

File 17164

April 17, 2018

Mr. Christian Roadman
City of Portland, Planning Division
389 Congress Street, 4th Floor
Portland, ME 04101

RE: 415 Cumberland Avenue, 415 CA, LLC

Dear Christian,

Below are the responses to the Staff comments of April 3rd.

This project will add vitality to the downtown district with more residents and places to work. This is in conformance with the City's Comprehensive Plan.

Planning / Zoning

- Please provide additional information / documentation regarding the YMCA's easement on your property, as well as your plans to preserve that institution's access.*

The easement has been uploaded for your review. Please note the gate will be keypad operated and compliant with ADA Standards as noted on C1.2.
- The content of the landscaping plan uploaded in January does not match the landscaping identified on the Site Plan uploaded in March. Please revise and ensure consistency between the two documents.*

The Landscape Plan is shown on C1.2. It shows the two new trees and relocation of some of the existing plantings.
- Please clarify the number of units proposed for your project, as well as the rooftop access available to any unit. Will the top unit be part of / connected to a unit below? Please also clarify the design of any guardrails / fencing on the roof, and also clarify any roof access from the rooftop unit. I understand that the applicant team has been in contact with permitting / inspections reviewers regarding these items. Please keep planning staff apprised of such life safety-related discussions and any proposed changes they prompt (also see comment 25 below).*

There will be 8 units. The Architect and the City Code Office have an understanding of the project, and how it meets the safety codes.
- Mechanical equipment must be selected and approved prior to issuance of an occupancy permit. Please identify the location and any screening of this equipment.*

The selection of the mechanical equipment will be provided to the City for review.
- Please provide cut sheets of exterior lighting fixtures.*

Cut sheets for the exterior lighting are provided.

6. *The provided survey includes half the interior parking spaces detailed on the site plan. Please ensure consistency between documents and revise.*

The survey has been revised.

7. *Please provide floor plans of the existing building, and clarify the existing number of units / commercial spaces. This may impact parking analysis.*

There are 8 residential units and 2 commercial units. The parking data is on sheet C1.1 and C1.2.

Bicycle, Pedestrian, Streetscape, and Accessibility (Bruce Hyman, Transportation Program Manager)

8. *The curb ramp is to be updated to achieve full ADA-compliance and meet existing Technical Standards. Please see attached curb ramp configuration provided to the previous applicant's project team for this location. The current standard for the detectable warning panel with the curb ramp is cast iron with a 4" concrete border and is available from DPW if needed.*

The curb ramp has been updated to current standards, see photo. The city mark up is an old photograph of the corner.

9. *The layout and dimensions for the two bicycle racks need to be checked for adequacy. The minimum clearance (O.C.) are: from the building, 30"; between racks, 36"; and from the edge of the driveway, 24." Sufficient clearance from the exterior gas service and bollards also must be considered. It appears the bike racks would also block access to the external stairway from the second floor without going onto the adjacent property. Other bicycle rack locations on-site or within the sidewalk on either Forest and / or Cumberland Avenue can also be considered to make them more functional and not block this access.*

The bicycle racks have been revised. One is located on Forest Avenue and one off Cumberland Avenue.

10. *The ADA compliance of the driveway, including that section of sidewalk, on Forest Avenue should be confirmed for cross-slope (maximum 2% cross-slope for a minimum of 5' of width) and condition.*

The existing drop from the garage floor to Forest Avenue averages 10%. It is not possible to flatten the 5' wide section of the walk and still have access to the garage. No work is planned for this section of the site.

Historic Preservation (Deb Andrews, Historic Preservation Program Manager)

11. *Please provide details on new windows. What are the materials? Windows should feature simulated divided lites with applied exterior muntins, at a minimum. Also, please identify which windows will be repaired and which will be replaced.*

The intent is to replace the 2nd floor windows in the brick building (residential units) and refurbish the 1st floor windows in the brick building (commercial spaces). All proposed windows in the clapboard building will be new. The revised elevations indicate which

existing windows will be refurbished and which will be replaced. The replaced windows will be aluminum clad windows with simulated divided lights. We have received quotes for replacement windows from Pella, Sierra Pacific, and Weathershield, and the replacement windows will be supplied by one of these manufacturers.

12. *Please provide details regarding window moldings: will brick moldings be replicated in aluminum trim on other, new windows?*

Existing brick molds to be painted and remain in place or refurbished windows and resued where windows are replaced. New windows in the new openings will have the selected window manufacturer's standard brick mold.

13. *Why are two windows on the northwest elevation a different height than all other windows on that elevation and the Forest Avenue elevation? Ideally these will all match.*

These two windows are located in kitchens and the sills are higher to allow for the kitchen counters. Currently the section of the elevation with these two windows is treated differently from the remainder of the elevation. The lower level is brick and not concrete, the gutters and rooflines are different, and there is a vertical trim board separating the two areas. We intend to maintain a trim board separating the two areas and this will mitigate the difference in sill heights.

14. *Please provide more clarity / detail regarding the penthouse / mezzanine. What changes are being made, if any, and what materials are being used? Are the proportions of the existing windows changing?*

An aluminum fence system is being added to the flat roof outside the penthouse to demarcate an outside area to the penthouse. This is set well back from the roof edges and will not be visible from street level. The sidewalls of the dormers and the walls of the clerestory will be finished with hardie plank lap siding. The lower roof will remain as existing (membrane waterproofing system) and the upper roof will remain a shingle roof.

15. *Please provide details regarding finishes. The painted finish of Hardie plank should not be high contrast, nor should the relationship of trim to the body of the building be high contrast.*

The color selected for the new siding (see attachment and revised plans) is James Hardie Color Aged Pewter. This is a midrange tone and will not contrast with the white trim as much as a darker color would.

16. *Please specify the reveal / tw of the Hardie plank. It should be less than 6."*

We have called out for a 5" exposure on the siding.

17. *Hardie plank shall be installed smooth side out. Please note this on plans.*

Noted on Plans.

18. *Exhaust vents shall be painted to match the surrounding material (brick or Hardie plank siding). Please note this on plans.*

Noted on Plans.

19. *Hardie plank at the top of the building parapets on the Forest Avenue and southwest elevations seems strange – the treatments / bands along the top of the building's middle section should be continued.*

This has been revised on the drawings to show hardie plank lap siding below the trim

and hardie panel above the trim.

20. *Please identify if garage doors will be replaced. If so, materials and details must be specified.*

The existing garage doors will be repainted.

21. *Please provide details regarding the proposed new door on Forest Avenue, especially regarding material and panelization.*

The existing door is to remain and be repainted.

22. *The coal chute on the Forest Avenue elevation shall be retained, not removed or covered. Please show this on plans.*

Noted on Plans.

Civil Engineering (Lauren Swett, P.E., Civil Engineering Consultant)

23. *The existing ADA ramp at the corner is shown in an odd way – the curb line should be drawn to show the location of the ramp tactile warning strip.*

Attached is the current ramp configuration.

24. *The plat shows the ROW line on Cumberland crossing features out of the sidewalk (bottom step and the mulch planter areas). That may be the existing condition, but also may need to be addressed on the plat.*

A license agreement note has been added.

Fire (Division Chief Robert Thompson)

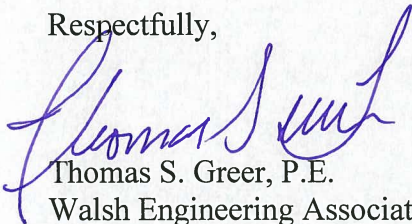
25. *We suggest a meeting with Jason Grant in Building Inspections to review the building requirements related to separations, exit requirements, sprinkler and alarm system requirements, egress distance for deck, ADA, etc, for this project. This is recommended for investigation by the applicant now, to ensure the project meets Life Safety codes. This can help avoid a need for changes to meet codes after any site plan approval.*

26. *The Fire Department has adequate hydrant capacity in the area for this project, and access to the building is adequate.*

We have met twice with Jason Grant and Jeanie Bourke to review the building and life safety codes. We are waiting for Jason to confirm alarm and fire panel requirements for a building with 3 entrances.

Please review our application and let me know if you need anything else.

Respectfully,



Thomas S. Greer, P.E.

Walsh Engineering Associates, Inc.

cc. Sam Reiche, Barry Yudaken, File
Enc.