

**Planning and Urban Development Department
Planning Division**



April 03, 2018
Sent via electronic mail

Sam Reiche
415 CA, LLC.
25 Edgehill Road
Brookline, MA 02445

Thomas Greer
Walsh Engineering Associates
1 Karen Drive
Westbrook, ME 04092

RE: Comments for Proposed Development – Level III Review

Project:	Building Conversion	Project ID:	2018-011
Project Address:	415 Cumberland Ave.	CBL:	36-G-33
Applicant:	Sam Reiche		
Planner:	Christian Roadman		

Mr. Reiche and Mr. Greer,

Thank you for submitting a level III site plan application for the conversion of an existing building and related site changes. This project is being reviewed subject to the following applicable [Land Use Code provisions](#):

- B-3c Business Downtown Zone, Article 3, Division 12
- Off-Street Parking Standards, Article 3, Division 20
- Subdivision Ordinance, Article 4
- Site Plan Ordinance, Article 5

The proposed development is also subject to relevant standards in the City of Portland [Technical Manual](#).

Current Review Comments

Planning / Zoning

1. Please provide additional information / documentation regarding the YMCA’s easement on your property, as well as your plans to preserve that institution’s access.

2. The content of the landscaping plan uploaded in January does not match the landscaping identified on the Site Plan uploaded in March. Please revise and ensure consistency between the two documents.
3. Please clarify the number of units proposed for your project, as well as the rooftop access available to any unit. Will the top unit be part of / connected to a unit below? Please also clarify the design of any guardrails / fencing on the roof, and also clarify any roof access from the rooftop unit. I understand that the applicant team has been in contact with permitting / inspections reviewers regarding these items. Please keep planning staff apprised of such life safety-related discussions and any proposed changes they prompt (also see comment 25 below).
4. Mechanical equipment must be selected and approved prior to issuance of an occupancy permit. Please identify the location and any screening of this equipment.
5. Please provide cut sheets of exterior lighting fixtures.
6. The provided survey includes half the interior parking spaces detailed on the site plan. Please ensure consistency between documents and revise.
7. Please provide floor plans of the existing building, and clarify the existing number of units / commercial spaces. This may impact parking analysis.

Bicycle, Pedestrian, Streetscape, and Accessibility (Bruce Hyman, Transportation Program Manager)

8. The curb ramp is to be updated to achieve full ADA-compliance and meet existing Technical Standards. Please see attached curb ramp configuration provided to the previous applicant's project team for this location. The current standard for the detectable warning panel with the curb ramp is cast iron with a 4" concrete border and is available from DPW if needed.
9. The layout and dimensions for the two bicycle racks need to be checked for adequacy. The minimum clearance (O.C.) are: from the building, 30"; between racks, 36"; and from the edge of the driveway, 24." Sufficient clearance from the exterior gas service and bollards also must be considered. It appears the bike racks would also block access to the external stairway from the second floor without going onto the adjacent property. Other bicycle rack locations on-site or within the sidewalk on either Forest and / or Cumberland Avenue can also be considered to make them more functional and not block this access.

10. The ADA compliance of the driveway, including that section of sidewalk, on Forest Avenue should be confirmed for cross-slope (maximum 2% cross-slope for a minimum of 5' of width) and condition.

Historic Preservation (Deb Andrews, Historic Preservation Program Manager)

11. Please provide details on new windows. What are the materials? Windows should feature simulated divided lites with applied exterior muntins, at a minimum. Also, please identify which windows will be repaired and which will be replaced.
12. Please provide details regarding window moldings: will brick moldings be replicated in aluminum trim on other, new windows?
13. Why are two windows on the northwest elevation a different height than all other windows on that elevation and the Forest Avenue elevation? Ideally these will all match.
14. Please provide more clarity / detail regarding the penthouse / mezzanine. What changes are being made, if any, and what materials are being used? Are the proportions of the existing windows changing?
15. Please provide details regarding finishes. The painted finish of Hardie plank should not be high contrast, nor should the relationship of trim to the body of the building be high contrast.
16. Please specify the reveal / ttw of the Hardie plank. It should be less than 6.”
17. Hardie plank shall be installed smooth side out. Please note this on plans.
18. Exhaust vents shall be painted to match the surrounding material (brick or Hardie plank siding). Please note this on plans.
19. Hardie plank at the top of the building parapets on the Forest Avenue and southwest elevations seems strange – the treatments / bands along the top of the building’s middle section should be continued.
20. Please identify if garage doors will be replaced. If so, materials and details must be specified.
21. Please provide details regarding the proposed new door on Forest Avenue, especially regarding material and panelization.
22. The coal chute on the Forest Avenue elevation shall be retained, not removed or covered. Please show this on plans.

Civil Engineering (Lauren Swett, P.E., Civil Engineering Consultant)

23. The existing ADA ramp at the corner is shown in an odd way – the curb line should be drawn to show the location of the ramp tactile warning strip.
24. The plat shows the ROW line on Cumberland crossing features out of the sidewalk (bottom step and the mulch planter areas). That may be the existing condition, but also may need to be addressed on the plat.

Fire (Division Chief Robert Thompson)

25. We suggest a meeting with Jason Grant in Building Inspections to review the building requirements related to separations, exit requirements, sprinkler and alarm system requirements, egress distance for deck, ADA, etc, for this project. This is recommended for investigation by the applicant now, to ensure the project meets Life Safety codes. This can help avoid a need for changes to meet codes after any site plan approval.
26. The Fire Department has adequate hydrant capacity in the area for this project, and access to the building is adequate.

Landscaping (Jeff Tarling, City Arborist)

- comments forthcoming.

Public Works (Keith Gray, P.E., City Engineer)

- comments forthcoming.

Additional Submittals:

Please revise and upload plans addressing all review comments. The final site plan must be stamped by a Maine licensed engineer. Upon receipt of the revised material, the City of Portland will review the final plans and information for conformance with applicable ordinances. Please be aware that an application expires within 120 days of the date upon which this written request for additional information was made.

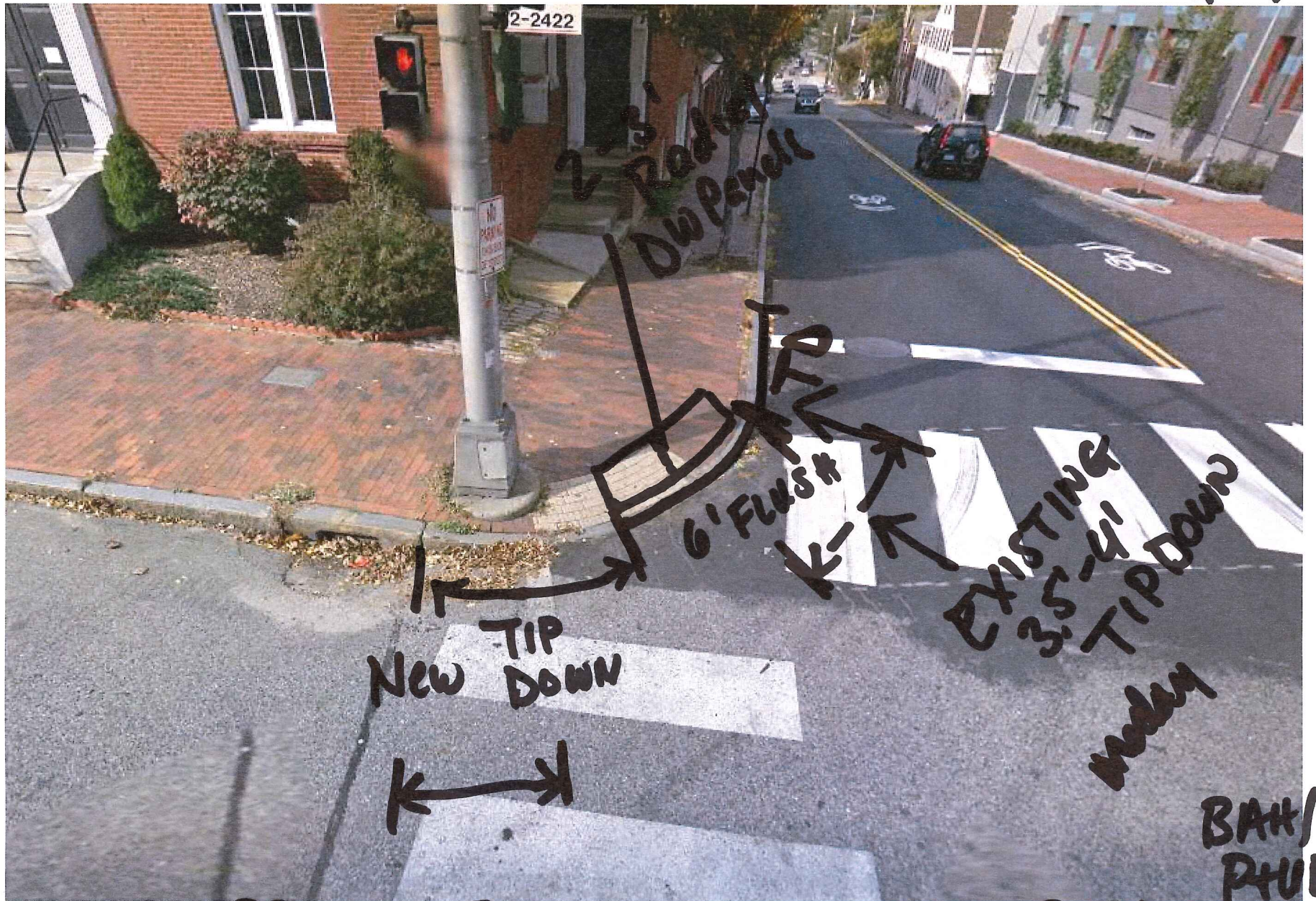
If you have any questions, feel free to contact me at (207) 874-8984 or by email at croadman@portlandmaine.gov. If necessary, I will be happy to arrange a meeting to discuss these comments and any concerns or questions you may have with appropriate City staff. Please let me know if this is of interest.

Sincerely,

Christian Roadman
Planner

CC:

Barbara Barhydt, Development Review Services Manager
Jean Fraser, Planner



WILL PROVIDE BETTER ALIGNMENT TO BOTH RECEIVING CROSSWALKS