

**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

0360-H-001

Location of Construction: 110 Portland St		Owner: Roger Whitliff		Phone: 207-874-1112	
Owner Address: 110 Portland St - 2nd Fl		Leasee/Buyer's Name:		Phone:	
Contractor Name: 1212P		Address:		Phone:	
Past Use: restaurant		Proposed Use: restaurant & interior renovations		COST OF WORK: \$ 20,000	
Proposed Project Description: make interior renovations  (landis removal done by pick-up truck)		FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied		PERMIT FEE: \$ 100	
		Signature: [Signature]		INSPECTION: Use Group 03 Type 7B MCA 92 [Signature]	
Permit Taken By: L. Chase		Date Applied For: 1/2/96			

Permit No: ~~0360-H-001~~ **960017**

Permit Issued:

**PERMIT ISSUED**

JAN 12 1996

0360-H-001

**CITY OF PORTLAND**

Zoning Approval:

**Special Zone or Reviews:**

Shoreland  
 Wetland  
 Flood Zone  
 Subdivision  
 Site Plan maj  minor  mm

**Zoning Appeal**

Variance  
 Miscellaneous  
 Conditional Use  
 Interpretation  
 Approved  
 Denied

**Historic Preservation**

Not in District or Landmark  
 Does Not Require Review  
 Requires Review

Action:

Approved  
 Approved with Conditions  
 Denied

Date: \_\_\_\_\_

**PERMIT ISSUED WITH LETTER**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT	ADDRESS:	DATE:	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE			PHONE:

CEO DISTRICT

COMMENTS

10/31/96 work going well about 90% completed  
12-31-96 - Rear Guard rail 42" needed + 36" guard rail on stairs/rear egress - Int guardrails 36" in height / Close up fire penetrations in basement ceiling / Pb Hot water heater PT Ref. Value 6" to 12" from fl. Exit 1.gh 1st fl. Front. / Deck - plans included must file Amendment. call

5/5/96 Inspected changing interior stairs  
treads were too small. Still doing cosmetic work

interior walls. Burn't joists + wall studs, guttered  
1/96 tearing out rotted +

2 weeks to check framing  
interior walls with 2x4 studs +  
2x6 studs. Also exterior walls

Inspection Record

Type	Date
Foundation:	2/8/96 Re work in progress
Framing:	New Support Posts on first floor
Plumbing:	New floor joists for 2nd Floor
Final:	MWJ
Other:	

7/16/96 Completed, AW

Inspection Services  
P. Samuel Hoffses  
Chief



Planning and Urban Development  
Joseph E. Gray Jr.  
Director

## CITY OF PORTLAND

January 8, 1997

Roger Bintliff  
Bintliff's Cafe  
98 Portland Street  
Portland, Maine 04102

RE: 98 Portland Street

Dear Roger,

On January 2, 1997, I conducted an electrical inspection at the above referenced address and found the following electrical items which must be completed along with electrical violations/unsafe conditions which must be corrected.

1. Install outside lighting on the building in both the front and rear.
2. Install outside outlet in rear of building
3. Exhaust hood wiring shall be of an approved method. Change ROMEX connection
4. Blank off all unused outlets and switch boxes
5. Install blank-offs in electrical panels
6. Label all electrical panels. Directories shall be typed
7. Service entrance conductors located on the gambell roof, shall be installed in rigid galvanized conduit from service drop to meter socket. LEFT AS IS CREATES A CLEAR AND PRESENT DANGER.
8. Do not sleeve type SE cable into conduit. Use individual approved conductors
9. SER cable at panel in basement shall be installed with an approved connector.
10. All installations shall first be approved by the electrical inspector.

All of the items, violations/unsafe conditions must be corrected within 30 days of receipt of this letter. Failure to comply may result in further action from this office.

Sincerely,

Michael A. Collins  
Chief Electrical Inspector  
City of Portland

cc: Inspection Services Division/P.S. Hoffses, M. Schmuckal, Lt. McDougall, D. Jordan  
Central Maine Power, D. Bates, P. Connolly

Inspection Services  
P. Samuel Hoffses  
Chief



Planning and Urban Development  
Joseph E. Gray Jr.  
Director

## CITY OF PORTLAND

January 11, 1996

Mr. Roger Bintliff  
3 Lafayette Street  
Yarmouth, Maine 04096

RE: 98 Portland Street  
Portland, Maine

Dear Mr. Bintliff,

Your application to make interior renovations has been reviewed and a permit is herewith issued subject to the requirements listed below. This permit does not excuse the applicant from meeting applicable State and Federal laws.

**No Certificate of Occupancy will be issued until all requirements of this letter are met.**

1. No exterior means of egress is shown on the submitted plans. Any such exterior work or any other additions need a separate permit for review. A site plan and structural plans shall be required at the time of application.
2. Under the Building Code, unless the building has a fire protection system or the structural elements of the building meet the fire resistance rating of Table 602, the second floor cannot be used as a restaurant. The building code is the BOCA National Building Code.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,

P. Samuel Hoffses  
Chief, Code Enforcement Division

cc: Lt. McDougall, PFD  
M. Schmuckal, Asst. C, Code Enf Div

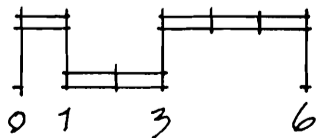
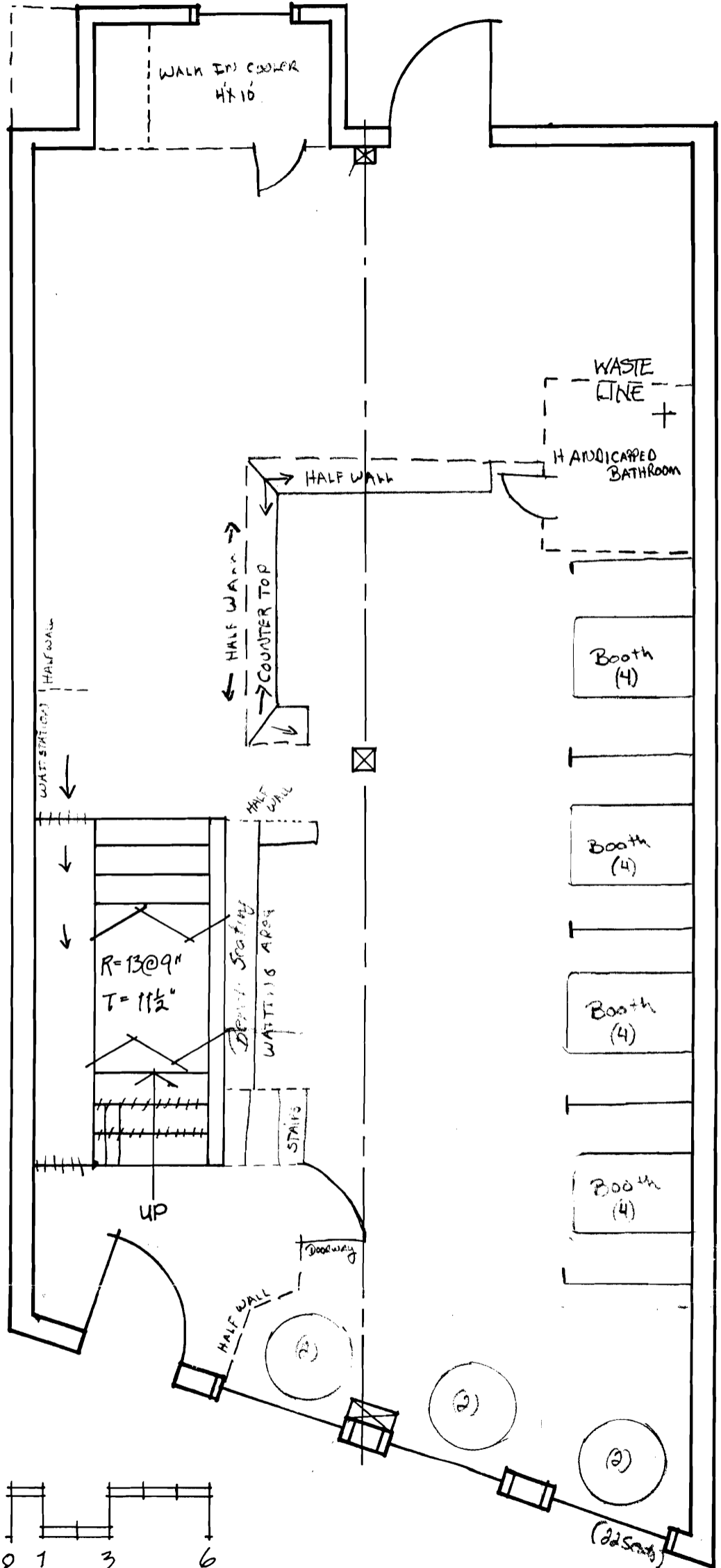
r. brook (architect)  
317 cumberland ave.  
portland, me. 04101  
(207) 772-7448

12/15/95

in reference to: floor plans of existing structure

professional services	Hours	Rate	Amount
measured drawings on site	1	\$18.50	\$18.50
studio drawings	2	"	37.00
copies	1	"	18.50
			-----
	4		\$74.00
balance due			\$74.00

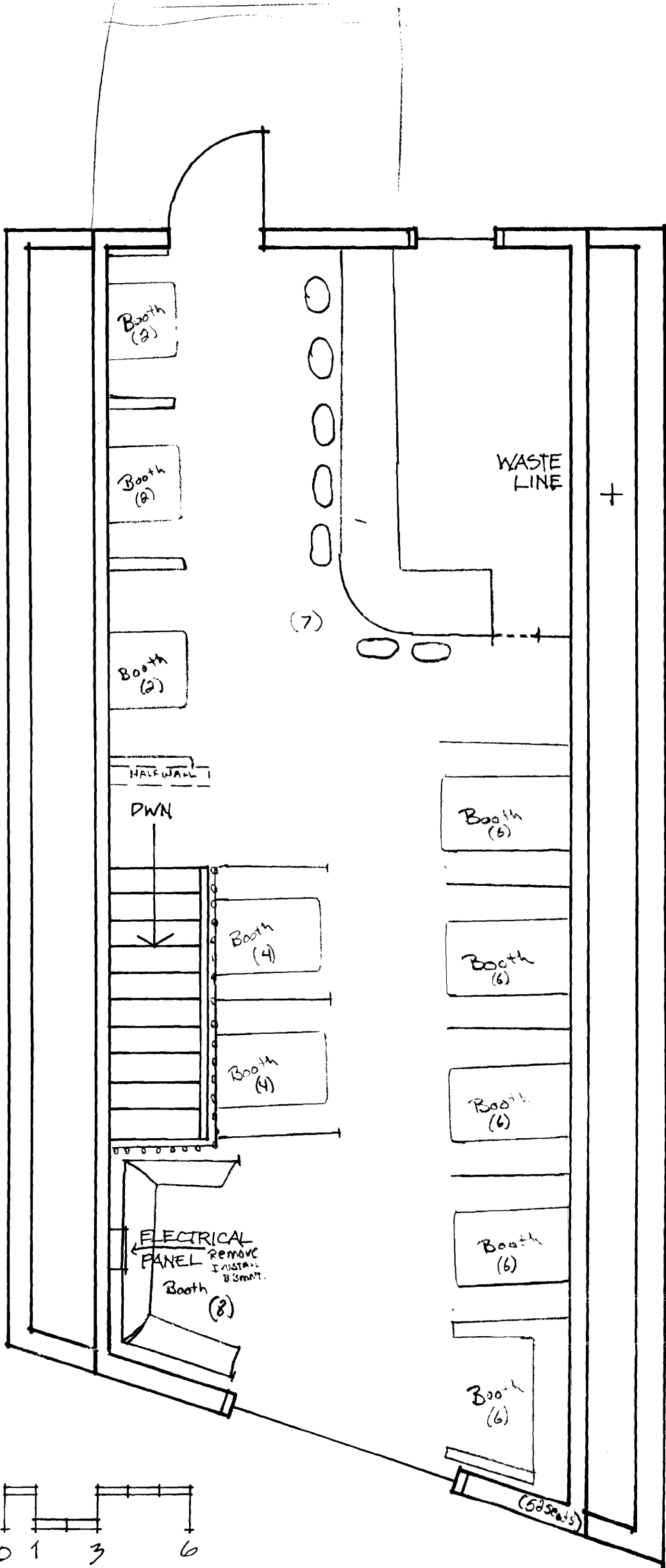
Seating area



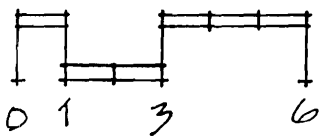
(ft)

GROUND FLOOR PLAN  
drawn by r. brook 12/95

PROPOSED



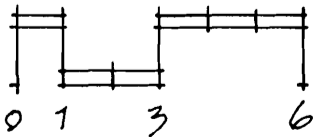
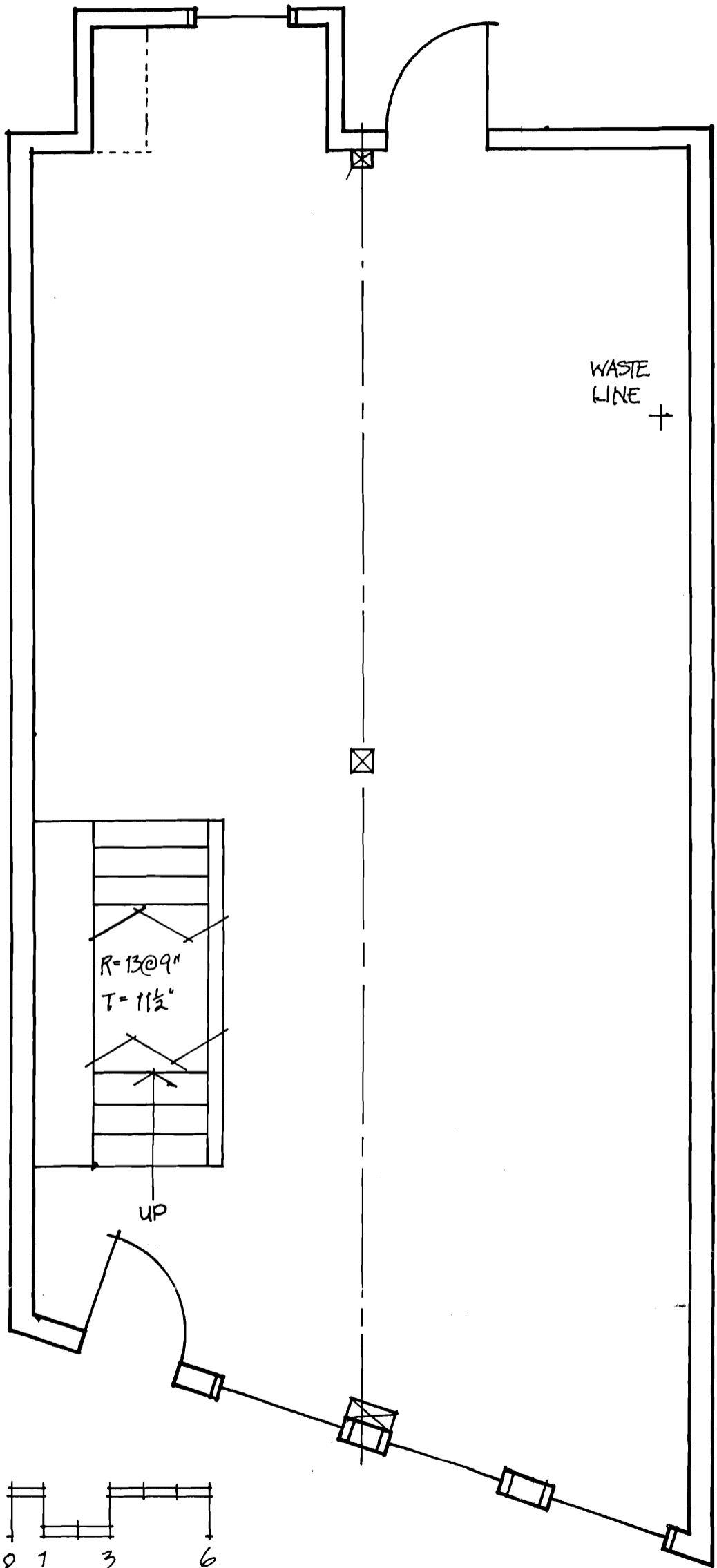
New Area  
for use



(ft.) 1/4" = 1' SCALE

SECOND FLOOR PLAN  
drawn by r.brook 12/95

PROPOSED

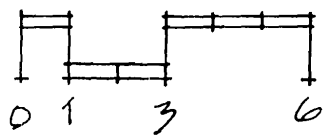
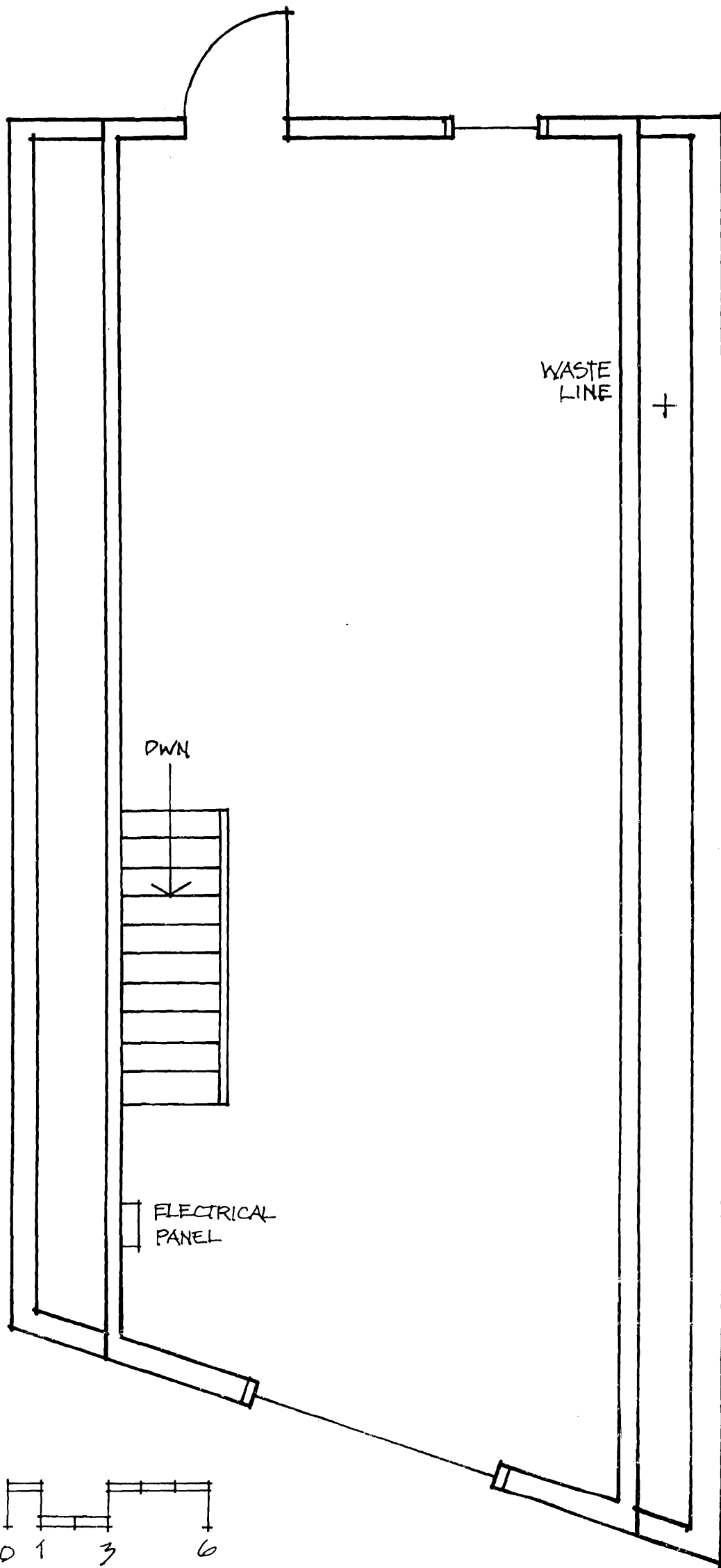


(ft)

GROUND FLOOR PLAN  
 drawn by r. brook 12/95

EXISTING





(ft.)

SECOND FLOOR PLAN  
 drawn by r.brook 12/95

EXISTING