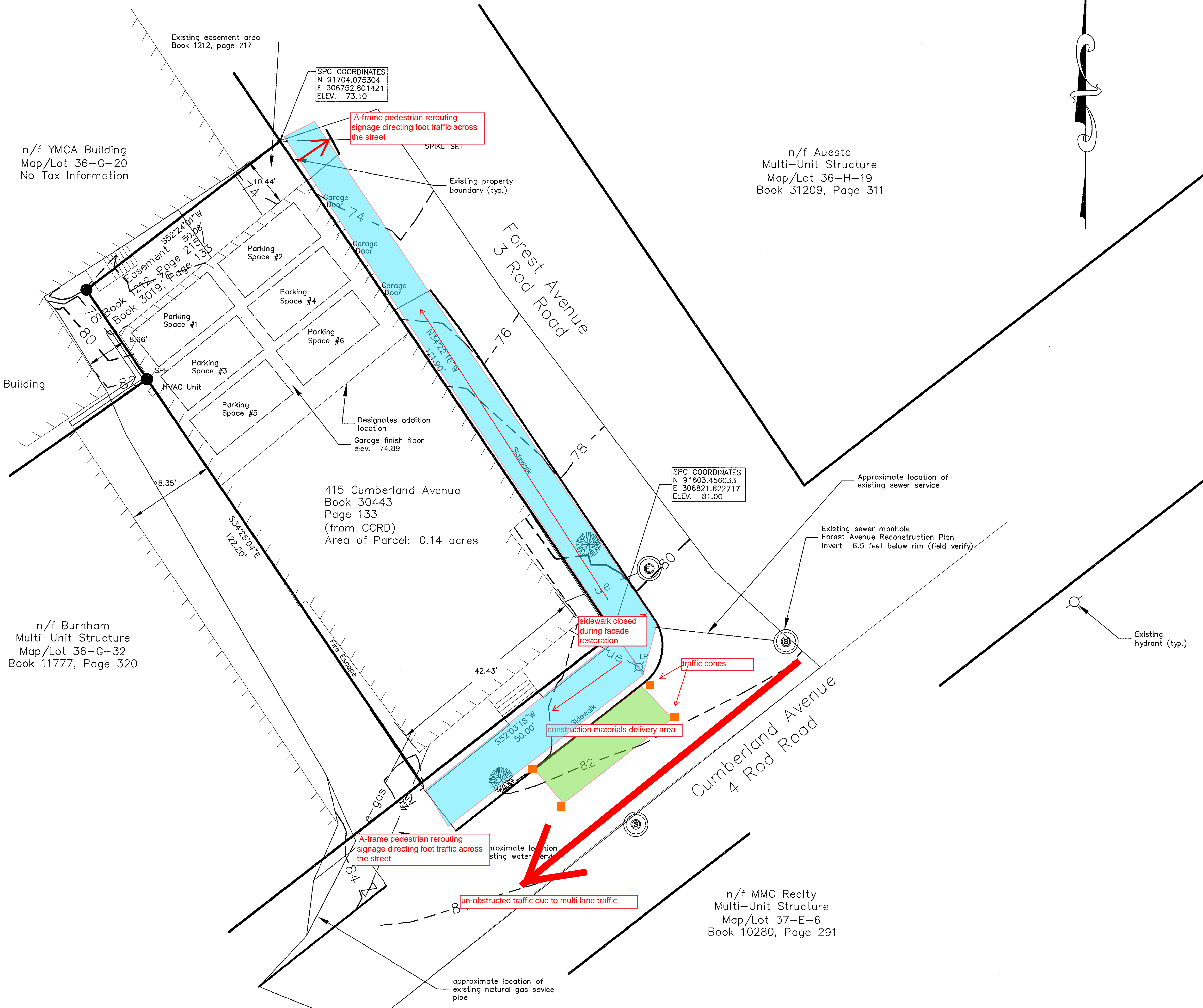


n/f YMCA Building
Map/Lot 36-G-20
No Tax Information

YMCA Building

n/f Burnham
Multi-Unit Structure
Map/Lot 36-G-32
Book 11777, Page 320



Existing easement area
Book 1212, page 217

SPC COORDINATES
N 91704.075304
E 306752.801421
ELEV. 73.10

A-frame pedestrian rerouting
signage directing foot traffic across
the street

SPIKE SET

Existing property
boundary (typ.)

n/f Auesta
Multi-Unit Structure
Map/Lot 36-H-19
Book 31209, Page 311

Forest Avenue
3 Rod Road

SPC COORDINATES
N 91603.456033
E 306821.622717
ELEV. 81.00

Approximate location of
existing sewer service

415 Cumberland Avenue
Book 30443
Page 133
(from CCRD)
Area of Parcel: 0.14 acres

Existing sewer manhole
Forest Avenue Reconstruction Plan
Invert -6.5 feet below rim (field verify)

sidewalk closed
during facade
restoration

traffic cones

construction materials delivery area

A-frame pedestrian rerouting
signage directing foot traffic across
the street

un-obstructed traffic due to multi lane traffic

approximate location of
existing natural gas service
pipe

n/f MMC Realty
Multi-Unit Structure
Map/Lot 37-E-6
Book 10280, Page 291

Grid North

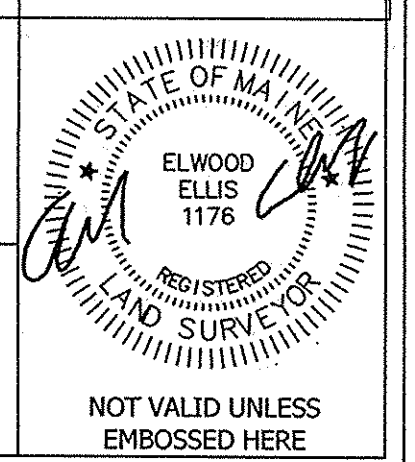


1	Plan revisions	10/22/15
2	Plan revisions	07/14/16
3	Plan revisions	07/21/16
4	Revised Owner & Project Name	03/20/18
5	Add Parking Spaces per City Review	04/16/18
NO.		DATE
OWNER		415 CA, LLC 25 EDGEHILL ROAD BROOKLINE, MA 02445
PROJECT:		415 CUMBERLAND AVENUE 415 CUMBERLAND AVENUE, PORTLAND, MAINE BOUNDARY & TOPOGRAPHIC SURVEY
ADDRESS:		415 Cumberland Avenue
CITY:		Portland
COUNTY:		Cumberland
STATE:		Maine
DATE:		06/18/16
SCALE:		1" = 10'
REVISIONS		

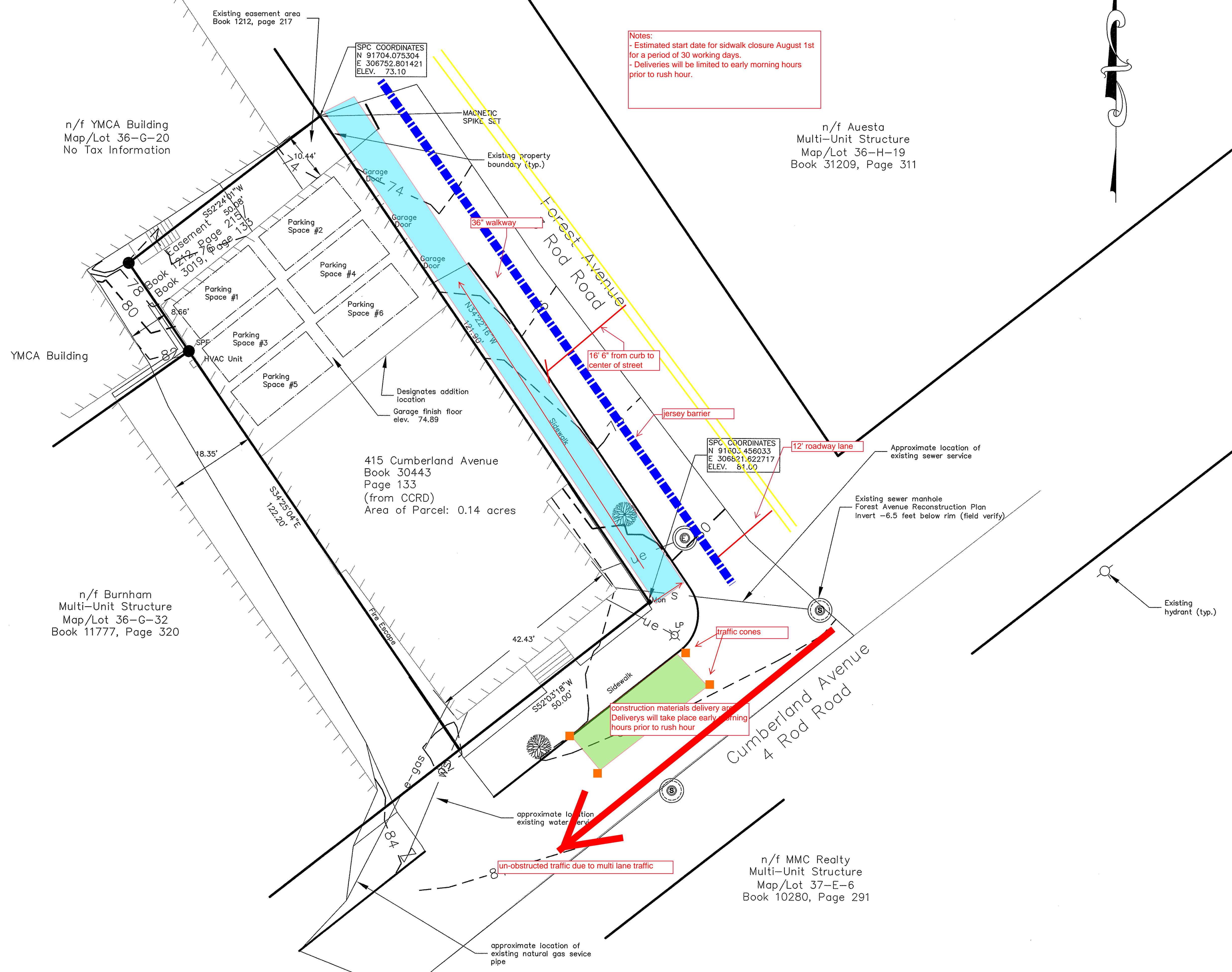
D. S. D.
DOWNEAST SURVEYING & DEVELOPMENT
1176 P.O. BOX 1176
CHINA MAINE 04926
(207) 888-2507
MEMBER MAINE SOCIETY OF LAND SURVEYORS

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1 OF 1
SHEET NUMBER



NOT VALID UNLESS
EMBOSSSED HERE



Notes:
 - Estimated start date for sidewalk closure August 1st for a period of 30 working days.
 - Deliveries will be limited to early morning hours prior to rush hour.



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 No Tax Information

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OWNER
415 CA, LLC
 25 EDGEHILL ROAD
 BROOKLINE, MA 02445

PROJECT:
415 CUMBERLAND AVENUE
 415 CUMBERLAND AVENUE, PORTLAND, MAINE
 BOUNDARY & TOPOGRAPHIC SURVEY

ADDRESS:
 415 Cumberland Avenue

CITY: Portland
 COUNTY: Cumberland
 STATE: Maine

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 100 WASHINGTON ST., SUITE 1176
 PORTLAND, MAINE 04108
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1 OF 1
 SHEET NUMBER

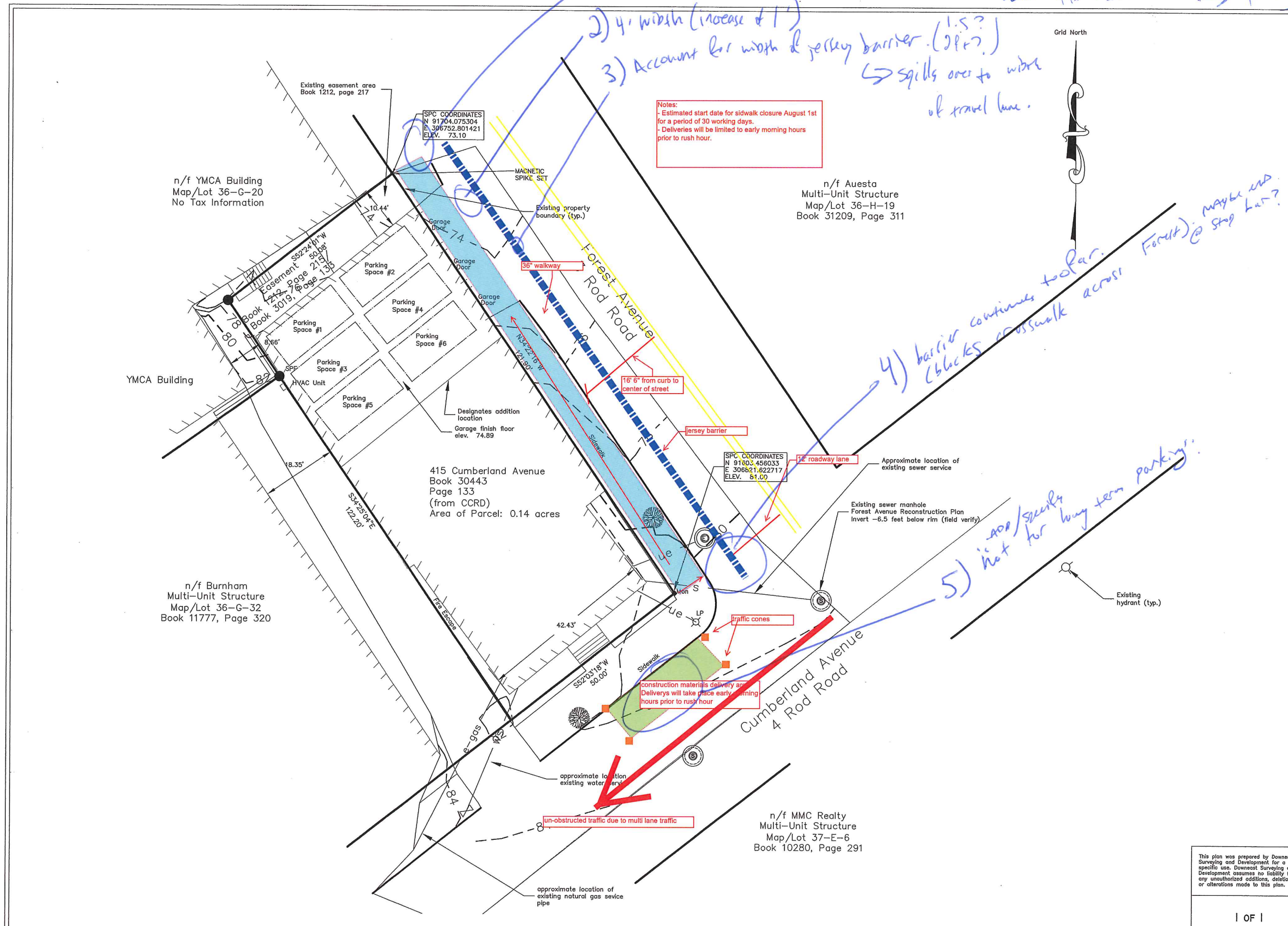
NOT VALID UNLESS EMBOSSED HERE

In response to the **original CMP**, Tom offered the following comments:

the sidewalk detour plan is not acceptable. All temporary detour routes need to be ADA compliant and make sense from a use perspective. If it can fit, it may make sense to provide a temporary facility with a barrier. I would also note that DPW would like the scope and duration of the sidewalk closure to be defined. DPW does not support the occupancy of a sidewalk and/or parking for an extended period of time and construction sequences shall be scheduled to minimize the duration of any occupancy. The applicant should also provide roadway width dimensions for the vehicle loading area on Cumberland Avenue.

In response to the **updated CMP**, Bruce offered the following comments:

- 1) I don't believe that 3' is sufficient for the pedestrian detour: 5' is our typical minimum but 4' should be our absolute minimum and needs to be fully usable width.
- 2) I don't believe the dimensions shown take into account, for example, the footprint of the jersey barriers themselves with is probably at least 1.5'-2' in width but should be verified. So the pedestrian detour, jersey barrier and travel lane (we likely want at least 10.5' - but should be checked with Jeremiah) likely won't fit within the 16' available between the curb and existing double-yellow center-line.
- 3) They also don't show how and where ADA-access is provided from the sidewalk in advance of their property to the pedestrian detour route (from the neighboring YMCA's dumpster driveway?).
- 4) I'll let others chime in on the use of Forest Ave at that location for delivery of materials "before rush hour" - there are specified hours for construction activity that I believe also include delivery of materials but I'm not positive on that front. Of course it would be advantageous for the deliveries to be then but I'm not sure it's permissible.



- 1) ramp (bituminous, tarp)
- 2) 4' width (increase of 1')
- 3) Account for width of jersey barrier (1.5?)
↳ spills over to width of travel lane.

4ft + 2ft → 10.5 ft roadway lane?

Notes:
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4) barrier continues to far. (blocks crosswalk across Forest) @ stop bar?

5) Not for long term parking.

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 28 EDGEHILL ROAD
 BROOKLINE, MA 02445

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 415 CUMBERLAND AVENUE, PORTLAND, MAINE
 BOUNDARY & TOPOGRAPHIC SURVEY
 ADDRESS: 415 Cumberland Avenue
 CITY: Portland COUNTY: Cumberland STATE: Maine

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 CONN. REG. # 2425
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