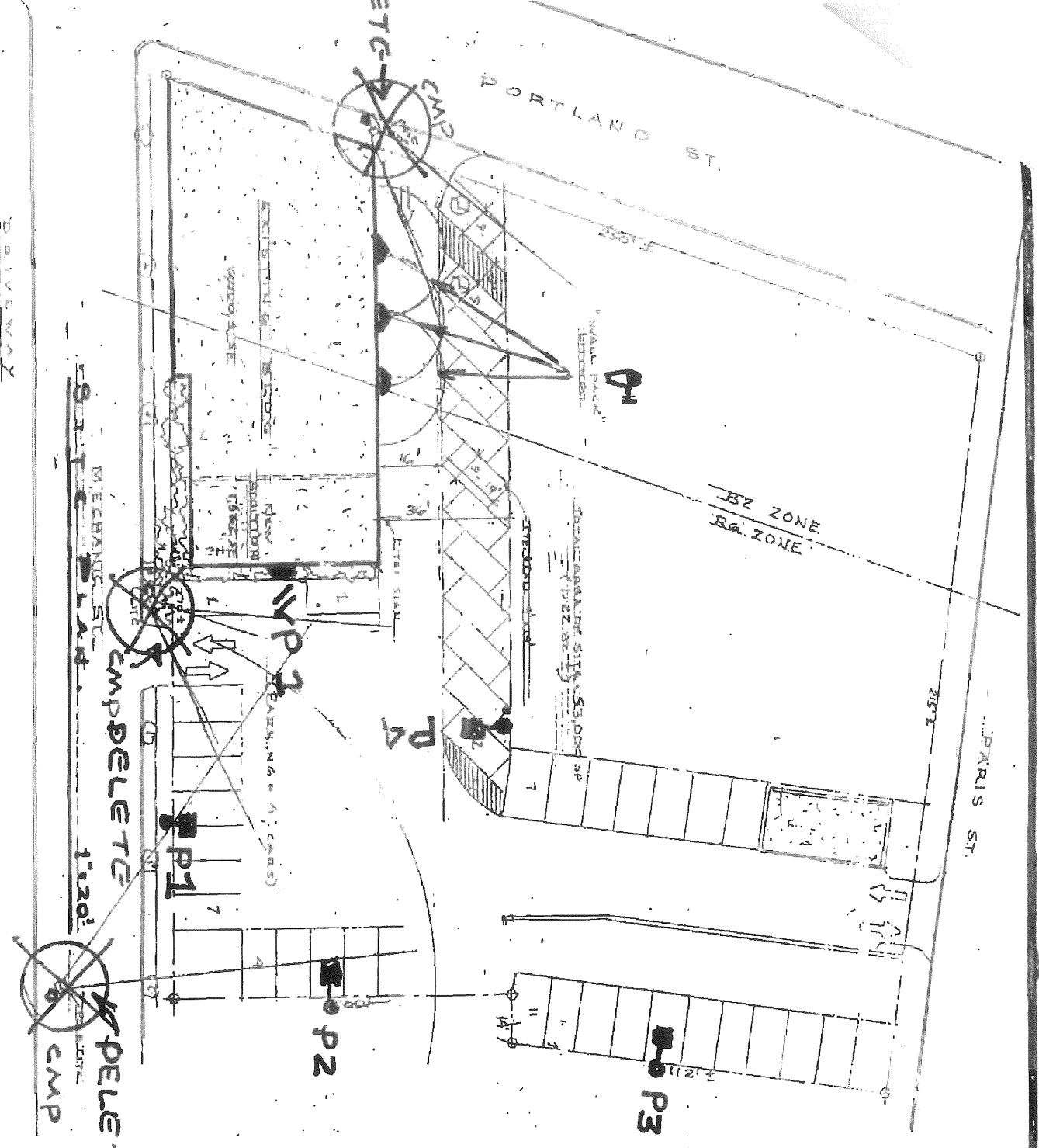


JOHN H. LEASURE ARCHITECT, INC.
 SIX Q STREET
 SOUTH PORTLAND, MAINE 04106

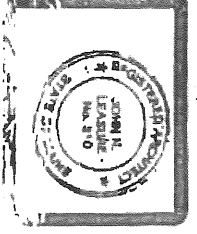
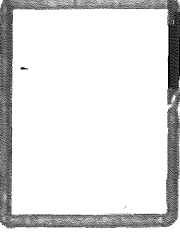


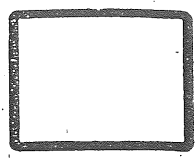
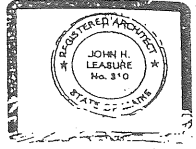
BUBBA - 2008

NEW EVT ITINIC DIA 2 JUN 9 2008

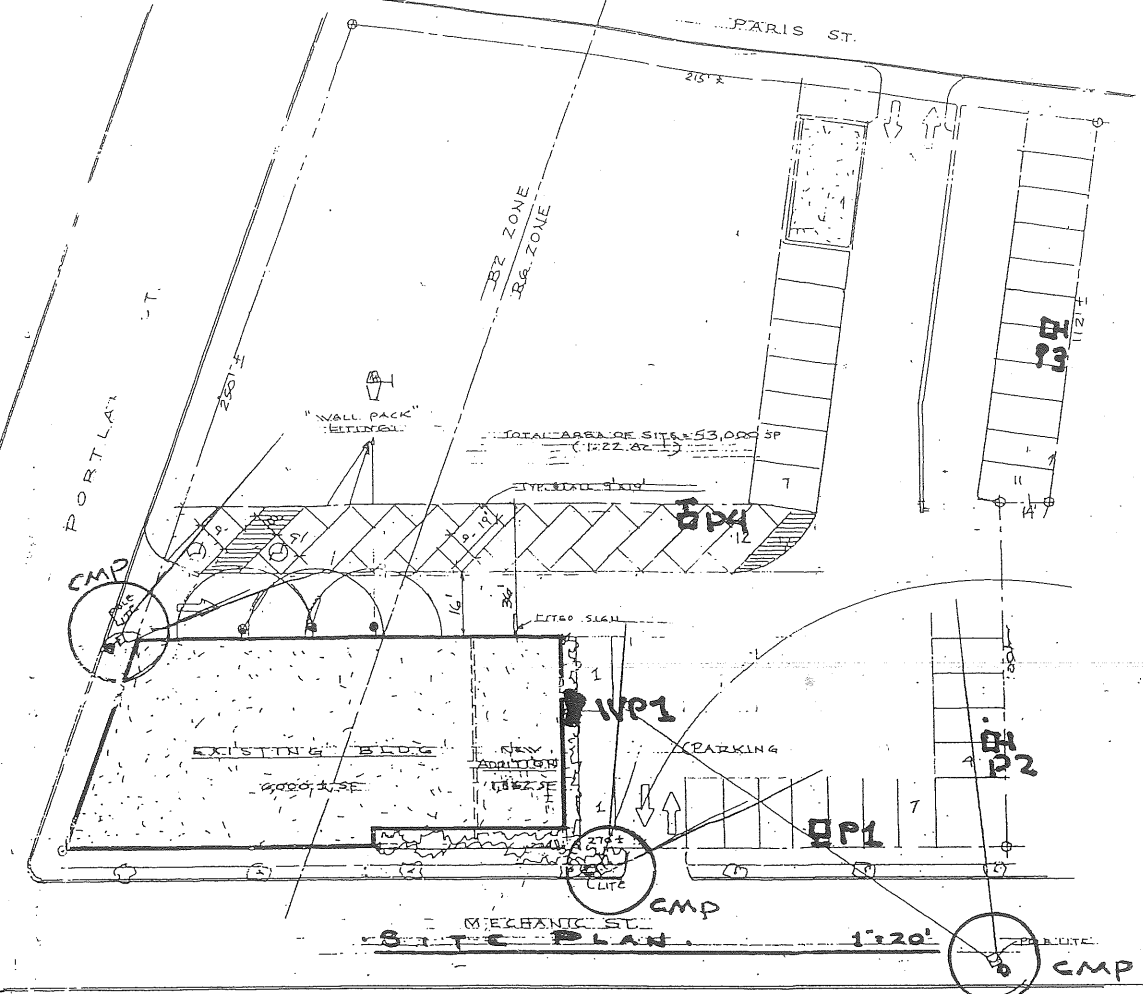


REV.	DATE	STATUS

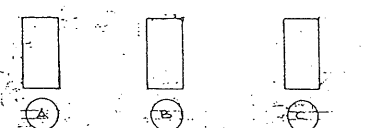




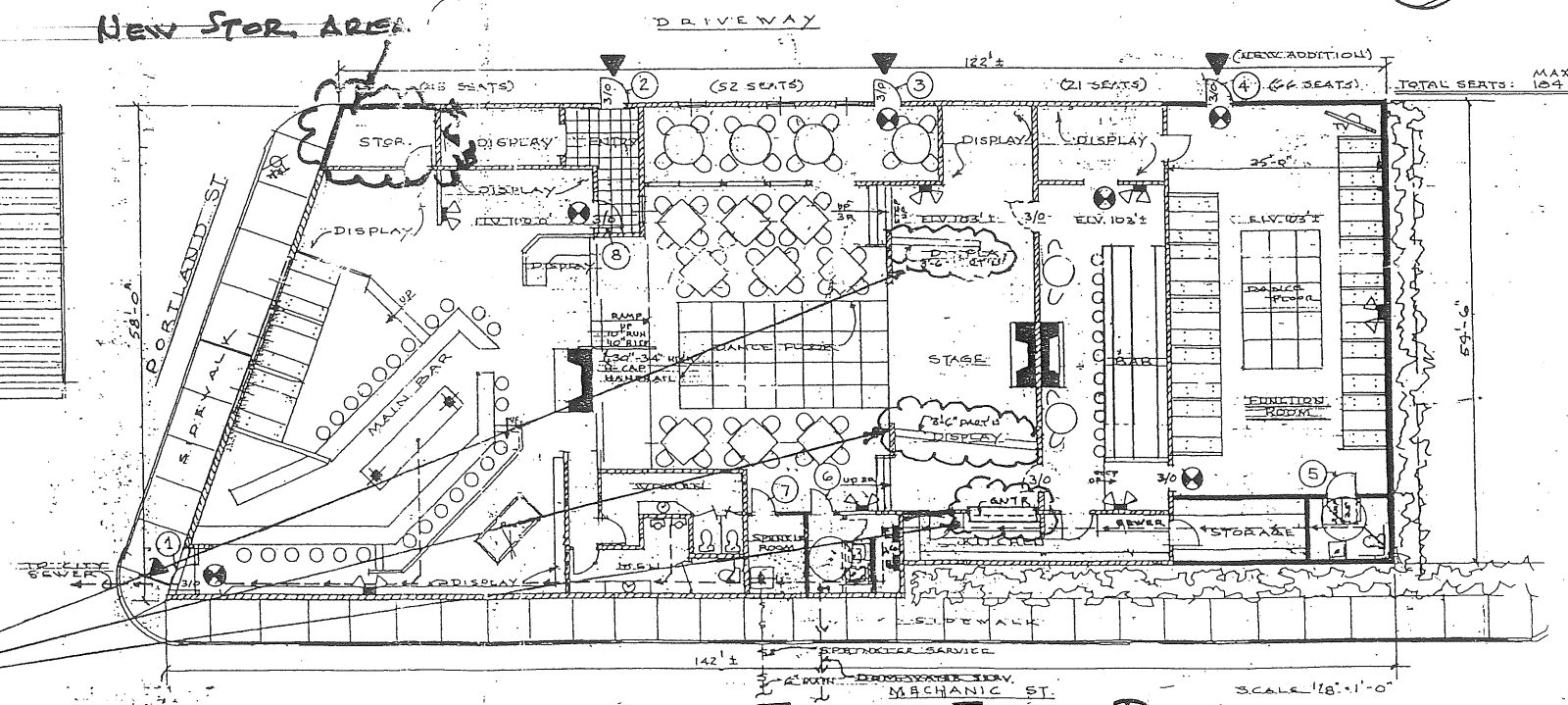
REV. DATE	STATUS



DOOR SCHEDULE					
NO.	SIZE	TYPE	HARDWARE	CLASS	REMARKS
1	3/4 x 7/0	A	PANIC, LHSER KEY		
2	3/4 x 7/0	A	DO		
3	3/4 x 7/0	A	DO		
4	3/4 x 7/0	A	DO		
5	3/4 x 7/0	B	FLYER HOOKS, PA		
6	3/4 x 7/0	B	DO		
7	3/4 x 7/0	C	KEYLOCK		
8	3/4 x 7/0	A	PANIC, CLOSER KEY		
9					
10					



ADD'N OF 2-3'-6" HIGH WOOD PART'NS & OPNG FOR KITCHEN ACCESS!

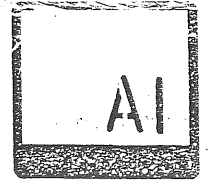
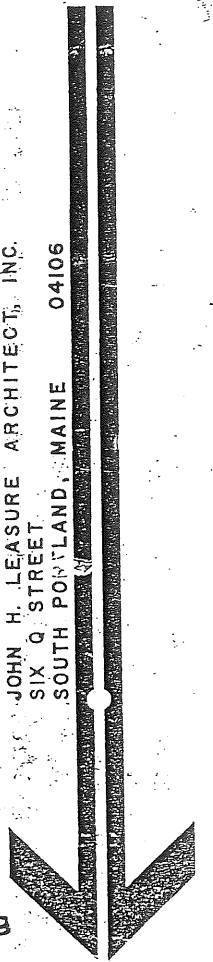


LEGEND
 - REPT. LIGHT
 - EMERG. LIGHT
 - NEW FUNCTION ROOM AREA 1,245 SF
 TOTAL FLOOR AREA 7,572 SF
 BUILDING IS FULLY SPRINKLERED
 ZONE: B2 & R6

FIRST FLOOR PLAN. REV. SEPT. 22, 2008
 JANUARY 25, 2008 REV. APRIL 7, 2008

Bubba's Sulky Lounge Addition
 Portland & Mechanic Street
 Portland, Maine

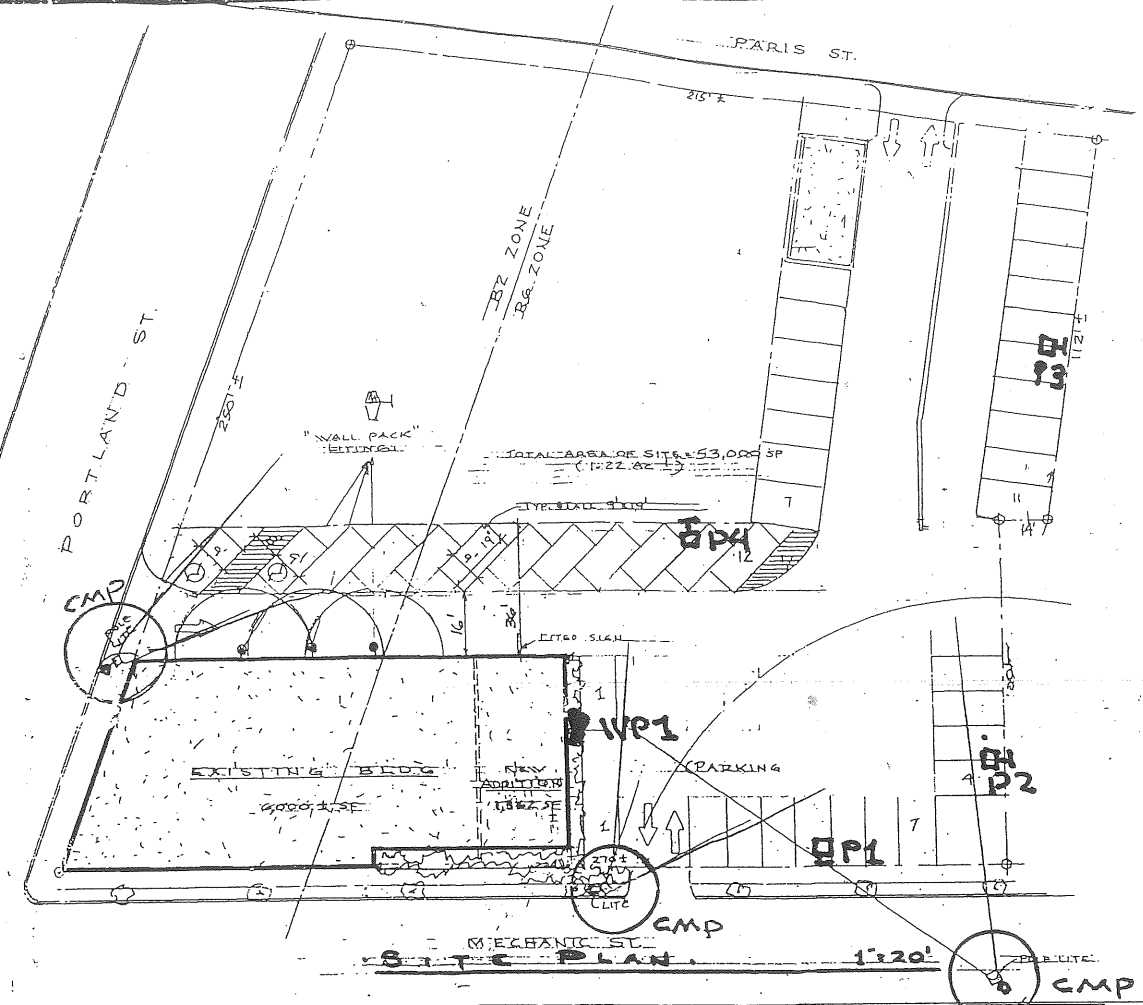
JOHN H. LEASURE ARCHITECT, INC.
 SIX Q STREET
 SOUTH PORTLAND, MAINE 04106



BUBBA - 2008

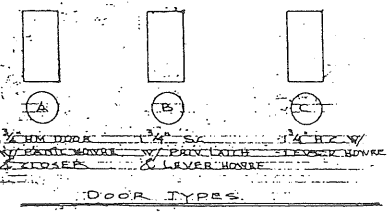


REV.	DATE	STATUS

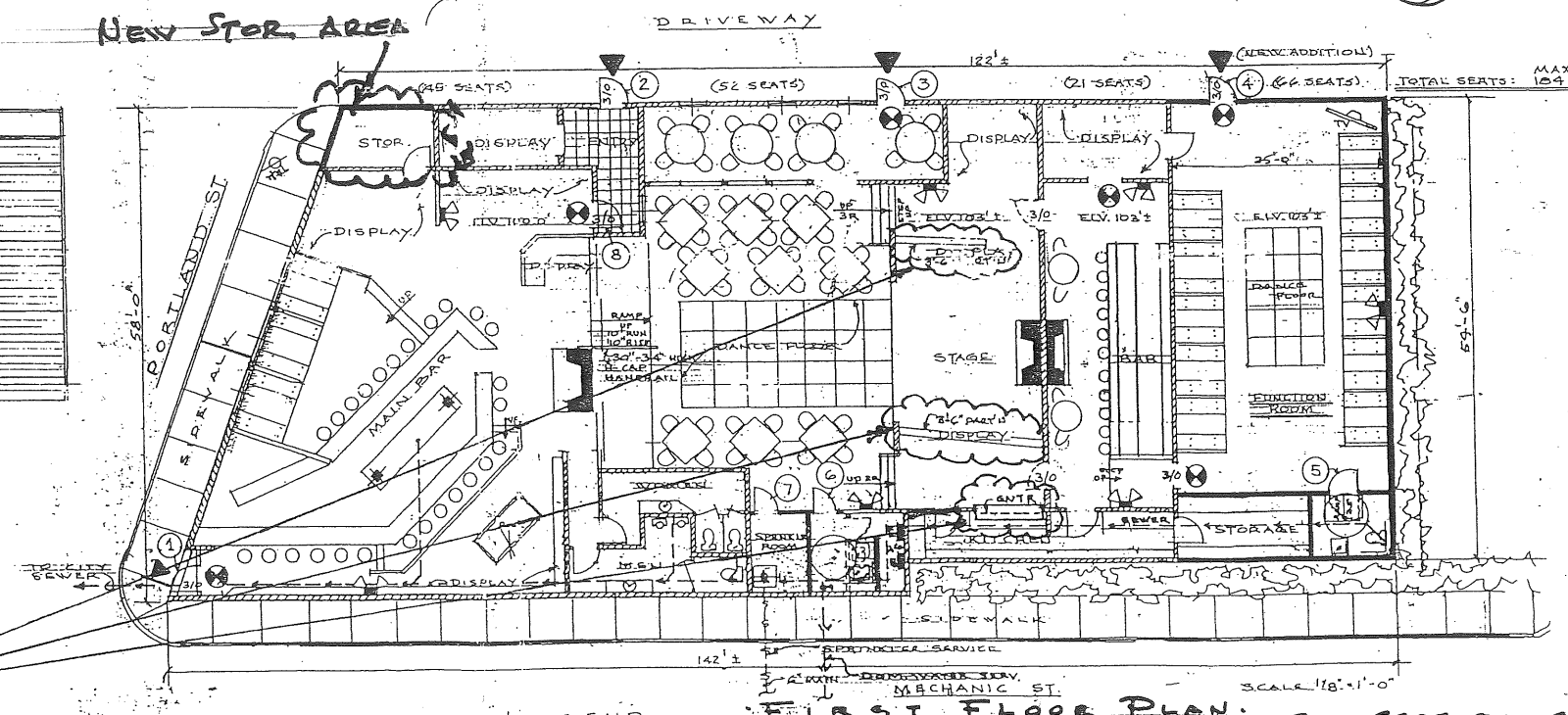


New Stor. Area

NO.	SIZE	TYPE	HARDWARE	CLASS	REMARKS
1	3/4 x 7/0	A	PANIC, CLOSER, KEY		
2	3/4 x 7/0	A	DO		
3	3/4 x 7/0	A	DO		
4	3/4 x 7/0	A	DO		
5	3/4 x 7/0	B	LOCK BUDS, PRIV		
6	3/4 x 7/0	B	DO		
7	3/4 x 7/0	C	KEYLOCK		
8	3/4 x 7/0	A	PANIC, CLOSER, KEY		
9					
10					



ADD'N OF 2-3'-6" HIGH WOOD PART'NS & OPNG FOR KITCHEN ACCESS!

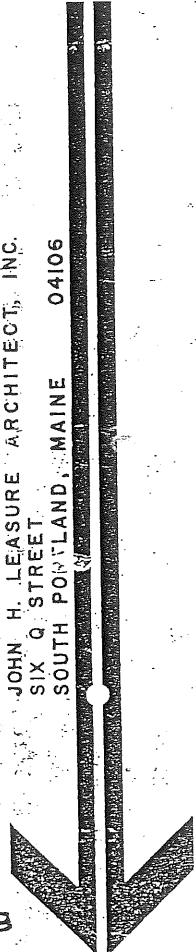


LEGEND
 - EXIT LIGHT
 - AMBER LIGHT
 - NEW FINISH ROOM AREA 1,322 SF
 TOTAL FLOOR AREA 7,572 SF
 BUILDING IS FULLY SPRINKLERED
 ZONE: B2 & R6

JANUARY 25, 2008 REV. SEPT. 22, 2008
 REV. APRIL 7, 2008

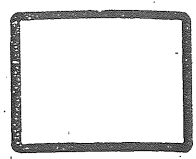
Bubba's Sulky Lounge Addition
 Portland & Mechanic Street
 Portland, Maine

JOHN H. LEASURE ARCHITECT, INC.
 SIX O STREET
 SOUTH PORTLAND, MAINE 04105

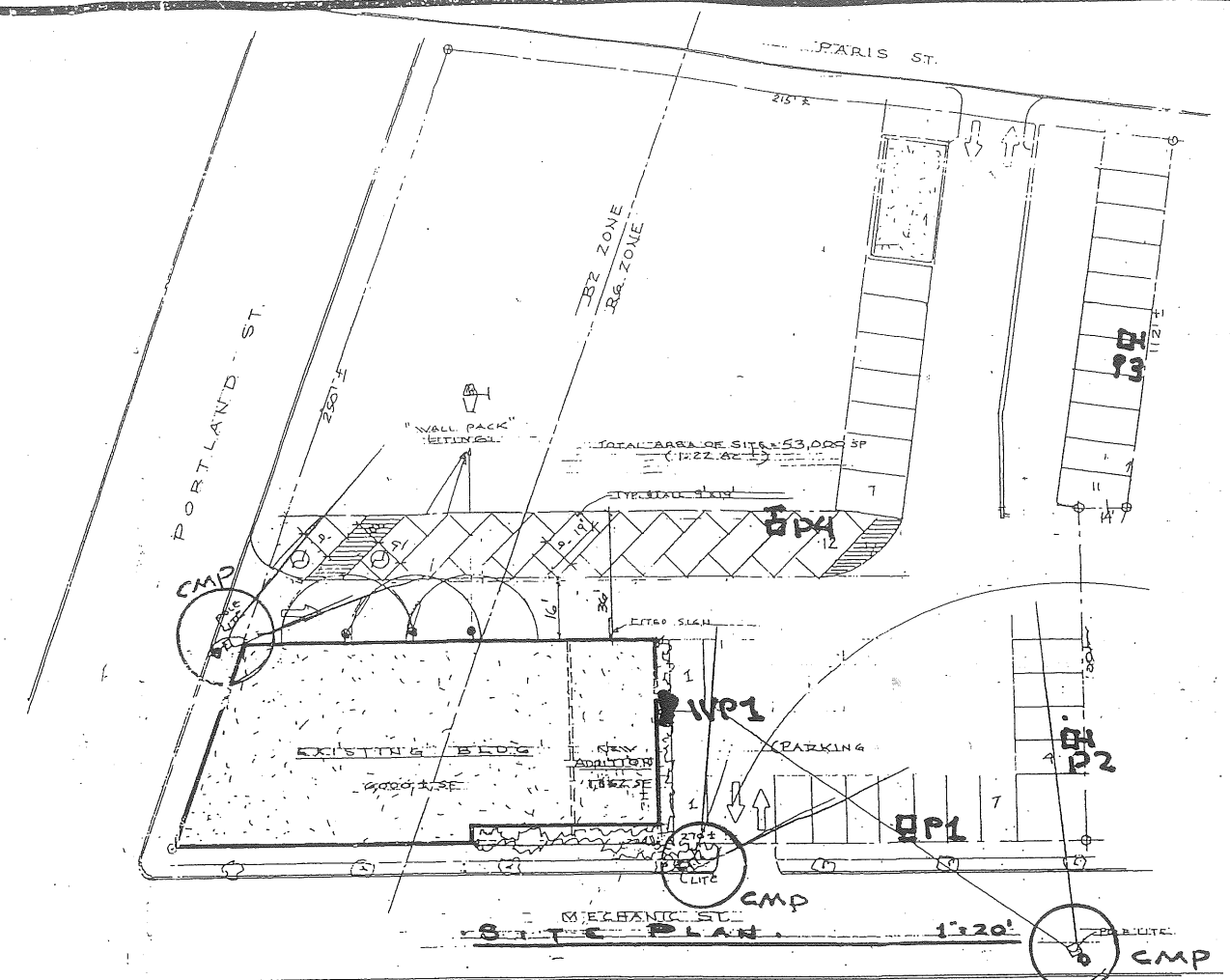


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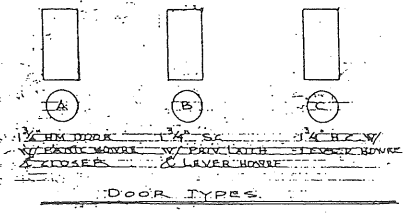
BUBBA - 2008



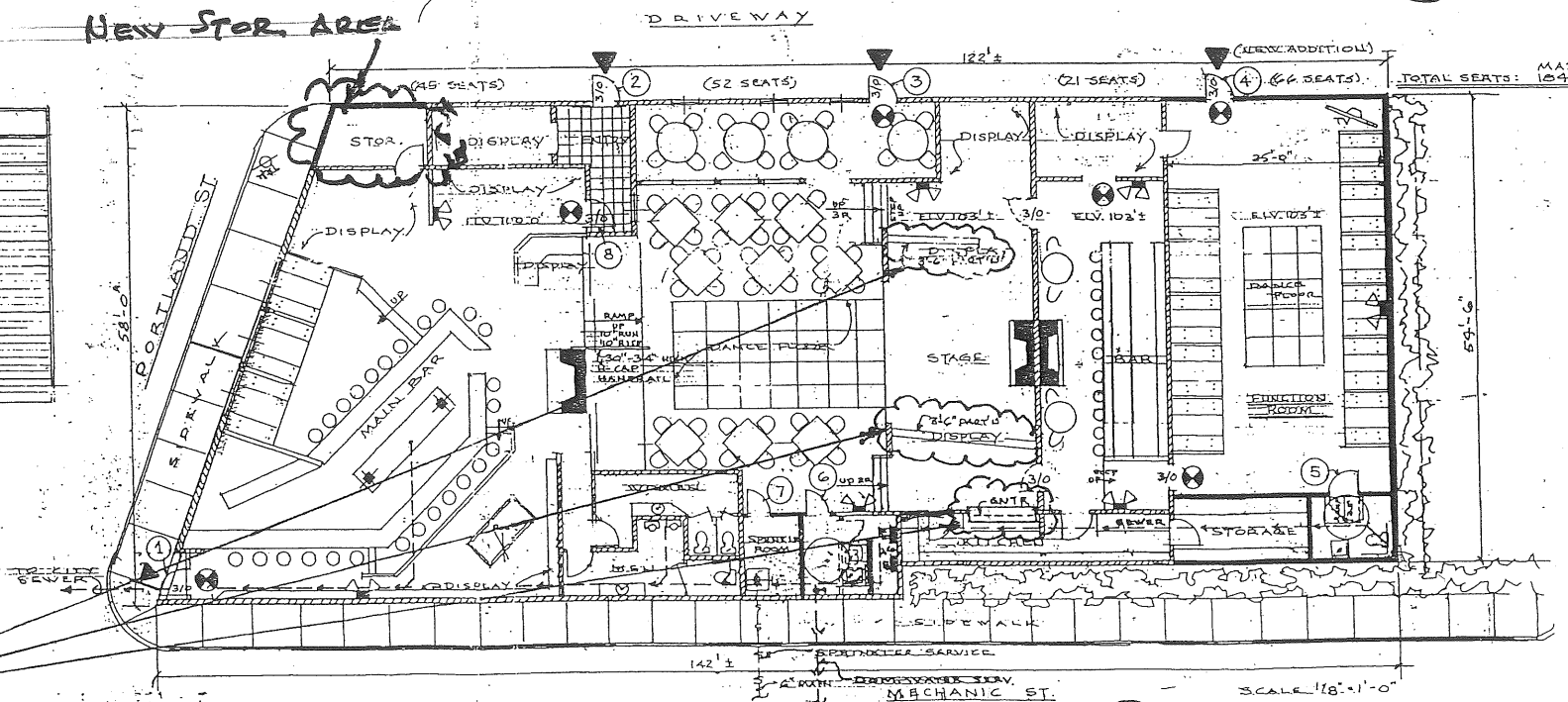
REV.	DATE	STATUS



DOOR SCHEDULE					
NO.	SIZE	TYPE	HARDWARE	CLASS	REMARKS
1	3/4 x 7/8	A	PANIC, GLASS, KEY		
2	3/4 x 7/8	A	DO		
3	3/4 x 7/8	A	DO		
4	3/4 x 7/8	A	DO		
5	3/4 x 7/8	B	LATCH BRIDES, PAW		
6	3/4 x 7/8	B	DO		
7	3/4 x 7/8	L	KEYLOCK		
8	3/4 x 7/8	A	PANIC, GLASS, KEY		
9					
10					



ADD'N OF 2'-3'-6" HIGH WOOD PART'NS & OPNG FOR KITCHEN ACCESS!

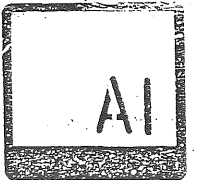
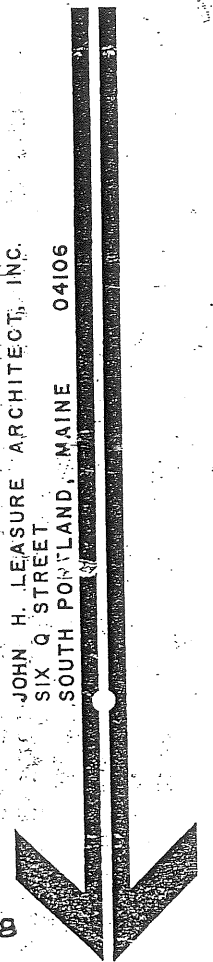


LEGEND
 - EXIT LIGHT
 - EMERGENCY LIGHT
 - NEW FINISH FROM GREAT 1,222 SF
 TOTAL FLOOR AREA: 7,572 SF
 BUILDING IS FULLY SPRAINKLERED
 ZONE: B2 & R6

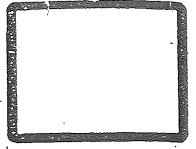
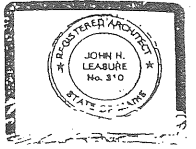
FIRST FLOOR PLAN
 REV. SEPT. 22, 2008
 REV. APRIL 7, 2008

Bubba's Sulky Lounge Addition
 Portland & Mechanic Street
 Portland, Maine

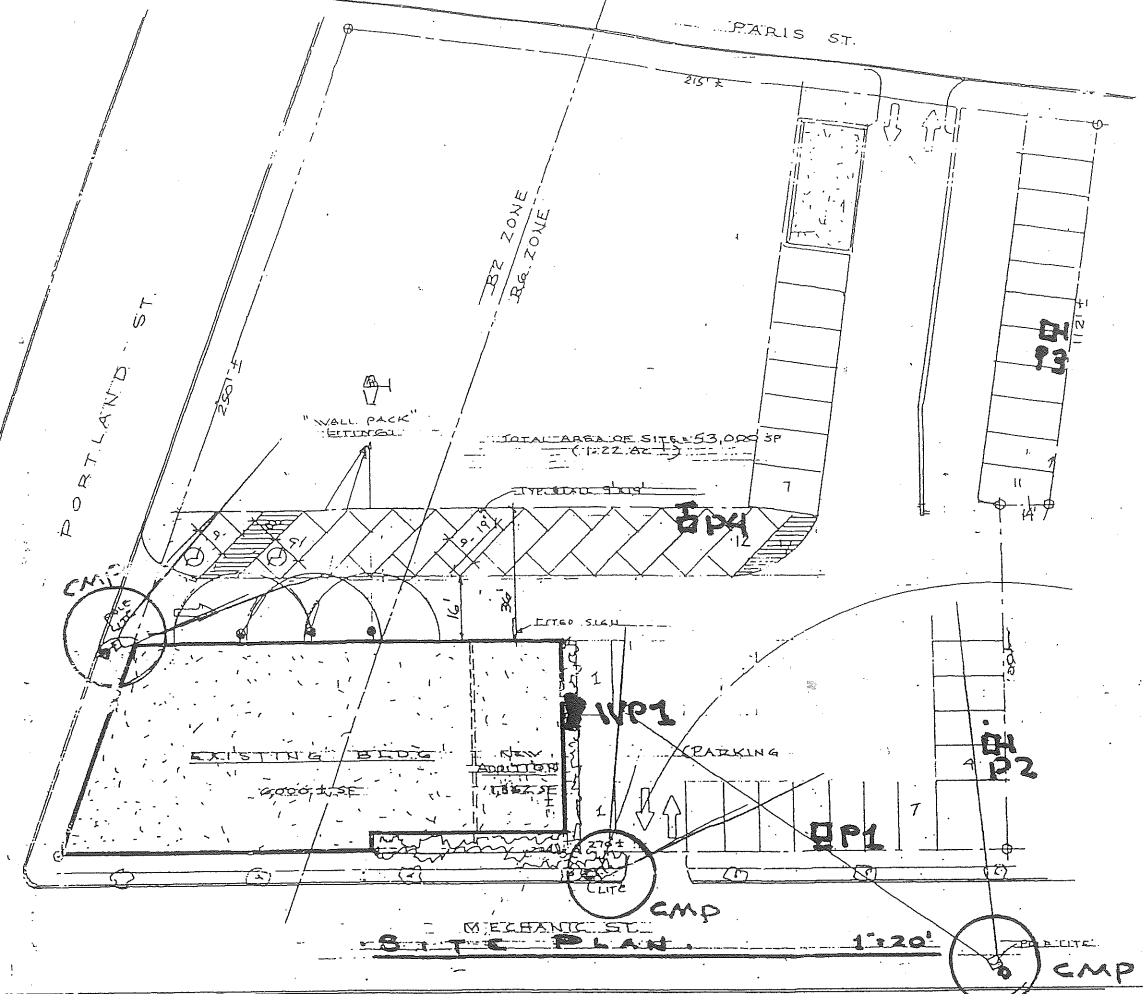
JOHN H. LEASURE ARCHITECT, INC.
 SIX C STREET
 SOUTH PORTLAND, MAINE 04106



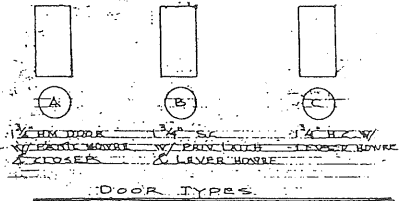
BUBBA-2008



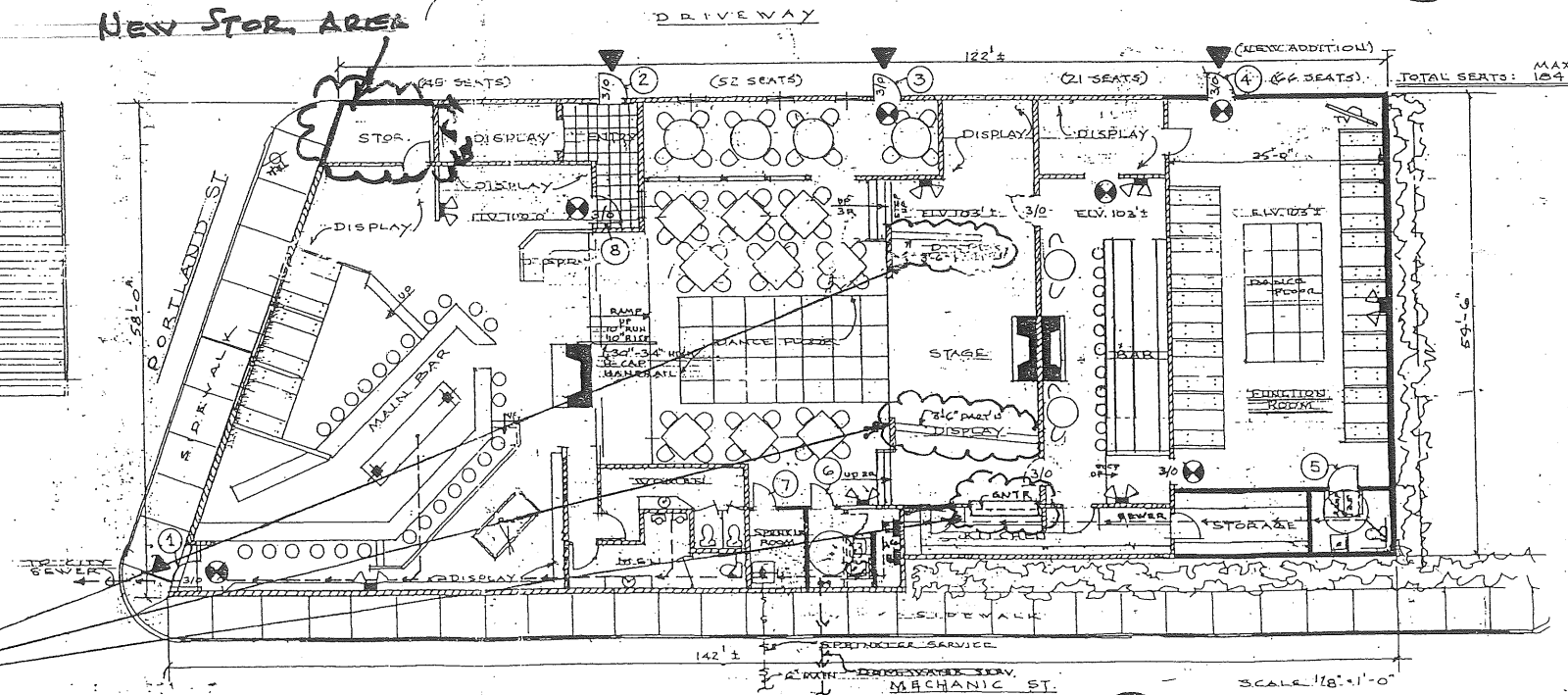
REV. DATE	STATUS



DOOR SCHEDULE					
NO.	SIZE	TYPE	HARDWARE	CLASS	REMARKS
1	3/0 x 7/0	A	PANIC GLASSER KEY		
2	3/0 x 7/0	A	DO		
3	3/0 x 7/0	A	DO		
4	3/0 x 7/0	A	DO		
5	3/0 x 7/0	B	LEVER HANDLE, PRIV. LATCH		
6	3/0 x 7/0	B	DO		
7	3/0 x 7/0	B	KEYLOCK		
8	3/0 x 7/0	A	PANIC GLASSER KEY		
9					
10					



ADD'N OF 2'-3'-6" HIGH WOOD PART'NS & OPNG FOR KITCHEN ACCESS!

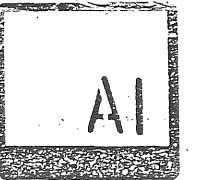
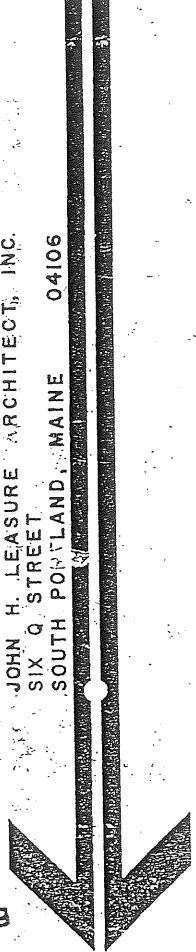


LEGEND
 ● RECL. LIGHT
 ▲ ELEV. DATE
 ■ NEW FINISH FROM EXIST. 210 SF
 ■ NEW FINISH FROM EXIST. 125 SF
 TOTAL FLOOR AREA 7,572 SF
 BUILDING IS FULLY SPRINKLERED
 ZONE: B2 & R6

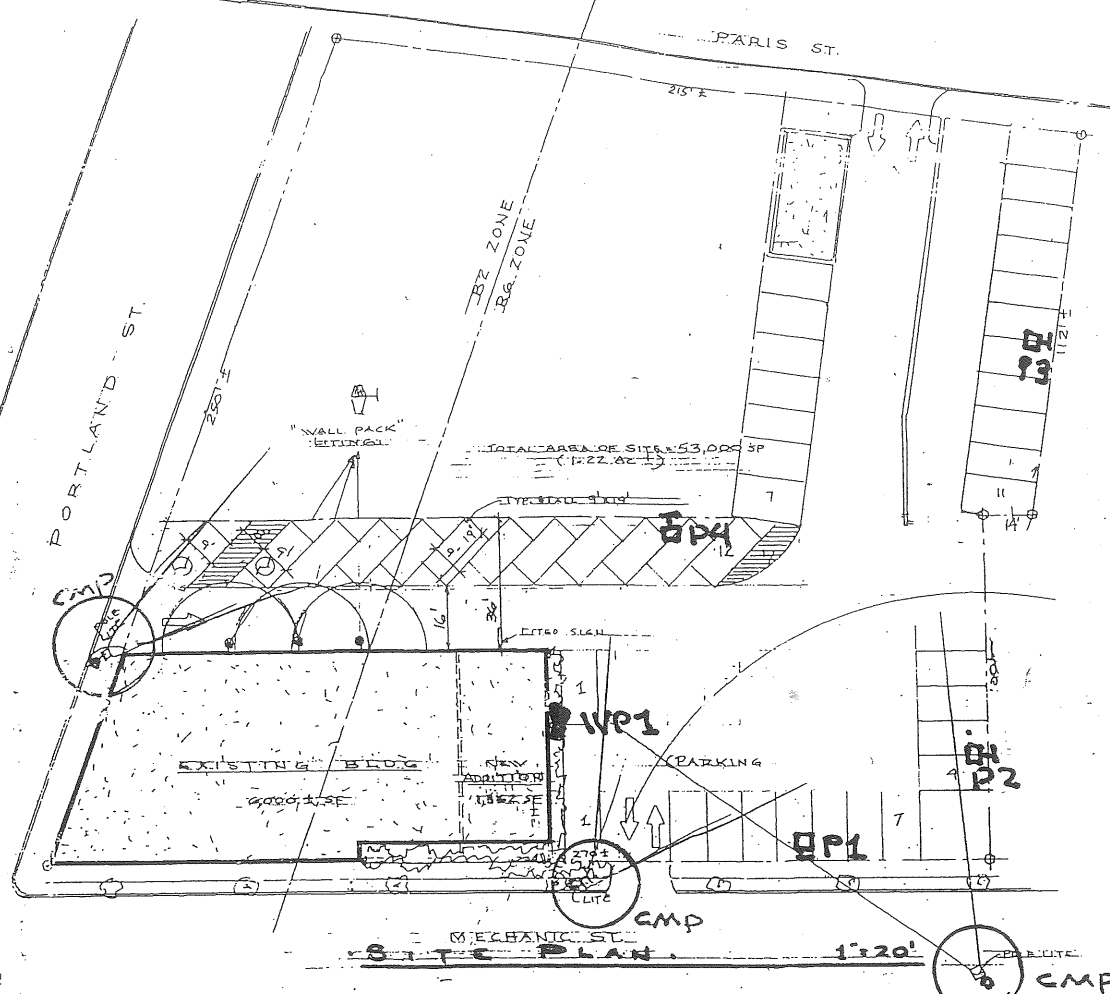
REV. SEPT. 22, 2008
 REV. APRIL 7, 2008
 JANUARY 25, 2008

Bubba's Sulky Lounge Addition
 Portland & Mechanic Street
 Portland, Maine

JOHN H. LEASURE ARCHITECT, INC.
 SIX Q STREET
 SOUTH PORTLAND, MAINE 04106

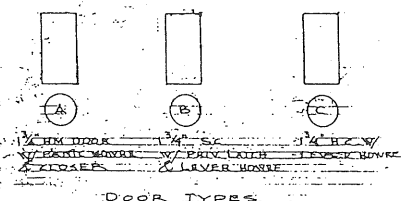


BUBBA - 2008

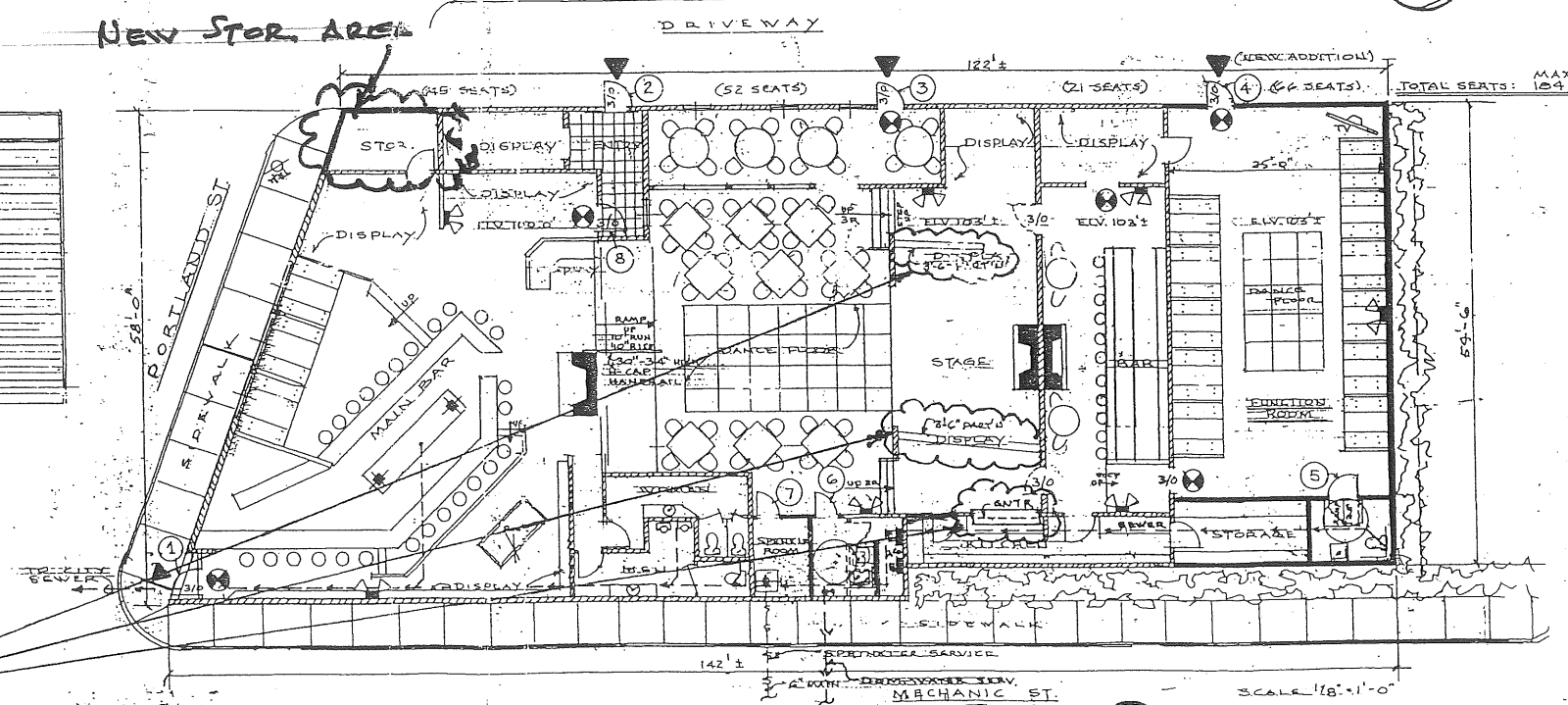


REGISTERED ARCHITECT JOHN H. LEASURE No. 310 STATE OF MAINE	
REV.	STATUS

DOOR SCHEDULE					
NO.	SIZE	TYPE	HARDWARE	CLASS	REMARKS
1	3/8 x 7/8	A	PANEL, FLIPPER, KEY		
2	3/4 x 7/8	A	DO		
3	3/8 x 7/8	A	DO		
4	3/8 x 7/8	A	DO		
5	3/8 x 7/8	B	LEVER, BRONZE, PKIV. LATCH		
6	3/8 x 7/8	B	DO		
7	3/8 x 7/8	C	KEYLOCK		
8	3/8 x 7/8	A	PANEL, FLIPPER, KEY		
9					
10					



ADD'N OF 2-3'-6" HIGH WOOD PART'NS & OP'NG FOR KITCHEN ACCESS!



LEGEND
 ○ EXIT LIGHT
 ○ EMERGENCY
 ○ SMOKE DETECTOR
 ○ SPRINKLER HEAD
 ○ MECHANICAL ROOM AREA 1,322 SF
 TOTAL FLOOR AREA 17,572 SF
 BUILDING IS FULLY SPRINKLERED?
 ZONE: B2 & R6

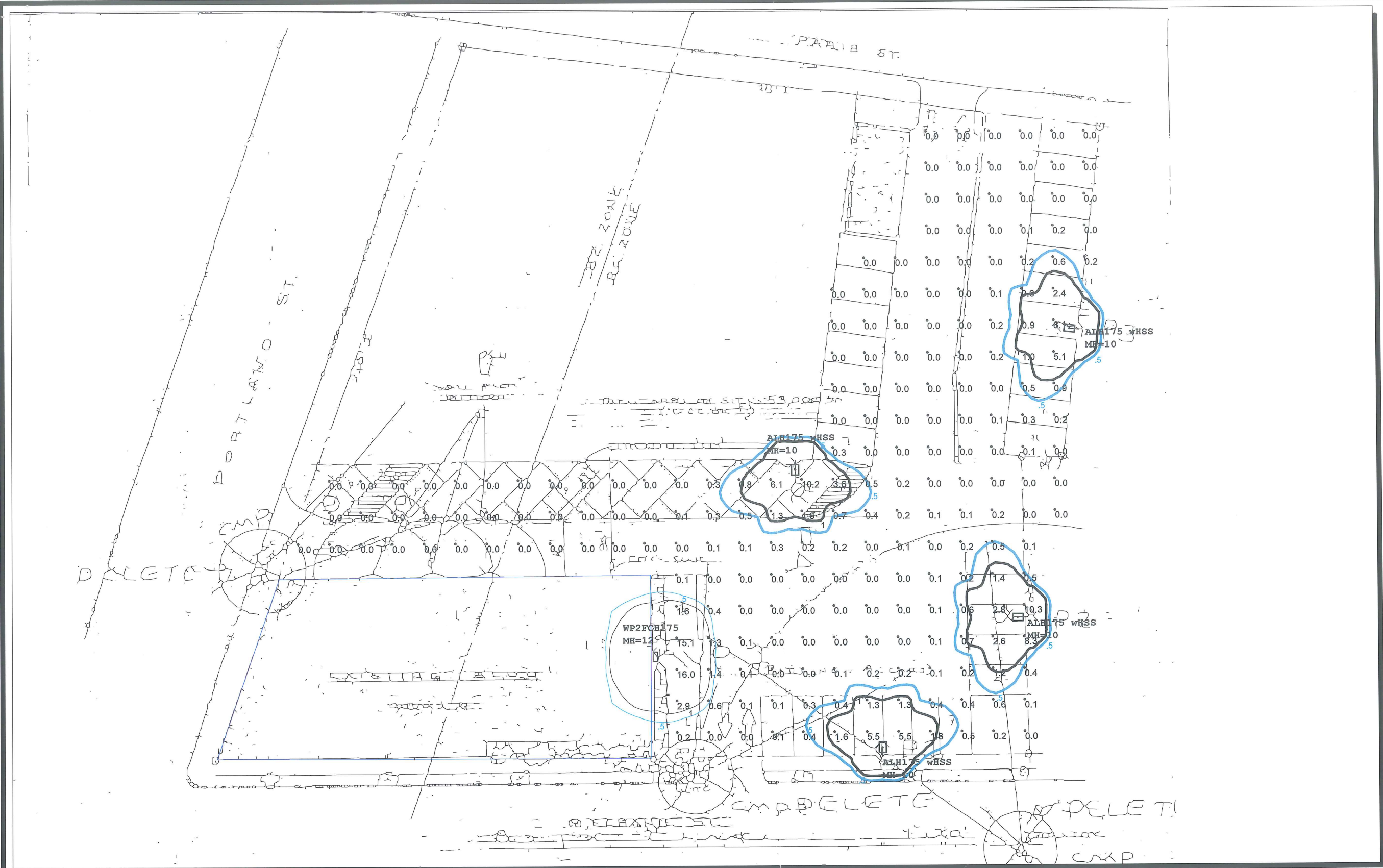
FIRST FLOOR PLAN. REV. SEPT. 22, 2008
 JANUARY 25, 2008 REV. APRIL 7, 2008

Bubba's Sulky Lounge Addition
Portland & Mechanic Street
Portland, Maine

JOHN H. LEASURE ARCHITECT, INC.
 SIX Q. STREET
 SOUTH PORTLAND, MAINE 04106

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BUBBA-2008



MAINTAINED ILLUMINANCE - Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Calcpts	ILLuminance	FC	0.62	16.0	0.0	N.A.	N.A.

Luminaire Schedule		Label	Arrangement	Lumens	LLF	Description
Symbol	Qty	ALH175 WHSS	SINGLE	14000	0.650	ALH 175 TYPE III LUMINAIRE w. HSS
	1	WP2FCH175	SINGLE	14000	0.650	WP2FCH175

Scale: 1 inch= 30 Ft.

RAB
LIGHTING

RAB Lighting
170 Ludlow Avenue
Northvale, NJ 07647

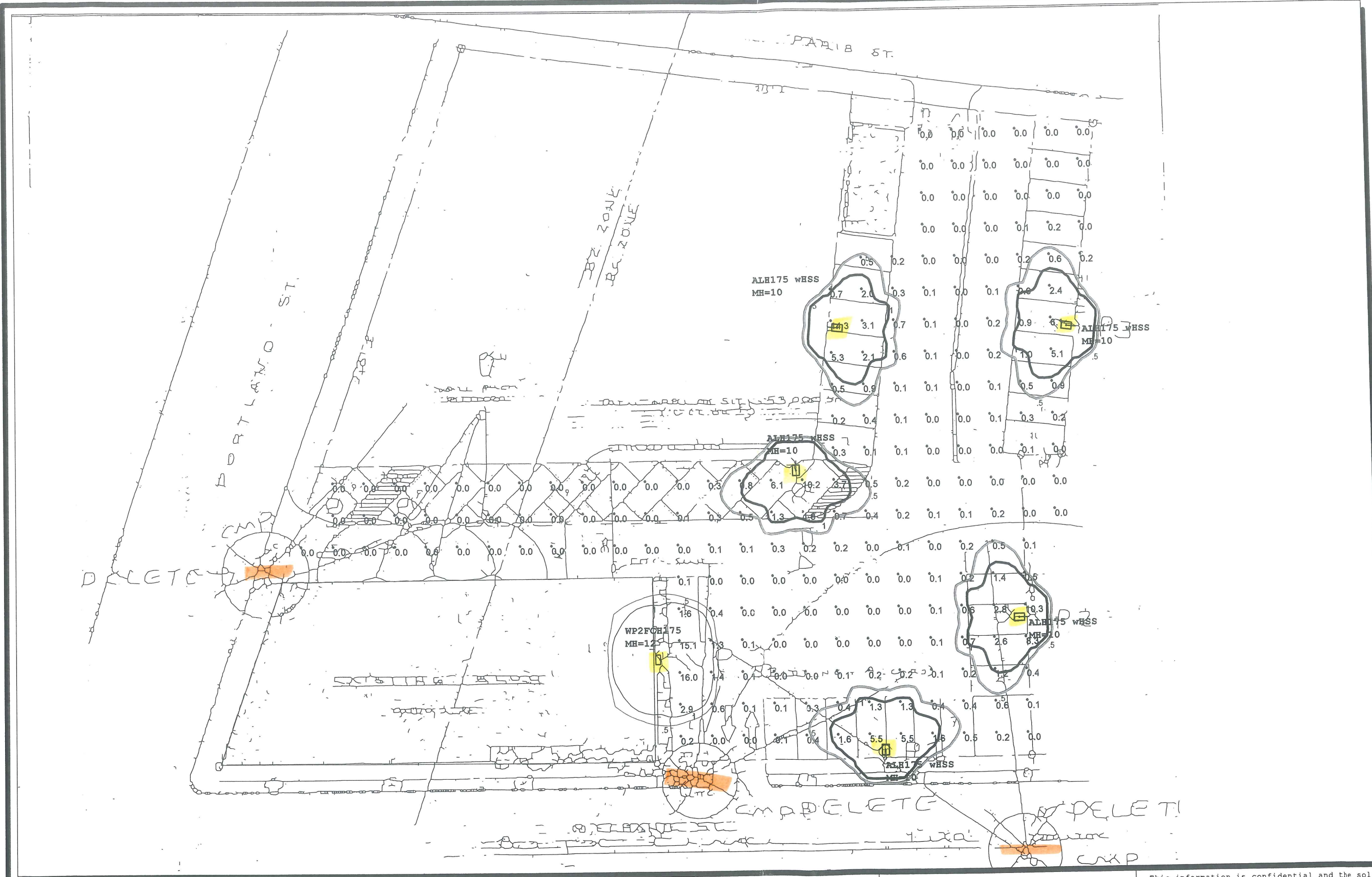
Tel: (888) 722-1000
Fax: (888) 722-1232
WWW.RABWEB.COM

Prepared For:
CED Gilman - Portland
Attn. Bruce

Job Name:
Bubba's Sulky Lounge Addition
Portland & Mechanic Street
Portland, ME

Scale: 1"=30'
Date: 08/01/08
File:
Drawn By: MJW

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MAINTAINED ILLUMINANCE - Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts	Illuminance	FC	0.77	16.0	0.0	N.A.	N.A.

Luminaire Schedule	Label	Qty	Arrangement	Lumens	LLF	Description
	ALH175 WHSS	5	SINGLE	14000	0.650	ALH 175 TYPE III LUMINAIRE w. HSS
	WP2FCH175	1	SINGLE	14000	0.650	WP2FCH175

Scale: 1 inch= 30 Ft.



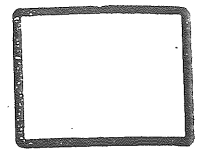
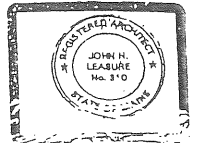
RAB Lighting
 170 Ludlow Avenue
 Northvale, NJ 07647
 Tel: (888) 722-1000
 Fax: (888) 722-1232
 WWW.RABWEB.COM

Prepared For:
 CED Gilman - Portland
 Attn. Bruce

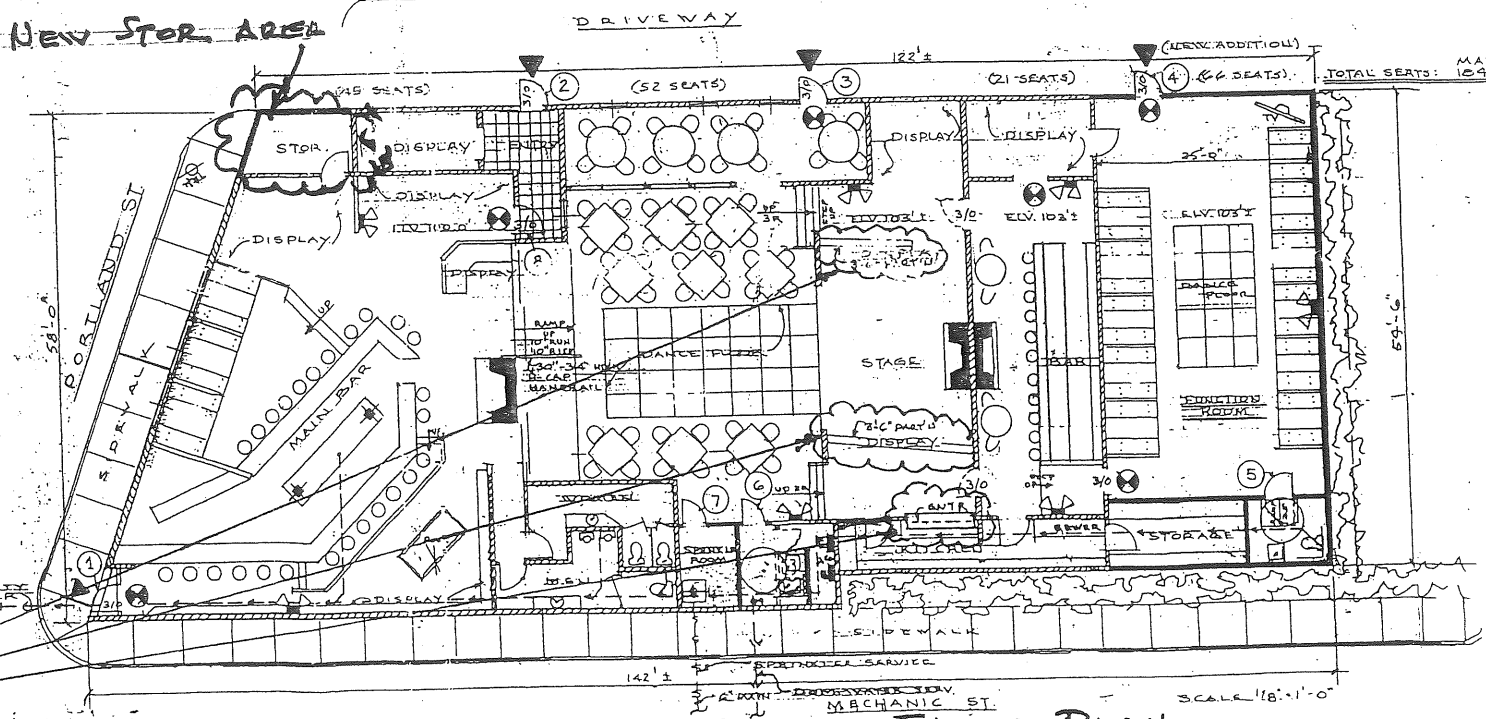
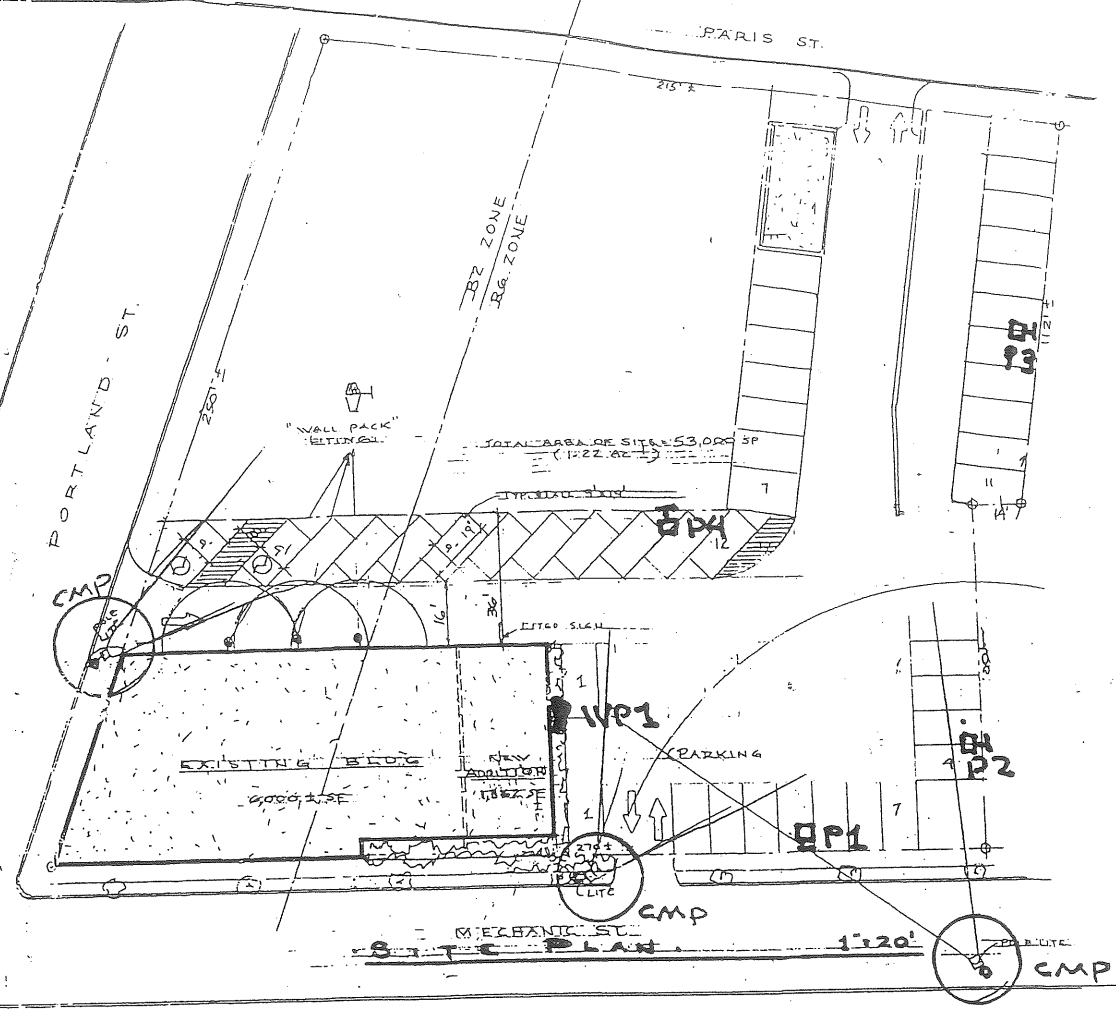
Job Name:
 Bubba's Sulky Lounge Addition
 Portland & Mechanic Street
 Portland, ME

Scale: 1"=30'
 Date: 08/01/08
 File: 080108 Bubba's Sulky Lounge v2
 Drawn By: MJW

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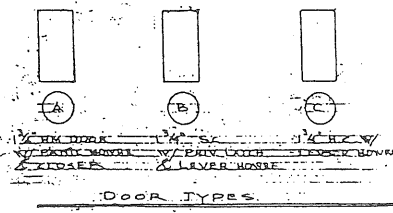


REV.	DATE	STATUS



DOOR SCHEDULE					
NO.	SIZE	TYPE	HANDLING	CLASS	REMARKS
1	3/4 x 7/0	A	PANIC, CLOSE, KEY		
2	3/4 x 7/0	A	DO		
3	3/4 x 7/0	A	DO		
4	3/4 x 7/0	A	DO		
5	3/4 x 7/0	B	LEVER, PUSH, OPEN		
6	3/4 x 7/0	B	DO		
7	3/4 x 7/0	L	KEYLOCK		
8	3/4 x 7/0	A	PANIC, CLOSE, KEY		
9					
10					

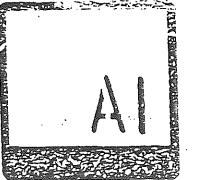
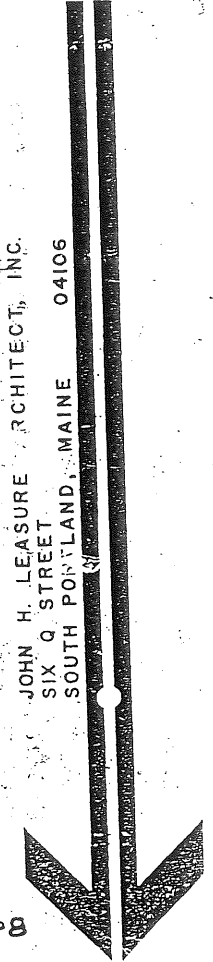
ADD'N OF 2-3'-6" HIGH WOOD PART'NS & OPNG FOR KITCHEN ACCESS!



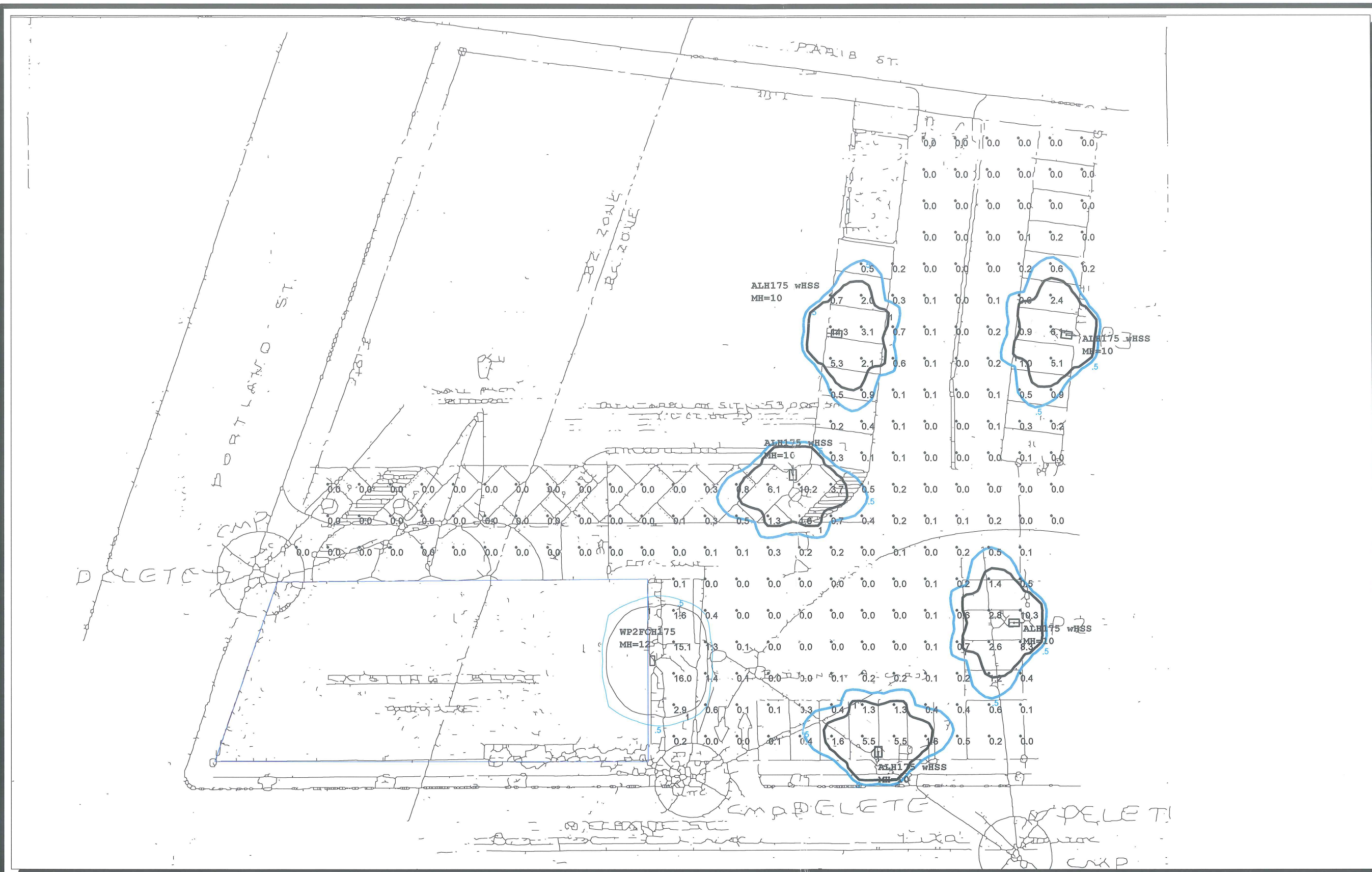
LEGEND
 EXIT LIGHT
 JWERE TITE
 TOTAL FLOOR AREA: 7,592 SF
 BUILDING IS FULLY SPRINKLERED
 ZONE: B2 & R4

Bubba's Sulky Lounge Addition
 Portland & Mechanic Street
 Portland, Maine

REV. SEPT. 22, 2008
 REV. APRIL 7, 2008



BUBBA - 2008



MAINTAINED ILLUMINANCE - Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts	ILLuminance	FC	0.77	16.0	0.0	N.A.	N.A.

Luminaire Schedule		Label	Arrangement	Lumens	LLF	Description
Symbol	Qty	ALH175 WHSS	SINGLE	14000	0.650	ALH 175 TYPE III LUMINAIRE w. HSS
	1	WP2FCH175	SINGLE	14000	0.650	WP2FCH175

Scale: 1 inch= 30 Ft.

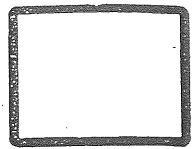
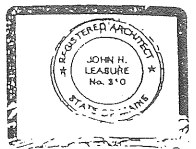
RAB Lighting
 170 Ludlow Avenue
 Northvale, NJ 07647
 Tel: (888) 722-1000
 Fax: (888) 722-1232
 WWW.RABWEB.COM

Prepared For:
 CED Gilman - Portland
 Attn. Bruce

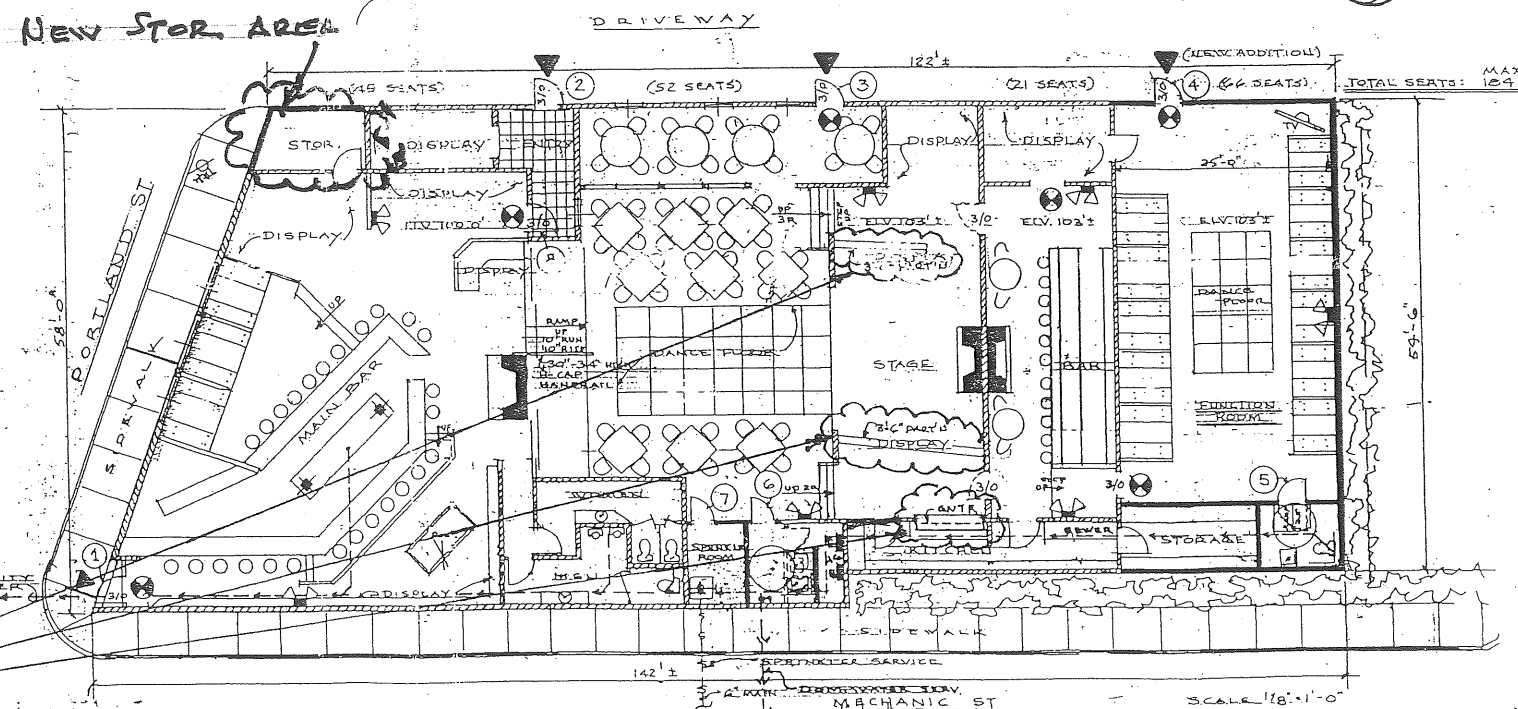
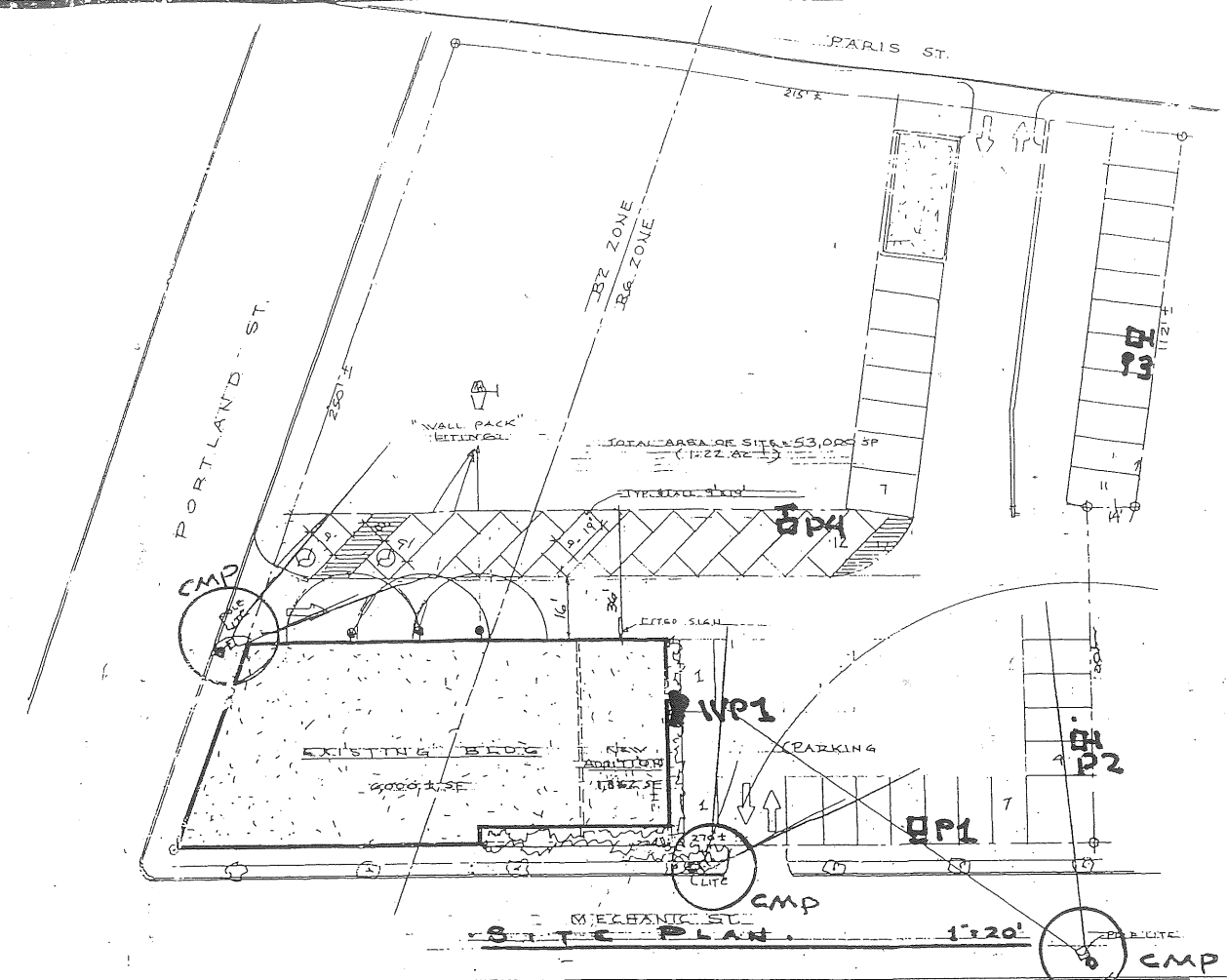
Job Name:
 Bubba's Sulky Lounge Addition
 Portland & Mechanic Street
 Portland, ME

Scale: 1"=30'
 Date: 08/01/08
 File: 080108 Bubba's Sulky Lounge v2
 Drawn By: MJW

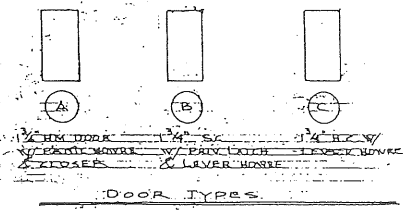
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REV. DATE	STATUS



DOOR SCHEDULE					
NO.	SIZE	TYPE	HARDWARE	CLASS	REMARKS
1	3'-0" x 7'-0"	A	PANIC, KICKER, KEY		
2	3'-0" x 7'-0"	A	DO		
3	3'-0" x 7'-0"	A	DO		
4	3'-0" x 7'-0"	A	DO		
5	3'-0" x 7'-0"	A	LEVEL, BRIDGES, PLG		
6	3'-0" x 7'-0"	B	DO		
7	3'-0" x 7'-0"	L	XXXXXX		
8	3'-0" x 7'-0"	A	PANIC, KICKER, KEY		
9					
10					



ADD'N OF 2'-3'-6" HIGH WOOD PART'NS & OPNG FOR KITCHEN ACCESS!

LEGEND
 EXIT LIGHT
 SWERCHITE
 TOTAL FLOOR AREA 7,572 SF
 BUILDING IS FULLY SPRINKLERED
 ZONE: B2 & B6

REV. SEPT. 22, 2008
 REV. APRIL 7, 2008
 JANUARY 25, 2008

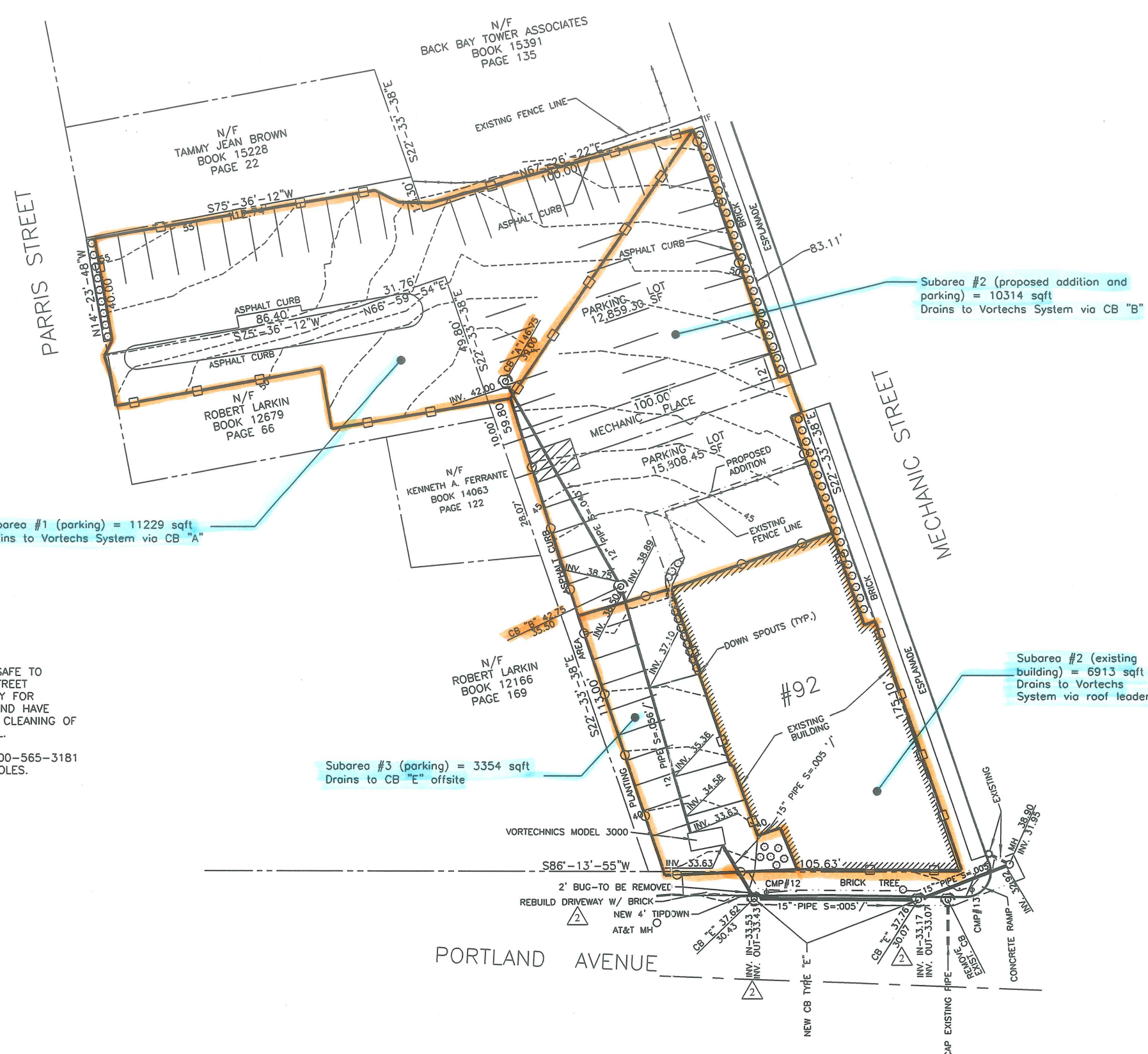
Bubba's Sulky Lounge Addition
 Portland & Mechanic Street
 Portland, Maine

JOHN H. LEASURE ARCHITECT, INC.
 SIX Q STREET
 SOUTH PORTLAND, MAINE 04106



AI

12/15/08 - 2008



NOTES:

1. BENCH MARK - C & GS BENCH MARK DISC IN TOP OF GRANITE BLOCK B' EAST OF CENTER OF ENTRANCE TO THE POST OFFICE ON THE SOUTH SIDE - 38.49 MEAN TIDE.
2. ELEVATION OF NAIL IN POLE CMP #12 - 38.96.
3. REPLACE EXISTING BRICK CATCH BASIN ON PORTLAND AVENUE WITH NEW TYPE "E" CATCH BASIN AND CAP EXISTING PIPE.
4. REPLACE EXISTING CURB & REBUILD CONCRETE RAMP AT THE CORNER OF MECHANIC STREET AND PORTLAND AVENUE.
5. REBUILD EXISTING ASPHALT RAMP WITH BRICK FOR PARKING LOT ENTRANCE OFF PORTLAND AVENUE.
6. THE 6" LATERALS FOR DOWN SPOUTS WILL HAVE A SLOPE OF S = .02 '/'.
7. ALL MATERIAL UTILIZED FOR CONSTRUCTION SHALL BE IN CONFORMITY WITH THE STATE OF MAINE "SPECIFICATIONS FOR HIGHWAYS & BRIDGES", REVISION 2002.
8. ALL PIPE FROM VORTECHNICS MODEL 3000 TO THE MANHOLE IN MECHANIC STREET SHALL BE EITHER PVC PIPE OR REINFORCED CONCRETE PIPE.
9. OWNER OF RECORD: ROBERT F. LARKIN
3 GROVO LANE
SCARBOROUGH, MAINE 04074
BOOK 2932, PAGE 426
BOOK 3500, PAGE 271
BOOK 3120, PAGE 357
BOOK 3454, PAGE 17
BOOK 3384, PAGE 187
BOOK 3193, PAGE 416
BOOK 3739, PAGE 257

LEGEND

- ROAD CENTER LINE
- EXISTING MANHOLE
- VORTECHNICS MODEL 3000
- - - CONTOUR LINE
- EXISTING TREES
- - - FINISH CONTOUR LINE
- - - EXISTING FENCE LINE
- PROPOSED STORMWATER PIPE
- 6" LATERALS FOR DOWN SPOUTS
- ⊕ CMP TELEPHONE POLE
- EXISTING CATCH BASIN
- - - PROPOSED ADDITION
- EXISTING STORMWATER PIPE
- ⊕ CB-36.06 RIM ELEVATION
- 30.00 SUMP ELEVATION
- EXISTING PROPERTY LINE
- EXISTING FENCE LINE
- LIMIT OF WORK
- DRAINAGE SUBAREA BOUNDARY
- DRAINAGE SUBAREA BOUNDARY

NOTE: ⚠

1. THE CONTRACTOR SHALL CONTACT DIG SAFE TO MARK ALL EXISTING UTILITIES; OBTAIN STREET OPENING PERMITS; CHECK WITH THE CITY FOR STORAGE OF EXISTING CITY MATERIALS AND HAVE A PLAN FOR CITY APPROVAL FOR DAILY CLEANING OF STREETS OF DEBRIS AND DUST CONTROL.
2. CONTRACTOR SHALL CONTACT CMP 1-800-565-3181 TO SCHEDULE WORK AROUND POWER POLES.



GRAPHIC SCALE
SCALE: 1"=20'

⚠	9/09/05	RELOCATED CATCHBASINS TO ALLOW EXTRA CLEARANCE FOR POLES	HPG
⚠	8/17/05	ADDED BOUNDARY SURVEY, EXISTING PARKING.	HPG

STORMWATER TREATMENT PLAN	
BUBBA'S SULKY LOUNGE 92 PORTLAND STREET PORTLAND, MAINE THEODORE LARKIN HERBERT P. GRAY 111 SIMMONS ROAD, SOUTH PORTLAND, MAINE 04106	
SCALE: 1"=20'	DWG. NO. 1 OF 3
DATE: 8/08/05	
DRAWN BY: DHG	
CHECKED BY: HPG	