

Neighborhood Meeting Certification

415 Cumberland Avenue

I, Barry Yudaken hereby certify that a neighborhood meeting was held on March 14, 2018 at 415 Cumberland Street @ 5:30 pm.

I also certify that on March 1, 2018 invitations were mailed to all addresses on the mailing list provided by the Planning Division, including property owners within 500 feet of the proposed development and the residents on the "interested parties" list.

Signed,



March 15, 2018

Attached to this certification are

1. Copy of the invitation sent
2. Sign-in sheet
3. Meeting minutes

A R C H I T E C T Y P E

March 1, 2018

Dear Neighbor:

Please join us for a neighborhood meeting as we share plans for the construction at 415 Cumberland Avenue into seven (7) residential units and two (2) commercial units.

Meeting Location: 415 Cumberland Avenue, ME 04101

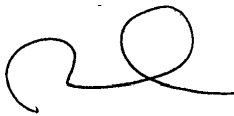
Meeting Date: Wednesday March 14, 2018

Meeting Time: 5:30 PM

(The City code requires that property owners within 500 feet (1000 feet for proposed industrial subdivisions and industrial zone changes) of the proposed development and residents on an “interested parties list”, be invited to participate in a neighborhood meeting. A sign-in sheet will be circulated, and minutes of the meeting will be taken. Both the sign-in sheet and minutes will be submitted to the Planning Board.)

If you have any questions, please email Sam Reiche at reiche.sam@gmail.com.

Sincerely,



David Lloyd
Maine Licensed Architect

Note:

Under Section 14-32(C) and 14-524(a)d of the City Code of Ordinances, an applicant for a Level III development, subdivision of over five lots/units, or zone change is required to hold a neighborhood meeting within 30 days of submitting a preliminary application or 21 days of submitting a final site plan application, if a preliminary plans was not submitted. The neighborhood meeting must be held at least seven days prior to the Planning Board public hearing on the proposal. Should you wish to offer additional comments on this proposed development, you may contact the Planning Division at 874-8721 or send written correspondence to the Planning and Urban Development Department, Planning Division 4th Floor, 389 Congress Street Portland, ME 04101 or by email: to bab@portlandmaine.gov

Archetype, P.A.
48 Union Wharf
Portland, ME 04101

Place
Stamp
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Neighborhood Meeting Notes

415 Cumberland Avenue

3/15/2018

Presenters:

- Barry Yudaken Architect, Archetype Architects
- Sam Reiche, Developer

We held the Neighborhood meeting yesterday evening at 5:30pm. The meeting was held at 415 Cumberland Avenue.

4 people attended the meeting. Sam Reiche spoke about the building, it's history, and his experience as a developer and spoke about how this project would be good for Portland. I spoke about the design proposal and explained to those who attended what the design intentions were and why certain decisions were taken.

Everyone was very positive and said it looked like a good project. They were less concerned about the design details and more concerned that the project would not proceed, as twice before they have seen proposals for the building and then twice before those projects never materialized.

When I asked for any comments at the end of the meeting, none were made. I did record two comments made during discussion before I specifically asked. One was "It would be nice if the business space became a coffee shop" and the other was "It's nice to see apartments being proposed again rather than condo's and its good for the city."

End of Notes

SIGN UP SHEET
415 Cumberland Street
14-Mar-18

	Name	Address
1	Ron Spinella	377 Cumberland Ave
2	Emma Moser	70 Forest Ave.
3	Susan McCloskey	25 Paris St.
4	George Aheault	28 Hanover St.
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