

Neighborhood Meeting Certification

415 Cumberland Avenue

I, Barry Yudaken hereby certify that a neighborhood meeting was held on March 14, 2018 at 415 Cumberland Street @ 5:30 pm.

I also certify that on March 1, 2018 invitations were mailed to all addresses on the mailing list provided by the Planning Division, including property owners within 500 feet of the proposed development and the residents on the "interested parties" list.

Signed,



March 15, 2018

Attached to this certification are

1. Copy of the invitation sent
2. Sign-in sheet
3. Meeting minutes

A R C H E T Y P E

March 1, 2018

Dear Neighbor:

Please join us for a neighborhood meeting as we share plans for the construction at 415 Cumberland Avenue into seven (7) residential units and two (2) commercial units.

Meeting Location: 415 Cumberland Avenue, ME 04101

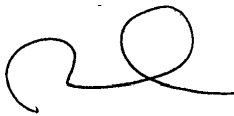
Meeting Date: Wednesday March 14, 2018

Meeting Time: 5:30 PM

(The City code requires that property owners within 500 feet (1000 feet for proposed industrial subdivisions and industrial zone changes) of the proposed development and residents on an "interested parties list", be invited to participate in a neighborhood meeting. A sign-in sheet will be circulated, and minutes of the meeting will be taken. Both the sign-in sheet and minutes will be submitted to the Planning Board.)

If you have any questions, please email Sam Reiche at reiche.sam@gmail.com.

Sincerely,



David Lloyd
Maine Licensed Architect

Note:

Under Section 14-32(C) and 14-524(a)d of the City Code of Ordinances, an applicant for a Level III development, subdivision of over five lots/units, or zone change is required to hold a neighborhood meeting within 30 days of submitting a preliminary application or 21 days of submitting a final site plan application, if a preliminary plans was not submitted. The neighborhood meeting must be held at least seven days prior to the Planning Board public hearing on the proposal. Should you wish to offer additional comments on this proposed development, you may contact the Planning Division at 874-8721 or send written correspondence to the Planning and Urban Development Department, Planning Division 4th Floor, 389 Congress Street Portland, ME 04101 or by email: to bab@portlandmaine.gov

Archetype, P.A.
48 Union Wharf
Portland, ME 04101

Place
Stamp
Here

Neighborhood Meeting Notes

415 Cumberland Avenue

3/15/2018

Presenters:

- Barry Yudaken Architect, Archetype Architects
- Sam Reiche, Developer

We held the Neighborhood meeting yesterday evening at 5:30pm. The meeting was held at 415 Cumberland Avenue.

4 people attended the meeting. Sam Reiche spoke about the building, it's history, and his experience as a developer and spoke about how this project would be good for Portland. I spoke about the design proposal and explained to those who attended what the design intentions were and why certain decisions were taken.

Everyone was very positive and said it looked like a good project. They were less concerned about the design details and more concerned that the project would not proceed, as twice before they have seen proposals for the building and then twice before those projects never materialized.

When I asked for any comments at the end of the meeting, none were made. I did record two comments made during discussion before I specifically asked. One was "It would be nice if the business space became a coffee shop" and the other was "It's nice to see apartments being proposed again rather than condo's and its good for the city."

End of Notes

SIGN UP SHEET
415 Cumberland Street
14-Mar-18

	Name	Address
1	Ron Spinella	377 Cumberland Ave
2	Emma Moser	70 Forest Ave.
3	Susan McCloskey	25 Paris St.
4	George Aheault	28 Hanover St.
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Christian Roadman <croadman@portlandmaine.gov>

415 Cumberland Avenue - Final Traffic Comments

Tom Errico <thomas.errico@tylin.com>

Thu, Apr 19, 2018 at 11:19 AM

To: Christian Roadman <croadman@portlandmaine.gov>

Cc: Keith Gray <kgray@portlandmaine.gov>, Jeremiah Bartlett <JBartlett@portlandmaine.gov>, Bruce Hyman <bhyman@portlandmaine.gov>

Hi Christian – the following represents my Final Traffic Comments:

- The tandem parking spaces shall be designated for the residential units only (or for low turnover use) to ensure that backing maneuvers onto Forest Avenue are minimized given vehicle and pedestrian traffic levels.
- The applicant has submitted a general construction management plan. A condition of approval shall require greater detail on the following items:
 - Sidewalk impacts are expected with construction activity. A detailed pedestrian detour plan that minimizes sidewalk impacts shall be provided for review and approval.
 - Greater detail is required as it relates to construction material deliveries and how trucks will impact traffic conditions on Forest Avenue. A detail plan shall be provided for review and approval. It will be critical that sidewalk and vehicle lanes are not significantly impacted.
 - The Plan shall provide information on contractor parking such that public on-street parking is not impacted.

If you have any questions, please contact me.

Best regards,

Thomas A. Errico, PE
Senior Associate
Traffic Engineering Director
TYLIN INTERNATIONAL
12 Northbrook Drive
Falmouth, ME 04105
+1.207.781.4721 main
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Twitter | Facebook | LinkedIn | Google+

"One Vision, One Company"



Christian Roadman <croadman@portlandmaine.gov>

415 Cumberland

Jean Fraser <jf@portlandmaine.gov>
To: Christian Roadman <croadman@portlandmaine.gov>, "Hyman, Bruce" <bhyman@portlandmaine.gov>, Keith Gray <kgray@portlandmaine.gov>
Cc: "Errico, Thomas" <thomas.errico@tylin.com>

Thu, Mar 1, 2018 at 1:40 PM

fji re your reviews

----- Forwarded message -----
From: **Lauren Swett** <lswett@woodardcurran.com>
Date: Thu, Mar 1, 2018 at 11:54 AM
Subject: 415 Cumberland
To: Jean Fraser <jf@portlandmaine.gov>

Hi Jean,

I took a look at the submission for 415 Cumberland from yesterday's meeting, to see if there is anything that would require a civil review.

They have already made their utility improvements, and they are waiting on confirmation of final ability to serve.

Site work is very minimal. They don't have a standard site plan, just a subdivision plat which calls out both existing and new proposed features and a landscaping plan. I do have a few questions:

- Street view identifies that there is a tree in the sidewalk on Cumberland Avenue. The plan doesn't show that it exists and/or is being removed.
- The existing ADA ramp at the corner is shown in sort of an odd way – the curb line should be drawn to show the location of the ramp tactile warning strip.
- The light pole shown on the subdivision plat is a traffic light pole with a mast arm. I'm not sure if the plat should identify that.
- The plat shows the ROW line on Cumberland crossing features out of the sidewalk (bottom step and the mulch planter areas). I'm assuming that is the existing condition, but I'm wondering if that needs to be addressed on the plat.
- At the southern corner of the building (plan northwest corner), they are showing a new walkway of pavers. This crosses the sidewalk, and I'm guessing that wouldn't be acceptable to the City.

Let me know if you have any questions.

Thanks,
Lauren

Lauren Swett, P.E.

Technical Manager
Woodard & Curran
41 Hutchins Drive
Portland, Maine 04102
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(207)219-3591 (cell)
(800)426-4262 (office)
Email: lswett@woodardcurran.com

Commitment & Integrity Drive Results
www.woodardcurran.com

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Jean Fraser, Planner
City of Portland
874 8728

Conversation with Deb Andrews, 3/20/2018, re. 415 Cumberland Avenue

Request details on new windows. What are the materials? Windows should feature simulated divided lites with applied exterior muntins, at a minimum. Also, which windows will be repaired/replaced?

Request details regarding window moldings: will brick moldings be replicated in aluminum trim on other, new windows?

Why are two windows on the northwest elevation not the same height as all other windows on the northwest elevation and Forest Avenue elevation? Ideally these will match.

Request clarity / detail regarding the penthouse / mezzanine. What changes are being made, if any, and what materials are being used. Are the proportions of the existing windows changing?

Request details regarding finishes. Painted finish of Hardie plank should not be high contrast, nor should relationship of trim to body of building be high contrast.

What is reveal / ttw of Hardie plank? (Reveal should be less than 6.”)

Hardie plank should be installed smooth side out (please note on plans).

Exhaust vents should be painted to match surrounding material (brick or Hardie plank siding).

Hardie plank at top of building parapets on Forest Avenue and southwest elevations seem strange – the treatments / bands along the top of the building’s middle section should be continued.

Will garage doors be replaced? If so, materials / details requested.

Request details regarding proposed new door on Forest Avenue, especially regarding material and panelization.

Coal chute should be retained, not removed or covered.

MEMORANDUM

To: FILE

From: Jean Fraser

Subject: Application ID: 2018-011

Date: 4/20/2018

Comments Submitted by: Robert Thompson/Fire on 3/7/2018

We suggest a meeting with Jason Grant in Building Inspections to review the building requirements related to separations, exit requirements, sprinkler and alarm system requirements, ADA, etc, for this project

Comments Submitted by: Robert Thompson/Fire on 3/7/2018

The Fire Department has adequate hydrant capacity in the area for this project, and access to the building is adequate.



Christian Roadman <croadman@portlandmaine.gov>

415 Cumberland Avenue (corner of Forest Ave) - Driveway Cross-slope

Keith Gray <kgray@portlandmaine.gov>

Fri, Apr 20, 2018 at 3:04 PM

To: Bruce Hyman <bhyman@portlandmaine.gov>

Cc: Jennifer Ladd <jwl@portlandmaine.gov>, Michael Farmer <mfarmer@portlandmaine.gov>, Christian Roadman <croadman@portlandmaine.gov>

Hello,

DPW position is that the driveway apron shall be reconstructed in conformance with technical standards. That being said, the apron should match into the existing sidewalk conditions which appear to be in excess of 2 percent cross slope. We do not want a case where the apron is 2% matching into 4-10% grades creating an even steeper grade. We would require existing and proposed grades for analysis.

Thank you,

Keith

[Quoted text hidden]

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Keith D. Gray, PE
City Engineer
Engineering Services Manager
Dept. of Public Works
City of Portland Maine

207.874.8834

kgray@portlandmaine.gov



Christian Roadman <croadman@portlandmaine.gov>

415 Cumberland Avenue

Jeanie Bourke <jmb@portlandmaine.gov>

Mon, Apr 2, 2018 at 1:02 PM

To: Barbara Barhydt <bab@portlandmaine.gov>

Cc: Christian Roadman <croadman@portlandmaine.gov>, Jason Grant <jgrant@portlandmaine.gov>

Hi all,

My apologies for the delay in looking at this, jumping on it first thing this morning. I have some comments on the Accessibility Evaluation that you can share with Archetype:

Residential Apartments

Note 6 as it pertains to Chap. 10 Change of Occupancy in IEBC 2015, Section 1012.8. As this requires compliance with Section 705, they will need to evaluate the following as stated in 705.1, "A facility that is altered shall comply with...705.1.1 through 705.1.14, and Chapter 11 of the IBC unless it is technically infeasible", so, pending any exceptions to this, it also needs to be addressed for Accessible Entrances per Sec. 1105.1.7 Dwelling units and sleeping units.

In terms of the plans, we have met with Barry Yudaken on 2 occasions to review the code implications. I just got an email from him last Thursday with some proposed changes in the design, to have the penthouse be a separate unit instead of part of the 2nd (3rd) floor unit. Jason and I will need to take a look at the latest plans for compliance.

I will let you know, thanks.

Jeanie

*Jeanie Bourke
Code Enforcement Officer/Plan Reviewer
Team Leader*

City of Portland
Permitting and Inspections Department
389 Congress St. Rm 315
Portland, ME 04101
jmb@portlandmaine.gov
(207)874-8715

On Thu, Mar 29, 2018 at 2:17 PM, Barbara Barhydt <bab@portlandmaine.gov> wrote:

[Quoted text hidden]

PEZ 2018-011: Building Conversion, 415 Cumberland Avenue

Bruce Hyman <bhyman@portlandmaine.gov>

Fri, Mar 30, 2018 at 3:55 PM

To: Christian Roadman <croadman@portlandmaine.gov>

Cc: Tom Errico <thomas.errico@tylin.com>, Keith Gray <kgray@portlandmaine.gov>, Jeremiah Bartlett <jbartlett@portlandmaine.gov>, Jeff Tarling <jst@portlandmaine.gov>

Good afternoon, Christian,

Below are my preliminary comments on the materials submitted to date on the site plan and accompanying materials related to bicycle, pedestrian, streetscape and accessibility topics:

- the city arborist should weigh in the adequacy of the existing tree wells within the sidewalk - they do not meet current dimensional requirements (typically 4'x7') but should be sized appropriately, if adjusted, to maintain the width for pedestrian accessibility along the sidewalk (5' ideal minimum)
- the curb ramp is to be updated to achieve full ADA-compliance and meet existing Technical Standards - I've attached the curb ramp configuration provided to the previous applicant's project team for this location - the current standard for the detectable warning panel within the curb ramp is cast iron with a 4" concrete border and is available from DPW if needed
- the layout and dimensions for the 2 bicycle racks need to be checked for adequacy - the minimum clearance (O.C) are: from the building, 30"; between racks is 36" and from the edge of the driveway is 24". Sufficient clearance from the exterior gas service and bollards also need to be considered. It appears the bike racks would also block access to the external stairway from the 2nd floor without going onto the adjacent property. Other locations on-site or within the sidewalk on either Forest and/or Cumberland Avenue can also be considered to make them more functional and not block this access.
- the ADA-compliance of the sidewalk and driveway along the project's frontage on Forest Avenue should be confirmed for cross-slope (maximum 2% cross-slope for a minimum of 5' of width) and condition.

Please let me know if you have any questions related to these topics

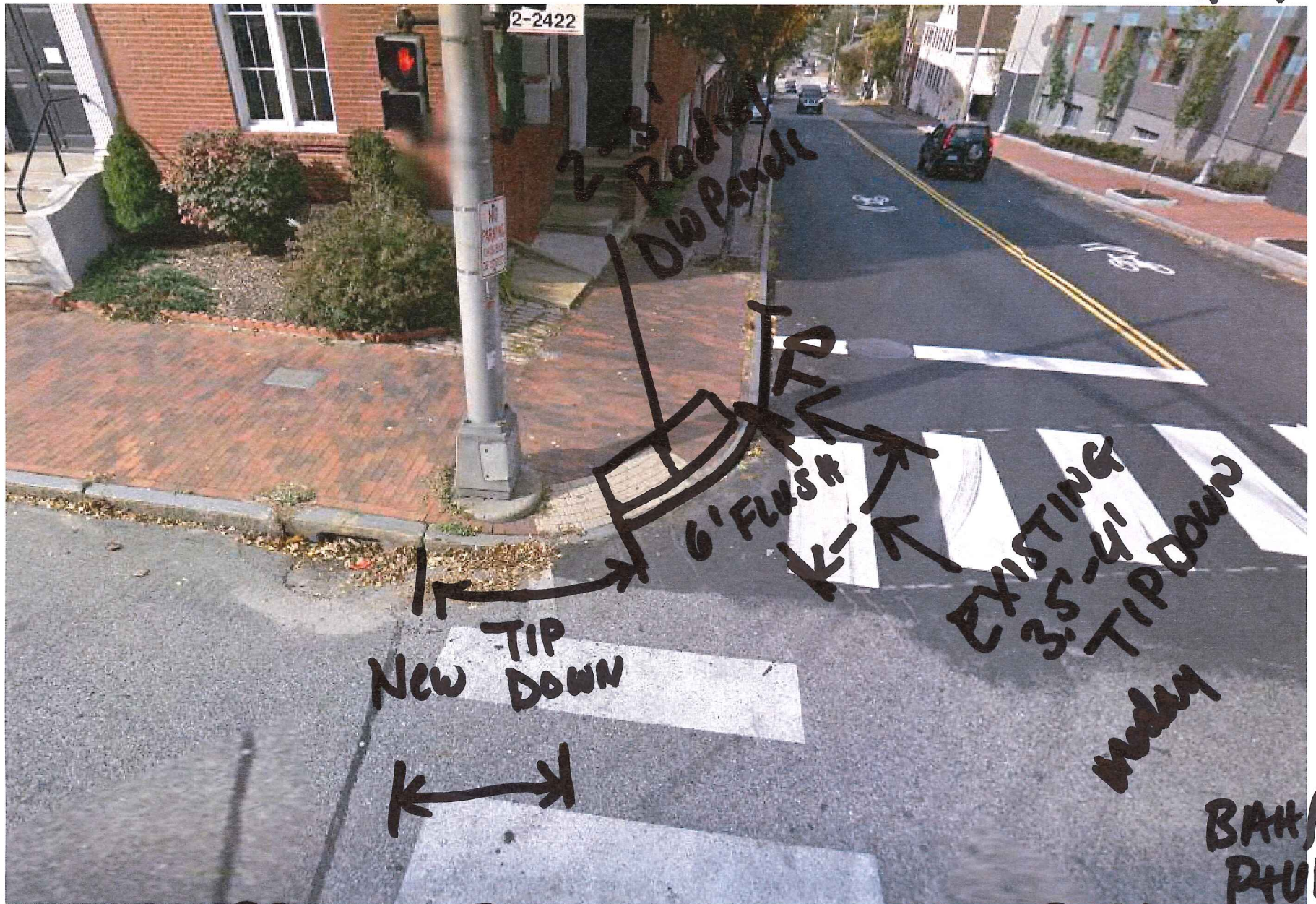
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Bruce Hyman
Transportation Program Manager
Transportation Division

Department of Planning & Urban Development
389 Congress Street
Portland, Maine 04101
(207) 874-8717 phone

bhyman@portlandmaine.gov
<http://www.portlandmaine.gov/1363/Transportation-Division>
Yes! Transportation's Good Here

 415CumberlandAve_CurbRampProposed_Sept22-16 (1).pdf
652K



WILL PROVIDE BETTER ALIGNMENT TO BOTH RECEIVING CROSSWALKS