

City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

036-H-001

Location of Construction: 98 Portland St		Owner: Roger Bintliff		Phone: 845-0142	
Owner Address: J Lafayette St- REIX Yarmouth ME 04095		Leasee/Buyer's Name:		Phone:	
Contractor Name: owner		Address:		Phone:	
Past Use: restaurant		Proposed Use: restaurant w intr renovatns		COST OF WORK: \$ 20,000 PERMIT FEE: \$ 120 FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group 93 Type 5B Signature: [Signature]	
Proposed Project Description: make interior renovations (debris removal done by pick-up truck)		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Signature: [Signature] Date: [Date]		Signature: [Signature]	
Permit Taken By: L Chase		Date Applied For: 1/8/96			

Permit No: ~~036-H-001~~
960017

Permit Issued:
PERMIT ISSUED
 JAN 12 1996
 036-H-001

Zone: CBI
CITY OF PORTLAND

Zoning Approval:
 Special Zone or Reviews:
 Shoreland
 Wetland
 Flood Zone
 Subdivision
 Site Plan major minor mm

Zoning Appeal:
 Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation:
 Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:
 Approved
 Approved with Conditions
 Denied

Date: [Date]

- This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules. (GBL)-036--H-002-001
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH LETTER

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT: [Signature] ADDRESS: DATE: 1-8-96 PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT #5

COMMENTS

10/31/96 Work going well about 90% completed
 12-31-96 - Per Guard rail 42" needed + 36" Guard rail on stairs / rear
 egress - Int guard rails 36" in height / end of / Close up tie penetrations
 in basement ceiling / Pb Hot water heater PT Rel. valve 6" to 12" from fl.
 Exit 1st fl. Front. / Deck - plan^{1st} included must file Amendment.
 Call

5/5/96 Inspected chimney interior stang
 threads were to small. Still doing cosmetic work

interior walls. Muly
 Burn't joists & wall studs, gattered &
 tearing out rotted +

3-4-96 Re checked framing
 OK to close in rypthing
 interior with 8x8 trimout
 wall section replaced.
 opening

Inspection Record

Type	Date
Foundation:	4/8/96 Re work in progress
Framing:	New Support Posts on first floor
Plumbing:	New floor joists for 2nd floor
Final:	
Other:	7/16/97 Completed GC

Inspection Services
P. Samuel Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

January 8, 1997

Roger Bintliff
Bintliff's Cafe
98 Portland Street
Portland, Maine 04102

RE: 98 Portland Street

Dear Roger,

On January 2, 1997, I conducted an electrical inspection at the above referenced address and found the following electrical items which must be completed along with electrical violations/unsafe conditions which must be corrected.

1. Install outside lighting on the building in both the front and rear.
2. Install outside outlet in rear of building
3. Exhaust hood wiring shall be of an approved method. Change ROMEX connection
4. Blank off all unused outlets and switch boxes
5. Install blank-offs in electrical panels
6. Label all electrical panels. Directories shall be typed
7. Service entrance conductors located on the gambell roof, shall be installed in rigid galvanized conduit from service drop to meter socket. LEFT AS IS CREATES A CLEAR AND PRESENT DANGER.
8. Do not sleeve type SE cable into conduit. Use individual approved conductors
9. SER cable at panel in basement shall be installed with an approved connector.
10. All installations shall first be approved by the electrical inspector.

All of the items, violations/unsafe conditions must be corrected within 30 days of receipt of this letter. Failure to comply may result in further action from this office.

Sincerely,

Michael A. Collins
Chief Electrical Inspector
City of Portland

cc: Inspection Services Division/P.S. Hoffses, M. Schmuckal, Lt. McDougall, D. Jordan
Central Maine Power, D. Bates, P. Connolly

Inspection Services
P. Samuel Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

January 11, 1996

Mr. Roger Bintliff
3 Lafayette Street
Yarmouth, Maine 04096

RE: 98 Portland Street
Portland, Maine

Dear Mr. Bintliff,

Your application to make interior renovations has been reviewed and a permit is herewith issued subject to the requirements listed below. This permit does not excuse the applicant from meeting applicable State and Federal laws.

No Certificate of Occupancy will be issued until all requirements of this letter are met.

1. No exterior means of egress is shown on the submitted plans. Any such exterior work or any other additions need a separate permit for review. A site plan and structural plans shall be required at the time of application.
2. Under the Building Code, unless the building has a fire protection system or the structural elements of the building meet the fire resistance rating of Table 602, the second floor cannot be used as a restaurant. The building code is the BOCA National Building Code.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,

P. Samuel Hoffses
Chief, Code Enforcement Division

cc: Lt. McDougall, PFD
M. Schmuckal, Asst. C, Code Enf Div

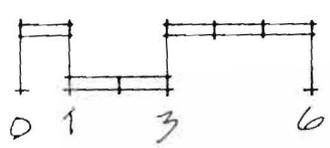
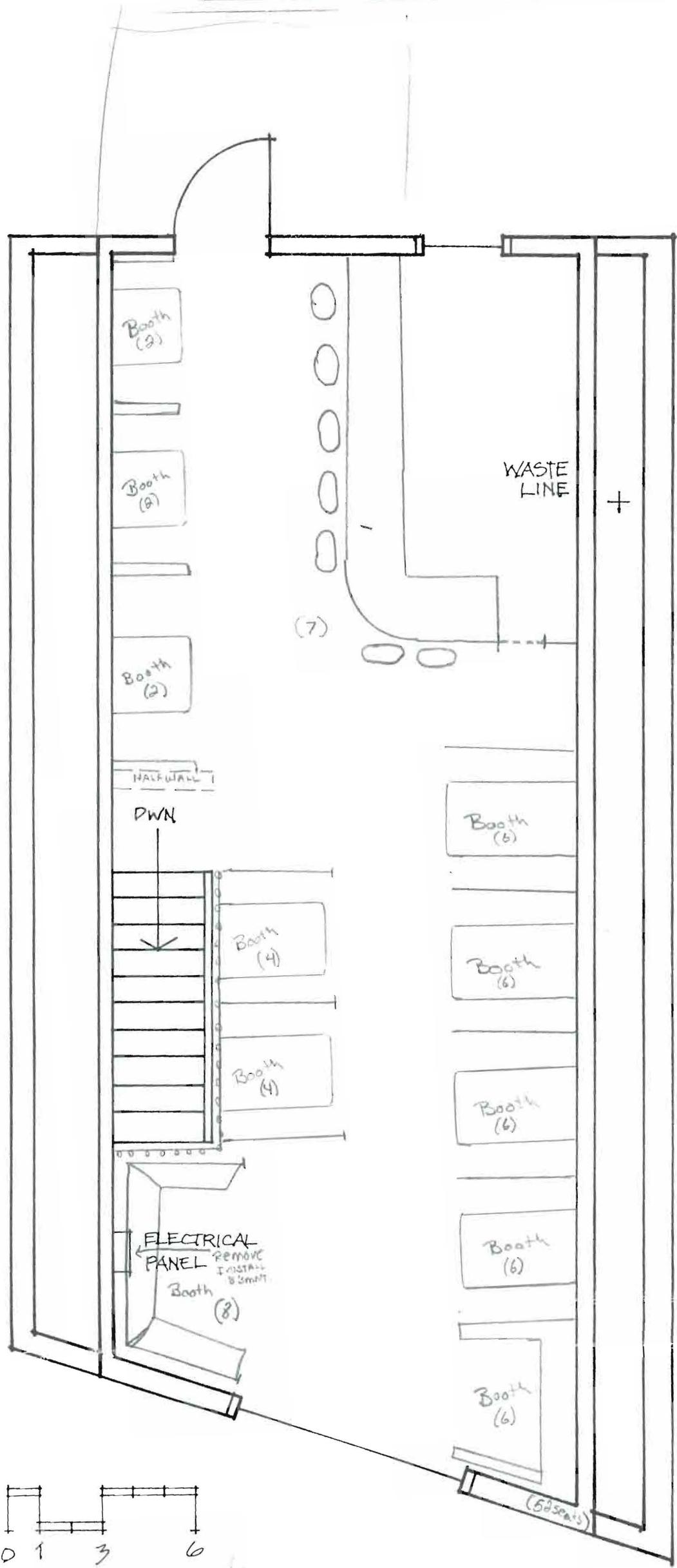
r. brook (architect)
317 cumberland ave.
portland, me. 04101
(207) 772-7448

12/15/95

in reference to: floor plans of existing structure

professional services	Hours	Rate	Amount
measured drawings on site	1	\$18.50	\$18.50
studio drawings	2	"	37.00
copies	1	"	18.50

	4		\$74.00
balance due			\$74.00



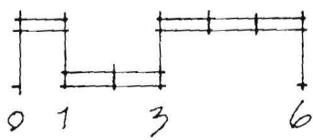
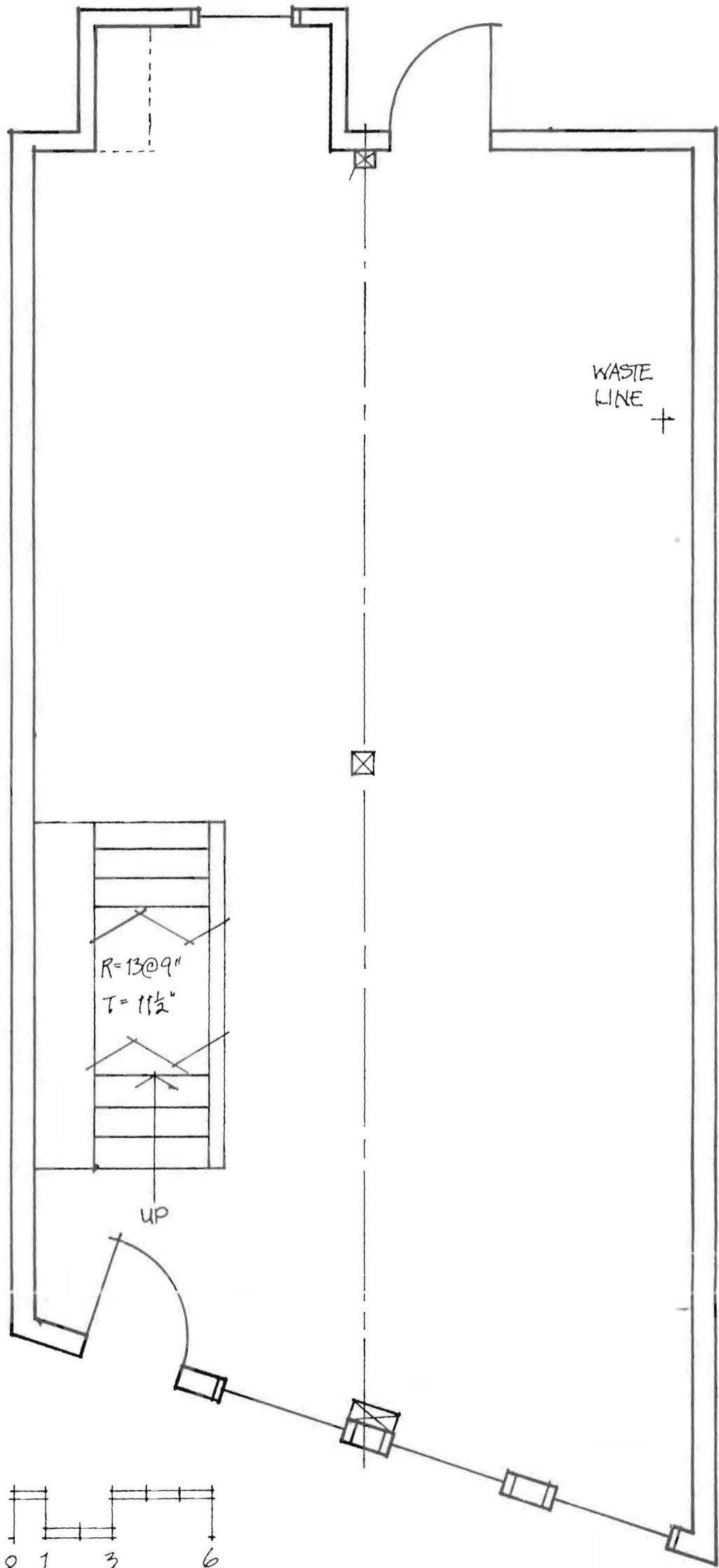
(ft) 1/4" SCALE

SECOND FLOOR PLAN
drawn by r. brook 12/95

New Area
for use

~ 40' x 10'
640

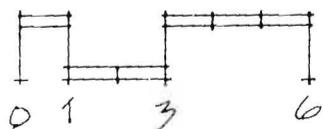
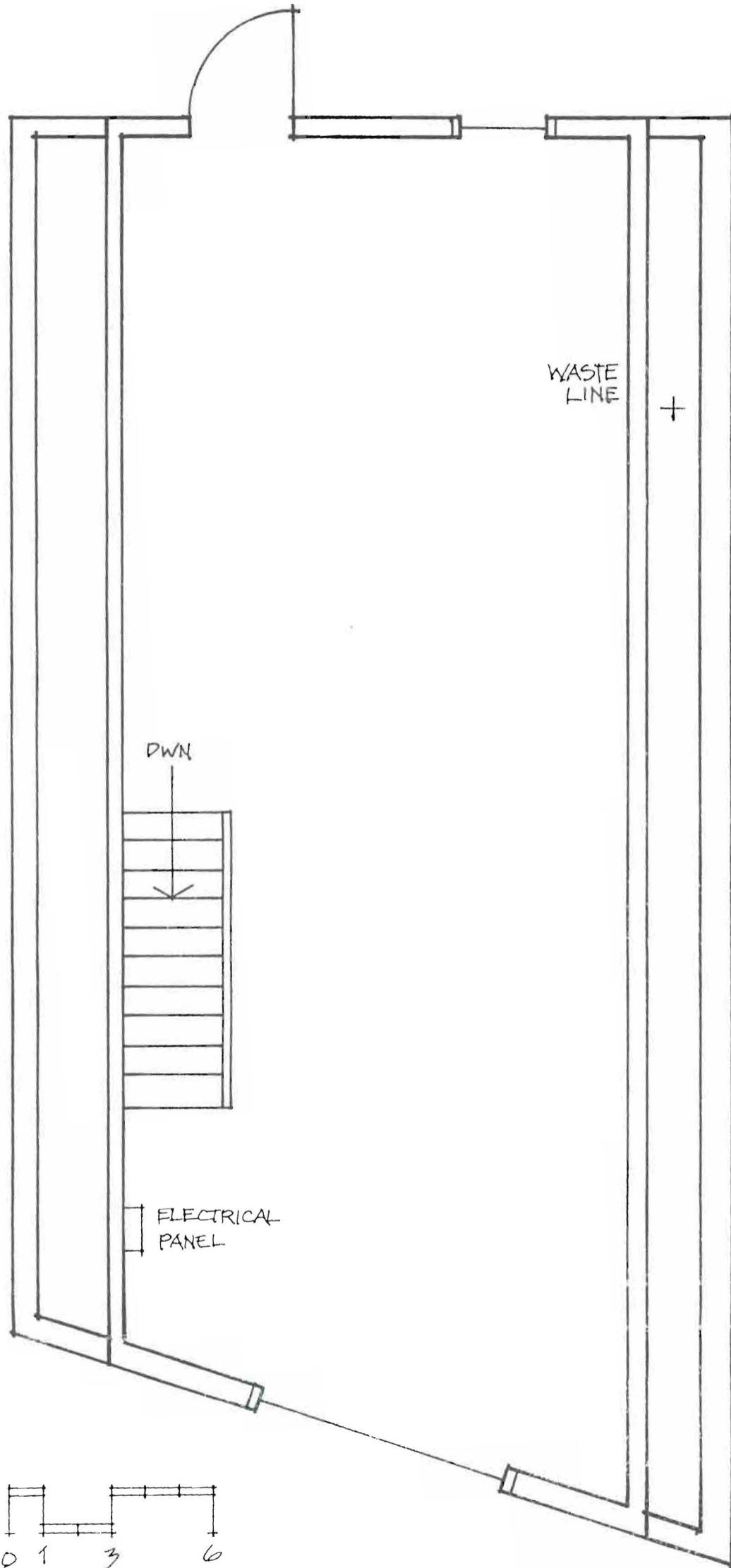
PROPOSED



(#)

GROUND FLOOR PLAN
 drawn by r. brook 12/95

XISTING-



(ft.)

SECOND FLOOR PLAN
 drawn by r. brook 12/95

EXIST. W/G