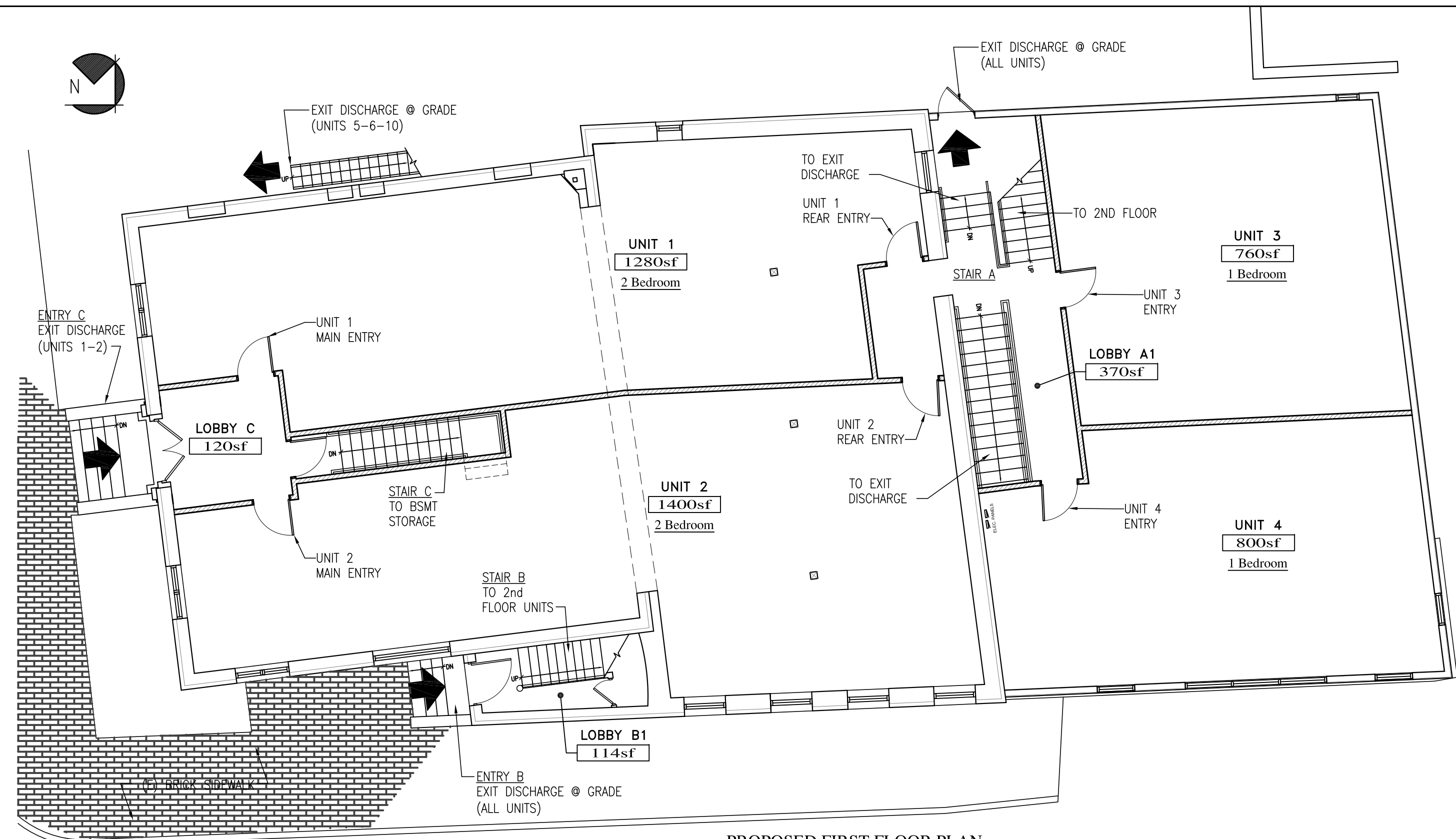
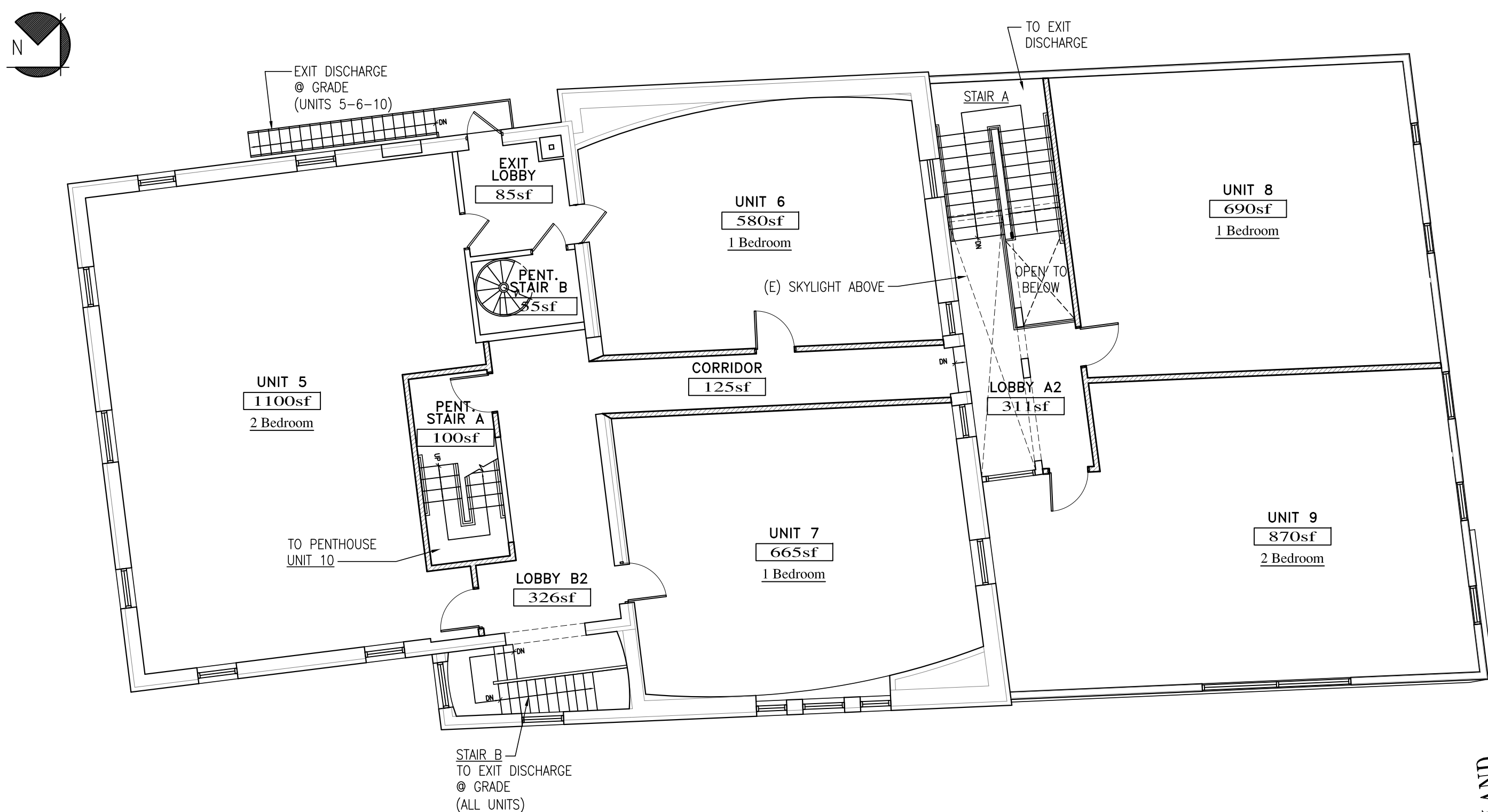


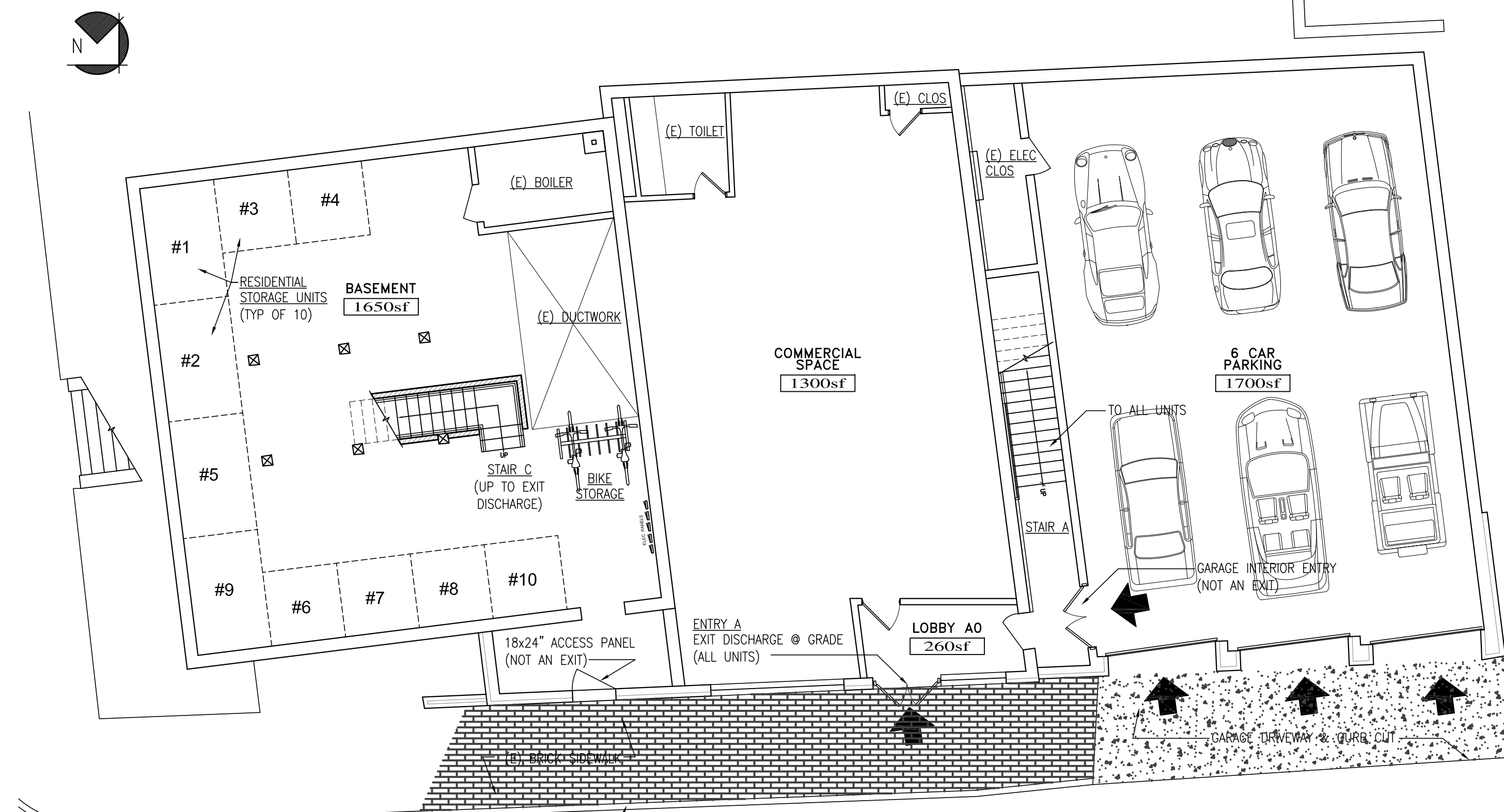
PROPOSED PENTHOUSE PLAN
SCALE: 1/8" = 1'-0"



PROPOSED FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"
4900sf Gross Area



PROPOSED SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"
4900sf Gross Area



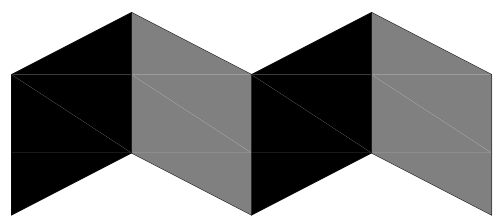
PROPOSED BASEMENT PLAN
SCALE: 1/8" = 1'-0"
4900sf Gross Area

CUMBERLAND AVENUE

FOREST AVENUE

CUMBERLAND AVENUE

FOREST AVENUE



ALPHAarchitects
17 CHESTNUT STREET
PORTLAND, ME 04101
PHONE: 207.761.9500
FAX: 207.761.9595
design@alphaarchitects.com

COPYRIGHT

Reuse or reproduction of the contents of this document is not permitted without written permission of ALPHA ARCHITECTS



Cumberland Apts.

415 Cumberland Street
Portland, ME. 04101

JOB: 15160

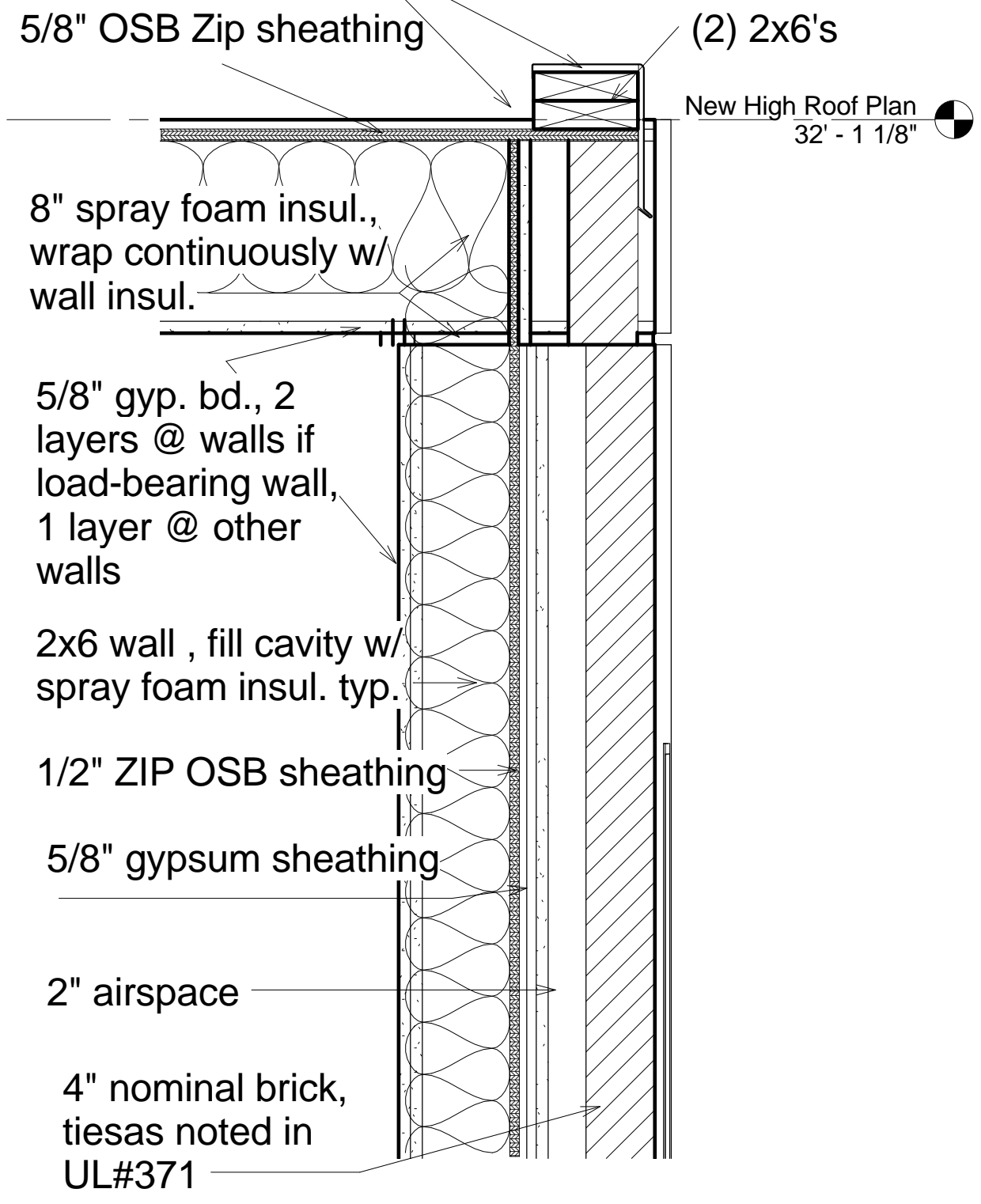
ISSUE DATE	
PRELIM	06-01-15
P BOARD	-
SFMO	-
CD's	-
REV. 1	-
PRINT	09-11-15

PROPOSED BASEMENT, 1st FL., 2nd FL. & PENTHOUSE PLANS

A1.0

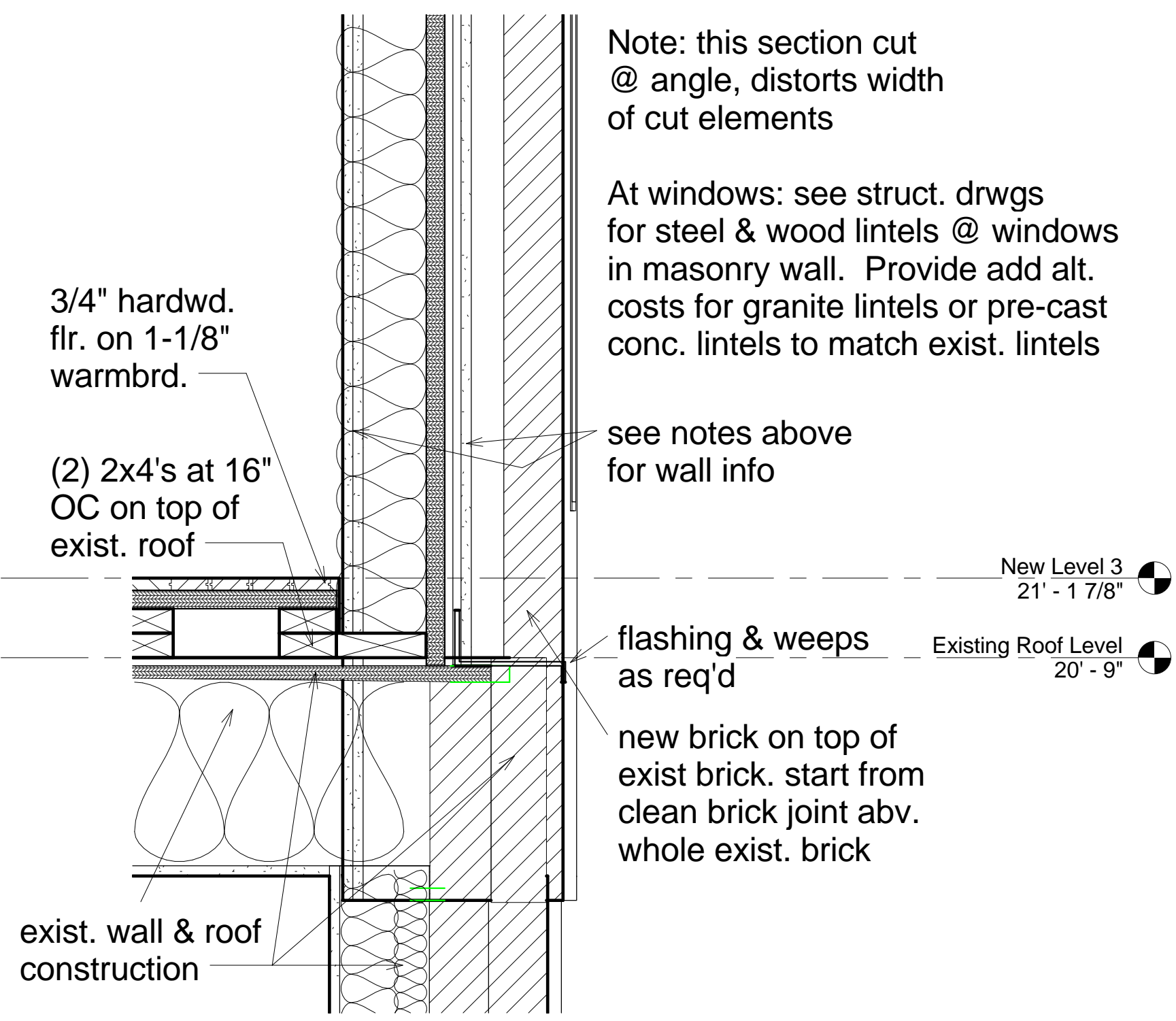
09-11-15

EPDM roof membrane, wrap up around blocking & under mtl cap



2 Section thru Top Roof @ Masonry wall
1 1/2" = 1'-0"

R-VALUE CALCULATIONS		
WALLS	Metal Panel	Brick Veneer
air barrier	0.17	0.17
brick		0.8
5/8" gypsum sheathing	0.56	0.56
1/2" OSB sheathing	0.62	0.62
5.5" closed cell poly insul	34.125	34.125
2 layers 5/8" gyp. Bd.	1.12	1.12
air barrier	0.68	0.68
TOTAL R VALUE	37.275	38.075
ROOFS	High Roof	Terrace Roofs
air barrier	0.17	0.17
rigid insul - avg. 2.5" th.		10
5/8" OSB sheathing	0.78	
3/4" OSB sheathing		0.93
8" closed cell poly insul	52	52
1 layer 5/8" gyp. Bd.	0.56	0.56
air barrier	0.68	0.68
TOTAL R VALUE	54.19	64.34
WINDOWS	Based on Integrity triple-glazed Wood-Ultrex awning/casement/fixd windows, argon-filled. Energy Star	
	U = .19	
	SHGC = .27	



1 Wall Section @ new & exist masonry
1 1/2" = 1'-0"

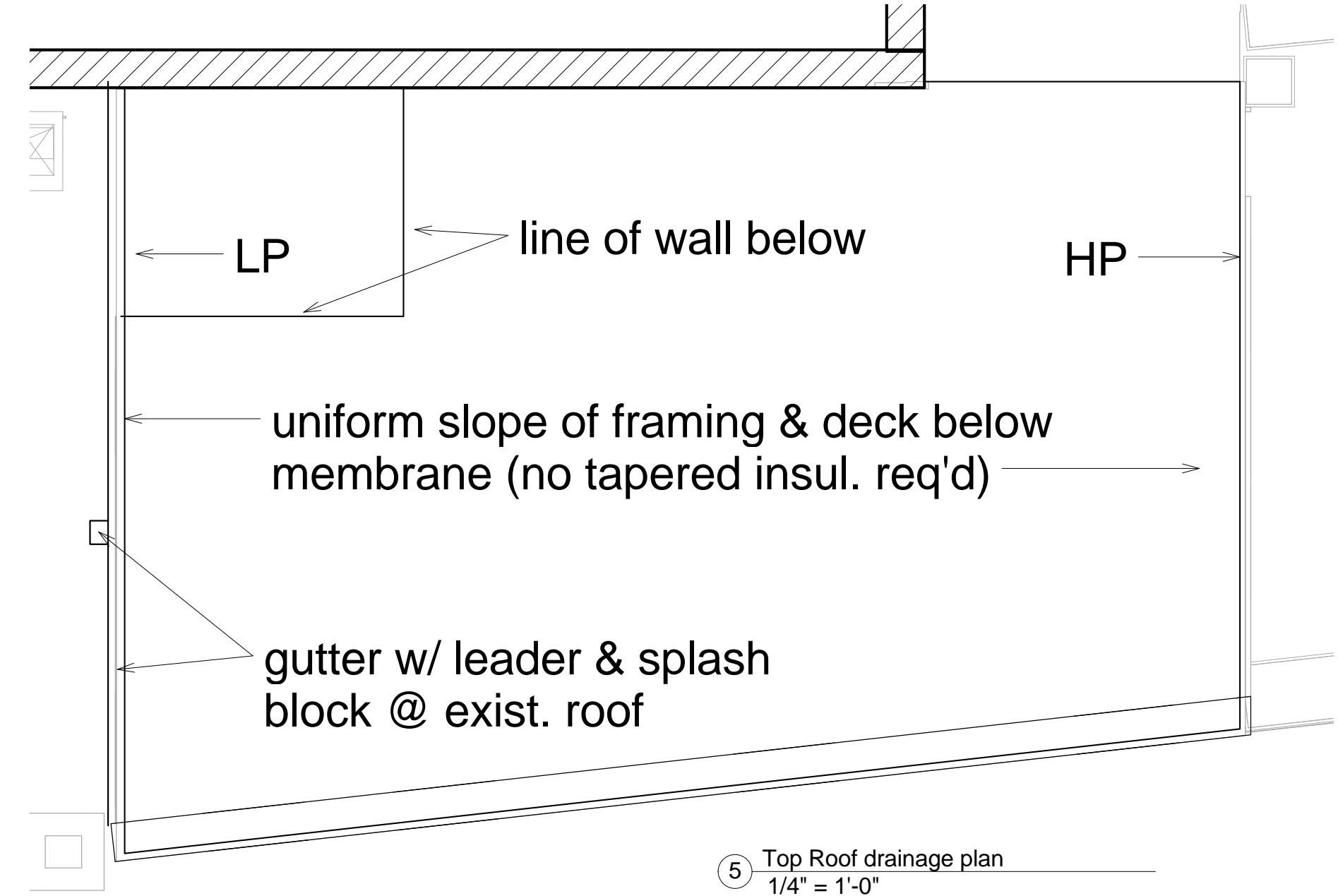
Note: this section cut @ angle, distorts width of cut elements

At windows: see struct. drwgs for steel & wood lintels @ windows in masonry wall. Provide add alt. costs for granite lintels or pre-cast conc. lintels to match exist. lintels

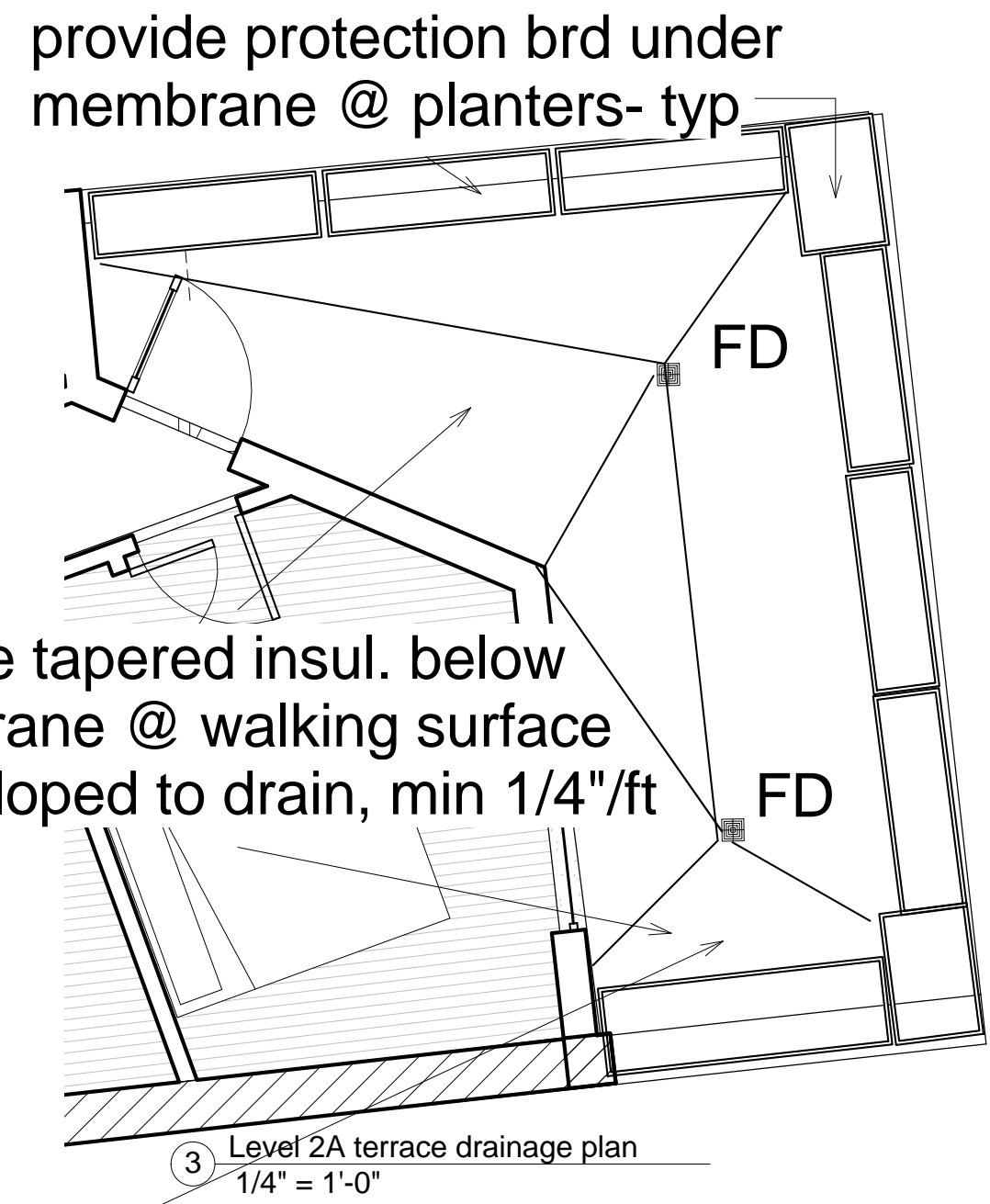
see notes above for wall info

flashing & weeps as req'd

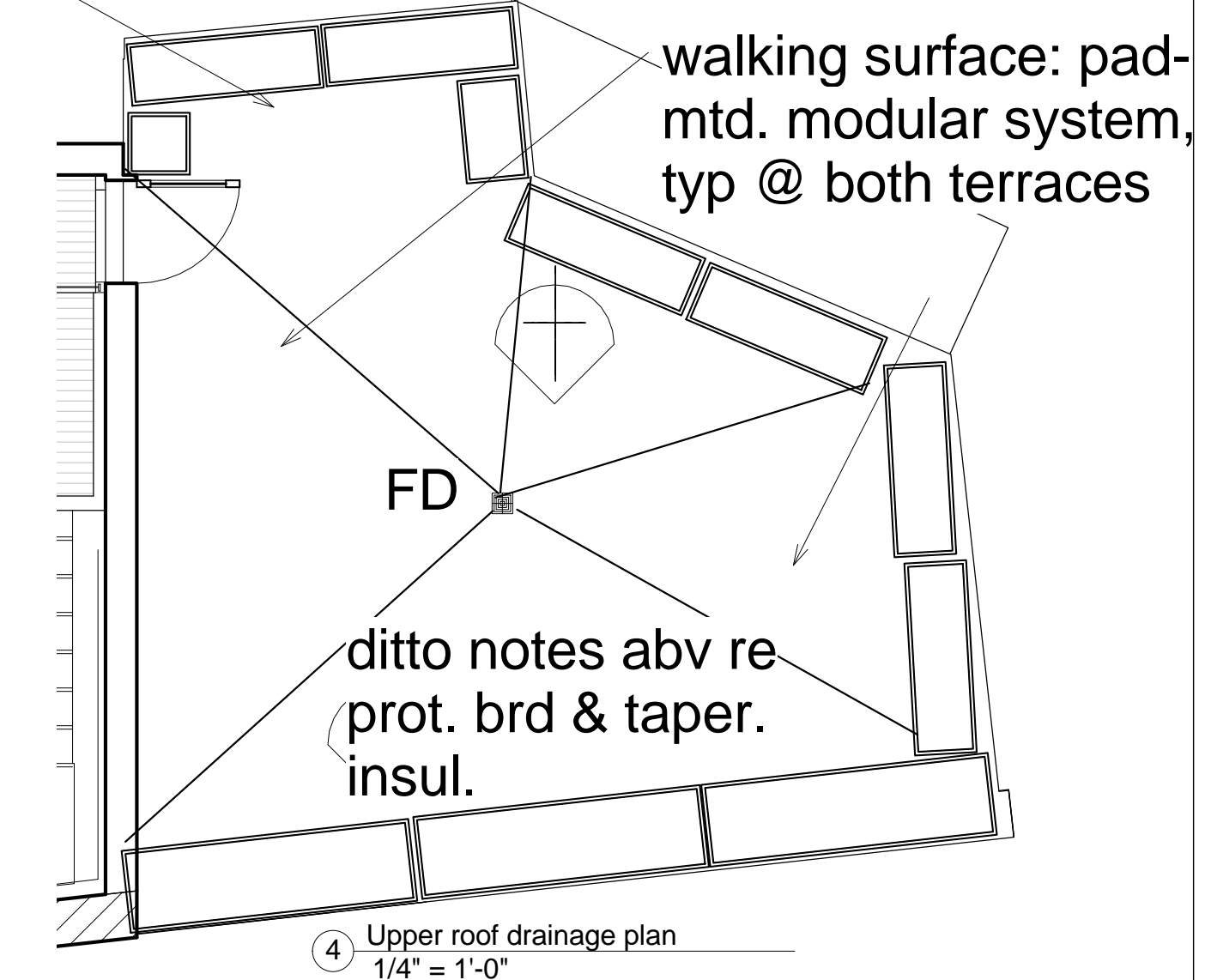
new brick on top of exist brick. start from clean brick joint abv. whole exist. brick



5 Top Roof drainage plan
1/4" = 1'-0"

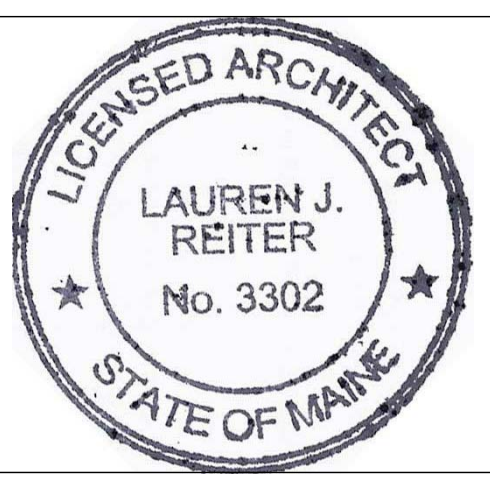


3 Level 2A terrace drainage plan
1/4" = 1'-0"



4 Upper roof drainage plan
1/4" = 1'-0"

Note: Stormwater from these roofs to be directed to grade @ sidewalk area (not piped to City storm system).



Reiter Architecture & Design
PO Box 275, Brooklyn ME 04616 tel: 917-502-2225 email: laurenreiter@yahoo.com

Becker Structural Engineers
75 York St # 3, Portland, ME 04101 Tel: (207) 879-1838

Revision Schedule		
Revision Number	Revision Description	Revision Date
	Issued for permit 8/15/15	
	Revised for permit 9/14/15	

Reiter Residence
35 Pleasant Street /
6 South Street
Portland, Maine 04101
RENOVATION

Wall & Roof Details

Project number	RENOVATION
Date	Issue Date
Drawn by	Author
Checked by	Checker

A109

Scale As indicated