

n/f YMCA Building  
Map/Lot 36-G-20  
No Tax Information

CAPPED STEEL PIN SET  
SPC COORDINATES  
N: 299982.438151  
E: 2926697.872998  
ELEV. 76.74  
(REPLACES DISTURBED PIPE  
AT THIS LOCATION)

YMCA BUILDING

n/f Burnham  
Multi-Unit Structure  
Map/Lot 36-G-32  
Book 11777, Page 320

**PLAN NOTES:**

- ZONING B3C DOWNTOWN BUSINESS, R-6 & DOWNTOWN OVERLAY DISTRICT.
- FLOOR PLANS LAYOUT ON FILE AT CITY OF PORTLAND PLANNING OFFICE.
- BRICK POINTS ENCR OACH ON LOT INDICATED AS MAP/LOT 36-G-32 BY LESS THAN 2 INCHES.
- COORDINATE SYSTEM IS STATE PLANE COORDINATES, WEST ZONE. NAD 83.
- VERTICAL DATUM IS USGS 1929. CUSTOM'S HOUSE STEPS 29 NGBD.
- NO FLOOD HAZARD AREA AT SITE.
- UTILITIES SHOWN AS EXISTING.
- NO EXTERIOR CHANGES PLANNED FOR BUILDING EXCEPT FOR COVERING T-111 ON NORTH, EAST, AND WESTERN ENDS, NEW GARAGE DOORS, WINDOW REPLACEMENTS, AN ELEVATOR BULKHEAD ADDITION AND PROVIDING REQUIRED ROOFTOP RAILINGS.
- THE EASEMENTS AS NOTED ARE FOR THE YMCA (1212-215) TO USE PART OF THIS PARCEL TO BUILD AND MAINTAIN A CONCRETE EXTERIOR EGRESS WITH ACCESS TO FOREST AVENUE.
- IN BOOK 1212 PAGE 217 THE YMCA GRANTS THIS PARCEL USE OF THE PARCEL BELONGING TO THE YMCA BETWEEN THE STRUCTURES SUBJECT TO THE STAIRS AND EGRESS TO FOREST AVENUE.
- THE FIRE ESCAPE DOES NOT ENCR OACH ON THE BURNHAM LOT. THE HVAC UNIT HAS NO RECORDED EASEMENT FROM THE BURNHAM PARCEL.
- THE FIRST FLOOR RE-USE SPACE IS TO REMAIN AS COMMERCIAL USE.
- OWNER OF RECORD: M&A LOWCOUNTRY INVESTMENTS, LLC
- DEED OF RECORD FROM CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 30443, PAGE 133
- TWO NEW 'STREET' TREES TO BE ADDED IN EXISTING PLANT BEDS BETWEEN BUILDING AND CUMBERLAND AVE.
- EXISTING ADA RAMP AT INTERSECTION OF FOREST AVE & CUMBERLAND AVE. TO BE REPAIRED OR REPLACED
- PROJECT PROPOSES TO LOCATE OUTDOOR STORAGE FOR FOUR (4) BICYCLES.

**415 CUMBERLAND AVENUE**  
BOOK 30443, PAGE 133 (FROM CCRD)  
SITE PLAN KEY  
PARCEL: 0.14 ACRES = 6,098 SF  
FOOTPRINT: 4,929 S.F.  
TOTAL FLOOR AREA: 15,745 SF  
EASEMENT: 525 SF  
FIRST FLOOR ELEV.: 85.89

**5 UNIT SUBDIVISION  
BUILDING FLOOR AREA SCHEDULE**

APT. #	FLOOR	BR	FLOOR AREA (SF)
A (LOT #2)	1st	2	1,119
B (LOT #3)	1st	1	505
C (LOT #4)	2nd	1	540
D (LOT #5)	2nd	2	1,010
RESIDENTIAL TOTAL:			3,174
COMMERCIAL	0,1,2,3		7,097
GARAGE	0		1,830
BASEMENT	0		1,569
COMMON AREA	0,1,2,3		1,909
COMMERCIAL TOTAL:			12,405

Approved by the Portland  
Planning Board

Date Approved: \_\_\_\_\_

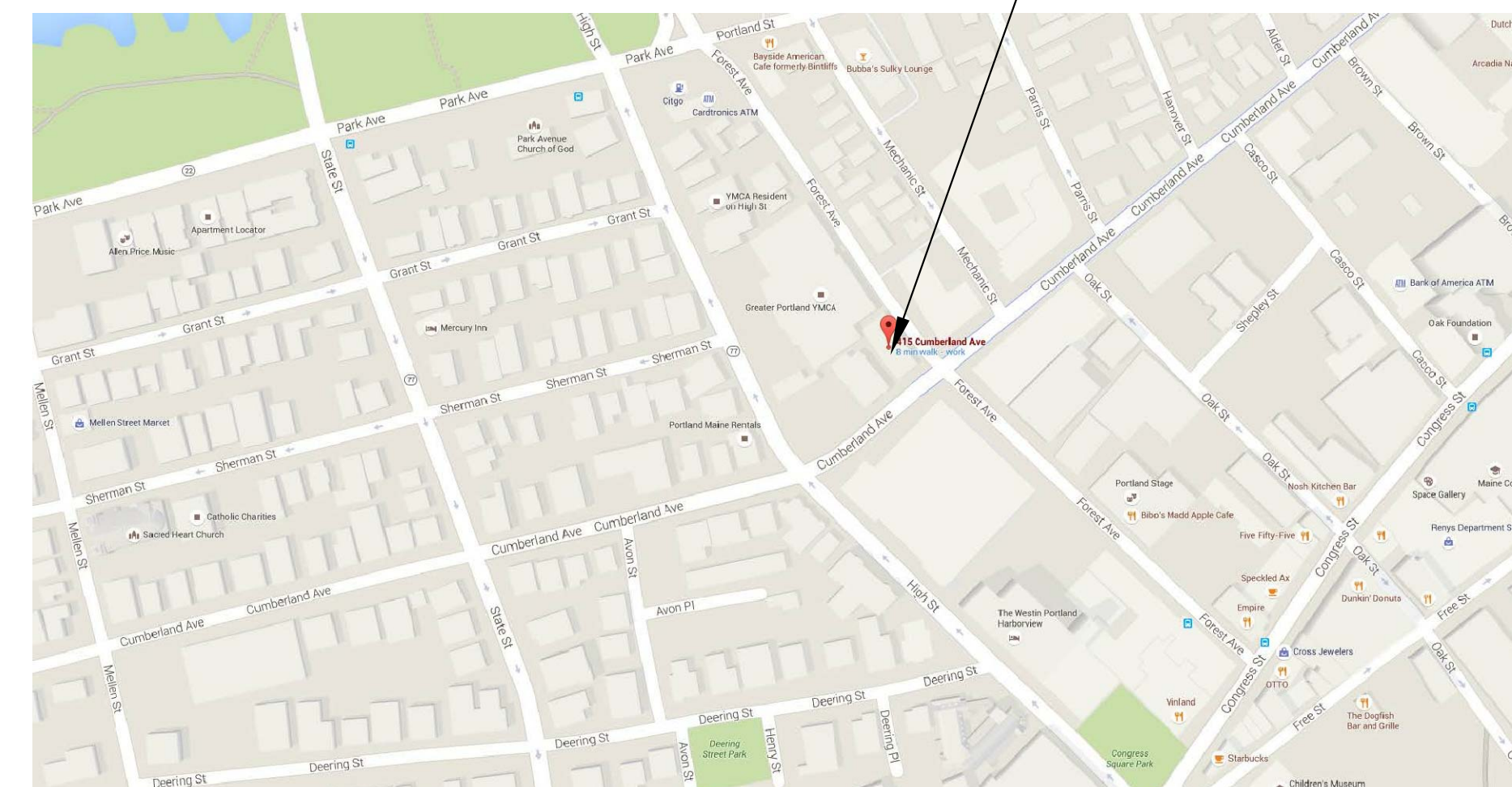
**PLANNING BOARD  
CONDITIONS OF APPROVAL**

- SUBDIVISION REVIEW CONDITIONS OF APPROVAL:
- That in the event the property is converted to a condominium, that the recorded condominium documents shall be copied to the Planning Authority.
  - That the tandem parking spaces be designated for the residential units only (or for low turnover use) to insure that backing maneuvers onto Forest Ave. are minimized given vehicle and pedestrian levels.
  - That the Construction Management Plan shall be revised to note that existing catch basins near any disturbed areas shall be protected, and cleaned following construction as necessary, and that if the site disturbance results in the tracking of any sediment onto the surrounding streets, they will be swept as required.

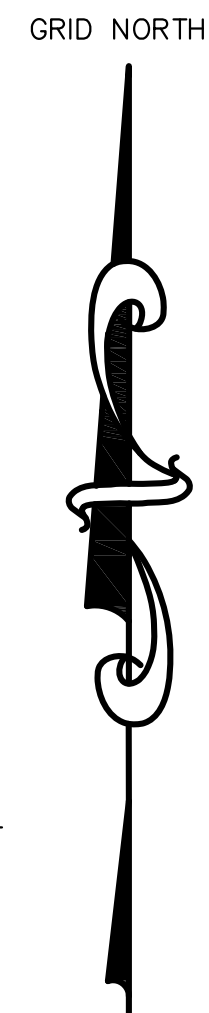
n/f Avesta  
Multi-Unit Structure  
Map/Lot 36-H-19  
Book 31209, Page 311

PARTIAL FIRST FLOOR PLAN - LOT 2 & 3  
SCALE: 1" = 10'

PARTIAL SECOND FLOOR PLAN - LOTS 4 & 5  
SCALE: 1" = 10'



LOCUS Map



3	Plan revisions	07/21/16	DATE
4	Plan revisions	07/25/16	DATE
5	Plan revisions	07/26/16	DATE
6	Plan revisions	08/16/16	DATE
7	Plan revisions	08/24/16	DATE
8	Plan revisions	08/29/16	DATE
9	Plan revisions	09/21/16	DATE
OWNER		M & A Lowcountry Investments, LLC 415 Cumberland Avenue Portland, Maine 04101	SCALE 1" = 10'
PROJECT		M & A Lowcountry Investments, LLC 5 Unit Subdivision Plat 415 Cumberland Avenue Portland, Maine 04101	COUNTY Cumberland
D. S. D.		DOWNEAST SURVEYING & DEVELOPMENT EDWARD ELLIS, P.L.L.C. # 1176 CHUCK WALKER (207) 968-2507 MEMBER: MAINE SOCIETY OF LAND SURVEYORS	CITY Portland