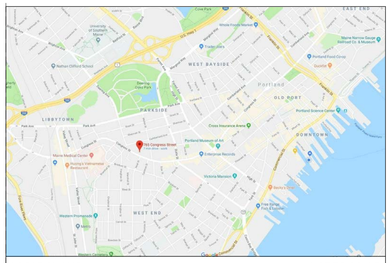
THE CLARENCE HALE MANSION

765 CONGRESS STREET
PORTLAND, MAINE 04101

DATE OF ISSUE

ISSUED FOR PERMIT - 26 JUNE 2018



LOCATION MAP NOT TO SCALE

ARCHETYPE architects

BUILDING TOTALS - GROSS SF

FIRST FLOOR:	1,431 SF
SECOND FLOOR:	1,431 SF
THIRD FLOOR:	1,431 SF
FOURTH FLOOR:	1,431 SF
TOTAL:	**5,724 SF**

UNIT COUNT - 4 UNITS

DRAWING LIST

GENERAL
AC0.1 CODE SUMMARY
LS1.1 LIFE SAFETY

CIVIL
1 OF 1 ALTA/NSPS LAND TITLE SURVEY
C-1.0 SITE PLAN
C-1.2 CONSTRUCTION MANAGEMENT PLAN
C-2.0 DETAILS & NOTES

ARCHITECTURAL DRAWINGS
A0.01 EXISTING FLOOR PLANS WITH DEMO
A0.02 EXISTING FLOOR PLANS WITH DEMO
A1.01 NEW FLOOR PLANS
A1.02 NEW FLOOR PLANS
A2.01 BUILDING ELEVATION NOTES
A4.00 WALL & CELING TYPES
A8.01 WINDOW/DOOR SCHEDULE

Client:
765 Congress Street LLC
25 Edgehill Road
Brookline, MA
02445
207.939.6308

Architect:
Archetype Architects
48 Union Wharf
Portland, ME
04101
207.772.6022

Civil Engineer:
Terradyne Consultants, LLC
41 Campus Drive, Ste 101
New Gloucester, ME
04260
207.926.5111

Surveyor:
Boundary Points Professional
Land Surveying, LLC
P O Box 175
Cumberland, ME
04021-0175
207.854.1015

SURVEYOR'S NOTES

1 THIS SURVEY PLAN IS ONLY VALID IF AUTHENTIC EMBOSSED SEAL AND SIGNATURE OF CERTIFYING PROFESSIONAL APPEAR ON THE FACE OF THIS SURVEY PLAN.

2 REFERENCE IS MADE TO THE CONTRACTUAL AGREEMENT BETWEEN THE PROFESSIONAL LAND SURVEYOR AND THE CLIENT.

3 THIS SURVEY PLAN IS SUBJECT TO POSSIBLE REVISION UPON RECEIPT OF A CERTIFIED TITLE OPINION.

4 NO CERTIFICATION IS MADE TO THE EXISTENCE OR NONEXISTENCE OF HAZARDOUS SUBSTANCES, ENVIRONMENTALLY SENSITIVE AREAS, UNDERGROUND UTILITIES, UNDERGROUND STRUCTURES, ZONING REGULATIONS OR REAL ESTATE TITLE.

5 DIG SAFE MUST BE CONTACTED AND CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND DIMENSIONS OF ALL UTILITIES PRIOR TO EXCAVATION.

6 THE SOURCE OF BEARINGS FOR THIS LAND SURVEY WAS DETERMINED FROM PLAN OF EXISTING CONDITIONS SURVEY BY TITCOMB ASSOCIATES PLAN BOOK 217, PAGE 165. BEARINGS STATED AS BEING MAINE STATE GRID PLANE N.A.D. 83.

7 THE PROPERTY SURVEYED IS DESCRIBED IN A DEED TO JOSEPH M. NAPOLITANO DATED SEPTEMBER 6, 2016 AND IS RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 34293, PAGE 318.

8 THE PROPERTY IS DEPICTED ON THE CITY ASSESSOR'S MAP 47 AS LOT A18.

9 REFERENCE IS MADE TO PLOT PLAN OF LAND IN PORTLAND MAINE OWNED BY CLINTON F. RINES DATED JANUARY 15, 1945 RECORDED IN CUMBERLAND COUNTY REGISTRY PLAN BOOK 32 PAGE 1.

10 REFERENCE IS MADE TO CHICAGO TITLE INSURANCE COMPANY TITLE INSURANCE COMMITMENT DATED OCTOBER 10, 2017 FOR 763-765 CONGRESS STREET.

11 THE PROPERTY SURVEYED IS BENEFITED BY A TWELVE FOOT INGRESS AND EGRESS EASEMENT OVER THE PROPERTY LOCATED AT 757 CONGRESS STREET AS DESCRIBED IN THE DEED RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 33471 PAGE 218.

12 THE PROPERTY SURVEYED IS BURDENED BY A TWELVE FOOT INGRESS AND EGRESS EASEMENT OVER THE PROPERTY LOCATED AT 765 CONGRESS STREET AS DESCRIBED IN THE DEED RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 33471 PAGE 214.

LEGAL DESCRIPTION

A certain lot or parcel of land with any buildings and improvements thereon, situated on the Northerly Side of Congress Street in the City of Portland, County of Cumberland, State of Maine, more particularly bounded and described as follows, to wit:

Beginning at a found 10" square stone post, as called for in Deed Book 1825 Page 55, on the Northerly Side of Congress Street at the land now or formerly of McIntosh Realty LLC described in Book 32103 Page 183;

Thence N 63°33'26" W, along Congress Street a distance of 55.00' to a found magnetic nail at the land now or formerly of Elliotsville Plantation described in Book 33445 Page 315;

Thence N 27°47'44" E, along Elliotsville Plantation a distance of 118.48' to a found magnetic nail;

Thence S 62°10'05" E, along Elliotsville Plantation a distance of 5.74' to an iron rod at the land now or formerly of McIntosh Realty LLC;

Thence S 11°47'50" E, along land of McIntosh Realty LLC a distance of 51.76' to a found Railroad Spike;

Thence S 15°55'11" W, along land of McIntosh Realty LLC and through a magnetic nail a distance of 78.98' to the point of beginning.

Containing an area of 0.10 Acre, more or less.

The basis of bearings for this land survey determine from the Plan of Existing Conditions Survey made for John McIntosh and recorded in the Cumberland County Registry of Deeds in Plan Book 217 Page 165. Said bearing base stated as Maine State Grid Plane N.A.D. 1983 located in the West Zone.

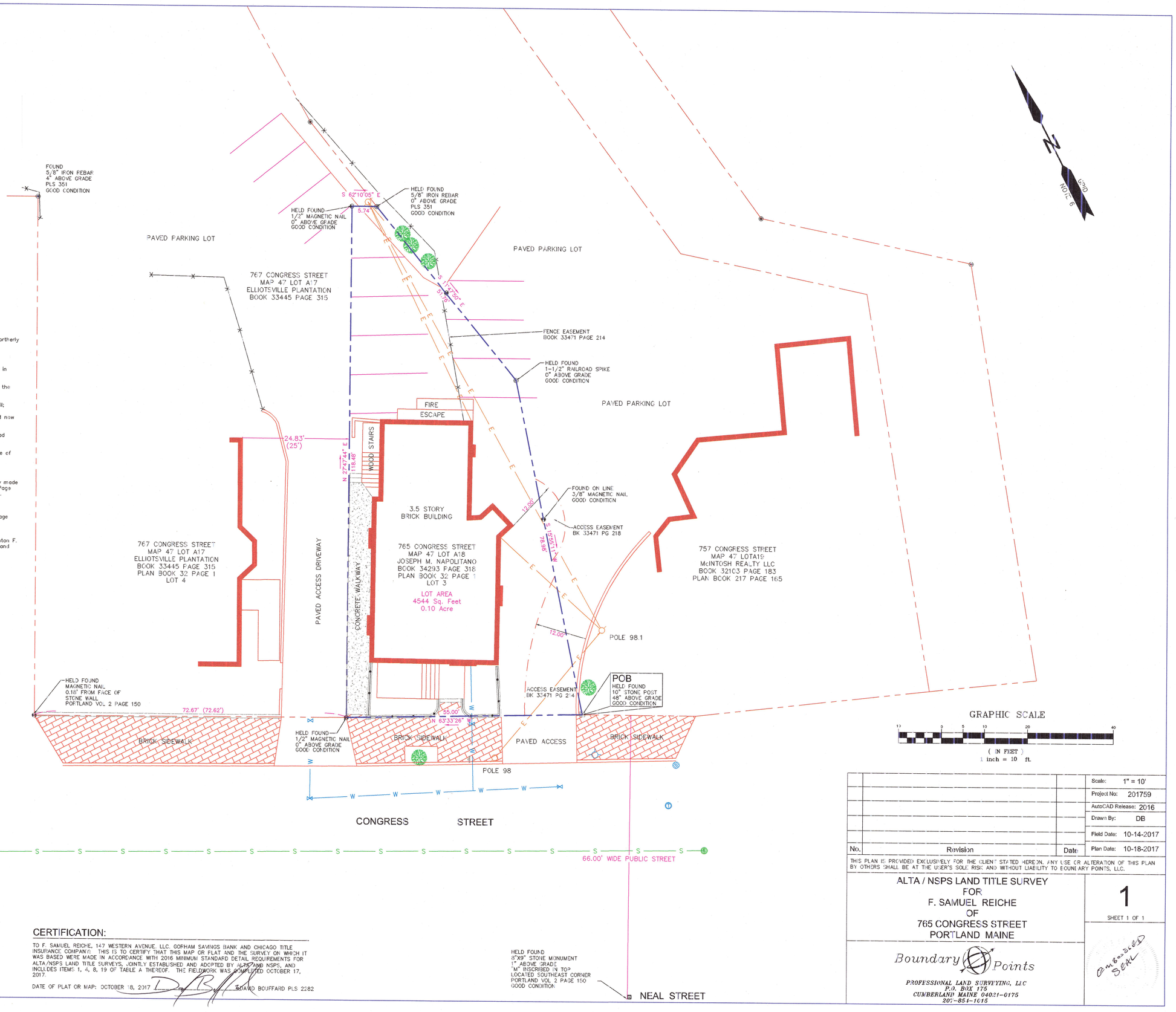
Together with an Ingress and Egress Easement as described in Book 33471 Page 218.

Subject to an Ingress and Egress Easement and Fence Easement as described in Book 33471 Page 214.

Meaning and intending to convey a parcel of land with buildings and improvements thereon and designated as Lot No. Three (3) on Plot Plan of Land in Portland, Maine, formerly owned by Clinton F. Rines and others, prepared by P.W. Varney, Engineer, January 15, 1945, and recorded in Cumberland County Registry of Deeds in Plan Book 32, Page 1.

LEGEND

EXISTING	DESCRIPTION
	PROPERTY LINE
	ADJOINER LINE
	BUILDING SETBACK
	EASEMENT
	CENTER LINE
	MONUMENT
	RAILROAD SPIKE
	IRON ROD
	5/8" IRON REBAR
	MAGNETIC NAIL
	BUILDING
	WET LANDS
	EDGE WETLAND
	SIGN
	STREAM
	ROCK OUTCROP
	EDGE PAVEMENT
	GRAVEL ROAD
	CURB LINE
	EDGE WATER
	TREE LINE
TP-7	TEST PIT
MW-8	MONITORING WELL
124	CONTOURS
G	GAS
W	WATER
S	SEWER
SD	STORM DRAIN
E	ELECTRIC LINES
	GATE VALVE
	LIGHT POLE
	UTILITY POLE
	HYDRANT
	CATCH BASIN
MH	MAN HOLE
W	POTABLE WELL
	CULVERT
	CHAIN LINK FENCE
	WOODEN FENCE
	CONIFEROUS TREE
	DECIDUOUS TREE



CERTIFICATION:

TO F. SAMUEL REICHE, 147 WESTERN AVENUE, LLC, GORHAM SAVINGS BANK AND CHICAGO TITLE INSURANCE COMPANY: THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS: 1, 4, 8, 19 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED OCTOBER 17, 2017.

DATE OF PLAT OR MAP: OCTOBER 18, 2017

DAVID BOUFFARD PLS 2282

No.	Revision	Date

Scale:	1" = 10'
Project No:	201759
AutoCAD Release:	2016
Drawn By:	DB
Field Date:	10-14-2017
Plan Date:	10-18-2017

THIS PLAN IS PROVIDED EXCLUSIVELY FOR THE CLIENT STATED HEREON. ANY USE OR ALTERATION OF THIS PLAN BY OTHERS SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO BOUNDARY POINTS, LLC.

ALTA / NSPS LAND TITLE SURVEY FOR F. SAMUEL REICHE OF 765 CONGRESS STREET PORTLAND MAINE

1

SHEET 1 OF 1

Boundary Points

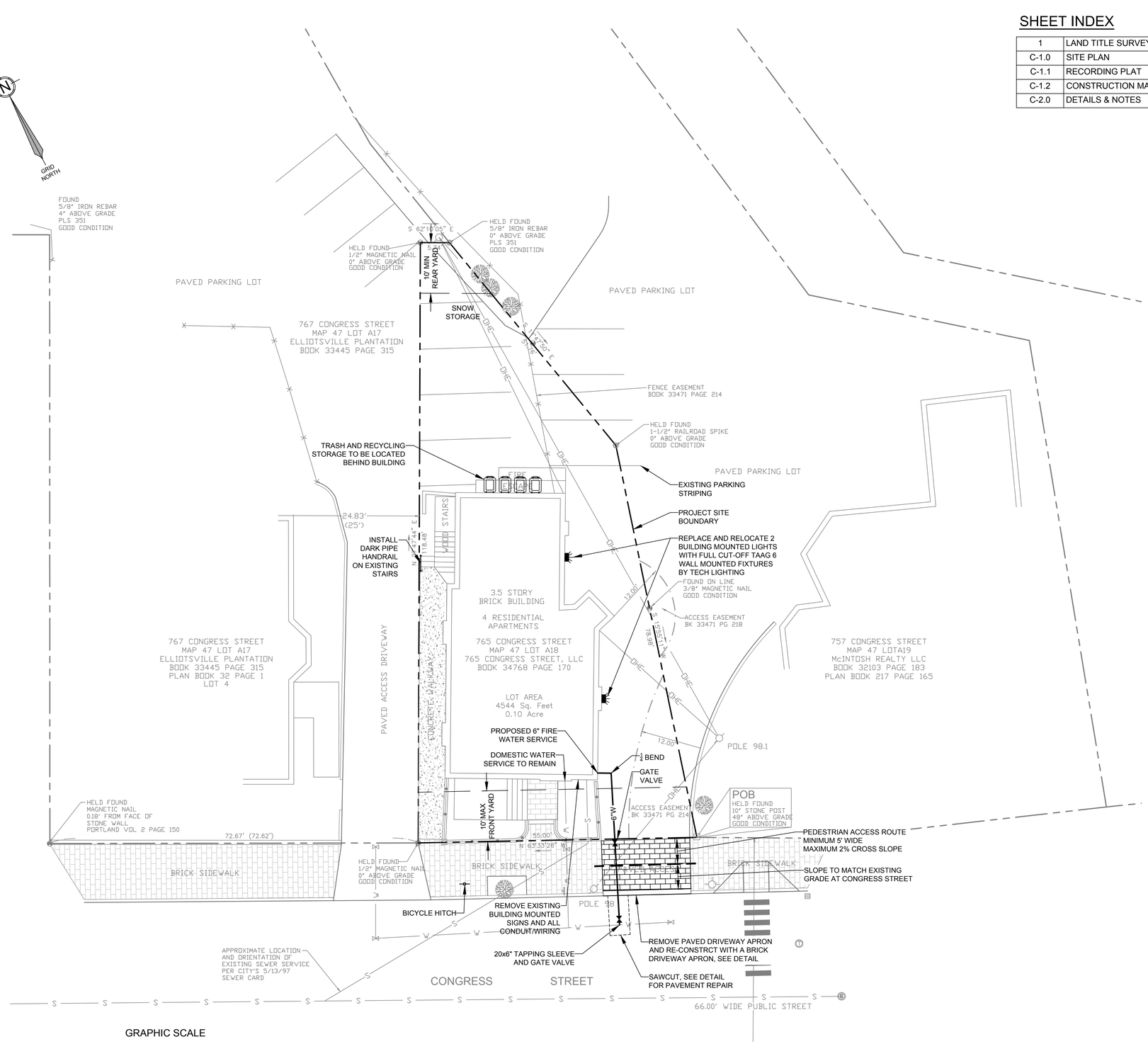
PROFESSIONAL LAND SURVEYING, LLC
P.O. BOX 175
CUMBERLAND MAINE 04021-0175
207-854-1015

Embossed Seal

SHEET INDEX

LEGEND

- EXISTING PROPERTY LINE
- PROJECT SITE BOUNDARY
- EXISTING SETBACK LINE
- EXISTING EASEMENT
- EXISTING SANITARY SEWER
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING OVERHEAD ELECTRIC & TELEPHONE
- EXISTING EDGE OF PAVEMENT
- PROPOSED EDGE OF PAVEMENT
- EXISTING CURB
- EXISTING FENCE
- EXISTING WATER VALVE
- PROPOSED WATER VALVE
- EXISTING HYDRANT
- EXISTING UTILITY POLE
- EXISTING CATCH BASIN
- EXISTING DRAIN MANHOLE
- EXISTING SEWER MANHOLE
- SURVEY CONTROL POINT
- EXISTING MONUMENT
- EXISTING PIN
- EXISTING MAGNETIC NAIL
- EXISTING SIGN
- PROPOSED SIGN
- EXISTING BUILDING
- PROPOSED BRICK



GRAPHIC SCALE

10 0 5 10 20 40

(IN FEET)
1 inch = 10 ft.

GENERAL NOTES:

1. THE RECORD OWNER OF THE PARCEL IS 765 CONGRESS STREET, LLC BY DEED RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 34768, PAGE 170.

2. THE PROPERTY IS SHOWN AS LOT 18, BLOCK A ON THE CITY OF PORTLAND TAX MAP 47 AND IS LOCATED IN THE B2-b COMMUNITY BUSINESS ZONE.

3. SPACE AND BULK CRITERIA:

B2-b COMMUNITY BUSINESS ZONE

MIN. LOT SIZE:	.NONE
MIN. LOT AREA PER DWELLING UNIT.	.435 SF
MIN. STREET FRONTAGE:	.20 FT
MIN. FRONT YARD:	.NONE
MAX. FRONT YARD:	.10 FT
MIN. SIDE YARD:	.NONE
MIN. REAR YARD:	.10 FT
MAX. BUILDING HEIGHT:	.45 FT.
MAX. IMPERVIOUS SURFACE RATIO.	.NONE FOR RESIDENTIAL USES

4. TOTAL AREA OF PARCEL: .4,544 SF

5. BOUNDARY INFORMATION SHOWN HEREON IS BASED UPON AN ALTA/NSPS LAND TITLE SURVEY BY BOUNDARY POINTS PROFESSIONAL LAND SURVEYING, LLC, COMPLETED IN OCTOBER 2017.

6. PARKING CALCULATION

USE	REQUIRED SPACES
RESIDENTIAL PARKING	1 PER UNIT = 4 SPACES
BICYCLE PARKING	2 PER EVERY 5 UNITS = 2 SPACES

PRELIMINARY - NOT FOR CONSTRUCTION

STATE OF MAINE
MICHAEL E. TADEMA-WIELANDT
No. 12101
REGISTERED PROFESSIONAL ENGINEER

DATE: 7-16-2018
P.E.: MICHAEL E. TADEMA-WIELANDT

NO.	DATE	REVISIONS	APP'D BY
5	7-16-2018	REVISED PER PLANNING BOARD REPORT COMMENTS	MTW
4	7-12-2018	REVISED PER STAFF COMMENTS	MTW
3	7-10-2018	REVISED PER STAFF COMMENTS	MTW
2	5-2-2018	MODIFIED FIRE SUPPRESSION WATER SERVICE PER PWD COMMENTS	MTW
1	4-20-2018	SUBMITTED TO PLANNING BOARD FOR APPROVAL	MTW

565 CONGRESS STREET
SUITE 310
PORTLAND, ME 04102

P.O. BOX 339
41 CAMPUS DRIVE
SUITE 105
NEW GLOUCESTER, ME 04260

OFFICE: (207) 926-5111 FAX: (207) 221-1317
www.terradynconsultants.com

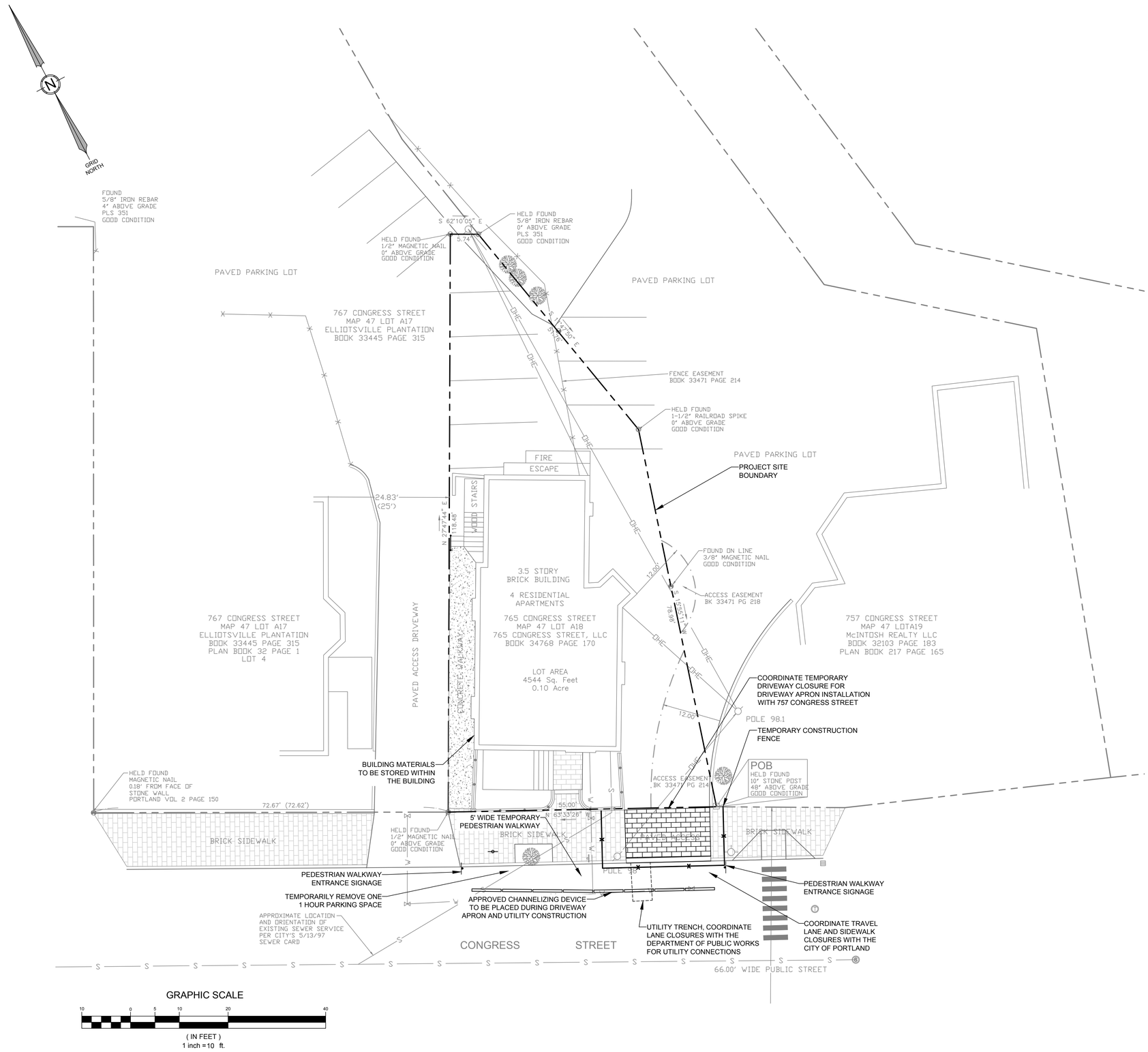
TERRADYN CONSULTANTS, LLC

Civil Engineering - Land Planning - Stormwater Design - Environmental Permitting

SHEET DESCRIPTION
765 CONGRESS STREET
PORTLAND, MAINE
SITE PLAN

PREPARED FOR
765 CONGRESS STREET, LLC
25 EDGEHILL ROAD
BROOKLINE, MA 02445

DATE:	4/10/2018
SCALE:	1"=10'
DESIGNED:	MTW
JOB NO:	1816
FILE:	1816-B.DWG
SHEET	C-1.0



CONSTRUCTION MANAGEMENT NOTES:

1. THE CONGRESS STREET SIDEWALK SURROUNDING THE 765 AND 757 CONGRESS STREET DRIVEWAY ENTRANCE WILL BE TEMPORARILY CLOSED FOR APPROXIMATELY 2 TO 3 DAYS FOR THE CONSTRUCTION OF THE BRICK DRIVEWAY APRON AND UNDERGROUND UTILITIES. THE DRIVEWAY AND SIDEWALK WILL ONLY BE CLOSED DURING CONSTRUCTION HOURS, AND ACCESS WILL BE RESTORED AT NIGHT.

2. PARTIAL TRAVEL LANE CLOSURES OF CONGRESS STREET WILL BE NECESSARY DURING UNDERGROUND UTILITY INSTALLATION. THIS WORK SHALL BE SCHEDULED AND SEQUENCED TO MINIMIZE THE DURATION OF ANY STREET OCCUPANCY. AT NO TIME CAN CONSTRUCTION ACTIVITY INCLUDING DELIVERY VEHICLES CLOSE OR BLOCK STREETS OR AFFECT PUBLIC SAFETY ACCESS WITHOUT PRIOR NOTICE AND APPROVAL OF THE DEPARTMENT OF PUBLIC WORKS.

PRELIMINARY - NOT FOR CONSTRUCTION

STATE OF MAINE
MICHAEL E. TADEMA-WIELANDT
No. 10121
REGISTERED PROFESSIONAL ENGINEER

DATE: 7-12-2018
P.E.: MICHAEL E. TADEMA-WIELANDT

NO.	DATE	REVISIONS	BY
4	7-12-2018	REVISED PER STAFF COMMENTS	MTW
3	7-10-2018	REVISED PER STAFF COMMENTS	MTW
2	5-2-2018	MODIFIED FIRE SUPPRESSION WATER SERVICE PER PWD COMMENTS	MTW
1	4-20-2018	SUBMITTED TO PLANNING BOARD FOR APPROVAL	APP'D

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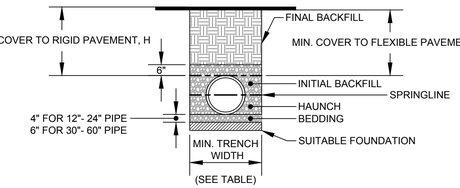
565 CONGRESS STREET
SUITE 310
PORTLAND, ME 04101

SHEET DESCRIPTION
765 CONGRESS STREET
PORTLAND, MAINE

CONSTRUCTION MANAGEMENT PLAN

PREPARED FOR
765 CONGRESS STREET, LLC
25 EDGEHILL ROAD
BROOKLINE, MA 02445

DATE:	4/10/2018
SCALE:	1"=10'
DESIGNED:	MTW
JOB NO:	1816
FILE:	1816-B.DWG
SHEET	C-1.2



NOTES:

1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST ADDITION

2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.

3. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.

4. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 6" (150mm) FOR 30"-60" (750mm-900mm).

5. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.

6. MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 54"-60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

RECOMMENDED MINIMUM TRENCH WIDTHS

PIPE DIAM.	MIN. TRENCH WIDTH
4"	21"
6"	23"
8"	26"
10"	28"
12"	30"
15"	34"
18"	39"
24"	48"
30"	56"
36"	64"
42"	72"
48"	80"
54"	88"
60"	96"

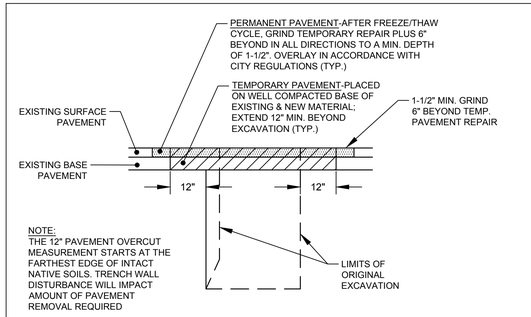
MINIMUM RECOMMENDED COVER BASED ON VECHICLE LOADING CONDITIONS

	SURFACE LIVE LOADING CONDITION	
PIPE DIAM.	H-25	HEAVY CONSTRUCTION (75T AXLE LOAD) *
12" - 48"	12"	48"
54" - 60"	24"	60"

* VEHICLES IN EXCESS OF 75T MAY REQUIRE ADDITIONAL COVER

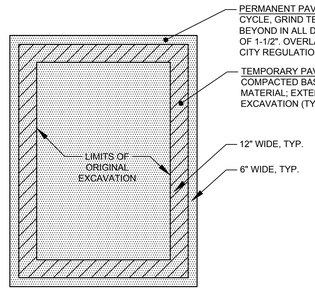
TYPICAL TRENCH DETAIL

NOT TO SCALE



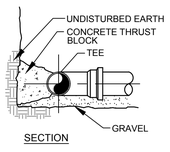
TYP. EXCAVATION IN CITY RIGHT OF WAY

NOT TO SCALE



PLAN VIEW OF MINOR EXCAVATION PAVEMENT REPAIR

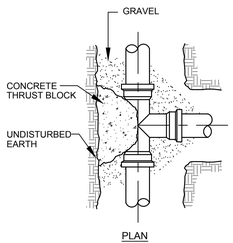
NOT TO SCALE



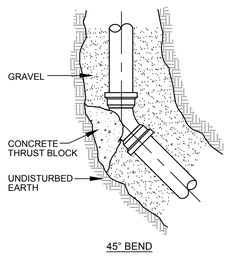
SECTION

CONCRETE THRUST BLOCK SIZE REQUIREMENTS

		SQ. FT. OF BEARING ON UNDISTURBED SOIL		
FITTINGS		90° BENDS	45° BENDS	TEES AND PLUGS
PIPE SIZE	6"	4.0	2.0	3.0
	8"	8.0	4.0	6.0
	12"	15	10	10



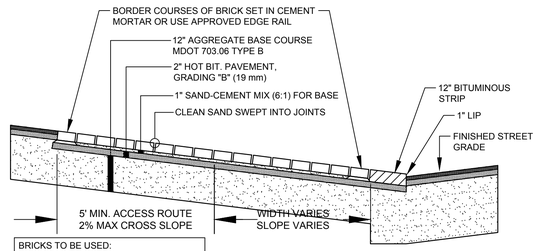
PLAN



45° BEND

TEE & BEND DETAIL

NOT TO SCALE



BRICKS TO BE USED:
NEW CONSTRUCTION:
4"X8" PINE HALL PATHWAY PAVER
BRICK MFG. BY PINE HALL BRICK CO., MADISON, NC, LACHANCE ITEM # 193623

REPAIR/MAINTENANCE TO EXISTING:
VERMONT BACKER BRICK, SUPPLIED BY GAGNE & SONS, ITEM # VBBB

BRICK DRIVEWAY APRON

NOT TO SCALE

GENERAL NOTES:

1. THIS PROJECT IS SUBJECT TO THE TERMS AND CONDITIONS OF ALL REGULATIONS ADMINISTERED BY THE LOCAL UTILITY COMPANIES AND THE CITY OF PORTLAND.
2. ALL REQUIRED AND NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL SERVICE CONNECTIONS.
3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE (1-888-DIGSAFE). IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS, AT NO EXTRA EXPENSE TO THE OWNER.
4. ALL MATERIAL SCHEDULES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL PREPARE HIS OWN MATERIAL SCHEDULES BASED UPON HIS PLAN REVIEW. ALL SCHEDULES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR PERFORMING WORK.
5. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO PROJECT CONTRACT SPECIFICATIONS, AND THE CITY OF PORTLAND TECHNICAL MANUAL STANDARDS, WHICHEVER IS MORE STRINGENT.
6. BOUNDARY SURVEY INFORMATION WAS PROVIDED BY BOUNDARY POINTS PROFESSIONAL LAND SURVEYING, LLC.
7. FEMA MAP COMMUNITY PANEL NUMBER 230051 0013 B. THE SITE IS LOCATED IN A C ZONE.
8. THE PROPERTY SHOWN ON THIS PLAN MAY BE DEVELOPED AND USED ONLY AS DEPICTED IN THIS APPROVED PLAN. ALL ELEMENTS AND FEATURES OF THE PLAN AND ALL THE PROPERTY WHICH APPEARS IN THE RECORD OF THE PLANNING BOARD PROCEEDINGS ARE CONDITIONS OF THE APPROVAL. NO CHANGE FROM THE CONDITIONS OF APPROVALS IS PERMITTED UNLESS AN AMENDED PLAN IS FIRST SUBMITTED TO AND APPROVED BY THE PLANNING AUTHORITY.
9. ALL DIMENSIONING UNLESS OTHERWISE NOTED IS TO THE FACE OF CURB OR FACE OF BUILDING.
10. THE CONTRACTOR IS REQUIRED TO NOTIFY THE CITY OF PORTLAND PUBLIC WORKS INSPECTION SERVICES DIVISION (874-8300 EXT. 8838), CODE ENFORCEMENT OFFICE AND DEVELOPMENT REVIEW COORDINATOR IN WRITING THREE (3) DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION. A PRE-CONSTRUCTION MEETING MAY BE REQUIRED TO INCLUDE THE PUBLIC WORKS AUTHORITY OR DEVELOPMENT REVIEW COORDINATOR.
11. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE.
12. WARNING SIGNS, MARKERS, BARRICADES OR FLAGMEN MUST BE EMPLOYED ON ADJACENT STREETS AS NECESSARY. THE CONTRACTOR SHALL COORDINATE AND SEEK APPROVAL FROM THE PUBLIC SERVICE DIVISION FOR THE PLACEMENT/PARKING OF EQUIPMENT WITHIN THE PUBLIC RIGHT OF WAY.
13. CONSTRUCTION DEBRIS SHALL BE CONTAINERIZED AND DISPOSED OF IN ACCORDANCE WITH THE CITY OF PORTLAND'S SOLID WASTE ORDINANCE CHAPTER 12. ALL DEMOLITION MATERIAL FROM THE PROJECT SITES SHALL BE TAKEN TO THE RIVERSIDE RECYCLING FACILITY OR AS OTHERWISE DIRECTED PENDING THE RESULTS OF A HAZARDOUS BUILDING MATERIALS SURVEY AS AUTHORIZED AND COORDINATED BY THE OWNER. ALL SALVAGED MATERIAL WITHIN THE PUBLIC R.O.W.(SIDEWALKS, BRICKS, GRANITE CURB) NOT REUSED SHALL BE DISPOSED OF AS DIRECTED BY THE PORTLAND PUBLIC SERVICES DEPARTMENT AT NO EXTRA COST TO THE OWNER.
14. ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR AT THEIR EXPENSE.
15. PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED AT ALL TIMES DURING CONSTRUCTION TO INSURE INTEGRITY. IF DISTURBED THEY SHALL BE REPLACED BY A SURVEYOR REGISTERED IN THE STATE OF MAINE AT THE CONTRACTOR'S EXPENSE.
16. A STREET OPENING PERMIT MUST BE OBTAINED FROM THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT PRIOR TO BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY. ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE COMPLETED IN CONFORMANCE TO THE CITY'S RULES AND REGULATIONS FOR EXCAVATION ACTIVITIES IN PUBLIC RIGHT OF WAYS.
17. CONTRACTOR MUST MAINTAIN THROUGH TRAFFIC ON ADJACENT STREETS AT ALL TIMES.
18. ALL METHODS AND MATERIALS USED IN THE CONSTRUCTION OF THE IMPROVEMENTS IDENTIFIED HEREIN SHALL CONFORM TO THE CITY OF PORTLAND CONSTRUCTION AND TECHNICAL STANDARDS AND SPECIFICATIONS AND/OR CURRENT MaineDOT STANDARDS AND SPECIFICATIONS, WHICHEVER IS MORE STRINGENT.
19. RECORD DRAWINGS MUST INCLUDE ALL BURIED UTILITIES INCLUDING, BUT NOT LIMITED TO, BENDS, APPURTENANCES, AND OTHER FEATURES, TO BE LOCATED IN THE FIELD BY GIS AND RECORDED AS AN AS-BUILT PLAN BY THE CONTRACTOR AT THE END OF THE PROJECT. THIS PLAN SHALL ALSO BE PROVIDED TO THE OWNER.
20. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS PREPARED BY ARCHETYPE ARCHITECTS FOR EXACT LOCATIONS AND DIMENSIONS OF THE ENTRANCES, EXIT PORCHES, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE POINTS.
21. ALL REQUIRED AND NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL SERVICE CONNECTIONS.
22. CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITIES IN THE AREA OF PROPOSED EXCAVATION OR BLASTING AT LEAST THREE (3) BUT NOT MORE THAN (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION. CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MRSA 3360-A.
23. ALL PAVING WITHIN THE PUBLIC R.O.W. SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF PORTLAND RULES AND REGULATIONS FOR EXCAVATION ACTIVITIES IN THE PUBLIC R.O.W.
24. NO HOLES, TRENCHES OR STRUCTURES SHALL BE LEFT OPEN OVERNIGHT IN ANY EXCAVATION ACCESSIBLE TO THE PUBLIC OR IN PUBLIC RIGHTS-OF-WAY.
25. THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ANY CHANGES AND DEVIATION OF APPROVED PLANS NOT AUTHORIZED BY THE ARCHITECT/ENGINEER AND/OR CLIENT/OWNER.
26. CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES AND PHYSICAL FEATURES THAT ARE OUTSIDE THE SCOPE OF WORK. THE CONTRACTOR SHALL MAINTAIN SITE STABILITY DURING CONSTRUCTION TO AVOID EROSION AND SEDIMENT TRANSPORT. CONTRACTOR SHALL RESTORE ALL AREAS TO A FINAL STABILIZED CONDITION AS DIRECTED BY DESIGN DRAWINGS.
27. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ENGINEER.
28. ALL FILLS SHALL BE PLACED IN LAYERS NOT MORE THAN 12" LOOSE DEPTH AND COMPACTED BY HEAVY COMPACTION EQUIPMENT. MINIMUM COMPACTION SHALL BE 95% OF MAXIMUM DENSITY ASTM 1557, MODIFIED AND FIELD DENSITY ASTM D2922 (NUCLEAR METHODS).

CONSTRUCTION MANAGEMENT NOTES:

1. ALL CONSTRUCTION SHALL COMPLY WITH 2009 NFPA 1 CHAPTER 16 SAFE GUARDS DURING BUILDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS.
2. ANY CUTTING AND WELDING WORK PERFORMED ONSITE SHALL REQUIRE A "HOT WORK" PERMIT FROM THE PORTLAND FIRE DEPARTMENT.
3. THE GENERAL CONTRACTOR SHALL POST EMERGENCY CONTACT INFORMATION ON THE PROJECT SITE PROPERTY DURING CONSTRUCTION IN THE EVENT OF AN AFTER HOURS EMERGENCY. THIS CONTACT INFORMATION SHALL ALSO BE PROVIDED TO THE PORTLAND FIRE DEPARTMENT.
4. STREETS SHALL MAINTAIN A 20' WIDTH FOR FIRE DEPARTMENT ACCESS AT ALL TIMES.
5. FIRE HYDRANTS SHALL NOT BE BLOCKED OR ENCLOSED BY FENCING. A 3' CLEARANCE SHALL BE MAINTAINED AT ALL TIMES AROUND FIRE HYDRANTS.

UTILITY NOTES:

1. ALL REQUIRED UTILITIES SERVING THE PROJECT SHALL BE COORDINATED BETWEEN THE SITE WORK CONTRACTOR AND DIVISION 22/26 CONTRACTOR(S). THE SITE WORK CONTRACTOR SHALL BE RESPONSIBLE TO EXTEND ALL PROPOSED UTILITIES TO WITHIN FIVE (5) FEET OF THE BUILDING TO A LOCATION COORDINATED WITH THE MECHANICAL AND ELECTRICAL SUBCONTRACTORS. THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES WITHIN FIVE (5) FEET AND INSIDE THE BUILDING OR UNDER SLAB.
2. THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATES TO THE OWNER PRIOR TO COMPLETION OF THE PROJECT.
3. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL, AT NO EXTRA EXPENSE TO THE OWNER.
4. A 10 FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. A 12 INCH OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER AND SANITARY SEWER CROSSINGS.

PERMITTING NOTES:

1. THIS PROJECT IS SUBJECT TO THE TERMS AND CONDITIONS OF THE SITE PLAN REVIEW PERMIT FROM THE CITY OF PORTLAND WHICH WILL BE MADE A PART OF THE CONTRACT BID DOCUMENTS. THE CONSTRUCTION WILL BE GOVERNED BY THE ZONING ORDINANCES WHICH ARE AVAILABLE FOR VIEWING AT THE OFFICE OF THE ENGINEER OR THE MUNICIPAL OFFICE.

STATE OF MAINE
MICHAEL E. TADEMA-WIELANDT
No. 12101
REGISTERED PROFESSIONAL ENGINEER

DATE: 7-12-2018
P.E.: MICHAEL E. TADEMA-WIELANDT

NO.	DATE	REVISIONS	APP'D BY
1	4-20-2018	SUBMITTED TO PLANNING BOARD FOR APPROVAL	MTW
2	5-2-2018	MODIFIED FIRE SUPPRESSION WATER SERVICE PER PWD COMMENTS	MTW
3	7-10-2018	REVISED PER STAFF COMMENTS	MTW
4	7-12-2018	REVISED PER STAFF COMMENTS	MTW

TERRADYN CONSULTANTS, LLC
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565 CONGRESS STREET
SUITE 310
PORTLAND, ME 04102

Civil Engineering - Land Planning - Stormwater Design - Environmental Permitting

SHEET DESCRIPTION
765 CONGRESS STREET
PORTLAND, MAINE
DETAILS & NOTES

PREPARED FOR
765 CONGRESS STREET, LLC
25 EDGEHILL ROAD
BROOKLINE, MA 02445

DATE:	4/10/2018
SCALE:	1"=10'
DESIGNED:	MTW
JOB NO:	1816
FILE:	1728 BASE.DWG
SHEET	C-2.0

CODE SUMMARY

Applicable Codes
- MUBEC - Maine Uniform Building and Energy Code
  - 2015 International Building Code - IBC (except chapters 11 and 30)
  - 2015 IECC: International Energy Conservation Code
  - 2015 IEBC: International Existing Building Code
- NFPA 101 Life Safety

Accessibility Codes
- State of Maine Human Rights Act
- ADAAG Americans with Disabilities Act
- ICC ANSI 117.1 Accessible and Usable Buildings and Facilities

PROJECT SUMMARY:

Alteration of an existing historic mixed-use building to multi-unit housing in accordance with the National Park Service Guidelines for Rehabilitating Historic Buildings. The work will affect some aspects of the building including, but not limited to, the internal structure and walls, existing historic elements for repair and replacement, interior doors, windows, roofing & flashing repair.
The building will be sprinkled with an NFPA 13R system.

Square Footages:

First Floor -	1,431 sf.	(R2 Dwelling Unit)
Second Floor -	1,431 sf.	(R2 Dwelling Unit)
Third Floor -	1,431 sf.	(R2 Dwelling Unit)
Fourth Floor -	1,431 sf. + 130 sf. Mezzanine	(R2 Dwelling Unit)

Total Sq Footage : 5,854 sf.

Unit Count:

First Floor	1
Second Floor	1
Third Floor	1
Fourth Floor	1
TOTAL	4

CODE SUMMARY IBC 2015:

Chapter 3- Use and Occupancy Classification

310.4 Residential Group R-2 Apartment houses

Chapter 4- Special Detailed Requirements Based on Use and Occupancy
420 Group R-2
420.2 Separation Walls-Walls separating Dwelling Units from Dwelling Units and from other occupancies are Fire Partitions in accordance with Section 708 (1 hour rated).

420.3 Horizontal Separation- Floor Assemblies separating Dwelling Units from Dwelling Units and from other occupancies are Horizontal Assemblies in accordance with Section 711 (1 hour)

Chapter 5- General Building Heights and Areas

Table 503 Allowable Heights and Areas
Residential Group R-2 Type 3B Construction - 4 stories, 16,000 sf per story

Total Building Sq Footage : 5,854 sf.

504.4 Allowable Number of Stories Above Grade Plane

Construction Type 3B- Group R2: 4 stories allowed.

Chapter 6- Types of Construction
Table 601 - Fire Resistance Ratings for Building Elements

Building Element	Type 3B
Primary Structural Frame	0 hour
Exterior Walls	2 hours
Interior Walls	0 hour
Non-Bearing Walls and Partitions. Exterior	(See Table 602)
Non-Bearing Walls and Partitions, Interior	0 hour
Floor Construction and Secondary Members	0 hour
Roof Construction and Secondary Members	0 hour

Table 602- Fire Resistance Rating Requirements For Exterior Walls Based on Fire Separation Distance (non-loadbearing walls)

Fire Separation Dist.	Construction Type	Group R
x < 5'	All	1 hour
5' ≤ x <10'	Type IIIB	1 hour
10' ≤ x < 30'	Type IIIB	0 hour
x ≥ 30'	All	0 hour

***Higher of 2 determining factors (Tables 601 end 602) indicate exterior bearing walls to be 2 hour fire resistance rated from the inside.*

602.3 Type III Construction
Exterior walls are to be noncombustible materials and interior building elements
are any materials permitted by Code,
Fire retardant treated wood is permitted as substitute for noncombustible materials for framing within exterior wall assemblies of a 2 hour rating or less. The exterior surfaces of the wall must be noncombustible.

Chapter 7- Fire and Smoke Protection Features
704 Fire Rating of Structural Members
704.3 Primary Structural Frame
Supporting more than 2 floors, and required to have a fire resistance rating, or supporting a load bearing wall, shall be provided with individual encasement protection on all sides.
Exception: Individual encasement on all exposed sides provided protection is in
accordance with fire resistance rating

704.4 Secondary Structural Members
If required to be fire resistant rated, secondary members shall be protected by individual encasement when supporting more than 2 floors. Membrane protection is permissible if supporting 2 floors or less.

705 Exterior Walls
705.2.2 Projections from walls of Type III construction shall be of any approved materials.

705.5 Fire Resistance Ratings
Fire Separation Distance of greater than 10 feet, at exterior walls, shall be rated
for exposure from the inside. Fire separation less than 10' shall be rated for fire exposure from both sides.

705.6 Exterior walls shall have sufficient structural stability to remain in place for duration of the time required by the fire resistance rating.
- Supporting elements must be fire resistance rated
- Band joist, or supporting beam, must be fire rated
- Only the structural element within the floor system that supports the vertical load of the wall must be fire resistance rated construction

Table 705.8 Maximum Area of Wall Openings Based on Fire Separation Distance and Degree of Opening Protection

Fire Separation Dist.	Degree of Opening Protection	Allowable Area
0' to less than 3'	Unprotected, Sprinklered	Not Permitted
3' to less than 5'	Unprotected, Sprinklered	15%
5' to less than 10'	Unprotected, Sprinklered	25%
10' to less than 15'	Unprotected, Sprinklered	45%
15' to less than 20'	Unprotected, Sprinklered	75%
20' to less than 25'	Unprotected, Sprinklered	No Limit
25' to less than 30'	Unprotected, Sprinklered	No Limit
30' or greater	Unprotected, Sprinklered	Not Required

705.8.5 Vertical Separation of openings
Not Required, Exception no. 2, Automatic Sprinkler System in Accordance with 903.3.1.1

707 Fire Barriers (shafts, exit and floor opening enclosures)
707.3.1 Shaft enclosures shall comply with Section 713.4 (2 hours) Existing stair shaft ratings are 2-hour per 2015 IBC Table 721.1(2) 12-1.2 for Rated Fire-Resistance Periods for Various Walls and Partitions.

707 .3.2 The fire resistance rating of exit enclosures shall comply with Section 1022.1 (2hours). **(Refer to IEBC 2009 at end of this page)**

707.5 Fire barriers shall extend from the top of the floor/ceiling assembly below to the underside of the floor or roof sheathing, slab or deck above.

707.5.1 Supporting construction shall be protected to required fire resistance rating of the fire barrier supported (fireblocking is required in cavities if shaft extends through the floor level at every floor level).

708 Shaft Enclosures (stairs, chutes, elevators, duct shafts, etc.)
708.1 Shaft enclosures to be constructed as fire barriers

708.2 Fire barrier construction not required at piping, conduits, etc. penetrations if protected per Section 712.4

708.4 Shaft enclosures shall have a 2 hour fire resistance rating where connecting 4 stories or more, and shall have a fire resistance rating not less than the floor assembly penetrated but not exceeding 2 hours.

708.8.1 Penetrations other than those necessary for the purpose of the shaft shall not be permitted.

709 Fire Partitions (exit access corridors, dwelling unit separations, etc.)

709.3 Fire Resistance Ratings
Fire partitions shall have a fire resistance rating of not less than 1 hour.
- Walls Separating Dwelling Units (420.2) One hour,
- Corridor Walls per Table 1018.1 1/2 hour (when fully sprinklered per NFPA 13)

709.4 Continuity: Fire partitions shall extend from floor below to underside of floor/roof sheathing above. Supporting structure shall be protected similarly to wall. Fire blocking is not required if equipped with automatic sprinkler system and sprinklers are installed within combustible floor/ceiling and roof/ceiling spaces.

709.5 Where exterior walls serve as part of the required fire resistance rating separation, walls shall comply with Section 705 Exterior Walls and fire resistance rated requirements shall not apply.

712.3 Horizontal assemblies separating dwelling units shall be a minimum of 1 hour fire resistance rated construction.

712.3.2 Rated access doors permitted in fire rated ceiling assemblies.

713.1.1 Penetrations of fire resistance rated walls by ducts (not protected by dampers): Sleeves through walls, in cavity construction, shall be securely fastened (a fire stop assembly is required between sleeve and pipe/duct).

713.3.2 Membrane penetrations shall be limited to 16 square inches each and an aggregate of 100 square inches/100 sf of wall
- Offset boxes by 24" on opposite sides of wall
- Not required at sprinklers with escutcheon plate

714.4 Where fire resistance rated floor/ceiling assemblies are required, voids along curtain wall and floors shall be sealed with an approved system, matching the fire resistance rating of the floor system.

715.4 Fire Door and Shutter Assemblies
Table 715.4

Type of Assembly	Required Assembly Rating	Min Door Assembly Rating (hrs)
Fire Walls	3 hours	3 hours
Fire Barriers (2 Hr)	2 hours	1-1/2 hours
Other Fire Barriers	1 hour	3/4 hour
Fire Partitions		
Corridor walls	1 hour/.5 hour	1/3 hour
Other fire partitions	1 hour	3/4 hour
Exterior Walls	2 hours	1 1/2 hours
Smoke Barriers	1 hour	1/3 hour

715.4.3.1 Fire door assemblies shall meet requirements for smoke and draft control door assemblies

718 Concealed Spaces
718.2 In combustible construction fireblocking shall be installed to cut off concealed draft openings and form a barrier between floors. Fireblocking required at:
- Mineral wool allowed in double stud walls
  - Vertically at floors and ceilings
  - Horizontal spacing not exceeding 10 feet
- Connections between horizontal and vertical spaces (soffits, dropped ceilings, etc.)
- Stairways at top and bottom of run between stringers
- Piping, vents, etc.

718.2.5 Double Stud Walls Batts or blankets of mineral or glass fiber insulation shall be allowed as fire blocking in walls constructed using parallel rows of studs or staggered studs.

718.2.2 Concealed Wall Spaces Fire blocking shall be provided in concealed spaces of stud walls and partitions, including furred spaces, and parallel rows of studs or staggered studs as follows:
1. Vertically at ceiling and floor levels
2. Horizontally at intervals not exceeding 10'.

718.3.2 Use Group R-2 Draft stopping in floor/ceiling spaces not required per Exception No. 1, Sprinkler system provided in accordance with Section 903.3.1.1.

718.4 Draft Stopping In Attics
718.4.2 Group R-2 Not required in attics and concealed roof spaces per Exception No. 2, Sprinkler system provided in accordance with Section 903.3.1.1.

Chapter 8- Interior Finishes

Table 803.9 Interior Wall and Ceiling Finish Requirements By Occupancy- Sprinklered

Group	Exit Enclosures	Corridors	Rooms and Enclosed Spaces
R-2	Class C	Class C	Class C

Chapter 9- Fire Protection Systems

Table 903.2 Occupancy Related Automatic Sprinkler Requirements

Threshold	Occupant Load	Comment
R-2 Sprinklers required	Any level	-

903.3.1.2 NFPA 13R Sprinkler Systems
The building will be equipped throughout with an automatic sprinkler system in accordance with NFPA 13R.

903.3.2 Quick response or residential automatic sprinklers shall be installed in dwelling units and sleeping units.

903.4 Valve controlling water supply for automatic sprinkler system shall be electronically supervised by a fire alarm control unit.

905 Standpipe Systems
905.3.1 Standpipe System not required in buildings where floor level of highest story is less than 30 feet above lowest leve lof fire department access.

906 Portable Fire Extinguishers- Required in Group R-2 occupancies: provided in accordance with NFPA 10
- Exception: In Group R and B occupancies extinguishers only required on each floor.

907 Fire Alarm and Detection Systems
907.2 Where Required-New Buildings and Structures
- Exception 2: Automatic heat detection is not required in buildings with automatic sprinkler system

907.2.9.1 Group R-2:
- Exception 2: Manual fire alarm boxes are not required where the building is equipped throughout with an automatic sprinkler system.

907.2.9.2 Smoke alarms shall be installed per Section 907.2.11 (within sleeping units)

907.2.11.2 Group R-2: Smoke alarms shall be installed in each sleeping area and in each room on the path from the sleeping area to the means of egress.

912.2.2 Fire Department Connections: On existing buildings, existing fire department connection shall be indicated by a sign wherever not visible.

Chapter 10- Means of Egress

1004 Occupant Load
Table 1004.1 Maximum Floor Area Allowances per Occupant
Residential - 200 gross sf
Residential Occupant Load- First Floor- 1,431 sf/200 = 8
Residential Occupant Load - Second Floor - 1,431 sf/200 = 8
Residential Occupant Load - Third Floor - 1,431 sf/200 = 8
Residential Occupant Load - Fourth Floor - 1,561 sf/200 = 8

1005.1 Egress Width

Stair A -	40" Width/ (0.3)	= 133 Occupants
Stair B -	34" Width / (0.3)	= 113 Occupants
First Floor Egress Door -	36" Width / (0.2)	= 180 Occupants
Second Floor Egress Door -	36" Width / (0.2)	= 180 Occupants

1009 Accessible Means of Egress
1009.2.1 Elevators (NOT) Required. In buildings where a required accessible floor is four or more stories above a level of exit discharge, at least one accessible means of egress shall be an elevator. (Backup Generator NOT Req'd).

1009.3 Stairways
Clear width 48"- Not Required in buildings with automatic sprinkler system. Exception no. 2
Area of Refuge- Not Required in buildings with Automatic Sprinkler System

1008 Doors, Gates and Turnstiles

1010.1.1 Size of Doors- Minimum Clear width = 32", maximum leaf width 48" Exception no. 1- Minimum and maximum widths do not apply to door openings not part of the required means of egress in Group R-2 occupancies.
Note: Non-egress doors are sized to meet Accessibility requirements per 521 CMR.

1010.1.4.4 Group R-2 occupancies building entry doors are permitted to be equipped with access control system.

1008.1.5 Provide a level landing on each side of door, except at exterior locations with 2% slope pitch for drainage.

1008.1.8 48" plus door width required minimum space between doors in series.

1008.1.9.10 Interior stairway means of egress doors shall be openable from both sides
Exception 1: Stairway discharge doors shall only be locked from the opposite side.

1008.1.10 Doors to electrical rooms with equipment rated at 1200 amps or more will require panic hardware.

1009 Stairways
1009.1 Stairway width- Minimum required width of 44" is provided. **(Refer to Existing Stair codes in IEBC 2009).**

1009.12 Handrails required on each side of stair. **(Refer to Existing Stair codes in IEBC 2009).**

1013.1 Guard (rails) are required at stairs more than 30" above the floor and within 36" horizontally to the edge of the open side. **(Refer to Existing Stair codes in IEBC 2009).**

1016 Exit Access Travel Distance
Table 1016.1 Exit Access Travel Distance

Occupancy	Max. Distance Sprinklered	Actual Distance
R - Residential	250'	32'

1018.6 Corridor Continuity: Fire resistance rated corridors shall be continuous from point of entry to an exit. Elevator shall be fire resistance rated and smoke protection.
- Exception: Foyers, lobbies or reception rooms constructed as required for corridors shall be not be construed as intervening spaces.

1020 Corridors
Table 1020.1 Corridor Fire Resistance Rating

Occupancy	Occupant Load	Fire Rating with Sprinkler System
R	Greater than 10	.5 hour

1020.2 Corridor Width: 36" with an occupant load less than 50.

1020.4 Dead Ends: 50' maximum dead end corridor allowed per Exception No. 2 for Group R-2 Occupancies in buildings with automatic sprinkler system.

1021.1 Exits from Stories
All spaces within each story shall have access to the minimum number of approved independent exits as specified in Table 1006.3.2(2)

CODE SUMMARY - IEBC 2015:

803.2.1 Existing vertical openings
In Group R-2 occupancies a minimum 30-minute enclosure or the enclosure specified in Section 803.2.1(1-hour) shall not be required due to Exception 11.2: Buildings protected throughout by an approved automatic sprinkler system.

CHAPTER 12 - HISTORIC BUILDINGS

1203.7 One-hour fire resistant assemblies - Where 1-hour fire-resistance-rated construction is required by these provisions, it need not be provided, regardless of construction or occupancy, where the existing wall and ceiling finish is wood or metal lath and plaster.
1203.9 Stairway railings - Grand stairways shall be accepted without complying with the handrail and guard requirements. Existing handrails and guards at all stairs shall be permitted to remain, provided they are not structurally dangerous.
1203.10 Guards - Guards shall comply with Sections 1203.10.1 and 1203.10.2
1203.10.1 Heights- Existing guards shall comply with the requirements of Section 604.
1203.10.2 Guard Openings - The spacing between existing intermediate railings or openings in existing ornamental patterns shall be accepted. Missing elements or members of a guard may be replaced in a manner that will preserve the historic appearance of the building or structure.
1205.1 General - Historic buildings undergoing a change of occupancy shall comply with the applicable provisions of Chapter 10, except as specifically permitted in this chapter. When Chapter 10 requires compliance with specific requirements of Chapter 7, Chapter 8, or Chapter 9 and when those requirements are subject to the exceptions in Section 1202, the same exceptions shall apply to this section.
1205.4 Occupancy Separation - Required occupancy separations of 1-hour may be omitted when the building is provided with an approved automatic sprinkler system throughout.

CODE SUMMARY NFPA 101 LIFE SAFETY 2015:

SPRINKLED WITH NFPA 13R

NFPA 6.1.8.1.5
OCCUPANCY – Apartment Building

NFPA TABLE A.8.2.1.2
CONSTRUCTION TYPE III(200)

36.3.4.1 Fire alarm system in accordance with section 9.6 provided
36.3.4.2 Fire alarm initiation
(1) Manual Means
(2) Automatic fire detection system
(3) Automatic sprinkler system plus a minimum one fire alarm box

T7.2.2.2.1.1(b)
EXISTING STAIRS:
Minimum width clear: 36 in.
(Existing historic stair B does not meet required width, see calculation with **A.7.3.3.1** for Capacity Factors)
Maximum height of riser: 8 in.
Minimum tread depth: 9 in.
Minimum headroom: 6 ft. 8 in.
Maximum height between landings: 12 ft.

7.2.2.3.1.2 Stair material same as building construction
7.2.2.4.4.1 New handrails: Not < 34 in. and not > 38 in.
7.2.2.4.4.2 Existing handrails not < 30 in. and not > 38 in.
7.2.2.4.4.5 New handrails provide min. 2-1/4 in. clearance between stair and wall
7.2.2.5.4 Stairway signage shall comply with 7.2.2.5.4.1 parts (A) thru (M)

28.2.4 Number of Exits
28.2.4 In buildings other than those complying with 28.2.4.2 not less than two separate exits shall be provided on each story.

CHAPTER 31 - EXISTING APARTMENT BUILDINGS

31.2.2.3.3 Spiral stairs complying with 7.2.2.2.3 shall be permitted within a single dwelling unit.

43.10 Historic Buildings
43.10.4.3 Means of Egress.
Existing door openings, window openings intended for emergency egress, and corridor and stairway widths narrower than those required for non-historic buildings under this *Code* shall be permitted, provided that one of the following criteria is met:
(1) In the opinion of the authority having jurisdiction, sufficient width and height exists for a person to pass through the opening or traverse the exit, and the capacity of the egress system is adequate for the occupant load.
Occupant Load per floor of Hotel and Mercantile is as follows based upon **Table 7.3.1.2**

Residential Occupant Load - Basement	3586sf/200	= 18
Mercantile Occupant Load – First Floor		= 49
Residential Occupant Load - First Floor	1645sf/200	= 9
Residential Occupant Load – Second Floor	2256sf/200	= 12
Residential Occupant Load- Third Floor	1927sf/200	= 10

A.7.3.3.1 Capacity Factors
Egress Stairways (width per person)

Stair A - Serving Ground Floor	34 1/2" Width / (0.3) =	115 Occupants
Stair B - Serving 2nd & 3rd Floors	37" Width / (0.3) =	123 Occupants
Stair D - Serving 3rd Floor	34 1/4" Width / (0.3) =	114 Occupants

Egress Doors (width per person)

Lower Level Egress Door 001 - Serving Ground Floor	36 1/2" Width / (0.2) =	182 Occupants
1st Floor Egress Door 101 - Serving 1st, 2nd & 3rd Floors	42" Width / (0.2) =	210 Occupants
Restaurant Egress Door 116 - Serving 1st Floor Business Occupancy	36" Width / (0.2) =	170 Occupants

All egress doors will be equipped with panic hardware

43.10.4.6.2 Interior wall and ceiling finishes in exits, other than in one- and two- family dwellings, shall meet on of the following criteria
(1) The material shall have a flame spread classification of Class C or better.
(3) Existing materials not meeting the minimum Class C flame spread criteria shall be permitted to be continued in use, provided that the building is protected through-out by an approved automatic sprinkler system.
43.10.4.7 Stairway Enclosure
43.10.4.7.1 Stairways shall be permitted to be unenclosed in a historic building where such stairways serve only one adjacent floor. Communicating stair C will remain in place.
43.10.4.8 One-Hour Fire-Rated Assemblies.
Existing walls and ceilings shall be exempt from the minimum 1- hr fire resistance-rated construction requirements of other sections of this *Code* where the existing wall and ceiling are of wood lath and plaster construction in good condition.
43.10.4.9 Stairway Handrails and Guards
New, code compliant handrails are being provided in egress stairs A, B and D.
43.10.4.9.1 Existing grand stairways shall be exempt from the handrail and guard requirements of other sections of this code.

43.10.4.9.2 Existing handrails and guards on grand stair cases shall be permitted to remain in use, provided that they are not structurally dangerous.

43.10.4.11 Sprinkler Systems
Building will be fully outfitted with an automatic NFPA 13 Sprinkler system.
43.10.5 Change of Occupancy.
43.7.1.1 A change of use that does not involve a change of occupancy classification shall comply with the requirements applicable to the new use in accordance with the applicable existing occupancy chapter.
43.10.5.2 Means of Egress Existing door openings, window openings intended for emergency egress, and corridor and stairway widths narrower than those required for non-historic buildings under this *Code* shall be permitted, provided that one of the following criteria is met: See calculation using **Table 7.3.3.1.**
43.10.5.3 Door Swing Where approved by the authority having jurisdiction, existing front doors shall not be required to swing in the direction of egress travel, provided that other approved exits have sufficient capacity to serve the total occupant load.
Existing historic entry Doors 112 and 113 to remain in place. Capacity factors for egress doors 001, 101 and 116 calculated using **Table 7.3.3.1.** and meet required occupant load per floor

LICENSED ARCHITECT
DAVID LLOYD NO. 936
STATE OF MAINE

Prepared For:
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Consultant:

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Project:
THE CLARENCE HALE MANSION
765 Congress Street Portland, Maine

Revisions:

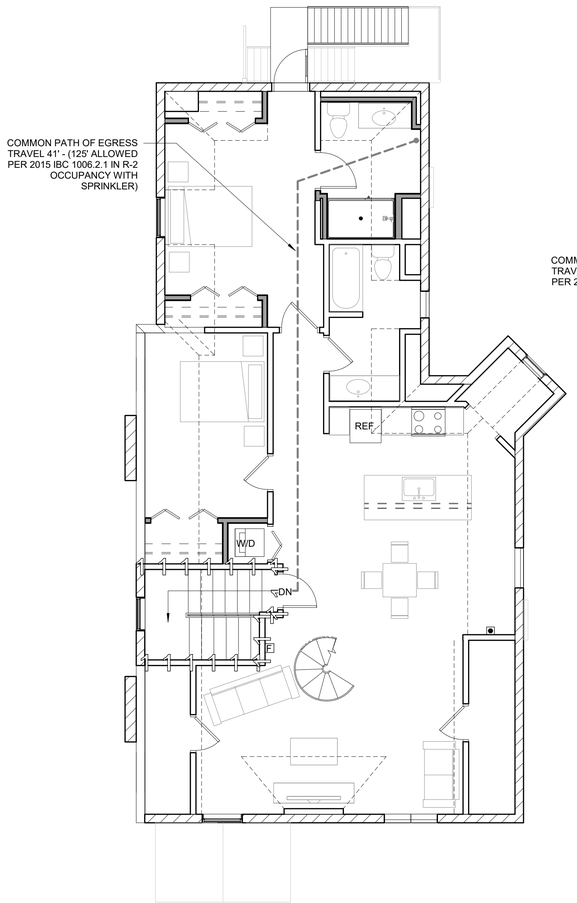
Scale: 12" = 1'-0"

Date: 26 JUNE 2018

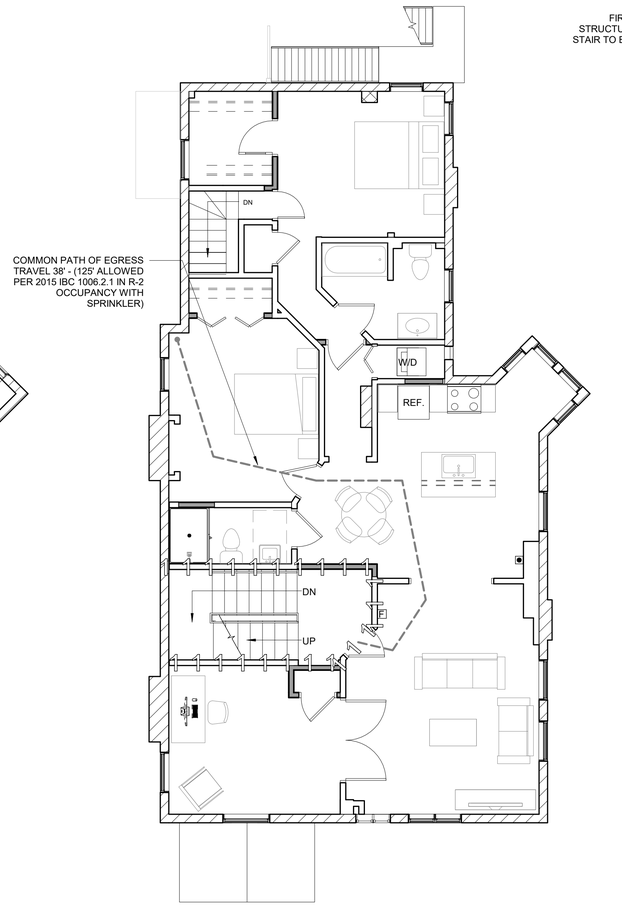
CODE SUMMARY

AC0.1

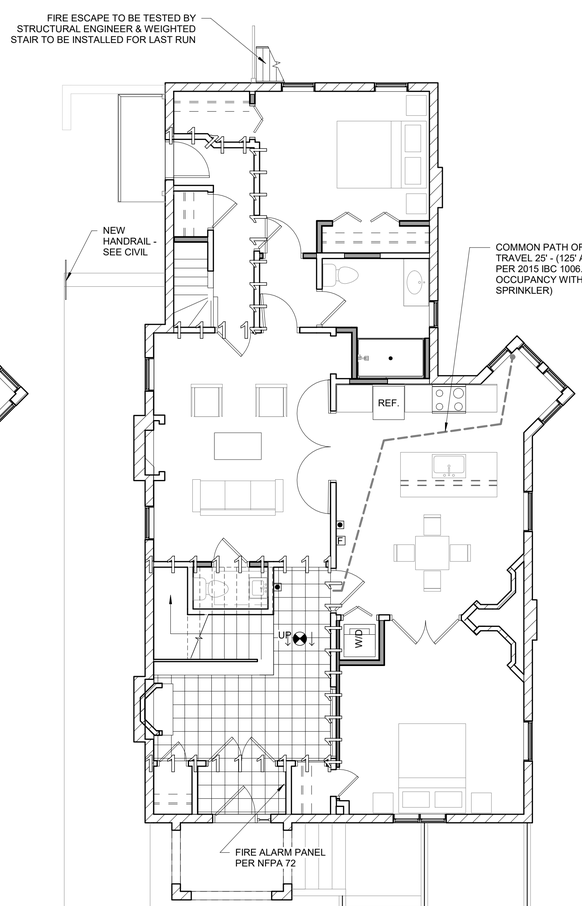
FIRE EXTINGUISHER	
NEW WALL - SMOKE PART.	
1-HOUR RATED PARTITION	
2-HOUR RATED PARTITION	
EXIT ACCESS. TRAVEL DISTANCE	
COMMON PATH OF TRAVEL LENGTH	
EXIT SIGN	
FIRE ALARM PULL STATION	
EXIT ACCESS	



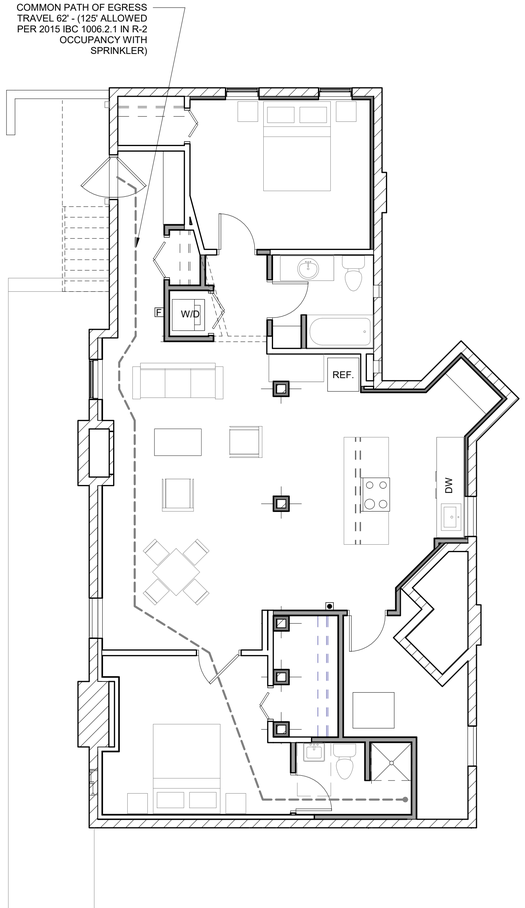
4 FOURTH FLOOR LIFE SAFETY PLAN
3/16" = 1'-0"



3 THIRD FLOOR LIFE SAFETY PLAN
3/16" = 1'-0"



2 SECOND FLOOR LIFE SAFETY PLAN
3/16" = 1'-0"



1 FIRST FLOOR LIFE SAFETY PLAN
3/16" = 1'-0"

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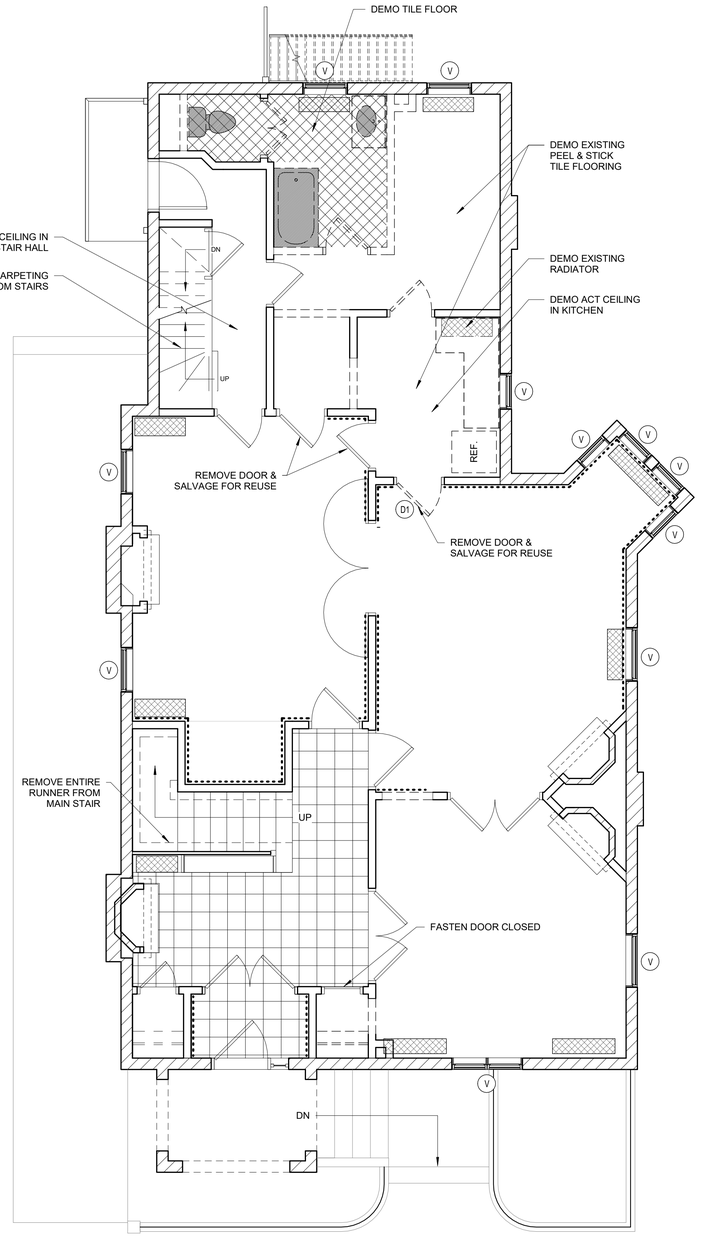
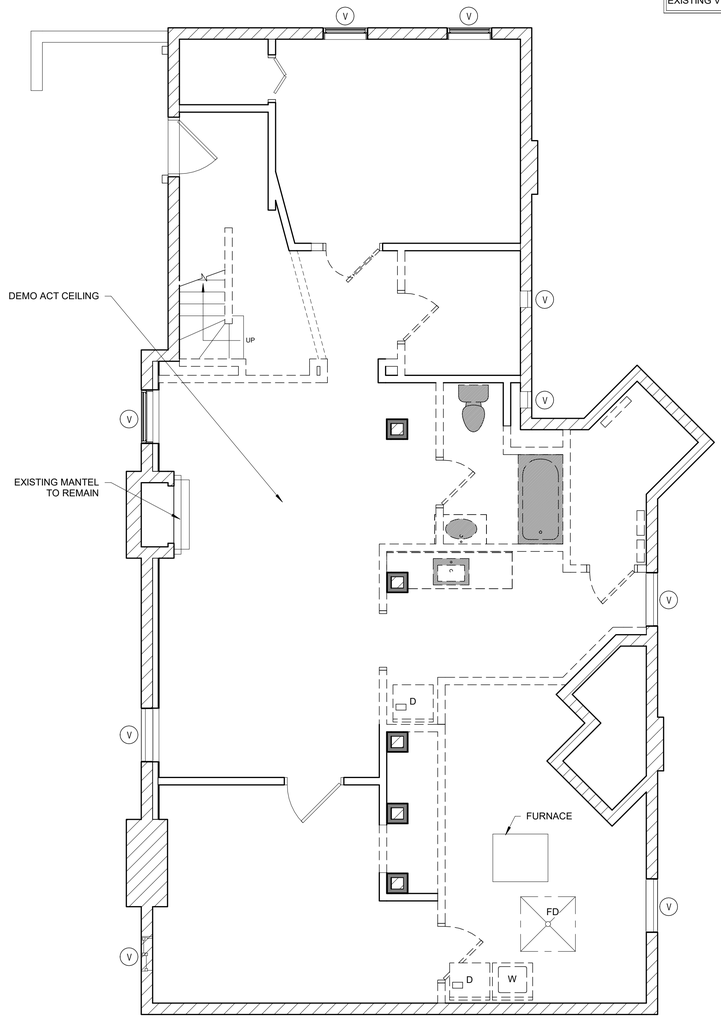
LIFE SAFETY

LS1.1

NEW WALL - STUD & GYP. BD.	
EXISTING STUD WALL OR FLOOR	
EXISTING MASONRY WALL	
DEMO AND REMOVE	
EXISTING WAINSCOTING	
SEMI RECESSED FIRE EXTINGUISHER CABINET	
EXISTING DOOR	
NEW DOOR	
EXISTING RADIATOR, TO REMAIN	
EXISTING WOOD WINDOW	W
EXISTING WOOD WINDOW & STORM	WS
EXISTING VINYL WINDOW	V



2 EXISTING SECOND FLOOR PLAN
1/4" = 1'-0"



1 EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"

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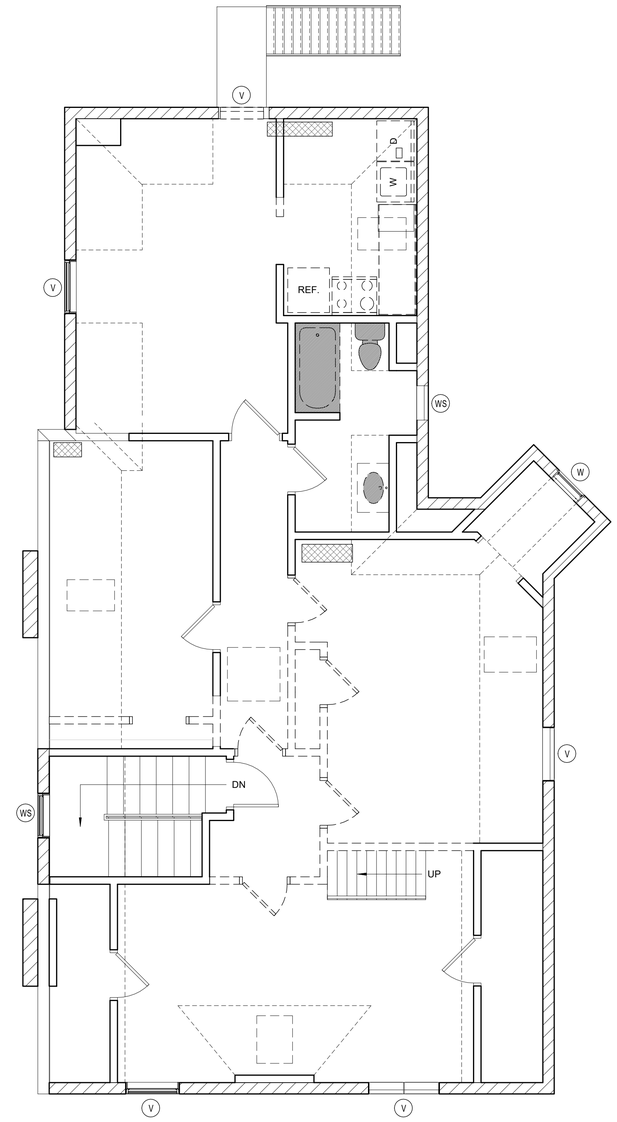
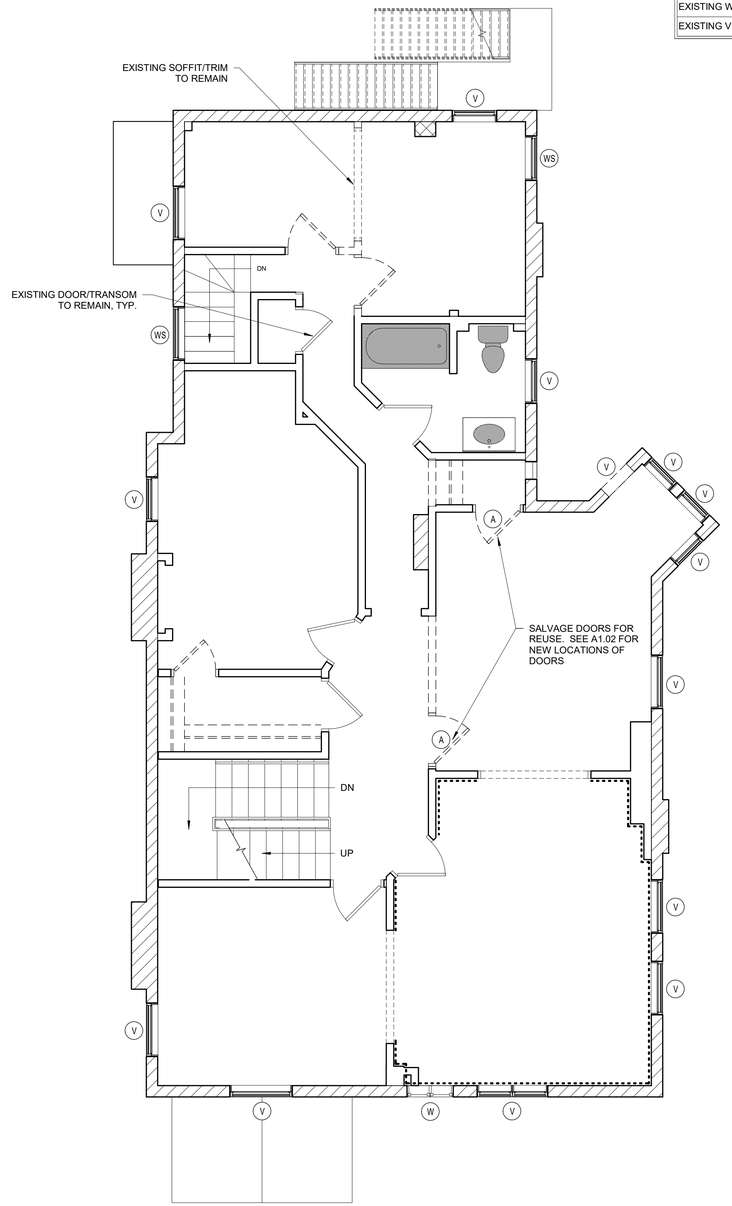
EXISTING FLOOR PLANS WITH DEMO

A0.01

NEW WALL - STUD & GYP. BD.	
EXISTING STUD WALL OR FLOOR	
EXISTING MASONRY WALL	
DEMO AND REMOVE	
EXISTING WAINSCOTING	
SEMI RECESSED FIRE EXTINGUISHER CABINET	
EXISTING DOOR	
NEW DOOR	
EXISTING RADIATOR, TO REMAIN	
EXISTING WOOD WINDOW	W
EXISTING WOOD WINDOW & STORM	WS
EXISTING VINYL WINDOW	V



2 | EXISTING FOURTH FLOOR PLAN
1/4" = 1'-0"



1 | EXISTING THIRD FLOOR PLAN
1/4" = 1'-0"

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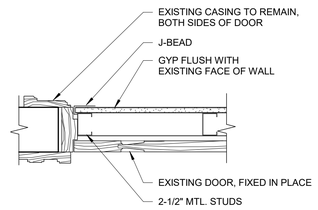
EXISTING FLOOR PLANS WITH DEMO

A0.02



3 DETAIL AT HISTORIC DOOR
1 1/2" = 1'-0"

GENERAL NOTES:

ALL PLASTER WALLS & CEILINGS TO BE REPAIRED AS NEEDED OR REPLACED WITH DRYWALLIF DEEMED BY THE ARCHITECT RO BE IN POOR CONDITION.

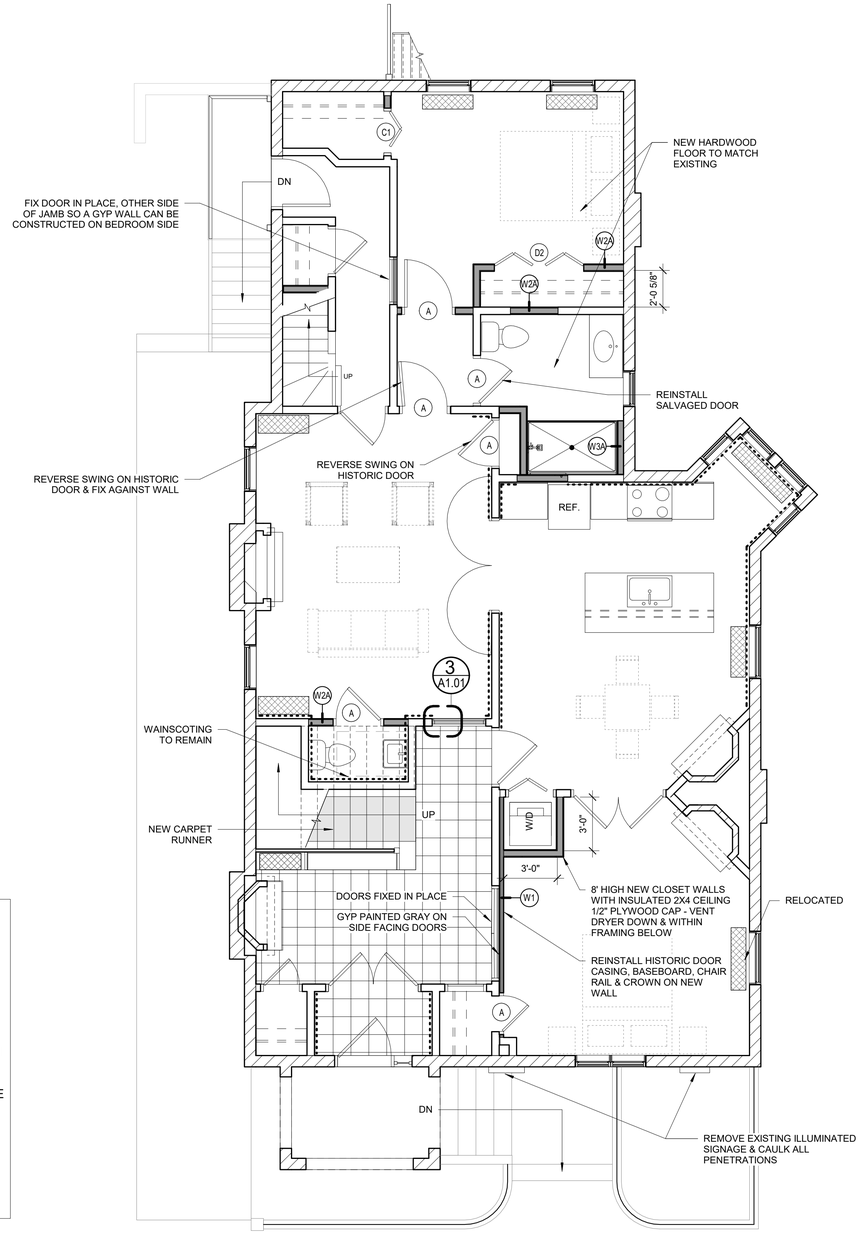
ALL NEW BASEBOARD TO BE 1X8 RIPPED TO MATCH HEIGHT OF EXISTING HISTORIC - GRAIN & FINISH TO MATCH NEARBY HISTORIC.

NEW WINDOW/DOOR CASING TO BE 1X4 - GRAIN & FINISH TO MATCH ADJACENT HISTORIC.

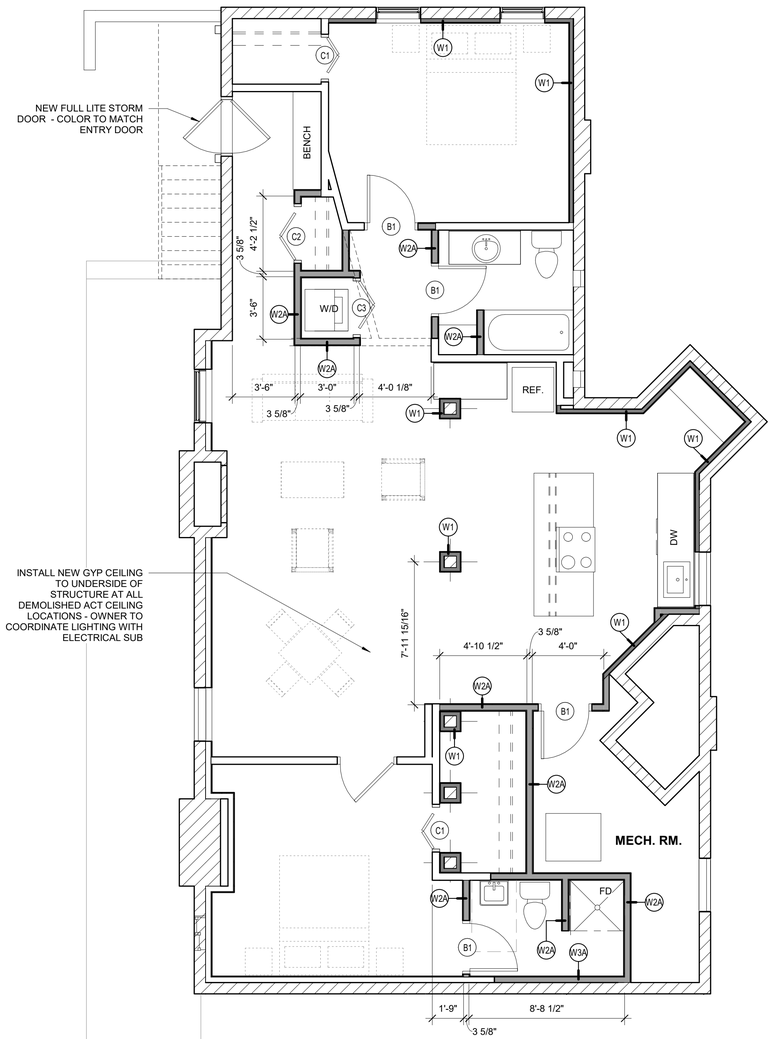
REMOVE ALL MODERN CLAMSHELL CASING AND REPLACE WITH FLAT CASING AS SPECIFIED ABOVE.

WHERE WALL IS INFILLED AT HISTORIC BASEBOARD, INFILL WITH SALVAGED BASE TO MATCH WHEREVER POSSIBLE.

ALL HISTORIC TRIM ON EXTERIOR WALLS TO REMAIN UNLESS SPECIFIED ON PLANS.



2 NEW SECOND FLOOR PLAN
1/4" = 1'-0"



1 NEW FIRST FLOOR PLAN
1/4" = 1'-0"

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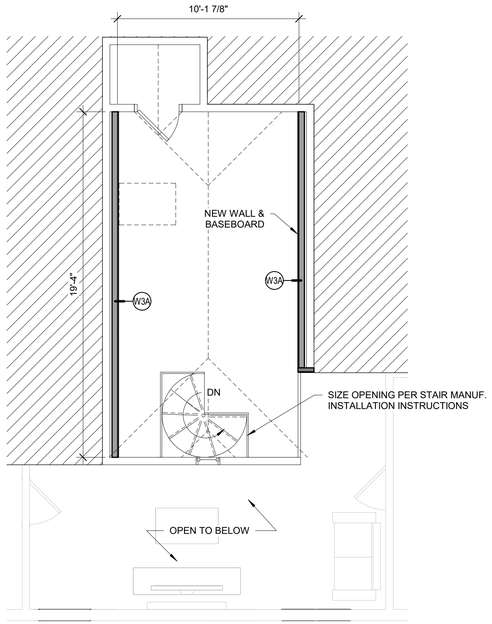
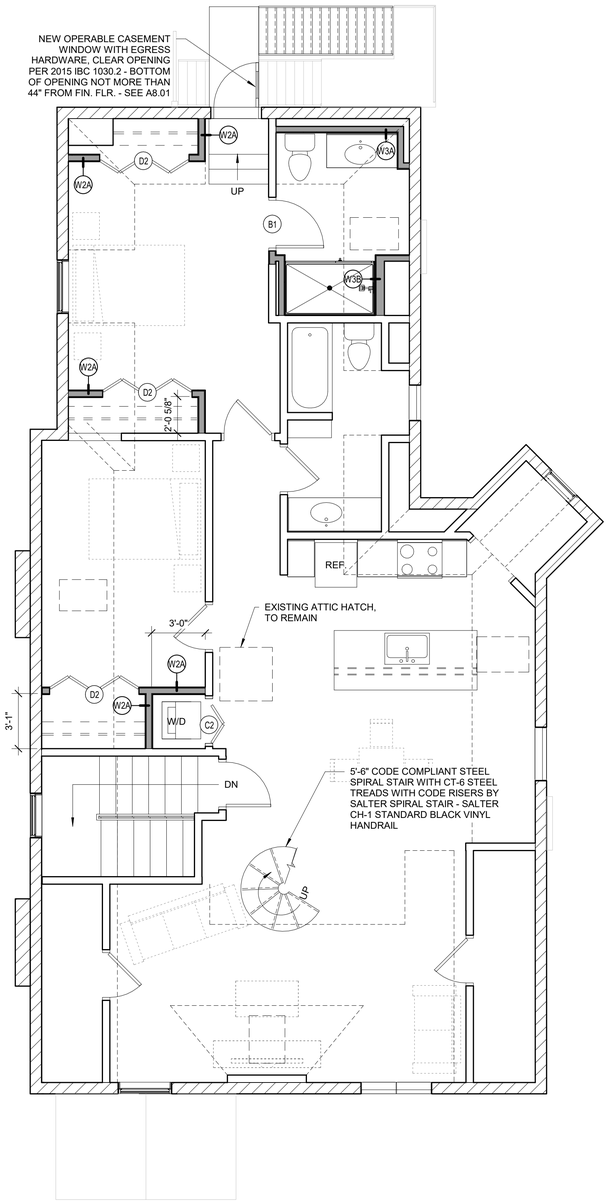
NEW FLOOR PLANS

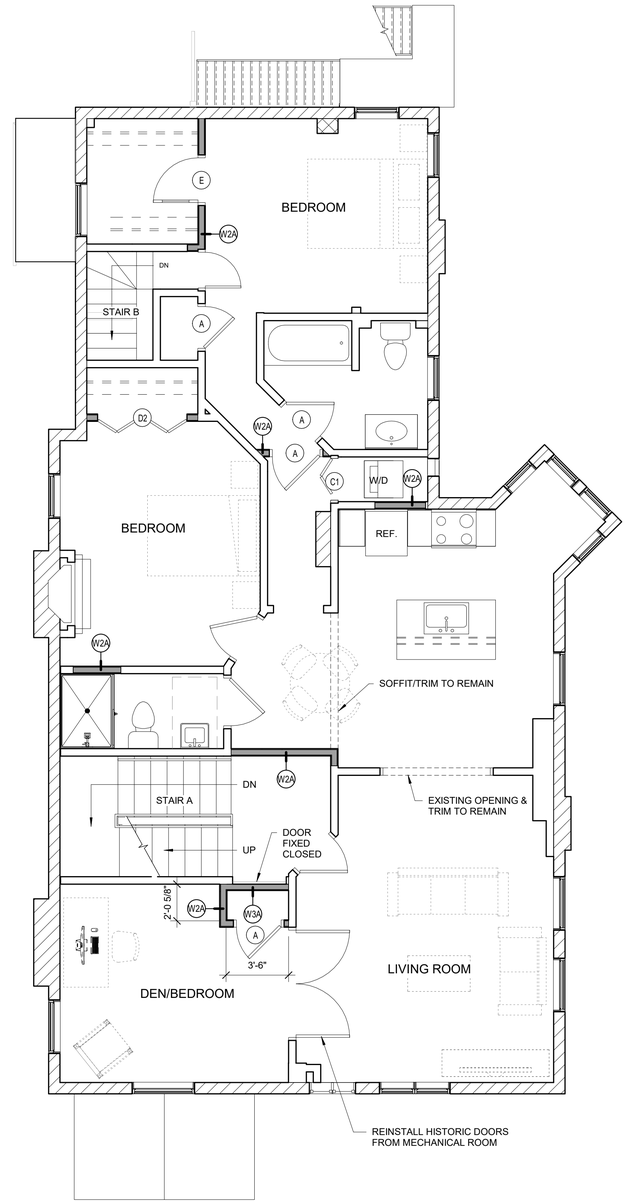
A1.01



1 | NEW MEZZANINE PLAN
1/4" = 1'-0"



2 | NEW FOURTH FLOOR PLAN
1/4" = 1'-0"



3 | NEW THIRD FLOOR PLAN
1/4" = 1'-0"

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NO. 936
STATE OF MAINE

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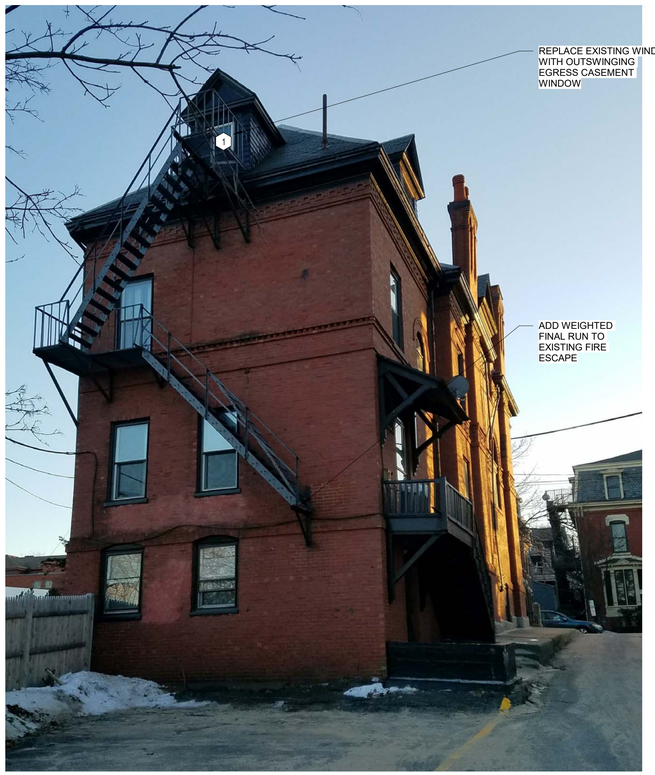
NEW FLOOR PLANS

A1.02

REPLACE HIP & RIDGE FLASHING WITH NEW BLACK MTL. FLASHING, TYP. ENTIRE ROOF

REPLACE ANY DAMAGED LENGTHS OF GUTTER/DOWNSPOUT IN KIND

4 | EAST ELEVATION
1/16" = 1'-0"



REPLACE EXISTING WINDOW WITH OUTSWINGING EGRESS CASEMENT WINDOW

ADD WEIGHTED FINAL RUN TO EXISTING FIRE ESCAPE

3 | NORTH ELEVATION
1/16" = 1'-0"

SCRAPE/PAINT WOOD CORNICE

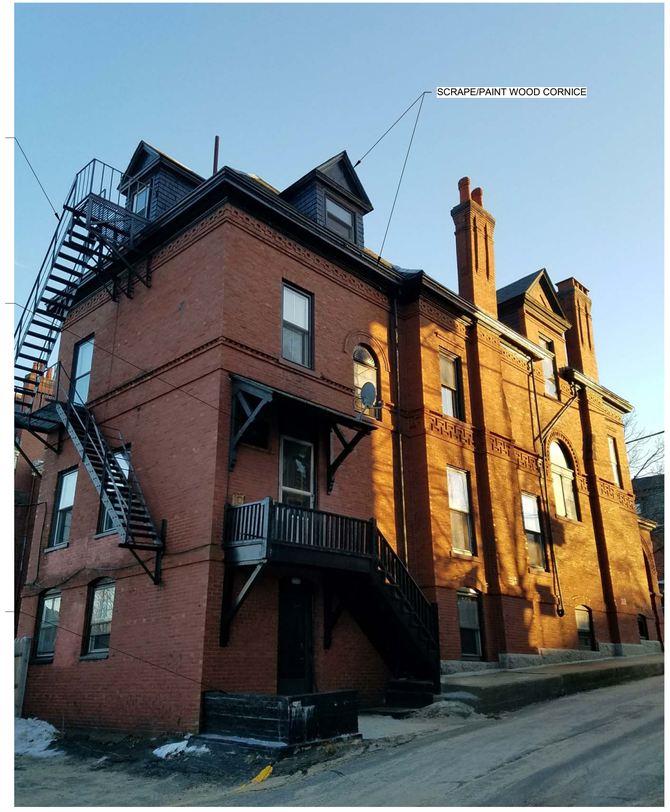
REMOVE SIGNAGE

2 | SOUTH ELEVATION
1/16" = 1'-0"

SCRAPE/PAINT FIRE ESCAPE

REMOVE VENT & REPLACE WITH NEW WINDOW

REMOVE PAINT FROM BRICK WALL



SCRAPE/PAINT WOOD CORNICE

1 | WEST ELEVATION
1/16" = 1'-0"

LICENSED ARCHITECT
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NO. 936
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765 Congress Street
Portland, Maine

Revisions:

Scale: 1/16" = 1'-0"

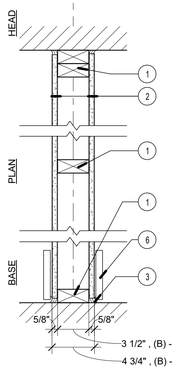
Date: 26 JUNE 2018

BUILDING ELEVATION NOTES

A2.01

W2A	W2B
2x4	2x6

NON-RATED NON- BEARING PARTITION

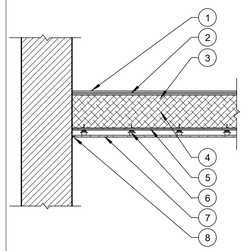


1. **WOOD FRAMING -** WOOD STUDS, NOM. 2 IN BY 4 IN (IN WALL B USE 2X6)., DOUBLE TOP PLATE AND SINGLE BASE PLATE, SEE STRUCTURAL FOR STUD LAYOUT, BRACING, AND FASTENERS. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
2. **GYPSUM BOARD -** (1) LAYER 5/8" GYP. BD. EACH SIDE, PAPER SURFACED, APPLIED PERPENDICULAR TO FRAMING WITH 1" TYPE S STEEL SCREWS SPACED 8" O.C. USE MOISTURE RESISTANT GYP. BOARD ON ALL BATHROOM WALLS - TYPICAL ALL BATHROOMS. GYP HELD UP FROM FLOOR 1/4"-3/8" FOR INSTALLATION OF ACOUSTIC SEALANT - TYP.
3. **SEALANT -** UL AND STC LISTED SEALANT, FULL PERIMETER BOTH SIDES.
4. **BLOCKING - (NOT SHOWN)** WOOD BLOCKING AS NEEDED
5. **TAPE AND COMPOUND - (NOT SHOWN)** VINYL, DRY OR PREMIXED JOINT COMPOUND, APPLIED IN TWO COATS TO JOISTS AND SCREW HEADS, PAPER TAPE, 2 IN. WIDE, EMBEDDED IN FIRST LAYER OF COMPOUND OVER ALL JOINTS.
6. **BASE -** SEE "FLOOR COVERING AND TRIM NOTES" ON A6.__ - "ENLARGED UNIT PLANS AND DETAILS" SHEETS

4 | WALL TYPE 2 - BEARING PARTITION
1 1/2" = 1'-0"

LABEL 1 HR | **C1**

CEILING SYSTEM
1 HR RATING
DESIGN NUMBER - UL L502
STC SOUND - 55

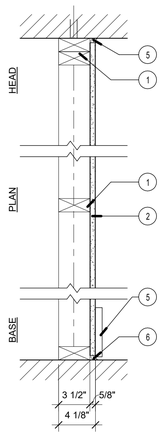


1. **FLOOR -** EXISTING HARDWOOD FLOOR OR NEW LVT
2. **SUBFLOOR -** EXISTING WOOD PLANK SUBFLOOR
3. **FLOOR JOISTS -** EXISTING 2" X 10" WOOD JOISTS
4. **FIBER, DENSE PACKED -** SPRAY APPLIED CELLULOSE MATERIAL. THE FIBER IS APPLIED TO COMPLETELY FILL THE ENCLOSED JOIST CAVITY IN ACCORDANCE WITH THE APPLICATION INSTRUCTIONS SUPPLIED WITH THE PRODUCT. NOMINAL DRY DENSITY OF 3-½ LBS/FT³.
5. **CEILING -** EXISTING CEILING FINISH.
6. **FURRING -** PLITEQ GENIE CLIP RST NOISE CONTROL CLIPS SPACED 48" O.C. AND ATTACHED TO ALTERNATING JOISTS WITH NO. 8 X 2-1/2 IN. COARSE DRYWALL SCREW THROUGH THE CENTER GROMMET. 2-3/8 IN. WIDE BY 7/8 IN. DEEP HAT CHANNELS FORMED OF NO. 25 MSG GALV. STEEL ARE FRICTION FITTED INTO CLIPS. ENDS OF ADJOINING CHANNELS OVERLAPPED 6 IN. AND TIED TOGETHER WITH DOUBLE STRAND OF NO. 18 SWG GALV STEEL WIRE NEAR EACH OEND OF OVERLAP.
7. **CEILING -** NOM. 5/8 IN. THICK TYPE X GYPSUM BOARD, 4 FT WIDE INSTALLED WITH LONG DIMENSION PERPENDICULAR TO RESILIENT CHANNELS. NOM. 1 IN. LONG TYPE S BUGLE HEAD SCREWS ARE DRIVEN THROUGH CHANNEL SPACED 8 IN. O.C. END JOINTS OF GYPSUM BOARD SIMILARLY FASTENED TO RESILIENT CHANNELS POSITIONED AT END JOINT LOCATIONS.
8. **SEALANT -** UL AND STC LISTED SEALANT, FULL PERIMETER BOTH SIDES.
9. **TAPE AND COMPOUND - (NOT SHOWN)** VINYL, DRY OR PREMIXED JOINT COMPOUND, APPLIED IN TWO COATS TO JOISTS AND SCREW HEADS, PAPER TAPE, 2 IN. WIDE, EMBEDDED IN FIRST LAYER OF COMPOUND OVER ALL JOINTS.

1 | CEILING ASSEMBLY DETAIL
1/2" = 1'-0"

W3A	W3B
2x4	2x6

NON-RATED NON-BEARING
DESIGN NUMBER - N/A
STC SOUND - N/A

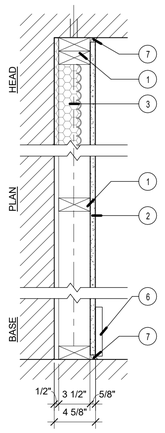


1. **WOOD FRAMING -** WOOD STUDS, NOM. 2 IN BY 4 IN, DOUBLE TOP PLATE AND SINGLE BASE PLATE, SEE STRUCTURAL FOR; STUD LAYOUT BRACING, AND FASTENERS. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
2. **GYPSUM BOARD -** (1) LAYER 5/8" GYP. BD. APPLIED PERPENDICULAR TO FRAMING WITH 1" TYPE S STEEL SCREWS SPACED 8" O.C.. USE MOISTURE RESISTANT GYP. BOARD ON ALL BATHROOM WALLS - TYPICAL ALL BATHROOMS. GYP HELD UP FROM FLOOR 1/4"-3/8" FOR INSTALLATION OF ACOUSTIC SEALANT - TYP.
3. **BLOCKING - (NOT SHOWN)** WOOD BLOCKING AS NEEDED
4. **TAPE AND COMPOUND - (NOT SHOWN)** VINYL, DRY OR PREMIXED JOINT COMPOUND, APPLIED IN TWO COATS TO JOINTS AND SCREW HEADS, PAPER TAPE, 2 IN. WIDE, EMBEDDED IN FIRST LAYER OF COMPOUND OVER ALL JOINTS.
5. **BASE - BASE -** SEE "FLOOR COVERING AND TRIM NOTES" ON A6.__ - "ENLARGED UNIT PLANS AND DETAILS" SHEETS
6. **SEALANT -** UL AND STC LISTED SEALANT, FULL PERIMETER BOTH SIDES.

3 | WALL 3 - NON-RATED ONE-SIDED PARTITION
1 1/2" = 1'-0"

W1

NON-RATED NON-BEARING
DESIGN NUMBER - N/A
STC SOUND - N/A



1. **WOOD FRAMING -** WOOD STUDS, NOM. 2 IN BY 4 IN, DOUBLE TOP PLATE AND SINGLE BASE PLATE, SEE STRUCTURAL FOR; STUD LAYOUT BRACING, AND FASTENERS. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
2. **GYPSUM BOARD -** (1) LAYER 5/8" GYP. BD. APPLIED PERPENDICULAR TO FRAMING WITH 1" TYPE S STEEL SCREWS SPACED 8" O.C. GYP HELD UP FROM FLOOR 1/4"-3/8" FOR INSTALLATION OF ACOUSTIC SEALANT - TYP.
3. **INSULATION -** CLOSED-CELL SPRAY FOAM INSULATION FROM TOP OF WALL DOWN 3'-0" (R-15 MIN)
4. **BLOCKING - (NOT SHOWN)** WOOD BLOCKING AS NEEDED
5. **TAPE AND COMPOUND - (NOT SHOWN)** VINYL, DRY OR PREMIXED JOINT COMPOUND, APPLIED IN TWO COATS TO JOINTS AND SCREW HEADS, PAPER TAPE, 2 IN. WIDE, EMBEDDED IN FIRST LAYER OF COMPOUND OVER ALL JOINTS.
6. **BASE -** SEE "FLOOR COVERING AND TRIM NOTES" ON A6.__ - "ENLARGED UNIT PLANS AND DETAILS" SHEETS
7. **SEALANT -** UL AND STC LISTED SEALANT, FULL PERIMETER BOTH SIDES.

2 | WALL 1 - NON-RATED BASEMENT FURRING WALL
1 1/2" = 1'-0"

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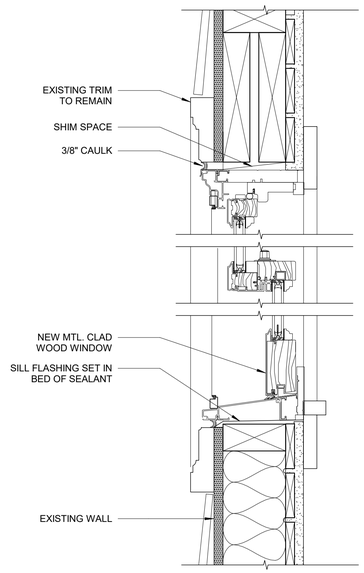
WALL & CELING TYPES

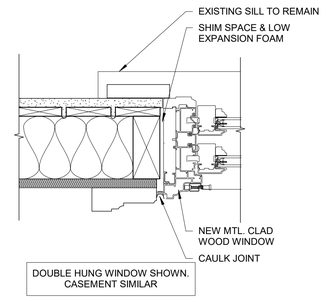
A4.00

DOOR NOTES

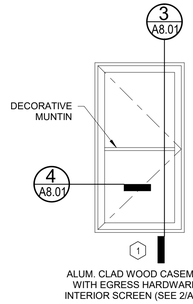
1. ALL RATED DOORS TO HAVE CLOSERS, SMOKE SEALS, AND DOOR SWEEPS
2. ALL EXTERIOR DOORS TO HAVE CLOSERS, WEATHERSTRIPPING, AND DOOR SWEEPS
3. HEIGHT OF NEW DOORS TO MATCH HEIGHT OF EXISTING DOORS, TYP.
4. ADD SPRING HINGES & SMOKE SEALS TO ALL EXISTING UNIT DOORS AND STAIR DOORS



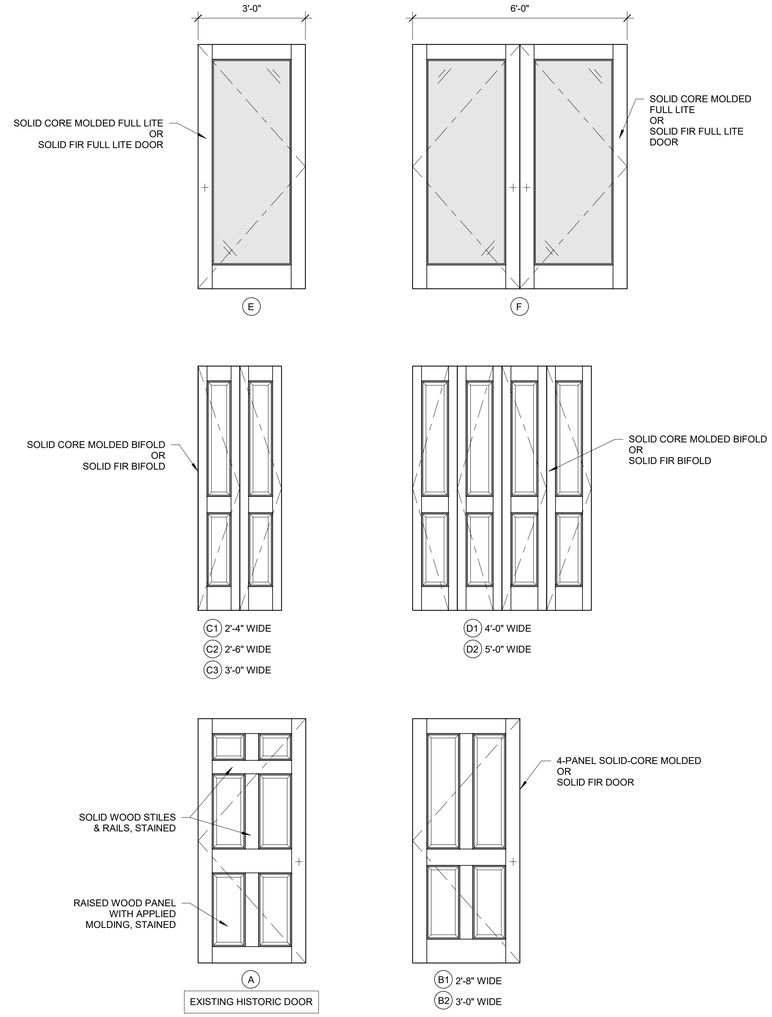
3 VERT. WINDOW SECTION
3" = 1'-0"



4 HORIZ. WINDOW SECTION
3" = 1'-0"



2 WINDOW ELEVATION
1/2" = 1'-0"



1 DOOR ELEVATIONS
1/2" = 1'-0"

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WINDOW/DOOR SCHEDULE

A8.01