

n/f YMCA Building  
Map/Lot 36-G-20  
No Tax Information

YMCA Building

n/f Burnham  
Multi-Unit Structure  
Map/Lot 36-G-32  
Book 11777, Page 320

SPC COORDINATES  
N 91704.075304  
E 306752.801421  
ELEV. 73.10

SPC COORDINATES  
N 91603.456033  
E 306821.622717  
ELEV. 81.00

415 Cumberland Avenue  
Book 30443  
Page 133  
(from CCRD)  
Area of Parcel: 0.14 acres

n/f Auesta  
Multi-Unit Structure  
Map/Lot 36-H-19  
Book 31209, Page 311

n/f MMC Realty  
Multi-Unit Structure  
Map/Lot 37-E-6  
Book 10280, Page 291



NO.	REVISIONS	DATE
1	Plan revisions	10/22/15
2	Plan revisions	07/14/16
3	Plan revisions	07/21/16
4	Revised Owner & Project Name	03/20/18
5	Add Parking Spaces per City Review	04/16/18

OWNER  
**415 CA, LLC**  
28 EDGEHILL ROAD  
BROOKLINE, MA 02445

DATE: 06/18/16  
SCALE: 1" = 10'

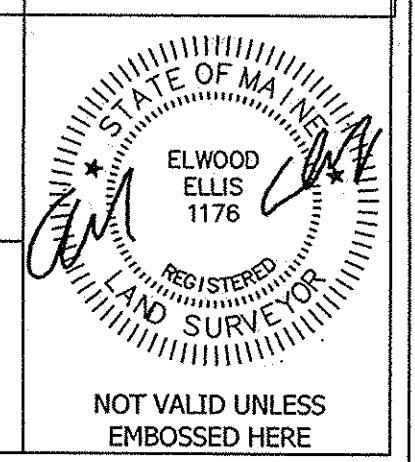
PROJECT: **415 CUMBERLAND AVENUE**  
415 CUMBERLAND AVENUE, PORTLAND, MAINE  
BOUNDARY & TOPOGRAPHIC SURVEY

ADDRESS: 415 Cumberland Avenue  
CITY: Portland  
COUNTY: Cumberland  
STATE: Maine

**D. S. D.**  
DOWNEAST SURVEYING & DEVELOPMENT  
ELWOOD ELLIS, P.L.S., # 1176  
CUMBERLAND, MAINE 04095  
(207) 866-5977  
MEMBER MAINE SOCIETY OF LAND SURVEYORS

This plan was prepared by Downeast Surveying and Development for a specific use. Downeast Surveying and Development assumes no liability for any unauthorized additions, deletions or alterations made to this plan.

**1 OF 1**  
SHEET NUMBER



NOT VALID UNLESS EMBOSSED HERE

**GENERAL NOTES**

- OWNER/DEVELOPER: 415 CA, LLC, 25 EDGEHILL RD, BROOKLINE, MA 02445, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS, BK 34152, PG 38, DATED JULY 12, 2011.
- ENGINEER: WALSH ENGINEERING ASSOCIATES, INC., 28 VANNAH AVENUE, PORTLAND, MAINE, 04103.
- ARCHITECT: ARCHETYPE ARCHITECTS, 48 UNION WHARF, PORTLAND, MAINE 04101.
- TOPOGRAPHIC AND BOUNDARY INFORMATION TAKEN FROM SURVEY PROVIDED BY: DOWNEAST SURVEYING & DEVELOPMENT, P.O. BOX 6234, CHINA VILLAGE, MAINE 04926, TITLED "415 CUMBERLAND, LLC SUBDIVISION FLAT", DATED 12/14/11.
- UTILITY INFORMATION TAKEN FROM PLAN BY: ACORN ENGINEERING, INC., TITLED "UTILITY PLAN", DATED 10/12/16, PORTLAND WATER DISTRICT RECORDS AND CITY OF PORTLAND ENGINEERING DEPART RECORDS.
- ZONE: B3C, DOWNTOWN BUSINESS ZONE  
PROPOSED USE: GENERAL BUSINESS & PROFESSIONAL OFFICES, PERSONAL SERVICES, TRADESMAN OFFICES, RESIDENTIAL
- TAX MAP REFERENCE: MAP 036 LOT G033001
- TOTAL PARCEL = 0.14 ACRES
- CALL DIG-SAFE PRIOR TO COMMENCING WORK, 811 OR 1-888-DIG-SAFE.
- UNITS TO BE SERVICED BY EXISTING PUBLIC WATER, SEWER, AND GAS FROM CUMBERLAND OR FOREST AVENUES.
- POWER, TELEPHONE AND CABLE SERVICES ARE UNDERGROUND FROM FOREST AVENUE.
- ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL MEET CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.
- THE SUBJECT PARCEL KNOWN AS 415 CUMBERLAND AVENUE IS SUBJECT TO A CITY OF PORTLAND LEVEL III SITE PLAN AND SUBDIVISION PERMIT.
- DETAILS OF STREET TREES ARE INCLUDED ON THE SITE PLAN AS PART OF THE APPROVAL FOR 415 CUMBERLAND AVENUE SITE PLAN. TWO STREET TREES ARE PLANNED.
- FLOODPLAIN: THIS PROPERTY IS IN ZONE C OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL 230051 0014 B, EFFECTIVE DATE JULY 11, 1986. IT IS NOT IN A SPECIAL FLOOD HAZARD ZONE.
- SNOW CLEARANCE REQUIREMENTS ARE AS NOTED ON THIS SHEET UNDER SNOW CLEARANCE NOTES.
- NEW PROPERTY PINS TO BE SET AT THE EXPENSE OF THE DEVELOPER AT THE END OF CONSTRUCTION AS REQUIRED. ANY MONUMENTATION DAMAGED BY CONSTRUCTION IS TO BE REPLACED.
- ALL CONSTRUCTION AND SITE ALTERATIONS SHALL BE DONE IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL BMPs" PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, LATEST EDITION 2016.
- THE FIRST FLOOR RE-USE SPACE IS TO REMAIN AS COMMERCIAL USE.
- PROJECT PROPOSES TO LOCATE OUTDOOR STORAGE FOR FOUR (4) BICYCLES ON THE SOUTH SIDE OF THE BUILDING.

**CITY OF PORTLAND SITE PLAN NOTES**

- LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION: TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
- ALL POWERLINE UTILITIES SHALL BE OVERHEAD.
- SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TIPDOWN RAMPS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL BMPs PUBLISHED BY THE BUREAU OF LAND AND QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2003.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
- ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
- PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
- EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THIS SITE. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE ERECTED OUTSIDE THE DRIP-LINE OF INDIVIDUAL, GROUPINGS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. REGRADING SHALL NOT TAKE PLACE WITHIN THE DRIP-LINE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRIP-LINE OF TREES TO BE PRESERVED.

**WAIVERS**

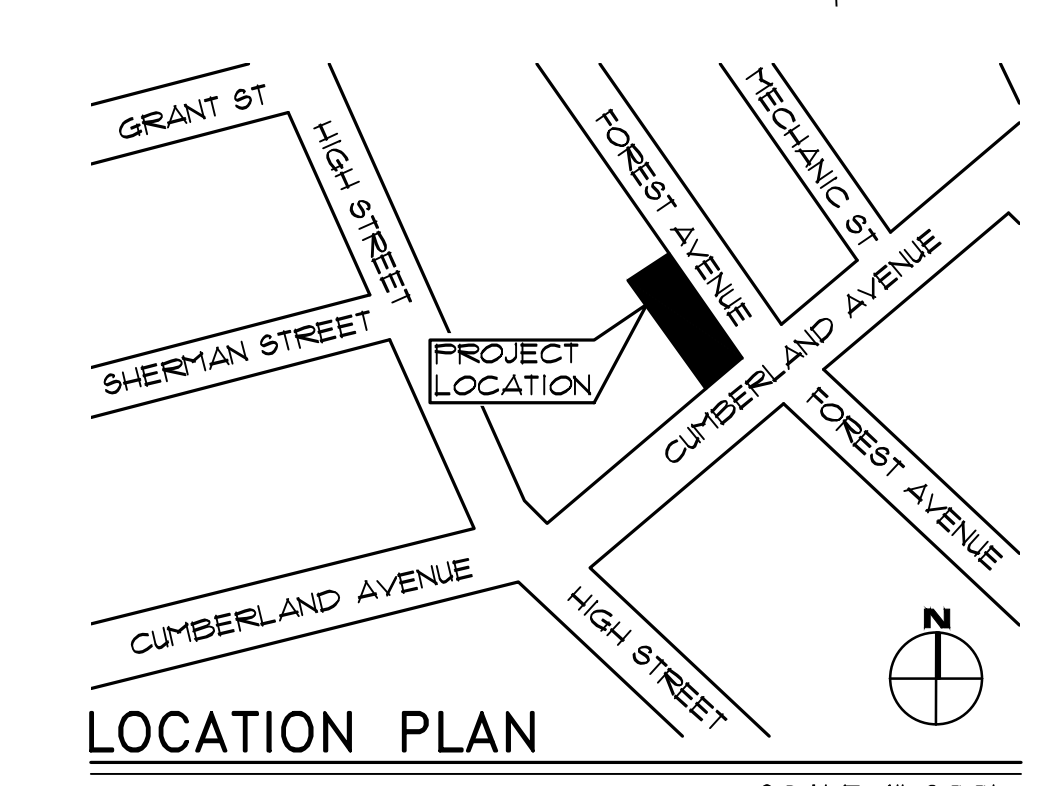
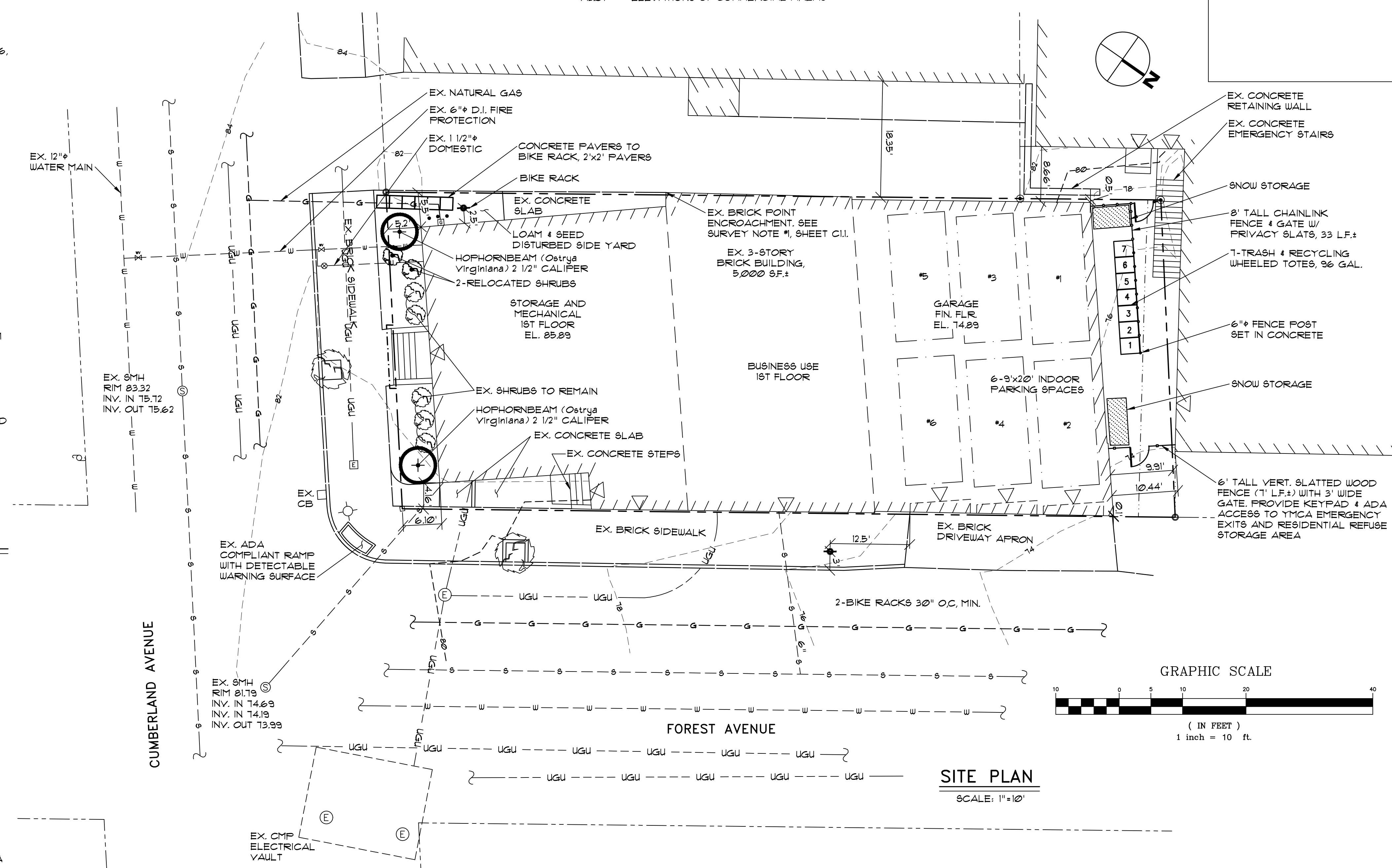
- NONE REQUESTED

**PROJECT DRAWING LIST**

- C10 SUBDIVISION RECORDING FLAT SHEET 1 OF 2
- C11 SUBDIVISION RECORDING FLAT SHEET 2 OF 2
- C12 SITE PLAN
- C13 DEMOLITION PLAN & SITE DETAILS
- A101 SURVEY PLAN
- A201 FLOOR PLANS
- ELEVATIONS OF COMMERCIAL AREAS

**IMPERVIOUS INFORMATION**

EXISTING IMPERVIOUS	5,762 SQ. FT.
PROPOSED IMPERVIOUS	24 SQ. FT.
NET IMPERVIOUS	5,786 SQ. FT.



**ZONE INFORMATION**

ZONE: B3C, DOWNTOWN BUSINESS PERMITTED USE: RESIDENTIAL, BUSINESS & PROFESSIONAL OFFICES, PERSONAL SERVICES, TRADESMAN OFFICES

SPACE STANDARDS	REQUIRED	PROPOSED	TOTAL SUBDIVISION
MINIMUM LOT SIZE	NONE	6,098 SQ. FT.	
MINIMUM STREET FRONTAGE	15 FEET	121.90 FEET	
MAXIMUM SETBACK	5 FEET	0 FEET	
MINIMUM YARD	NONE	0 FEET	
MINIMUM LOT WIDTH	NONE	121.90 FEET	
MAXIMUM LOT COVERAGE (BUILDINGS)	100%	81%	
MINIMUM BUILDING HEIGHT	35 FEET	EX. NO CHANGE	
MAXIMUM BUILDING HEIGHT	40 FEET	EX. NO CHANGE	

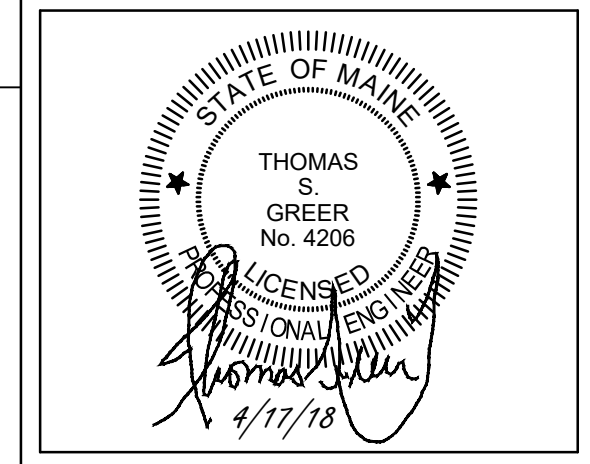
**PARKING INFORMATION**

EXISTING VEHICLE SPACES:	6
8 UNITS PROPOSED:	
FIRST 3 UNITS:	0
REMAINING UNITS, 1 PER UNIT:	5
TOTAL VEHICLE SPACES REQUIRED:	5
TOTAL PROVIDED:	6
BIKE SPACES REQUIRED:	
2 BIKE SPACES PER 5 DWELLING UNITS	3.2
8 UNITS PROPOSED = 8/2.5:	3.2
PROVIDED	4

**LEGEND**

EXISTING	PROPOSED
PROPERTY LINE	PROPERTY LINE
ABUTTER'S PROPERTY	ABUTTER'S PROPERTY
EASEMENT	EASEMENT
EDGE OF PAVEMENT	EDGE OF PAVEMENT
CURB	CURB
CONTOURS	CONTOURS
BUILDING	BUILDING
GAS LINE	GAS LINE
SANITARY SEWER	SANITARY SEWER
UNDERGROUND UTILITY	UNDERGROUND UTILITY
WATER LINE	WATER LINE
ELECTRIC FULLBOX	ELECTRIC FULLBOX
ELECTRIC MANHOLE	ELECTRIC MANHOLE
GAS METER	GAS METER
UTILITY POLE	UTILITY POLE
LIGHT SIGNAL SUPPORT	LIGHT SIGNAL SUPPORT
GATE VALVE	GATE VALVE
HYDRANT	HYDRANT
MONUMENT	MONUMENT
MAGNETIC SPIKE	MAGNETIC SPIKE
STEEL PIN	STEEL PIN
SHRUB	SHRUB
BOLLARD	BOLLARD
	BIKE RACK
	WOOD FENCE
	CHAINLINK FENCE
	FENCE GATE
	STREET TREE
	DUMPSTERS
	CONCRETE PAVERS
	SNOW STORAGE

**WALSH**  
ENGINEERING ASSOCIATES, INC.  
One Karen Dr., Suite 2A | Westbrook, Maine 04092  
ph: 207.553.9898 | www.walsh-eng.com  
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415 CUMBERLAND AVENUE  
PORTLAND, MAINE

415 CA, LLC  
25 EDGEHILL ROAD  
BROOKLINE, MA 02445

415 CUMBERLAND AVENUE  
PORTLAND, MAINE

Rev.	Date	Description	Drawn	Check
1	3/20/18	REV'D PER PRELIM CITY REVIEW	JDC	TSG
2	4/18	REV'D PER CITY REVIEW	JDC	TSG

Sheet Title:	<b>SITE PLAN</b>
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Job No.: 17184    Sheet No.:  
Date: 1/16/18  
Scale: AS SHOWN  
Drawn: RJS  
Checked: TSG

**C1.2**

N:\PROJECTS\CUMBERLAND AVE 415 PORTLAND\DWG\12164\_BLDG.dwg, 2018, 4/17/2018 10:02 PM

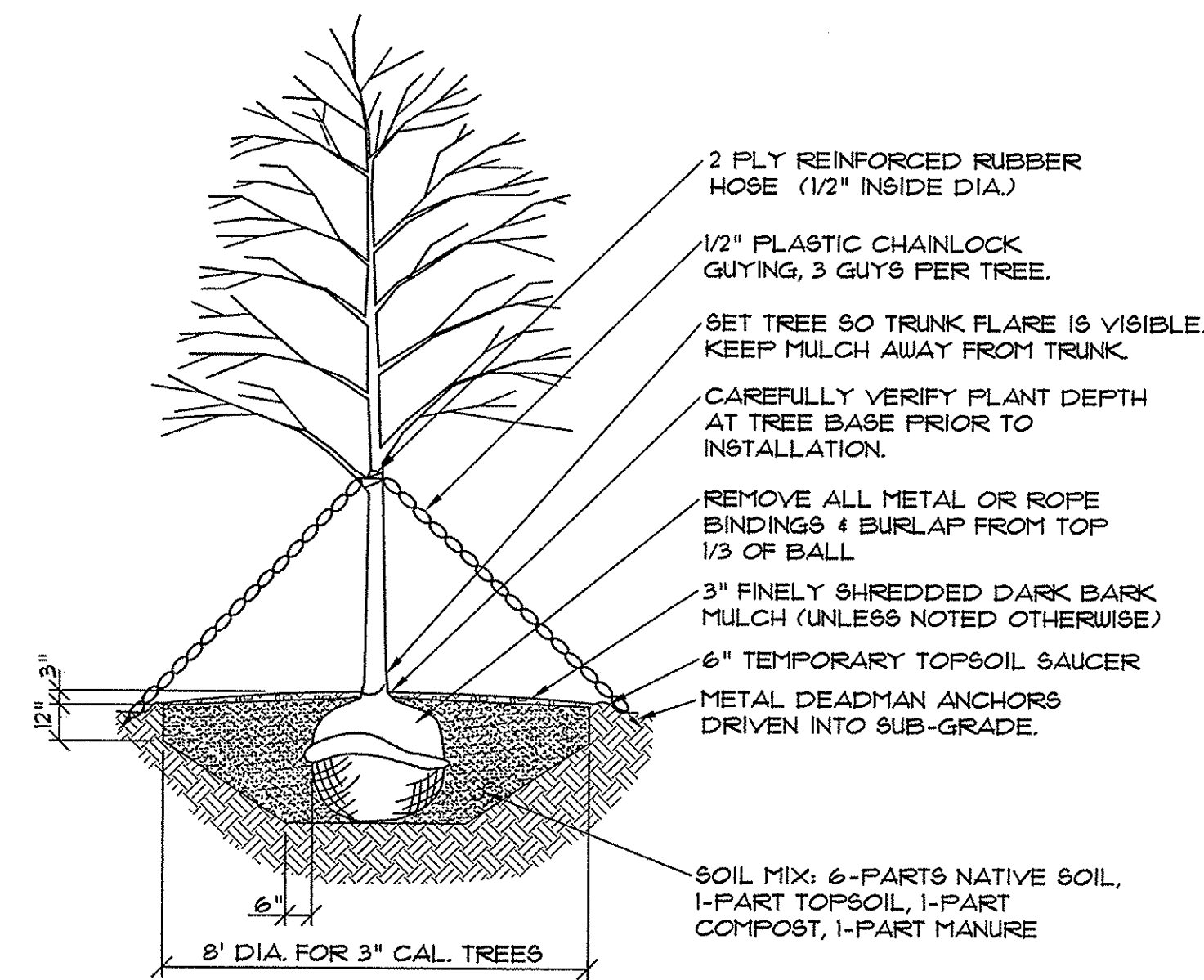
# LANDSCAPE NOTES

## GENERAL:

1. SAVE EXISTING TREES AS SHOWN. DO NOT CUT OR CLEAR ANY VEGETATION BEYOND THE IMPACT LIMIT LINE.
2. ALL PLANT MATERIALS INSTALLED ARE TO MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSEYMEN.
3. ALL PROPOSED PLANT LOCATIONS SHALL BE AS SHOWN ON PLANS. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO PLANTING AND WILL NOTIFY OWNER'S REPRESENTATIVE IN THE EVENT OF CONFLICTS.
4. PLANT LOCATIONS ARE TO BE SCALED FROM THE LANDSCAPE PLAN UNLESS NOTED OTHERWISE.
5. NO PLANT MATERIAL SHALL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
6. FINAL QUANTITY FOR EACH PLANT TYPE IS NOTED IN THE PLANT LIST. THIS NUMBER SHALL TAKE PRECEDENCE IN THE CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE LIST AND ON THE PLAN.
7. ANY PROPOSED SUBSTITUTIONS MUST BE APPROVED BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
8. ALL DISTURBED AREAS TO BE LOAMED AND SEEDDED.

## MAINTENANCE:

1. LAWNS: SHALL BE WATERED, FERTILIZED AND MOUN ON A REGULAR BASIS ACCORDING TO SEASON AND RAINFALL, TO PRODUCE A STRONG TURF OF 80% MIN. COVERAGE WITHIN THE FIRST YEAR, FREE FROM SIZABLE THIN OR BARE SPOTS. REGRADING AND RESEEDING WILL BE PERFORMED ON BARE SPOTS UNTIL COVERAGE IS COMPLETE.
2. TREES & SHRUBS: THE ESTABLISHMENT PERIOD SHALL BE TWO CALENDAR YEARS FROM THE DATE OF FINAL ACCEPTANCE. DURING THE ESTABLISHMENT PERIOD THE OWNER OR OWNER'S CONTRACTOR SHALL WATER, CULTIVATE AND PRUNE AS REQUIRED TO MAINTAIN A HEALTHY GROWING CONDITION.
3. AT THE END OF THE ESTABLISHMENT PERIOD AND UPON SUBSEQUENT ANNUAL INSPECTIONS, PLANTS WHICH HAVE DIED OR FAILED TO THRIVE SHALL BE REPLACED WITH EQUIVALENT SIZE AND SPECIES. AFTER THE CONTRACTOR'S GUARANTEE PERIOD HAS ENDED, IT IS THE OWNER'S RESPONSIBILITY TO MAINTAIN AND REPLACE PLANTINGS.
4. TREES, SHRUBS AND LAWNS WHICH ARE NOT IRRIGATED WITH AN AUTOMATIC SPRINKLER OR DRIP SYSTEM SHALL BE THOROUGHLY WATERED ON A REGULAR BASIS DURING PERIODS OF BELOW AVERAGE RAINFALL. SOIL SHOULD BE SAMPLED AT A DEPTH OF 12" AND IF DRY, WATER TO DEPTH OF 24".
5. MULCH IS TO BE MAINTAINED AT A DEPTH TO COMPLETELY COVER THE SOIL AND TO PRESERVE MOISTURE AND MINIMIZE WEEDS.
6. TREES, SHRUBS AND LAWNS SHALL BE FERTILIZED ANNUALLY AND TREATED WITH INSECTICIDES AND/OR FUNGICIDES AS REQUIRED FOR CONTINUED HEALTHY GROWTH.
7. SUCKERS, WEEDS, AND DEAD WOOD SHALL BE REMOVED ON A SEASONAL BASIS, AND SHRUBS SHALL BE PRUNED TWICE A YEAR ACCORDING TO THE REQUIREMENTS OF EACH SPECIES (IE. SOME SPECIES SHOULD NOT BE PRUNED AT ALL). SHRUBS SHALL NOT BE PRUNED INTO INDIVIDUALS BUT ALLOWED TO GROW INTO A MASS.
8. WHERE TREES ARE LOCATED NEAR SIDEWALKS OR PARKING LOTS, THE CANOPY SHALL BE LIMBED UP TO PROMOTE SAFE CLEARANCE TO 8' ABOVE GRADE.
9. LAWN AREAS SHALL BE MOUN AS OFTEN AS NECESSARY TO KEEP LAWNS TO A 2 1/2 - 3" HEIGHT, AND AERATED ON A SEASONAL BASIS.
10. BEDS AND LAWN EDGES SHALL BE REGULARLY TRIMMED AND EDGED.
11. PERENNIAL AND ANNUAL BEDS SHALL BE DESIGNED, PLANTED AND MAINTAINED FOR SEASONAL COLOR AND INTEREST. ANNUALS MAY BE INCORPORATED TO A MAXIMUM LIMIT OF 25% OF THE BED AREA OF MAINTAINED BEDS FROM MAY 15 THROUGH NOVEMBER 15. PERENNIAL BEDS SHALL BE WATERED AS REQUIRED FOR HEALTHY PLANT GROWTH, AND WEEDED AND DEADHEADED ON A MONTHLY BASIS.



- NOTES:
1. PRUNE ALL DEAD AND BROKEN BRANCHES. RETAIN NATURAL SHAPE, NEVER CUT LEADER.
  2. IN LEDGE CONDITIONS, BLASTING SHALL BE 10" DIA AND 4" BELOW TREE HOLE BOTTOM GRADE.

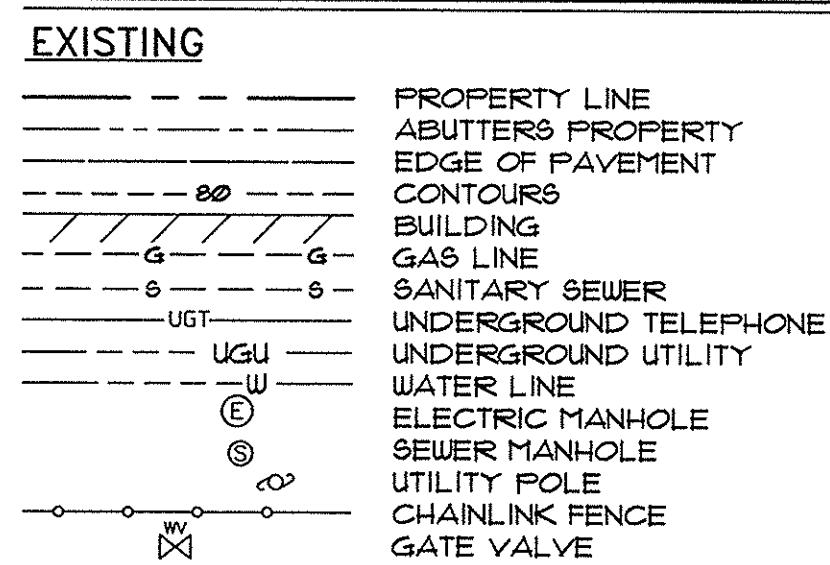
### 2 DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE

## PLANT LIST

SYMBOL	COMMON NAME/BOTANICAL NAME	SIZE	QUANTITY	ROOT	NOTES
A	Hophornbeam / <i>Ostrya Virginiana</i>	2 1/2" Cal.	2	B#B	

## LEGEND



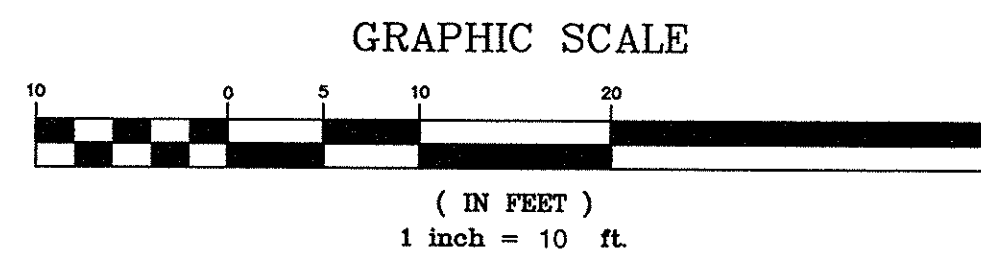
SFC COORDINATES  
N 91603.456033  
E 3068216.22711  
ELEV. 81.00

EX. ADA RAMP & WALKWAY

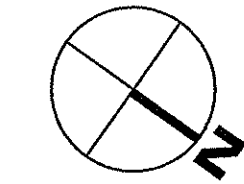
N/F  
MMC Realty  
Multi-Unit Structure  
Book 10280, Page 291  
Map/Lot 31-E-6

N/F Burnham  
Multi-Unit Structure  
MAP/LOT 36-G-32  
BOOK 11111, PAGE 320

N/F YMCA Building  
Map/Lot 36-G-20  
No Tax Information



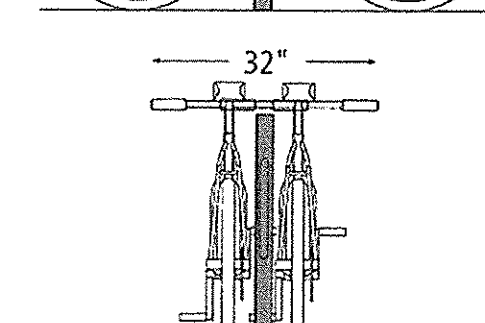
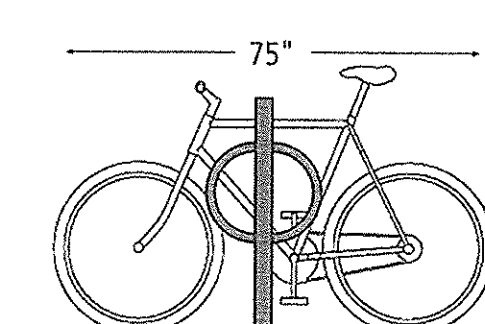
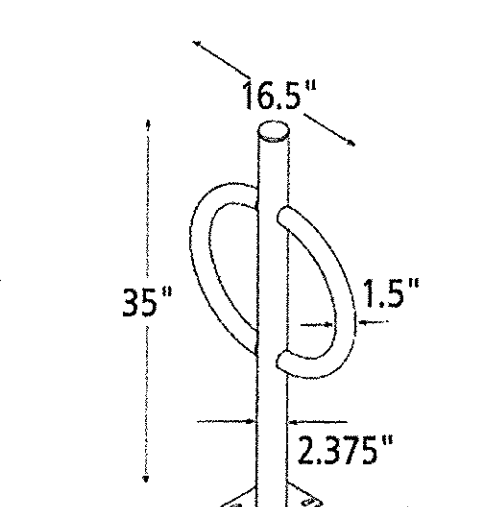
N/F Avesta  
Multi-Unit Structure  
Map/Lot 36-H-13  
Book 31209, Page 311



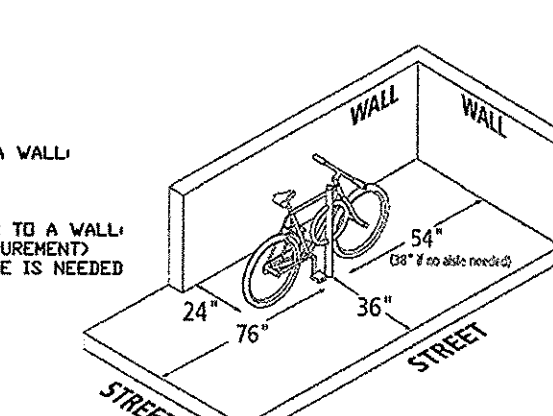
EASEMENT BK 1212, PG 215 / BK 3019, PG 133

SFC COORDINATES  
N 91704.015304  
E 306152.801421  
ELEV. 73.10

EASEMENT BK 1212, PG 217



- CAPACITY: 2 Bikes
- MATERIALS: Centertee™ 2" schedule 40 pipe (2.375" OD)  
Ring 1.5" OD 11 gauge tube
- FINISHES:
- Galvanized: An after fabrication hot dipped galvanized finish is our standard option.
  - Powder Coat: Our powder coat finish assures a high level of adhesion and durability by following these steps:  
1. Sandblast  
2. Epoxy primer electrostatically applied  
3. Final thick TGIC polyester powder coat
  - Thermoplastic: In addition to an increased thickness (8-10mil), the thermoplastic finish covers a galvanized layer and offers superior impact resistance over powder coating.
  - PVC Dip (plastic): Other colors available by special order (minimum orders apply)
  - Stainless: Stainless Steel: 304 grade stainless steel material finished in either a high polished shine or a satin finish.
- MOUNT OPTIONS:
- In-ground: In ground mount is embedded into concrete base. Specify in ground mount for this option.
  - Surface: Foot Mount has 45"x6"x.25" foot with four anchors per foot. Specify foot mount for this option.
- SETBACKS:
- FOR RACKS SET PARALLEL TO A WALL:  
MINIMUM 12"  
RECOMMENDED 24"
  - FOR RACKS SET PERPENDICULAR TO A WALL:  
MINIMUM 35" (CENTERLINE MEASUREMENT)  
RECOMMENDED 38" IF AISLE IS NEEDED BETWEEN BIKE AND WALL
  - DISTANCE BETWEEN RACKS:  
MINIMUM 24"  
RECOMMENDED 38"
  - STREET SETBACKS:  
MINIMUM 36"



DERO BIKE HITCH AS MANUFACTURED BY DERO BIKE RACKS

### 1 BICYCLE RACK SPECIFICATION - BIKE HITCH (I-33a)

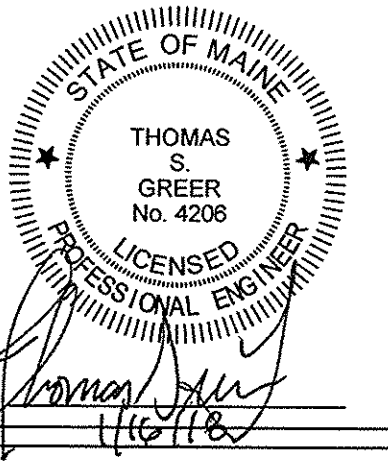
NOT TO SCALE

# WALSH

ENGINEERING ASSOCIATES, INC.

One Karen Dr., Suite 2A | Westbrook, Maine 04092  
ph: 207.553.9898 | www.walsh-eng.com

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415 CUMBERLAND AVENUE  
PORTLAND, MAINE

415 CA, LLC  
25 EDGEHILL ROAD  
BROOKLINE, MA 02445

Rev.	Date	Description	Drawn	Check

Sheet Title:  
**LANDSCAPE PLAN & NOTES**

Job No.: 17164  
Date: 1/16/18  
Scale: AS SHOWN  
Drawn: RS  
Checked: TSL

Sheet No.:  
**C1.2**

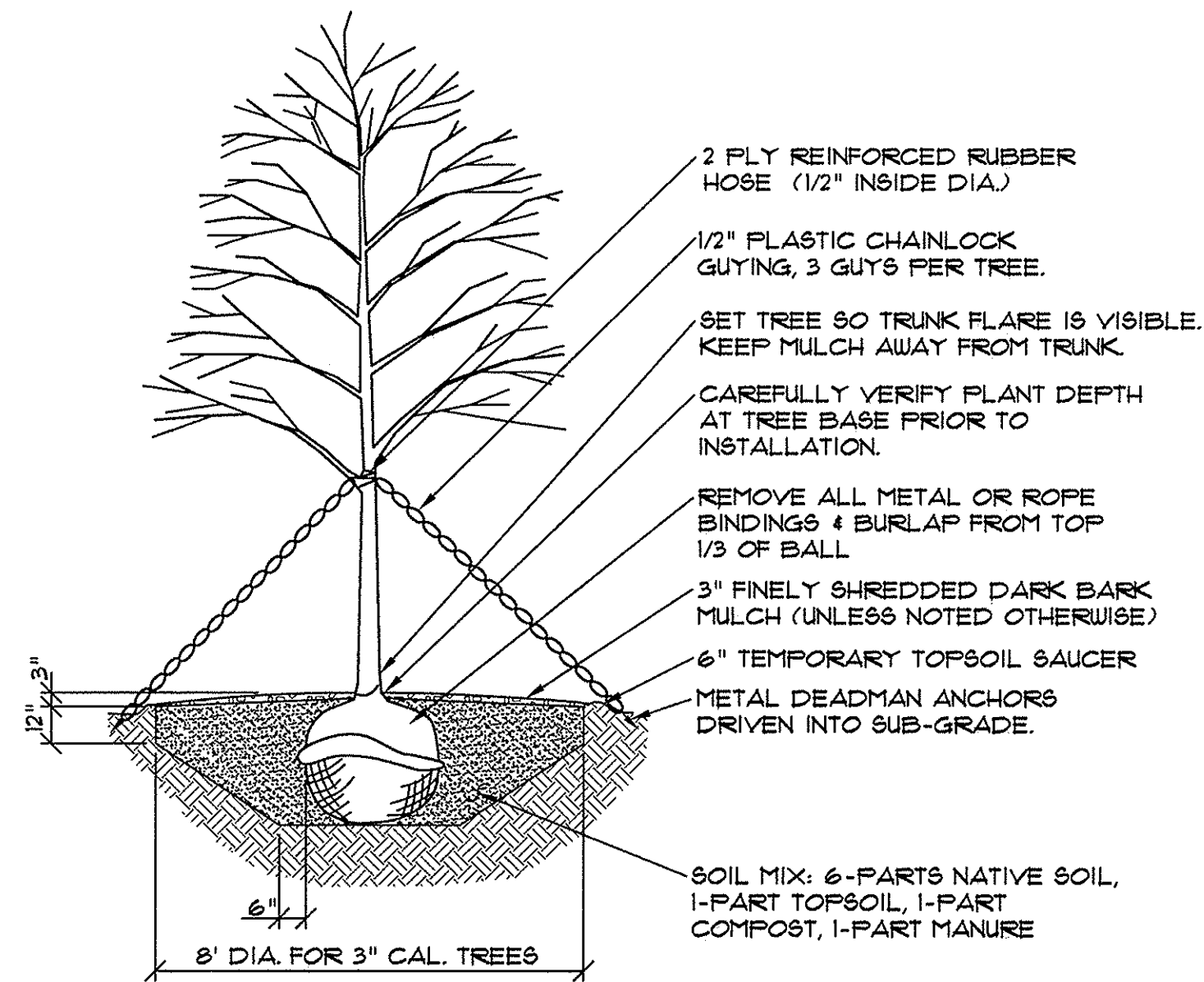
# LANDSCAPE NOTES

## GENERAL:

1. SAVE EXISTING TREES & SHRUBS AS SHOWN.
2. PLANT MATERIALS INSTALLED ARE TO MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERMEN.
3. PROPOSED PLANT LOCATIONS SHALL BE AS SHOWN ON PLANS. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO PLANTING AND WILL NOTIFY OWNER'S REPRESENTATIVE IN THE EVENT OF CONFLICTS.
4. PLANT LOCATIONS ARE TO BE SCALED FROM THE SITE PLAN UNLESS NOTED OTHERWISE.
5. NO PLANT MATERIAL SHALL BE INSTALLED UNTIL FINAL CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
6. ANY PROPOSED SUBSTITUTIONS MUST BE APPROVED BY THE OWNER OR THE OWNER'S REPRESENTATIVE.

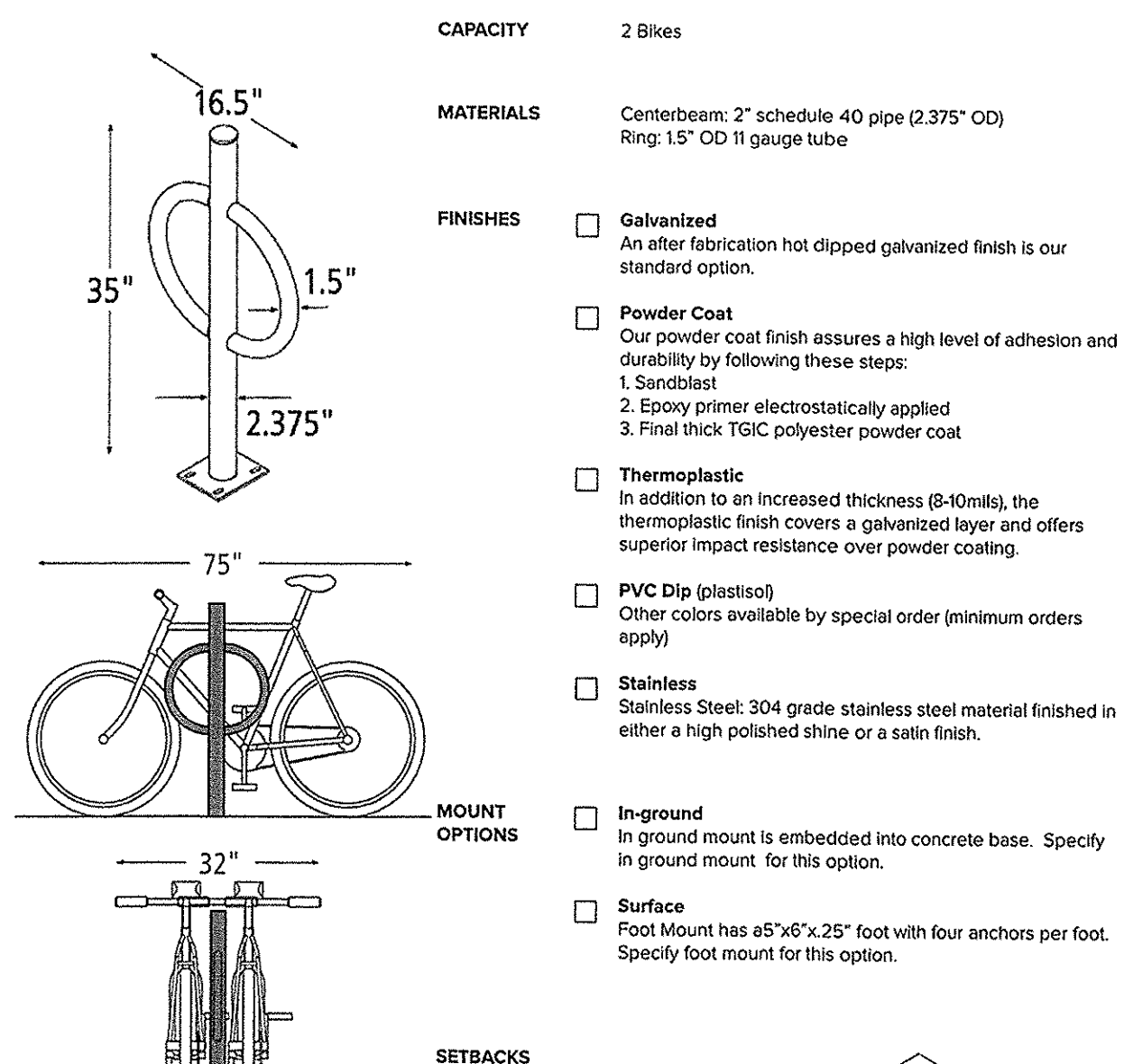
## MAINTENANCE:

1. TREES & SHRUBS: THE ESTABLISHMENT PERIOD SHALL BE TWO CALENDAR YEARS FROM THE DATE OF FINAL ACCEPTANCE. DURING THE ESTABLISHMENT PERIOD THE OWNER OR OWNER'S CONTRACTOR SHALL WATER, CULTIVATE AND PRUNE AS REQUIRED TO MAINTAIN A HEALTHY GROWING CONDITION.
2. AT THE END OF THE ESTABLISHMENT PERIOD AND UPON SUBSEQUENT ANNUAL INSPECTIONS, PLANTS WHICH HAVE DIED OR FAILED TO THRIVE SHALL BE REPLACED WITH EQUIVALENT SIZE AND SPECIES. AFTER THE CONTRACTOR'S GUARANTEE PERIOD HAS ENDED, IT IS THE OWNER'S RESPONSIBILITY TO MAINTAIN AND REPLACE PLANTINGS.
3. TREES, SHRUBS AND LAWNS WHICH ARE NOT IRRIGATED WITH AN AUTOMATIC SPRINKLER OR DRIP SYSTEM SHALL BE THOROUGHLY WATERED ON A REGULAR BASIS DURING PERIODS OF BELOW AVERAGE RAINFALL. SOIL SHOULD BE SAMPLED AT A DEPTH OF 12" AND IF DRY, WATER TO DEPTH OF 24".
4. MULCH IS TO BE MAINTAINED AT A DEPTH TO COMPLETELY COVER THE SOIL AND TO PRESERVE MOISTURE AND MINIMIZE WEEDS.
5. TREES, SHRUBS AND LAWNS SHALL BE FERTILIZED ANNUALLY AND TREATED WITH INSECTICIDES AND/OR FUNGICIDES AS REQUIRED FOR CONTINUED HEALTHY GROWTH.
6. SUCKERS, WEEDS, AND DEAD WOOD SHALL BE REMOVED ON A SEASONAL BASIS, AND SHRUBS SHALL BE PRUNED TWICE A YEAR ACCORDING TO THE REQUIREMENTS OF EACH SPECIES (IE. SOME SPECIES SHOULD NOT BE PRUNED AT ALL). SHRUBS SHALL NOT BE PRUNED INTO INDIVIDUALS BUT ALLOWED TO GROW INTO A MASS.
7. WHERE TREES ARE LOCATED NEAR SIDEWALKS THE CANOPY SHALL BE LIMBED UP TO PROMOTE SAFE CLEARANCE TO 8' ABOVE GRADE.
8. BEDS AND LAWN EDGES SHALL BE REGULARLY TRIMMED AND EDGED.
9. PERENNIAL AND ANNUAL BEDS SHALL BE DESIGNED, PLANTED AND MAINTAINED FOR SEASONAL COLOR AND INTEREST. ANNUALS MAY BE INCORPORATED TO A MAXIMUM LIMIT OF 25% OF THE BED AREA OF MAINTAINED BEDS FROM MAY 15 THROUGH NOVEMBER 15. PERENNIAL BEDS SHALL BE WATERED AS REQUIRED FOR HEALTHY PLANT GROWTH, AND WEEDED AND DEADHEADED ON A MONTHLY BASIS.



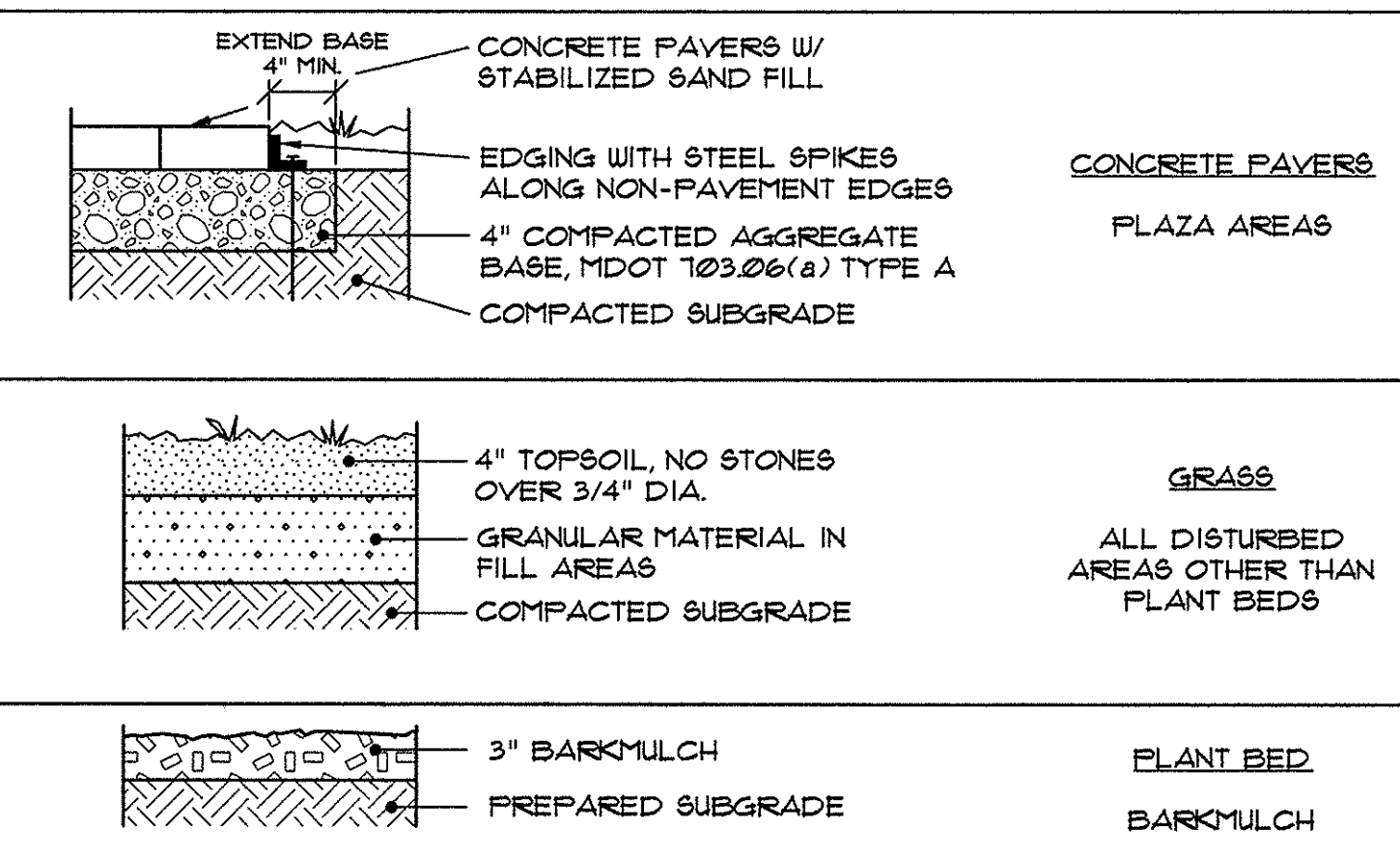
- NOTES:
1. PRUNE ALL DEAD AND BROKEN BRANCHES. RETAIN NATURAL SHAPE, NEVER CUT LEADER.
  2. IN LEDGE CONDITIONS, BLASTING SHALL BE 10' DIA AND 4' BELOW TREE HOLE BOTTOM GRADE.

## 4 DECIDUOUS TREE PLANTING DETAIL NOT TO SCALE



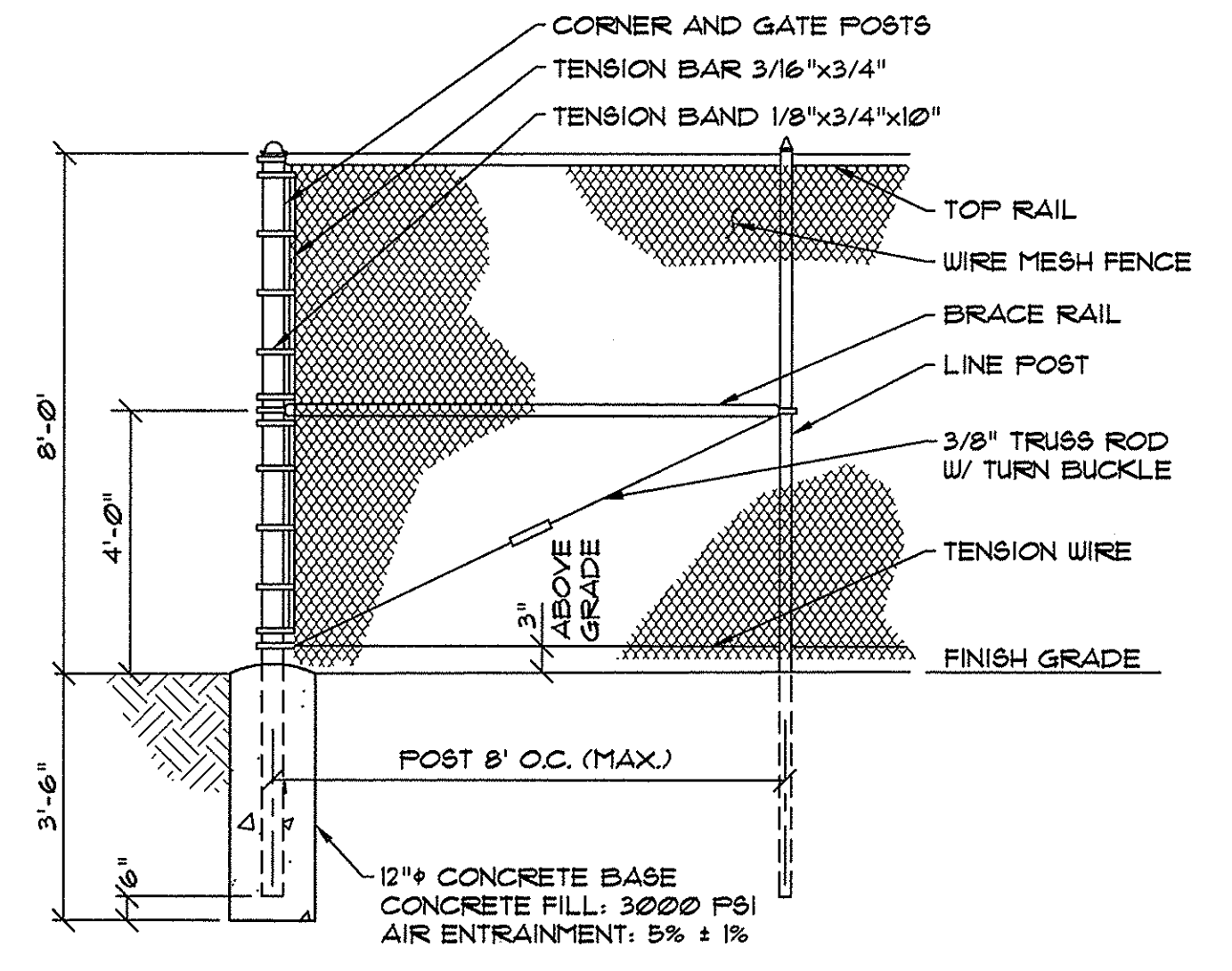
DERO BIKE HITCH AS MANUFACTURED BY DERO BIKE RACKS

## 5 BICYCLE RACK SPECIFICATION - BIKE HITCH (I-33a) NOT TO SCALE

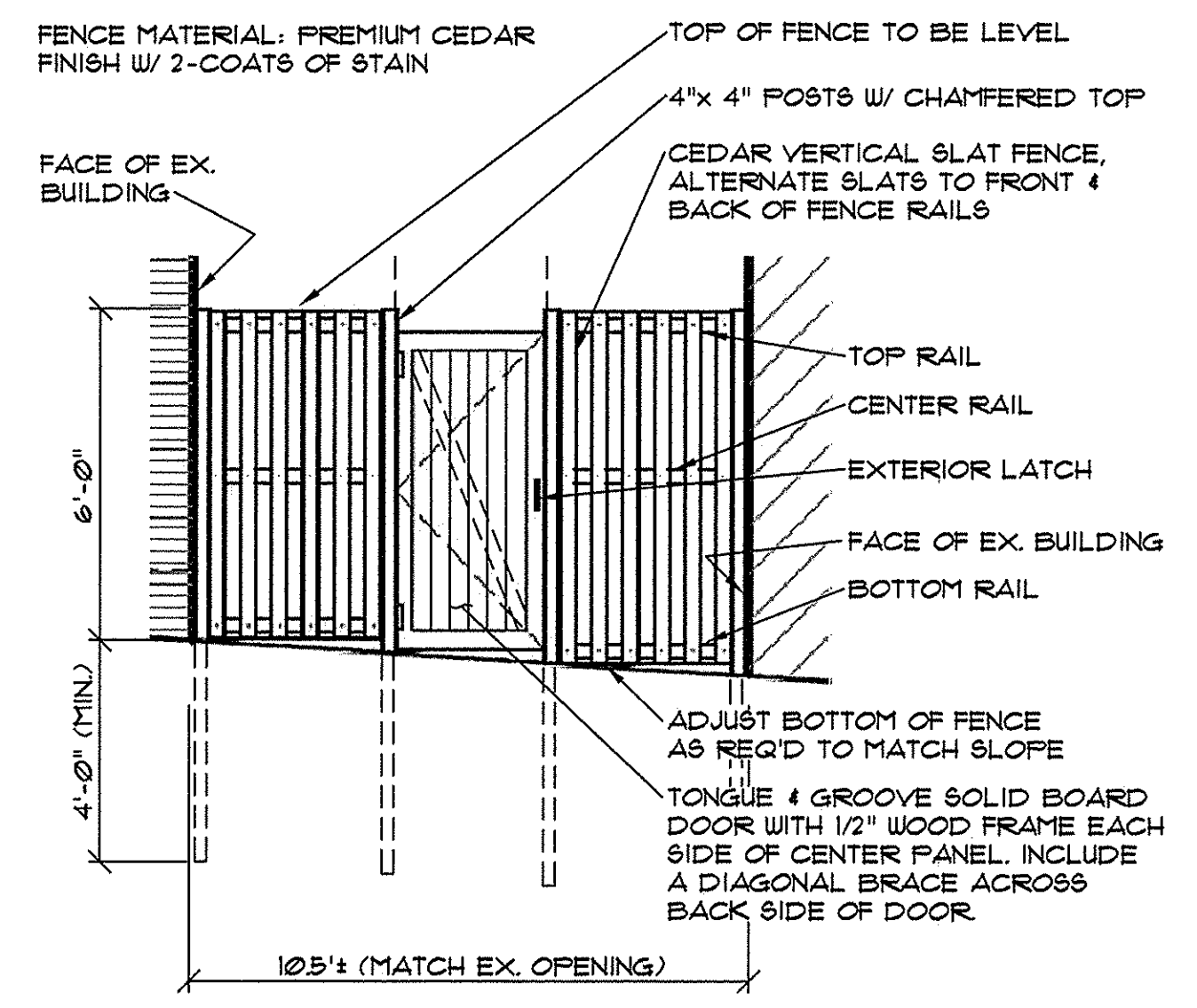


- NOTES:
1. HMA = HOT MIX ASPHALT. MDOT = MAINE DEPARTMENT OF TRANSPORTATION.
  2. ALL COURSE THICKNESSES AFTER FINAL COMPACTION.

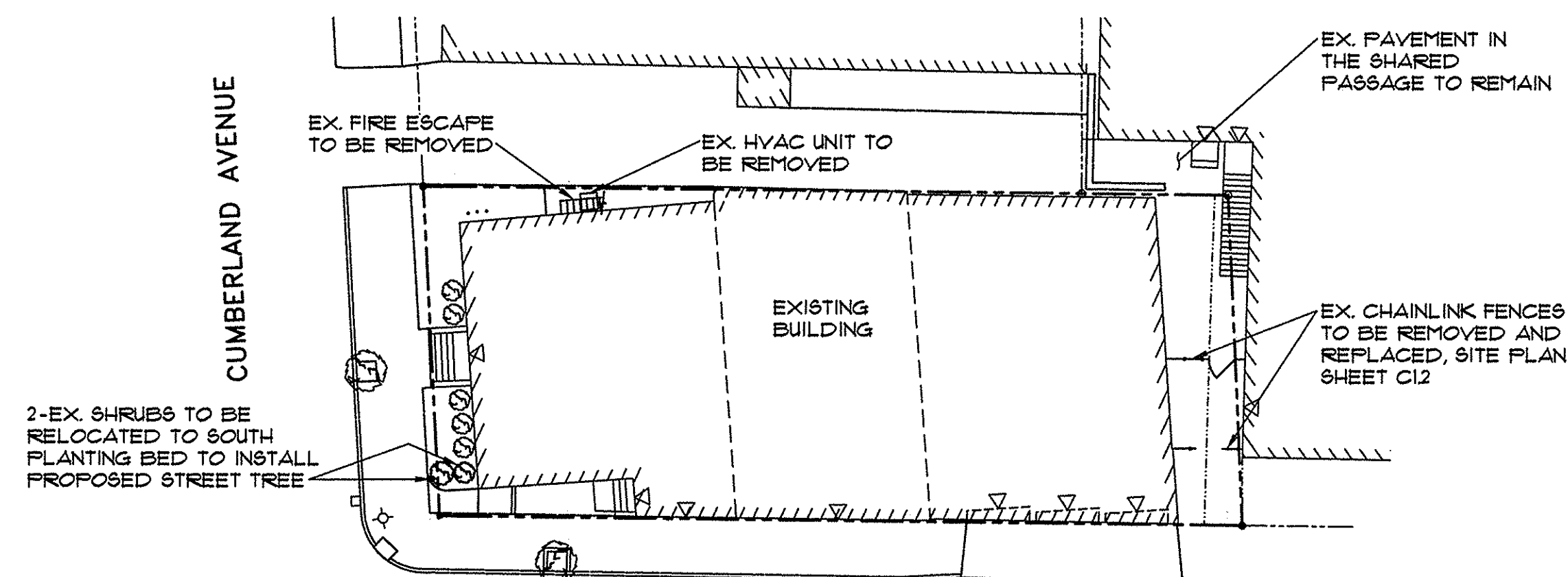
## 1 SCHEDULE OF SURFACE FINISHES NOT TO SCALE



## 2 CHAINLINK FENCE SECTION NOT TO SCALE



## 3 WOOD FENCE DETAIL NOT TO SCALE



GRAPHIC SCALE  
 ( IN FEET )  
 1 inch = 20 ft.  
**DEMOLITION PLAN**  
 SCALE: 1"=20'

**WALSH**  
 ENGINEERING ASSOCIATES, INC.  
 One Karen Dr., Suite 2A | Westbrook, Maine 04092  
 ph: 207.553.9898 | www.walsh-eng.com  
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Professional Engineer Seal for Thomas S. Walsh, License No. 13194B, State of Maine.

415 CUMBERLAND AVENUE  
 CUMBERLAND AVENUE  
 PORTLAND, MAINE  
 415 CA, LLC  
 25 EDGEHILL ROAD  
 BROOKLINE, MA 02445

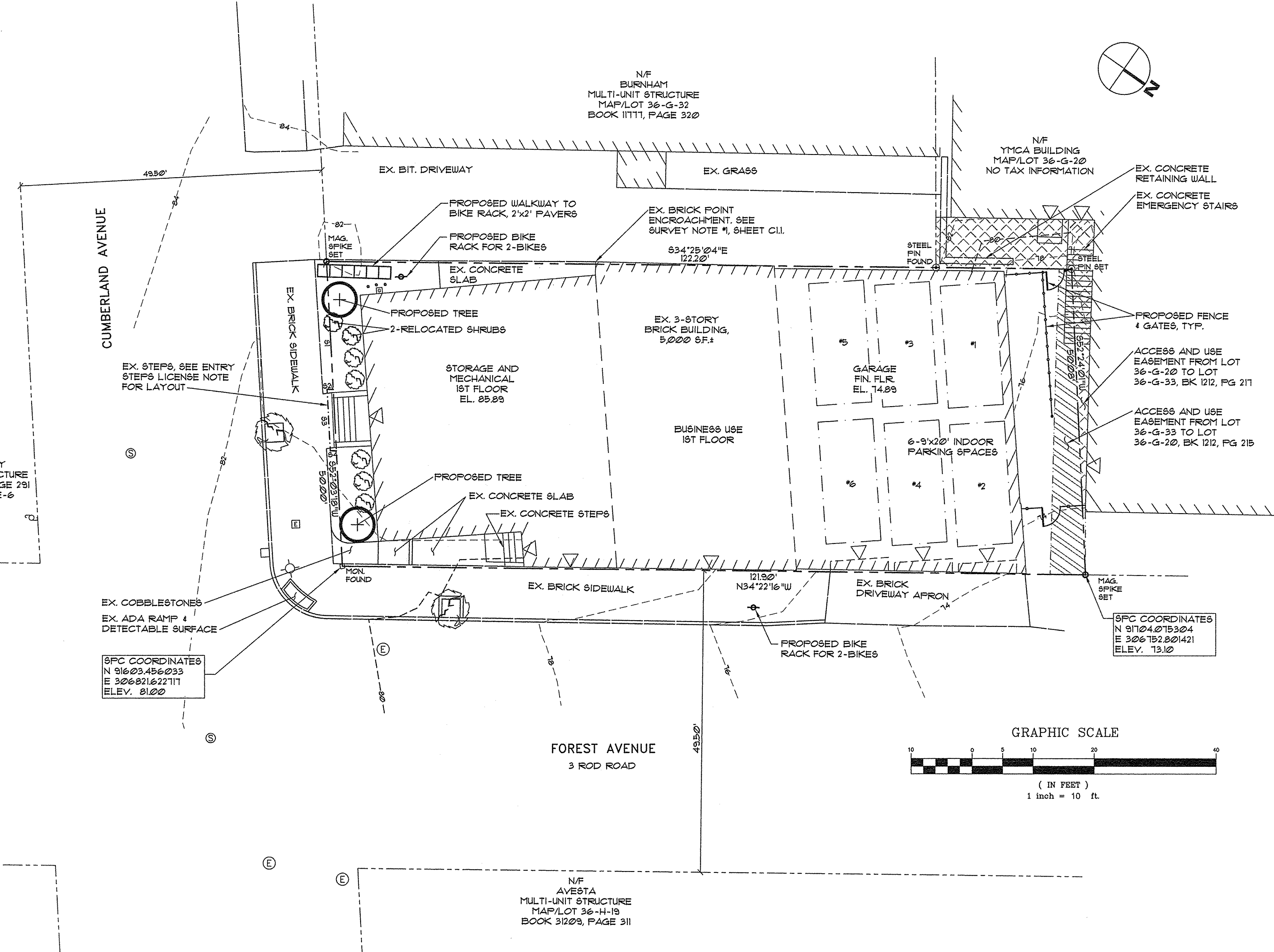
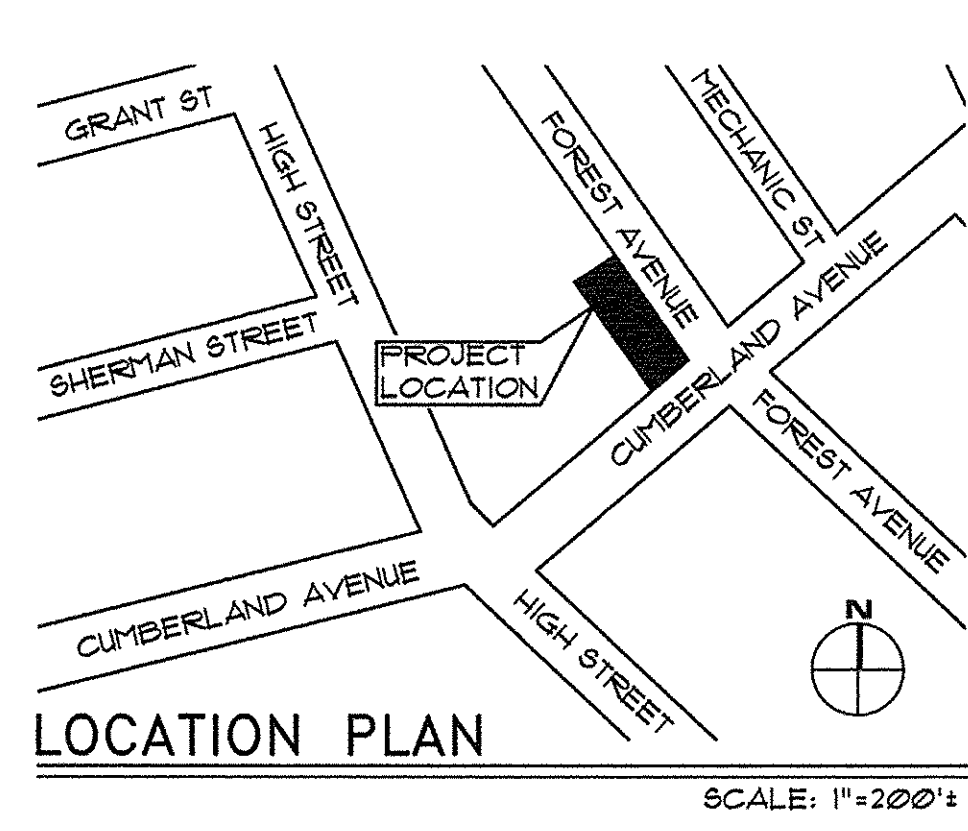
Rev.	Date	Description	Drawn	Check

Sheet Title:  
**DEMOLITION PLAN & SITE DETAILS**

Job No.: 17164 Sheet No.:  
 Date: 3/20/18  
 Scale: AS SHOWN  
 Drawn: JDC  
 Checked: *JDC*

**C1.3**

MAIN: 1/24" = 1' CUMBERLAND AVE. 415. PORTLAND: 1/24" = 1' 1/2" CUMBERLAND AVE. 415. BROOKLINE: 1/24" = 1' 1/2" CUMBERLAND AVE. 415.



**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
- - - - -	- - - - -	ABUTTER'S PROPERTY
---	---	EASEMENT
---	---	EDGE OF PAVEMENT
---	---	CURB
---	---	CONTOURS
---	---	BUILDING
---	---	BUILDING ENTRY/EGRESS
---	---	ELECTRIC FULL BOX
---	---	ELECTRIC MANHOLE
---	---	SEWER MANHOLE
---	---	GAS METER
---	---	UTILITY POLE
---	---	LIGHT SIGNAL SUPPORT
---	---	MONUMENT
---	---	MAGNETIC SPIKE
---	---	STEEL PIN
---	---	SHRUB
---	---	BOLLARD
---	---	EASEMENT AREAS
---	---	BIKE RACK
---	---	WOOD FENCE
---	---	CHAINLINK FENCE
---	---	FENCE GATE
---	---	STREET TREE
---	---	CONCRETE PAVERS

**BUILDING UNIT USE SCHEDULE**

APT. #	FLOOR LEVEL	FLOOR AREA (SF)
13	1ST	720
14	1ST	748
21	2ND	971
22	2ND	915
23	2ND	530
24	2ND	720
25	2ND	820
31	PENTHOUSE	920
<b>RESIDENTIAL TOTAL</b>		<b>6,330</b>
COMMERCIAL 0 & 1ST		3,800
GARAGE 0		1,600
BASEMENT 0		1,550
COMMON AREA 0		750
<b>COMMERCIAL TOTAL</b>		<b>7,700</b>

**ENTRY STEPS LICENSE**

PROPOSED LICENSE:  
FROM THE CITY OF PORTLAND TO  
415 CA, LLC FOR ENTRY STEPS

LINE	BEARING	DISTANCE
S1	N 52°03'18" E	21.00'
S2	S 34°25'04" E	1.00'
S3	N 52°03'18" E	10.00'
S4	N 34°22'16" W	1.00'

SUBDIVISION PLAT, APPROVED BY THE CITY OF PORTLAND PLANNING BOARD

DATE \_\_\_\_\_

**WALSH**  
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One Karen Dr., Suite 2A | Westbrook, Maine 04092  
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STATE OF MAINE  
THOMAS S. GREER  
REG. NO. 4206  
1/17/18

STATE OF MAINE  
ELWOOD ELLIS  
REG. NO. 1176  
1/17/18

**415 CUMBERLAND AVENUE**  
415 CUMBERLAND AVENUE  
PORTLAND, MAINE  
**415 CA, LLC**  
25 EDGEHILL ROAD  
BROOKLINE, MA 02445

Rev.	Date	Description	Drawn	Check
1	3/20/18	REV'D PER PRELIM. CITY REVIEW	JDC	TSG
2	4/17/18	REV'D PER CITY REVIEW	JDC	TSG

Sheet Title:  
**SUBDIVISION RECORDING PLAT SHEET 1 OF 2**

Job No.: 17164  
Date: 1/16/18  
Scale: AS SHOWN  
Drawn: RJS  
Checked: TSG

Sheet No.: **C1.0**

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**CITY OF PORTLAND  
CONDITIONS OF APPROVAL**

1. TO BE ADDED AT APPROVAL

**CITY OF PORTLAND SUBDIVISION NOTES**

- LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION: TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
- ALL POWERLINE UTILITIES SHALL BE UNDERGROUND.
- SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TIPDOWN RAMPS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL BMPs PUBLISHED BY THE BUREAU OF LAND AND QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2009.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
- ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
- PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
- EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THIS SITE. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE ERECTED OUTSIDE THE DRIP-LINE OF INDIVIDUAL GROUPINGS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. REGRADING SHALL NOT TAKE PLACE WITHIN THE DRIP-LINE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRIP-LINE OF TREES TO BE PRESERVED.
- SUBDIVISION AT THE TIME OF APPROVAL IS DEFINED AS "SUBDIVISION SHALL MEAN THE DIVISION OF A LOT, TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE LOTS, INCLUDING LOTS OF FORTY (40) ACRES OR MORE, WITHIN ANY FIVE-YEAR PERIOD WHETHER ACCOMPLISHED BY SALE, LEASE, DEVELOPMENT, BUILDINGS OR OTHERWISE AND AS FURTHER DEFINED IN 30-A M.R.S.A. SECTION 4401. THE TERM SUBDIVISION SHALL ALSO INCLUDE THE DIVISION OF A NEW STRUCTURE OR STRUCTURES ON A TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD AND THE DIVISION OF AN EXISTING STRUCTURE OR STRUCTURES PREVIOUSLY USED FOR COMMERCIAL OR INDUSTRIAL USE INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD. THE AREA INCLUDED IN THE EXPANSION OF AN EXISTING STRUCTURE IS DEEMED TO BE A NEW STRUCTURE FOR THE PURPOSE OF THIS PARAGRAPH. A DWELLING UNIT SHALL INCLUDE ANY PART OF A STRUCTURE WHICH, THROUGH SALE OR LEASE, IS INTENDED FOR HUMAN HABITATION, INCLUDING SINGLE-FAMILY AND MULTIFAMILY HOUSING CONDOMINIUMS, TIME-SHARE UNITS AND APARTMENTS."

**SURVEY NOTES**

- BRICK POINTS ENCROACH ON LOT INDICATED AS MAP/LOT 36-G-32 BY LESS THAN 2 INCHES.
- COORDINATE SYSTEM IS STATE PLANE COORDINATES, WEST ZONE.
- VERTICAL DATUM IS USGS 1929. CUSTOM HOUSE STEPS 29 NGVD.
- UTILITIES SHOWN ARE EXISTING.
- THE EASEMENTS AS NOTED ARE FOR THE YMCA (1212-215) TO USE PART OF THIS PARCEL TO BUILD AND MAINTAIN A CONCRETE EXTERIOR EGRESS WITH ACCESS TO FOREST AVENUE.
- IN BOOK 1212 PAGE 211 THE YMCA GRANTS THIS PARCEL USE OF THE PARCEL BELONGING TO THE YMCA BETWEEN THE STRUCTURES SUBJECT TO THE STAIRS AND EGRESS TO FOREST AVENUE.

**WAIVERS**

1. NONE REQUESTED

**SNOW CLEARANCE NOTES**

- SNOW IS TO BE STORED WITHIN THE SNOW STORAGE AREAS.
- SNOW MAY BE PHYSICALLY REMOVED AND TRANSPORTED OFFSITE IF NECESSARY.
- SNOW TRANSPORTED OFFSITE SHALL BE BROUGHT TO A MAINE DEP APPROVED "SNOW DUMP" OR MEET THE EXEMPTION REQUIREMENTS SPECIFIED WITHIN CHAPTER 513 WHEN THE ABOVE REQUIREMENTS CANNOT BE MET DUE TO AN ABUNDANCE OF SNOW.
- THE SNOW CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO VEGETATION, LANDSCAPING, CURBING, LIGHTING, FENCING ETC. RESULTING FROM THEIR ACTIVITIES.
- THE SNOW CONTRACTOR SHALL USE SALT OR CHLORIDE SUBSTITUTE TO DEICE THE PARKING LOT.
- THE OWNER IS RESPONSIBLE FOR SNOW REMOVAL BEING UNDERTAKEN IN A TIMELY FASHION.

**ZONE INFORMATION**

ZONE: B3C, DOWNTOWN BUSINESS  
PERMITTED USE: RESIDENTIAL, BUSINESS & PROFESSIONAL OFFICES, PERSONAL SERVICES, TRADESMAN OFFICES

SPACE STANDARDS	REQUIRED	PROPOSED TOTAL SUBDIVISION
MINIMUM LOT SIZE	NONE	6,038 SQ. FT.
MINIMUM STREET FRONTAGE	15 FEET	121.90 FEET
MAXIMUM SETBACK	5 FEET	0 FEET
MINIMUM YARD	NONE	0 FEET
MINIMUM LOT WIDTH	NONE	121.90 FEET
MAXIMUM LOT COVERAGE (BUILDINGS)	100%	81%
MINIMUM BUILDING HEIGHT	35 FEET	EX. NO CHANGE
MAXIMUM BUILDING HEIGHT	40 FEET	EX. NO CHANGE

**PARKING INFORMATION**

EXISTING VEHICLE SPACES:	6
8 UNITS PROPOSED:	
FIRST 3 UNITS:	0
REMAINING UNITS, 1 PER UNIT:	5
TOTAL VEHICLE SPACES REQUIRED:	5
TOTAL PROVIDED:	6
BIKE SPACES REQUIRED:	
2 BIKE SPACES PER 5 DWELLING UNITS	
8 UNITS PROPOSED = 1/2.5:	3.2
PROVIDED	4

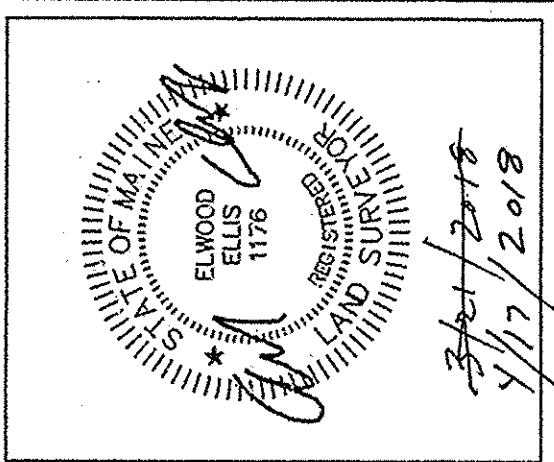
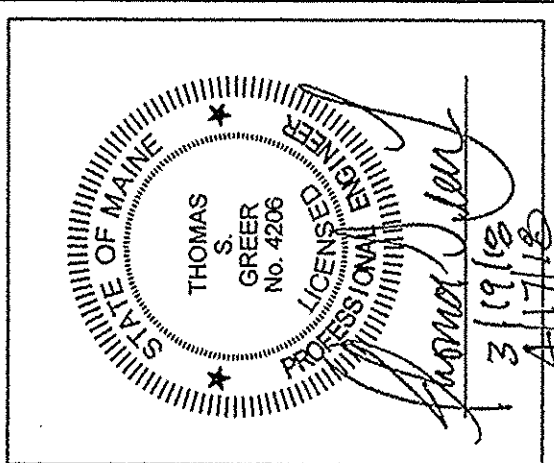
**IMPERVIOUS INFORMATION**

EXISTING IMPERVIOUS	5,762 SQ. FT.
PROPOSED IMPERVIOUS	24 SQ. FT.
NET IMPERVIOUS	5,786 SQ. FT.

**GENERAL NOTES**

- OWNER/DEVELOPER: 415 CA, LLC, 25 EDGEHILL RD, BROOKLINE, MA, 02445, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS, BK 34152, PG 38, DATED JULY 12, 2011.
- ENGINEER: WALSH ENGINEERING ASSOCIATES, INC., 28 VANNAH AVENUE, PORTLAND, MAINE, 04103.
- ARCHITECT: ARCHETYPE ARCHITECTS, 48 UNION WHARF, PORTLAND, MAINE 04101.
- TOPOGRAPHIC AND BOUNDARY INFORMATION TAKEN FROM SURVEY PROVIDED BY: DUNEAST SURVEYING & DEVELOPMENT, P.O. BOX 234, CHINA, MAINE 04926  
415 CUMBERLAND AVENUE  
BOUNDARY & BOUNDARY SURVEY  
PLAN ISSUED 6/18/16 AND REVISED 3/20/18.
- UTILITY INFORMATION TAKEN FROM PLAN BY: ACORN ENGINEERING, INC., TITLED "UTILITY PLAN", DATED 10/12/16, PORTLAND WATER DISTRICT RECORDS AND CITY OF PORTLAND ENGINEERING DEPART RECORDS.
- ZONE: B3C, DOWNTOWN BUSINESS ZONE  
PROPOSED USE: GENERAL BUSINESS & PROFESSIONAL OFFICES, PERSONAL SERVICES, TRADESMAN OFFICES, RESIDENTIAL
- TAX MAP REFERENCE: MAP 036 LOT G0330201
- TOTAL PARCEL = 0.14 ACRES
- CALL DIG-SAFE PRIOR TO COMMENCING WORK, 811 OR 1-888-DIG-SAFE.
- UNITS TO BE SERVICED BY EXISTING PUBLIC WATER, SEWER, AND GAS FROM CUMBERLAND OR FOREST AVENUES.
- POWER, TELEPHONE AND CABLE SERVICES ARE UNDERGROUND FROM FOREST AVENUE.
- ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL MEET CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.
- THE SUBJECT PARCEL KNOWN AS 415 CUMBERLAND AVENUE IS SUBJECT TO A CITY OF PORTLAND LEVEL III SITE PLAN AND SUBDIVISION PERMIT.
- DETAILS OF STREET TREES ARE INCLUDED ON THE SITE PLAN AS PART OF THE APPROVAL FOR 415 CUMBERLAND AVENUE SITE PLAN. TWO STREET TREES ARE PLANNED.
- FLOODPLAIN: THIS PROPERTY IS IN ZONE C OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL 230251 0014 B, EFFECTIVE DATE JULY 17, 1996. IT IS NOT IN A SPECIAL FLOOD HAZARD ZONE.
- SNOW CLEARANCE REQUIREMENTS ARE AS NOTED ON THIS SHEET UNDER SNOW CLEARANCE NOTES.
- NEW PROPERTY PINS TO BE SET AT THE EXPENSE OF THE DEVELOPER AT THE END OF CONSTRUCTION AS REQUIRED. ANY MONUMENTATION DAMAGED BY CONSTRUCTION IS TO BE REPLACED.
- ALL CONSTRUCTION AND SITE ALTERATIONS SHALL BE DONE IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL BMPs" PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, LATEST EDITION 2016.
- THE FIRST FLOOR RE-USE SPACE IS TO REMAIN AS COMMERCIAL USE.
- PROJECT PROPOSES TO LOCATE OUTDOOR STORAGE FOR FOUR (4) BICYCLES ON THE SOUTH SIDE OF THE BUILDING.

**WALSH**  
ENGINEERING ASSOCIATES, INC.  
One Karen Dr., Suite 2A | Westbrook, Maine 04092  
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415 CUMBERLAND AVENUE  
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PORTLAND, MAINE

415 CA, LLC  
25 EDGEHILL ROAD  
BROOKLINE, MA 02445

SUBDIVISION PLAT, APPROVED BY THE  
CITY OF PORTLAND PLANNING BOARD

DATE \_\_\_\_\_

Rev.	Date	Description	Drawn	Check
1	3/20/18	REVISED PER PRELIM. CITY REVIEW	JDC	RK
2	4/11/18	REVISED PER CITY REVIEW	JDC	TG

Sheet Title:  
**SUBDIVISION  
RECORDING PLAT  
SHEET 2 OF 2**

Job No.: 17164 Sheet No.:  
Date: 1/10/18  
Scale: AS SHOWN  
Drawn: RJS  
Checked: TSG

**C1.1**

OWNER:

ARCHETYPE, P.A.  
ARCHITECTS  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

415 CUMBERLAND AVENUE  
PORTLAND, MAINE

Project:

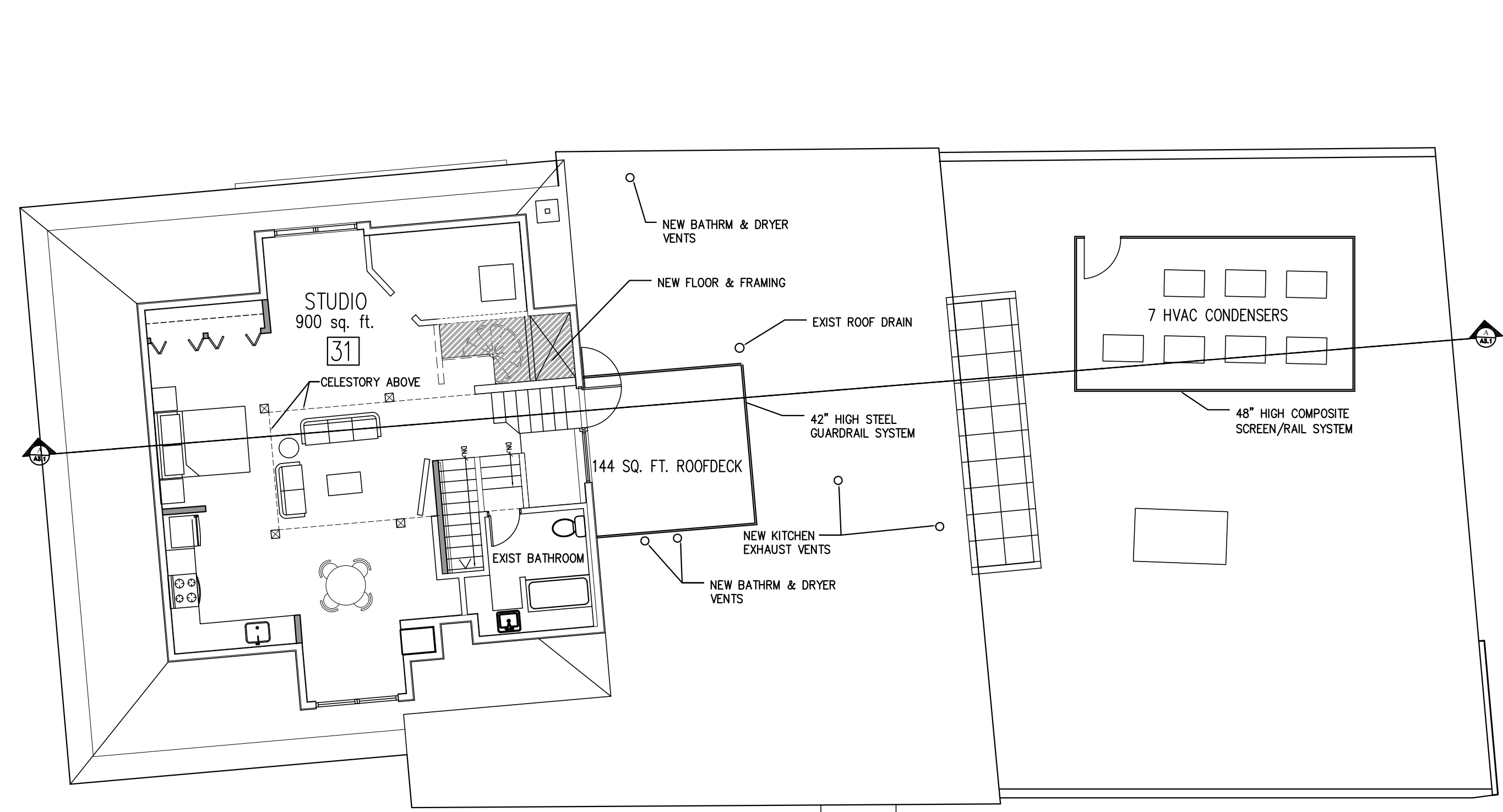
Revisions:

Scale  
1/8" = 1'-0"

Date  
12 April 2018

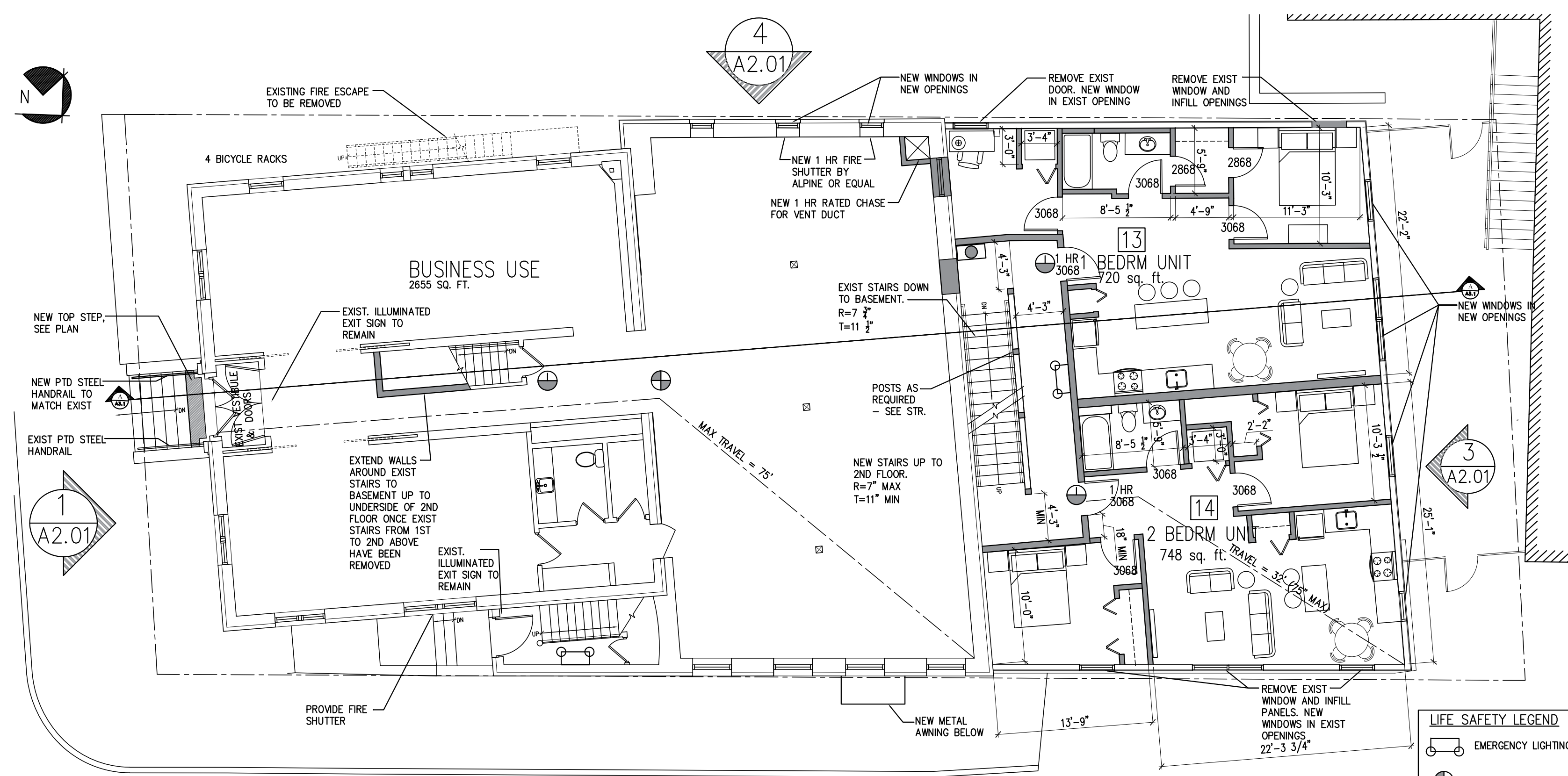
NEW FLOOR PLANS

A1.03



3 | PENTHOUSE FLOOR PLAN  
1/8" = 1'-0"

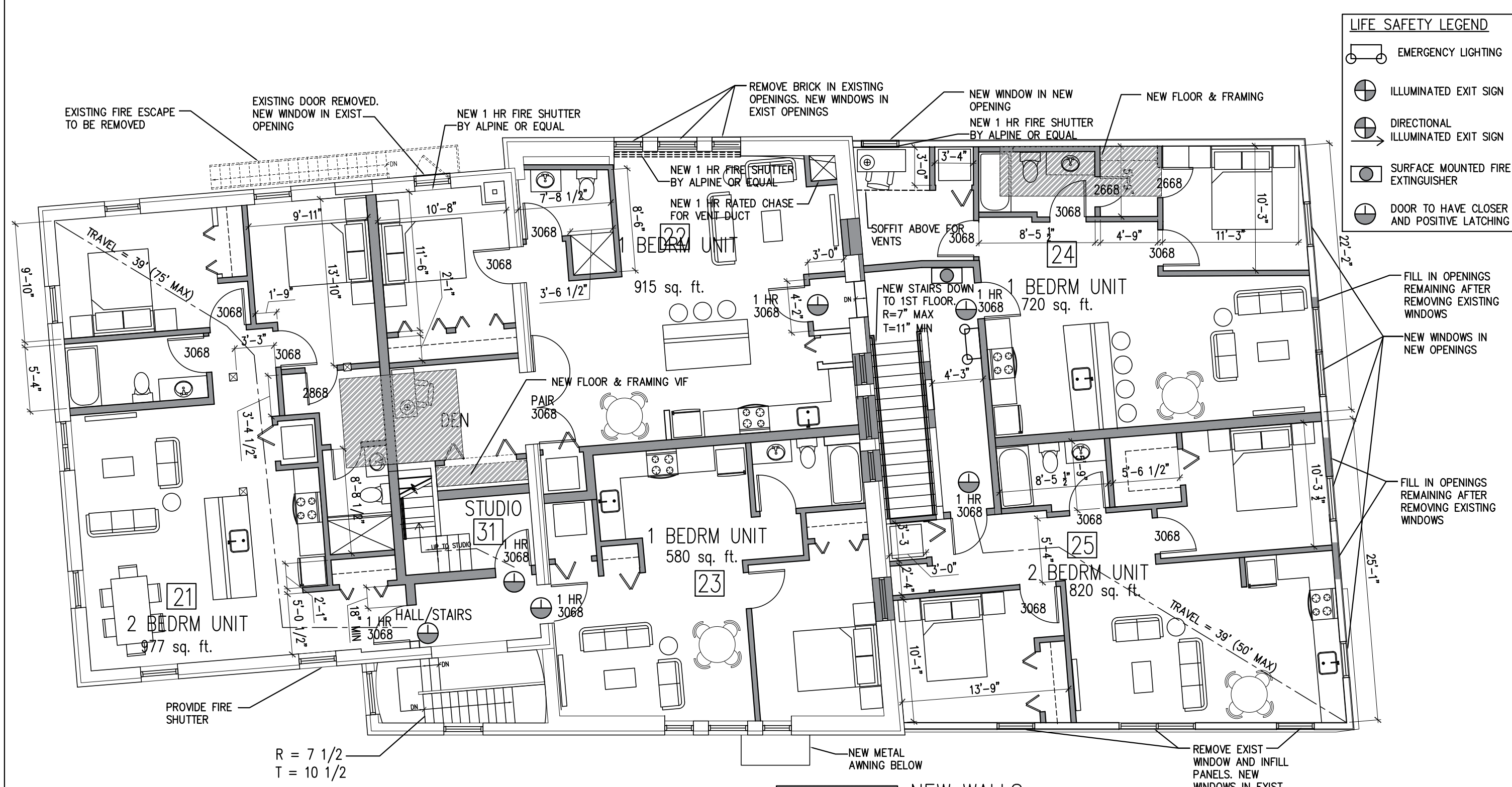
- NEW WALLS  
NEW METAL AWNING BELOW
- DEMOLISHED WALLS, STAIRS & FIXTURES
- NEW FLOOR & FRAMING



1 | 1st FLOOR PLAN  
1/8" = 1'-0"

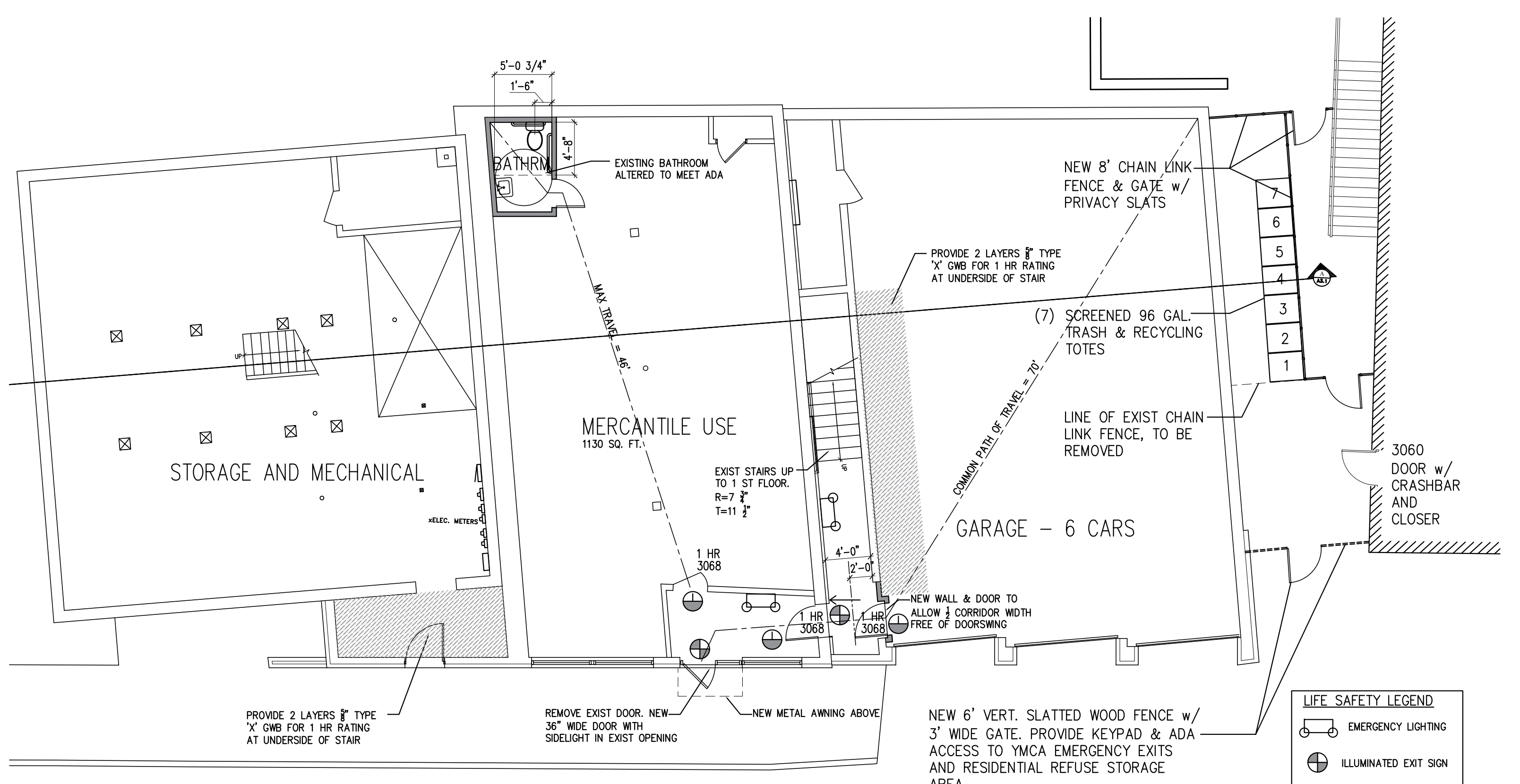
- NEW WALLS
- DEMOLISHED WALLS, STAIRS & FIXTURES
- NEW FLOOR & FRAMING

- LIFE SAFETY LEGEND
- EMERGENCY LIGHTING
  - ILLUMINATED EXIT SIGN
  - DIRECTIONAL ILLUMINATED EXIT SIGN
  - SURFACE MOUNTED FIRE EXTINGUISHER
  - DOOR TO HAVE CLOSER AND POSITIVE LATCHING



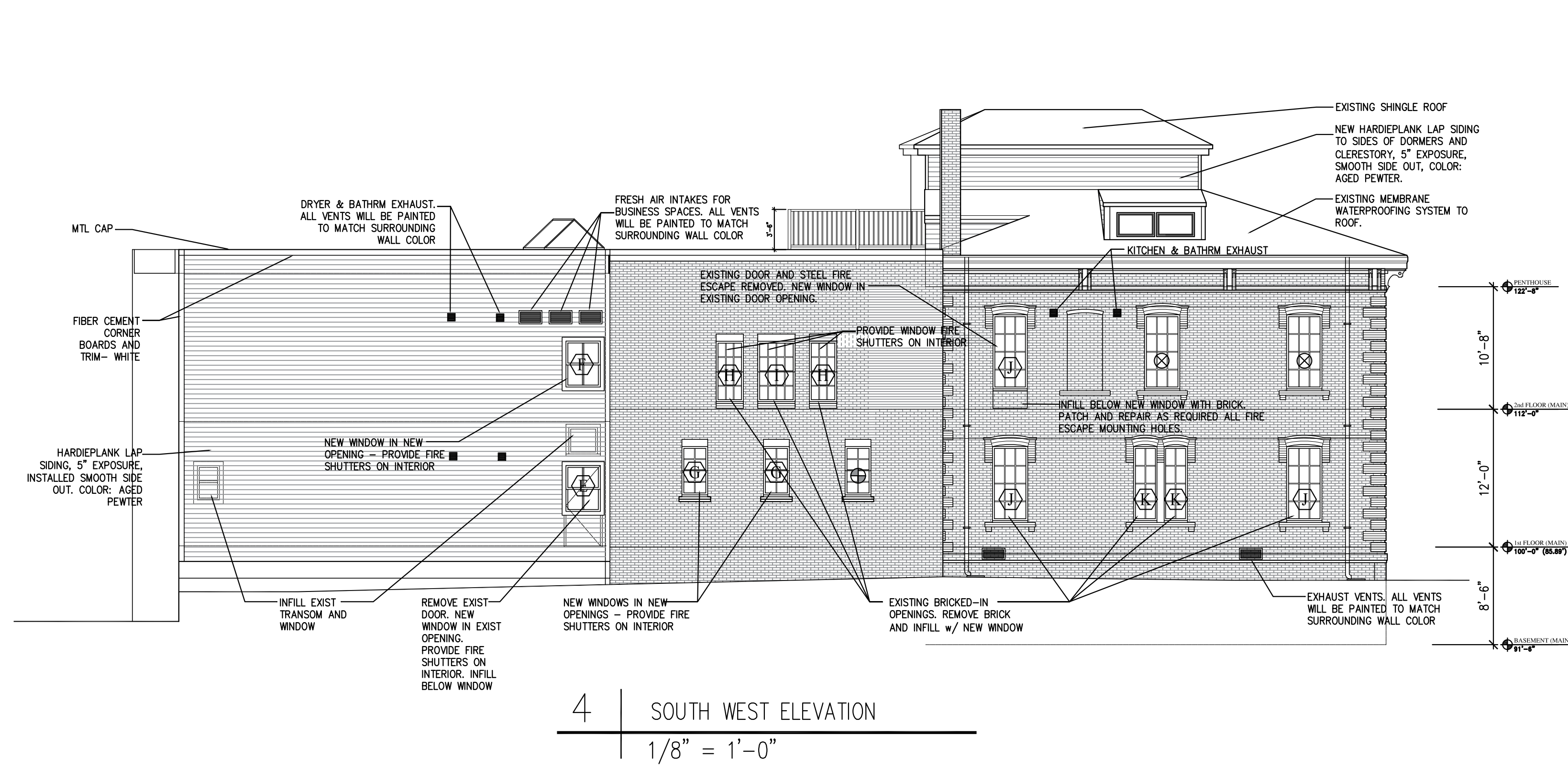
2 | 2nd FLOOR PLAN  
1/8" = 1'-0"

- NEW WALLS
- DEMOLISHED WALLS, STAIRS & FIXTURES
- NEW FLOOR & FRAMING



0 | BASEMENT PLAN  
1/8" = 1'-0"

- LIFE SAFETY LEGEND
- EMERGENCY LIGHTING
  - ILLUMINATED EXIT SIGN
  - DIRECTIONAL ILLUMINATED EXIT SIGN
  - SURFACE MOUNTED FIRE EXTINGUISHER
  - DOOR TO HAVE CLOSER AND POSITIVE LATCHING



**EXISTING WINDOW PROPOSED TREATMENT LEGEND**

THE INTENT IS TO TREAT THE EXISTING WINDOWS AS DEMARCATED ON THE ELEVATION. CLOSER INSPECTION BY AN EXPERT MAY INDICATE THAT SOME WINDOWS INTENDED FOR REFURBISHMENT ARE NOT IN A GOOD ENOUGH CONDITION FOR REFURBISHMENT

⊕ REFURBISHED EXIST WINDOW  
⊗ EXIST WINDOW REPLACED WITH MATCHING NEW WINDOW

EXISTING BRICK MOLDS TO BE PAINTED AND REMAIN IN PLACE ON REFURBISHED WINDOWS AND REUSED WHERE WINDOWS ARE REPLACED. NEW WINDOWS IN NEW OPENINGS WILL HAVE THE SELECTED WINDOW MANUFACTURER'S STANDARD BRICKMOLD.

