

36-G-20

70-88 Forest Ave.

Contract Rezoning

YMCA

on Spreadsheet

## 219-221 High Street Renovation (\$500k, 80% Financing)

<b>TOTAL PROJECT COST:</b>	580,000		
1st Mortgage:	80.00%	464,000	7.50% 20 Years
2nd Mortgage:			20 Years
Equity Investment:	20.00%	116,000	
Origination Date:	1 /1/2005		

<b>Mortgage Breakdown</b>	
Cost/SF	
Acquisition	80,000
Reconstruction	500,000
<b>Total</b>	<b>580,000</b>

<b>TOTAL INCOME:</b>	72,000	Income Sq/Ft. :		\$11.68	Total Sq/Ft:		6,162
Unit:	Unit #1	Unit #2	Unit #3	Unit #4	Unit #5	Unit #6	Washer/ Dryer
Square Feet:							
Income / Month	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$100
Annual Income/Unit:	\$12,000	\$12,000	\$12,000	\$12,000	\$12,000	\$12,000	\$1,200
% LEASED:							

YEAR	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9
GROSS INCOME (2)	72,000	72,000	73,800	75,645	77,536	79,475	81,461	83,498	85,585
5% Vacancy	3,600	3,600	3,690	3,782	3,877	3,974	4,073	4,175	4,279
OPERATING INCOME	68,400	68,400	70,110	71,863	73,659	75,501	77,388	79,323	81,306
<b>EXPENSES</b>	<b>Basis</b>								
Building Dep.	580,000	14,872	14,872	14,872	14,872	14,872	14,872	14,872	14,872
Interest 1st.		34,447	33,639	32,768	31,830	30,819	29,729	28,555	27,289
Interest 2nd.									
Electricity		1,854	1,854	1,900	1,948	1,997	2,046	2,098	2,150
Gas		5,436	5,436	5,572	5,711	5,854	6,000	6,150	6,462
Water/Sewer		2,976	2,976	3,050	3,127	3,205	3,285	3,367	3,538
Insurance		3,000	3,000	3,075	3,152	3,231	3,311	3,394	3,566
Operating & Maint. (8)		3,420	3,420	3,506	3,593	3,683	3,775	3,869	4,065
Property Tax		15,875	15,875	16,272	16,679	17,096	17,523	17,961	18,870
Replacement/Reserves		3,420	3,420	3,506	3,593	3,683	3,775	3,869	4,065
Closing Fees (5)		6,960							
<b>TOTAL EXPENSES</b>		<b>92,260</b>	<b>84,492</b>	<b>84,521</b>	<b>84,504</b>	<b>84,438</b>	<b>84,317</b>	<b>84,136</b>	<b>83,567</b>
GAIN/ (LOSS)		-23,860	-16,092	-14,411	-12,641	-10,779	-8,816	-6,747	-4,565
NET GAIN/ (LOSS)		-23,860	-16,092	-14,411	-12,641	-10,779	-8,816	-6,747	-4,565
+ Dep. Building		14,872	14,872	14,872	14,872	14,872	14,872	14,872	14,872
- 1st. Principal		10,408	11,216	12,087	13,026	14,037	15,126	16,301	17,566
- 2nd. Principal									
<b>NET CASH FLOW</b>		<b>-19,396</b>	<b>-12,436</b>	<b>-11,626</b>	<b>-10,795</b>	<b>-9,944</b>	<b>-9,071</b>	<b>-8,176</b>	<b>-7,259</b>

**Assumptions:**

1. The financing starts 1/1/05
2. The analysis inflation rate is: 2.50%
3. Depreciation - Building and Improvements: 39 years.
4. Marginal personal tax rate for 2004 and beyond is 0%.
5. Closing costs estimated at 1.5 percent of first position financing.
6. Property taxes estimated at: \$15,875
7. 2004 income projection is: 100%
8. Operating and Maintenance 5%
9. Management Fee 5%

-95,024



WRIGHT-RYAN CONSTRUCTION, INCORPORATED

22 January 2004

Cyrus Hagge  
President, Board of Trustees  
Cumberland County YMCA  
70 Forest Avenue  
Portland, ME 04101

RE: 219-221 High Street

Dear Mr. Hagge:

At the request of the YMCA we have reviewed the status of the property owned by the YMCA located at 219-221 High Street. The building encompasses approximately 6,162 square feet and formerly contained, to the best of our knowledge, seven apartments. Due to its severely deteriorated condition it has been vacant since 1989 and has been condemned by the City of Portland. Our investigation focused on three options including renovating the building and restoring it to its former use as apartments, relocating the building to the corner of High Street and Cumberland Avenue at the former site of Len's Market, and demolition. Our findings are summarized below.

**Option 1: Renovate the Building**

As noted above the building has been abandoned for 15 years and is severely deteriorated. Renovation would require demolition of most of the interior finishes, extensive structural repair, replacement of significant portions of the siding and exterior trim, new roof, new windows and some new doors, new mechanical and electrical systems, new finishes, and potential reconstruction of stairways and corridors to create viable means of egress. There is considerable uncertainty in estimating costs due to the lack of in-depth knowledge about the extent of structural deterioration. The cost of this work would likely fall in a range from \$500,000 to \$550,000.

**Option 2: Relocate the Building to Corner of High Street & Cumberland Avenue**

This option pre-supposes the availability of the lot and would involve tree removal, taking down and reinstalling power, phone and cable lines, excavation for a new foundation, installing a new foundation, backfilling and rough grading the site, relocating the building, removing the existing foundation, and re-grading the existing site. The building would be placed on the new foundation in its current state and would require the complete renovation described in Option 1 above. The cost of this work would likely fall in a range of \$90,000 to \$100,000 or higher, depending on charges from the various utilities for splicing lines. The costs of moving the building to more remote locations would be dramatically higher and would likely require an

## 219-221 High Street Breakeven Analysis

TOTAL PROJECT COST:	100%	430,000		
1st Mortgage:	81.40%	350,000	7.50%	20 Years
Second Mortgage:				20 Years
Equity Investment:	18.60%	80,000		
Origination Date:		1 / 1/2005		

Mortgage Breakdown	
Cost/SF	
Acquisition	80,000
Reconstruction	350,000
<b>Total</b>	<b>430,000</b>

TOTAL INCOME:	72,000	Income Sq/Ft. :		\$11.68	Total Sq/Ft:		6,162
Unit:	Unit #1	Unit #2	Unit #3	Unit #4	Unit #5	Unit #6	Washer/ Dryer
Square Feet:							
Income / Month	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$100
Annual Income/Unit:	\$12,000	\$12,000	\$12,000	\$12,000	\$12,000	\$12,000	\$1,200
% LEASED:							

YEAR	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9
GROSS INCOME (2)	72,000	72,000	73,800	75,645	77,536	79,475	81,461	83,498	85,585
5% Vacancy	3,600	3,600	3,690	3,782	3,877	3,974	4,073	4,175	4,279
OPERATING INCOME	68,400	68,400	70,110	71,863	73,659	75,501	77,388	79,323	81,306
EXPENSES	Basis								
Building Dep. 430,000	11,026	11,026	11,026	11,026	11,026	11,026	11,026	11,026	11,026
Interest 1st.	25,984	25,374	24,717	24,010	23,247	22,425	21,539	20,585	19,556
Interest 2nd.									
Electricity	1,854	1,854	1,900	1,948	1,997	2,046	2,098	2,150	2,204
Gas	5,436	5,436	5,572	5,711	5,854	6,000	6,150	6,304	6,462
Water/Sewer	2,976	2,976	3,050	3,127	3,205	3,285	3,367	3,451	3,538
Insurance	3,000	3,000	3,075	3,152	3,231	3,311	3,394	3,479	3,566
Operating & Maint. (8)	3,420	3,420	3,506	3,593	3,683	3,775	3,869	3,966	4,065
Property Tax	15,875	15,875	16,272	16,679	17,096	17,523	17,961	18,410	18,870
Replacement/Reserves	3,420	3,420	3,506	3,593	3,683	3,775	3,869	3,966	4,065
Closing Fees (5)	5,250								
<b>TOTAL EXPENSES</b>	<b>78,240</b>	<b>72,381</b>	<b>72,624</b>	<b>72,838</b>	<b>73,020</b>	<b>73,167</b>	<b>73,274</b>	<b>73,337</b>	<b>73,352</b>
GAIN/ (LOSS)	-9,840	-3,981	-2,514	-975	639	2,334	4,114	5,986	7,954
NET GAIN/ (LOSS)	-9,840	-3,981	-2,514	-975	639	2,334	4,114	5,986	7,954
+ Dep. Building	11,026	11,026	11,026	11,026	11,026	11,026	11,026	11,026	11,026
- 1st. Principal	7,851	8,461	9,117	9,825	10,588	11,410	12,296	13,250	14,279
- 2nd. Principal									
<b>NET CASH FLOW</b>	<b>-6,666</b>	<b>-1,416</b>	<b>-605</b>	<b>225</b>	<b>1,077</b>	<b>1,950</b>	<b>2,844</b>	<b>3,761</b>	<b>4,701</b>

**Assumptions:**

1. The financing starts 1/1/05
2. The analysis inflation rate is: 2.50%
3. Depreciation - Building and Improvements: 39 years.
4. Marginal personal tax rate for 2004 and beyond is 0%.
5. Closing costs estimated at 1.5 percent of first position financing.
6. Property taxes estimated at: \$15,875
7. 2004 income projection is: 100%
8. Operating and Maintenance 5%
9. Management Fee 5%

## 219-221 High Street Breakeven Analysis

TOTAL PROJECT COST:	100%	580,000		
1st Mortgage:	86.21%	500,000	7.50%	20 Years
2nd Mortgage:				20 Years
Equity Investment:	13.79%	80,000		
Origination Date:		1 /1/2005		

Mortgage Breakdown	
Cost/SF	
Acquisition	80,000
Reconstruction	500,000
Total	580,000

TOTAL INCOME:	90,000	Income Sq/Ft. :	\$14.61	Total Sq/Ft:	6,162		
Unit:	Unit #1	Unit #2	Unit #3	Unit #4	Unit #5	Unit #6	Washer/ Dryer
Square Feet:							
Income / Month	\$1,250	\$1,250	\$1,250	\$1,250	\$1,250	\$1,250	\$100
Annual Income/Unit:	\$15,000	\$15,000	\$15,000	\$15,000	\$15,000	\$15,000	\$1,200
% LEASED:							

YEAR	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9
GROSS INCOME (2)	90,000	90,000	92,250	94,556	96,920	99,343	101,827	104,372	106,982
5% Vacancy	4,500	4,500	4,613	4,728	4,846	4,967	5,091	5,219	5,349
OPERATING INCOME	85,500	85,500	87,638	89,828	92,074	94,376	96,735	99,154	101,633
EXPENSES	Basis								
Building Dep.	580,000	14,872	14,872	14,872	14,872	14,872	14,872	14,872	14,872
Interest 1st.		37,120	36,249	35,311	34,299	33,210	32,036	30,770	29,406
Interest 2nd.									
Electricity		1,854	1,854	1,900	1,948	1,997	2,046	2,098	2,150
Gas		5,436	5,436	5,572	5,711	5,854	6,000	6,150	6,462
Water/Sewer		2,976	2,976	3,050	3,127	3,205	3,285	3,367	3,538
Insurance		3,000	3,000	3,075	3,152	3,231	3,311	3,394	3,566
Operating & Maint. (8)		4,275	4,275	4,382	4,491	4,604	4,719	4,837	5,082
Property Tax		15,875	15,875	16,272	16,679	17,096	17,523	17,961	18,870
Replacement/Reserves		4,275	4,275	4,382	4,491	4,604	4,719	4,837	5,082
Closing Fees (5)		7,500							
TOTAL EXPENSES		97,182	88,812	88,816	88,770	88,671	88,511	88,286	87,988
GAIN/ (LOSS)		-11,682	-3,312	-1,178	1,058	3,403	5,865	8,450	11,166
NET GAIN/ (LOSS)		-11,682	-3,312	-1,178	1,058	3,403	5,865	8,450	11,166
+ Dep. Building		14,872	14,872	14,872	14,872	14,872	14,872	14,872	14,872
- 1st. Principal		11,216	12,087	13,025	14,036	15,126	16,300	17,565	20,399
- 2nd. Principal									
NET CASH FLOW		-8,027	-527	669	1,894	3,149	4,437	5,756	7,108

**Assumptions:**

1. The financing starts 1/1/05
2. The analysis inflation rate is: 2.50%
3. Depreciation - Building and Improvements: 39 years.
4. Marginal personal tax rate for 2004 and beyond is 0%.
5. Closing costs estimated at 1.5 percent of first position financing.
6. Property taxes estimated at: \$15,875
7. 2004 income projection is: 100%
8. Operating and Maintenance 5%
9. Management Fee 5%

USGS Quad \_\_\_\_\_  
 UTM \_\_\_\_\_

Maine Historic Preservation Commission  
HISTORIC PROPERTIES SURVEY

ATTACH PHOTO

PART A. ON-SITE

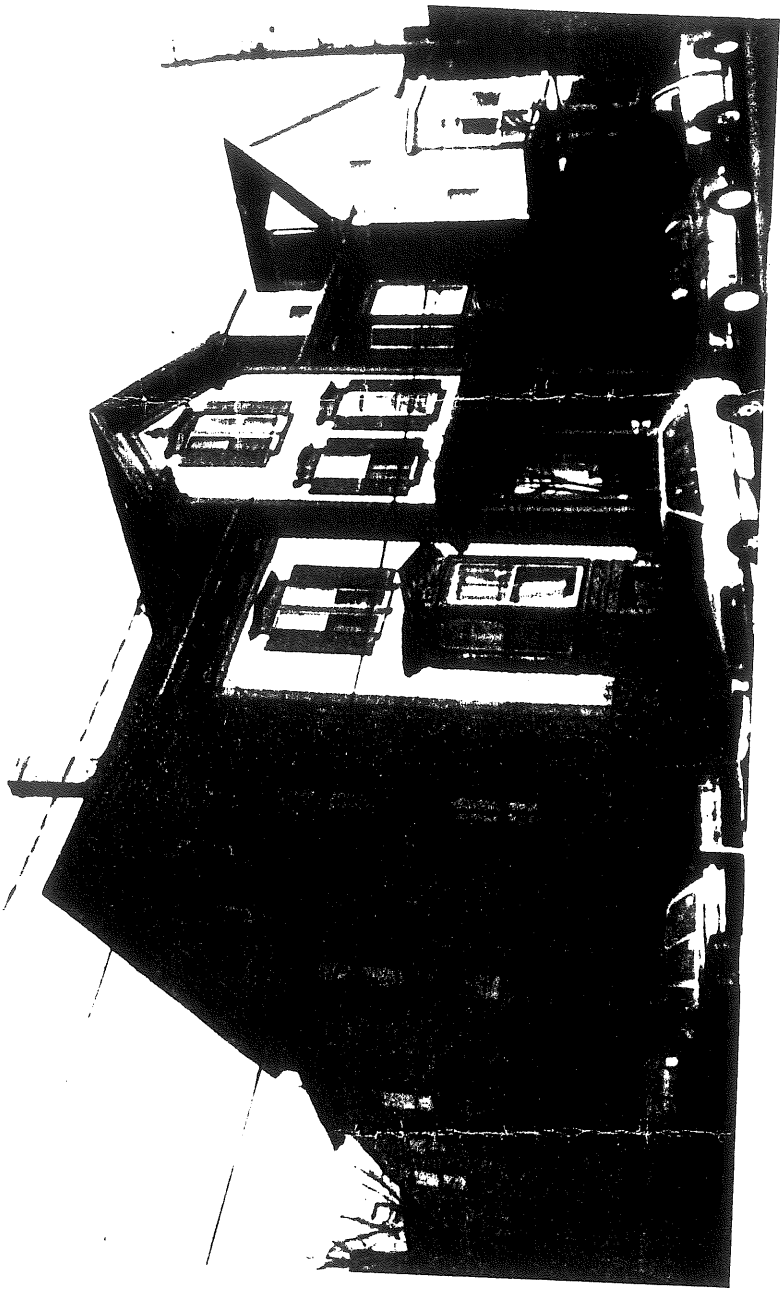
1. Property Name: (common)  
 \_\_\_\_\_
2. Address:  
 Road 219-221 High Street  
 Town Portland  
 County Cumberland
3. Present Use: 1 family \_\_\_\_  
 multi-family x educational \_\_\_\_  
 commercial \_\_\_\_ religious \_\_\_\_  
 governmental \_\_\_\_ agricultural \_\_\_\_  
 abandoned \_\_\_\_ other \_\_\_\_
4. Condition:  
 good \_\_\_\_ fair \_\_\_\_ poor x
5. Structural System: wood frame x brick \_\_\_\_ stone \_\_\_\_  
 concrete block \_\_\_\_ steel \_\_\_\_ other \_\_\_\_
6. Roof Material: asphalt shingle x wood \_\_\_\_ slate \_\_\_\_  
 metal \_\_\_\_ other \_\_\_\_
7. Exterior Wall Material: clapboard x wood shingle \_\_\_\_  
 brick \_\_\_\_ stone \_\_\_\_ log \_\_\_\_  
 asphalt/vinyl/aluminum siding \_\_\_\_  
 asbestos siding \_\_\_\_
8. Foundation Material: fieldstone \_\_\_\_ brick x wood \_\_\_\_  
 concrete \_\_\_\_ granite \_\_\_\_ other \_\_\_\_
9. Alterations (with approximate dates): Front shed-roofed dormer added (pre-1924)
10. No. of stories(main sec) 2-1/2 11. No. of stories(wing(s)) 2
12. Roof shape(main sec.) gable 13. Roof shape(wing(s)) shed
14. No. of porches \_\_\_\_\_ 15. Historic outbuildings \_\_\_\_\_
16. Important characteristic features: This large 2-1/2 story eaves-front gabled building has a gabled ell extending back at right angles, and has elaborately detailed molding throughout. A tall central gabled flush-boarded pavillion houses the double entrance with a large bracketed hood. A 1-story bay and a 2-story bay are to either side of the entrance, both with paneling and a pedimented cornice on the 1st floor. The windows all have bracketed cornices which are more elaborate on the front facade. The top center window also has earving above the cornice. The building rooflines are elaborately molded and have paired brackets. There is a front shed-roofed dormer.

PART B. OFF-SITE/RESEARCH - 219-221 High St.

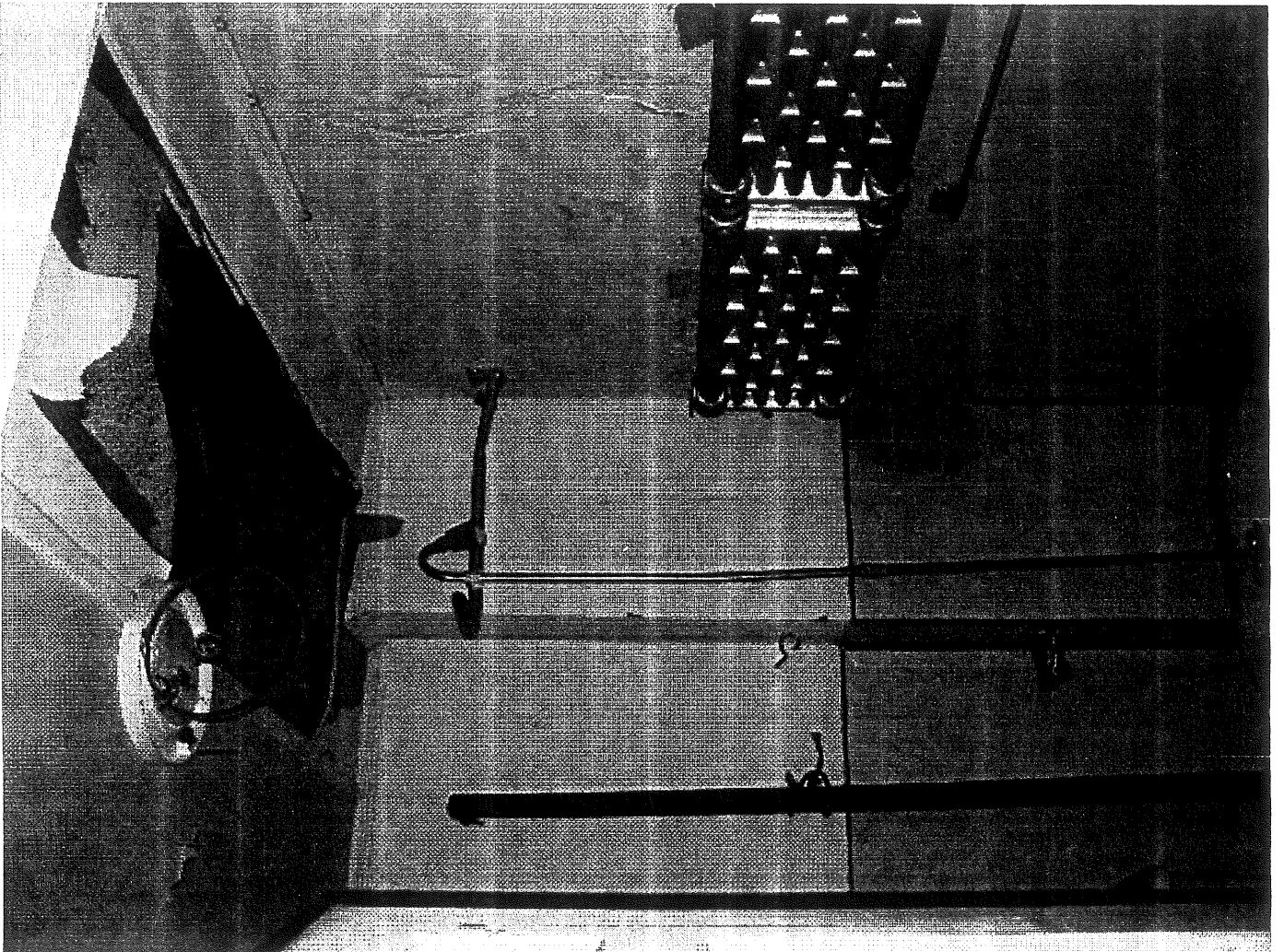
1. Property Name: (historic) \_\_\_\_\_
2. Present Owner: #219 - John L. Murphy / 34 Pitt St. 04103  
#221 - Douglas P. Ludwig / RR1, Box 131 / No. Edgecomb,  
Me. 04556
3. Date of Construction (estimated): \_\_\_\_\_ factual: 1874  
Architect/Housewright/Builder (specify): \_\_\_\_\_  
Original Owner: \_\_\_\_\_  
Source of Information: 1924 Tax Survey  
\_\_\_\_\_  
\_\_\_\_\_
4. Original Use: \_\_\_\_\_  
Other Use(s): \_\_\_\_\_
5. Location: On Original Site x Moved \_\_\_\_ Year Moved \_\_\_\_
6. Historical Significance: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
- Surveyor: Anne G. Ball Date Photographed: 1/23/89  
Janet Roberts

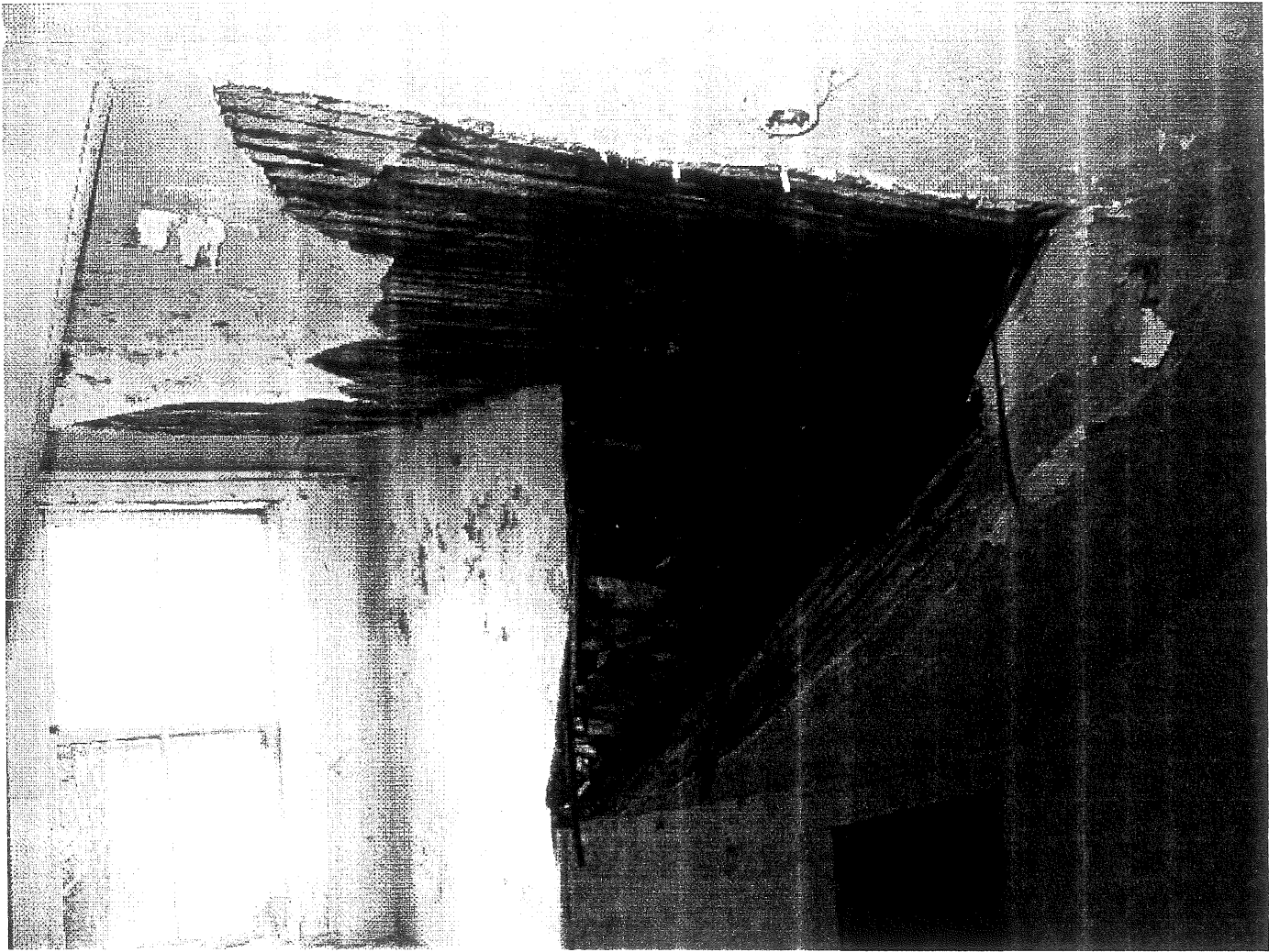
(Please Print)

7. Known or Suspected Archaeological Sites on Property: \_\_\_\_\_  
\_\_\_\_\_
8. Use attached sheet for site maps showing clusters of buildings (i.e., a farmstead) or a complex of attached structures (i.e., a factory). Unusual floor plans may also be sketched. Important interior features may also be listed.





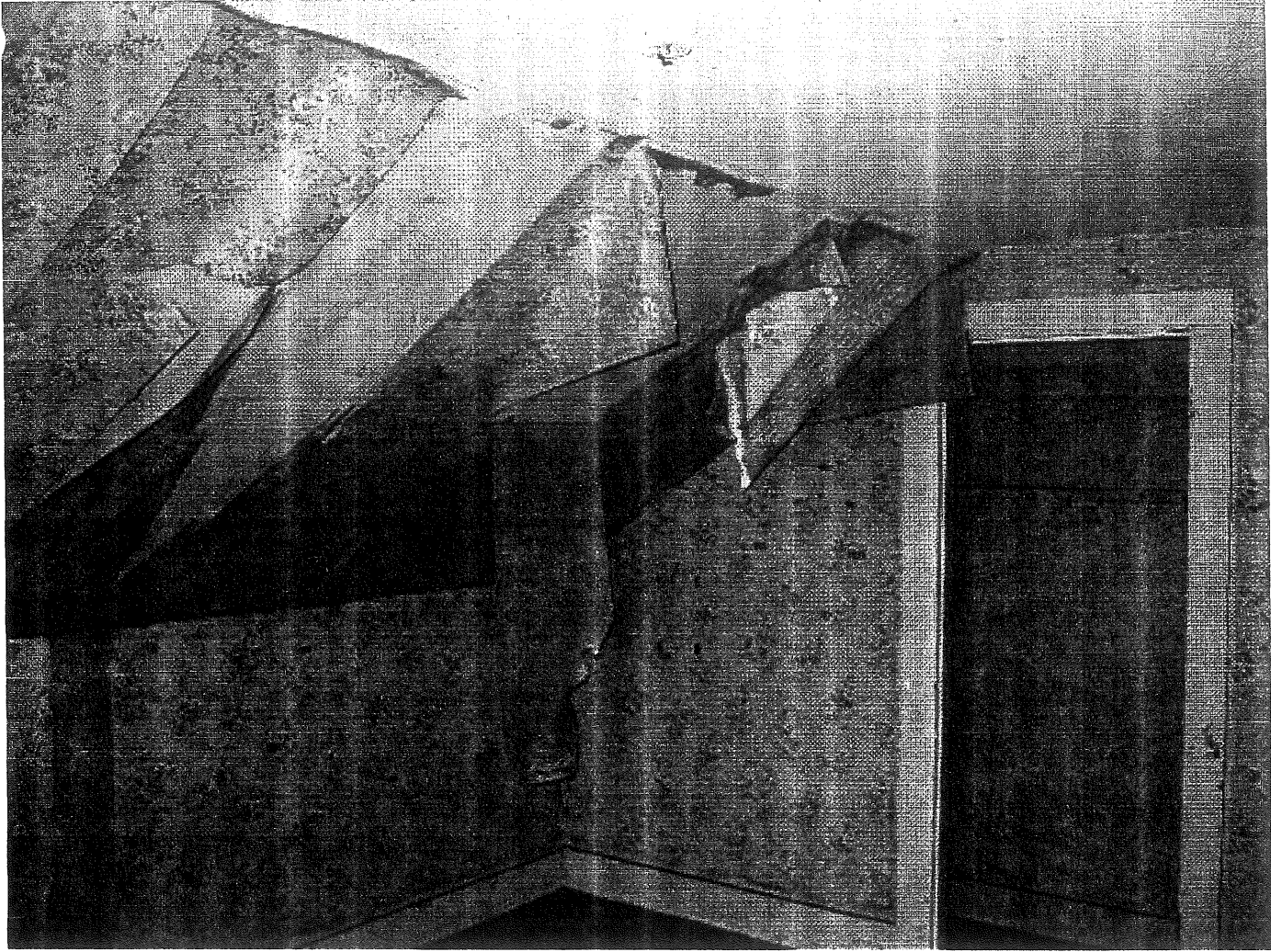




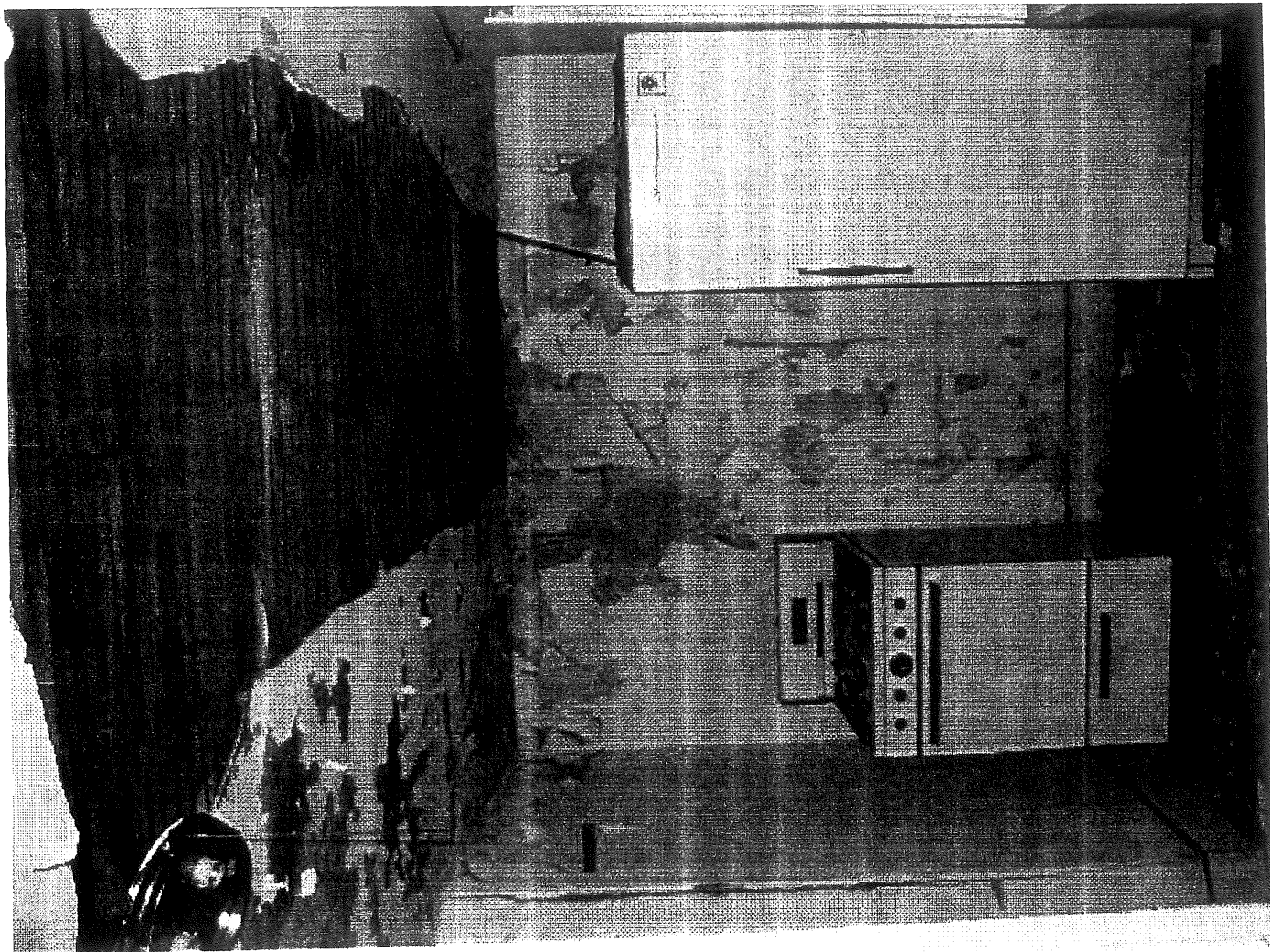
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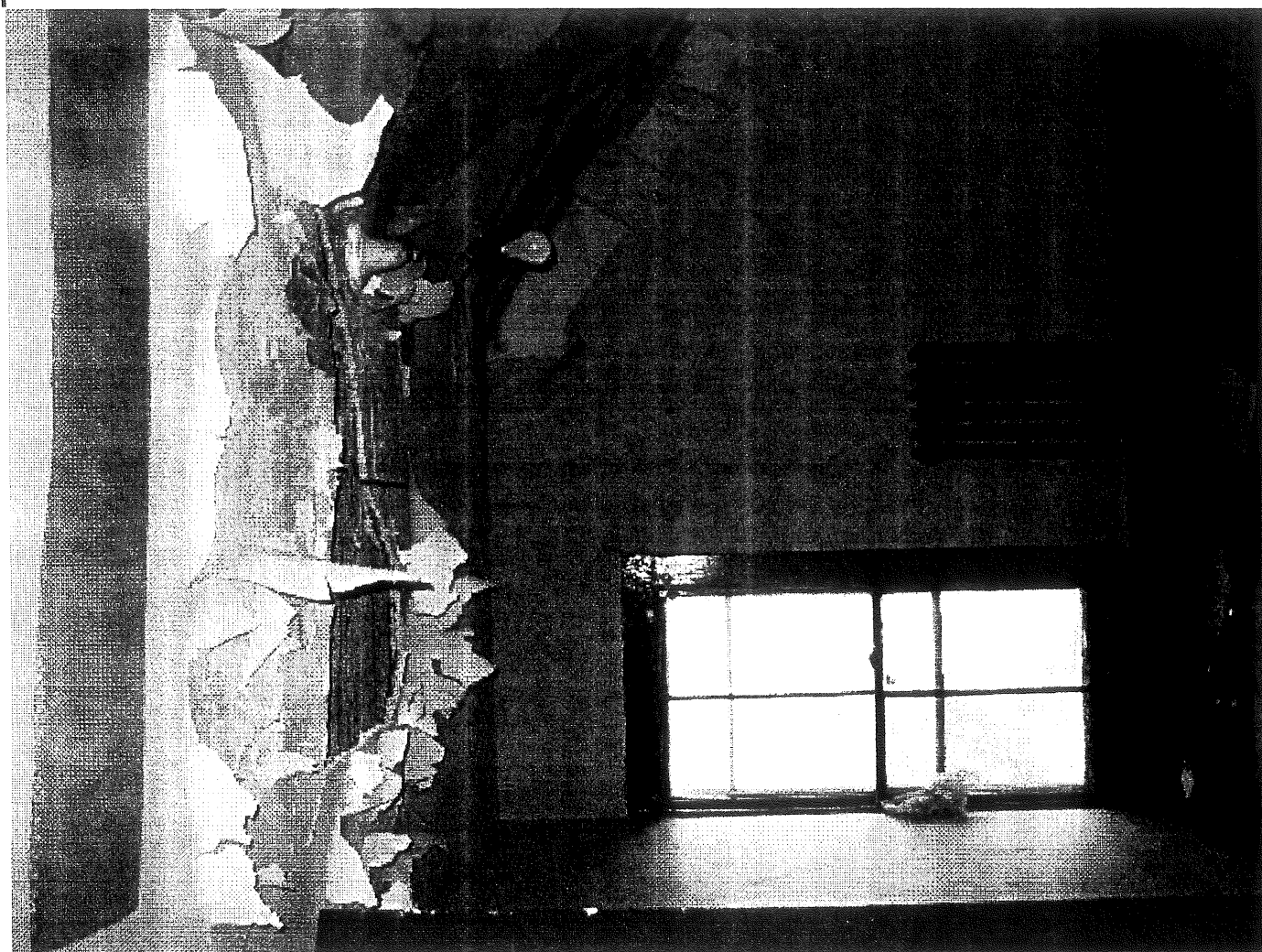


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**From:** "Cyrus Y. Hagge" <chagge1@maine.rr.com>  
**Date:** Wed Jan 21, 2004 10:47:40 AM America/New\_York  
**To:** cyrus Hagge <chagge1@maine.rr.com>  
**Subject:** Fwd: 13 great iPhotos

Begin forwarded message:

From: Patty <phagge@maine.rr.com>  
Date: Thu Jan 8, 2004 6:25:03 PM America/New\_York  
To: chagge1@maine.rr.com  
Subject: 13 great iPhotos



IMG\_0214.JPG

Section 14-525, Site Plan Written Statements.

1. Description of proposed uses on the site. Construction of a 32 unit efficiency apartment building, demolition of two existing apartment building, construction of a new addition to the High Street side of the YMCA on 70 Forest Ave. and the reconstruction of the parking lot.
2. Total Area of the Site and total floor area.
  - a. Total area: 63,518 Square Feet
  - b. 32 apartment building:
    - i. 5,000 SF floor Plate
    - ii. 22,500 SF total
  - c. YMCA 70 Forest Ave:
    - i. Existing YMCA – 90,000 SF
    - ii. Addition – 2,500 SF
  - d. Parking Lot: 29,000 SF
3. Summary of existing and proposed easements: None known.
4. Estimated quantities of solid waste: The Y is currently served by a small 5yd dumpster picked up once a week. The proposal is to eliminate the dumpster and shift to large wheeled trash containers to be stored indoors and picked up two or three times a week as needed. The trash stream is comprised of office, general membership and residential trash.
5. Evidence of the ability of off-site facilities: The Y is located in a dense urban setting with direct access to city streets. The existing facility is already served by all utilities (water, sewer, CMP, gas and telecommunications) and there is adequate capacity to meet the future needs of the Y.
6. Surface water drainage and storm water management plan. The existing site is essentially 100% non-impervious and all drainage needs are met by a combination of storm water basins and street storm drains. The proposed plan is to contain all storm water on site via a network of storm drains that connect to the High Street storm drains.
7. Construction Schedule and Plan. The proposed sequence for construction will commence with the demolition of the two apartment building, re-grading and paving the parking lot, move all Y parking to the upper lot and simultaneously construct the new 32 unit building and the addition. The goal is to start construction as soon after the approval process ends with an anticipated ground breaking in late August or early September with completion with in 12 months.



8. List all state and federal regulatory approvals. This project is subject to final approval from the Maine State Housing Authority, which has already awarded financing.
9. Evidence of Financial and Technical capacity. The Y has been awarded a \$3.5 million grant and has been authorized to proceed with the project. The Y has received pledges contingent upon be granted all approvals to complete the addition. The Development team is comprised with a number of professionals that have experience with MSHA projects, design and construction.
  - a. Ben Walters: CWS Architects. Ben has many years of experience with MSHA projects and has appeared before the Portland Planning Board.
  - b. John Ryan: Wright-Ryan Construction, Inc. John has over thirty years of construction experience in Southern Maine.
  - c. Tom MacDonald: MacDonald Associates, Inc. Tom is a consultant specializing in Low Income Housing and has completed many projects in Southern Maine
  - d. Cyrus Hagge: Project Management, Inc. and President of the Cumberland County YMCA. Cyrus has over 25 years of construction and development experience.
  - e. Dave Thompson: CEO of the Cumberland County YMCA and Executive Director of the Greater Portland YMCA. Dave has a long history with the Y and was the lead staff person on the development of the new Casco Bay Y in Freeport.
10. Title, Right or Interest. The Y owns all of its property Fee-Simple.
11. Unusual natural areas. There are none do to the urban setting.
12. Recycling procedures. The Y in conjunction with it trash hauler takes advantage of all recycling opportunity offered in Portland

Preservation and Replacement of Housing Plan: Based upon the requirements of Chapter 14, Section 14-483, the Y believes it satisfies the conditions of this section. The new apartment structure will replace the 18 demolished units with 32 new units of affordable housing, a net gain of 14 units. The replacement units are within the same site and are not part of another approved plan. The new apartment building is in keeping with the character of the surrounding neighborhood. While the new units are smaller than the units being replaced, the quality and function is significantly better. Any tenant displaced, during the construction of the new building, will be offered replacement housing by the Y at their current rent.

### Programmatic and Financial Analysis of Renovation/Relocating 219-221 High Street

The Y is very concerned about the demolition of 219-221 High Street and has consulted with Greater Portland Landmarks looking for alternatives. An analysis has been undertaken to evaluate the different options for this building. The evaluation of the site plan clearly identifies there is not enough room on the site for the building, the new apartment building and the new entrance.

1. Preservation. The evaluation of this option presented many programmatic site plan problems for the Y.
  - a. The current configuration of the building leaves only 10 –12 feet of room between the rear of the building and the Y leaving no room for the new entrance.
  - b. An alternative proposal is to just demolish the rear of the building. While this will open up more space, the demolished wing would need to be replaced with a new addition containing the second means of egress for the building. This option will not leave enough room for the new entrance.
  - c. The biggest stumbling block for preservation of the house, is the new handicap parking spaces which are located directly in the location of the building. The Y has a responsibility to its handicapped members safe parking and access to the building.
2. Move building to another space on the lot. This was ruled out due to the lack of available space on the site.
3. Move the house off site. The Y is willing to donate the house to any party who would take it and move it to a new location. The Y will contribute the \$35,000 to \$45,000 of demolition money to assist in the effort.

Part any effort to preserve the building is the financial analysis of the associated renovation and relocation costs. The Y retained John Ryan of Wright-Ryan Construction to evaluate the different renovation and relocations options available to the Y. The Y also created a Performa revenue and expense analysis of the various options. The resulting data shows that renovation and relocation would not be a prudent financial decision and would result in an economic hardship for the Y.

1. Renovation. John Ryan's letter estimates that the cost of renovating the structure will be in the \$500,000 to \$550,000 range. Assuming that the building would be converted back to three units per side at \$500,000 construction cost with heat, water, sewer, common lighting, management fees and taxes paid by the landlord. The financing assumes 20% owner equity and 80% financing at 7.50% amortized over 20 years. At \$1,000 per month in rent, for a two bedroom apartment, the project will generate a net operating cash flow of \$-95,024 for the first 9 years. In order for the Y to hit breakeven on the project renovation costs have to cap at \$350,000 or rents need to be set at \$1,250.00 well in excess of rent in the surrounding High Street area.
2. Relocation to a new site. Moving the house to a new location, if one were available, will add an additional \$90,000 to \$100,000 to the costs as stated above.



WRIGHT-RYAN CONSTRUCTION, INCORPORATED

22 January 2004

Cyrus Hagge  
President, Board of Trustees  
Cumberland County YMCA  
70 Forest Avenue  
Portland, ME 04101

RE: 219-221 High Street

Dear Mr. Hagge:

At the request of the YMCA we have reviewed the status of the property owned by the YMCA located at 219-221 High Street. The building encompasses approximately 6,162 square feet and formerly contained, to the best of our knowledge, seven apartments. Due to its severely deteriorated condition it has been vacant since 1989 and has been condemned by the City of Portland. Our investigation focused on three options including renovating the building and restoring it to its former use as apartments, relocating the building to the corner of High Street and Cumberland Avenue at the former site of Len's Market, and demolition. Our findings are summarized below.

**Option 1: Renovate the Building**

As noted above the building has been abandoned for 15 years and is severely deteriorated. Renovation would require demolition of most of the interior finishes, extensive structural repair, replacement of significant portions of the siding and exterior trim, new roof, new windows and some new doors, new mechanical and electrical systems, new finishes, and potential reconstruction of stairways and corridors to create viable means of egress. There is considerable uncertainty in estimating costs due to the lack of in-depth knowledge about the extent of structural deterioration. The cost of this work would likely fall in a range from \$500,000 to \$550,000.

**Option 2: Relocate the Building to Corner of High Street & Cumberland Avenue**

This option pre-supposes the availability of the lot and would involve tree removal, taking down and reinstalling power, phone and cable lines, excavation for a new foundation, installing a new foundation, backfilling and rough grading the site, relocating the building, removing the existing foundation, and re-grading the existing site. The building would be placed on the new foundation in its current state and would require the complete renovation described in Option 1 above. The cost of this work would likely fall in a range of \$90,000 to \$100,000 or higher, depending on charges from the various utilities for splicing lines. The costs of moving the building to more remote locations would be dramatically higher and would likely require an

entirely different strategy. We would anticipate a slightly lower cost to move the building into the lower portion of the YMCA's existing parking lot.

**Option 3: Demolish the Building in Place**

This option would involve complete demolition of the building, removal of the existing foundation and re-grading the site. The cost of this work would likely fall in the range of \$35,000 to \$45,000.

We have not explored the economic feasibility of any of these options for the YMCA and caution you that our figures are based on a limited investigation. We are confident, however, that these numbers will serve as a reasonable basis on which to develop further economic analysis.

Please do not hesitate to contact us if we may be of further assistance.

Sincerely,

John W. Ryan

cc: Ben Walter

## 219-221 High Street Renovation (\$500k, 80% Financing)

<b>TOTAL PROJECT COST:</b>	580,000		
1st Mortgage:	80.00%	464,000	7.50% 20 Years
2nd Mortgage:			20 Years
Equity Investment:	20.00%	116,000	
Origination Date:	1 / 1/2005		

Mortgage Breakdown	
Cost/SF	
Acquisition	80,000
Reconstruction	500,000
<b>Total</b>	<b>580,000</b>

<b>TOTAL INCOME:</b>	72,000	Income Sq/Ft. :		\$11.68	Total Sq/Ft:		6,162
Unit:	Unit #1	Unit #2	Unit #3	Unit #4	Unit #5	Unit #6	Washer/ Dryer
Square Feet:							
Income / Month	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$100
Annual Income/Unit:	\$12,000	\$12,000	\$12,000	\$12,000	\$12,000	\$12,000	\$1,200
% LEASED:							

YEAR	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9
GROSS INCOME (2)	72,000	72,000	73,800	75,645	77,536	79,475	81,461	83,498	85,585
5% Vacancy	3,600	3,600	3,690	3,782	3,877	3,974	4,073	4,175	4,279
<b>OPERATING INCOME</b>	<b>68,400</b>	<b>68,400</b>	<b>70,110</b>	<b>71,863</b>	<b>73,659</b>	<b>75,501</b>	<b>77,388</b>	<b>79,323</b>	<b>81,306</b>
<b>EXPENSES</b>	<b>Basis</b>								
Building Dep.	580,000	14,872	14,872	14,872	14,872	14,872	14,872	14,872	14,872
Interest 1st.		34,447	33,639	32,768	31,830	30,819	29,729	28,555	27,289
Interest 2nd.									
Electricity		1,854	1,854	1,900	1,948	1,997	2,046	2,098	2,150
Gas		5,436	5,436	5,572	5,711	5,854	6,000	6,150	6,304
Water/Sewer		2,976	2,976	3,050	3,127	3,205	3,285	3,367	3,451
Insurance		3,000	3,000	3,075	3,152	3,231	3,311	3,394	3,479
Operating & Maint. (8)		3,420	3,420	3,506	3,593	3,683	3,775	3,869	3,966
Property Tax		15,875	15,875	16,272	16,679	17,096	17,523	17,961	18,410
Replacement/Reserves		3,420	3,420	3,506	3,593	3,683	3,775	3,869	3,966
Closing Fees (5)		6,960							
<b>TOTAL EXPENSES</b>	<b>92,260</b>	<b>84,492</b>	<b>84,521</b>	<b>84,504</b>	<b>84,438</b>	<b>84,317</b>	<b>84,136</b>	<b>83,888</b>	<b>83,567</b>
<b>GAIN/ (LOSS)</b>	<b>-23,860</b>	<b>-16,092</b>	<b>-14,411</b>	<b>-12,641</b>	<b>-10,779</b>	<b>-8,816</b>	<b>-6,747</b>	<b>-4,565</b>	<b>-2,261</b>
<b>NET GAIN/ (LOSS)</b>	<b>-23,860</b>	<b>-16,092</b>	<b>-14,411</b>	<b>-12,641</b>	<b>-10,779</b>	<b>-8,816</b>	<b>-6,747</b>	<b>-4,565</b>	<b>-2,261</b>
+ Dep. Building		14,872	14,872	14,872	14,872	14,872	14,872	14,872	14,872
- 1st. Principal		10,408	11,216	12,087	13,026	14,037	15,126	16,301	17,566
- 2nd. Principal									
<b>NET CASH FLOW</b>	<b>-19,396</b>	<b>-12,436</b>	<b>-11,626</b>	<b>-10,795</b>	<b>-9,944</b>	<b>-9,071</b>	<b>-8,176</b>	<b>-7,259</b>	<b>-6,319</b>

**Assumptions:**

1. The financing starts 1/1/05
2. The analysis inflation rate is: 2.50%
3. Depreciation - Building and Improvements: 39 years.
4. Marginal personal tax rate for 2004 and beyond is 0%.
5. Closing costs estimated at 1.5 percent of first position financing.
6. Property taxes estimated at: \$15,875
7. 2004 income projection is: 100%
8. Operating and Maintenance 5%
9. Management Fee 5%

-95,024

## 219-221 High Street Breakeven Analysis

TOTAL PROJECT COST:	100%	430,000		
1st Mortgage:	81.40%	350,000	7.50%	20 Years
2nd Mortgage:				20 Years
Equity Investment:	18.60%	80,000		
Origination Date:		1 /1/2005		

Mortgage Breakdown	
Cost/SF	
Acquisition	80,000
Reconstruction	350,000
Total	430,000

TOTAL INCOME:	72,000	Income Sq/Ft. :	\$11.68	Total Sq/Ft:	6,162		
Unit:	Unit #1	Unit #2	Unit #3	Unit #4	Unit #5	Unit #6	Washer/ Dryer
Square Feet:							
Income / Month	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$100
Annual Income/Unit:	\$12,000	\$12,000	\$12,000	\$12,000	\$12,000	\$12,000	\$1,200
% LEASED:							

YEAR	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9
GROSS INCOME (2)	72,000	72,000	73,800	75,645	77,536	79,475	81,461	83,498	85,585
5% Vacancy	3,600	3,600	3,690	3,782	3,877	3,974	4,073	4,175	4,279
OPERATING INCOME	68,400	68,400	70,110	71,863	73,659	75,501	77,388	79,323	81,306
EXPENSES									
Basis									
Building Dep. 430,000	11,026	11,026	11,026	11,026	11,026	11,026	11,026	11,026	11,026
Interest 1st.	25,984	25,374	24,717	24,010	23,247	22,425	21,539	20,585	19,556
Interest 2nd.									
Electricity	1,854	1,854	1,900	1,948	1,997	2,046	2,098	2,150	2,204
Gas	5,436	5,436	5,572	5,711	5,854	6,000	6,150	6,304	6,462
Water/Sewer	2,976	2,976	3,050	3,127	3,205	3,285	3,367	3,451	3,538
Insurance	3,000	3,000	3,075	3,152	3,231	3,311	3,394	3,479	3,566
Operating & Maint. (8)	3,420	3,420	3,506	3,593	3,683	3,775	3,869	3,966	4,065
Property Tax	15,875	15,875	16,272	16,679	17,096	17,523	17,961	18,410	18,870
Replacement/Reserves	3,420	3,420	3,506	3,593	3,683	3,775	3,869	3,966	4,065
Closing Fees (5)	5,250								
TOTAL EXPENSES	78,240	72,381	72,624	72,838	73,020	73,167	73,274	73,337	73,352
GAIN/ (LOSS)	-9,840	-3,981	-2,514	-975	639	2,334	4,114	5,986	7,954
NET GAIN/ (LOSS)	-9,840	-3,981	-2,514	-975	639	2,334	4,114	5,986	7,954
+ Dep. Building	11,026	11,026	11,026	11,026	11,026	11,026	11,026	11,026	11,026
- 1st. Principal	7,851	8,461	9,117	9,825	10,588	11,410	12,296	13,250	14,279
- 2nd. Principal									
NET CASH FLOW	-6,666	-1,416	-605	225	1,077	1,950	2,844	3,761	4,701

**Assumptions:**

1. The financing starts 1/1/05
2. The analysis inflation rate is: 2.50%
3. Depreciation - Building and Improvements: 39 years.
4. Marginal personal tax rate for 2004 and beyond is 0%.
5. Closing costs estimated at 1.5 percent of first position financing.
6. Property taxes estimated at: \$15,875
7. 2004 income projection is: 100%
8. Operating and Maintenance 5%
9. Management Fee 5%

## 219-221 High Street Breakeven Analysis

TOTAL PROJECT COST:	100%	580,000		
1st Mortgage:	86.21%	500,000	7.50%	20 Years
2nd Mortgage:				20 Years
Equity Investment:	13.79%	80,000		
Origination Date:		1 /1/2005		

Mortgage Breakdown	
Cost/SF	
Acquisition	80,000
Reconstruction	500,000
Total	580,000

TOTAL INCOME:	90,000	Income Sq/Ft. :	\$14.61	Total Sq/Ft:	6,162		
Unit:	Unit #1	Unit #2	Unit #3	Unit #4	Unit #5	Unit #6	Washer/ Dryer
Square Feet:							
Income / Month	\$1,250	\$1,250	\$1,250	\$1,250	\$1,250	\$1,250	\$100
Annual Income/Unit:	\$15,000	\$15,000	\$15,000	\$15,000	\$15,000	\$15,000	\$1,200
% LEASED:							

YEAR	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9
GROSS INCOME (2)	90,000	90,000	92,250	94,556	96,920	99,343	101,827	104,372	106,982
5% Vacancy	4,500	4,500	4,613	4,728	4,846	4,967	5,091	5,219	5,349
OPERATING INCOME	85,500	85,500	87,638	89,828	92,074	94,376	96,735	99,154	101,633
EXPENSES	Basis								
Building Dep.	580,000	14,872	14,872	14,872	14,872	14,872	14,872	14,872	14,872
Interest 1st.		37,120	36,249	35,311	34,299	33,210	32,036	30,770	29,406
Interest 2nd.									
Electricity		1,854	1,854	1,900	1,948	1,997	2,046	2,098	2,150
Gas		5,436	5,436	5,572	5,711	5,854	6,000	6,150	6,462
Water/Sewer		2,976	2,976	3,050	3,127	3,205	3,285	3,367	3,538
Insurance		3,000	3,000	3,075	3,152	3,231	3,311	3,394	3,566
Operating & Maint. (8)		4,275	4,275	4,382	4,491	4,604	4,719	4,837	5,082
Property Tax		15,875	15,875	16,272	16,679	17,096	17,523	17,961	18,870
Replacement/Reserves		4,275	4,275	4,382	4,491	4,604	4,719	4,837	5,082
Closing Fees (5)		7,500							
TOTAL EXPENSES		97,182	88,812	88,816	88,770	88,671	88,511	88,286	87,611
GAIN/ (LOSS)		-11,682	-3,312	-1,178	1,058	3,403	5,865	8,450	14,021
NET GAIN/ (LOSS)		-11,682	-3,312	-1,178	1,058	3,403	5,865	8,450	14,021
+ Dep. Building		14,872	14,872	14,872	14,872	14,872	14,872	14,872	14,872
- 1st. Principal		11,216	12,087	13,025	14,036	15,126	16,300	17,565	20,399
- 2nd. Principal									
NET CASH FLOW		-8,027	-527	669	1,894	3,149	4,437	5,756	8,494

**Assumptions:**

1. The financing starts 1/1/05
2. The analysis inflation rate is: 2.50%
3. Depreciation - Building and Improvements: 39 years.
4. Marginal personal tax rate for 2004 and beyond is 0%.
5. Closing costs estimated at 1.5 percent of first position financing.
6. Property taxes estimated at: \$15,875
7. 2004 income projection is: 100%
8. Operating and Maintenance 5%
9. Management Fee 5%



USGS Quad \_\_\_\_\_  
 UTM \_\_\_\_\_

Maine Historic Preservation Commission  
HISTORIC PROPERTIES SURVEY

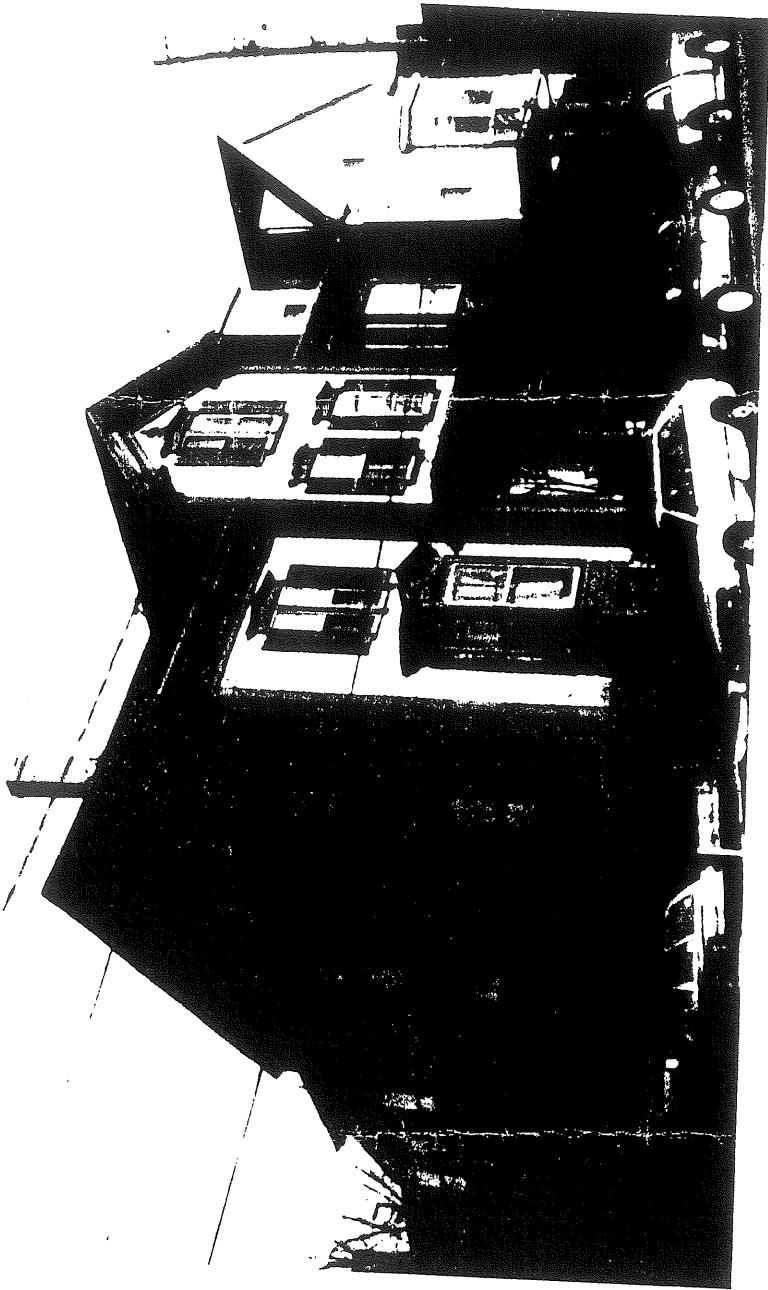
ATTACH PHOTO

PART A. ON-SITE

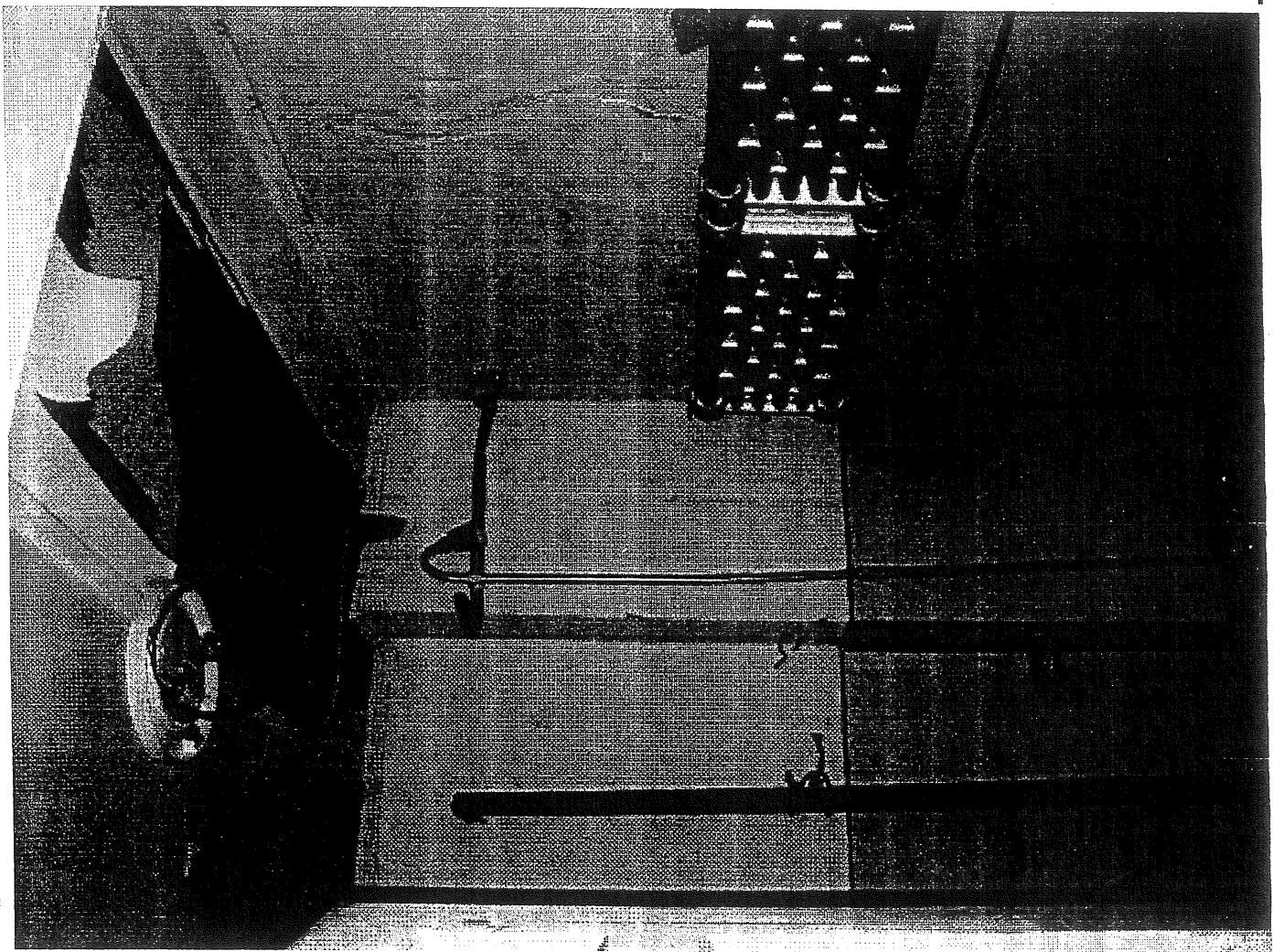
1. Property Name: (common)  
 \_\_\_\_\_
2. Address:  
 Road 219-221 High Street  
 Town Portland  
 County Cumberland
3. Present Use: 1 family \_\_\_\_  
 multi-family x educational \_\_\_\_  
 commercial \_\_\_\_ religious \_\_\_\_  
 governmental \_\_\_\_ agricultural \_\_\_\_  
 abandoned \_\_\_\_ other \_\_\_\_
4. Condition:  
 good \_\_\_\_ fair \_\_\_\_ poor x
5. Structural System: wood frame x brick \_\_\_\_ stone \_\_\_\_  
 concrete block \_\_\_\_ steel \_\_\_\_ other \_\_\_\_
6. Roof Material: asphalt shingle x wood \_\_\_\_ slate \_\_\_\_  
 metal \_\_\_\_ other \_\_\_\_
7. Exterior Wall Material: clapboard x wood shingle \_\_\_\_  
 brick \_\_\_\_ stone \_\_\_\_ log \_\_\_\_  
 asphalt/vinyl/aluminum siding \_\_\_\_  
 asbestos siding \_\_\_\_
8. Foundation Material: fieldstone \_\_\_\_ brick x wood \_\_\_\_  
 concrete \_\_\_\_ granite \_\_\_\_ other \_\_\_\_
9. Alterations (with approximate dates): Front shed-roofed dormer added (pre-1924)
10. No. of stories(main sec) 2-1/2 11. No. of stories(wing(s)) 2
12. Roof shape(main sec.) gable 13. Roof shape(wing(s)) shed
14. No. of porches \_\_\_\_\_ 15. Historic outbuildings \_\_\_\_\_
16. Important characteristic features: This large 2-1/2 story eaves-front gabled building has a gabled ell extending back at right angles, and has elaborately detailed molding throughout. A tall central gabled flush-boarded pavillion houses the double entrance with a large bracketed hood. A 1-story bay and a 2-story bay are to either side of the entrance, both with paneling and a pedimented cornice on the 1st floor. The windows all have bracketed cornices which are more elaborate on the front facade. The top center window also has carving above the cornice. The building rooflines are elaborately molded and have paired brackets. There is a front shed-roofed dormer.

PART B. OFF-SITE/RESEARCH - 219-221 High St.

1. Property Name: (historic) \_\_\_\_\_
  2. Present Owner: #219 - John L. Murphy / 34 Pitt St. 04103  
#221 - Douglas P. Ludwig / RR1, Box 131 / No. Edgecomb,  
Me. 04556
  3. Date of Construction (estimated): \_\_\_\_\_ factual: 1874  
Architect/Housewright/Builder (specify): \_\_\_\_\_  
Original Owner: \_\_\_\_\_  
Source of Information: 1924 Tax Survey  
\_\_\_\_\_  
\_\_\_\_\_
  4. Original Use: \_\_\_\_\_  
Other Use(s): \_\_\_\_\_
  5. Location: On Original Site x Moved \_\_\_\_ Year Moved \_\_\_\_  
Historical Significance: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
- Surveyor: Anne G. Ball Date Photographed: 1/23/89  
Janet Roberts
- (Please Print)
7. Known or Suspected Archaeological Sites on Property: \_\_\_\_\_  
\_\_\_\_\_
  8. Use attached sheet for site maps showing clusters of buildings (i.e., a farmstead) or a complex of attached structures (i.e., a factory). Unusual floor plans may also be sketched. Important interior features may also be listed.

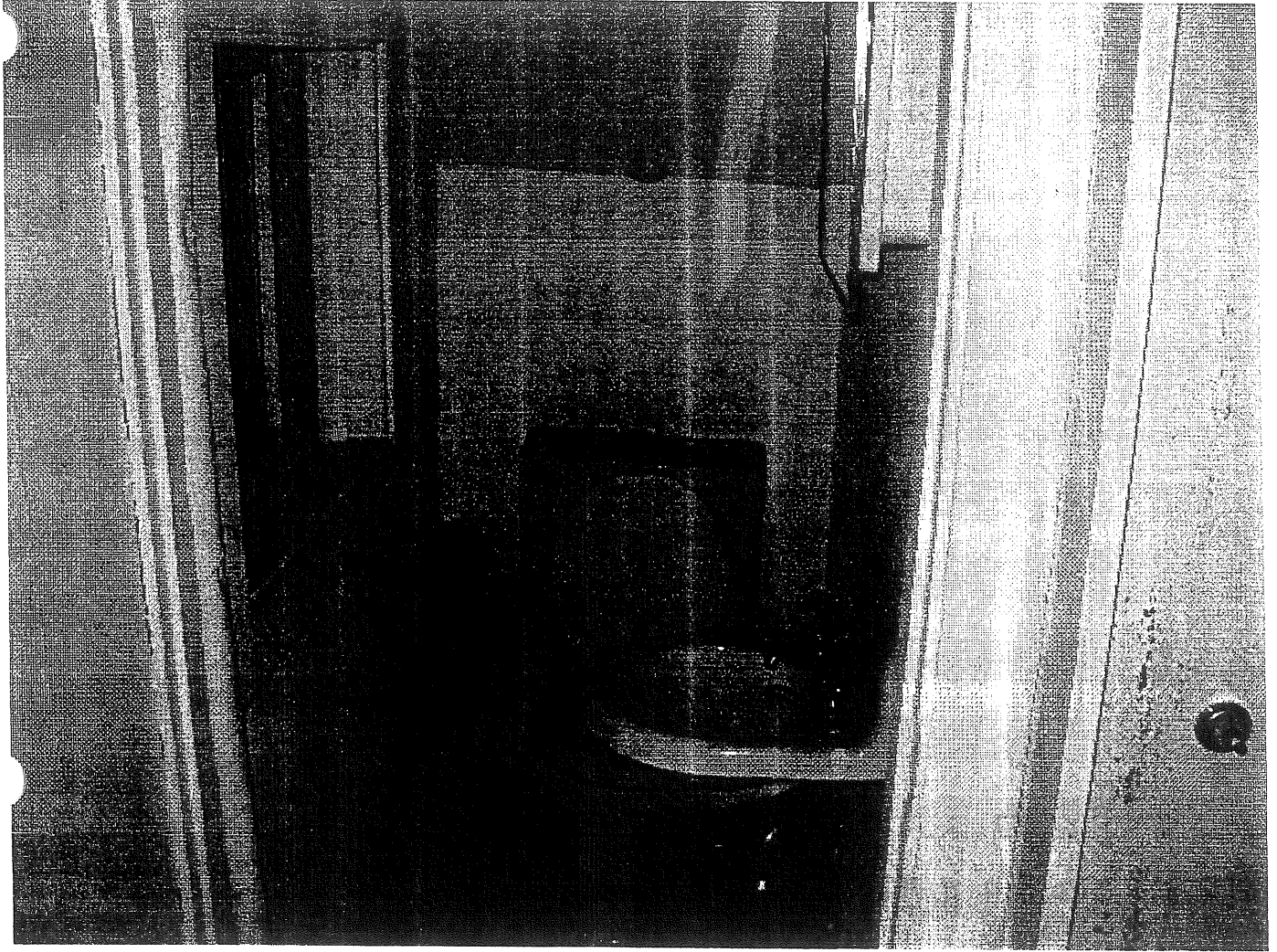


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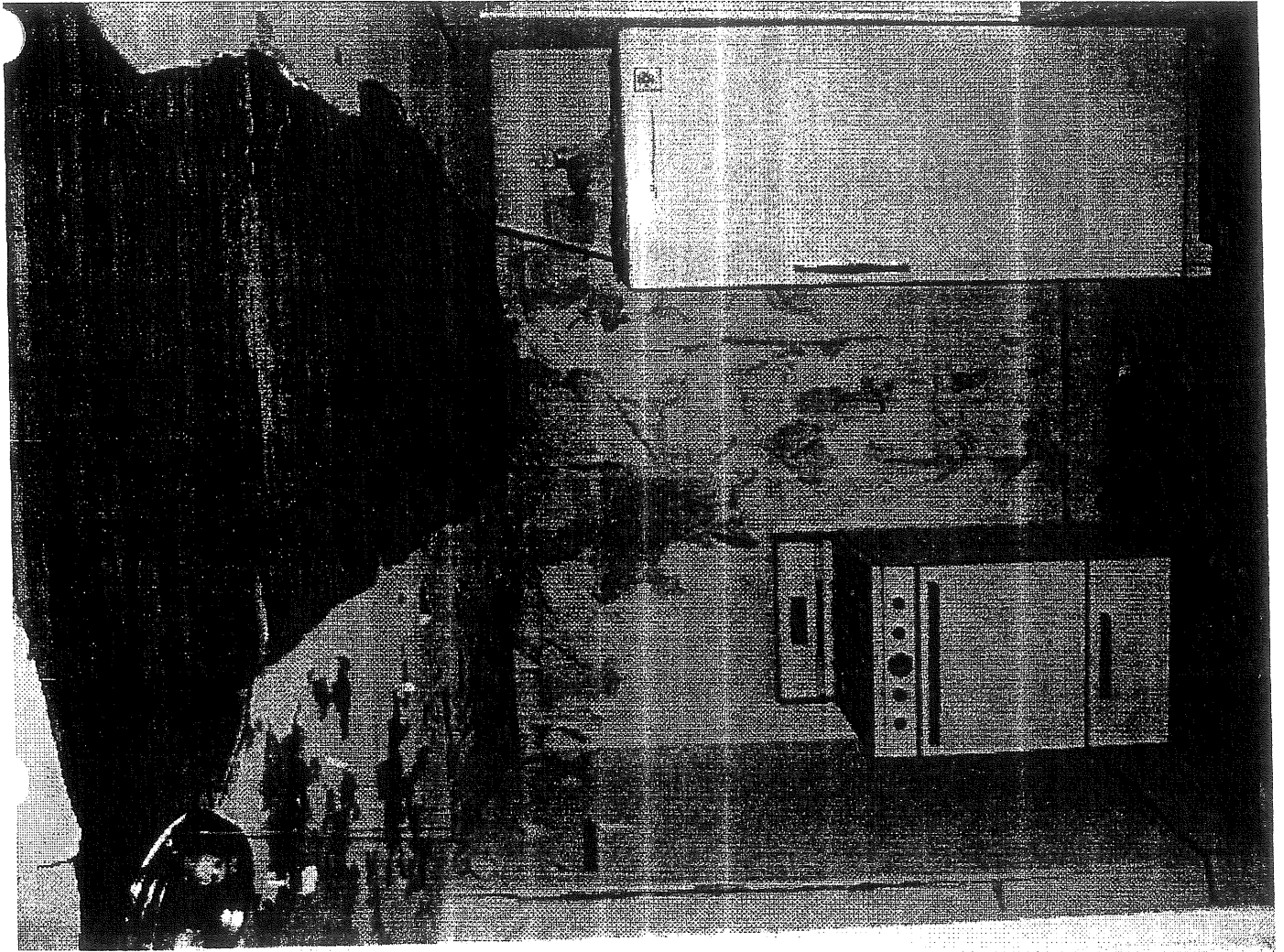
IMG\_0225.JPG



IMG\_0224.JPG



IMG\_0223.JPG



IMG\_0222.JPG





IMG\_0221.JPG

**From:** "Cyrus Y. Hagge" <chagge1@maine.rr.com>  
**Date:** Wed Jan 21, 2004 10:47:40 AM America/New\_York  
**To:** cyrus Hagge <chagge1@maine.rr.com>  
**Subject:** Fwd: 13 great iPhotos

Begin forwarded message:

From: Patty <phagge@maine.rr.com>  
Date: Thu Jan 8, 2004 6:25:03 PM America/New\_York  
To: chagge1@maine.rr.com  
Subject: 13 great iPhotos



IMG\_0214.JPG

## Public Building Design Committee Process

The Y has created a Building Design Committee made up of a cross section of the surrounding community, by including representation from the Parkside Neighborhood Association, Landmarks, Y board and staff members. These meetings have been open to the general public. While the Y Board of Directors has final decision authority over the designs, the Y is very open to the thoughts and comments put forward at the meetings.

The Y feels that this is a neighborhood project, public involvement is imperative to creating satisfactory results that the community at large can endorse. There have been two meetings to date with at least three more scheduled. This process should be completed by the time this project is presented at the Planning Board Public Meeting.

Below is a brief outline of the issues discussed at the first two meetings.

### 12-9-03 Committee Meeting Minutes:

- \* Discussion of the Y's mission, need to make changes to bring the facility up to date as an urban Y.
- \* The current parking lots look blighted and needs to be cleaned up.
- \* The building to be demolished not that important
- \* Street Trees important to the project
- \* Portland Y can not do everything and needs to have a narrow focus.
- \* If the houses need to come down, the design should have an urban feel and not look like a suburban shopping mall.
- \* Parking plan should not be an invasion into the neighborhood
- \* Lighting Details are important, should over power the area.
- \* Should be respectful of urban design issues.

### 1-21-04 Committee Meeting Minutes:

- \* What is the Y's mission? To be a Landlord. Discussion about the number of units the Y currently manages.
- \* Forest Avenue side is too dark and needs to be brightened up.
- \* If High Street becomes the new Front Door the Y needs to pay attention to a number of issues
  - A suburban design does not tie into the neighborhood
  - The current entrance does not tie into the street, it faces at an angle not parallel.
  - Design elements necessary on the street. Such as a gateway, shelter or benches.
  - Step down the fence to tie it into the streetscape
  - Spice up the exterior design of the SRO

- \* Public safety for vehicles in and out.
- \* Pedestrian safety.
- \* Parking in the neighborhood.

March 3, 2004  
98661

Barbara Barhydt, Planner  
City of Portland  
389 Congress Street  
Portland, ME 04101

**Proposed 32 Unit SRO & Facility Expansion-Contract Zoning/Site Plan  
Greater Portland YMCA- 70 Forest Avenue, Portland, Maine**

Dear Barbara:

Please find attached copies of the revised site plan for the Greater Portland YMCA addressing the issues raised in the February 5<sup>th</sup> letter from the review engineer, Steve Bushey, P.E. of Deluca Hoffman Associates. The following responses have been made in the same order as received:

1. We agree with the response that the demolition of the existing structures and reconstruction of the site will require much technical detail. We have discussed this with the YMCA and the design team and feel that these items can and will be addressed during the Site Plan process with the Planning Board. We are already beginning to draw plans, including Demolition Plans which include reviewing staging, storage, ledge removal, site preparation, and mobilization areas, as well as barricades and safety fencing from the general public. Site plans are addressing the improvements and grading along High Street, such as crosswalks, closing entrances, repairing curb and sidewalk, and looking at effects from this with the street drainage courses. We will provide technical details of all on-site and off-site improvements upon approval of the contract zone and when the plans are submitted for Site Plan Review.
2. We have revised and eliminated some parking spaces and shown the arrangement to be slightly more accessible. Furthermore, we have decided to develop end islands with flush mounted granite curb so that bus access and egress and emergency vehicle passage will not be prohibited. The entrance and exit will be constructed of brick or concrete, as a distinguishable yet durable material, to delineate the parking areas, but be able to handle the load of a large vehicle. Details will be submitted for review with the site plan process.

3. We have modified the building access and handicap access due to reconfiguration for parking. Two handicap spaces have been shown in conformance with ADA standards. The site is defined by its steepness and the proposed design attempts to mitigate the impact of the slopes near the entrance and drop-off area next to the newly proposed entrance to the existing YMCA building. We feel that the access aisles, drop-off areas, visibility improvement, and handicap parking in ADA compliance is a tremendous improvement over the current conditions.
4. Catch Basin CB-2 will have a different grate and rim configuration from typical. It will be designed to address the potential of rapid channeled runoff with a double grate. The selection has not been finalized due to the discussion of whether or not we need to provide bicycle-safe grates, or whether veined grates can be used. Veined grates with their slots catch higher velocity runoff better than flat slots, but can be problematic and twist bicycle tires causing accidents. Hydro-brakes will be considered if Public Works has concerns about regulating flows to the combined sewer. The projected stormwater will not increase above those in the existing condition.
5. We have revised the sewer service size to 8 inch SDR 35 pipe for the new SRO Building.
6. The Demolition Plans as addressed in Item 1 will address site preparation and safety concerns.
7. The reconstruction/repairs of City streets and sidewalks will be addressed in future Site Plan submittals as previously discussed in Item 1. We will address closure of existing entrances associated with the proposed to be demolished buildings, and also address replacement or restoration of all granite curbing and sidewalks along the street frontage.
8. The proposed Stormwater Treatment Tank (a/k/a Water Quality Unit) will likely be a 4 foot diameter Downstream Defender as manufactured by Hydro International of Portland, Maine. The structure will be fully contained within the property limits. The maintenance program for the stormwater infrastructure will adhere to the recommended manufacturer's Inspection and Maintenance Plan.
9. A cross walk with landing area has been shown on the current plan based on a traffic flow in High Street as one way. Conversations with Planning indicate future revisions to High street could create two-way traffic. We will wait to further hear from the staff as to how they wish us to proceed with a crosswalk at Sherman Street. We feel this is the most suitable location given the YMCA's other satellite parking lot located on the street and given sight distance from the controlled intersection at Cumberland Avenue. A bus drop area and drop-off area has been designed internally within the proposed parking lot. No drop-off areas are being considered along High Street at this time given the traffic flow, on street parking conditions, and typical excessive travel speed on High Street.

March 3, 2004  
98661

Barbara Barhydt, Planner  
City of Portland  
389 Congress Street  
Portland, ME 04101

**Proposed 32 Unit SRO & Facility Expansion-Contract Zoning/Site Plan**  
**Greater Portland YMCA- 70 Forest Avenue, Portland, Maine**

Dear Barbara:

Please find attached copies of the revised site plan for the Greater Portland YMCA addressing the issues raised in the February 5<sup>th</sup> letter from the review engineer, Steve Bushey, P.E. of Deluca Hoffman Associates. The following responses have been made in the same order as received:

1. We agree with the response that the demolition of the existing structures and reconstruction of the site will require much technical detail. We have discussed this with the YMCA and the design team and feel that these items can and will be addressed during the Site Plan process with the Planning Board. We are already beginning to draw plans, including Demolition Plans which include reviewing staging, storage, ledge removal, site preparation, and mobilization areas, as well as barricades and safety fencing from the general public. Site plans are addressing the improvements and grading along High Street, such as crosswalks, closing entrances, repairing curb and sidewalk, and looking at effects from this with the street drainage courses. We will provide technical details of all on-site and off-site improvements upon approval of the contract zone and when the plans are submitted for Site Plan Review.
2. We have revised and eliminated some parking spaces and shown the arrangement to be slightly more accessible. Furthermore, we have decided to develop end islands with flush mounted granite curb so that bus access and egress and emergency vehicle passage will not be prohibited. The entrance and exit will be constructed of brick or concrete, as a distinguishable yet durable material, to delineate the parking areas, but be able to handle the load of a large vehicle. Details will be submitted for review with the site plan process.

3. We have modified the building access and handicap access due to reconfiguration for parking. Two handicap spaces have been shown in conformance with ADA standards. The site is defined by its steepness and the proposed design attempts to mitigate the impact of the slopes near the entrance and drop-off area next to the newly proposed entrance to the existing YMCA building. We feel that the access aisles, drop-off areas, visibility improvement, and handicap parking in ADA compliance is a tremendous improvement over the current conditions.
4. Catch Basin CB-2 will have a different grate and rim configuration from typical. It will be designed to address the potential of rapid channeled runoff with a double grate. The selection has not been finalized due to the discussion of whether or not we need to provide bicycle-safe grates, or whether veined grates can be used. Veined grates with their slots catch higher velocity runoff better than flat slots, but can be problematic and twist bicycle tires causing accidents. Hydro-brakes will be considered if Public Works has concerns about regulating flows to the combined sewer. The projected stormwater will not increase above those in the existing condition.
5. We have revised the sewer service size to 8 inch SDR 35 pipe for the new SRO Building.
6. The Demolition Plans as addressed in Item 1 will address site preparation and safety concerns.
7. The reconstruction/repairs of City streets and sidewalks will be addressed in future Site Plan submittals as previously discussed in Item 1. We will address closure of existing entrances associated with the proposed to be demolished buildings, and also address replacement or restoration of all granite curbing and sidewalks along the street frontage.
8. The proposed Stormwater Treatment Tank (a/k/a Water Quality Unit) will likely be a 4 foot diameter Downstream Defender as manufactured by Hydro International of Portland, Maine. The structure will be fully contained within the property limits. The maintenance program for the stormwater infrastructure will adhere to the recommended manufacturer's Inspection and Maintenance Plan.
9. A cross walk with landing area has been shown on the current plan based on a traffic flow in High Street as one way. Conversations with Planning indicate future revisions to High street could create two-way traffic. We will wait to further hear from the staff as to how they wish us to proceed with a crosswalk at Sherman Street. We feel this is the most suitable location given the YMCA's other satellite parking lot located on the street and given sight distance from the controlled intersection at Cumberland Avenue. A bus drop area and drop-off area has been designed internally within the proposed parking lot. No drop-off areas are being considered along High Street at this time given the traffic flow, on street parking conditions, and typical excessive travel speed on High Street.



The YMCA wishes to complete the Contract Zoning issues as soon as possible to be ready in the Spring of 2004 for a submittal to the Planning Board for Site Plan review. We are anticipating that we can provide the planning staff with any additional needed information or revisions in a responsive and cooperative manner. Please feel free to contact our office with any questions or requests for additional information.

Sincerely,

SEBAGO TECHNICS, INC.

A handwritten signature in cursive script, appearing to read "James R. Seymour".

James R. Seymour, P.E.  
Project Manager

JRS:jrs/jc  
Enc.

cc: Vincent Walsh-Harvey Industries  
Robert Dion - Dion & Sokol, Inc. Architects



DeLUCA-HOFFMAN ASSOCIATES, INC.  
Consulting Engineers

778 Main Street  
Suite 8  
South Portland, Maine 04106  
TEL. 207 775 1121  
FAX 207 879 0896

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

---

## MEMORANDUM

**DATE:** April 9, 2004

**TO:** Barbara Barhydt, Portland Planning

**FROM:** Stephen R. Bushey, P.E.

**SUBJECT:** YMCA Contract Zoning application

Barbara,

I have reviewed the latest site plans submitted for the YMCA Contract Zone Request dated 4-02-04 and offer the following comments:

1. The plans appear satisfactorily complete for consideration as part of the Contract Zoning request. As we previously commented, additional detail will be required during the Site Plan Review process. However for now, they serve to provide sufficient detail to explain the project proposal. I do not have a copy of the proposed Contract document; therefore I leave it to staff to determine how well the plan adheres to the provisions within the Contract.
2. Several minor technical issues that may warrant consideration during the Contract Zoning process are as follows:
  - a. The location of the Solid Waste Management enclosure behind the building appears to have limited accessibility, particularly for emergency personnel in the event of a fire etc. I will leave it to the Fire Dept. to determine if they will accept that location. Obviously, there are not many options, however, this may be a concern for the Dept.
  - b. The sidewalk ramp on the south end of High Street at the new driveway appears to have at least a 12% grade. It may be necessary to reconstruct the sidewalk a bit further away from the driveway in order to lessen the grade/ramp.
  - c. The contour lines should be drawn between the backside of the sidewalk along High Street and the proposed parking curb line. The upper end of the parking lot is in an excavation cut that lowers the parking lot grade below the street grade. A wall doesn't appear necessary, however, the grading should be reviewed and the treatment between the backside of the sidewalk and the parking lot confirmed.
  - d. Additional spot grades may be necessary to insure that the gutter line flow along High Street does not enter into the southerly (high end) driveway, but rather continues down the street.
  - e. The grading at the northerly end of the YMCA adjacent the new parking lot

should be tied off to the building. It appears that there will be excavation required to regrade the slope adjacent the building at this location.

3. We recommend the Public Works Dept. review the proposed bump outs into High Street to assess the potential impacts to gutter line flows and drainage. With the bump out gutter line drainage flow will be pushed out into the travel way. Depending upon what this flow amount is, it may be warranted to install a new catch basin structure on the uphill side of the bump out. This should be the Public Works determination.
4. The City's traffic engineer should review signage needs associated with the proposed High Street crosswalk.
5. Some of the details may need to be revised. The granite curb detail should be revised to show aggregate base gravel around the curb. The pavement references may also need to be updated to reflect the current MDOT designations for 9.5 mm, 12.0 mm, and 19.0 mm mix designs rather than the old Grade "C" and "B" mixes.

I trust these comments are useful. Please call if you have any questions.

Steve Bushey, PE  
Senior Engineer  
DeLuca-Hoffman Associates, Inc.

Srb/jn1350.10/barhydt04-09-04

**From:** "Tom Errico" <terrigo@wilbursmith.com>  
**To:** "Barbara Barhydt" <BAB@portlandmaine.gov>  
**Date:** 4/8/2004 2:18:52 PM  
**Subject:** YMCA Master Plan

Barbara--

As a follow up to my previous email, warnings signs should be installed for the crosswalk on High Street that conform to the Manual on Uniform Traffic Control Devices, Federal Highway Administration. I do not believe they have been specified on the plans.

Thomas A. Errico, P.E.  
Senior Transportation Engineer  
Wilbur Smith Associates  
59 Middle Street  
Portland, Maine 04101  
(207) 871-1785  
(207) 871-5825 fax

**CC:** "Katherine Earley" <KAS@ci.portland.me.us>

**From:** "Tom Errico" <terrigo@wilbursmith.com>  
**To:** "Barbara Barhydt" <BAB@portlandmaine.gov>  
**Date:** 4/8/2004 2:18:21 PM  
**Subject:** YMCA Master Plan

Barbara--

I have reviewed the project package provided to me containing plans dated April 4, 2004 and find the submittal to be acceptable. I would like to note the following:

a.. The proposed crosswalk on High Street north of Sherman Street as illustrated on the plan is well designed. However, the Portland Peninsula Study draft recommendations are such that conversion of High Street in the vicinity of the project from one-way to two-way flow is being considered. If those recommendations are indeed adopted and implemented, the proposed crosswalk design would need to be modified to eliminate the curb extensions. The approval may want to account for this possibility. If you have any questions or need additional information please contact me.

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**CC:** "Katherine Earley" <KAS@ci.portland.me.us>

**From:** John Peverada  
**To:** Barbara Barhydt  
**Date:** 4/9/2004 4:48:58 PM  
**Subject:** YMCA

Barbara, I have reviewed the Y's revised Parking Management Plan, and make the following comments to help protect the residents of the neighborhood.

1. The Y should be required to provide ALL employees with an off street parking space. The report states that they have 27 full time employees and 5-6 part time employees on the job at any given time, however only "key" employees have off street parking, and the balance find on street parking. Therefore, I suggest that they verify that they have at least 31 off street parking spaces dedicated for employee parking.
2. The report states that the Y does not provide any parking spaces to residents, so they assume that they are parking on the street. This confirms the story told by the son of one of our employees who moved out of the Y after living there for over a year. He claims that he almost had his car towed from the YMCA lot on two occasions (once he was only dropping off his groceries). He was told under no uncertain terms that he was not allowed to park his vehicle in the YMCA parking lots at any time. The Y like any other landlord should provide off street parking for their tenants.
3. I think that the membership parking demand can be satisfied with the lot on High St., further promotion of the Gateway Garage and the overflow using the available on street turnover parking.
4. An adequate drop off and pick up area should be provided.

Barbara, I think that this is a good project, but I honestly think that more parking is needed to make it work without negatively impacting the existing neighborhood.

Please do not hesitate to contact me if you have any questions or concerns, and pass this memo on to members of the board.

**CC:** GLORIA THOMAS



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**To:** Barbara Barhydt  
**Date:** 4/9/2004 4:48:58 PM  
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**CC:** GLORIA THOMAS

April 13, 2004

To: Mr. Orlando Delogu  
Portland Planning Board  
389 Congress St.  
Portland, Me.  
04101

From: Michael Burnham  
P.O.Box 2282  
Scarborough, Me.  
04070  
(owner of 419 Cumberland Ave.)

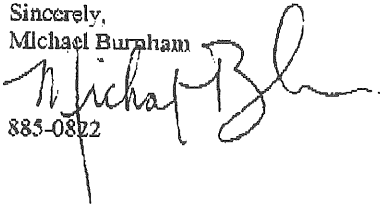
Dear Mr. Delogu,

We have reviewed the YMCA extension plans. We would like to lend our support for this project and feel that it will greatly improve the neighborhood. We support the demolition of the two wooden framed apartment buildings. These buildings are a blight and the removal of them is welcomed. The new 32 unit apartment building will help ease the housing crunch in Portland. There is a great demand for this type of housing.

We feel that this project will enhance our property values and look forward to seeing its completion. Please feel free to call me anytime.

Sincerely,  
Michael Burnham

885-0822



April 13, 2004

To: Mr. Orlando Delogu  
Portland Planning Board  
389 Congress St.  
Portland, Me.  
04101

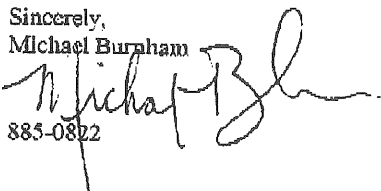
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Sincerely,  
Michael Burnham

  
885-0822

to 761-0922



**WASTE MANAGEMENT**

2000 Forest Ave.  
Portland, Maine 04103  
(207) 797-8290  
(207) 797-8129 Fax

March 29, 2004

Mr. Dan Reed  
Facilities Director  
YMCA  
70 Forest Avenue  
Portland, Maine 04101

Re: Proposed expansion

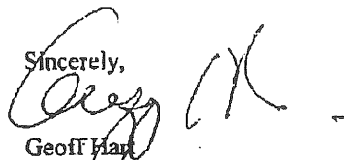
Dan:

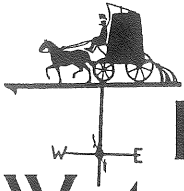
Waste Management of Maine, the current solid waste and recycling service company for the YMCA will provide the containerization, collection and final disposition for the solid waste generated during the construction and eventual occupancy of the new proposed facility at the Forest Ave. complex.

All construction debris will be containerized in 30 cubic yard roll off containers on site. Once full they will be transferred to the Waste Management transfer station in Portland where the debris will be transferred to trailers and transported to the Crossroads Landfill in Norridgewock, Maine for final disposition.

Once the building is occupied, the wastes generated will be collected in containers provided by Waste Management, similar to the equipment presently in use by the YMCA now. The waste will be collected as needed, transported to the Regional Waste Systems incinerator in Portland, Maine for final disposition.

This letter should be sufficient for your regulatory needs. If there is any further information you require, please do not hesitate to call me directly at 797-6206 ext.107.

Sincerely,  
  
Geoff Hart  
Account Manager  
Waste Management of Maine



# Portland Water District

225 Douglass St. • P.O. Box 3553 • Portland, ME 04104-3553

Customer Service Hotline (207) 761-8310

(207) 774-5961  
FAX (207) 879-5837

March 23, 2004

Cyrus Y. Hagge  
Project Management, Inc.  
225 Commercial St., suite 404  
Portland, Me. 04101

Re: 231 St.-YMCA Project

Cyrus:

This letter is to confirm there should be an adequate supply of clean and healthful water to serve the needs of the proposed 32 unit (SRO) apartment building to be located at 231 High St. in Portland. Checking District records, I find there is a 12" CI water main located on the east side of the street in High St. as well as a water hydrant located on the corner of Sherman and High Streets..

The current data from the nearest hydrant indicates there should be adequate capacity of water to serve the needs of your proposed project.

Hydrant Location: Sherman St. @High St.  
Hydrant # 361  
Static pressure = 80 PSI  
Flow = 1174 GPM  
Last Tested = 7/15/04

If the District can be of further assistance in this matter, please let us know.

Sincerely,  
Portland Water District

Jim Pandiscio  
Means Coordinator



Central Maine Power

March 30, 2004

Mr. Cyrus Y. Hagge  
C/O Project Management, Inc.  
225 Commercial Street  
Portland, Maine 04101

RE: YMCA Multi Unit

Dear Mr. Hagge,

This letter is to advise you that Central Maine Power has sufficient single phase electrical capacity in the area to serve the subject project.

Once the project is accepted by the City of Portland, the owner will need to call our Customer Service Center at 1-800-565-3181 to sign up for a New Account and a Work Request Order so we may start a cost estimate.

To complete the cost estimate I will need the information of what voltage is required, the size of the main disconnect and the kilowatt loads required for the new facility. This information should be provided to me from the electrician or electrical engineering firm.

If you have any questions please feel free to call me at 828-2882.

Sincerely,

Paul DuPerre  
Technical Advisor

An equal opportunity employer

162 Canco Road | Portland, ME 04103  
tel (800) 750-4000

[www.cmpco.com](http://www.cmpco.com)

An Energy East Company

### Parking Management Plan: Revised 2-3-04

The Y proposes to use a number of parking options to meet parking demand. While improving the quality of parking, the proposed project will result in a net loss of about 12 parking spaces. The Y has never met the parking needs of our members, staff and residents on site. With a combination of on and off site parking, on street parking and free parking in the Gateway garage, the Y has accommodated the parking demand over the years. The Y proposes the follow parking management plan.

1. Membership parking: Continue using a combination of parking in the Y's High Street lot, on street parking and free use of the Gateway garage.
2. Staff parking: Staff will continue to use the Sherman Street lot.
3. Resident parking: Based upon our analysis, one in ten of our tenants own a car. With the new building and its net gain of 21 residents, the Y estimated the additional need for parking of 2 cars. Through the combination of shared parking with members and staff in the High Street and Sherman Street parking lots the Y believes that it can accommodate the resident parking demand. The Y has also contacted the owners of the parking lot across from 70 Forest Ave. and they are willing to rent parking spaces as needed.

### Employee Parking Demand

The Y staff consists of both full time employees who work a 40 hour week and a large number of part time employees who work an assortment of hours. The part time employees have hours that range from 4 to 20 hours per week. While a significant number, only 5 to 6 are on the job at any time. The Y is open 7 days a week from 6am to 10pm with staff coverage for the balance.

1. 27 Full time employees
2. 110 Part time employees

The Y provides parking in the Sherman Street lot for the key employees and the balance finding on street parking or walking to work.

### Membership Parking Demand

The total number of members fluctuates over the year with the winter as the busiest time of the year. During the day, the busiest hours are from 6am to 8am, 11am to 1pm and 5pm to 7pm. The total number of daily visits ranges from 360 to 533 members with a weekly average of 371 visits.

Resident Demand

Base upon interviews tenants and the type of clientele that the Y serves we find that about 1 in 10 residents own a car. With a current total of 97 residential units available, the number of cars will be in the 8 to 10 range and any time. The proposed 32 unit building will add a net of 21 residents to the population and therefore we estimate that there will be an increase of 2 cars.

Existing Parking

The Y currently has three lots, one on Sherman Street and two on High Street. Under the proposed plan the two High Street lots will be combined in to one lot.

- 1. Sherman Street Lot: This unlined gravel lot contains 15 spaces.
- 2. High Street Upper Lot: 12 spaces
- 3. High Street Lower Lot: 32 Spaces

Proposed Parking

The proposed plan offers no changes to the to the Sherman Street lot. The proposed changes to the High Street lot will reduce the available parking to 32 spaces.



Preservation and Replacement of Housing Plan: Based upon the requirements of Chapter 14, Section 14-483, the Y believes it satisfies the conditions of this section. The new apartment structure will replace the 18 demolished units with 32 new units of affordable housing, a net gain of 14 units. The replacement units are within the same site and are not part of another approved plan. The new apartment building is in keeping with the character of the surrounding neighborhood. While the new units are smaller than the units being replaced, the quality and function is significantly better. Any tenant displaced, during the construction of the new building, will be offered replacement housing by the Y at their current rent.

Programmatic and Financial Analysis of Renovation/Relocating 219-221 High Street

The Y is very concerned about the demolition of 219-221 High Street and has consulted with Greater Portland Landmarks looking for alternatives. An analysis has been undertaken to evaluate the different options for this building. The evaluation of the site plan clearly identifies there is not enough room on the site for the building, the new apartment building and the new entrance.

1. Preservation. The evaluation of this option presented many programmatic site plan problems for the Y.
  - a. The current configuration of the building leaves only 10 –12 feet of room between the rear of the building and the Y leaving no room for the new entrance.
  - b. An alternative proposal is to just demolish the rear of the building. While this will open up more space, the demolished wing would need to be replaced with a new addition containing the second means of egress for the building. This option will not leave enough room for the new entrance.
  - c. The biggest stumbling block for preservation of the house, is the new handicap parking spaces which are located directly in the location of the building. The Y has a responsibility to its handicapped members safe parking and access to the building.
2. Move building to another space on the lot. This was ruled out due to the lack of available space on the site.
3. Move the house off site. The Y is willing to donate the house to any party who would take it and move it to a new location. The Y will contribute the \$35,000 to \$45,000 of demolition money to assist in the effort.

Part any effort to preserve the building is the financial analysis of the associated renovation and relocation costs. The Y retained John Ryan of Wright-Ryan Construction to evaluate the different renovation and relocations options available to the Y. The Y also created a Performa revenue and expense analysis of the various options. The resulting data shows that renovation and relocation would not be a prudent financial decision and would result in an economic hardship for the Y.

1. Renovation. John Ryan's letter estimates that the cost of renovating the structure will be in the \$500,000 to \$550,000 range. Assuming that the building would be converted back to three units per side at \$500,000 construction cost with heat, water, sewer, common lighting, management fees and taxes paid by the landlord. The financing assumes 20% owner equity and 80% financing at 7.50% amortized over 20 years. At \$1,000 per month in rent, for a two bedroom apartment, the project will generate a net operating cash flow of \$-95,024 for the first 9 years. In order for the Y to hit breakeven on the project renovation costs have to cap at \$350,000 or rents need to be set at \$1,250.00 well in excess of rent in the surrounding High Street area.
2. Relocation to a new site. Moving the house to a new location, if one were available, will add an additional \$90,000 to \$100,000 to the costs as stated above.



3-75

WRIGHT-RYAN CONSTRUCTION, INCORPORATED

22 January 2004

Cyrus Hagge  
President, Board of Trustees  
Cumberland County YMCA  
70 Forest Avenue  
Portland, ME 04101

RE: 219-221 High Street

Dear Mr. Hagge:

At the request of the YMCA we have reviewed the status of the property owned by the YMCA located at 219-221 High Street. The building encompasses approximately 6,162 square feet and formerly contained, to the best of our knowledge, seven apartments. Due to its severely deteriorated condition it has been vacant since 1989 and has been condemned by the City of Portland. Our investigation focused on three options including renovating the building and restoring it to its former use as apartments, relocating the building to the corner of High Street and Cumberland Avenue at the former site of Len's Market, and demolition. Our findings are summarized below.

**Option 1: Renovate the Building**

As noted above the building has been abandoned for 15 years and is severely deteriorated. Renovation would require demolition of most of the interior finishes, extensive structural repair, replacement of significant portions of the siding and exterior trim, new roof, new windows and some new doors, new mechanical and electrical systems, new finishes, and potential reconstruction of stairways and corridors to create viable means of egress. There is considerable uncertainty in estimating costs due to the lack of in-depth knowledge about the extent of structural deterioration. The cost of this work would likely fall in a range from \$500,000 to \$550,000.

**Option 2: Relocate the Building to Corner of High Street & Cumberland Avenue**

This option pre-supposes the availability of the lot and would involve tree removal, taking down and reinstalling power, phone and cable lines, excavation for a new foundation, installing a new foundation, backfilling and rough grading the site, relocating the building, removing the existing foundation, and re-grading the existing site. The building would be placed on the new foundation in its current state and would require the complete renovation described in Option 1 above. The cost of this work would likely fall in a range of \$90,000 to \$100,000 or higher, depending on charges from the various utilities for splicing lines. The costs of moving the building to more remote locations would be dramatically higher and would likely require an

entirely different strategy. We would anticipate a slightly lower cost to move the building into the lower portion of the YMCA's existing parking lot.

**Option 3: Demolish the Building in Place**

This option would involve complete demolition of the building, removal of the existing foundation and re-grading the site. The cost of this work would likely fall in the range of \$35,000 to \$45,000.

We have not explored the economic feasibility of any of these options for the YMCA and caution you that our figures are based on a limited investigation. We are confident, however, that these numbers will serve as a reasonable basis on which to develop further economic analysis.

Please do not hesitate to contact us if we may be of further assistance.

Sincerely,

John W. Ryan

cc: Ben Walter

37c

## 219-221 High Street Renovation (\$500k, 80% Financing)

<b>TOTAL PROJECT COST:</b>	580,000			
1st Mortgage:	80.00%	464,000	7.50%	20 Years
2nd Mortgage:				20 Years
Equity Investment:	20.00%	116,000		
Origination Date:	1 /1/2005			

<b>Mortgage Breakdown</b>	
Cost/SF	
Acquisition	80,000
Reconstruction	500,000
<b>Total</b>	<b>580,000</b>

<b>TOTAL INCOME:</b>	72,000	<b>Income Sq/Ft. :</b>		\$11.68	<b>Total Sq/Ft:</b>		6,162
Unit:	Unit #1	Unit #2	Unit #3	Unit #4	Unit #5	Unit #6	Washer/ Dryer
Square Feet:							
Income / Month	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$100
Annual Income/Unit:	\$12,000	\$12,000	\$12,000	\$12,000	\$12,000	\$12,000	\$1,200
% LEASED:							

YEAR	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9
GROSS INCOME (2)	72,000	72,000	73,800	75,645	77,536	79,475	81,461	83,498	85,585
5% Vacancy	3,600	3,600	3,690	3,782	3,877	3,974	4,073	4,175	4,279
OPERATING INCOME	68,400	68,400	70,110	71,863	73,659	75,501	77,388	79,323	81,306
EXPENSES	Basis								
Building Dep. 580,000	14,872	14,872	14,872	14,872	14,872	14,872	14,872	14,872	14,872
Interest 1st.	34,447	33,639	32,768	31,830	30,819	29,729	28,555	27,289	25,925
Interest 2nd.									
Electricity	1,854	1,854	1,900	1,948	1,997	2,046	2,098	2,150	2,204
Gas	5,436	5,436	5,572	5,711	5,854	6,000	6,150	6,304	6,462
Water/Sewer	2,976	2,976	3,050	3,127	3,205	3,285	3,367	3,451	3,538
Insurance	3,000	3,000	3,075	3,152	3,231	3,311	3,394	3,479	3,566
Operating & Maint. (8)	3,420	3,420	3,506	3,593	3,683	3,775	3,869	3,966	4,065
Property Tax	15,875	15,875	16,272	16,679	17,096	17,523	17,961	18,410	18,870
Replacement/Reserves	3,420	3,420	3,506	3,593	3,683	3,775	3,869	3,966	4,065
Closing Fees (5)	6,960								
<b>TOTAL EXPENSES</b>	<b>92,260</b>	<b>84,492</b>	<b>84,521</b>	<b>84,504</b>	<b>84,438</b>	<b>84,317</b>	<b>84,136</b>	<b>83,888</b>	<b>83,567</b>
GAIN/ (LOSS)	-23,860	-16,092	-14,411	-12,641	-10,779	-8,816	-6,747	-4,565	-2,261
NET GAIN/ (LOSS)	-23,860	-16,092	-14,411	-12,641	-10,779	-8,816	-6,747	-4,565	-2,261
+ Dep. Building	14,872	14,872	14,872	14,872	14,872	14,872	14,872	14,872	14,872
- 1st. Principal	10,408	11,216	12,087	13,026	14,037	15,126	16,301	17,566	18,930
- 2nd. Principal									
<b>NET CASH FLOW</b>	<b>-19,396</b>	<b>-12,436</b>	<b>-11,626</b>	<b>-10,795</b>	<b>-9,944</b>	<b>-9,071</b>	<b>-8,176</b>	<b>-7,259</b>	<b>-6,319</b>
									<b>-95,024</b>

**Assumptions:**

1. The financing starts 1/1/05
2. The analysis inflation rate is: 2.50%
3. Depreciation - Building and Improvements: 39 years.
4. Marginal personal tax rate for 2004 and beyond is 0%.
5. Closing costs estimated at 1.5 percent of first position financing.
6. Property taxes estimated at: \$15,875
7. 2004 income projection is: 100%
8. Operating and Maintenance 5%
9. Management Fee 5%

## 219-221 High Street Breakeven Analysis

374

<b>TOTAL PROJECT COST:</b>	100%	430,000		
1st Mortgage:	81.40%	350,000	7.50%	20 Years
2nd Mortgage:				20 Years
Equity Investment:	18.60%	80,000		
Origination Date:		1 /1/2005		

Mortgage Breakdown	
Cost/SF	
Acquisition	80,000
Reconstruction	350,000
<b>Total</b>	<b>430,000</b>

<b>TOTAL INCOME:</b>	72,000	<b>Income Sq/Ft. :</b>	\$11.68	<b>Total Sq/Ft:</b>	6,162		
Unit:	Unit #1	Unit #2	Unit #3	Unit #4	Unit #5	Unit #6	Washer/ Dryer
Square Feet:							
Income / Month	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$100
Annual Income/Unit:	\$12,000	\$12,000	\$12,000	\$12,000	\$12,000	\$12,000	\$1,200
% LEASED:							

YEAR	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9
GROSS INCOME (2)	72,000	72,000	73,800	75,645	77,536	79,475	81,461	83,498	85,585
5% Vacancy	3,600	3,600	3,690	3,782	3,877	3,974	4,073	4,175	4,279
<b>OPERATING INCOME</b>	<b>68,400</b>	<b>68,400</b>	<b>70,110</b>	<b>71,863</b>	<b>73,659</b>	<b>75,501</b>	<b>77,388</b>	<b>79,323</b>	<b>81,306</b>
<b>EXPENSES</b>									
Basis									
Building Dep. 430,000	11,026	11,026	11,026	11,026	11,026	11,026	11,026	11,026	11,026
Interest 1st.	25,984	25,374	24,717	24,010	23,247	22,425	21,539	20,585	19,556
Interest 2nd.									
Electricity	1,854	1,854	1,900	1,948	1,997	2,046	2,098	2,150	2,204
Gas	5,436	5,436	5,572	5,711	5,854	6,000	6,150	6,304	6,462
Water/Sewer	2,976	2,976	3,050	3,127	3,205	3,285	3,367	3,451	3,538
Insurance	3,000	3,000	3,075	3,152	3,231	3,311	3,394	3,479	3,566
Operating & Maint. (8)	3,420	3,420	3,506	3,593	3,683	3,775	3,869	3,966	4,065
Property Tax	15,875	15,875	16,272	16,679	17,096	17,523	17,961	18,410	18,870
Replacement/Reserves	3,420	3,420	3,506	3,593	3,683	3,775	3,869	3,966	4,065
Closing Fees (5)	5,250								
<b>TOTAL EXPENSES</b>	<b>78,240</b>	<b>72,381</b>	<b>72,624</b>	<b>72,838</b>	<b>73,020</b>	<b>73,167</b>	<b>73,274</b>	<b>73,337</b>	<b>73,352</b>
<b>GAIN/ (LOSS)</b>	<b>-9,840</b>	<b>-3,981</b>	<b>-2,514</b>	<b>-975</b>	<b>639</b>	<b>2,334</b>	<b>4,114</b>	<b>5,986</b>	<b>7,954</b>
<b>NET GAIN/ (LOSS)</b>	<b>-9,840</b>	<b>-3,981</b>	<b>-2,514</b>	<b>-975</b>	<b>639</b>	<b>2,334</b>	<b>4,114</b>	<b>5,986</b>	<b>7,954</b>
+ Dep. Building	11,026	11,026	11,026	11,026	11,026	11,026	11,026	11,026	11,026
- 1st. Principal	7,851	8,461	9,117	9,825	10,588	11,410	12,296	13,250	14,279
- 2nd. Principal									
<b>NET CASH FLOW</b>	<b>-6,666</b>	<b>-1,416</b>	<b>-605</b>	<b>225</b>	<b>1,077</b>	<b>1,950</b>	<b>2,844</b>	<b>3,761</b>	<b>4,701</b>

**Assumptions:**

1. The financing starts 1/1/05
2. The analysis inflation rate is: 2.50%
3. Depreciation - Building and Improvements: 39 years.
4. Marginal personal tax rate for 2004 and beyond is 0%.
5. Closing costs estimated at 1.5 percent of first position financing.
6. Property taxes estimated at: \$15,875
7. 2004 income projection is: 100%
8. Operating and Maintenance 5%
9. Management Fee 5%

## 219-221 High Street Breakeven Analysis

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<b>TOTAL PROJECT COST:</b>	100%	580,000		
1st Mortgage:	86.21%	500,000	7.50%	20 Years
2nd Mortgage:				20 Years
Equity Investment:	13.79%	80,000		
Origination Date:		1 /1/2005		

<b>Mortgage Breakdown</b>	
Cost/SF	
Acquisition	80,000
Reconstruction	500,000
<b>Total</b>	<b>580,000</b>

<b>TOTAL INCOME:</b>	90,000	Income Sq/Ft. :		\$14.61	Total Sq/Ft:		6,162
Unit:	Unit #1	Unit #2	Unit #3	Unit #4	Unit #5	Unit #6	Washer/ Dryer
Square Feet:							
Income / Month	\$1,250	\$1,250	\$1,250	\$1,250	\$1,250	\$1,250	\$100
Annual Income/Unit:	\$15,000	\$15,000	\$15,000	\$15,000	\$15,000	\$15,000	\$1,200
% LEASED:							

YEAR	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9
GROSS INCOME (2)	90,000	90,000	92,250	94,556	96,920	99,343	101,827	104,372	106,982
5% Vacancy	4,500	4,500	4,613	4,728	4,846	4,967	5,091	5,219	5,349
<b>OPERATING INCOME</b>	<b>85,500</b>	<b>85,500</b>	<b>87,638</b>	<b>89,828</b>	<b>92,074</b>	<b>94,376</b>	<b>96,735</b>	<b>99,154</b>	<b>101,633</b>
<b>EXPENSES</b>	Basis								
Building Dep. 580,000	14,872	14,872	14,872	14,872	14,872	14,872	14,872	14,872	14,872
Interest 1st.	37,120	36,249	35,311	34,299	33,210	32,036	30,770	29,406	27,937
Interest 2nd.									
Electricity	1,854	1,854	1,900	1,948	1,997	2,046	2,098	2,150	2,204
Gas	5,436	5,436	5,572	5,711	5,854	6,000	6,150	6,304	6,462
Water/Sewer	2,976	2,976	3,050	3,127	3,205	3,285	3,367	3,451	3,538
Insurance	3,000	3,000	3,075	3,152	3,231	3,311	3,394	3,479	3,566
Operating & Maint. (8)	4,275	4,275	4,382	4,491	4,604	4,719	4,837	4,958	5,082
Property Tax	15,875	15,875	16,272	16,679	17,096	17,523	17,961	18,410	18,870
Replacement/Reserves	4,275	4,275	4,382	4,491	4,604	4,719	4,837	4,958	5,082
Closing Fees (5)	7,500								
<b>TOTAL EXPENSES</b>	<b>97,182</b>	<b>88,812</b>	<b>88,816</b>	<b>88,770</b>	<b>88,671</b>	<b>88,511</b>	<b>88,286</b>	<b>87,988</b>	<b>87,611</b>
<b>GAIN/ (LOSS)</b>	<b>-11,682</b>	<b>-3,312</b>	<b>-1,178</b>	<b>1,058</b>	<b>3,403</b>	<b>5,865</b>	<b>8,450</b>	<b>11,166</b>	<b>14,021</b>
<b>NET GAIN/ (LOSS)</b>	<b>-11,682</b>	<b>-3,312</b>	<b>-1,178</b>	<b>1,058</b>	<b>3,403</b>	<b>5,865</b>	<b>8,450</b>	<b>11,166</b>	<b>14,021</b>
+ Dep. Building	14,872	14,872	14,872	14,872	14,872	14,872	14,872	14,872	14,872
- 1st. Principal	11,216	12,087	13,025	14,036	15,126	16,300	17,565	18,929	20,399
- 2nd. Principal									
<b>NET CASH FLOW</b>	<b>-8,027</b>	<b>-527</b>	<b>669</b>	<b>1,894</b>	<b>3,149</b>	<b>4,437</b>	<b>5,756</b>	<b>7,108</b>	<b>8,494</b>

**Assumptions:**

1. The financing starts 1/1/05
2. The analysis inflation rate is: 2.50%
3. Depreciation - Building and Improvements: 39 years.
4. Marginal personal tax rate for 2004 and beyond is 0%.
5. Closing costs estimated at 1.5 percent of first position financing.
6. Property taxes estimated at: \$15,875
7. 2004 income projection is: 100%
8. Operating and Maintenance 5%
9. Management Fee 5%

USGS Quad \_\_\_\_\_  
UTM \_\_\_\_\_

Maine Historic Preservation Commission  
HISTORIC PROPERTIES SURVEY

ATTACH PHOTO

PART A. ON-SITE

1. Property Name: (common)  
\_\_\_\_\_

2. Address:  
Road 219-221 High Street  
Town Portland  
County Cumberland

3. Present Use: 1 family \_\_\_\_  
multi-family x educational \_\_\_\_  
commercial \_\_\_\_ religious \_\_\_\_  
governmental \_\_\_\_ agricultural \_\_\_\_  
abandoned \_\_\_\_ other \_\_\_\_

4. Condition:  
good \_\_\_\_ fair \_\_\_\_ poor x

5. Structural System: wood frame x brick \_\_\_\_ stone \_\_\_\_  
concrete block \_\_\_\_ steel \_\_\_\_ other \_\_\_\_

6. Roof Material: asphalt shingle x wood \_\_\_\_ slate \_\_\_\_  
metal \_\_\_\_ other \_\_\_\_

7. Exterior Wall Material: clapboard x wood shingle \_\_\_\_  
brick \_\_\_\_ stone \_\_\_\_ log \_\_\_\_  
asphalt/vinyl/aluminum siding \_\_\_\_  
asbestos siding \_\_\_\_

8. Foundation Material: fieldstone \_\_\_\_ brick x wood \_\_\_\_  
concrete \_\_\_\_ granite \_\_\_\_ other \_\_\_\_

9. Alterations (with approximate dates): Front shed-roofed dormer added (pre-1924)

10. No. of stories(main sec) 2-1/2 11. No. of stories(wing(s)) 2

12. Roof shape(main sec.) gable 13. Roof shape(wing(s)) shed

14. No. of porches \_\_\_\_\_ 15. Historic outbuildings \_\_\_\_\_

16. Important characteristic features: This large 2-1/2 story eaves-front gabled building has a gabled ell extending back at right angles, and has elaborately detailed molding throughout. A tall central gabled flush-boarded pavillion houses the double entrance with a large bracketed hood. A 1-story bay and a 2-story bay are to either side of the entrance, both with paneling and a pedimented cornice on the 1st floor. The windows all have bracketed cornices which are more elaborate on the front facade. The top center window also has carving above the cornice. The building rooflines are elaborately molded and have paired brackets. There is a front shed-roofed dormer.



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PART B. OFF-SITE/RESEARCH - 219-221 High St.

- 1. Property Name: (historic) \_\_\_\_\_
- 2. Present Owner: #219 - John L. Murphy / 34 Pitt St. 04103  
#221 - Douglas P. Ludwig / RR1, Box 131 / No. Edgecomb,  
Me. 04556

3. Date of Construction (estimated): \_\_\_\_\_ factual: 1874

Architect/Housewright/Builder (specify): \_\_\_\_\_

Original Owner: \_\_\_\_\_

Source of Information: 1924 Tax Survey

4. Original Use: \_\_\_\_\_

Other Use(s): \_\_\_\_\_

5. Location: On Original Site x Moved \_\_\_ Year Moved \_\_\_

Historical Significance: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

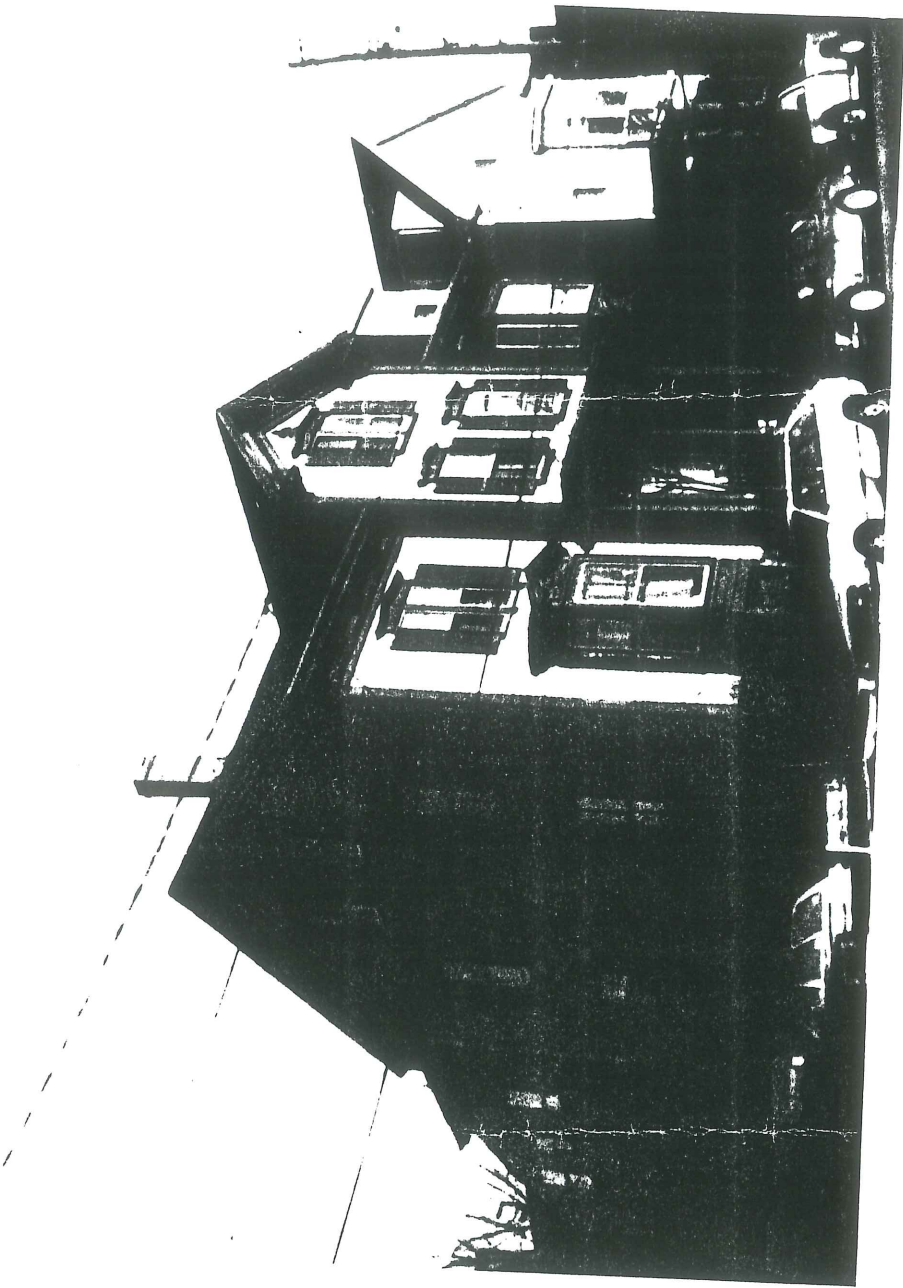
Surveyor: Anne G. Ball Date Photographed: 1/23/89  
Janet Roberts

(Please Print)

7. Known or Suspected Archaeological Sites on Property: \_\_\_\_\_  
\_\_\_\_\_

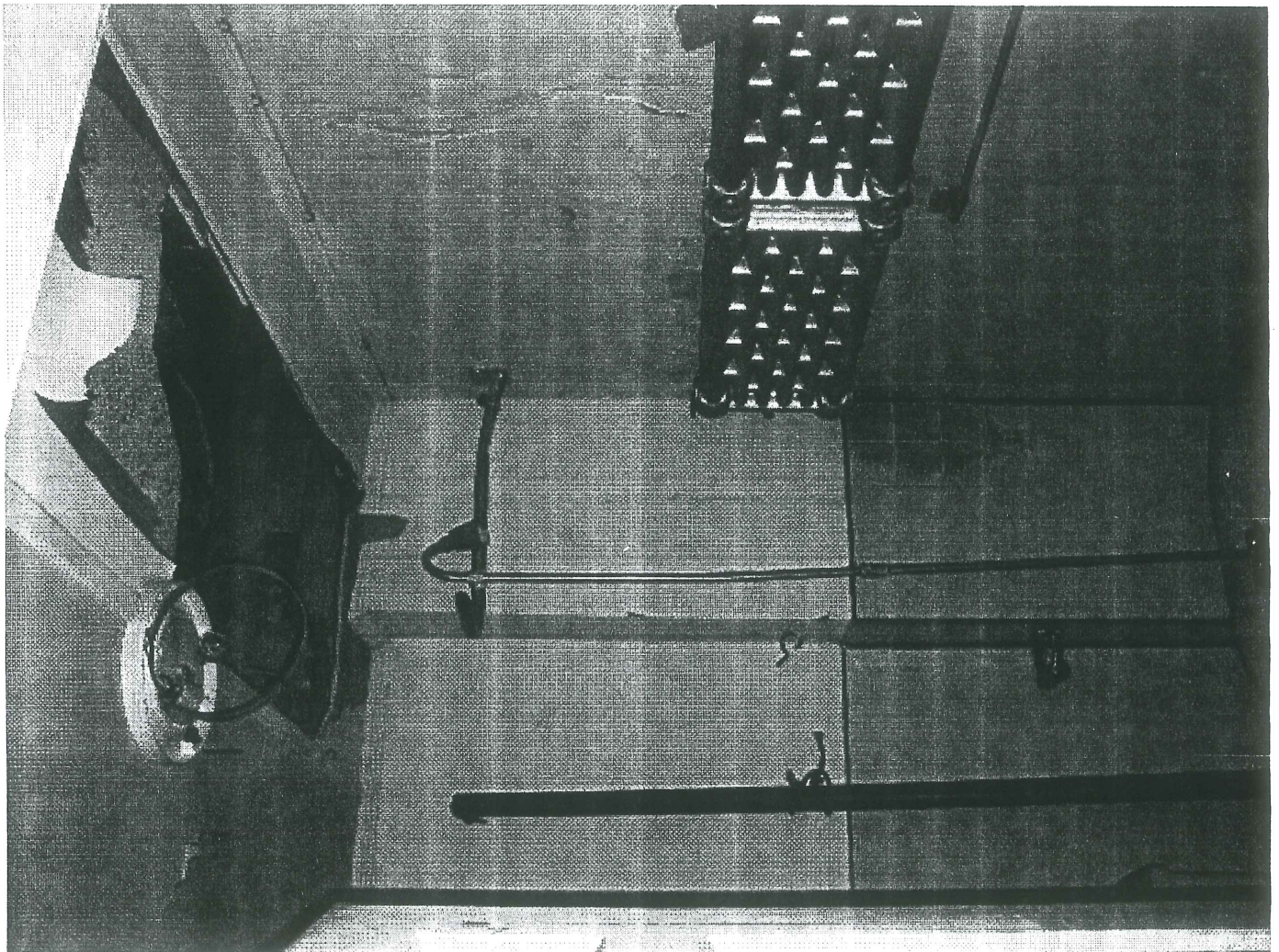
8. Use attached sheet for site maps showing clusters of buildings (i.e., a farmstead) or a complex of attached structures (i.e., a factory). Unusual floor plans may also be sketched. Important interior features may also be listed.

37h



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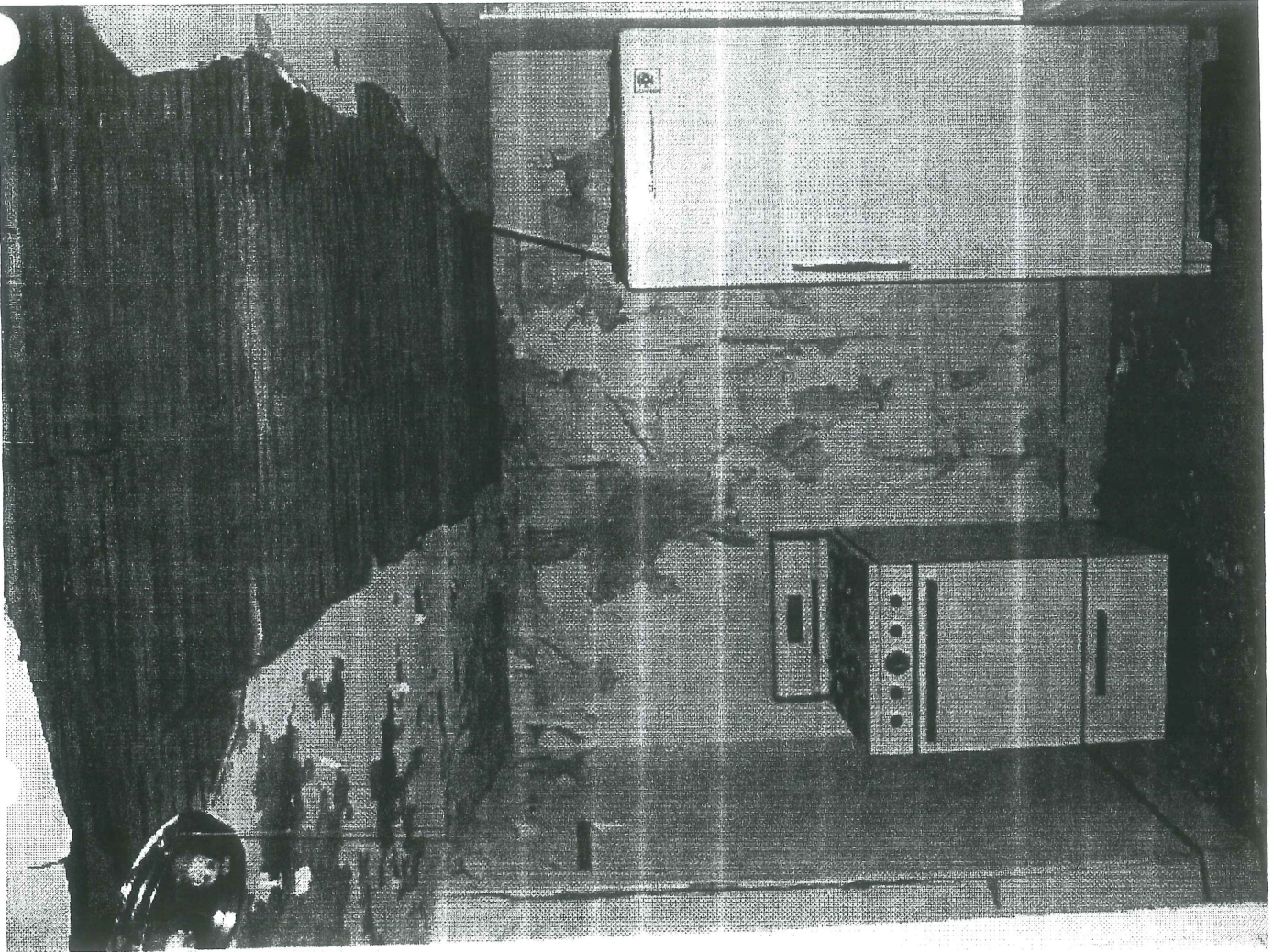
IMG\_0224.JPG

3.7 L



IMG\_0223.JPG

3.7m



IMG\_0222.JPG

3.7 n



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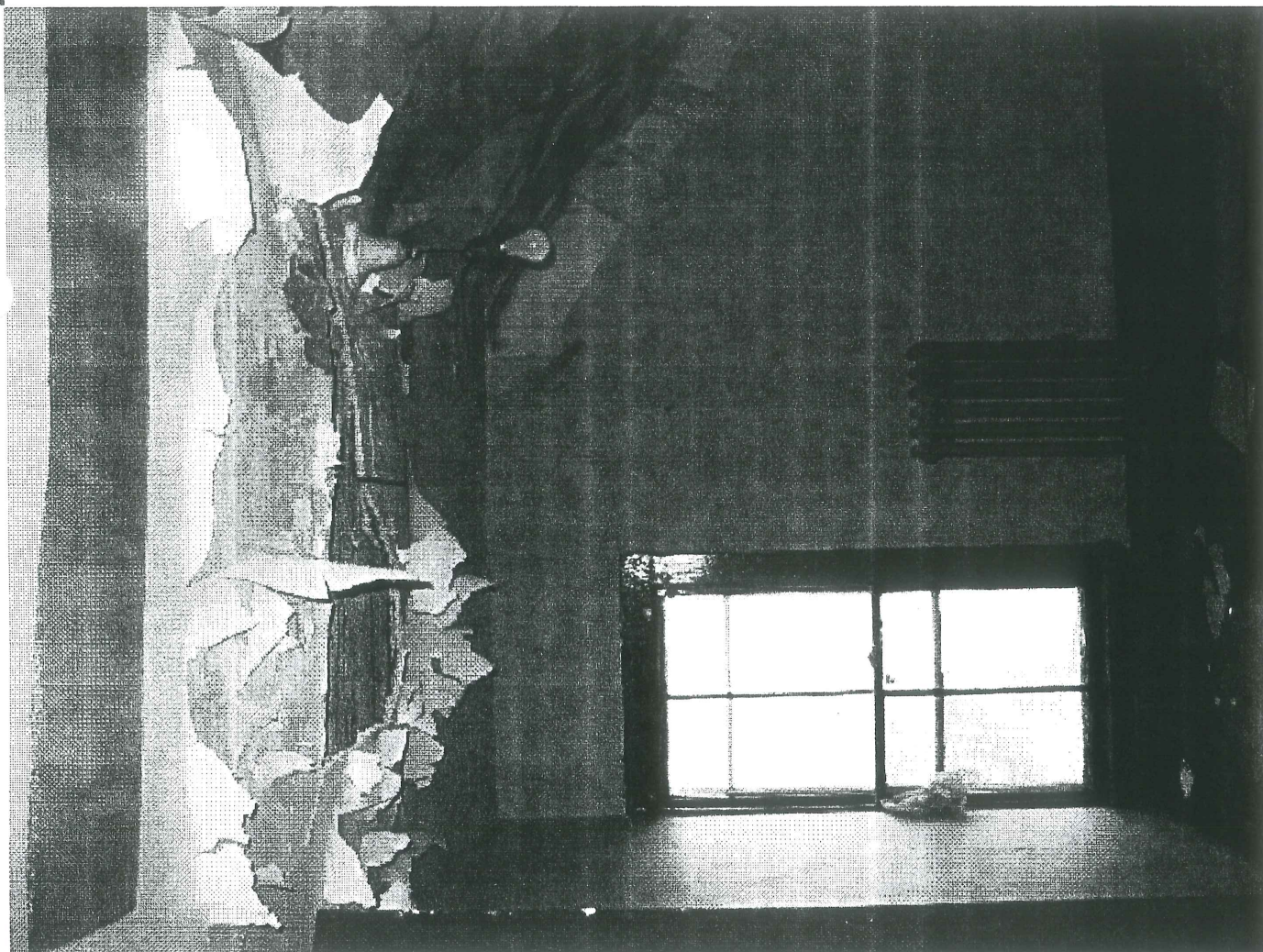


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**From:** "Cyrus Y. Hagge" <chagge1@maine.rr.com>  
**Date:** Wed Jan 21, 2004 10:47:40 AM America/New\_York  
**To:** cyrus Hagge <chagge1@maine.rr.com>  
**Subject:** Fwd: 13 great iPhotos

Begin forwarded message:

From: Patty <phagge@maine.rr.com>  
Date: Thu Jan 8, 2004 6:25:03 PM America/New\_York  
To: chagge1@maine.rr.com  
Subject: 13 great iPhotos



IMG\_0214.JPG

Section 14-525, Site Plan Written Statements.

1. Description of proposed uses on the site. Construction of a 32 unit efficiency apartment building, demolition of two existing apartment building, construction of a new addition to the High Street side of the YMCA on 70 Forest Ave. and the reconstruction of the parking lot.
2. Total Area of the Site and total floor area.
  - a. Total area: 63,518 Square Feet
  - b. 32 apartment building:
    - i. 5,000 SF floor Plate
    - ii. 22,500 SF total
  - c. YMCA 70 Forest Ave:
    - i. Existing YMCA – 90,000 SF
    - ii. Addition – 2,500 SF
  - d. Parking Lot: 29,000 SF
3. Summary of existing and proposed easements: None known.
4. Estimated quantities of solid waste: The Y is currently served by a small 5yd dumpster picked up once a week. The proposal is to eliminate the dumpster and shift to large wheeled trash containers to be stored indoors and picked up two or three times a week as needed. The trash stream is comprised of office, general membership and residential trash.
5. Evidence of the ability of off-site facilities: The Y is located in a dense urban setting with direct access to city streets. The existing facility is already served by all utilities (water, sewer, CMP, gas and telecommunications) and there is adequate capacity to meet the future needs of the Y.
6. Surface water drainage and storm water management plan. The existing site is essentially 100% non-impervious and all drainage needs are met by a combination of storm water basins and street storm drains. The proposed plan is to contain all storm water on site via a network of storm drains that connect to the High Street storm drains.
7. Construction Schedule and Plan. The proposed sequence for construction will commence with the demolition of the two apartment building, re-grading and paving the parking lot, move all Y parking to the upper lot and simultaneously construct the new 32 unit building and the addition. The goal is to start construction as soon after the approval process ends with an anticipated ground breaking in late August or early September with completion within 12 months.

8. List all state and federal regulatory approvals. This project is subject to final approval from the Maine State Housing Authority, which has already awarded financing.
  
9. Evidence of Financial and Technical capacity. The Y has been awarded a \$3.5 million grant and has been authorized to proceed with the project. The Y has received pledges contingent upon be granted all approvals to complete the addition. The Development team is comprised with a number of professionals that have experience with MSHA projects, design and construction.
  - a. Ben Walters: CWS Architects. Ben has many years of experience with MSHA projects and has appeared before the Portland Planning Board.
  - b. John Ryan: Wright-Ryan Construction, Inc. John has over thirty years of construction experience in Southern Maine.
  - c. Tom MacDonald: MacDonald Associates, Inc. Tom is a consultant specializing in Low Income Housing and has completed many projects in Southern Maine
  - d. Cyrus Hagge: Project Management, Inc. and President of the Cumberland County YMCA. Cyrus has over 25 years of construction and development experience.
  - e. Dave Thompson: CEO of the Cumberland County YMCA and Executive Director of the Greater Portland YMCA. Dave has a long history with the Y and was the lead staff person on the development of the new Casco Bay Y in Freeport.
  
10. Title, Right or Interest. The Y owns all of its property Fee-Simple.
  
11. Unusual natural areas. There are none do to the urban setting.
  
12. Recycling procedures. The Y in conjunction with it trash hauler takes advantage of all recycling opportunity offered in Portland

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7/10

## Public Building Design Committee Process

The Y has created a Building Design Committee made up of a cross section of the surrounding community, by including representation from the Parkside Neighborhood Association, Landmarks, Y board and staff members. These meetings have been open to the general public. While the Y Board of Directors has final decision authority over the designs, the Y is very open to the thoughts and comments put forward at the meetings.

The Y feels that this is a neighborhood project, public involvement is imperative to creating satisfactory results that the community at large can endorse. There have been two meetings to date with at least three more scheduled. This process should be completed by the time this project is presented at the Planning Board Public Meeting.

Below is a brief outline of the issues discussed at the first two meetings.

### 12-9-03 Committee Meeting Minutes:

- \* Discussion of the Y's mission, need to make changes to bring the facility up to date as an urban Y.
- \* The current parking lots look blighted and needs to be cleaned up.
- \* The building to be demolished not that important
- \* Street Trees important to the project
- \* Portland Y can not do everything and needs to have a narrow focus.
- \* If the houses need to come down, the design should have an urban feel and not look like a suburban shopping mall.
- \* Parking plan should not be an invasion into the neighborhood
- \* Lighting Details are important, should over power the area.
- \* Should be respectful of urban design issues.

### 1-21-04 Committee Meeting Minutes:

- \* What is the Y's mission? To be a Landlord. Discussion about the number of units the Y currently manages.
- \* Forest Avenue side is too dark and needs to be brightened up.
- \* If High Street becomes the new Front Door the Y needs to pay attention to a number of issues
  - A suburban design does not tie into the neighborhood
  - The current entrance does not tie into the street, it faces at an angle not parallel.
  - Design elements necessary on the street. Such as a gateway, shelter or benches.
  - Step down the fence to tie it into the streetscape
  - Spice up the exterior design of the SRO

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- \* Public safety for vehicles in and out.
- \* Pedestrian safety.
- \* Parking in the neighborhood.

**Summary of Records in Inspections Division, Department of Planning and Development  
219 High Street**

<b>Date</b>	<b>Record</b>	<b>Follow-up</b>
9/12/1977	<b>Violations of Minimum Standards for Housing</b> 1. Foundation - replace missing mortar 2. Exterior - make exterior waterproof with paint or other suitable means 3. Cellar - ceiling, broken joint 4. First Floor - repair or replace broken plaster 5. Rear Hall - repair or replace broken plaster 6. Bathroom - remove loose and peeling paint 7. Bathroom - repair or replace cracked plaster	<b>certificate of compliance - 4-10-80</b>  (no major code deficiencies)
9/15/1988	<b>Complaint for 1st floor Apt. - Found Substandard Housing Conditions</b> 1. No smoke alarm - 2. Bathroom ceiling leaking.	<b>#1 to be corrected by 9/28/88</b> <b>#2 to be corrected by 10/15/88</b>
9/30/1988	<b>Inspection - Violations of "Housing Code"</b> 1. Rear roof - shingles deteriorated 2. Windows missing glass and screens 3. Doorway and Alley - garbage in broken bays (bags) 4. Doorway - Provide a storage container 5. Provide fire escapes for 2nd and 3rd floors 6. Provide second means of egress for 2nd and 3rd floors 7. Illegal use of extension cord. Provide additional electrical outlets. 8. Entrance to hallway must have a 1 hour fire wall. Exposed wooden walls not allowed. 9. Interior stairway ceiling and walls must have a 1 hour fire rating. 10. Third floor bathroom waste line, partially plugged, and shower drain plugged. 11. First and third floor apartments, no cold water. 12. Second floor kitchen ceiling leaking	<b>violations to be corrected by Nov. 30, 1988</b>
2/23/1989	<b>Notification Building Unfit for Human Occupancy</b> 1. Entire Building is found to be unfit for human occupancy 2. Must vacate second floor apartment. All others are vacant. " The property is damaged, decayed, deteriorated, insanitary and unsafe ( or vermin infested) in such a manner as to create a serious hazard to the health, safety and general welfare of the occupants or the public. " Therefore you will not occupy, permit anyone to occupy, or rent the above mentioned without the written consent of the Health Officer, certifying that the conditions have been corrected.	<b>To be corrected by 3/2/1989</b>

A44

Date	Record	Follow-up
3/6/1989	<p><b>Notified to correct Housing Code Defects</b></p> <ol style="list-style-type: none"> <li>1. First floor entrance, rotted and deteriorated.</li> <li>2. Apt. #1, provide dual egress, peeling ceiling, not vented to exterior, wet ceiling, smoke detector not working, kitchen outlet needs to be replaced.</li> <li>3. Basement - broken plaster, stairs deteriorated, broken treads and risers.</li> <li>4. Basement apt. - water line leak, litter and debris, wet throughout, no lights</li> </ol>	<p><b>To be corrected by 5/6/89</b></p>
3/6/1989	<p><b>smoke detector not working and to be repaired in 10 days.</b></p>	
8/9/1990	<p><b>Notified to correct Housing Code Defects</b></p> <ol style="list-style-type: none"> <li>1) Interior paint peeling.</li> <li>2) Roof - damaged and missing coverings.</li> </ol>	<p><b>To be corrected by 10/9/90</b></p>
6/26/1992	<p><b>Notification Building Unfit for Human Occupancy</b> (similar language as 2/23/1998)</p>	<p><b>To be Corrected by 7/1/92</b></p>
10/19/1993	<p><b>Notification of 3 units</b></p> <p>Verifies that records in City Hall indicate the building at 219 High Street has been a three unit dwelling prior to the adoption of the June 5, 1957 ordinance.</p>	
12/22/2000	<p><b>Housing inspection violations</b></p> <ol style="list-style-type: none"> <li>1. Rodent and vermin control.</li> <li>2. Broken window glasses</li> <li>3. Damaged porch/steps.</li> </ol>	<p><b>Reinspection-complied with notice</b></p>

**Summary of Records in Inspections Division, Department of Planning and Development  
221 High Street**

<b>Date</b>	<b>Record</b>	<b>Follow-up</b>
6/17/1941	<b>Building Permit</b> 1) Demolish a shed and change a door to a window.	
7/1/1947	<b>Building Permit</b> 1) Partiton on second floor to create an egress on that floor without having to pass through adjoining units. 2) Install studs and sheetrock 3) cut door between bedroom and kitchenette	
2/7/1977	<b>Notice of Housing Conditions</b> 1. Replace loose gutters. 2. Repair broken fence 3. Repair leaking skylight 4. Repair common kitchen roof leak 5. Replace missing floor boards in 2nd floor bathroom 6. Provide and replace loose and missing plaster throughout the building. 7. Provide and replace loose and missing clapboards 8. Replace mising light fixture. 9. Remove peeling paint 10. Repair leaking sink trap. 11. Repair loose sashes in windows.	<b>To be corrected by April 7, 1977</b>
4/7/1977	<b>Certificate of compliance</b> 1. Certificate grants an extension for completion of repairing plaster, replacing clapboards, repairing leaking drain.	
5/8/1978	<b>Reinspection Notice</b> 1. Given to 7/4/78 to correct remaining 5 violations	<b>To correct by 7/4/1978</b>
11/14/1979	<b>Certificate of Compliance</b> 1. Complied with request to correct violations from 2/7/1977	
1/14/1981	<b>Application for heating, cooking or power permit</b> 1. Replacing boiler.	
9/21/1989	<b>Notice of Housing Conditions</b> 1. Front stairs, broken tread 2. Exterior paint peeling 3. Exterior trim deteriorated, rotted 4. Exterior bay window, deteriorated, rotted 5. Front stairs, missing handrail 6. Front door knob, missing.	<b>To be corrected by 10/21/1989</b>



Date	221 High Street Record continued	Follow-up
12/7/1989	<b>Reinspection Notice</b> The 9/21/89 violations had not been corrected	<b>To be corrected            by 12/17/1989</b>
12/27/1989	<b>Notice of Hearing</b> " Because of your failure to comply with previous notices, you are hereby invited to appear in Room 315, City Hall,..., to show cause why legal action should not be taken against you for violations of the Municipal Codes relating to housing condntions."	<b>Hearing date            1/12/1990</b>
8/1/1990	<b>Inspection Correspondence</b> 1. Smoke detectors were missing/inoperable	
8/9/1990	<b>Notice of Housing Conditions</b> 1. Exterior steps, broken treads, missing railing. 2. Roover damaged and missing covering. 3. Exterior paint peeling. 4. Incomplete walls on first floor. 5. Smoke detectors missing or inoperative. 6. Entry door cracked and damaged (2nd floor) 7. Inadequate ventilation in 1 st. floor bathroom 8. Disconncted flue between furnace and chimney. 9. Interior asbestos, torn and damaged coverings	<b>To be corrected            by 10/9/1990</b>
5/16/1994	<b>Notice of Housing Conditions</b> 1. Missing clapboards 2. Exterior paint peeling 3. Missing exterior molding 4. Loose fascia board. 5. Chimney missing bricks and mortar 6. Roof - worn shingles 7. Missing balusters on middle porch. 8. Broken treads on cellar stairs 9. Combustable items near boiler 10. Friable asbestos in basement 11. Missing junction box cover 12. Missing door knob on front door. 13. Missing plaster in front hall. 14. Front hall railing missing 15. Missing balusters on stairway and broken treads.	<b>To be corrected            by 7/16/1994</b>

Att 6

City of Portland, Maine  
Code of Ordinances  
Sec 14-476

Land Use  
Chapter 14  
Rev. 10-7-02

significantly affected the prior denial.  
(Code 1968, § 602.24.F; Ord. No. 437-74, 7-1-74)

**Sec. 14-477. Violations.**

In addition to any other remedies available, the board of appeals after notice and hearing may revoke any variance or other relief granted under this article when the provisions of this article or the conditions under which the relief was granted have not been complied with.  
(Code 1968, § 602.24.G; Ord. No. 437-74, 7-1-74)

- Sec. 14-478. Reserved.**
- Sec. 14-479. Reserved.**
- Sec. 14-480. Reserved.**
- Sec. 14-481. Reserved.**
- Sec. 14-482. Reserved.**

DIVISION 29. PRESERVATION AND REPLACEMENT OF HOUSING UNITS

**Sec. 14-483. Preservation and Replacement of Housing Units.**

(a) *Purpose.* The City believes that it is in the public interest to promote and facilitate an adequate supply of housing, particularly affordable housing. Housing, because of its scarcity and high costs, has become an extremely valuable resource in the City, and is very difficult to replace once lost.

The purpose of this section is to limit the net loss of housing units in the City caused by the demolition of residential property, the conversion of housing units to nonresidential use or the elimination of housing units as the result of the reduction or consolidation of such units within a residential property.

The City believes that the preservation of housing by means of the procedures established in this section will contribute to the health, safety and welfare of its citizens.

It is anticipated that developments subject to this section which will require multiple approvals will be processed concurrently, so that action on one aspect of the development will not delay the project as a whole.

(b) *Definitions.* The following words shall be defined as set forth below for the purposes of this section.

*Affiliate* means any legal entity in common ownership with or subject to control of either the applicant or the owner.

*Dwelling and dwelling unit* means and includes rooming units and sheltered care group homes, as each of those terms are defined in Section 14-47 of this Code. For the purposes of this section, "dwelling" and "dwelling units" refers to the loss of such units as a result of demolition, their conversion to non-residential uses or their elimination as a result of the reduction or consolidation of such units within a residential property.

*Original site* means the location where the demolition, conversion to non-residential use or elimination of dwellings and dwelling units will take place.

(c) *Application.* The provisions of this section will apply:

- (1) in all zoning districts in cases where three or more lawfully existing dwellings or dwelling units, including single-family dwellings, dwellings or dwelling units within two-family and multi-family buildings, lodging houses, rooming units, and sheltered care group homes, are demolished, converted to nonresidential uses, or eliminated through the reduction or consolidation of units within a residential property, within a five (5) year period, from and after July 1, 2002, either by the owner or an affiliate of the owner, except in cases in which the original site will be used as surface parking, this Section will apply to each dwelling unit demolished;

6.b

- (2) to premises, designed and intended for use as a dwelling, which have been vacant and which are not otherwise exempt under the provisions of sub-section (n); and
- (3) to dwellings or dwelling units, situated on various locations on the applicant's property or properties that are functionally connected with the applicant's use of the original site or in the general vicinity of the original site.

(d) *Historic Preservation.* Notwithstanding anything to the contrary in Chapter 14 Division 29, nothing in this ordinance shall permit the demolition, conversion, reduction or consolidation of dwelling units in residential property protected by the Historic Preservation Ordinance (Sections 14-601, et seq.), except as permitted by that ordinance.

(e) *Reuse of Original Site.* Any reuse of the original site and/or other properties of the applicant where housing has been demolished, converted or eliminated, shall be reviewed by the Planning Board as a Conditional Use and subject to Site Plan. In granting reuse approval the Planning Board shall require that impacts on adjoining residential uses shall be mitigated or buffered to the fullest degree, through the use of restrictions on access ways and points, buffering, screening, berming and landscaping, and through restrictions on noise and lighting. The Planning Board may require means of periodic or ongoing monitoring of effects from noise, light, trash or traffic when it finds that such monitoring will further the purposes of achieving mitigation or elimination of impacts.

(f) *Approval.* No dwelling nor dwelling units subject to the provisions of this section, shall be eligible for a demolition permit or change-of-use approval until the Planning Authority has approved such action in accordance with the provisions of this section.

- (1) The applicant files with the Planning Authority, on a form to be provided by the Planning Authority, a

6-C

statement certifying the number of such units, as well as a description of the characteristics of each of those units.

- (2) The applicant submits a list containing the name of each tenant currently residing in the dwelling units, along with the current rent.
- (3) The applicant provides an affidavit verifying compliance with the notice requirement of sub-section (g).
- (4) The applicant demonstrates compliance with the requirements of subsection (g).

(g) *Notice to Tenants.* Prior to the demolition, conversion reduction or consolidation of dwelling units subject to the provisions of this section, the applicant will:

- (1) Deliver to each tenant who occupies such a dwelling unit a written notice to vacate the unit. The notice shall either be sent by certified mail, return receipt requested, or served in-hand. The notice will grant the tenant not less than ninety (90) days from the date of receipt of the notice to vacate the unit.
- (2) The applicant will be required to file proof of service with the Planning Authority.

(h) *Housing Replacement by the Creation of New Units.* Applicants may meet the replacement requirement by creating new dwelling units, pursuant to a plan approved by the Planning Authority. Such a plan shall conform to the following provisions:

- (1) The replacement units shall be located within the City of Portland.
- (2) The replacement units may not previously have been on the market as of the date of application.

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- (3) The replacement units shall be situated within a development which has not been a candidate for site plan approval as of the date of the application.
  - (4) The replacement units shall be compatible in size, number of bedrooms, affordability, tenure and amenities, unless they are part of a qualified plan under subsection (h) (6) (c).
  - (5) The replacement units shall have an exterior design in keeping with the character of the neighborhood in which they will be located.
  - (6) Replacement units may be provided by the applicant in one or more of three (3) ways, including:
    - a. The construction of housing units within a new structure or a new addition
    - b. The conversion of a nonresidential building to residential use, or
    - c. ~~The creation of new housing units under a plan which meets another important housing need within the City, as evidenced by its inclusion in the housing element of the City's Comprehensive Plan.~~
    - d. Replacement housing may be created in advance of the application for the demolition, conversion, elimination or consolidation of housing at the original site provided the Planning Authority has approved the applicant's plan prior to replacement housing being built.
- (i) *Availability of Replacement Housing Units.*
- (1) Except where replacement housing units are being built on the original site, no building permit, demolition permit or change-of-use approval may be issued for the

6e

original site until the plan for the replacement units has been approved by the Planning Authority and a performance guarantee in the form of a Letter of Credit which comports with the requirements of sub-section (m) has been posted for the replacement units with the City.

- (2) Replacement units shall be available for occupancy before a certificate of occupancy may be issued for the new construction on the original site.
- (3) The replacement housing units shall be ready for occupancy within eighteen (18) months from the date on which the Planning Authority's approval was granted. Extensions, up to a total of 24 months, may be granted, provided the replacement housing units under construction are at least 30% complete.
- (4) Notwithstanding the foregoing sub-sections, in the event the replacement units are not completed within 24 months or the applicant wishes to obtain a certificate of occupancy for the original site prior to the availability of the replacement housing units, then the applicant can request that the City draw on the Letter of Credit, pursuant to Sub-section (1), to complete the replacement housing units, or deposit such funds in the City's Housing Development Fund.

(j) *Housing Replacement by Contribution to the City's Housing Development Fund.*

- (1) As an alternative to providing replacement housing as described in sub-section (h), the applicant may meet the requirements of this section by depositing \$30,000 for each rooming unit or \$50,000 for each dwelling unit, including multifamily apartments and single family home, to be demolished or converted to nonresidential use or eliminated to the City's Housing Development Fund.

6f

(2) Beginning on January 1, 2004 and annually thereafter, the amount of the contribution shall be adjusted by multiplying this amount originally deposited for each unit by a fraction, the denominator of which shall be the "Consumer Price Index for Urban Wage Earners and Clerical Workers ("CPI-W")," U.S. City Average, "All Items Index," as published by the United States Bureau of Labor Statistics ("the Index") for January 1, 2003 Year, and the numerator of which shall be the Index for the same month in each subsequent year. In the event that the Index is not then in existence, the parties shall use such equivalent price index as is published by any successor governmental agency then in existence; or, if none, then by such nongovernmental agency as may then be publishing an equivalent price index, in lieu of and adjusted to the Index. If the Index shall cease to use 1982-84 equals 100 as the basis of calculation, or if a substantial change is made in the terms or number of items contained in the Index, the Base Index shall be adjusted to conform to such change, using such computation thereof, if available, as shall be employed by the United States Department of Labor in computing same. Notwithstanding anything herein to the contrary, contributions made after January 1, 2004 shall not be less than the amount originally required to be deposited pursuant to sub-section (i)(1) for each rooming or dwelling unit.

(k) *Status of Dwelling Units.* All dwelling units which are regulated by this section shall be deemed fit for human occupancy, including any dwelling unit which was posted against occupancy by the City's Building Authority because of deterioration caused by neglect of lack of maintenance and which is not otherwise exempt under the provisions of sub-section (n).

(l) *Contract Zone.* A contract zone may not be used to circumvent the application of this section. The terms of this section shall apply to any contract zone which involves dwelling units affected by this section. Notwithstanding the foregoing,



nothing herein shall be deemed to prevent the City and the applicant from agreeing to terms which exceed those imposed by this section by means of a contract zone.

(m) *Letter of Credit.* Applicants who choose to comply with the provisions of this section by means of replacement housing shall provide a performance guarantee in the form of a Letter of Credit, acceptable to the City, in an amount equivalent to the amount the applicant would have been required to contribute to the City's Housing Development Fund if the applicant had chosen that option pursuant to sub-section (j)(1).

(n) *Exemptions.* The requirements of this section shall not be applicable to:

- (1) Demolition, conversion reduction or consolidation of housing, the purpose of which is determined by the Planning Authority, to create either an equivalent or greater number of new housing units.
- (2) Demolition, conversion, reduction or consolidation of housing for projects which the City Council determines at a public hearing to be of special merit to the City of Portland. A project may not be designated as a project of special merit unless the council determines that:
  - a. The project is consistent with the comprehensive plan of the City of Portland;
  - b. The project will provide significant public and civic benefits, including without limitation, social or other benefits which are significant to the community, and particularly desirable at the location proposed; and
  - c. Notice of the hearing before the Council shall be published in a newspaper of general circulation in the City of Portland not less than seven (7)

62

days prior to final action and notice shall also be sent to all persons who would receive notice in the case of an appeal for a variance.

- (3) Property which has been ordered demolished by the City, pursuant to 17 M.R.S.A. §2851, et seq., as amended, except where it is determined by the Building Authority that the deterioration was caused by neglect or lack of maintenance.
- (4) Property which, although designed and intended for residential use, is, at the time of adoption of this Section a legally grandfathered, non-residential use.
- (5) Any demolition, conversion reduction or consolidation of housing units which was approved by the Planning Board under the Site Plan Review and Conditional Use Standards of Chapter 14 of the Portland Code prior to July 1, 2002 and which approval is still in effect.
- (6) Existing residential structures which, exclusive of additions thereto, contain more dwelling units than they were originally designed and built to accommodate and which are being modified to contain fewer dwelling units, subject to the condition that the number of dwelling units originally intended to be accommodated in such structures can be established by documentary evidence.

(o) *Appeals.* Any applicant aggrieved by a decision of the Building Authority under this section may appeal to the Planning Board within 30 days of that decision.

(Ord. 27-02/03, 10-7-02)

- Sec. 14-484. Reserved.
- Sec. 14-485. Reserved.
- Sec. 14-486. Reserved.
- Sec. 14-487. Reserved.
- Sec. 14-488. Reserved.

61

City of Portland, Maine  
Code of Ordinances  
Sec 14-488

Land Use  
Chapter 14  
Rev. 10-7-02

Sec. 14-489. Reserved.  
Sec. 14-490. Reserved.

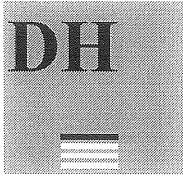
**ARTICLE IV. SUBDIVISIONS\***

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\*Cross reference(s)--Ordinances dedicating or accepting any plat or subdivision in the city saved from repeal, § 1-4(h).

State law reference(s)--Land subdivisions, 30-A M.R.S.A. § 4403.  
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**Sec. 14-491. Authority and purpose.**

This article is adopted pursuant to the terms and provisions of 30-A M.R.S.A. Sections 3001 and 4403, as amended. The purpose of this article is to provide for the harmonious and economic development of the city; for the orderly subdivision of land and its development; for the orderly development of the general area



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147

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- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

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## MEMORANDUM

**DATE:** February 5, 2004

**TO:** Barbara Barhydt, Portland Planning

**FROM:** Stephen R. Bushey, P.E.

**SUBJECT:** YMCA Contract Zoning application

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Barbara,

I have briefly reviewed the site plans submitted for the YMCA Contract Zone Request and offer the following comments:

1. The plan calls for the demolition and reconstruction of land area along High Street to construct a new parking area and a new building. Overall the plan appears reasonable in nature, however, a number of technical details will need to be worked out prior to Site Plan approval. The Contract zoning review should not be dependent on these details that are technical in nature.
2. The new parking area will be one-way directional with an entrance on the high side of the street and an exit on the low side. Several parking spaces nearest the entrance on the street side will be difficult to enter even for the tight radius turn of a passenger vehicle. This should be reviewed and perhaps the two spaces nearest the entrance eliminated.
3. The slope of the parking area will be as much as 8% for much of the lot. This is relatively steep, however, the nature of the site and its adjacency to High Street, which is similarly sloped in profile, make for few options. The plans have correctly shown the ADA spaces as sloped no greater than 2%, which is good.
4. I suggest that at least one more catch basin or perhaps a double capacity structure be provided in the vicinity of CB-2 since this structure will intercept the majority of the runoff from the paved area. Otherwise, runoff is likely to bypass the structure during peak events and go out into the street. This also raises the question of the City's system in High Street and the existing conditions related to CSO' abatement and the use of hydrobrakes. The engineer should determine how the connection of the proposed drainage system into the 18 inch sewer will impact the system. The PWD may require some onsite storage, although, it seems apparent that there will be no substantial increase in impervious surface on the site.
5. The Public Works Dept. should comment as to the adequacy of the 6" sewer service for the new building. An 8" service with clean out may be warranted.
6. The demolition of the existing buildings may warrant specific measures for the backfilling of the foundation holes. This should be addressed at the time of the site plan review.

7. The plan is unclear as to any reconstruction of the sidewalk and curbing along High Street that is proposed. It looks like some of the old curb openings should be closed and the sidewalk reconstructed. I have not been to the site to review so this may or may not be the case.
8. The plan shows a water quality treatment unit in the parking area. This should be shown to scale to determine if the structure may extend out under the sidewalk and into the right-of-way.
9. The City's traffic reviewer should look at the plan and make any comments regarding cross walk locations, possible bus drops etc. along the High Street frontage. Is it contemplated that the High Street side of the YMCA will become more actively used for visitors to the building and require a pull off area similar to the Forest Ave. side?

I trust these comments are useful. Please call if you have any questions.

Steve Bushey, PE  
Senior Engineer  
DeLuca-Hoffman Associates, Inc.

Srb/jn1350.10/barhydt02-05-04

Memorandum  
Department of Planning and Development  
Planning Division



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**To:** Chair Delogu and Members of the Portland Planning Board  
**From:** Barbara Barhydt, Senior Planner  
**Date:** February 10, 2004  
**Re:** YMCA Contract Zone at 70-88 Forest Avenue and 209 to 233 High Street  
(Tax Map 36, Block G, lots 20 through 25)

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**I. INTRODUCTION**

The Cumberland County YMCA is requesting a contract zone for 70 to 88 Forest Avenue and 209 to 233 High Street to construct a building with thirty-two (32) efficiency units on its main facility site. This is the second workshop on the proposal. In addition to considering a contract zone, the Planning Board will review the proposal under the City's subdivision, site plan and replacement housing ordinances.

**II. EXISTING CONDITIONS** (Refer to Attachment 3.4 a-i)

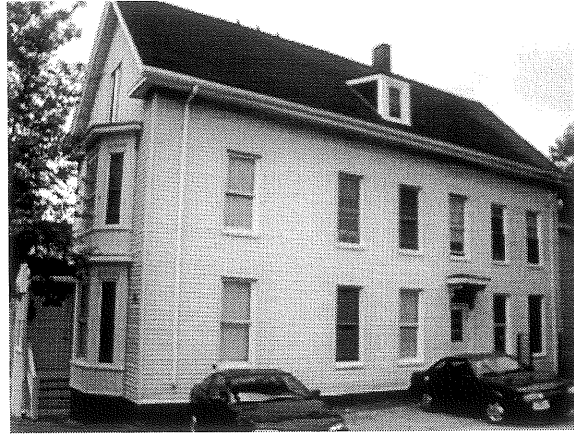
The main facility for the YMCA is located at 70 Forest Avenue. The programs and services at the facility include fitness programming, day care and after school programs, teen center, day camps, administrative offices, and eighty-six (86) single-room occupancy (SRO) housing units. The primary entrance to this facility is from Forest Avenue with a secondary entrance from a High Street parking lot. A playground is located on a separate lot at 96 Forest Avenue.

The YMCA owns three apartment houses on High Street. The apartment building at 207 High Street was acquired in December 2003 and will remain as housing. The building at 217 High Street was acquired in 2000. It has three apartments and houses eleven residents under the YMCA's SRO program. The third building is 219-221 High Street, which is vacant. The YMCA is proposing to demolish both 217 High Street and 219-221 High Street as part of this development proposal. Photographs of the buildings are on the following page.

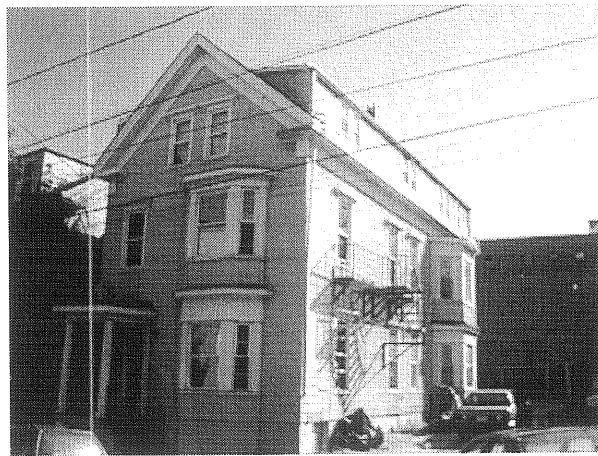
The YMCA owns three parking lots. Two of the lots are on High Street with the upper lot (209 to 215 High Street) offering twelve to fifteen parking spaces. The lower lot (223 to 233 High Street) has twenty spaces. The Sherman Street lot accommodates ten to twelve vehicles.

Based on the Tax Assessor's records, the total area of the site (the contiguous parcels) is 63,518 square feet (1.5 acres), the playground lot has 4,357 square feet, and the Sherman Street parking lot has 5,000 square feet. The proposed contract zone as drafted does include 207 High Street or the separate lots, so the total area for the contract zone is 60,166 square feet (1.4 acres).

207 High Street



217 High Street



219-221 High Street



### **III. MASTER PLAN FOR YMCA** (Refer to Attachment 3.3 a -u)

At the October 28, 2003 Planning Board workshop, the Board requested that the YMCA provide a master plan for the site and its nearby properties. The YMCA has submitted a summary of the Master Planning Process and a copy of its *Strategic Plan: 150 Years and Beyond*, which is dated September 26, 2002. The Master Planning Process lists the following recommended changes for the Greater Portland YMCA facility:

- Expand the YMCA's commitment to affordable housing and create opportunities for additional housing. The YMCA has received \$3.5 million dollars from MSHA to construct 32 units of affordable housing.
- Demolish two High Street apartment buildings to make room for a new entrance to the main facility and redesign the parking lot.
- Construct a new "front door" entrance for the main building facing High Street. The new entrance will be handicap accessible and allow for future reorganization of the interior of the YMCA.
- Create a redesigned parking lot with ADA compliant parking spaces, enhanced pedestrian safety and improved vehicle safety.
- Acquire the apartment building at 207 High Street to serve as an anchor to the upper parking lot and remain as an apartment building (completed 2003).

### **IV. DEVELOPMENT PROPOSAL** (Refer to Attachments 3.5 a-h)

#### ***Efficiency Units for Single Room Occupancy***

The YMCA is proposing to construct a building with thirty-two (32) efficiency units, also known as single room occupancy (SRO) units in the lower parking lot at 233 High Street. Each efficiency unit has approximately 336 square feet of floor area and includes a kitchen and bathroom. A common room is located on each of the three upper floors, laundry facilities are in the basement and an office/ vestibule are proposed at the front entrance. The YMCA will provide twenty-four hour supervision and services to the residents. The density of this housing proposal, including the 86 SRO units in the existing YMCA facility, is approximately 509 square feet of land per unit.

The proposed building elevations are found as Attachment (3.5g). The building elevations are concepts as expressed in a note on the plan. The YMCA has invited Portland Landmarks and the Parkside Neighborhood Association to participate in defining fundamental site and building design components, so revisions to the plan are anticipated.

The Maine State Housing Authority is providing low-income housing tax credit financing. There will be a limited partner and a general partner in the development of this project. The entire parcel will be divided into two lots for financing purposes.

#### ***Demolition of Two Existing Apartment Buildings*** ( Refer to Attachments 3.7 a-q)

As part of the project, the YMCA proposes to demolish two apartment buildings with a total of eighteen apartments. The buildings are located at 217 High Street and 219-221 High Street. There are eleven residents living in 217 High Street under the YMCA's SRO program. The building at 219-221 High Street is vacant.

At the October 28 workshop, the Planning Board requested additional information regarding the condition of the buildings and whether the buildings, particularly 219-221 High Street, could be



preserved. The staff reviewed the Inspection Office records on 219-221 High Street. There are entries from 1977 to 2000 for 219 High Street and from 1941 to 1994 for 221 High Street, but please note that the City's records do not indicate when a building becomes vacant. Summaries of the records are included as Attachments 4 and 5. According to Mike Nugent, Building Inspection Manager, the building is not condemned or considered a dangerous building<sup>1</sup> under Maine's statutes. YMCA has kept the building boarded up as is required for abandoned buildings. Attachment 3.7 a-g is the applicant's material regarding their assessment of renovating or relocating 219-221 High Street. The YMCA's evaluation includes a letter from John Ryan of Wright-Ryan Construction, Inc., financial statements, the City's historic properties survey form and interior photographs.

Portland's Historic Preservation Ordinance requires that all demolition permits be reviewed and approved by the Historic Preservation Program Manager. The Deering Street Historic District does not include the easterly side of High Street where these buildings are located and the two structures are not individually designated. In 1997, as part of a reassessment of historic district boundaries, it was felt that the easterly side of the street did not exhibit sufficient architectural cohesiveness or integrity to merit inclusion in the district. While the building at 219-221 High Street is not designated, it maintains a commanding presence on this block and an architecturally noteworthy structure. Additionally, the building terminates the view as approached from Sherman Street. The cost of renovating or moving the building is contained in Mr. Ryan's letter. The YMCA has stated in their materials that they will donate the house and contribute \$35,000 to \$45,000 to assist in moving this building.

Under the City's new ordinance, "Preservation and Replacement of Housing Units", the Planning Board will review the proposed demolition of housing units as a conditional use and site plan. The YMCA addresses this in their application (Attachment 3.7). A draft application form for this review was forwarded to the applicant on February 4, 2004. The application form requires the Applicant to certify the number and description of existing units, list the names of current tenants and current rent levels, and demonstrate how the proposal will comply with the ordinance. The ordinance options include either replacement in-kind, funds in lieu of replacement or replacement with housing that meets a community housing need. The YMCA proposes to meet the latter option by providing thirty-two (32) efficiency units. Attachment 6 is a copy of Division 29 of Portland's Code.

#### ***Modifications to Existing Building*** (Attachment 3.5)

An addition is proposed for the High Street side of the existing facility. The addition will be a new entrance area for the athletic facilities of the YMCA, which will be accessed from the High Street parking lot. The Forest Avenue entrance will be the primary entry for the existing eighty-

---

<sup>1</sup> State definition of a dangerous building: Whenever the municipal officers in the case of a municipality, or the county commissioners in the case of the unorganized or deorganized areas in their county, find that a building or structure or any portion thereof or any wharf, pier, pilings or any portion thereof that is or was located on or extending from land within the boundaries of the municipality or the unorganized or deorganized area, as measured from low water mark, is structurally unsafe; unstable; unsanitary; constitutes a fire hazard; is unsuitable or improper for the use or occupancy to which it is put; constitutes a hazard to health or safety because of inadequate maintenance, dilapidation, obsolescence or abandonment; or is otherwise dangerous to life or property, they may after notice and hearing on this matter adjudge the same to be a nuisance or dangerous and may make and record an order prescribing what disposal must be made of that building or structure. [1997, c. 6, §1 (amd).]

six (86) single room occupancy units, the administrative offices, and the YMCA's range of community services.

***Parking*** (Refer to Attachment 3.6

The proposal includes redesigning the parking lot and extending the parking area to include the lots at 217 through 221 High Street (lots of the buildings to be demolished). The proposed lot has thirty-two (32) parking spaces with a drop-off area at the new building entrance. Two of the four curb cuts will be closed. Landscaping and a fence will be provided for screening. The details for this are being discussed as part of process with Portland Landmarks and the Parkside Neighborhood Association.

The Planning Board requested that a parking management plan be developed for this proposal, which is included as Attachment 3.6. The YMCA is proposing that members continue to use the High Street lot, on-street parking and the free parking at the Gateway Garage. Staff will continue to use the Sherman Street lot. The YMCA state that one in ten of their residents own a car. They estimate that the net gain of 21 units will result in two more cars. The YMCA proposes that the members and staff share parking in the High Street and Sherman Street parking lots and that they are able to secure additional parking on a lot across from 70 High Street, if needed.

**V. STAFF COMMENTS**

Tom Errico, consulting Traffic Engineer, noted that the first parking space near the upper entrance is very tight and may not be a usable space. He is also requesting that the applicant prepare an assessment of whether a mid-block crosswalk on High Street is warranted.

Steve Bushey, consulting Engineer, has done a preliminary review of the project. His comments are included as Attachment 7.

John Peverada, Parking Manager, reviewed the parking management plan. He does not want the project to negatively impact the on-street parking in the neighborhood. The parking management plan provides daily numbers for the YMCA, but it is unclear what the parking demand is at peak times. Mr. Peverada indicated that it may be necessary for the YMCA to address how they will encourage members to use the Gateway garage and potentially secure leases to accommodate staff and residents at peak times. The draft contract suggests that the YMCA will provide a set number of spaces in the Gateway Garage.

**VI. CONTRACT ZONE**

A draft of the proposed contract zone is a preliminary draft and is included as Attachment 1 for the Board's review. The conditions for the proposal are found on pages 3 through 6 and the proposed space and bulk requirements are found on page 5 of Attachment 1.

**Attachments:**

1. Draft Contract Zone
2. Contract Zone Application
3. YMCA submission for 1/10/04 workshop
4. Inspection Records – 219 High Street
5. Inspection Records – 221 High Street
6. Division 29, Preservation and Replacement of Housing Units
7. Steve Bushey, DeLucca Hoffman, review

**DRAFT**

**CONDITIONAL REZONING AGREEMENT**

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**CCYLLC AND  
THE CUMBERLAND COUNTY YOUNG CHRISTIAN MEN'S ASSOCIATION**

**AGREEMENT** made this \_\_\_\_ day of \_\_\_\_\_, 2003 by \_\_\_\_\_, a Maine limited partnership with a place of business in Portland, Maine and the **Cumberland County Young Men's Christian Association, known as the Cumberland County YMCA**, a nonprofit corporation with a place of business in Portland, Maine, and each of their successors and assigns (hereinafter collectively "**OWNER**").

**WITNESSETH**

**WHEREAS**, Cumberland County YMCA owns a parcel of land located at 70 through 88 Forest Avenue and 209 through 233 High Street in Portland, consisting of parcels shown on City of Portland Tax Map 36, Block G, Lots 20 through 25, and more particularly described in a deed from \_\_\_\_\_ and recorded in the Cumberland County Registry of Deeds in Book, \_\_\_\_\_ Page \_\_\_\_\_ (collectively the "**PROPERTY**"); and

**WHEREAS**, the **OWNER's** funding sources require that two lots be held in separate ownership; and

**WHEREAS**, the parcels comprising (CBL \_\_\_\_\_) are owned by "Limited Partnership" (Lot I); and

**WHEREAS**, the parcels comprising (CBL \_\_\_\_\_) are owned by Cumberland County YMCA (Lot II); and

**WHEREAS**, the **OWNER** will demolish two existing apartment buildings, one at 217 High Street and the other at 219 to 221 High Street containing a total of nine (9) apartments, which include \_\_\_\_\_ number of occupants; and

**WHEREAS**, the **OWNER** has requested a contract rezoning of the Property in order to permit the development of ~~thirty-two (32) low-income efficiency apartment units with related social services (the “PROJECT”); and~~

Deleted: up to

**WHEREAS**, the number of new housing units exceeds the number of housing units demolished and, thus, the proposal complies with Portland’s Ordinance, Division 29. Preservation and Replacement of Housing Units, Portland City Code, Sec. 14-483 to 14-488; and

**WHEREAS**, the **OWNER** intends to maintain the current uses in the existing YMCA facility at 70 through 88 Forest Avenue, which include a day care facility, athletic facilities, administrative offices, eighty-six (86) single room occupancy units, and also provides space for a variety of community and social services; and

**WHEREAS**, the **OWNER** will change the primary entrance to the athletic facilities of the Cumberland County YMCA from Forest Avenue to High Street by adding a new entrance, lobby, waiting area and interior staircases; and

**WHEREAS**, the parking lot along High Street will have a total of \_\_\_\_\_ (0) spaces and will be rebuilt with a maximum of two curb cuts and landscaping; and

Deleted: twenty-eight

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**WHEREAS**, the Portland Planning Board has determined that the rezoning and proposed development would provide needed housing in the City for low income individuals, is consistent with the housing component of the Comprehensive Plan and would not have an adverse impact on the surrounding residential community; and

WHEREAS, the Planning Board of the City of Portland, pursuant to 30-A M.R.S.A. § 4352(8) and Portland City Code (the "Code") §§ 14-60 to 14-62 and 14-264, and after notice and hearing and due deliberation thereon, recommended the rezoning of the **PROPERTY** as aforesaid, subject, however, to certain conditions; and

WHEREAS, because of the unusual nature and unique location of the proposed development, it is necessary and appropriate to impose the following conditions and restrictions on this development in order to ensure that the rezoning is consistent with the CITY'S Comprehensive Plan; and

Deleted: the CITY has determined that.

Deleted: by agreement

WHEREAS, the City Council of the CITY authorized the execution of this Agreement on \_\_\_\_\_, 2004, by City Council Order No. \_\_\_\_\_, a true copy of which is attached hereto as Attachment 1;

Deleted: 3

NOW, THEREFORE, in consideration of the contract rezoning, OWNER covenants and agrees as follows:

1. Effective upon the recording of this Agreement at the Cumberland County Registry of Deeds, but no later than thirty (30) days after the date of Portland City Council approval, the CITY hereby amends the Zoning Map of the City of Portland, dated December, 2000 (as amended from time to time and on file in the Department of Planning and Urban Development, and incorporated by reference into the Zoning Ordinance by § 14-49 of the Code) by adopting the map change amendment shown below. If this Agreement is not recorded by said date, then the contract rezoning shall be null and void, and the zoning of the **PROPERTY** shall revert to the pre-existing Residential R-6 zone.

insert zoning map

2. The Owner will demolish two apartment buildings, one at 217 High Street and the other at 219 to 221 High Street.

3. The **PROPERTY** is to be developed with a single four-story building consisting of thirty-two (32) efficiency apartments as depicted on the attached Site Plan and Elevations attached hereto as Exhibit 2.

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Deleted: , as more fully set forth below. (See attachments----)

4. Execution of this Agreement binds the Cumberland County YMCA, and their successors and assigns, to the terms set forth in this Agreement.

5. Any change in ownership shall be brought to the Planning Board for its review and approval, but this requirement shall not apply to the granting of mortgages by **OWNER** or to the enforcement by the mortgagees of their rights under such mortgages.

**Deleted:** The Planning Board shall have a maximum of sixty (60) days from the City's receipt of a complete application for a change in ownership to act on the application. Should the Planning Board be unable to respond within such time frame, the application shall be deemed approved.

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6. Permitted Uses. **OWNER** shall be authorized to establish and maintain the following uses on the **PROPERTY**:

a. Efficiency apartments<sup>1</sup> as follows:

1. ( ) efficiency apartments presently existing within the main YMCA building at 70 Forest Avenue (delineated as building \_\_\_\_\_ on the Site Plan)[Include other amenities offered at this facility], and
2. A new four-story structure, containing thirty-two (32) efficiency apartments to be constructed in the existing High Street parking lot in the vicinity of 231 High Street (delineated as building \_\_\_\_\_ on the Site Plan).

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**Deleted:** For purposes of this Agreement, "efficiency apartment" is defined as a self-contained living unit of not less than two hundred and fifty (250) square feet of living space, with a kitchen (containing at minimum, a kitchen sink, stove with an oven and refrigerator), and a bathroom. Occupancy of an efficiency apartment shall be limited to one person.

Twenty four (24) hour on-site YMCA staff and related personnel will be available, who may provide the following services to the residents:

- provision of case management;
- life skills training;
- mental health and substance abuse counseling;
- employment, educational and legal services.

There shall be on site laundry facilities in the basement, an office and vestibule on the first floor and common meeting rooms on the three upper floors, only for use of residents and staff.

b. The following additional uses shall be permitted in the main building of the YMCA

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1. Fitness facilities (including swimming, racquet sports, gym sports, yoga, dance, running, biking, etc) in the main YMCA building;
2. Day care and after school programming for school-age children;
3. Teen center, focused on fitness, counseling and educational programs;
4. Day camps fro school age children, to be held during the school year and vacations;
5. Office and staff facilities.

c. Twenty-eight (28) dual use parking spaces (i.e. parking used both by occupants of the SRO's and members using other facilities) on site will be provided as delineated in the parking layout plan attached hereto as Exhibit 3.

**Deleted:** ¶

**Deleted:** Cumberland County YMCA will provide additional parking at no cost to its members at the Gateway Garage

<sup>1</sup> For purposes of this Agreement, "efficiency apartment" is defined as a self-contained living unit of not less than two hundred and fifty (250) square feet of living space, with a kitchen (containing at minimum, a kitchen sink, stove with an oven and refrigerator), and a bathroom. Occupancy of an efficiency apartment shall be limited to one person.

The uses specified herein supersede the otherwise permitted uses contained within the underlying Residential R-6 zone.

7. The front entrance for the existing YMCA facility at 70 through 88 Forest Avenue will be used primarily for residents of the existing facility and the executive offices. A new entrance will be provided on High Street, which will primarily serve the athletic facilities. An addition to the existing facility, as shown on the Site Plan, will create the new entrance with a lobby, waiting area and interior staircases.

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8. Cumberland County YMCA will provide ( ) spaces of additional parking at no cost to its members at the Gateway Garage.

Deleted: The uses specified herein supersede the otherwise permitted uses contained within the underlying Residential R-6 zone.

9. Performance guarantees will be required for entire buildout of the Site Plan shown on Exhibit 2. The amount and terms of such performance guarantee shall be determined by the Planning Authority at the time of Site Plan, Conditional Use and Subdivision approval of the project. The parking lot and landscaping, designated on Exhibit shall be completed prior to the issuance of a Certificate of Occupancy.

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10. OWNER shall be responsible for ongoing maintenance of the PROPERTY, including snow removal, salting, sanding, sweeping, lighting, trash pickup, maintenance, mowing, etc.

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11. The PROPERTY will be developed substantially in accordance with the Site Plans and Elevations shown on Exhibit ----, submitted by ----- dated ----- . In addition to the space and bulk requirements of paragraph 12 below and the applicable provisions of Article IV (subdivisions) and Article V (site plan) of the Code, the development proposal shall show a unified design of the site, including the architecture, the layout of the buildings, pedestrian and vehicular circulation plan, open space, drainage, and the topography, soil conditions, vegetation, and other natural features of the site.

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Deleted: Attachment

12. The Planning Board shall review and approve the project according to the site plan, subdivision, and conditional use provisions of the Portland Land Use Code.

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13.

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13. Space and Bulk Requirements. The following space and bulk requirements will apply:

Deleted: In addition to the space and bulk requirements of paragraph 12 below and the applicable provisions of Article IV (subdivisions) and Article V (site plan) of the Code, the development proposal will show a unified design of the site, including the architecture, the layout of the buildings, pedestrian and vehicular circulation plan, open space, drainage, and the topography, soil conditions, vegetation, and other natural features of the site.

- a. Minimum lot size: None.
- b. Minimum area per dwelling (density): 509 sq. feet
- c. Minimum street frontage: 50 feet.
- d. Minimum front yard: none required.
- e. Minimum rear yard: Five (5) feet
- f. Minimum side yard: Five (5) feet
- g. Minimum lot width: 50 feet.
- h. Maximum lot coverage: 100%
- i. Maximum structure height:
- j. Open space ratio:
- k. Parking requirements: \_\_\_\_\_ parking spaces on site

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13. Cumberland County YMCA agrees to maintain, in perpetuity, the rent levels and income requirements for the Efficiency apartments [only High Street or also Forest Ave??] as follows:

30% of units at 40% of Area Median Income;

30% of units at 50% of Area Median Income; and

40% of units at 60% of Area Median Income.

The foregoing restrictions on rent levels and income requirements will be secured by covenants and restrictions and conditions in any deeds conveyed out by **OWNER**.

15. In the event of a breach by **OWNER** or its successors or assigns of the zoning provisions contained herein (whether such breach is determined to have occurred by the Zoning Administrator, the Zoning Board of Appeals or a court), the Planning Board, after notice and hearing, may recommend to the City Council that the contract zone and this Agreement be amended, or be rescinded, such rescinding to result in the termination of this Agreement and a reversion of the **PROPERTY** to the R-6 zone in place before the execution of this Agreement.

The above stated restrictions, provisions, and conditions are an essential part of the rezoning, shall run with the **PROPERTY**, shall bind and benefit **OWNER**, any entity affiliated with **OWNER** which takes title to the **PROPERTY**, their successors or assigns, and any party in possession or occupancy of said **PROPERTY** or any part thereof, and shall inure to the benefit of and be enforceable by the **CITY**, by and through its duly authorized representatives. The **OWNER** shall file a counterpart original of this Agreement in the Cumberland County Registry of Deeds.

If any of the restrictions, provisions, conditions, or portions thereof set forth herein should be for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed as a separate, distinct and independent provision and such determination shall not affect the validity of the remaining portions hereof.

**Deleted:** The provisions of this Agreement, including the permitted uses listed in paragraph 2, are intended to replace the uses and requirements of the underlying R-6 zone. ¶ 14.

**Deleted:** Project



In the event of a breach by OWNER or its successors or assigns of the zoning provisions contained herein (whether such breach is determined to have occurred by the Zoning Administrator, the Zoning Board of Appeals or a court), the Planning Board, after notice and hearing, may recommend to the City Council that the contract zone and this Agreement be amended, or be rescinded, such rescinding to result in the termination of this Agreement and a reversion of the PROPERTY to the underlying zone in place before the execution of this Agreement.

**Deleted:** Except as expressly modified herein, the development, use and occupancy of the Property shall be governed by and comply with the provisions of the Portland City Code and any applicable amendments thereto or replacement thereof.¶

WITNESS:

Cumberland County YMCA

BY:

By:

\_\_\_\_\_ By \_\_\_\_\_

STATE OF MAINE  
CUMBERLAND, ss.

\_\_\_\_\_, 2003

Personally appeared before me the above-named----, in his capacity as President of Cumberland County YMCA, , as aforesaid, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said organization, a non-profit entity.....

Before me,

\_\_\_\_\_  
Notary Public/Attorney at Law



APPLICATION FOR ZONING AMENDMENT  
City of Portland, Maine  
Department of Planning and Development  
Portland Planning Board

1. **Applicant Information:**  
CUMBERLAND County YMCA  
Name  
70 FOREST AVE  
Address  
PORTLAND, ME 04101  
775-7442      761-0922  
Phone                      Fax

2. **Subject Property:**  
70-88 FOREST AVE &  
Address  
209-233 HIGH ST.  
MAP-36-(20-25)  
Assessor's Reference (Chart-Block-Lot)

3. **Property Owner:**     Applicant     Other  
Name  
CUMBERLAND County YMCA  
Address  
ABOVE  
\_\_\_\_\_  
Phone                      Fax

4. **Right, Title, or Interest:** Please identify the status of the applicant's right, title, or interest in the subject property:  
PROPERTY OWNER

Provide documentary evidence, attached to this application, of applicant's right, title, or interest in the subject property. (For example, a deed, option or contract to purchase or lease the subject property.)

5. **Vicinity Map:** Attach a map showing the subject parcel and abutting parcels, labeled as to ownership and/or current use. (Applicant may utilize the City Zoning Map or Parcel Map as a source.)

6. Existing Use:

Describe the existing use of the subject property:

THE PROPERTY IS CURRENTLY USED AS A YMCA WITH  
SRD HOUSING AND PARKING

7. Current Zoning Designation(s): RG

8. Proposed Use of Property: Please describe the proposed use of the subject property. If construction or development is proposed, please describe any changes to the physical condition of the property.

SEE ATTACHMENTS

9. Sketch Plan: On a separate sheet please provide a sketch plan of the property, showing existing and proposed improvements, including such features as buildings, parking, driveways, walkways, landscape and property boundaries. This may be a professionally drawn plan, or a carefully drawn plan, to scale, by the applicant. (Scale to suit, range from 1"=10' to 1"=100'.)

10. Proposed Zoning: Please check all that apply:

A. \_\_\_\_\_ Zoning Map Amendment, from \_\_\_\_\_ to \_\_\_\_\_

B. \_\_\_\_\_ Zoning Text Amendment to Section 14-\_\_\_\_\_

For Zoning Text Amendment, attach on a separate sheet the exact language being proposed, including existing relevant text, in which language to be deleted is depicted as crossed out (example), and language to be added is depicted with underline (example).

C. X Conditional or Contract Zone

A conditional or contract rezoning may be requested by an applicant in cases where limitations, conditions, or special assurances related to the physical development and operation of the property are needed to ensure that the rezoning and subsequent development are consistent with the comprehensive plan and compatible with the surrounding neighborhood. (Please refer to Division 1.5, Sections 14-60 to 62)

11. **Application Fee:** A fee for must be submitted by check payable to the City of Portland in accordance with Section 14-54 of the Municipal Code (see below). The applicant also agrees to pay all costs of publication (or advertising) of the Workshop and Public Hearing Notices as required for this application. Such amount will be billed to the applicant following the appearance of the advertisement.

_____ Zoning Map Amendment	\$2,000.00
_____ Zoning Text Amendment	\$2,000.00
<u>X</u> _____ Contract/Conditional Rezoning	
Under 5,000 sq. ft.	\$1,000.00
5,000 sq. ft. and over	\$3,000.00
Legal Advertisements	percent of total bill
Notices	.55 cents each
(receipt of application, workshop and public hearing)	

NOTE: Legal notices placed in the newspaper are required by State Statue and local ordinance. Applicants are billed directly by the newspaper for these notices.

12. **Signature:** The above information is true and accurate to the best of my knowledge.

10-1-03  
Date of Filing

 V.P.  
Signature of Applicant

**Further Information:**

Please contact the Planning Office for further information regarding the rezoning process. Applicants are encouraged to make an appointment to discuss their rezoning requests before filing the application.

Applicants are encouraged to include a letter or narrative to accompany the rezoning application which can provide additional background or context information, and describe the proposed rezoning and reasons for the request in a manner that best suits the situation.

In the event of withdrawal of the zoning amendment application by the applicant in writing prior to the submission of the advertisement copy to the newspaper to announce the public hearing, a refund of two-thirds of the amount of the zone change fee will be made to the applicant by the City of Portland.

Portland Planning Board  
Portland, Maine

Effective: July 6, 1998

8. Proposed Use of Property:

The Portland YMCA proposes to build a 32 Unit Efficiency Apartment building at its Forest Avenue site. The purpose is to create additional affordable housing for Men on a long term basis. The Y is working through the Maine State Housing Authority for Low Income Housing Tax Credit financing. The proposed project will be located in the Y's lower parking lot on High Street with its front door opening onto High Street. The proposed structure will be four stories high. The scope of the work is as follows

1. Construct 32 unit (21,000 SF) affordable housing efficiency apartment building.
2. Demolish two existing apartment buildings at 217, 219 and 221 High Street using the new housing units as replacement housing.
3. Construct a new "Front Door" at High Street entrance to the YMCA facility with new lobby and waiting area.
4. Re-grade the parking lot eliminating two of the four curb cuts.
5. Re-landscape the edge between the parking lot and the High Street Sidewalk.

The remaining YMCA uses will not change.

# MAPQUEST.

Home Help



MAPS



DRIVING DIRECTIONS



ROAD TRIP PLANNER



YELLOW PAGES

HELP ?

## maps

- Address
- Airport
- ZIP Code
- City
- Area Code
- Lat / Long
- Road Atlas Key
- Saved Maps

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**BORDERS**



Search

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Find low fares to the Portland, ME area!
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Search **Portland** for:

Auto repair

Search

70 Forest Ave  
Portland, ME  
04101-2813, US

Portland Offers:

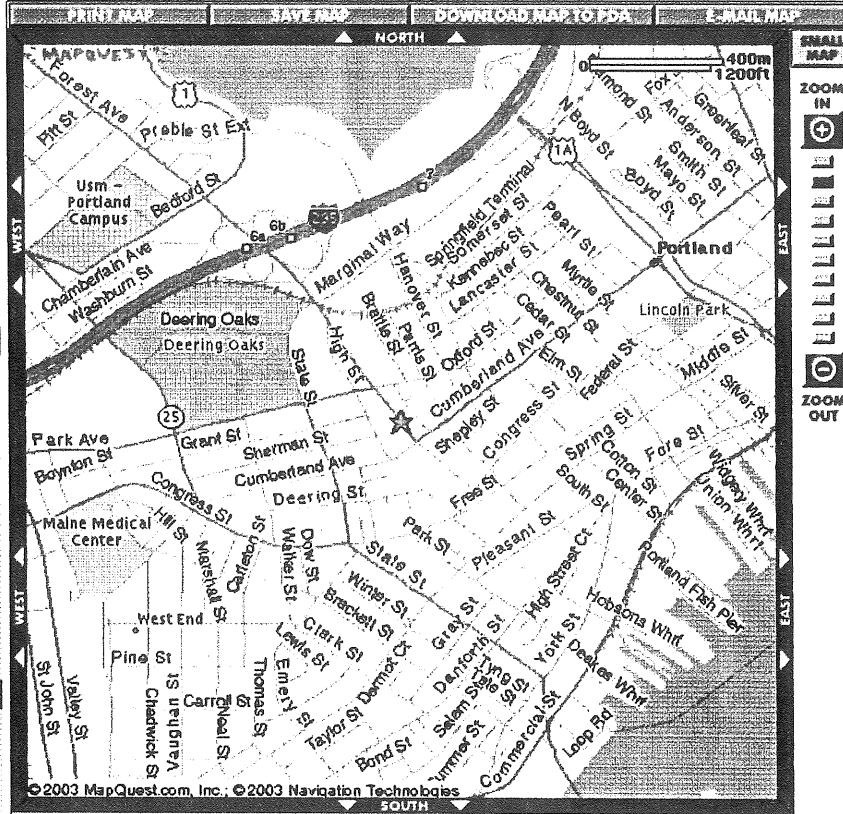
Hotels  Go



Get Directions To This Location



Map a New Location



CLICKING ON MAP WILL:

ADDITIONAL MAP FEATURES:

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ON BOARD

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AH-2

## Table of Contents

Executive Summary	1	3.1
Brief History of the YMCA	2	3.2
Master Planning Process	3	3.3 a - v
Uses of Existing Property Owned By The Greater Portland YMCA	4	3.4 a - d
Master Redevelopment Plan	5	3.5 a - d
Parking Management Plan:	6	3.6 + 3.6a
Preservation and Replacement of Housing Plan	7	3.7 <del>a - c</del> <sup>a - c</sup>
Programmatic and Financial Analysis of Renovation/Relocating 219-221 High Street		
Section 14-525, Site Plan Written Statements	8	3.8 + 3.8a
Public Building Design Committee Process	9	3.9 <del>a</del> 3.9a

Executive Summary

The Cumberland County YMCA after a two-year process of strategic review and master facilities planning has made a commitment to keep the Greater Portland YMCA in downtown Portland. This commitment will result in a two-phase project.

Phase 1:

The Y has already secured both public and private financing to under take phase

1. Construct a 32 unit low income efficiency apartment building.
2. Demolish of two High Street apartment houses.
3. Re-grade and make improvements to the surface parking lots.
4. Construct of a new entrance on the High Street side of the 70 Forest Avenue building
5. Rebuild the High Street sidewalk with appropriate landscaping.

Phase 2:

The second phase will entail improvements only to the interior of the 70 Forest Avenue building. This would include upgrades to life/safety, ADA compliance, locker rooms and interior lay out. The success of this phase will be dependent upon the 2005 capital campaign. Since this phase in interior improvements only, the Y is not asking for Planning Board Approval.



### Brief History of the YMCA

The YMCA has been a membership based fitness and social service organization in Portland for 150 years. Neal Dow , one of the original founders, help start the Portland YMCA with the goal helping young men build better lives through fitness, sobriety and moral values. In 1927 the Y moved from its Congress Square location, now the Art Museum, to the 70 Forest Ave. facility. Included in this expansion, was a gym, swimming pool, fitness areas, social gathering rooms, bowling alley and 86 rooms of housing.

In 1966 the Y added the Malcolm pool addition with the first 6 lane swimming pool in the State. At the same time the Y added 4 racket sport courts and five new locker rooms making the Portland Y the state of the art facility. Even today this section of the Y is still functional and in excellent condition.

Over the years the Y has made a number of cosmetic changes to the facility by adding new fitness areas, day care center and after school programs. In 1998 after the considerable debate, the Y embarked upon a plan to build a new facility in Freeport, the Casco Bay YMCA. Upon completion the Casco Bay facility, the YMCA reorganized into the Cumberland County YMCA. Currently the Y operates three facilities, the Greater Portland Y, the Casco Bay Y and a "mini" Y at the Pineland Center in conjunction with the Libra foundation

Part of the Strategic planning process, the Y is taking the next step forward with a feasibility study of a large capital campaign to raise funds for interior and exterior improvements to the Greater Portland Y, expansion of the Casco Bay Y and a new facility in Scarborough. This capital campaign will be targeted for 2005.

## Master Planning Process

In early 2002 the YMCA undertook an extensive review of its strategic plan and found it lacking. A strategic planning committee was established to draft a new plan for the Y. The committee held numerous meetings and a facilitated planning retreat. The result is a plan that should guide the Y for many years. One segment of the plan was to review and create a Master Facility Plan.

The Master Facility Planning process was broken down into three components, the Greater Portland YMCA, Casco Bay YMCA and the future Scarborough YMCA. The Greater Portland YMCA (Y) facilities planning committee was comprised of Y staff and board members, general Y members, two architects and a representative of the building trades. The Committee met for nine months before making its recommendations.

The first challenge was to determine the future of the Greater Portland Y. A number of committee member felt that it did not make sense to stay downtown. The committee reviewed five options: 1, Close the Forest Ave. facility and focus on suburban facilities only, 2, Move to a new downtown location, 3, Move out of downtown but stay close to the city center, 4, Move out toward the western suburbs and 5, Remain at 70 Forest Avenue.

After lengthy review, the committee came to the conclusion that maintaining a downtown presence and the multiple social service programs that are run out the facility were essential to the Y's mission. It was determined that the Y could build another suburban facility but it would never meet the needs of our Portland downtown members. With this decision made, the committee is recommending a number of changes to the facility to expand our commitment to Portland and the need for more Youth and Family services.

The Committee recommended the following changes to the Greater Portland Y facility.

1. Expand our commitment to affordable housing and create an opportunity for additional housing. The Y currently offers 96 SRO rooms in the Forest Ave facility and in the 217 High Street Building. The Y went to MSHA as received a \$3.5 Million dollar grant to construct a new 32 unit affordable apartment building.
2. Demolish two High Street apartment buildings to make room for a new entrance and a redesign parking lot.
3. Construct a new bright and sunny "front door" on the High Street side of the building. The new entrance would create a true handicap

accessible entrance to the Y and allow for the future reorganization of the interior of the Y into a more safe and useable spaces.

4. Create a redesigned parking lot with ADA compliant parking spaces, enhanced pedestrian safety and improved vehicle safety by eliminating two of the four High Street Driveways and improving sight lines.
5. Acquire the 207 High Street apartment building to serve as an anchor to the upper parking lot. This building is to remain as an apartment building. This was completed in December 2004.

The Cumberland County YMCA  
**Strategic Plan: 150 Years and Beyond**

September 26, 2002

**STRATEGIC PLAN: CONTENTS**

**EXECUTIVE SUMMARY**

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- Priority One:** Need for Significant Change in Paradigm
- Priority Two:** Need to Radically Change Financial Position
- Priority Three:** Need to Deal with the Greater Portland Y's Outdated and Restrictive Facility
- Priority Four:** Need for Expanded Membership and Services
- Priority Five:** Need to Develop a 5-Year Plan for Growth and Development

**A VISION FOR THE YMCA**

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**GOALS & INITIATIVES**

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- Goal One:** Responsible Fiscal Management
- Goal Two:** Quality Board and Staff Development
- Goal Three:** Facility Growth and Development
- Goal Four:** Program Management and Development
- Goal Five:** Organizational Image Enhancement
- Goal Six:** Implementation

Prepared by: The Strategic Planning Committee of the Cumberland County YMCA

*Horace Horton, President of the Board of Directors  
Fred Palmer, Chairman of the Strategic Planning Committee, Board of Directors*

*Geoff Alexander, Board of Directors; Eric Anton, Board of Directors; Cyrus Hagge, Board of Directors; Tracy Hawkins, Volunteer & Past Board President  
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the Casco Bay YMCA; Ludmila Tutunaru, Chief Financial Officer of the CC YMCA; Anne-Marie Jannace, Director of Development and Communications of the CC YMCA;  
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# The Cumberland County YMCA Strategic Plan: 150 Years and Beyond

## THE MISSION OF THE CUMBERLAND COUNTY YMCA:

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Building strong communities, families and individuals through programs that promote a healthy spirit, mind and body for everyone, regardless of ability to pay.

## EXECUTIVE SUMMARY

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The Strategic Planning Committee has identified and ranked five priorities which underlie the specifics of its Plan, and which would support an upcoming capital campaign. These priorities are ranked in the following order:

**Priority One - *Need for Significant Change in Paradigm:*** As has been said, "We cannot deal with the problem if we remain the people who created it." The broad perspective is that, over the last 30 years, most of the Portland's institutions have undergone extraordinary improvements and changes in identity. The YMCA has remained in a relatively static position over that time. As an organization, and particularly as a Board, we have been passive about changing our organization within the dynamic environment of both the City of Portland and Cumberland County. Reflect for a moment on the changes of other organizations with the City; the Portland Museum of Art, Merrill Auditorium, Maine Medical Center, the arts, banking, business, legal and medical communities - all of which have developed toward a paradigm of excellence for the State of Maine. However, the Greater Portland YMCA has not kept pace with this rate of change. The surrounding communities of Portland within Cumberland County have experienced significant growth by Maine standards and therefore have developed whole new sets of issues and opportunities as a result. By building the new Casco Bay YMCA in Freeport, the suburbs north of Portland have kept pace with this paradigm of excellence.

The Cumberland County YMCA needs to look at new and creative ways to serve the community, and use such concepts to attack each of the "Goals and Initiatives" stated in the body of this Strategic Plan. We as a Board must to pull together, stop pointing the finger, adopt a plan and then be very active in implementing it.

**Priority Two – *Need to Radically Change Financial Position:*** The current financial picture of the Cumberland County YMCA is consistently negative and must be improved. We have to balance the books today in order ensure our future for tomorrow.

**Priority Three - *Need to Deal with the Greater Portland Y's Outdated and Restrictive Facility:*** The Greater Portland YMCA is the regional center and hub of the Cumberland County YMCA. With this designation, its facility needs must be addressed prior to the facility needs of other branches. Towards this end, we must deal with the Greater Portland YMCA's outdated and restrictive facility through a significant program reorganization. This may be done within the walls of the current facility, a new facility, or a combination thereof.

**Priority Four - *Need for Expanded Membership and Services:*** The Cumberland County YMCA is currently under serving its community, and needs to expand its membership base while also broadening its program offerings. Our service area is Cumberland County, and as such, we must recognize the need for YMCA programs and services throughout the whole of Cumberland County. In order to best meet these community needs, while maintaining the health of the current organization, we must be creative, proactive and prudent in searching out new opportunities throughout this community. These opportunities may include the development of new YMCA facilities as well as stand-alone programs that will not require the establishment of new facilities. We must also develop an organized and supported mechanism for proactively dealing with new opportunities when various constituencies and communities bring these opportunities to us.

**Priority Five: *Develop a 5-Year Comprehensive Plan for Growth and Development:*** The Comprehensive Plan will provide the vital link between the separate planning components recommended herein, i.e. the Strategic Plan, Business Operations Plan, Facilities Master Plan, Growth Management Plan, Financial Development Plan and Marketing Plan. A 5-Year Plan is needed which will coordinate and prioritize the needs arising from these various plans.

## A Vision for the YMCA

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The Cumberland County YMCA is a respected membership and social service organization with many decades of success in providing its mission. The YMCA is also a community of dedicated staff and volunteers who, through the organization, commit and work to cultivate opportunities for advancing its mission. The YMCA is proud of its past and is working to invest in its future so that opportunities continue to grow for the children, families and communities in which it serves.

### *A Distinctive Organization of Value, Worthy of Preservation and Investment*

The Cumberland County YMCA has steadily grown and evolved over the past 150 years. While the mission has also evolved, one constant remains - the YMCA's commitment to uniquely serve its community. The YMCA is a distinctive organization that delivers many exceptionally valuable services and resources to the community and continually seeks ways to grow the services it offers. The YMCA is an organization where the community's investment is a *great* investment and will be returned many times over in the reward of having strong kids, strong families, and strong communities. This unique and distinctive history and its success in growing its service distinguish the Cumberland County YMCA as an *organization of value, worthy of preservation and investment*.

### *An excerpt from the Annual Meeting of the Cumberland County YMCA, 2010:*

*" ... and as we celebrate the opening of our newest branch, the successful operations of our Portland branch, and the full-funding of the new "Teen Agenda Endowment Fund", we look back over the past decade at what we have achieved. In retrospect, it is clear that the strategies this organization pursued relative to the advancement of our mission and organizational structure, have paid off in handsome dividends: sustainable fiscal strength, a substantially increased membership and support base, and increased service value to the community. As we now look to the future, we should look at our recent past as a "model" for new strategic direction ... "*

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## GOALS & INITIATIVES

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- 1) **Responsible Fiscal Management** – To operate our facilities in a fiscally responsible manner, ensuring the availability and continuity of programs and services.
  
- 2) **Quality Board and Staff Development** – To commit to developing a full and active Board Development committee, charged with the task of recruiting and retaining the highest quality board members and volunteers to support our mission, programs and services. To recruit and retain the highest quality staff and leadership to support our missions and programs.
  
- 3) **Prudent Facility and Service Development** – To provide the appropriate facilities needed to conduct programs and services that best serve our members throughout Cumberland County and to explore opportunities to provide needed services throughout Cumberland County without the need for new YMCA facilities.
  
- 4) **Program Management and Development** – To provide high quality, collaborative programs that build spirit, mind and body in individuals and families in each of the communities we serve.
  
- 5) **Organizational Image Enhancement** – To heighten the community image of the Cumberland County YMCA.
  
- 6) **Implementation** – To identify a process in which the Cumberland County YMCA’s Board of Directors and Committees will address the components of this Strategic Plan pertaining to their work and develop specific, coordinated working plans to achieve identified goals and initiatives.



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**Goal # 1 Responsible Fiscal Management**

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**To operate our facilities in a fiscally responsible manner, ensuring the availability and continuity of programs and services.**

- I. Operations** - Develop a model for the organization, which supports our mission and draws upon our skills and reputation as a social service organization, to support our urban-based flagship. Encourage and assist the development of additional branches where warranted within Cumberland County. [Branch Advisory Committee/Branch Staff, Spring 2003]
- II. Provide a stable financial environment in which to operate.**
- A. Develop responsible and achievable budgets. [*Finance Committee, June 2003*]
- Create an 2002-2003 budget with flat revenue growth.
  - Balance expenses to income (with no loss).
- B. Balance the budget every year. [*Finance Committee, Ongoing*]
- Continue with above budgeting strategy each year.
- C. Develop an annual revenue stream that is more in line with the national trends for YMCAs. [*Financial Development Committee*]
- Expand the YMCA Benefit Drive [*Spring 2003*]
    - Establish a standing, year-round YBD Committee with strong volunteer leadership and involvement (3-year minimum term, 10-year maximum term).
    - Utilize the LA Red Book as a model for year-round financial development.
  - Increase contributed income to at least 20% in five years. [*At end of five years*]
    - Utilize a 3-part contributed income model: (approximately \$300,000 each)
      - Approximately 1/3 from United Way
      - Approximately 1/3 from grants (federal, corporate, private, etc.)
      - Approximately 1/3 from YMCA Benefit Drive
  - Conduct grant writing program with an established goal of approximately \$300,000 per year. [*At end of fiscal year 2004*]
    - Recruit volunteer or commissioned grant writers for special opportunities
  - Clearly define the revenue sharing between the branches. [*Fall 2002*]
    - Each branch will establish a budget that includes operating expenses, capital expenses, contribution to branch reserve, and contribution to corporate reserve (corporate contribution amount based on percentage formula). The surplus will be used at the discretion of the Cumberland County YMCA Board.
    - Corporate Reserve Contribution will be made. The Finance Committee will develop this formula. [*Finance Committee, Fall 2002*]

D. Retire Bank Debt from recent years as part of any capital campaign that is undertaken. *[Finance Committee, July 2002 – 2005]*

- Develop a \$200,000 reserve fund to cover our annual operating needs.
- \$2000,000 will be accumulated over 5 years through the budgeted reserve funding. *[July 2005]*

F. Finance Committee will develop a Business Operating Plan designed to achieve the goals and initiatives of this Strategic Plan. *[Finance Committee, Summer 2003]*

- Support healthy regional - both urban and suburban - membership growth, market share, program development, and service delivery and support system.
- The basis of this plan should be to "shift" the financial standard from one of marginal independence to one of sound, long-term stability.

**III. Program Analysis – Analyze programs now in place and those anticipated in order to determine whether or not the YMCA should be providing this service to the community: *[Program Committee]***

A. Utilize the following criteria to analyze new and existing programs: *[Year End 2003]*

- Is there a quantifiable need in the community? (Utilizing objective data gathered by either the United Way for social services or the YMCA for health and recreation.)
- Do we do a good job delivering this service?
- Can we deliver the service in a way that does not weaken, but rather strengthens our financial structure?
  - Use the financial model developed by the Portland Advisory Committee and the model used by the YMCA of the USA to determine the profitability of all product lines.

B. All programs, new and existing, must meet these benchmark criteria before initiated or permitted to continue.

- A Program Committee will be formed to oversee this review process on an ongoing basis. *[Year End 2002]*

C. For both new and existing programs, staff will explore collaborations with other organizations within the community providing similar services. *[Staff, Ongoing]*

- This collaboration will avoid duplication of services within the community.
- Additional resources from collaborating organizations will provide heightened service to participants.

- IV. **Financial Development** – Utilize the Financial Development Committee to provide leadership for a fund raising campaign, but only after other short-term cash flow and debt service issues have been addressed. [Financial Development Committee, unless otherwise noted]
- A. Issues of immediate concern include:
- Securing the Osher gift offer.
    - Meet with Mrs. Osher and her accountant in September 2002.
  - Partnering with the Libra Foundation and other major funders (ie. federal/state/city government, United Way and private foundations) in the funding of new initiatives.
    - [*Financial Development Committee, Start Summer 2002 and Ongoing*]
    - Create a master plan for Camp. [*Camp Committee, June 2003*]
  - Continuing the Heritage Club activities for the future. [*Financial Development and Endowment Committees, June 2003*]
    - Work with specialists to develop long-term strategy for the Heritage Club (including increased marketing and promotion).
- B. The Financial Development Committee should assist in the development of a five-year capital needs plan as the basis for a major capital Campaign and determine an appropriate timeline.
- Have completed needs assessment, cost estimates, campaign timeline, strategy and leadership by 2002 year end (for a 2003 year end start). [*Spring 2003*]
- C. The Financial Development Committee will create a specific Financial Development Plan to address the coordination of fundraising initiatives, including: grants (private, corporate and government), corporate sponsorships, events, endowment, etc.
- V. Invest in optimizing member services through technology.
- A. Be more efficient in serving members by using updated software and adequate hardware.
- B. Funding to be sought to make this upgrade possible. [*Staff, Financial Development Committee, Year End 2002*]

## Goal #2      **Quality Board and Staff Development**

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**To commit to developing a full and active Board Development Committee, charged with the task of recruiting and retaining the highest quality board members and volunteers to support our mission, programs and services. [*Board Development Committee*]**

3-3j

- I. Clearly define the role of the Board members. Build Board structure to support the future goals of the organization. *[October 2002]*
  
- II. Commit to year a round Board Development Program by Corporate and branches to ensure larger, more diverse and committed boards. *[October 2002]*
  
- III. Assign volunteers to committees based on aptitude and interest- then encourage and empower them to develop their individual areas consistent with the overall long-term plan of the organization. Empower committees to resolve issues and to act on their decisions. *[Spring 2003]*
  - A. Engage a YMCA of the USA board consultant to assist in creating a working plan.
  
- IV. The Board should reflect the diversity of the community served by the YMCA. *[Fall 2003]*
  
- V. Clearly recognize the Executive Committee as the working committee of the Board that is responsible for gathering and evaluating both information and opportunities for the Board. *[Ongoing]*
  - A. As this Strategic Plan is adopted and given to Committees for implementation, it is role of the Executive Committee to manage the Plan (i.e. to assign tasks and monitor progress of the various groups). *[Ongoing]*
  - B. The Executive Committee is also responsible for the accumulation of information and presentation to the full board for consideration. *[Ongoing]*
  - C. Ad Hoc committees may occasionally be appointed to research special projects, such as a capital fund drive. *[As needed]*
  
- VI. Organize a fall retreat to address the question of our core vision, how we link our core values and the mission of the YMCA with our business plans to maintain and grow the success of this organization. *[Executive Committee, Fall 2002]*
  - A. Caring, honesty, respect and responsibility are our core values. These, combined with our mission statement, clearly tell the community what the YMCA is all about.
  - B. A fall retreat should be used to generate board unity on how we address these values in making business decisions.

VII. Clearly state that, as a not-for-profit organization, each Board member is responsible for actively participating both as a contributor and in a leadership position in the fundraising activities of the Cumberland County YMCA. This includes the Youth Benefit Drive and other activities related to the annual fundraising goals of the organization. *[Board Development Committee, Executive Committee, Ongoing]*

**Recruit and retain the highest quality staff and leadership to support our missions and programs.** *[Human Resources Committee]*

I. Finalize CEO selection decision *[December 2002]*

II. HR Mission – Define, document and communicate the Human Resources mission in support of the overall YMCA vision. *[December 2002]*

III. HR Functions and Accountabilities – Define, document and communicate the primary Human Resources functions and accountabilities in support of HR Mission.

A. Develop sop's for HR functions including: recruitment, selection, orientation, development, job evaluation, performance management, and pay *[December 2003]*

IV. HR Scorecard - Develop Human Resources mission-critical metrics, priorities and performance standards for assessing HR's contribution to organizational performance.

A. Begin regular (e.g., quarterly) performance reporting to Board of Directors. *[December 2003]*

V. Develop and Implement Organization-wide Performance System

A. Design scorecards for all Leadership Roles. Develop measures, priorities and performance standards for assessing contribution to organization performance (i.e., for CEO, CFO, ED and Director level positions) *[December 2003]*

B. Upgrade staff review program and process. *[December 2003]*

C. Develop organization-wide recognition and reward 'pilot' program. *[December 2003]*

VI. Develop a New Hire Orientation Program. *[December 2003]*

VII. Training and Development

- A. Develop HR education, training, and skills inventory for use in performance appraisal, career pathing, etc. *[December 2003]*
- B. Develop HR Learning Center - A clearinghouse for employee learning resources and opportunities (courses, videos, library, etc.). *[December 2003]*
  
- VIII. Job Evaluation – Update and communicate job evaluation program and process. *[December, 2003]*
  
- IX. Internal Communications – Develop mechanism(s) for providing on-going communications with staff.
  - A. HR newsletter *[December 2003]*
  - B. Idea sharing sessions - semi-annual, with board involvement *[December 2003]*
  - C. Employee opinion survey *[December 2002]*
  - D. Leadership effectiveness survey *[December 2003]*
  
- X. Diversity – Continue to staff the organization to reflect the diversity of the communities we serve. *[Ongoing]*
  
- XI. Best Practice Organization – Continue to align the organization's HR programs and practices with the core concepts and criteria held up as best practices by quality organizations.
  - A. Apply for Margaret Chase Smith Quality Award. *[December 2005]*

**Goal # 3 Prudent Facility and Service Development**

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To provide the appropriate facilities needed to conduct programs and services that best serve our members throughout Cumberland County as well as to explore opportunities to provide needed services without the need for new YMCA facilities.

- I. **Physical Plant-** It is the core to all that we do. We program using our assets. We must make them a priority to upgrade, upkeep and expand as the need arises.

- A. Conduct a review of current and anticipated programs to assess the facility needs required for the proper running of these programs. *[Branch Advisory Committee/Branch Staff, Summer 2003]*
- B. Utilizing the information gathered through the above review process, conduct a comprehensive facilities needs analysis and establish a priority rating system. Include reviews of: *[Responsible for all of II. B., unless otherwise noted: Branch Advisory Committee/Branch Staff, Fall 2003]*
- Explore the possibility of a new Greater Portland flagship facility that enhances our programming in all areas.
    - Reestablish the Facilities Expansion Committee to conduct a market study, community patterns and areas of potential support in Greater Portland. *[Executive Committee, Year End 2002]*
    - Comprehensive facility and Campus plan for Forest Avenue.
      - Branch Advisory Committee and House Committee to develop program and facility plan to best fit community needs. *[Summer 2003]*
    - Internal physical separation of membership and resident services.
      - Relocate Residence Lounge to a resident floor. *[Branch Advisory Committee/Branch Staff and Residence Committee, Year End 2003]*
    - Improved and more convenient member services
      - Include redesign of membership services area in above facilities plan. *[Plan complete in Spring 2003]*
  - Explore the needs of Casco Bay for a phase two development including increase locker space, gymnasium, etc.
    - Update Needs Assessment, establish priorities and cost estimates to be included in Capital Campaign. *[Spring 2003]*
  - Consider requests for inclusion by surrounding communities.
    - Develop a mechanism within the Facilities Expansion Committee to review all opportunities for new branch development and service provision. *[Facility Expansion Committee, Year End 2002]*
      - Review will include studies of financial feasibility and financial impact on existing branches.
      - Costs for facility/service expansion must include costs for upkeep of existing branches.
- C. Facilities Expansion Committee and Program Committee collaborate in developing a Facilities Master Plan that will assess both current and future programs and the facilities needed to successfully provide them (based on above review). *[Facility Expansion and Program Committees, Year End 2003]*
- Establish a prioritized list of needs and opportunities.

- Detail the mechanism with which to handle new branch opportunities.
  - This plan will encompass the goals and initiatives of this Strategic Plan and will become the working plan of these committees.
  - As a subset of this Facilities Plan, develop a Growth Management Plan.
    - Identify that controlled growth is instrumental to the organization's short-term and future success.
    - Steer growth in a fashion so that all growth will result in tangible contributing value to the organization, increasing the financial strength of the Y (considering the possibility that the development of suburban branches may benefit/support the inner city YMCA).
    - Address the idea that spontaneous organizational growth can, in some cases, put the organization at risk. Development of this plan should be a first priority so that "opportunities" are not missed by way of lack of a plan.
- D. Develop a master plan of all organizational plant needs to use as a cornerstone of the fund raising plan. *[Financial Development Committee, June 2003]*
- Information to be included in the capital campaign process.

#### **Goal # 4      Program Management and Development**

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**To provide high quality, collaborative programs that build spirit, mind and body in individuals and families in each of the communities we serve.**

- I.      Program Analysis – Conducted by the Program Committee *(please see Goal #2, III.)*
- II.     **Wellness** - Wellness programming must be the best in the area to meet the needs of the under served markets with convenient programs that create long-term involvement in the YMCA. It is our number one revenue source, and until replaced, we must protect and enhance it through programming. *[Program Committee, Spring 2003]*
- Develop wellness programs to serve the 'ready to be fit' market, rehabilitation programs and specialized programs for specific populations.
  - Focus attention on families, providing programming for children and adults at the most convenient times.
- A. Formulate membership goals. *[Membership Committee, Spring 2003]*



(For Greater Portland)

- Assess demographics of the community, as well as program and service competition, within a 5-mile radius of the Forest Avenue facility.
- Assess membership goals based on the population served.
  - Focus will be placed on the demographic components currently under-served within the community (not served by the competition) and those that will provide the greatest benefit to the YMCA (greatest return on investment through long-term membership, fee-based revenue, contributed revenue or new opportunities for organizational partnerships)

(For Casco Bay)

- Assess demographics of the community, as well as program and service competition, within a 5-mile radius of the Casco Bay facility.
- Create comprehensive family programming to maintain a high percentage of family memberships.

B. Get and retain members by providing top-notch programming at affordable prices. *[Fall 2003]*

- Membership experience
  - Health and fitness
  - Improve wellness operation
  - Boost programming
  - Aquatics
- Plan at least one new equipment upgrade annually at each facility. *[Fiscal Year 2002-2003 and Ongoing]*

C. Comprehensive study needs to be completed to determine the best location for future recreational sports and aquatic activities. *[Facilities Expansion Committee, Year End 2003]*

- Include the undertaking of this study in the Facilities Expansion Committee agenda.

D. Collaborate with other organizations that provide services to youth and families throughout our service area. *[Branch Advisory Committee/Staff, Ongoing]*

**III. Social Service programming**

**A. Residence** – United Way identified as Need for Affordable Housing and need for increased short-term housing (shelters). We should continue to meet this priority need

within the community and aggressively pursue opportunities to expand this service. *[Residence Committee, unless otherwise noted]*

- A major revenue source and a service we deliver well.
  - Complete feasibility study to expand housing opportunities at Forest Avenue facility. *[Spring 2003]*
- Consider expansion of program to more onsite and offsite housing. *[Spring 2003]*
- Deal with logistical conflicts with childcare by providing totally separate and non-overlapping spaces.
  - Relocate childcare to off-site location and undertake new construction to create a separate Residence entrance. *[Childcare Committee, Immediate]*
- Develop a tax-leveraged program to assist area homeless in a way that is compatible with existing residence programs.
  - Work with local communities to identify potential areas of collaboration regarding housing that are consistent with the YMCA's mission and skills (best fit). *[Social Service Committee, Fall 2003]*

A. **Childcare** – A priority need of the community, this is broken into two parts. *[Childcare Committee, unless otherwise noted, Year End 2002]*

- In-house Childcare: Re-evaluate the space needed and the resources devoted to it in comparison to the benefit derived. Remove this line of service from Greater Portland facility.
  - The plan to determine the feasibility of relocating off-site is in process.
- After School Care: This is a good source of revenue, but is in an ever increasingly competitive environment.
  - Explore the potential to provide this service in smaller communities, collaborating with those school systems.
- Use the Greater Portland physical plant assets to enhance its programming and provide a competitive advantage.
  - The childcare business lines will include aquatics and sports programming in the curriculum.

B. **Teens** – Explore efforts internally and with other service providers to meet the expanding needs of our diverse inner-city population. *[Social Service Committee]*

- Adopt the Teen Action Agenda, as recommended by the YMCA of the USA, that establishes the goal of serving one in five teens by 2005. *[Summer 2005]*
- Provide a separate youth fitness center for ages 8-17, featuring developmentally appropriate equipment and programming with a fun and exciting environment. *[Fall 2002]*

3-39

- This center will serve 200 youth-visits per week at each branch, with an emphasis on wellness and combating the growing trend of teen obesity. *[Year End 2002]*
- (Greater Portland) Maximize new teen center as a way of attracting this age group to other Y offerings. Recruit teens as volunteers. *[Immediate]*
- C. **Seniors** – Dedicate a space for seniors and provide appropriate programming for this growing group. *[Social Service Committee, December 2002]*
  - (Greater Portland) Reemploy the space vacated by the on-site childcare to provide social opportunities for older adults. *[Year End 2002]*
  - Continue to develop recreation and wellness programs for this market. *[Staff, Ongoing]*
- D. **Camp** – A facility that enhances the YMCA experience and programming. *[Camp Committee]*
  - Should be separated from branch activity and managed as a service provided to all branches. *[July 2002]*
  - Transition from Otter Pond to Sebago Lake. Clearly an opportunity that will serve generations to come with the best physical facility in the state on Maine's premier lake. *[Summer 2004]*
    - The Camp Committee is currently working with the Portland Water District to determine the feasibility of the new site as compared to the current site at Otter Pond.
    - Will develop a master plan for the future off-site camp at either Sebago Lake or at Otter Pond (current site). A consultant from the YMCA of the USA will be utilized in the creation of this plan.
  - Broaden the collaboration of camp staff with other organizations (camps) in the community. *[Ongoing]*
    - Explore the opportunity to provide camping possibilities in collaboration with the YWCA, the Boys & Girls Club, Big Brothers Big Sisters and others.
  - Evaluate effectiveness of on-site camps. *[Spring 2003]*
    - Implement a cost-accounting study.
  - Evaluate the Pineland opportunity. *[Fall 2002]*
    - Work with the Libra Foundation and Boulos Properties to create a service agreement that provides a break-even or better budget for the YMCA as well as positive relationship with the Libra Foundation.

**Goal #5      Image**

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**Heighten the community image of the Cumberland County YMCA.**

*[Public Relations Committee]*

- I.      **Public Relations Efforts** – To generate top of mind awareness and understanding of both the social service and membership role of the Y within the community.
  - A. Implement a year-round Public Relations campaign, spearheaded by the Public Relations Committee. *[Immediate]*
    - Maximize coverage of ongoing membership and social service activities as well as special event.
    - Work in concert with the Financial Development Committee to generate press coverage leading up to and following key fundraising events and campaigns.
  - B. Pursue member and social service balance in Public Relations efforts. *[Ongoing]*
    - Format the Public Relations campaign so that it promotes both membership services (which drive revenue) and social service programs (which generate and support the case for funding).
  - C. Aggressively recruit representatives of the media as board volunteers. *[Fall 2002]*
    - The Public Relations Committee will address this task.
  
- II.     **Community Collaborations** – Establish partnerships with organizations and individuals within the community to develop increased visibility and awareness.  
*[Branch Advisory Committee/Branch Staff]*
  - A. Broaden collaboration with local social service providers and funding sources such as United Way. *[January 2003]*
    - Identify local social service agencies with which the YMCA can collaborate to improve or increase services to the community.
  - B. Assign a board member as liaison to a local legislator or member of local government council. *[Spring 2003]*
    - The Public Relations Committee will match appropriate board members to act as liaisons with identified ‘Community Movers & Shakers’ (utilizing current ‘Movers & Shakers’ list).
    - Board members will provide regular communication with the assigned community member.
  
- III.    **Marketing Plan** – The Public Relations Committee will develop a Marketing Plan that effectively melds the Public Relations and Community Relations efforts identified here (to be updated annually). *[Public Relations Committee, Summer 2002]*

**Goal #6      Implementation**

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To identify a process in which the Cumberland County YMCA's Board of Directors and Committees will address the components of this Strategic Plan that pertain to their work and to develop a specific, comprehensive working plan to achieve the identified goals and initiatives.

- I.      Timeline - Each committee responsible for a task outlined in this Strategic Plan should, as its first official act, review and either accept or change the timeline as presented here. *[Fall 2002, Each Committee, Executive Committee]*
  
- II.     Combine this Strategic Plan with the additional plans recommended within (ie. Facilities Master Plan, Business Operations Plan, Growth Management Plan, Financial Development Plan and Marketing Plan) to create the Comprehensive Plan. *[Executive Committee, Post-Strategic Planning Committee]*

September 25, 2002

To All Board Members:

After the two workshop meetings with the Board on the Strategic Plan draft, the following issues were identified as areas needing a bit more work. The Committee identified the following issues and we reviewed, discussed and incorporated them into the plan document. A summary of the changes from the draft you all have follows. We now present you with our work and hope you find it a plan worth adopting. We look forward to our discussion at our meeting on Thursday.

**1. Issue Raised: The plan needs to recommend a process the Board will use to help evaluate the opportunities that lie ahead. When the committees develop recommendations, what is process by which decisions get made?**

**Committee Recommendation: Insert the following language.**

Goal #2, Quality Board and Staff Development.

V. Clearly recognize the Executive Committee as the working committee of the Board that is responsible for gathering and evaluating both information and opportunities for the Board.

A. As this Strategic Plan is adopted and given to Committees for implementation, it is role of the Executive Committee to manage the Plan (i.e. to assign tasks and monitor progress of the various groups).

B. The Executive Committee is also responsible for the accumulation of information and presentation to the full board for consideration.

C. Ad Hoc committees may occasionally be appointed to research special projects, such as a capital fund drive.

**2. Issue Raised: Are these timelines placed upon the various initiatives realistic? If not make them so and then expect people to live by them.**

**Committee Recommendation: Staff has revised the dates. Insert the following language.**

Goal #6, Implementation

I. Timeline - Each committee responsible for a task outlined in this Strategic Plan should, as its first official act, review and either accept or change the timeline as presented here.

**3. Issue Raised:** We have never really identified the core values of the organization. Please provide a mechanism whereby we can explore and discuss them as a group in order to articulate what they really are. After all, they are why we are, and we should measure all of our opportunities against these values. I think we recommend a discussion as part of a retreat.

**Committee Recommendation:** It is our understanding that caring, respect, honesty and responsibility are our core values. These combined with our mission statement, tell the community what we are all about. A fall retreat may be in order. As part of that retreat, it would be good to address the question of core vision. Insert the following language.

Goal #2, Quality Board and Staff Development

VI. Organize a fall retreat to address the question of our core vision, how we link our core values and the mission of the YMCA with our business plans to maintain and grow the success of this organization.

A. Caring, honesty, respect and responsibility are our core values. These, combined with our mission statement, clearly tell the community what the YMCA is all about.

B. A fall retreat should be used to generate board unity on how we address these values in making business decisions.

**4. Issue Raised:** Each committee that takes on its share of implementing this plan must evaluate its opportunities within the context of the needs in the community. This may require an independent needs assessment study on one hand, or a reliance on the United Way needs assessment done last spring, but each opportunity must be evaluated in the broader community context.

**Committee Recommendation:** Change the following language.

Goal #1, Responsible Fiscal Management

III. Program Analysis\*

A. Utilize the following criteria \*.

- Is there a quantifiable need in the community? (Utilizing objective data gathered by either the United Way for social services or the YMCA for health and recreation.)

**5. Issue Raised:** In the section on the Board's role we need to articulate clearly that it is a primary function of the Board members to raise money. For all Board members we must make it clear that fund raising is part of the obligation as a Board member.

3.3v

**Committee Recommendation: Insert the following language.**

Goal #2, Quality Board and Staff Development

VII. Clearly state that, as a not-for-profit organization, each Board member is responsible for actively participating both as a contributor and in a leadership position in the fundraising activities of the Cumberland County YMCA. This includes the Youth Benefit Drive and other activities related to the annual fundraising goals of the organization.

Sincerely,

Fred Palmer  
Chairperson



## Uses of Existing Property Owned By The Greater Portland YMCA

Over the past 80 years, the Y has acquired a number of pieces of property. Below is a breakdown of each property with its current use and proposed use.

70 Forest Avenue: The main facility includes the 1927 and 1966 buildings. The current uses and the future uses will remain the same. What will change is type of programming that will be offered to meet the membership's changing needs. The proposed changes will not increase the size of the membership over historical numbers. Currently the GPY membership is approximately 2,500 members down slightly from our busiest years. The Y will be expanding its youth and family programming to make our programs more relevant to the needs of the community.

The programs and services offered at the Y:

1. General membership fitness programming. This includes, swimming, racquet sports, gym sports, fitness, yoga, dance, running biking, weight training and exercise
2. Day care and after school programs. The Y provides wide range of programming for school age children
3. Teen Center: The Y in conjunction with the city has open a new teen center focused of fitness and educational programming
4. Youth and Family: The Y offers a wide range of fitness and educational programming.
5. Day Camps: During the school year and vacations, the Y offers a wide range of day camping programs both on site and off site.
6. Housing: The Y currently offers 86 hotel SRO rooms for men. A majority of the residents are low income and receive some type of housing assistance. This program has been part of the Y's mission for over 100 years. The Y provides a number of on site and off site services to its residents including membership to the Y.
7. Office and Staff: The Y maintains all of its staffing and offices in the facility. This includes the Executive Director, Program Directors, Accounting and clerical functions

High Street Apartment Houses: The Y owns three apartment houses on High Street. The buildings have been acquired over the years with different uses planned.

1. 207 High Street. This was purchased in December 2003 with the express purpose of operating it as an apartment building. It was acquired with 100% financing and there are no plans to demolish it. While the building is not very pretty looking on the outside the interior is in excellent condition. This building will serve as the upper anchor to the Y property with future plans to rehabilitate the exterior when funding becomes available.
2. 217 High Street was acquired in 2000 with 100% financing. The structure consists of three apartments, which are used as part of the SRO housing program. Currently there are 11 residents who reside there. They will be relocated into the new building on 70 Forest Ave. as part of the redevelopment plan.
3. 219-221 High Street. This vacant two sided structure was un-inhabited prior to acquisition and remains so today. It was acquired with the intent to be demolished. 219 was given to the Y in December 1989 and 221 was acquired in August 1989 for \$80,000. It has been the Y's understanding that these former HUD properties had been condemned by the city. Based upon a site visit it was determined that 219 had three apartments and 221 had 5 apartments. As part of the Y's redevelopment plan, this structure is slated for demolition.

Parking Lots: The Y owns three parking lots, two on High Street and one remote lot on Sherman Street.

1. 209-215 High Street, the "upper lot", is currently used for parking. This lot has two driveways and an amazing parking layout providing 12-15 parking spaces. The plan is to reconfigure this lot in to a safer lay out and eliminate one of the driveways.
2. 223-233 High Street, the "lower lot", is currently used for parking and dumpster storage. This lot contains over 20 parking spaces of which two handicap parking spaces are on a 8% grade. The plan is to reconfigure this lot by eliminating one driveway, connecting it to the upper lot and creating three legal handicap parking spaces.
3. Sherman Street Lot: This 10 to 12 parking space remote lot is used for staff and resident parking. There are no plans to change that use.

96 Forest Avenue: This lot has been used as a playground for the daycare and after school programs. The Y has no plans to change this use.

3.4.15

Greater Portland YMCA  
Facility Usage Summary by Department - Existing Conditions

Tuesday, January 27, 2004

Space Name	Department	Allocated Sq. Feet	% of Bldg. Gross Total Sq. Feet	Area/Use Factor	Adjusted Sq. Feet	Adjusted % of Total Adjusted
<b>BASEMENT</b>						
B YIP/YAP	YGW	1,701	1.49%	1.00	1,701	2.08%
B Men's Locker Room	Membership	2,261	1.98%	1.00	2,261	2.76%
B Laundry Room	Building Services	238	0.21%	1.00	238	0.29%
B Maintenance Garage	Building Services	1,021	0.89%	0.25	255	0.31%
B Unassigned Basement/Mechanical	Building Services	11,797	10.33%	0.25	2,949	3.60%
B Unexcavated Basement/Chases	Building Services	14,826	12.99%	0.05	741	0.90%
<b>Total Working Basement</b>		<b>31,844</b>	<b>27.89%</b>		<b>8,146</b>	<b>9.94%</b>
<b>Usable Basement Floorplate</b>		<b>17,018</b>	<b>20.26%</b>			
<b>FIRST FLOOR</b>						
1 Misc. Circulation	Youth and Family	739	0.65%	1.00	739	0.90%
1 Arts & Crafts Studio	Youth and Family	548	0.48%	1.00	548	0.67%
1 Teen Wellness Center	Youth and Family	1,619	1.42%	1.00	1,619	1.98%
1 Y&F Multi-Purpose Room 1	Youth and Family	1,527	1.34%	1.00	1,527	1.86%
1 Y&F Multi-Purpose Room 2	Youth and Family	1,152	1.01%	1.00	1,152	1.41%
1 Teen Center (former Bowling Alley)	Youth and Family	2,090	1.83%	1.00	2,090	2.55%
1 Teen Computer Lab	Youth and Family	168	0.15%	1.00	168	0.21%
1 Supervisor's Office	Youth and Family	136	0.12%	1.00	136	0.17%
1 Bowling Alley Back Hall	Building Services	736	0.64%	0.50	368	0.45%
1 Community Room	Youth and Family	1,418	1.24%	1.00	1,418	1.73%
1 Residence Lounge	Residence	371	0.32%	1.00	371	0.45%
1 Residence Director	Residence	209	0.18%	1.00	209	0.26%
1 GP CEO Office	Administration	177	0.16%	1.00	177	0.22%
1 Front Desk/Office	Administration	440	0.39%	1.00	440	0.54%
1 Fitness Director	Fitness	80	0.07%	1.00	80	0.10%
1 Men's Toilet Room	Building Services	116	0.10%	1.00	116	0.14%
1 Space Under Small Pool	Building Services	2,043	1.79%	0.25	511	0.62%
1 Front Entry/Lobby	Building Services	888	0.78%	1.00	888	1.08%
1 Membership Fitness Area	Fitness	1,817	1.59%	1.00	1,817	2.22%
1 Cardio/Fitness Area	Fitness	1,021	0.89%	1.00	1,021	1.25%
1 Malcom Pool	Aquatics	5,553	4.86%	1.00	5,553	6.78%
1 Boy's Pool Locker Room	Aquatics	922	0.81%	1.00	922	1.13%
1 Girl's Pool Locker Room	Aquatics	546	0.48%	1.00	546	0.67%
1 Pool Entrance Hall	Aquatics	64	0.06%	1.00	64	0.08%
1 Aquatics Office	Aquatics	98	0.09%	1.00	98	0.12%
1 Squash and Racketball Courts	Sports & Recreation	2,992	2.62%	1.00	2,992	3.65%
1 Malcom Desk & Entrance Hall	Membership	524	0.46%	1.00	524	0.64%
1 Membership Office	Membership	342	0.30%	1.00	342	0.42%
1 Maintenance Office (1/2)	Building Services	126	0.11%	1.00	126	0.15%
1 Camp Director's Office (1/2)	Camp	126	0.11%	1.00	126	0.15%
1 Maintenance Storage Closet	Building Services	114	0.10%	1.00	114	0.14%
1 Unassigned Space & Circulation	Building Services	2,539	2.22%	1.00	2,539	3.10%
<b>Total Working First Floor</b>		<b>31,241</b>	<b>27.36%</b>		<b>29,341</b>	<b>35.81%</b>
<b>Usable First Floor Floorplate</b>		<b>29,198</b>	<b>34.76%</b>			
<b>SECOND FLOOR</b>						
2 Upper Pool	Aquatics	5,553	4.86%	0.50	2,777	3.39%
2 Pool Spectator Seating Area	Aquatics	1,472	1.29%	1.00	1,472	1.80%
2 Upper Squash & Racketball Courts	Sports & Recreation	2,992	2.62%	0.50	1,496	1.83%
2 Former Girls Locker Room	Building Services	537	0.47%	1.00	537	0.66%
2 Storage Corridor (Malcom)	Building Services	291	0.25%	1.00	291	0.36%
2 Upper Office (by Squash Courts)	Sports & Recreation	288	0.25%	1.00	288	0.35%
2 Gymnasium	Sports & Recreation	4,747	4.16%	1.00	4,747	5.79%
2 Sports & Recreation Office (1/2)	Sports & Recreation	329	0.29%	1.00	329	0.40%

3.4.c

2	School Age Childcare Office (1/2)	Childcare	329	0.29%	1.00	329	0.40%
2	Finance Office Suite	Corporate	523	0.46%	1.00	523	0.64%
2	Human Resources	Corporate	250	0.22%	1.00	250	0.31%
2	CC CEO Office	Corporate	296	0.26%	1.00	296	0.36%
2	Studio A / Aerobics / Wellness Room	Fitness	1,632	1.43%	1.00	1,632	1.99%
2	Women's Locker Room	Membership	1,882	1.65%	1.00	1,882	2.30%
2	Men's Locker Room	Membership	2,333	2.04%	1.00	2,333	2.85%
2	Family Locker Room	Membership	1,004	0.88%	1.00	1,004	1.23%
2	Men's Toilet	Building Services	110	0.10%	1.00	110	0.13%
2	Instructional Pool	Aquatics	2,478	2.17%	1.00	2,478	3.02%
2	Maintenance Closet	Building Services	200	0.18%	1.00	200	0.24%
2	Unassigned Space & Circulation	Building Services	2,575	2.26%	1.00	2,575	3.14%
<b>Total Working Second Floor</b>			<b>29,821</b>	<b>26.12%</b>		<b>25,549</b>	<b>31.19%</b>
<b>Usable Second Floor Floorplate</b>			<b>21,276</b>	<b>25.33%</b>			

**THIRD FLOOR**

3	Upper Gymnasium	Sports & Recreation	4,747	4.16%	0.50	2,374	2.90%
3	Projection Room	Administration	194	0.17%	1.00	194	0.24%
3	Residential Units and Circulation	Residence	5,441	4.77%	1.00	5,441	6.64%
<b>Total Working Third Floor</b>			<b>10,382</b>	<b>9.09%</b>		<b>8,009</b>	<b>9.78%</b>
<b>Usable Third Floor Floorplate</b>			<b>5,635</b>	<b>6.71%</b>			

**FOURTH FLOOR**

4	Residential Units and Circulation	Residence	5,441	4.77%	1.00	5,441	6.64%
<b>Total Working Fourth Floor</b>			<b>5,441</b>	<b>4.77%</b>		<b>5,441</b>	<b>6.64%</b>
<b>Usable Fourth Floor Floorplate</b>			<b>5,441</b>	<b>6.48%</b>			

**FIFTH FLOOR**

5	Residential Units and Circulation	Residence	5,441	4.77%	1.00	5,441	6.64%
<b>Total Working Fifth Floor</b>			<b>5,441</b>	<b>4.77%</b>		<b>5,441</b>	<b>6.64%</b>
<b>Usable Fifth Floor Floorplate</b>			<b>5,441</b>	<b>6.48%</b>			

<b>BUILDING WORKING/ADJUSTED TOTALS</b>			<b>114,170</b>	<b>100.00%</b>		<b>81,926</b>	<b>100.00%</b>
<b>Usable Building Floorplate</b>			<b>84,009</b>	<b>100.00%</b>			

Memorandum  
Department of Planning and Development  
Planning Division

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**To:** Chair Delogu and Members of the Portland Planning Board

**From:** Barbara Barhydt, Senior Planner

**Date:** March 5, 2004

**Re:** YMCA Conditional Rezoning Agreement at 70-88 Forest Avenue and 209 to 233 High Street (Tax Map 36, Block G, lots 20 through 25)

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**I. INTRODUCTION**

The Cumberland County YMCA is requesting a conditional rezoning agreement for 70 to 88 Forest Avenue and 209 to 233 High Street to construct a building with thirty-two (32) efficiency units at 231 High Street and to add a new entrance and lobby area facing High Street for the main YMCA facility. This is the third workshop on the proposal. In addition to considering a conditional rezoning, the Planning Board will review the proposal under the City's subdivision, site plan and replacement housing ordinances. The revised contract is included as Attachment A with the proposed map amendment, and a copy of the February 10, 2004 staff memo is included for your reference as Attachment L.

**II. REVISIONS TO THE DEVELOPMENT PROPOSAL**

The site plan has been revised to reflect the comments received at the February 10, 2004 workshop. Jim Seymour is the engineering consultant for the YMCA. His March 3, 2004 letter addresses the changes to the site plan (Attachment B) and the revised site plan is included as Attachment C. The proposed parking lot now has thirty parking spaces and the handicapped spaces meet ADA standards. A drop-off area is proposed near the building entrance. The end islands in the parking lot have flush mounted granite curb, so that buses and emergency vehicles can enter the site. A black aluminum fence with brick piers is proposed along High Street to separate the parking area from the sidewalk. The applicant is proposing a High Street crosswalk with curb-line extensions (curb bump-outs). The crosswalk lines up with the proposed membership entrance of the YMCA and the northerly corner of Sherman Street.

At the February 10, 2004 workshop, the applicant presented revised elevations for the single-room occupancy (SRO) building at 231 High Street and for the addition to the main YMCA structure. The site elevations, floor plans, and proposed building elevations are included as Attachments D, E, and F, respectively. Brick is proposed for the SRO with brick lintels above double hung windows. Additional fenestration has been added to the building to enhance its appearance and compatibility with neighboring residences. The building is proposed as a four-story structure with a flat roof. Attachment G shows the height of the structure in relation to the grades along High Street.

The YMCA addition will serve as the primary entrance for membership services. The building addition runs parallel to High Street and will be built in brick with steel columns at the entrance. A standing seam roof will be visible from High Street. The applicant is researching roof material options, but seeks to achieve the traditional appearance of a lead roof with a dull gunmetal steel color. The fenestration for the addition has changed from a commercial look with large plate glass panels to a more residential pattern with a series of double-hung windows along the façade.

### **III. STAFF COMMENTS**

#### ***Traffic***

Portland's draft Peninsula Traffic Study recommends that High Street return to a two-way traffic configuration. If this recommendation is adopted, then the proposed curb extensions for the High Street crosswalk would need to be redesigned. Tom Errico, Portland's Traffic Engineer consultant, has reviewed the plans and his recommendations are contained in Attachment H. He suggests that the plan depict the curb extensions until the recommendations of the Peninsula study are finalized, at which time the plan can be revised if necessary. He also recommends appropriate warning signs be installed and that the Maine Department of Transportation review the crosswalk.

#### ***Engineering Review***

Steve Bushey, consulting Engineer, has done a preliminary review of the project, but has not reviewed the latest revisions. Mr. Seymour's letter (Attachment B) addresses Mr. Bushey's preliminary review dated 2/5/04, which is included as Attachment I for your reference.

#### ***Parking***

At the last workshop, the Planning Board requested the zoning administrator's evaluation of how many parking spaces would be required under current zoning. Marge Schmuckal's memo is included as Attachment J. If the standard for two parking spaces for each housing unit is applied for the net number of units to be created on the site then 55 additional spaces would be needed. If the lodging house standard is applied, then five additional parking spaces would be required to meet the standard of one space for every five rooming units. She does note that the YMCA is seeking a conditional rezoning agreement, thus the Planning Board has the authority to set the number of required spaces for this project. She notes that one space for every five units was the standard employed in the contract for the Logan Place SRO.

The applicant intends to provide more information about the parking needs of the facility. Current residents will be surveyed to determine how many own vehicles. In addition, members will be surveyed as to whether they walk, use public transit, or drive to the facility and if they drive, where do they park. The applicant will be submitting a revised parking management plan for the Board's review.

#### ***Building height***

The applicant submitted a building elevation showing the building heights in relation to the grades along High Street. Marge Schmuckal reviewed this information (Attachment K) and finds that it meets the height limits of the underlying R-6 zone. The applicant has indicated that the structure may need to be adjusted, so the contract zone allows for a maximum building height of 55 feet.

### **IV. CONDITIONAL REZONING AGREEMENT**

A revised conditional rezoning agreement is included as Attachment A for the Board's review and the conditions are found on pages three (3) through six (6). A brief summary of the conditions specific to this proposal are as follows:

- Prior to the issuance of demolition permits for the two apartment buildings, the owner shall comply with Portland's city code as required under the Preservation and Replacement of Housing Units ordinance;
- The four-story building will be built according to the submitted plans;
- The contract applies to all successors and assigns and any change in ownership requires the review of the Planning Board;
- The permitted uses include the following:
  - 86 rooming units at 70 Forest Avenue,;
  - 32 low-income efficiency apartments to be located at 231 High Street with laundry facilities, an office, a vestibule and common meeting rooms on the upper floors for the use of residents and staff only; and
  - The main building is permitted to have fitness facilities, day care and after-school programming, teen center, day camps, elder programs, office and staff facilities, teaching and educational programs, therapeutic services, and other membership and community services traditionally provided by the YMCA
  - A parking lot with a minimum of 30 spaces for use by the efficiency apartments, the SRO and members.
- Upon approval of the site plan for the project, the owner shall initiate the Parking Management Plan (*please note: this is pending*) and any additional parking management initiatives otherwise required by the Portland Planning Board during the review, with the goal of informing members, on an on-going basis, of the availability of off-street, off-site parking provided by the owner, including parking at the so-called Gateway Garage or any other parking lot under the control of the owner within a four block radius of the site.
- The entrance to 70 Forest Avenue will be primarily for residents of the existing facility and staff. The new entrance facing High Street will be the primary entry for members and guests.

The other conditions contained in the agreement are generally standard provisions.

#### **V. NEXT STEPS PRIOR TO THE PLANNING BOARD HEARING**

1. Applicant must hold a neighborhood meeting and submit the minutes to the Planning Office.
2. Submit a revised parking management plan;
3. Address the comments of Tom Errico, consulting Traffic Engineer
4. Steve Bushey will review the revised site plan.

#### **Attachments:**

- A. Revised Conditional Rezoning Agreement, including map amendment
- B. March 3, 2004 letter from James Seymour
- C. Revised Site Plan
- D. Site elevations
- E. Building floor plans for SRO
- F. Building elevations for 231 High Street
- G. Building elevation with heights
- H. Tom Errico's e-mail dated 3/5/04
- I. Steve Bushey's memo dated 2/5/04
- J. Marge Schmuckal's memo dated 2/24/04
- K. Marge Schmuckal's e-mail dated 3/5/04
- L. Barbara Barhydt memo from February 10, 2004 (without attachments)

**DRAFT**

**CONDITIONAL REZONING AGREEMENT**

**CCYLLC AND  
THE CUMBERLAND COUNTY YOUNG CHRISTIAN MEN'S ASSOCIATION**

**AGREEMENT** made this \_\_\_\_ day of \_\_\_\_\_, 2003 by \_\_\_\_\_, a Maine limited partnership with a place of business in Portland, Maine and the Cumberland County Young Men's Christian Association, known as the Cumberland County YMCA, a nonprofit corporation with a place of business in Portland, Maine, and each of their successors and assigns (hereinafter collectively "**OWNER**").

**W I T N E S S E T H**

**WHEREAS**, Cumberland County YMCA owns a parcel of land located at 70 through 88 Forest Avenue and 209 through 233 High Street in Portland, consisting of parcels shown on City of Portland Tax Map 36, Block G, Lots 20 through 25, and more particularly described in a deed from \_\_\_\_\_ and recorded in the Cumberland County Registry of Deeds in Book, \_\_\_\_\_ Page \_\_\_\_\_ (collectively the "**PROPERTY**"); and

**WHEREAS**, the parcel comprising the \_\_\_\_\_ ly section of the Site Plan, submitted by ----- dated ----- (Exhibit 1), denoted as "leased parcel" shall be leased by "CCYSRO, LP" (Leased Lot); and

**WHEREAS**, the entire parcel shown on the Site Plan and comprising (CBL \_\_\_\_\_) is owned by Cumberland County YMCA (Lot II); and

**WHEREAS**, the **OWNER** will demolish two existing apartment buildings, one at 217 High Street and the other at 219 to 221 High Street, which buildings are recorded by the City as



containing a total of seven (7) dwelling units and nine (9) rooming units, which buildings currently house \_\_\_ number of occupants; and

**WHEREAS**, the **OWNER** has requested a conditional rezoning of the Property in order to permit the development of thirty-two (32) low-income efficiency apartment units (the “**PROJECT**”); and

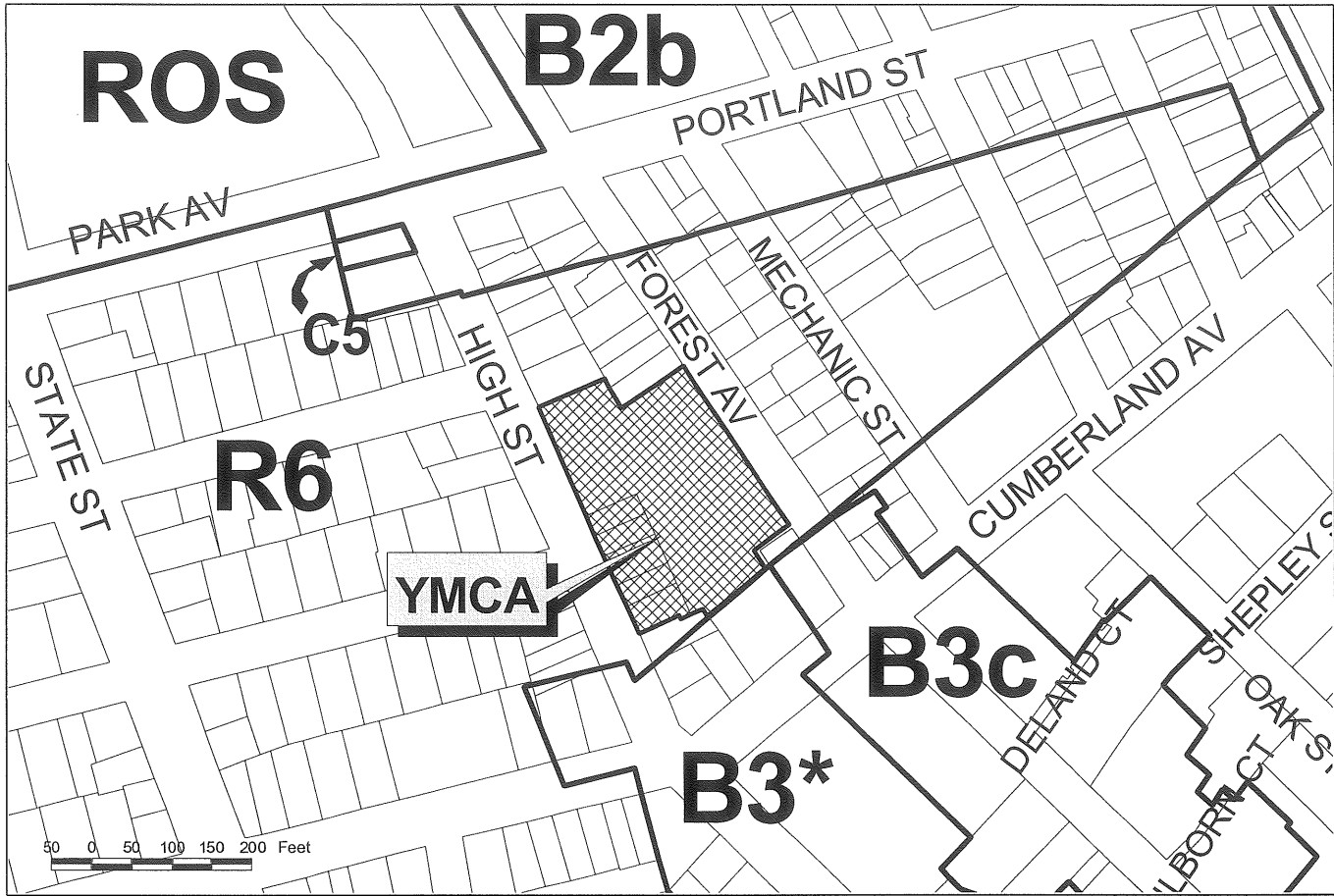
**WHEREAS**, the number of new housing units exceeds the number of housing units being demolished and, thus, the proposal complies with Portland’s Ordinance, Division 29. Preservation and Replacement of Housing Units, Portland City Code, Sec. 14-483 to 14-488; and

**WHEREAS**, the **OWNER** intends to maintain the current uses in the existing YMCA facility at 70 through 88 Forest Avenue, which include a day care facility, membership services (i.e. athletic facilities, educational opportunities, etc.), administrative offices, eighty-six (86) single room occupancy units, and also provides space for a variety of recreational, community and social services; and

**WHEREAS**, the **OWNER** will change the primary entrance for Cumberland County YMCA members from Forest Avenue to High Street, by adding a new entrance, lobby and waiting area on the High Street side of the building; and

**WHEREAS**, the parking lot along High Street will have a minimum of thirty (30) spaces and will be rebuilt with a maximum of two curb cuts and landscaping; and

**WHEREAS**, the Portland Planning Board has determined that the rezoning and proposed development would provide needed housing in the City for low income individuals, is consistent with the housing component of the Comprehensive Plan and would not have an adverse impact on the surrounding residential community; and



**PROPOSED CONDITIONAL REZONING  
for the YMCA Property, Forest Avenue**

Map prepared by the City of Portland's Department of Planning and Development and the GIS Workgroup March 2004

4. Execution of this Agreement binds the **OWNER**, and their successors and assigns, to the terms set forth in this Agreement.
5. Any change in ownership shall be brought to the Planning Board for its review and approval, but this requirement shall not apply to the granting of mortgages by **OWNER** or to the enforcement by the mortgagees of their rights under such mortgages.
6. Permitted Uses. **OWNER** shall be authorized to establish and maintain the following uses on the **PROPERTY**:
  - a. Eighty six (86) rooming units presently existing within the main YMCA building at 70 Forest Avenue (delineated as building \_\_\_ on the Site Plan), which rooming units share bathroom facilities and a common kitchen; and
  - b. A new four-story structure, containing thirty-two (32) low-income efficiency apartments<sup>1</sup> to be constructed over the existing High Street parking lot in the vicinity of 231 High Street (delineated as building \_\_\_ on the Site Plan). There shall be on site laundry facilities in the basement, an office and vestibule on the first floor and common meeting rooms on the three upper floors, only for use of residents and staff.
  - c. The following additional uses shall be permitted in the main building of the YMCA:
    1. Fitness facilities (including swimming, racquet sports, gym sports, yoga, dance, running, biking, etc);
    2. Day care and after school programming for school-age children;
    3. Teen center, focused on fitness, counseling and educational programs;
    4. Day camps for school age children, to be held during the school year and vacations;
    5. Elder programs;
    6. Office and staff facilities;
    7. Teaching and educational programs;
    8. Therapeutic services;
    9. Other membership and community services traditionally provided by the YMCA.
  - d. A minimum of thirty (30) dual use parking spaces (i.e. parking used by occupants of the efficiency apartments, the SRO and

---

<sup>1</sup> For purposes of this Agreement, “efficiency apartment” is defined as a self-contained living unit of not less than two hundred and fifty (250) square feet of living space, with a kitchen (containing at minimum, a kitchen sink, stove with an oven and refrigerator), and a bathroom. Occupancy of an efficiency apartment shall be targeted to one person.

members of the YMCA) on site will be provided as delineated in the parking layout plan attached hereto as Exhibit 3.

The uses specified herein supersede the otherwise permitted uses contained within the underlying Residential R-6 zone.

7. Upon approval of the Site Plan for the **PROJECT**, the **OWNER** shall initiate the Parking Management Plan outlined in Exhibit 4, and any additional parking management initiatives otherwise required by the Portland Planning Board during site plan review, with the goal of informing members, on an ongoing basis, of the availability of off-street, off-site parking provided by the **OWNER**, including parking at the so-called Gateway Garage, or any other parking lot under the control of the **OWNER** within a four block radius of the site.
8. The front entrance for the existing YMCA facility at 70 through 88 Forest Avenue will be used primarily for residents of the existing facility and the executive offices. A new entrance will be provided on High Street, which will primarily serve YMCA members and guests. The addition to the existing facility, as shown on the Site Plan, will create the new entrance, with a lobby and waiting area.
9. Performance guarantees will be required for entire buildout of the Site Plan shown on Exhibit 1. The amount and terms of such performance guarantee shall be determined by the Planning Authority at the time of Site Plan, Conditional Use and Subdivision approval of the project. The parking lot and landscaping, designated on Exhibit \_\_\_\_\_ shall be completed prior to the issuance of a Certificate of Occupancy. The cost of the curb extensions for a cross walk (as shown on the Site Plan) shall be included in a separate escrow account in favor of the City. If High Street is converted to a two-way street, prior to the installation of said curb extension, then the curb extensions shall not be required by the City, and the escrow money shall be returned to the **OWNER**.
10. **OWNER** shall be responsible for ongoing maintenance of the **PROPERTY**, including snow removal, salting, sanding, sweeping, lighting, trash pickup, maintenance, mowing, etc.
11. The **PROPERTY** will be developed substantially in accordance with the Site Plans and Elevations shown on Exhibit 1, submitted by ----- dated ----- . In addition to the space and bulk requirements of paragraph 12 below and the applicable provisions of Article IV (subdivisions) and Article V (site plan) of the Code, the development proposal shall show a unified design of the site, including the architecture, the layout of the buildings, pedestrian and vehicular circulation plan, open space, drainage, and the topography, soil conditions, vegetation, and other natural features of the site.
12. The Planning Board shall review and approve the project according to the Site Plan, Subdivision, and Conditional Use provisions of the Portland Land Use Code.

13. *Space and Bulk Requirements.* The following space and bulk requirements will apply to the efficiency apartment building (shown as leased lot on Exhibit 1):

- |   |                                      |
|---|--------------------------------------|
| a. Minimum lot size:                    | None.                                |
| b. Minimum area per dwelling (density): | 450 sq. feet                         |
| c. Minimum street frontage:             | 50 feet.                             |
| d. Minimum front yard:                  | none required.                       |
| e. Minimum rear yard:                   | Five (5) feet                        |
| f. Minimum side yard:                   | Five (5) feet                        |
| g. Minimum lot width:                   | 50 feet.                             |
| h. Maximum lot coverage:                | 100%                                 |
| i. Maximum structure height:            | 55 feet                              |
| j. Open space ratio:                    | none required                        |
| k. Parking requirements:                | minimum 30 parking spaces<br>on site |

14. **OWNER** agrees to maintain, in perpetuity, the rent levels and income requirements for the efficiency apartments as follows:

100% of units at 60% of Area Median Income.

The foregoing restriction on rent levels and income requirements will be secured by covenants and restrictions and conditions in any deeds conveyed out by **OWNER**.

15. In the event of a breach by **OWNER** or its successors or assigns of the zoning provisions contained herein (whether such breach is determined to have occurred by the Zoning Administrator, the Zoning Board of Appeals or a court), the Planning Board, after notice and hearing, may recommend to the City Council that the conditional rezoning and this Agreement be amended, or be rescinded, such rescinding to result in the termination of this Agreement and a reversion of the **PROPERTY** to the R-6 zone in place before the execution of this Agreement.

The above stated restrictions, provisions, and conditions are an essential part of the rezoning, shall run with the **PROPERTY**, shall bind and benefit **OWNER**, any entity affiliated with **OWNER** which takes title to the **PROPERTY**, their successors or assigns, and any party in possession or occupancy of said **PROPERTY** or any part thereof, and shall inure to the benefit of and be enforceable by the **CITY**, by and through its duly authorized representatives. The **OWNER** shall file a counterpart original of this Agreement in the Cumberland County Registry of Deeds.

If any of the restrictions, provisions, conditions, or portions thereof set forth herein should be for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed as a separate, distinct and independent provision and such determination shall not affect the validity of the remaining portions hereof.

In the event of a breach by **OWNER** or its successors or assigns of the zoning provisions contained herein (whether such breach is determined to have occurred by the Zoning Administrator, the Zoning Board of Appeals or a court), the Planning Board, after notice and hearing, may recommend to the City Council that the contract zone and this Agreement be amended, or be rescinded, such rescinding to result in the termination of this Agreement and a reversion of the **PROPERTY** to the underlying zone in place before the execution of this Agreement.

**WITNESS:**

**Cumberland County YMCA**

BY:

By:

\_\_\_\_\_

By \_\_\_\_\_

STATE OF MAINE  
CUMBERLAND, ss.

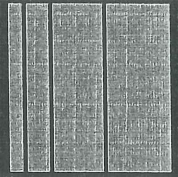
\_\_\_\_\_, 2003

Personally appeared before me the above-named-----, in his capacity as President of Cumberland County YMCA, , as aforesaid, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said organization, a non-profit entity.....

Before me,

---

Notary Public/Attorney at Law



AH 3

sebagotechnics.com

One Chabot Street  
P.O. Box 1339  
Westbrook, Maine  
04098-1339  
Ph. 207-856-0277  
Fax 856-2206

March 3, 2004  
98661

Barbara Barhydt, Planner  
City of Portland  
389 Congress Street  
Portland, ME 04101

**Proposed 32 Unit SRO & Facility Expansion-Contract Zoning/Site Plan  
Greater Portland YMCA- 70 Forest Avenue, Portland, Maine**

Dear Barbara:

Please find attached copies of the revised site plan for the Greater Portland YMCA addressing the issues raised in the February 5<sup>th</sup> letter from the review engineer, Steve Bushey, P.E. of Deluca Hoffman Associates. The following responses have been made in the same order as received:

1. We agree with the response that the demolition of the existing structures and reconstruction of the site will require much technical detail. We have discussed this with the YMCA and the design team and feel that these items can and will be addressed during the Site Plan process with the Planning Board. We are already beginning to draw plans, including Demolition Plans which include reviewing staging, storage, ledge removal, site preparation, and mobilization areas, as well as barricades and safety fencing from the general public. Site plans are addressing the improvements and grading along High Street, such as crosswalks, closing entrances, repairing curb and sidewalk, and looking at effects from this with the street drainage courses. We will provide technical details of all on-site and off-site improvements upon approval of the contract zone and when the plans are submitted for Site Plan Review.
2. We have revised and eliminated some parking spaces and shown the arrangement to be slightly more accessible. Furthermore, we have decided to develop end islands with flush mounted granite curb so that bus access and egress and emergency vehicle passage will not be prohibited. The entrance and exit will be constructed of brick or concrete, as a distinguishable yet durable material, to delineate the parking areas, but be able to handle the load of a large vehicle. Details will be submitted for review with the site plan process.



3. We have modified the building access and handicap access due to reconfiguration for parking. Two handicap spaces have been shown in conformance with ADA standards. The site is defined by its steepness and the proposed design attempts to mitigate the impact of the slopes near the entrance and drop-off area next to the newly proposed entrance to the existing YMCA building. We feel that the access aisles, drop-off areas, visibility improvement, and handicap parking in ADA compliance is a tremendous improvement over the current conditions.
4. Catch Basin CB-2 will have a different grate and rim configuration from typical. It will be designed to address the potential of rapid channeled runoff with a double grate. The selection has not been finalized due to the discussion of whether or not we need to provide bicycle-safe grates, or whether veined grates can be used. Veined grates with their slots catch higher velocity runoff better than flat slots, but can be problematic and twist bicycle tires causing accidents. Hydro-brakes will be considered if Public Works has concerns about regulating flows to the combined sewer. The projected stormwater will not increase above those in the existing condition.
5. We have revised the sewer service size to 8 inch SDR 35 pipe for the new SRO Building.
6. The Demolition Plans as addressed in Item 1 will address site preparation and safety concerns.
7. The reconstruction/repairs of City streets and sidewalks will be addressed in future Site Plan submittals as previously discussed in Item 1. We will address closure of existing entrances associated with the proposed to be demolished buildings, and also address replacement or restoration of all granite curbing and sidewalks along the street frontage.
8. The proposed Stormwater Treatment Tank (a/k/a Water Quality Unit) will likely be a 4 foot diameter Downstream Defender as manufactured by Hydro International of Portland, Maine. The structure will be fully contained within the property limits. The maintenance program for the stormwater infrastructure will adhere to the recommended manufacturer's Inspection and Maintenance Plan.
9. A cross walk with landing area has been shown on the current plan based on a traffic flow in High Street as one way. Conversations with Planning indicate future revisions to High street could create two-way traffic. We will wait to further hear from the staff as to how they wish us to proceed with a crosswalk at Sherman Street. We feel this is the most suitable location given the YMCA's other satellite parking lot located on the street and given sight distance from the controlled intersection at Cumberland Avenue. A bus drop area and drop-off area has been designed internally within the proposed parking lot. No drop-off areas are being considered along High Street at this time given the traffic flow, on street parking conditions, and typical excessive travel speed on High Street.

**CONDITIONAL REZONING AGREEMENT REQUEST**  
**FOR**  
**CUMBERLAND COUNTY YMCA AND CCYSRO, L.P.**  
**CUMBERLAND COUNTY YMCA**  
**Applicant**

Submitted to:

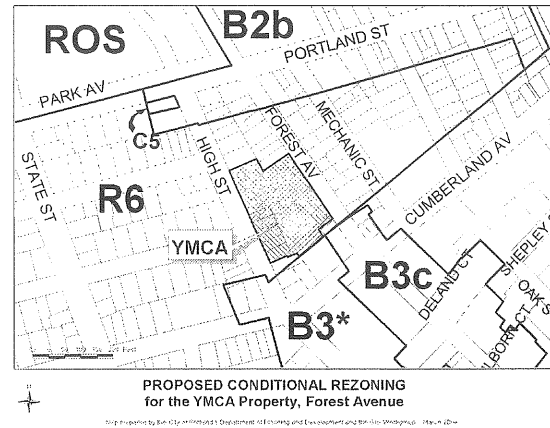
Portland Planning Board  
Portland, Maine

April 13, 2004

Prepared by:  
Barbara Barhydt, Senior Planner

## I. INTRODUCTION

The Cumberland County YMCA is requesting a public hearing before the Planning Board to present a conditional rezoning agreement for 70 to 88 Forest Avenue and 209 to 233 High Street. The Cumberland County YMCA is requesting a conditional rezoning agreement to construct a building with thirty-two (32) efficiency units at 231 High Street and to add a new entrance and lobby area facing High Street for the main YMCA facility. The proposed contract is included as Attachment A including the map amendment (also shown to the right).



This site is currently zoned R-6 and is adjacent to properties zoned B-3 and B-3c. The proposed conditional rezoning agreement will permit the proposed density of single-room occupancy units, a building height up to 55 feet and a parking management plan for the multiple uses of the site.

## II. FINDINGS

Property:	70-88 Forest Avenue and 209-233 High Street
Current Zoning:	R-6 Residential Zone
Proposed Zoning:	Conditional Rezoning Agreement
Land Area:	1.27 acres
Existing Use:	YMCA with membership services and 86 residential units. 16 units in two High Street Apartment Buildings
Proposed Use:	Add 32 units of efficiency apartments in a separate building; build a 2,221 square foot addition to the YMCA building for a new entrance; and create a redesigned parking lot.
Proposed Building Height:	55 feet
Proposed Density:	Minimum of 450 square feet of land area per dwelling unit
Land Uses in the Vicinity:	Residential, Business – office and retail, and Parking Garage.

## VII. DEVELOPMENT PLAN

### A. Overview

The Cumberland County YMCA is proposing to construct a building at 233 High Street with 32 efficiency units, also known as single room occupancy (SRO) units. Phase I of this proposal includes the demolition of two apartment buildings on High Street, the redesign of the parking lot and an addition to the main YMCA building for a new entrance facing High Street. The YMCA intends to upgrade the interior of the main building as a second phase pending a Capital Campaign in 2005. The YMCA submittal is included in the packet as a separate document (Attachment B). The master plan with its description of existing facilities and proposed redevelopment plan are found in Attachment B, page 4 through 17. Attachment B pages 39 and 40 contain the YMCA's Site Plan written statements and the site plans are found on Pages 73 through 81 of Attachment B. The components of the development plan for Phase I are outlined below.

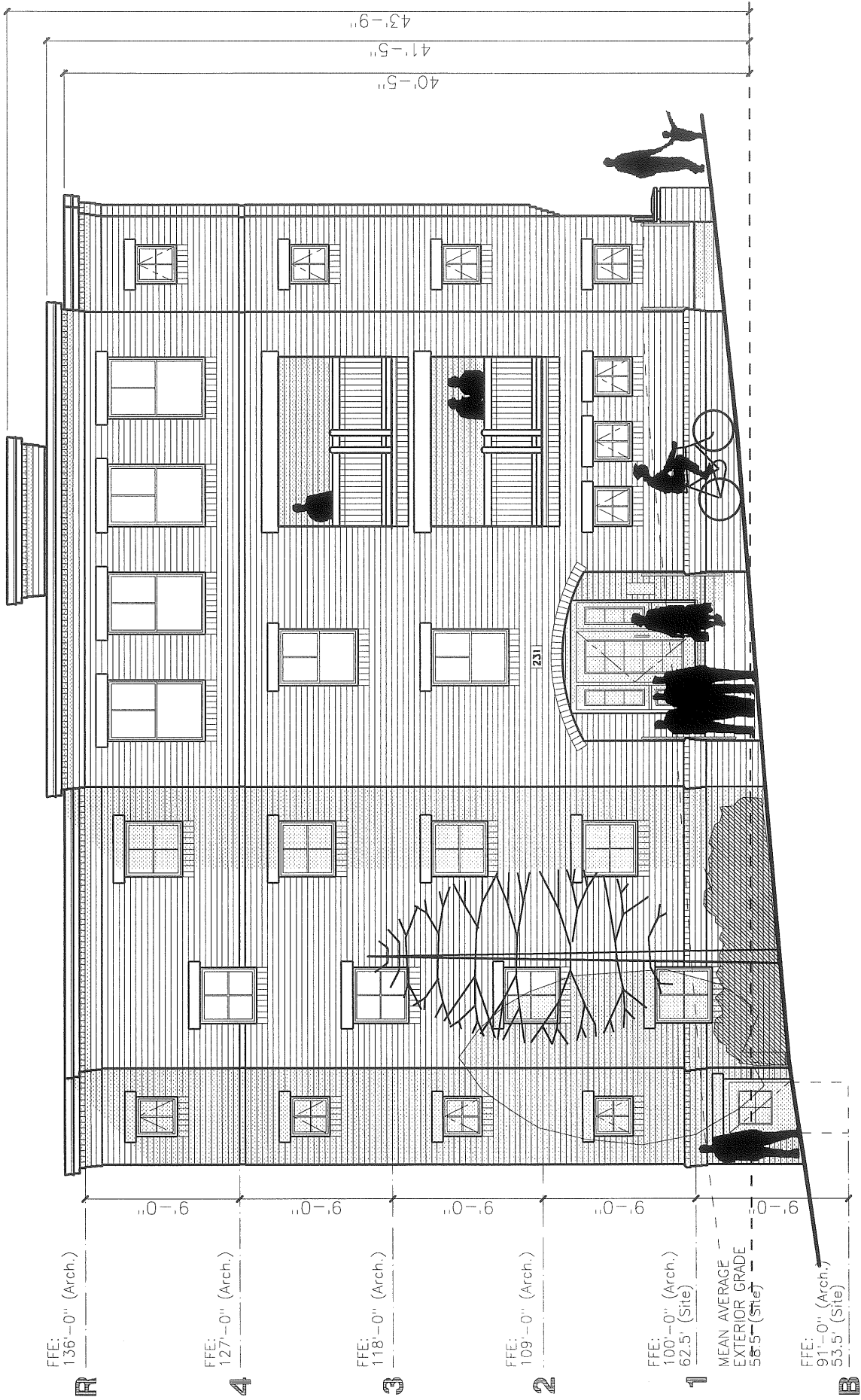
### G. SRO Building

The proposed SRO building will have eight units on each of the four floors, refer to Attachment B pages 78, 80 and 81. The building will be served by an elevator and a handicapped accessible unit will be located on each floor. Laundry facilities, mechanical rooms and a management meeting room are located in the basement. An office and vestibule are located on the first floor. A common room is found on each of the upper floors and a small balcony is provided on the second and third stories. Each unit will have a bathroom and kitchen area. The main YMCA building will continue to have 86 SRO units, so the overall residential density of this site is proposed at 450 square feet of land per unit.

The proposed four-story SRO will have a footprint of 4,184 square feet with a brick exterior, refer to site plan in Attachment B page 75. The structure will be located at the street line with granite steps leading to the front entrance. Two handicapped accessible doors are located on the side of the building adjoining the parking lot. The front entrance and one side entrance have entry areas with an arch articulated with brick soldier coursing. Each unit has a pair of double hung windows (two over one pane) and smaller windows (two over two) are used in the stairwells, hallways and the vestibule. All of the windows are framed with granite lintels and brick soldier coursing for the sills. The efficiency unit windows on the upper three floors (facing the parking lot) are slightly projecting bay windows. The building has a flat roof that is defined with a projecting eave and brick soldier coursing along the cornice. The proposed building is compatible with the adjoining residential neighborhood due to the overall residential design of the structure, the choice of building materials, and the greater articulation of the building faces.

The building height is proposed to be up to 55 feet. The applicant submitted a height analysis (Figure 1) to address questions regarding its proposed height and the impact on views from properties along Cumberland Avenue. Due to the grades of the site, the

Figure 1



FRONT BUILDING ELEVATION  
FROM HIGH STREET

building will be lower than the gable roof peaks of the buildings to be demolished.

#### **H. Demolition of Two Apartment Buildings**

The YMCA is proposing to demolish two apartment buildings on High Street in order to facilitate an addition to the rear of the YMCA facility at 70 Forest Avenue and the redesign of the parking lot (Attachment B, pages 74 and 75). The building at 217 High Street is occupied with single-room occupancy tenants. The YMCA will relocate these tenants into their main facility as vacancies arise. The building at 219-221 High Street is vacant. The applicant submitted an analysis from John Ryan, Wright Ryan Construction, on the feasibility of preserving or moving the building (Attachment B, pages 18-19 and pages 24-38). The City staff prepared a summary of the inspection history of the vacant properties, which is included in Attachment B, pages 20-23. The YMCA is willing to contribute the costs of demolition to anyone who is willing to move the building, but applicant has concluded that they cannot reuse or move the structure and meet their objectives for 32 units of SRO housing and a new handicapped accessible entrance to the YMCA.

The YMCA holds a third apartment building at 207 High Street. The YMCA intends to retain it as an apartment building and the proposed contract includes the following condition (#2):

In addition, as a condition of this contract, the **OWNER** agrees that it shall maintain the adjacent property at 207 High Street so as to prevent deterioration of the building located thereon, for as long as the **OWNER** shall own said property.

Marge Schmuckal has reviewed the history of the buildings (Attachment C) and has determined that there were 16 units of housing in the two buildings to be razed. The applicant is proposing to construct 32 SRO units to meet the City's need for type of housing unit. The applicant's Preservation and Replacement of Housing Plan is found on pages 18 and 19 of Attachment B and a copy of the Preservation and Replacement Housing Application is on pages 56-59 of the same attachment. The conditional rezoning agreement includes the following condition (excerpted from condition #2):

The **OWNER** will demolish two apartment buildings, one at 217 High Street and the other at 219 to 221 High Street. Prior to the issuance of the demolition permits, the **OWNER** shall provide to the City all information required by the Preservation and Replacement of Housing Units, Portland City Code, Sec. 14-483 to 14-488, shall comply with the requirements of said ordinance, and further ensures that all tenants of said buildings shall be offered replacement housing of a kind and quality similar to that being demolished.

#### **D. Addition to YMCA Facility and Redesign of the Parking Lot**

A 2,221 square foot addition is proposed for the rear of the YMCA facility. The addition creates a handicapped accessible entrance and lobby for the membership services, which will be parallel and face High Street. The exterior materials and design features for the

addition are as follows:

- Brick running bond for the exterior;
- Double hung windows (2 over 1 on the first floor and 2 over 2 on the second level);
- Granite lintels and brick soldier coursing for the sills;
- Standing seam roof system for the gable roof, arched entrance, and barrel roof over the second story;
- Steel support columns on brick piers;
- Painted metal rail with brick piers for the patio; and
- Raised brick surfaces for three vertical piers and one horizontal band between the first and second floors, which provide visual relief and shadow lines.

The design corresponds with the proposed building at SRO building and reflects the residential character of the adjoining neighborhood.

#### **E. Parking Lot and Site Improvements**

Currently, the YMCA has two parking lots along High Street with a total of four curb cuts. With the proposed demolition of the two High Street apartment buildings, the YMCA is proposed to redesign their parking area and frontage along High Street. The proposed SRO would be located in the lower lot and the area behind the main facility will become one parking area with a total of two curb cuts. The lot has twenty-nine parking spaces and a drop off area near the entrance. The drop-off area (considered to be the 30<sup>th</sup> space) is a short-term parking space (five or ten minute parking) and it may also be used for unloading buses. Three handicapped accessible spaces will be provided. It should be noted that the original site plan included 32 parking spaces. This number has been reduced in order to create a more “formal” entrance as requested by the neighbors and Portland Landmarks, to relocate the handicapped space near the entrance, and to modify the angled spaces to address the consulting Traffic Engineer’s and the Planning Board’s concerns about the tight layout and internal circulation.

A black aluminum fence with brick piers and masonry caps is proposed along High Street. Three trees will be planted to maintain the existing pattern of street trees and a mixture of bushes and perennials are proposed between the fence and parking lot. Additional landscaping is proposed around the perimeter of the parking area and along the YMCA facility. Four light poles (16 feet high) are proposed for the parking area. Please refer landscaping plan in Attachment B, pages 76 and 77 and the design details found in Attachment B pages 60 through 72 and page 79.

Curb-line extensions are shown for the proposed High Street crosswalk between Sherman Street and the YMCA site (Attachment B, page 75). If High Street becomes a two-way street as recommended in the pending Peninsula Traffic Study, then the curb-line extensions would need to be dropped from the plan. Proper warning signs should be installed by the applicant. The review by Tom Errico, consulting Traffic Engineer, are

found as Attachments D and E. Steve Bushey, Engineering Review Consultant, reviewed the plans and his memo is included as Attachment F. He states that the plan is satisfactory for consideration of a conditional rezoning. Mr. Bushey does identify some minor technical issues that can be resolved at the time of site plan and subdivision review, should the conditional rezoning be adopted.

#### **F. Parking Management Plan**

A parking management plan was submitted as part of this development proposal. The findings, conclusions and recommendations are found in Attachment B, pages 47 through 52. The applicant surveyed residents, employees and members regarding their use of vehicles to access the facility and proposed the following steps:

- Encourage member use of two free hours of parking at the Gateway Garage with promotions for free towels and drawings for free membership, lessons and lockers;
- Staff parking will continue to use the Sherman Street parking lot.
- The residents have one vehicle for every ten residents with an estimated need for two additional spaces. The plan states, “Through the combination of shared parking with members and staff in the High Street and Sherman Street parking lots the Y believes it can accommodate the resident parking demand.”

The contract calls for a minimum of thirty parking spaces on-site and a minimum of eleven off-site spaces. John Peverada is reviewing the parking management plan and his review will be available for the public hearing.

#### **IV. ZONING POLICY CONSIDERATIONS**

The underlying zone for this parcel is R-6 and the purpose of R-6 is as follows:

To set aside areas on the peninsula for housing characterized primarily by multifamily dwellings at a high density providing a wide range of housing for differing types of households; and to conserve the existing housing stock and residential character of neighborhoods by controlling the scale and external impacts of professional offices and other nonresidential uses.

The YMCA has submitted a comprehensive plan discussion, which identifies how the proposed development and conditional rezoning agreement conform to Portland’s Comprehensive Plan (Attachment B, pages 53 and 54). The Planning Staff concurs with the applicant’s evaluation and notes the following Comprehensive Plan goals and policies which also apply to this proposal:

- A Time of Change: Portland Transportation Plan – A goal of the plan is to link the transportation plan with land use planning policies in the City and region to guide decision-making for development and infrastructure investment. A supporting policy for this goal is to ensure that future growth does not foster auto



dependency.

**Proposal:** Due to the location of the YMCA near the Downtown, some of their members walk to the facility and only a few residents own cars. The applicant is proposing a bike rack in the parking lot and has a parking management plan to encourage member use of the parking garage.

- **Downtown Vision** - The overall goals contained in Downtown Vision include:
  - Preserve and enhance the livability and walkability of Downtown Portland for residents, workers, shoppers, and visitors.
  - Maintain and enhance the Downtown's prominence as the regional center for commerce, human services, historic resources, culture and the arts.
  - Encourage growth and development Downtown while preserving and strengthening the unique identity and character of the Downtown.
  - Achieve the highest quality urban experience through high standards of excellence for improvements to the physical environment, including new construction, building alterations, and the enhancement of the pedestrian environment.
  - Preserve and enhance the quality and vitality of neighborhoods within and adjacent to the Downtown.
    - Continue to offer, expand, and promote programs, which maintain and upgrade housing in the neighborhoods within and immediately surrounding the Downtown.
    - Implement zoning and development ordinances, which require the relocation of tenants displaced by new development, in locations within or adjacent to the Downtown. Where demolition is necessary to facilitate new growth consistent with the plan for the downtown, relocation of existing residential tenants must be carefully addressed.
  - Guide and position the Downtown in response to changing market conditions to maintain its vitality and strength to achieve the above stated goals.

**Proposal:** The proposed housing and facility improvements to maintain services at the YMCA enhance the livability of Portland's Downtown and adjoining neighborhoods. The City has enacted a Housing Replacement Ordinance and the applicant will provide downtown housing for those tenants to be relocated. By working with the neighborhood and Portland Landmarks, the applicant has improved the design, choice of materials, and streetscape to increase compatibility of this proposal with the Downtown and surrounding neighborhood.

- **Housing: Sustaining Portland's Future** - In addition to the applicant's assessment, the following goals and policies can be applied to this project:
  - Maintain and enhance the livability of Portland's neighborhoods as the City grows and evolves through careful land use regulations, design and public participation that respect neighborhood integrity.

- Encourage new innovative housing development, which is designed to be compatible with the scale, character, and traditional development patterns of each individual residential neighborhood.

***Proposal:*** As stated above, the overall proposal and improvements to its design have enhanced the quality the project and the livability of Portland. The proposed single room occupancy units offer an innovative approach to meeting a housing need in the community.

#### **Sec. 14-264. Contract or conditional zoning.**

A conditional or contract rezoning shall only be approved if, after public hearing and opportunity for public comment, the reviewing body finds that the applicant has carried the burden of proof to show that the proposed development meets the following standards:

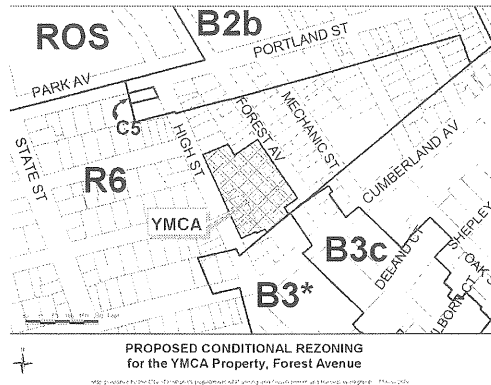
- (a) The proposed development is consistent with the comprehensive plan.
- (b) The proposed development is consistent with the purposes of this zone.
- (c) The proposed development is designed and operated so that it will prevent undue adverse environmental impacts, substantial diminution of the value or utility of neighboring structures, or significant hazards to the health or safety of neighboring residents by controlling noise levels, emissions, traffic, lighting, odors, and any other potential negative impacts of the proposal.
- (d) All plans must include complete information of processes, materials or methods of storage to be used by the development and shall specify how hazardous impacts to neighboring properties will be prevented.

#### **V. CONDITIONS FOR REZONING**

Staff has worked with the applicant to craft conditions for the rezoning to allow the density of housing sought for this site, to allow the new building to be built up to 55 feet in height, and to permit the parking management plan which includes 30 on-site spaces and 11 off-site spaces. The rezoning shall be subject to the following proposed conditions, as outlined in the executed agreement between the City and the applicant (included as Attachment A).

7. Effective upon the recording of this Agreement at the Cumberland County Registry of Deeds, but no later than sixty (60) days after the date of Portland City Council approval, the **CITY** hereby amends the Zoning Map of the City of Portland, dated December, 2000 (as amended from time to time and on file in the Department of Planning and Urban Development, and incorporated by reference into the Zoning Ordinance by § 14-49 of the Code) by adopting the map change amendment shown below. If this Agreement is not recorded by said date, then

the conditional rezoning shall be null and void, and the zoning of the **PROPERTY** shall revert to the pre-existing Residential R-6 zone.



8. The **OWNER** will demolish two apartment buildings, one at 217 High Street and the other at 219 to 221 High Street. Prior to the issuance of the demolition permits, the **OWNER** shall provide to the City all information required by the Preservation and Replacement of Housing Units, Portland City Code, Sec. 14-483 to 14-488, shall comply with the requirements of said ordinance, and further ensures that all tenants of said buildings shall be offered replacement housing of a kind and quality similar to that being demolished. In addition, as a condition of this contract, the **OWNER** agrees that it shall maintain the adjacent property at 207 High Street so as to prevent deterioration of the building located thereon, for as long as the **OWNER** shall own said property.
9. The **LEASED LOT** is to be developed with a single four-story building consisting of thirty-two (32) efficiency apartments as depicted on the attached Site Plan and Elevations, submitted by ----- dated -----, attached hereto as Exhibit 1.
4. Execution of this Agreement binds the **OWNER**, and their successors and assigns, to the terms set forth in this Agreement.
5. Any change in ownership shall be brought to the Planning Board for its review and approval, but this requirement shall not apply to the granting of mortgages by **OWNER**. to the enforcement by the mortgagees of their rights under such mortgages, or to any change of ownership due to the transfer to an entity that is a wholly owned subsidiary or related entity of **OWNER**.
6. Permitted Uses. **OWNER** shall be authorized to establish and maintain the following uses on the **PROPERTY**:
  - a. Eighty six (86) rooming units presently existing within the main YMCA building at 70 Forest Avenue (delineated as building \_\_\_ on the Site Plan), which rooming units share bathroom facilities and a common kitchen; and

- b. A new four-story structure, containing thirty-two (32) low-income efficiency apartments to be constructed over the existing High Street parking lot in the vicinity of 231 High Street (delineated as building \_\_\_\_ on the Site Plan). There shall be on site laundry facilities in the basement, an office and vestibule on the first floor and common meeting rooms on the three upper floors, only for use of residents, guests and staff.
- c. The following additional uses shall be permitted in the main building of the YMCA:
  - 7. Fitness facilities (including swimming, racquet sports, gym sports, yoga, dance, running, biking, etc);
  - 8. Day care and after school programming for school-age children;
  - 9. Teen center, focused on fitness, counseling and educational programs;
  - 10. Day camps for school age children, to be held during the school year and vacations;
  - 11. Elder programs;
  - 12. Office and staff facilities;
  - 13. Teaching and educational programs;
  - 14. Therapeutic services;
  - 15. Other membership and community services traditionally provided by the YMCA.
- d. A minimum of thirty (30) dual use parking spaces (i.e. parking used by occupants of the efficiency apartments, the SRO and members of the YMCA) on site will be provided as delineated in the parking layout plan attached hereto as Exhibit 3.

The uses specified herein supersede the otherwise permitted uses contained within the underlying Residential R-6 zone.

- 7. Upon approval of the Site Plan for the **PROJECT**, the **OWNER** shall initiate the Parking Management Plan outlined in Exhibit 4, and any additional parking management initiatives otherwise required by the Portland Planning Board during site plan review, with the goal of informing members, on an ongoing basis, of the availability of off-street, off-site parking provided by the **OWNER**, including parking at the so-called Gateway Garage, or any other parking lot under the control of the **OWNER** within a four block radius of the site.
- 8. The front entrance for the existing YMCA facility at 70 through 88 Forest Avenue will be used primarily for residents of the existing facility and the executive offices. A new entrance will be provided on High Street, which will primarily serve YMCA members and guests. The addition to the existing facility, as shown on the Site Plan, will create the new entrance, with a lobby and waiting area.

9. Performance guarantees will be required for entire buildout of the Site Plan shown on Exhibit 1. The amount and terms of such performance guarantee shall be determined by the Planning Authority at the time of Site Plan, Conditional Use and Subdivision approval of the project. The parking lot and landscaping, designated on Exhibit \_\_\_\_\_ shall be completed prior to the issuance of a Certificate of Occupancy. The cost of the curb extensions for a cross walk (as shown on the Site Plan) shall be included in a separate escrow account in favor of the City. If High Street is converted to a two-way street, prior to the installation of said curb extension, then the curb extensions shall not be required by the City, and the escrow money shall be returned to the **OWNER**.
  
10. **OWNER** shall be responsible for ongoing maintenance of the **PROPERTY**, including snow removal, salting, sanding, sweeping, lighting, trash pickup, maintenance, mowing, etc.
  
11. The **PROPERTY** will be developed substantially in accordance with the Site Plans and Elevations shown on Exhibit 1, submitted by ----- dated ----- . In addition to the space and bulk requirements of paragraph 12 below and the applicable provisions of Article IV (subdivisions) and Article V (site plan) of the Code, the development proposal shall show a unified design of the site, including the architecture, the layout of the buildings, pedestrian and vehicular circulation plan, open space, drainage, and the topography, soil conditions, vegetation, and other natural features of the site.
  
12. The Planning Board shall review and approve the project according to the Site Plan, Subdivision, and Conditional Use provisions of the Portland Land Use Code.
  
13. Space and Bulk Requirements. The following space and bulk requirements will apply to the efficiency apartment building (shown as leased lot on Exhibit 1):
 

g. Minimum lot size:	None.
h. Minimum area per dwelling (density):	450 sq. feet
i. Minimum street frontage:	50 feet.
j. Minimum front yard:	none required.
k. Minimum rear yard:	Five (5) feet
l. Minimum side yard:	Five (5) feet
m. Minimum lot width:	50 feet.
n. Maximum lot coverage:	100%
o. Maximum structure height:	55 feet
p. Open space ratio:	none required
q. Parking requirements:	minimum 30 parking spaces

on site, and at minimum, eleven (11) spaces at an off site lot 1
  
14. **OWNER** agrees to maintain, for a period of ninety years, the rent levels and income requirements for the efficiency apartments on the Leased Lot as follows:

---

<sup>1</sup> The current off site lot is located on Sherman Street.  
 O:\PLAN\REZONE\YMCA\PI Bdmreport\PBR8-04.doc

100% of units at 60% of Area Median Income.

The foregoing restriction on rent levels and income requirements will be secured by covenants and restrictions and conditions in any deeds conveyed out by **OWNER**.

15. In the event of a breach by **OWNER** or its successors or assigns of the zoning provisions contained herein (whether such breach is determined to have occurred by the Zoning Administrator, the Zoning Board of Appeals or a court), the Planning Board, after notice and hearing, may recommend to the City Council that the conditional rezoning and this Agreement be amended, or be rescinded, such rescinding to result in the termination of this Agreement and a reversion of the **PROPERTY** to the R-6 zone in place before the execution of this Agreement.

#### **VI. NEIGHBORHOOD MEETING**

A neighborhood meeting was held on March 7, 2004 and the minutes are included as Attachment G.

#### **VII. FINANCIAL IMPACT**

The Maine State Housing Authority has awarded a \$3.5 million dollar grant to the YMCA to create the 32 units of affordable housing. Evidence of the YMCA's financial capability, the lease the lot for the SRO to a limited partnership called CCYSRO, L.P., are found in Attachment B pages 41-44.

#### **VII. RECOMMENDATION**

The Planning Division supports the recommendation of this conditional rezoning agreement to the Portland City Council.

#### **VIII. MOTIONS FOR THE BOARD TO CONSIDER**

On the basis of plans and materials submitted by Cumberland County YMCA, the policies of the R-6 Zone, Comprehensive Plan, the information provided in Planning Board Report #8-04, and/or other findings as follows:

- VII. The Board finds that the proposed Contract Rezoning for the Cumberland County YMCA and CCYSRO, L.P. [is or is not] consistent with the Comprehensive Plan of the City of Portland and [meets or does not meet] the standards of 14-264 a through d. (Contract Rezoning). The Planning Board therefore [recommends or does not recommend] to the City Council approval of the proposed contract rezoning at 70 to 88 Forest Avenue and 209 to 233 High Street with the following condition:

- A. Warning signs for the crosswalk conforming with the Manual on Uniform Traffic Control Devices, Federal Highway Administration, shall be installed by the applicant. If the

Peninsula Traffic Study recommendations for two-way traffic on High Street are adopted, then the site plan shall be modified to eliminate the curb-line extensions for the High Street crosswalk.

Attachments:

- A. Proposed Contract Zone Text
- A. Applicant's Submittal (separate document in packet)
- C. Memo from Marge Schmuckal, dated February 24, 2004
- D. Tom Errico, Traffic Engineer, Wilbur Smith & Assoc., April 8, 2004
- E. Tom Errico, Traffic Engineer, Wilbur Smith & Assoc., April 8, 2004, follow-up
- F. Stephen Bushey, P.E., Consulting Review Engineer,
- G. Neighborhood Meeting Minutes

**DRAFT**  
**CONDITIONAL REZONING AGREEMENT**  
**CCYSRO, L. P. AND**  
**THE CUMBERLAND COUNTY YMCA**

**AGREEMENT** made this \_\_\_\_ day of \_\_\_\_\_, 2003 by CCYSRO, L.P., a Maine limited partnership with a place of business in Portland, Maine and the Cumberland County YMCA, formerly known as the Greater Portland YMCA and the Young Men’s Christian Association of Portland, Maine, a nonprofit corporation with a place of business in Portland, Maine, and each of their successors and assigns (hereinafter collectively “**OWNER**”).

**W I T N E S S E T H**

**WHEREAS**, Cumberland County YMCA owns a parcel of land located at 70 through 88 Forest Avenue and 209 through 233 High Street in Portland, consisting of parcels shown on City of Portland Tax Map 36, Block G, Lots 20 through 25, and more particularly described on the attached Exhibit A. (collectively the “**PROPERTY**”); and

**WHEREAS**, the parcel comprising the \_\_\_\_\_ly section of the Site Plan, submitted by ----- dated ----- (Exhibit 1), denoted as “leased parcel” shall be leased by “CCYSRO, L.P.” (Leased Lot); and

**WHEREAS**, the entire parcel shown on the Site Plan and comprising (CBL \_\_\_\_\_) is owned by Cumberland County YMCA (Lot II); and

**WHEREAS**, the **OWNER** will demolish two existing apartment buildings, one at 217 High Street and the other at 219 to 221 High Street, which buildings are recorded by the City as

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containing a total of seven (7) dwelling units and nine (9) rooming units, which buildings currently house \_\_\_ number of occupants; and

**WHEREAS**, the **OWNER** has requested a conditional rezoning of the Property in order to permit the development of thirty-two (32) low-income efficiency apartment units (the “**PROJECT**”); and

**WHEREAS**, the number of new housing units exceeds the number of housing units being demolished and, thus, the proposal complies with Portland’s Ordinance, Division 29. Preservation and Replacement of Housing Units, Portland City Code, Sec. 14-483 to 14-488; and

**WHEREAS**, the **OWNER** intends to maintain the current uses in the existing YMCA facility at 70 through 88 Forest Avenue, which include a day care facility, membership services (i.e. athletic facilities, educational opportunities, etc.), administrative offices, eighty-six (86) single room occupancy units, and also provides space for a variety of recreational, community and social services; and

**WHEREAS**, the **OWNER** will change the primary entrance for Cumberland County YMCA members from Forest Avenue to High Street, by adding a new entrance, lobby and waiting area on the High Street side of the building; and

**WHEREAS**, the parking lot along High Street will have a minimum of thirty (30) spaces and will be rebuilt with a maximum of two curb cuts and landscaping; and

**WHEREAS**, the Portland Planning Board has determined that the rezoning and proposed development would provide needed housing in the City for low income individuals, is consistent with the housing component of the Comprehensive Plan and would not have an adverse impact on the surrounding residential community; and

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**WHEREAS**, the Planning Board of the City of Portland, pursuant to 30-A M.R.S.A. § 4352(8) and Portland City Code (the “Code”) §§ 14-60 to 14-62 and 14-264, and after notice and hearing and due deliberation thereon, recommended the rezoning of the **PROPERTY**, subject, however, to certain conditions; and

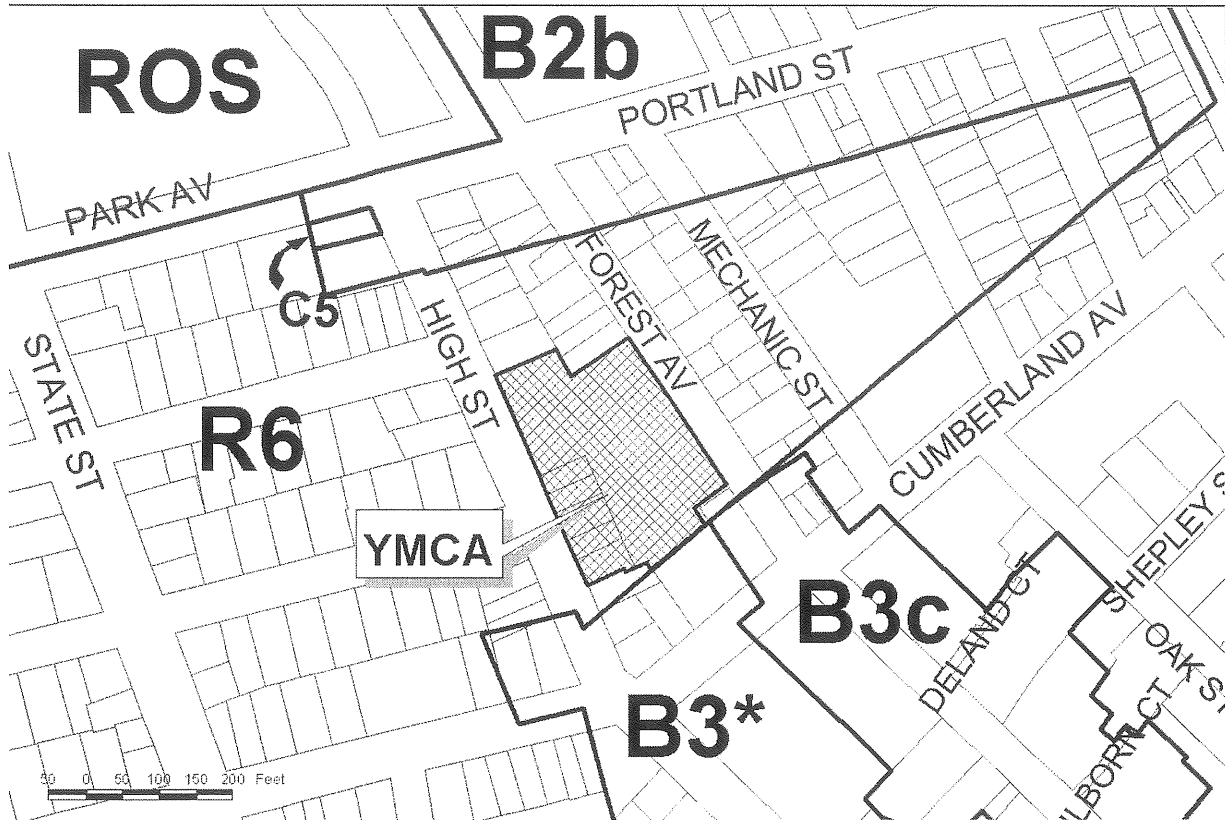
**WHEREAS**, because of the unusual nature and unique location of the proposed development, it is necessary and appropriate to have the following conditions and restrictions imposed on this development in order to ensure that the rezoning is consistent with the **CITY’S** Comprehensive Plan; and

**WHEREAS**, the City Council of the **CITY** authorized the execution of this Agreement on \_\_\_\_\_, 2004, by City Council Order No. \_\_\_\_\_, a true copy of which is attached hereto as Exhibit 2;

**NOW, THEREFORE**, in consideration of the rezoning, **OWNER** covenants and agrees as follows:

1. Effective upon the recording of this Agreement at the Cumberland County Registry of Deeds, but no later than sixty (60) days after the date of Portland City Council approval, the **CITY** hereby amends the Zoning Map of the City of Portland, dated December, 2000 (as amended from time to time and on file in the Department of Planning and Urban Development, and incorporated by reference into the Zoning Ordinance by § 14-49 of the Code) by adopting the map change amendment shown below. If this Agreement is not recorded by said date, then the conditional rezoning shall be null and void, and the zoning of the **PROPERTY** shall revert to the pre-existing Residential R-6 zone.

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**PROPOSED CONDITIONAL REZONING  
for the YMCA Property, Forest Avenue**

Map prepared by the City of Portland's Department of Planning and Development and the GIS Workgroup March 2004

2. The **OWNER** will demolish two apartment buildings, one at 217 High Street and the other at 219 to 221 High Street. Prior to the issuance of the demolition permits, the **OWNER** shall provide to the City all information required by the Preservation and Replacement of Housing Units, Portland City Code, Sec. 14-483 to 14-488, shall comply with the requirements of said ordinance, and further ensures that all tenants of said buildings shall be offered replacement housing of a kind and quality similar to that being demolished. In addition, as a condition of this contract, the **OWNER** agrees that it shall maintain the adjacent property at 207 High Street so as to prevent deterioration of the building located thereon, for as long as the **OWNER** shall own said property.
  
3. The **LEASED LOT** is to be developed with a single four-story building consisting of thirty-two (32) efficiency apartments as depicted on the attached Site Plan and Elevations, submitted by ----- dated -----, attached hereto as Exhibit 1.
  
4. Execution of this Agreement binds the **OWNER**, and their successors and assigns, to the terms set forth in this Agreement.

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5. Any change in ownership shall be brought to the Planning Board for its review and approval, but this requirement shall not apply to the granting of mortgages by **OWNER** to the enforcement by the mortgagees of their rights under such mortgages, or to any change of ownership due to the transfer to an entity that is a wholly owned subsidiary or related entity of **OWNER**.

6. Permitted Uses. **OWNER** shall be authorized to establish and maintain the following uses on the **PROPERTY**:

a. Eighty six (86) rooming units presently existing within the main YMCA building at 70 Forest Avenue (delineated as building \_\_\_ on the Site Plan), which rooming units share bathroom facilities and a common kitchen; and

b. A new four-story structure, containing thirty-two (32) low-income efficiency apartments<sup>1</sup> to be constructed over the existing High Street parking lot in the vicinity of 231 High Street (delineated as building \_\_\_ on the Site Plan). There shall be on site laundry facilities in the basement, an office and vestibule on the first floor and common meeting rooms on the three upper floors, only for use of residents, guests and staff.

c. The following additional uses shall be permitted in the main building of the YMCA:

1. Fitness facilities (including swimming, racquet sports, gym sports, yoga, dance, running, biking, etc);
2. Day care and after school programming for school-age children;
3. Teen center, focused on fitness, counseling and educational programs;
4. Day camps for school age children, to be held during the school year and vacations;
5. Elder programs;
6. Office and staff facilities;
7. Teaching and educational programs;
8. Therapeutic services;
9. Other membership and community services traditionally provided by the YMCA.

d. A minimum of thirty (30) dual use parking spaces (i.e. parking used by occupants of the efficiency apartments, the SRO and members of the YMCA) on site will be provided as delineated in the parking layout plan attached hereto as Exhibit 3.

---

<sup>1</sup> For purposes of this Agreement, “efficiency apartment” is defined as a self-contained living unit of not less than two hundred and fifty (250) square feet of living space, with a kitchen (containing at minimum, a kitchen sink, stove with an oven and refrigerator), and a bathroom. Occupancy of an efficiency apartment shall be targeted to one person.

The uses specified herein supersede the otherwise permitted uses contained within the underlying Residential R-6 zone.

7. Upon approval of the Site Plan for the **PROJECT**, the **OWNER** shall initiate the Parking Management Plan outlined in Exhibit 4, and any additional parking management initiatives otherwise required by the Portland Planning Board during site plan review, with the goal of informing members, on an ongoing basis, of the availability of off-street, off-site parking provided by the **OWNER**, including parking at the so-called Gateway Garage, or any other parking lot under the control of the **OWNER** within a four block radius of the site.
8. The front entrance for the existing YMCA facility at 70 through 88 Forest Avenue will be used primarily for residents of the existing facility and the executive offices. A new entrance will be provided on High Street, which will primarily serve YMCA members and guests. The addition to the existing facility, as shown on the Site Plan, will create the new entrance, with a lobby and waiting area.
9. Performance guarantees will be required for entire buildout of the Site Plan shown on Exhibit 1. The amount and terms of such performance guarantee shall be determined by the Planning Authority at the time of Site Plan, Conditional Use and Subdivision approval of the project. The parking lot and landscaping, designated on Exhibit \_\_\_\_ shall be completed prior to the issuance of a Certificate of Occupancy. The cost of the curb extensions for a cross walk (as shown on the Site Plan) shall be included in a separate escrow account in favor of the City. If High Street is converted to a two-way street, prior to the installation of said curb extension, then the curb extensions shall not be required by the City, and the escrow money shall be returned to the **OWNER**.
10. **OWNER** shall be responsible for ongoing maintenance of the **PROPERTY**, including snow removal, salting, sanding, sweeping, lighting, trash pickup, maintenance, mowing, etc.
11. The **PROPERTY** will be developed substantially in accordance with the Site Plans and Elevations shown on Exhibit 1, submitted by ----- dated ----- . In addition to the space and bulk requirements of paragraph 12 below and the applicable provisions of Article IV (subdivisions) and Article V (site plan) of the Code, the development proposal shall show a unified design of the site, including the architecture, the layout of the buildings, pedestrian and vehicular circulation plan, open space, drainage, and the topography, soil conditions, vegetation, and other natural features of the site.
12. The Planning Board shall review and approve the project according to the Site Plan, Subdivision, and Conditional Use provisions of the Portland Land Use Code.
13. *Space and Bulk Requirements.* The following space and bulk requirements will apply to the efficiency apartment building (shown as leased lot on Exhibit 1):

- a. Minimum lot size: None.

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- b. Minimum area per dwelling (density): 450 sq. feet
- c. Minimum street frontage: 50 feet.
- d. Minimum front yard: none required.
- e. Minimum rear yard: Five (5) feet
- f. Minimum side yard: Five (5) feet
- g. Minimum lot width: 50 feet.
- h. Maximum lot coverage: 100%
- i. Maximum structure height: 55 feet
- j. Open space ratio: none required
- k. Parking requirements: minimum 30 parking spaces  
on site, and at minimum, eleven (11) spaces at an off site lot <sup>2</sup>

14. **OWNER** agrees to maintain, for a period of ninety years, the rent levels and income requirements for the efficiency apartments on the Leased Lot as follows:  
100% of units at 60% of Area Median Income.

The foregoing restriction on rent levels and income requirements will be secured by covenants and restrictions and conditions in any deeds conveyed out by **OWNER**.

15. In the event of a breach by **OWNER** or its successors or assigns of the zoning provisions contained herein (whether such breach is determined to have occurred by the Zoning Administrator, the Zoning Board of Appeals or a court), the Planning Board, after notice and hearing, may recommend to the City Council that the conditional rezoning and this Agreement be amended, or be rescinded, such rescinding to result in the termination of this Agreement and a reversion of the **PROPERTY** to the R-6 zone in place before the execution of this Agreement.

The above stated restrictions, provisions, and conditions are an essential part of the rezoning, shall run with the **PROPERTY**, shall bind and benefit **OWNER**, any entity affiliated with **OWNER** which takes title to the **PROPERTY**, their successors or assigns, and any party in possession or occupancy of said **PROPERTY** or any part thereof, and shall inure to the benefit of and be enforceable by the **CITY**, by and through its duly authorized representatives. The **OWNER** shall file a counterpart original of this Agreement in the Cumberland County Registry of Deeds.

<sup>2</sup> The current off site lot is located on Sherman Street.

If any of the restrictions, provisions, conditions, or portions thereof set forth herein should be for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed as a separate, distinct and independent provision and such determination shall not affect the validity of the remaining portions hereof.

In the event of a breach by **OWNER** or its successors or assigns of the zoning provisions contained herein (whether such breach is determined to have occurred by the Zoning Administrator, the Zoning Board of Appeals or a court), the Planning Board, after notice and hearing, may recommend to the City Council that the contract zone and this Agreement be amended, or be rescinded, such rescinding to result in the termination of this Agreement and a reversion of the **PROPERTY** to the underlying zone in place before the execution of this Agreement.

**WITNESS:**

**Cumberland County YMCA**

BY:

By:

By \_\_\_\_\_

STATE OF MAINE  
CUMBERLAND, ss.

\_\_\_\_\_, 2003

Personally appeared before me the above-named----, in his capacity as President of Cumberland County YMCA, , as aforesaid, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said organization, a non-profit entity.

Before me,

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\_\_\_\_\_  
Notary Public/Attorney at Law

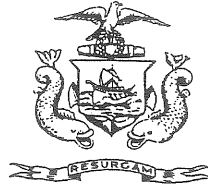
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Att. ~~A~~ C

Department of Planning & Development  
Lee Urban, Director

Administrator



## CITY OF PORTLAND

TO: Barbara Barhydt, Senior Planner

FROM: Marge Schmuckal, Zoning Administrator

SUBJECT: Parking requirements under existing Zoning Ordinance as would apply to the newly proposed 32 unit SRO for the YMCA – 036-G-020 – R-6 zone

DATE: February 24, 2004

Barbara,

I have researched our files for the legal uses of other structures on site. Those legal uses are as follows:

217 High Street – 036-G-023: A zoning use determination letter on file states that the legal use of this property is 2 dwelling units and 9 rooming units. There is no other change of use permit on file since that determination letter.

219 High Street – 036-G-022: Our microfiche files distinguish this building from the attached 221 High Street building. A zoning use determination letter on file dated October 19, 1993 states that the legal use of this property is 3 dwelling units. There is no other change of use permit on file since that determination letter.

221 High Street – 036-G-021: Our microfiche file shows several different uses from 2 dwelling units (1941) to a rooming house (1947). There are no more recent permits to document the legal use. Therefore I have used some other tools to determine the use just prior to 1957. A 1955 City Directory shows two dwelling units as a use on this property. The pre-1957 Assessor's card shows this property to be a single family. I have made a determination on the legal number of dwelling units based on the 1955 City Directory for two dwelling units.

That makes a total of 7 dwelling units and 9 rooming units to be demolished. Currently there is a proposal to demolish these three buildings and to build a new 32 unit Single Room Occupancy dwelling units elsewhere on the YMCA's site. Comparing dwelling units with rooming units is

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not normally done because they are two distinct defined uses within the Zoning Ordinance. In this case there is a net increase of 25 dwelling units ( $32-7=25$ ). 25 new dwelling units require 2 parking spaces for each new constructed unit plus one additional parking space for every six units or fraction thereof under Section 14-332 . That would mean that  $50 + 5$ , or 55 extra parking spaces would be required without regard to contract zone language.

It should also be noted that the legal use of these new SRO units would be considered dwelling units because of the private kitchen facilities and bathrooms in each unit. However, for parking requirements only, the Planning Board has previously considered the Logan Place SRO units similar in nature to rooming units in regard to their contract zone. Section 14-332 would require 1 parking space for each five (5) rooming units. That would translate into 5 extra parking spaces to be provided with the new proposal.

Currently the submitted site plan revised on 1/27/04 shows 35 parking spaces on the site. Previously, the YMCA was approved for 11 parking spaces at 26 Sherman Street (036-F-005). That is a total of 46 currently available parking spaces. The new plans, after the demolition and new SRO building, show a total on 32 parking spaces on site with the 11 parking spaces at 26 Sherman Street for a total of 43 parking spaces available.

CC: Penny Littell, Corporation Counsel

**From:** "Tom Errico" <terrico@wilbursmith.com>  
**To:** "Barbara Barhydt" <BAB@portlandmaine.gov>  
**Date:** 4/8/2004 2:18:21 PM  
**Subject:** YMCA Master Plan

Barbara--

I have reviewed the project package provided to me containing plans dated April 4, 2004 and find the submittal to be acceptable. I would like to note the following:

a.. The proposed crosswalk on High Street north of Sherman Street as illustrated on the plan is well designed. However, the Portland Peninsula Study draft recommendations are such that conversion of High Street in the vicinity of the project from one-way to two-way flow is being considered. If those recommendations are indeed adopted and implemented, the proposed crosswalk design would need to be modified to eliminate the curb extensions. The approval may want to account for this possibility. If you have any questions or need additional information please contact me.

Thomas A. Errico, P.E.  
Senior Transportation Engineer  
Wilbur Smith Associates  
59 Middle Street  
Portland, Maine 04101  
(207) 871-1785  
(207) 871-5825 fax

**CC:** "Katherine Earley" <KAS@ci.portland.me.us>

A.H. E

**From:** "Tom Errico" <terrico@wilbursmith.com>  
**To:** "Barbara Barhydt" <BAB@portlandmaine.gov>  
**Date:** 4/8/2004 2:18:52 PM  
**Subject:** YMCA Master Plan

Barbara--

As a follow up to my previous email, warnings signs should be installed for the crosswalk on High Street that conform to the Manual on Uniform Traffic Control Devices, Federal Highway Administration. I do not believe they have been specified on the plans.

Thomas A. Errico, P.E.  
Senior Transportation Engineer  
Wilbur Smith Associates  
59 Middle Street  
Portland, Maine 04101  
(207) 871-1785  
(207) 871-5825 fax

**CC:** "Katherine Earley" <KAS@ci.portland.me.us>



DeLUCA-HOFFMAN ASSOCIATES, INC.  
Consulting Engineers

778 Main Street  
Suite 8  
South Portland, Maine 04106  
TEL. 207 775 1121  
FAX 207 879 0896

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

AH. F

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## MEMORANDUM

**DATE:** April 9, 2004

**TO:** Barbara Barhydt, Portland Planning

**FROM:** Stephen R. Bushey, P.E.

**SUBJECT:** YMCA Contract Zoning application

Barbara,

I have reviewed the latest site plans submitted for the YMCA Contract Zone Request dated 4-02-04 and offer the following comments:

1. The plans appear satisfactorily complete for consideration as part of the Contract Zoning request. As we previously commented, additional detail will be required during the Site Plan Review process. However for now, they serve to provide sufficient detail to explain the project proposal. I do not have a copy of the proposed Contract document; therefore I leave it to staff to determine how well the plan adheres to the provisions within the Contract.
2. Several minor technical issues that may warrant consideration during the Contract Zoning process are as follows:
  - a. The location of the Solid Waste Management enclosure behind the building appears to have limited accessibility, particularly for emergency personnel in the event of a fire etc. I will leave it to the Fire Dept. to determine if they will accept that location. Obviously, there are not many options, however, this may be a concern for the Dept.
  - b. The sidewalk ramp on the south end of High Street at the new driveway appears to have at least a 12% grade. It may be necessary to reconstruct the sidewalk a bit further away from the driveway in order to lessen the grade/ramp.
  - c. The contour lines should be drawn between the backside of the sidewalk along High Street and the proposed parking curb line. The upper end of the parking lot is in an excavation cut that lowers the parking lot grade below the street grade. A wall doesn't appear necessary, however, the grading should be reviewed and the treatment between the backside of the sidewalk and the parking lot confirmed.
  - d. Additional spot grades may be necessary to insure that the gutter line flow along High Street does not enter into the southerly (high end) driveway, but rather continues down the street.
  - e. The grading at the northerly end of the YMCA adjacent the new parking lot

should be tied off to the building. It appears that there will be excavation required to regrade the slope adjacent the building at this location.

3. We recommend the Public Works Dept. review the proposed bump outs into High Street to assess the potential impacts to gutter line flows and drainage. With the bump out gutter line drainage flow will be pushed out into the travel way. Depending upon what this flow amount is, it may be warranted to install a new catch basin structure on the uphill side of the bump out. This should be the Public Works determination.
4. The City's traffic engineer should review signage needs associated with the proposed High Street crosswalk.
5. Some of the details may need to be revised. The granite curb detail should be revised to show aggregate base gravel around the curb. The pavement references may also need to be updated to reflect the current MDOT designations for 9.5 mm, 12.0 mm, and 19.0 mm mix designs rather than the old Grade "C" and "B" mixes.

I trust these comments are useful. Please call if you have any questions.

Steve Bushey, PE  
Senior Engineer  
DeLuca-Hoffman Associates, Inc.

Srb/jn1350.10/barhydt04-09-04

Attachment G

**From:** John Peverada  
**To:** Barbara Barhydt  
**Date:** 4/9/2004 4:48:58 PM  
**Subject:** YMCA

Barbara, I have reviewed the Y's revised Parking Management Plan, and make the following comments to help protect the residents of the neighborhood.

1. The Y should be required to provide ALL employees with an off street parking space. The report states that they have 27 full time employees and 5-6 part time employees on the job at any given time, however only "key" employees have off street parking, and the balance find on street parking. Therefore, I suggest that they verify that they have at least 31 off street parking spaces dedicated for employee parking.
2. The report states that the Y does not provide any parking spaces to residents, so they assume that they are parking on the street. This confirms the story told by the son of one of our employees who moved out of the Y after living there for over a year. He claims that he almost had his car towed from the YMCA lot on two occasions (once he was only dropping off his groceries). He was told under no uncertain terms that he was not allowed to park his vehicle in the YMCA parking lots at any time. The Y like any other landlord should provide off street parking for their tenants.
3. I think that the membership parking demand can be satisfied with the lot on High St., further promotion of the Gateway Garage and the overflow using the available on street turnover parking.
4. An adequate drop off and pick up area should be provided.

Barbara, I think that this is a good project, but I honestly think that more parking is needed to make it work without negatively impacting the existing neighborhood.

Please do not hesitate to contact me if you have any questions or concerns, and pass this memo on to members of the board.

**CC:** GLORIA THOMAS

**PUBLIC MEETING  
SRO/PLANNING BOARD  
Wednesday, April 07, 2004  
7:30 PM  
Greater Portland YMCA  
Harris Community Room**

**MINUTES**

**Neighborhood Attendees:** Stephen Scharf, Mary Lynch, Randall Toothaker Scott, Rebecca & Douglas Sneed, Peter and Debbie Feely, Marie Gray, Chris Bailey, Michael DeAngelis, a representative from Weston Associates.

**Board Attendees:** Cyrus Hagge (President), Ben Walter, Scott Herrick

**Staff Attendees:** Dave Thompson (CEO – Cumberland County YMCA), Anne-Marie Jannace (Director of Development and Communications) and Leona Accuosti (Administrative Assistant)

Cyrus Hagge opened the meeting, and gave an overview of the history and events leading up to the proposed project, which includes:

- ♣ In the 80's the Y purchased the properties on High Street: 217, 219, 221 High Street, with the intention to tear them down.
- ♣ Since then, the city changed the zoning, and you can no longer remove housing in Portland without replacing it.
- ♣ The Cumberland County YMCA/Greater Portland YMCA proposes to build a free standing 32 unit efficiency apartment building (SRO) which will enable the Y to tear down the two buildings on High Street. Each unit in the SRO will be furnished and would have a kitchen, bathroom, living room/bedroom – approximately 350 square feet per unit. A four story, handicap accessible building.
- ♣ Once the High Street buildings are gone, the Y also proposes to build a new, bright, sunny entrance that is actually visible. To create a safe, open, comfortable place to come to the Y.
- ♣ Ben Walter walked the group through the plans (see attachment) that were provided providing detailed explanations, and answering and addressing questions and comments as they were raised. Ben also covered what the SRO and addition will be constructed with (easy to maintain materials that will meld with the neighborhood – brick, etc.) including windows, roofing, etc.

Questions/Comments that were raised by neighborhood folks:

- ♣ Michael DeAngelis commented that the neighborhood has a difficult job not viewing the Y as "slum lords" given their lack of upkeep and repair to the High Street properties. Cyrus Hagge replied that while it is true that we have not maintained the properties on High Street, it was for a viable reason: that we've always planned to tear them down.
- ♣ Peter Feely asked the Y to verify which buildings were being torn down – he asked if it was a different plan from the Len's Market Plan. Cyrus Hagge replied that yes – it was different. The proposal that Mr. Feely was referring to is across from the Y on the Forest Avenue side, where there is a proposal to build a high rise.
- ♣ Questions and concerns raised by the neighborhood folks:
  - f **How will the parking lot configuration work?** *Tearing down the buildings will more or less connect our two existing lots. The grade of the lot will also be made more level.*



- f **How much parking will this add to our lot?** *Actually, we will likely lose 8-10 parking spaces in this process.*
- f **Where will people park? Particularly with the addition of the SRO – residents having cars, etc.** *Cyrus Hagge noted that it is not likely there will be that many more cars added to the equation from residents of the new SRO. But there is no way to tell for sure. A parking survey was done by the Y about a week or so ago, and it shows that approximately 11 of our current residents have vehicles. It has been as low as 9.*
- f **Will the proposed crosswalk create a bottleneck?** *No. It should actually slow traffic down, but not create a bottleneck situation. It is also dependent on what the city decides to do with the potential change of make High Street and State Street two way streets.*
- f **Will Y Members come down High Street, see that the lot is full, then turn down Sherman Street, causing even more traffic on Sherman Street?** *No, due to the proposed landscaping and fence, etc. You will not be able to see from High Street if the lot is full. You will have to enter the lot, and in order to exit the lot (if it is indeed full) you will come back out on High Street below Sherman Street.*
- f **Will the SRO be a taxable entity?** *Yes. It should make approximately \$30,000.00 in tax dollars for the city. Though the building will have no market value. It won't be a viable source of revenue for the Y. Though we do hope that it makes enough revenue so we can hire a full time Social Worker – we hope that the SRO will contribute about 50% of that person's salary.*
- f **What will the security be like for the SRO?** *Because it is more of an apartment building – the occupants signing leases, etc. – it will be run more like an apartment building. It will not have 24 hour onsite security, as we currently have at the Y. Though the 24 hour security at the Y will be available to the SRO, as it is currently available to the Leonard Inn. We also plan to wire the SRO so that it has security access to the Y.*
- f **Will we be involving the Portland Housing Authority in some way, or will it just be the Y running the SRO?** *We have not firmed that up yet. For the first few years we are looking to involve another entity in the running of the SRO, then the Y will eventually take it over entirely. We already maintain 96 rooms, and we feel comfortable that we can do this.*
- f **Does the Y intend to continue to grow?** *No. There is really not that much room for growth. We can only serve so many members. We do have some consistent slow times during the day – there is room for growth/more members there...we are looking to provide childcare during these times, to promote more activity during these slow times. We are hoping to become more attractive to the pedestrian community – Parkside – downtown – etc. We are also looking to provide incentive for members to park in the parking garage. Our purpose here is for improvement, not expansion.*
- f **Will the proposed re-zoning affect the entire neighborhood?** *No. It would affect this building only. Currently this building (the Y) is non-conforming because it is so old. Zoning started in 1956. We are asking the City Council to make this building legal with everything as it is. It would become legal for EXACTLY what we do now. If we wanted to add another component, we would have to go back to the city and apply again. We are not looking to purchase any more property.*
- f **What kind of street lighting will be provided? Will it flood the street with light?** *No. we plan to use nice lighting units that actually shine the light straight down, rather than outward – as you normally see in average street lights.*

- f **How will the trash be dealt with at the SRO?** *We will be getting rid of the dumpster – and there will be an enclosed area at the SRO in which we will keep large trash barrels which will be on wheels, and will be wheeled out when necessary.*
- f **Will trash receptacles be provided along High Street – since we plan to increase the pedestrian traffic?** *At first, the Y indicated that it was hesitant about this idea. But agreed that it is certainly something that we can look into.*
- f **Since the Y is looking to make High Street it's main entrance, is there any possibility of making High Street a truck free street?** *That will never likely happen, given that High Street is an access street to the highway.*
- f **Will the SRO be a Tax Credit Property?** *Yes. A neighborhood citizen noted the failed tax credit property on Sherman Street.*

Michael DeAngelis repeatedly remarked on his concern regarding the size of our Board of Directors. (23 Board Members) He has concern that if something were to go awry with the project, the neighborhood would not know whom to go to, as the Board was so big. Cyrus Hagge, Ben Walter, Scott Herrick and Dave Thompson pointed out that it is the Cumberland County Board of Directors – which covers not only the Portland Branch, but the Casco Bay Branch, the Pineland Branch, as well as Otter Pond Camp. Each branch has it's own (smaller) Advisory Council, which is primarily responsible for their given branch. So, if anyone had any concerns, they would seek out the Advisory Council Members. We also have an Executive Committee.

It was also discussed that as the Cumberland County YMCA, the Greater Portland YMCA as an Urban Y, would get some funding support from it's Suburban Y's. Dave Thompson noted that the Greater Portland Y would likely not be in business if it weren't for the support we get from our Suburban Y's.

It was generally agreed that the neighborhood would like to see the Y thrive.

\*\*\*Notice of a Public Meeting\*\*\*

Cumberland County YMCA  
70 Forest Ave  
Portland, Me 04101

March 24, 2004

Dear Neighbor:

Please join us for a neighborhood meeting to discuss our plans for a new 32 unit apartment building and new entrance to the Portland YMCA at 217 – 231 High Street.

Date: April 7<sup>th</sup> at 7:30 PM  
Location: YMCA, 70 Forest Ave. in the Harris conference Room.

If you have any questions, please call me at 775-7442.

Sincerely,  
Cyrus Hagge,  
President, Cumberland County YMCA

# PLEASE SIGN IN

YMCA SROP Public Meeting  
Greater Portland YMCA - Harris Community Center  
April 7<sup>th</sup>, 2004 - 7:30 PM

Name: Steven Schorf Phone: 774-9393

Address: 97 Grant St 2nd Fl City: Portland State: ME Zip: 04101

Name: DEBRA Smith / Peter Fealy Phone: 774-4501

Address: 194 High St City: PORTLAND State: ME Zip: 04101

Name: Rebecca & Dary Sneed Phone: 772-7274

Address: 1 Grant St. City: Portland State: ME Zip: 04101

Name: Marie Gray Phone: 773-5329

Address: 263 State St City: Portland State: Me Zip: 04101

Name: Mary G. Lynch Phone: 879-0145

Address: 32 Sherman St City: Portland State: ME Zip: 04101

Name: Randall T. Scott Phone: —

Address: 16 Sherman #1 City: Portland State: ME Zip: 04101

Name: Michael Richard Weston Associates, Inc Phone: 617-266-0044

Address: 170 Newbury Street City: Boston State: MA Zip: 02116

Name: Michael DeAngelis Phone: 772-5531

Address: Sherman St City: PTD State: ME Zip: 04101

Continue on next page...



# Cumberland County YMCA

Greater Portland Branch, Casco Bay Regional Branch/Pineland & Otter Pond Camp



## Neighborhood Meeting Certification

I, The Cumberland County YMCA and Cyrus Y. Hagge, hereby certify that a neighborhood meeting was held on April 7, at the Greater Portland YMCA, 70 Forest Ave, Portland Maine at 7:30 pm.

I also certify that on March 24, 2004, invitations were mailed to all addresses on the mailing list provided by the Planning Division, including property owners within 500 feet of the proposed development and the residents on the "interested parties" list.

Cyrus Y. Hagge Pres. 4-9-04

Greater Portland YMCA • 70 Forest Avenue • P.O. Box 1078 • Portland, Maine 04101-1078  
P: 207-874-1111 • F: 207-874-1114 • [www.portlandymca.org](http://www.portlandymca.org)

Casco Bay YMCA • 14 Old South Freeport Road • Freeport, Maine 04032  
P: 207-865-9600 • F: 207-865-0484 • [www.cascobayymca.org](http://www.cascobayymca.org)

Cumberland County YMCA at Pineland • 25 Campus Drive • New Gloucester, Maine 04260  
P: 207-688-2255 • F: 207-688-4700 • [www.cascobayymca.org](http://www.cascobayymca.org)



# CUMBERLAND COUNTY YMCA

TABLE OF CONTENTS	
EXECUTIVE SUMMARY	:
BRIEF HISTORY OF THE YMCA	:
MASTER PLANNING PROCESS	:
EXISTING PROPERTY USES	:
MASTER REDEVELOPMENT PLAN	:
PRESERVATION AND REPLACEMENT HOUSING PLAN	:
SECTION 14-525, SITE PLAN WRITTEN STATEMENTS	:
PUBLIC BUILDING COMMITTEE PROCESS	:
PARKING MANAGEMENT PLAN	:
COMPREHENSIVE PLAN DISCUSSION	:
NEIGHBORHOOD MEETING	:
PRESERVATION AND REPLACEMENT HOUSING APPLICATION	:
LIGHTING DETAILS	:
FENCING DETAIL	:
REVISED SITE PLANS BY SEBAGO TECHNICS	:
REVISED DRAWINGS BY CWS ARCHITECTS	:

## Executive Summary

The Cumberland County YMCA after a two-year process of strategic review and master facilities planning has made a commitment to keep the Greater Portland YMCA in downtown Portland. This commitment will result in a two-phase project.

### Phase 1:

The Y has already secured both public and private financing to under take phase one.

1. Construct a 32 unit low income efficiency apartment building.
2. Demolition of two High Street apartment houses.
3. Re-grade and make improvements to the surface parking lots.
4. Construction of a new entrance on the High Street side of the 70 Forest Avenue building.
5. Rebuild the High Street sidewalk with appropriate landscaping.

### Phase 2:

The second phase will include improvements only to the interior of the 70 Forest Avenue building. This would result in upgrades for life/safety, ADA compliance, locker rooms and interior lay out. The success of this phase will be dependent upon the 2005 capital campaign. Since this phase is interior improvements only, the Y is not asking for Planning Board Approval.

## Brief History of the YMCA

The YMCA has been a membership based fitness and social service organization in Portland for 150 years. Neal Dow, one of the original founders, help start the Portland YMCA with the goal of helping young men build better lives through fitness, sobriety and moral values. In 1927 the Y moved from its Congress Square location, now the Art Museum, to the 70 Forest Ave. facility. Included in this expansion, was a gym, swimming pool, fitness areas, social gathering rooms, bowling alley and 86 rooms of housing.

In 1966 the Y added the Malcolm pool addition with the six lane swimming pool in the State. At the same time, the Y added four racket sport courts and five new locker rooms thus making the Portland Y a state of the art facility. Even today this section of the Y is still functional and in excellent condition.

Over the years the Y has made a number of cosmetic changes to the facility by adding new fitness areas, day care center and after school programs. In 1998, after the considerable debate, the Y embarked on a plan to build a new facility in Freeport; the Casco Bay YMCA. On completion the Casco Bay facility, the YMCA reorganized into the Cumberland County YMCA. Currently the Y operates three facilities; the Greater Portland Y, the Casco Bay Y and a "mini" Y at the Pineland.

As part of the Strategic planning process, the Y undertaking a feasibility study of a large capital campaign to raise funds for interior and exterior improvements to the Greater Portland Y, expansion of the Casco Bay Y and a new facility in Scarborough. This capital campaign will be targeted for 2005.



## Master Planning Process

In early 2002 the YMCA undertook an extensive review of its strategic plan and found it lacking. A strategic planning committee was established to draft a new plan for the Y. The committee held numerous meetings and a facilitated planning retreat. The result is a plan that should guide the Y for many years. One segment of the plan was to review and create a new Master Facilities Plan.

The Master Facility Planning process was broken down into three components; the Greater Portland, Casco Bay and the new Scarborough YMCA. The Greater Portland YMCA facilities planning committee was comprised of Y staff and board members, general Y members, two architects and a representative of the building trades. The Committee met for nine months before making its recommendations.

The first challenge was to determine the future of the Greater Portland Y. A number of committee members felt that it did not make sense to stay downtown. The committee reviewed five options: 1, Close the Forest Ave. facility and focus on suburban facilities only, 2, Move to a new downtown location, 3, Move out of downtown but stay close to the city center, 4, Move out toward the western suburbs and 5, Remain at 70 Forest Avenue.

After lengthy review, the committee came to the conclusion that because the multiple social service programs that are run out the facility were essential to the Y's mission, it was important to maintain a downtown presence. It was determined that the Y could build another suburban facility but it would never meet the needs of our Portland downtown members. With this decision made, the committee is recommending a number of changes to the facility to expand our commitment to Portland and the need for more Youth and Family services.

The Committee recommended the following changes to the Greater Portland Y facility.

1. Expand our commitment to affordable housing and create an opportunity for additional housing. The Y currently offers 96 SRO rooms in the Forest Ave and 217 High Street facilities. The Y has received a \$3.5 Million dollar grant to construct a new 32 unit affordable apartment building from Maine State Housing Authority.
2. Demolish two High Street apartment buildings to make room for a new entrance and a redesigned parking lot.
3. Construct a new bright and sunny "front door" on the High Street side of the building. The new entrance would create a true handicap

accessible entrance and allow for the future reorganization of the interior into safer and useable spaces.

4. Create a redesigned parking lot with ADA compliant parking spaces, enhanced pedestrian and vehicle safety by eliminating two of the four High Street Driveways and improving sight lines. Construct a new pedestrian crosswalk with paved bump outs at High and Sherman Streets.
5. Acquire the 207 High Street apartment building to serve as an anchor to the upper parking lot. This building is to remain as an apartment building.

## Uses of Existing Property Owned By The Greater Portland YMCA

Over the past 80 years, the Y has assembled a number of pieces of property in the parcel we see today. Below is a breakdown of each property with its current and proposed uses.

70 Forest Avenue: This facility includes the 1927 and 1966 buildings. There are no proposed changes to their current uses. What will change is type of programming that will be offered to meet the membership's changing needs. The proposed changes will not increase the size of the membership over historical numbers. Currently, the membership is approximately 2,500 members, down slightly from past years.

The programs and services offered at 70 Forest Avenue:

1. General membership fitness programming. This includes, swimming, racquet sports, gym sports, fitness, yoga, dance, running biking, weight training and exercise.
2. Day care and after school programs. The Y provides wide range of programming for preschool and school age children.
3. Teen Center: The Y in conjunction with the city has open a new teen center focused on fitness and educational programming.
4. Youth and Family: The Y offers a complete complement of fitness and educational programming.
5. Day Camps: During the school year and vacations, the Y offers a wide range of day camping programs both on site and off site.
6. Housing: The Y currently has 86 hotel style SRO rooms for men. A majority of the residents are low income and receive some type of housing assistance. This program has been part of the Y's mission for over 100 years. The Y provides a number of on-site and off-site services to its residents including membership to the Y.
7. Office and Staff: The Y maintains all of its staffing and offices in the facility. This includes the Executive Director, Program Directors, accounting and clerical offices.

High Street Apartment Houses: The Y owns three apartment houses on High Street which have been acquired over the years.

207 High Street. This was purchased in December 2003 with the express purpose of operating it as an apartment building. It was acquired with 100%

financing and there are no plans to demolish it. While the building is not attractive looking on the outside, the interior is in excellent condition. This building will serve as the upper anchor to the Y property with future plans to rehabilitate the exterior when funding becomes available.

1. 217 High Street was acquired in 2000 with 100% financing. The structure consists of three apartments, which are used as part of the SRO housing program. Currently there are 11 residents who reside there. They will be relocated into the new building or 70 Forest Ave. as part of the redevelopment plan.
2. 219-221 High Street. This vacant two-sided structure was un-inhabited prior to acquisition and remains so today. It was acquired with the intent to be demolished. 219 was given to the Y in December 1989 and 221 was acquired in August 1989 for \$80,000.

Parking Lots: The Y owns three parking lots, two on High Street and one remote lot on Sherman Street.

1. 209-215 High Street, the "upper lot", is currently used for parking. This lot has two driveways and a parking layout with 12 spaces. The plan is to reconfigure this lot into a safer lay out and eliminate one of the driveways.
2. 223-233 High Street, the "lower lot", is currently used for parking and dumpster storage. This lot contains over 20 parking spaces of which two handicap parking spaces are on a 8% grade. The plan is to reconfigure this lot by eliminating one driveway, connecting it to the upper lot and creating three legal handicap parking spaces.
3. Sherman Street Lot: This 10 to 12 parking space remote lot is used for staff and resident parking. There are no plans to change that use.

96 Forest Avenue: This lot has been used as a playground for the daycare and after school programs. The Y has no plans to change this use.

Space Name	Department	% of Bldg.		Area/Use Factor	Adjusted		
		Allocated Sq. Feet	Gross Total Sq. Feet		Adjusted Sq. Feet	% of Total Adjusted	
<b>BASEMENT</b>							
B YIP/YAP	YGW	1,701	1.49%	1.00	1,701	2.08%	
B Men's Locker Room	Membership	2,261	1.98%	1.00	2,261	2.76%	
B Laundry Room	Building Services	238	0.21%	1.00	238	0.29%	
B Maintenance Garage	Building Services	1,021	0.89%	0.25	255	0.31%	
B Unassigned Basement/Mechanical	Building Services	11,797	10.33%	0.25	2,949	3.60%	
B Unexcavated Basement/Chases	Building Services	14,826	12.99%	0.05	741	0.90%	
<b>Total Working Basement</b>		<b>31,844</b>	<b>27.89%</b>		<b>8,146</b>	<b>9.94%</b>	
<b>Usable Basement Floorplate</b>		<b>17,018</b>	<b>20.26%</b>				

**FIRST FLOOR**

1 Misc. Circulation	Youth and Family	739	0.65%	1.00	739	0.90%
1 Arts & Crafts Studio	Youth and Family	548	0.48%	1.00	548	0.67%
1 Teen Wellness Center	Youth and Family	1,619	1.42%	1.00	1,619	1.98%
1 Y&F Multi-Purpose Room 1	Youth and Family	1,527	1.34%	1.00	1,527	1.86%
1 Y&F Multi-Purpose Room 2	Youth and Family	1,152	1.01%	1.00	1,152	1.41%
1 Teen Center (former Bowling Alley)	Youth and Family	2,090	1.83%	1.00	2,090	2.55%
1 Teen Computer Lab	Youth and Family	168	0.15%	1.00	168	0.21%
1 Supervisor's Office	Youth and Family	136	0.12%	1.00	136	0.17%
1 Bowling Alley Back Hall	Building Services	736	0.64%	0.50	368	0.45%
1 Community Room	Youth and Family	1,418	1.24%	1.00	1,418	1.73%
1 Residence Lounge	Residence	371	0.32%	1.00	371	0.45%
1 Residence Director	Residence	209	0.18%	1.00	209	0.26%
1 GP CEO Office	Administration	177	0.16%	1.00	177	0.22%
1 Front Desk/Office	Administration	440	0.39%	1.00	440	0.54%
1 Fitness Director	Fitness	80	0.07%	1.00	80	0.10%
1 Men's Toilet Room	Building Services	116	0.10%	1.00	116	0.14%
1 Space Under Small Pool	Building Services	2,043	1.79%	0.25	511	0.62%
1 Front Entry/Lobby	Building Services	888	0.78%	1.00	888	1.08%
1 Membership Fitness Area	Fitness	1,817	1.59%	1.00	1,817	2.22%
1 Cardio/Fitness Area	Fitness	1,021	0.89%	1.00	1,021	1.25%
1 Malcom Pool	Aquatics	5,553	4.86%	1.00	5,553	6.78%
1 Boy's Pool Locker Room	Aquatics	922	0.81%	1.00	922	1.13%
1 Girl's Pool Locker Room	Aquatics	546	0.48%	1.00	546	0.67%
1 Pool Entrance Hall	Aquatics	64	0.06%	1.00	64	0.08%
1 Aquatics Office	Aquatics	98	0.09%	1.00	98	0.12%
1 Squash and Racketball Courts	Sports & Recreation	2,992	2.62%	1.00	2,992	3.65%
1 Malcom Desk & Entrance Hall	Membership	524	0.46%	1.00	524	0.64%
1 Membership Office	Membership	342	0.30%	1.00	342	0.42%
1 Maintenance Office (1/2)	Building Services	126	0.11%	1.00	126	0.15%
1 Camp Director's Office (1/2)	Camp	126	0.11%	1.00	126	0.15%
1 Maintenance Storage Closet	Building Services	114	0.10%	1.00	114	0.14%
1 Unassigned Space & Circulation	Building Services	2,539	2.22%	1.00	2,539	3.10%
<b>Total Working First Floor</b>		<b>31,241</b>	<b>27.36%</b>		<b>29,341</b>	<b>35.81%</b>
<b>Usable First Floor Floorplate</b>		<b>29,198</b>	<b>34.76%</b>			

**SECOND FLOOR**

2 Upper Pool	Aquatics	5,553	4.86%	0.50	2,777	3.39%
2 Pool Spectator Seating Area	Aquatics	1,472	1.29%	1.00	1,472	1.80%
2 Upper Squash & Racketball Courts	Sports & Recreation	2,992	2.62%	0.50	1,496	1.83%
2 Former Girls Locker Room	Building Services	537	0.47%	1.00	537	0.66%
2 Storage Corridor (Malcom)	Building Services	291	0.25%	1.00	291	0.36%
2 Upper Office (by Squash Courts)	Sports & Recreation	288	0.25%	1.00	288	0.35%
2 Gymnasium	Sports & Recreation	4,747	4.16%	1.00	4,747	5.79%
2 Sports & Recreation Office (1/2)	Sports & Recreation	329	0.29%	1.00	329	0.40%

2	School Age Childcare Office (1/2)	Childcare	329	0.29%	1.00	329	0.40%
2	Finance Office Suite	Corporate	523	0.46%	1.00	523	0.64%
2	Human Resources	Corporate	250	0.22%	1.00	250	0.31%
2	CC CEO Office	Corporate	296	0.26%	1.00	296	0.36%
2	Studio A / Aerobics / Wellness Room	Fitness	1,632	1.43%	1.00	1,632	1.99%
2	Women's Locker Room	Membership	1,882	1.65%	1.00	1,882	2.30%
2	Men's Locker Room	Membership	2,333	2.04%	1.00	2,333	2.85%
2	Family Locker Room	Membership	1,004	0.88%	1.00	1,004	1.23%
2	Men's Toilet	Building Services	110	0.10%	1.00	110	0.13%
2	Instructional Pool	Aquatics	2,478	2.17%	1.00	2,478	3.02%
2	Maintenance Closet	Building Services	200	0.18%	1.00	200	0.24%
2	Unassigned Space & Circulation	Building Services	2,575	2.26%	1.00	2,575	3.14%
<b>Total Working Second Floor</b>			<b>29,821</b>	<b>26.12%</b>		<b>25,549</b>	<b>31.19%</b>
<b>Usable Second Floor Floorplate</b>			<b>21,276</b>	<b>25.33%</b>			

### THIRD FLOOR

3	Upper Gymnasium	Sports & Recreation	4,747	4.16%	0.50	2,374	2.90%
3	Projection Room	Administration	194	0.17%	1.00	194	0.24%
3	Residential Units and Circulation	Residence	5,441	4.77%	1.00	5,441	6.64%
<b>Total Working Third Floor</b>			<b>10,382</b>	<b>9.09%</b>		<b>8,009</b>	<b>9.78%</b>
<b>Usable Third Floor Floorplate</b>			<b>5,635</b>	<b>6.71%</b>			

### FOURTH FLOOR

4	Residential Units and Circulation	Residence	5,441	4.77%	1.00	5,441	6.64%
<b>Total Working Fourth Floor</b>			<b>5,441</b>	<b>4.77%</b>		<b>5,441</b>	<b>6.64%</b>
<b>Usable Fourth Floor Floorplate</b>			<b>5,441</b>	<b>6.48%</b>			

### FIFTH FLOOR

5	Residential Units and Circulation	Residence	5,441	4.77%	1.00	5,441	6.64%
<b>Total Working Fifth Floor</b>			<b>5,441</b>	<b>4.77%</b>		<b>5,441</b>	<b>6.64%</b>
<b>Usable Fifth Floor Floorplate</b>			<b>5,441</b>	<b>6.48%</b>			

<b>BUILDING WORKING/ADJUSTED TOTALS</b>			<b>114,170</b>	<b>100.00%</b>		<b>81,926</b>	<b>100.00%</b>
<b>Usable Building Floorplate</b>			<b>84,009</b>	<b>100.00%</b>			

## Master Redevelopment Plan

The redevelopment plan revolves around the construction of the 32 unit four story apartment building. The new apartments allow the Y to replace the 16 units to be demolished and add an additional 16 units to the Portland housing stock. With the replacement of housing, and the demolition of the two buildings, there will be room for the construction of the new entrance and the reconfigured parking lot.

32 Unit Efficiency Apartment Building: Working in conjunction with the Maine State Housing Authority, the Y has been awarded a \$3.5 million grant to create 32 units of affordable housing. The proposed structure is to be located in the lower parking lot at 223-233 High Street.

The Y has created a building design committee comprised of Y board members, staff, Parkside neighbors and Greater Portland Landmarks with the goal of designing a project that will be in keeping with the character of the neighborhood. This committee developed exterior designs that have been presented to all interested parties for their review and comments.

1. Exterior Details
  - a. Four story steel and concrete slab construction with a partial basement for utilities and laundry. Approximately 25,000 square feet.
  - b. Exterior siding to be brick with granite window headers.
  - c. Front façade will face directly onto High Street and will be brought to the sidewalk with large granite front steps.
  - d. Two ADA entrances will be provided on the front side and a rear door will connect directly to the elevator.
  
2. Interior Details.
  - a. Eight residential units per floor.
  - b. Each unit to have private bathroom, efficiency kitchen and living room/bedroom.
  - c. Common areas provided on each level.
  
3. Leasing, management and security will be overseen by the Y director of housing services.
  
4. Space and Bulk requirements:
  - a. Minimum lot size: None
  - b. Minimum area per dwelling: 450sq.feet
  - c. Minimum street frontage: 50 feet
  - d. Minimum front yard: none required
  - e. Minimum Side Yard: 5 feet.

- f. Minimum Rear yard: 5 Feet.
- g. Maximum Lot Coverage: 100%
- h. Minimum lot width: fifty (50) feet.
- i. Maximum Height: fifty (50) feet.
- j. Open space ratio: none required
- k. Parking Requirements Minimum 30 parking spaces on site and at a minimum 11 spaces off site

Demolition of 217 and 219-221 High Street: The master plan calls for the removal of these two buildings with the lost housing units to be transferred to the new building. Based upon the Zoning Administrator opinion, there are sixteen living units being removed and replaced with 32 units for a net gain of 16 units. The existing units to be removed are significantly deficient and the new units while smaller, will be of much higher quality. During the construction process, the Y will provide alternative housing for all of our displaced tenants.

Renovations to the High Street side of 70 Forest Avenue. The Y plans to construct a new 2,500 square foot addition to the rear of 70 Forest Avenue. This addition will solve a number of significant problems facing the facility. This new bright and sunny entrance will become the new "Front Door" to the Y and will facilitate the creation of an ADA compliant entrance and connections to the two main wings. It will also provide safe and secure egress and ingress for members and help solve internal circulation and stairway problems. Most importantly, parents can drop off the children and see them check in at the reception desk in a safe and bright environment.

This component of the master plan will be undertaken simultaneously with the construction of the apartment building. The Y has been successful in its early fund raising and has on hand, pending all approvals, sufficient funding to complete this part of the project. Like the apartment building, the Y has opened up the Building Design Committee to the public and has drawn members from the neighborhood.

Parking Lot Plan: The proposed site plan for the parking lots will greatly improve safety and convenience for our members, guest and the general public. Instead of four driveways, there will be two with room for vehicle stacking and angled ingress and egress more in line with the flow of traffic on High Street. The re-graded lot will provide three handicap parking spaces with legal grades instead of the current 8%.

Sidewalk and Streetscape Improvements: The Y proposes to remove two curb cuts, make sidewalk repairs, plant new street trees and construct a new black metal fence with brick bollards. Between the new handicap parking spaces will



be a new ADA friendly pedestrian entrance connected directly to the new sidewalk. This element is also under review by the Building Design Committee

Lighting: The lighting plan will include replacement of the existing wall packs with cut-off lights, building down lighting and additional parking lot lights if necessary.

Signage: The Y proposes to install a new entrance sign at the upper parking lot entrance.

### Preservation and Replacement of Housing Plan:

The Y believes it has met the requirements of Chapter 14, Section 14-483. The new apartment structure will replace the 16 demolished units with 32 new units of affordable housing, a net gain of 16 units. The replacement units are within the same site and are not part of another approved plan. The new apartment building is in keeping with the character of the surrounding neighborhood. While the new units are smaller than the units being replaced, the quality and function is significantly better. Any tenant displaced, during the construction of the new building, will be offered replacement housing by the Y at their current rent.

### Programmatic and Financial Analysis of Renovation/Relocating 219-221 High Street

The Y is very concerned about the demolition of 219-221 High Street and has consulted with Greater Portland Landmarks looking for alternatives. An analysis has been undertaken to evaluate the different options for this building. The evaluation of the site plan clearly identifies there is not enough room on the site for the building, the new apartment building and the new entrance.

1. Preservation. The evaluation of this option presented many programmatic site plan problems for the Y.
  - a. The current configuration of the building leaves only 10 –12 feet between the rear of the building and the Y leaving no room for the new entrance.
  - b. An alternative proposal is to just demolish the rear of the building. While this will open up more space, the demolished wing would need to be replaced with a new addition containing the second means of egress for the building. This option will not leave enough room for the new entrance.
  - c. The biggest stumbling block for preservation of the house, is the new handicap parking spaces which are located directly in the footprint of the building. The Y has a responsibility to its handicapped members safe parking and access to the building.
2. Move building to another space on the lot. This was ruled out due to the lack of available space on the site.
3. Move the house off site. The Y is willing to donate the house to any party who would take it and move it to a new location. The Y will

contribute the \$35,000 to \$45,000 of demolition money to assist in the effort.

Part any effort to preserve the building is the financial analysis of the associated renovation and relocation costs. The Y retained John Ryan of Wright-Ryan Construction to evaluate the different renovation and relocations options available to the Y. The Y also created a Performa revenue and expense analysis of the various options. The resulting data shows that renovation and relocation would not be a prudent financial decision and would result in an economic hardship for the Y.

1. Renovation. John Ryan's letter estimates that the cost of renovating the structure will be in the \$500,000 to \$550,000 range. Assuming that the building would be converted back to three units per side at \$500,000 construction cost with heat, water, sewer, common lighting, management fees and taxes paid by the landlord. The financing assumes 20% owner equity and 80% financing at 7.50% amortized over 20 years. At \$1,000 per month in rent, for a two bedroom apartment, the project will generate a negative net operating cash flow of \$-95,024 for the first 9 years. In order for the Y to hit break even on the project renovation costs have to cap at \$350,000 or rents need to be set at \$1,250.00 well in excess of rents in the surrounding High Street area.
2. Relocation to a new site. Moving the house to a new location, if one were available, will add an additional \$90,000 to \$100,000 to the costs as stated above.

Summary of Records in Inspections Division, Department of Planning and Development 219 High Street		
Date	Record	Follow-up
9/12/77	<b>Violations of Minimum Standards for Housing</b> 1. Foundation - replace missing mortar 2. Exterior - make exterior waterproof with paint or other suitable means 3. Cellar - ceiling, broken joint 4. First Floor - repair or replace broken plaster 5. Rear Hall - repair or replace broken plaster 6. Bathroom - remove loose and peeling paint 7. Bathroom - repair or replace cracked plaster	<b>Follow-up certificate of compliance - 4-10-80</b>  (no major code deficiencies)
9/15/88	<b>Complaint for 1st floor Apt. - Found Substandard Housing Conditions</b> 1. No smoke alarm - 2. Bathroom ceiling leaking.	<b>#1 to be corrected by 9/28/88</b> <b>#2 to be corrected by 10/15/88</b>
9/30/88	<b>Inspection - Violations of "Housing Code"</b> 1. Rear roof - shingles deteriorated 2. Windows missing glass and screens 3. Doorway and Alley - garbage in broken bays (bags) 4. Doorway - Provide a storage container 5. Provide fire escapes for 2nd and 3rd floors 6. Provide second means of egress for 2nd and 3rd floors 7. Illegal use of extension cord. Provide additional electrical outlets. 8. Entrance to hallway must have a 1 hour fire wall. Exposed wooden walls not allowed. 9. Interior stairway ceiling and walls must have a 1 hour fire rating. 10. Third floor bathroom waste line, partially plugged, and shower drain plugged. 11. First and third floor apartments, no cold water. 12. Second floor kitchen ceiling leaking	<b>violations to be corrected by Nov. 30, 1988</b>
2/23/89	<b>Notification Building Unfit for Human Occupancy</b> 1. Entire Building is found to be unfit for human occupancy 2. Must vacate second floor apartment. All others are vacant. " The property is damaged, decayed, deteriorated, insanitary and unsafe ( or vermin infested) in such a manner as to create a serious hazard to the health, safety and general welfare of the occupants or the public. " Therefore you will not occupy, permit anyone to occupy, or rent the above mentioned without the written consent of the Health Officer, certifying that the conditions have been corrected.	<b>To be corrected by 3/2/1989</b>

Date	Record	Follow-up
3/6/89	<b>Notified to correct Housing Code Defects</b> 1. First floor entrance, rotted and deteriorated. 2. Apt. #1, provide dual egress, peeling ceiling, not vented to exterior, wet ceiling, smoke detector not working, kitchen outlet needs to be replaced. 3. Basement - broken plaster, stairs deteriorated, broken treads and risers. 4. Basement apt. - water line leak, litter and debris, wet throughout, no lights	To be corrected by 5/6/89
3/6/89	smoke detector not working and to be repaired in 10 days.	
8/9/90	<b>Notified to correct Housing Code Defects</b> 1) Interior paint peeling. 2) Roof - damaged and missing coverings.	To be corrected by 10/9/90
6/26/92	<b>Notification Building Unfit for Human Occupancy</b> (similar language as 2/23/1998)	To be Corrected by 7/1/92
10/19/93	<b>Notification of 3 units</b> Verifies that records in City Hall indicate the building at 219 High Street has been a three unit dwelling prior to the adoption of the June 5, 1957 ordinance.	
12/22/00	<b>Housing inspection violations</b> 1. Rodent and vermin control. 2. Broken window glasses 3. Damaged porch/steps.	Reinspection-complied with notice

Date	221 High Street Record continued	Follow-up
12/7/89	<b>Reinspection Notice</b> The 9/21/89 violations had not been corrected	<b>To be corrected by 12/17/1989</b>
12/27/1989	<b>Notice of Hearing</b> " Because of your failure to comply with previous notices, you are hereby invited to appear in Room 315, City Hall,..., to show cause why legal action should not be taken against you for violations of the Municipal Codes relating to housing condntions."	<b>Hearing date 1/12/90</b>
8/1/90	<b>Inspection Correspondence</b> 1. Smoke detectors were missing/inoperable	
8/9/90	<b>Notice of Housing Conditions</b> 1. Exterior steps, broken treads, missing railing. 2. Roover damaged and missing covering. 3. Exterior paint peeling. 4. Incomplete walls on first floor. 5. Smoke detectors missing or inoperative. 6. Entry door cracked and damaged (2nd floor) 7. Inadequate ventilation in 1 st. floor bathroom 8. Disconnected flue between furnace and chimney. 9. Interior asbestos, torn and damaged coverings	<b>To be corrected by 10/9/1990</b>
5/16/94	<b>Notice of Housing Conditions</b> 1. Missing clapboards 2. Exterior paint peeling 3. Missing exterior molding 4. Loose fascia board. 5. Chimney missing bricks and mortar 6. Roof - worn shingles 7. Missing balusters on middle porch. 8. Broken treads on cellar stairs 9. Combustable items near boiler 10. Friable asbestos in basement 11. Missing junction box cover 12. Missing door knob on front door. 13. Missing plaster in front hall. 14. Front hall railing missing 15. Missing balusters on stairway and broken treads.	<b>To be corrected by 7/16/1994</b>

**Summary of Records in Inspections Division, Department of Planning and Development  
221 High Street**

Date	Record	Follow-up
6/17/41	<b>Building Permit</b> 1) Demolish a shed and change a door to a window.	
7/1/47	<b>Building Permit</b> 1) Partion on second floor to create an egress on that floor without having to pass through adjoining units. 2) Install studs and sheetrock 3) cut door between bedroom and kitchenette	
2/7/77	<b>Notice of Housing Conditions</b> 1. Replace loose gutters. 2. Repair broken fence 3. Repair leaking skylight 4. Repair common kitchen roof leak 5. Replace missing floor boards in 2nd floor bathroom 6. Provide and replace loose and missing plaster throughout the building. 7. Provide and replace loose and missing clapboards 8. Replace mising light fixture. 9. Remove peeling paint 10. Repair leaking sink trap. 11. Repair loose sashes in windows.	<b>To be corrected by April 7, 1977</b>
4/7/77	<b>Certificate of compliance</b> 1. Certificate grants an extension for completion of repairing plaster, replacing clapboards, repairing leaking drain.	
5/8/78	<b>Reinspection Notice</b> 1. Given to 7/4/78 to correct remaining 5 violations	<b>To correct by 7/4/1978</b>
11/14/79	<b>Certificate of Compliance</b> 1. Complied with request to correct violations from 2/7/1977	
1/14/81	<b>Application for heating, cooking or power permit</b> 1. Replacing boiler.	
9/21/89	<b>Notice of Housing Conditions</b> 1. Front stairs, broken tread 2. Exterior paint peeling 3. Exterior trim deteriorated, rotted 4. Exterior bay window, deteriorated, rotted 5. Front stairs, missing handrail 6. Front door knob, missing.	<b>To be corrected by 10/21/1989</b>



WRIGHT-RYAN CONSTRUCTION, INCORPORATED

22 January 2004

Cyrus Hagge  
President, Board of Trustees  
Cumberland County YMCA  
70 Forest Avenue  
Portland, ME 04101

RE: 219-221 High Street

Dear Mr. Hagge:

At the request of the YMCA we have reviewed the status of the property owned by the YMCA located at 219-221 High Street. The building encompasses approximately 6,162 square feet and formerly contained, to the best of our knowledge, seven apartments. Due to its severely deteriorated condition it has been vacant since 1989 and has been condemned by the City of Portland. Our investigation focused on three options including renovating the building and restoring it to its former use as apartments, relocating the building to the corner of High Street and Cumberland Avenue at the former site of Len's Market, and demolition. Our findings are summarized below.

**Option 1: Renovate the Building**

As noted above the building has been abandoned for 15 years and is severely deteriorated. Renovation would require demolition of most of the interior finishes, extensive structural repair, replacement of significant portions of the siding and exterior trim, new roof, new windows and some new doors, new mechanical and electrical systems, new finishes, and potential reconstruction of stairways and corridors to create viable means of egress. There is considerable uncertainty in estimating costs due to the lack of in-depth knowledge about the extent of structural deterioration. The cost of this work would likely fall in a range from \$500,000 to \$550,000.

**Option 2: Relocate the Building to Corner of High Street & Cumberland Avenue**

This option pre-supposes the availability of the lot and would involve tree removal, taking down and reinstalling power, phone and cable lines, excavation for a new foundation, installing a new foundation, backfilling and rough grading the site, relocating the building, removing the existing foundation, and re-grading the existing site. The building would be placed on the new foundation in its current state and would require the complete renovation described in Option 1 above. The cost of this work would likely fall in a range of \$90,000 to \$100,000 or higher, depending on charges from the various utilities for splicing lines. The costs of moving the building to more remote locations would be dramatically higher and would likely require an



entirely different strategy. We would anticipate a slightly lower cost to move the building into the lower portion of the YMCA's existing parking lot.

**Option 3: Demolish the Building in Place**

This option would involve complete demolition of the building, removal of the existing foundation and re-grading the site. The cost of this work would likely fall in the range of \$35,000 to \$45,000.

We have not explored the economic feasibility of any of these options for the YMCA and caution you that our figures are based on a limited investigation. We are confident, however, that these numbers will serve as a reasonable basis on which to develop further economic analysis.

Please do not hesitate to contact us if we may be of further assistance.

Sincerely,

John W. Ryan

cc: Ben Walter

219-221 High Street Renovation (\$500k, 80% Financing)

<b>TOTAL PROJECT COST:</b>	580,000			
First Mortgage:	80.00%	464,000	7.50%	20 Years
Second Mortgage:				20 Years
Equity Investment:	20.00%	116,000		
Origination Date:	1 /1/2005			

<b>Mortgage Breakdown</b>	
Cost/SF	
Acquisition	80,000
Reconstruction	500,000
<b>Total</b>	<b>580,000</b>

<b>TOTAL INCOME:</b>	72,000	Income Sq/Ft. :		\$11.68	Total Sq/Ft:		6,162
Unit:	Unit #1	Unit #2	Unit #3	Unit #4	Unit #5	Unit #6	Washer/ Dryer
Square Feet:							
Income / Month	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$100
Annual Income/Unit:	\$12,000	\$12,000	\$12,000	\$12,000	\$12,000	\$12,000	\$1,200
<b>% LEASED:</b>							

YEAR	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9
GROSS INCOME (2)	72,000	72,000	73,800	75,645	77,536	79,475	81,461	83,498	85,585
5% Vacancy	3,600	3,600	3,690	3,782	3,877	3,974	4,073	4,175	4,279
OPERATING INCOME	68,400	68,400	70,110	71,863	73,659	75,501	77,388	79,323	81,306
<b>EXPENSES</b>	<b>Basis</b>								
Building Dep.	580,000	14,872	14,872	14,872	14,872	14,872	14,872	14,872	14,872
Interest 1st.		34,447	33,639	32,768	31,830	30,819	29,729	28,555	27,289
Interest 2nd.									
Electricity		1,854	1,854	1,900	1,948	1,997	2,046	2,098	2,150
Gas		5,436	5,436	5,572	5,711	5,854	6,000	6,150	6,304
Water/Sewer		2,976	2,976	3,050	3,127	3,205	3,285	3,367	3,451
Insurance		3,000	3,000	3,075	3,152	3,231	3,311	3,394	3,479
Operating & Maint. (8)		3,420	3,420	3,506	3,593	3,683	3,775	3,869	3,966
Property Tax		15,875	15,875	16,272	16,679	17,096	17,523	17,961	18,410
Replacement/Reserves		3,420	3,420	3,506	3,593	3,683	3,775	3,869	3,966
Closing Fees (5)		6,960							
<b>TOTAL EXPENSES</b>		92,260	84,492	84,521	84,504	84,438	84,317	84,136	83,888
<b>GAIN/ (LOSS)</b>		-23,860	-16,092	-14,411	-12,641	-10,779	-8,816	-6,747	-4,565
<b>NET GAIN/ (LOSS)</b>		-23,860	-16,092	-14,411	-12,641	-10,779	-8,816	-6,747	-4,565
+ Dep. Building		14,872	14,872	14,872	14,872	14,872	14,872	14,872	14,872
- 1st. Principal		10,408	11,216	12,087	13,026	14,037	15,126	16,301	17,566
- 2nd. Principal									
<b>NET CASH FLOW</b>		-19,396	-12,436	-11,626	-10,795	-9,944	-9,071	-8,176	-7,259
<b>Assumptions:</b>									-6,319

-95,024

- The financing starts 1/1/05
- The analysis inflation rate is: 2.50%
- Depreciation - Building and Improvements: 39 years.
- Marginal personal tax rate for 2004 and beyond is 0%.
- Closing costs estimated at 1.5 percent of first position financing.
- Property taxes estimated at: \$15,875
- 2004 income projection is: 100%
- Operating and Maintenance 5%
- Management Fee 5%

## 219-221 High Street Breakeven Analysis

<b>TOTAL PROJECT COST:</b>	100%	430,000		
First Mortgage:	81.40%	350,000	7.50%	20 Years
Second Mortgage:				20 Years
Equity Investment:	18.60%	80,000		
Origination Date:	1 / 1 / 2005			

Mortgage Breakdown	
Cost/SF	
Acquisition	80,000
Reconstruction	350,000
<b>Total</b>	<b>430,000</b>

<b>TOTAL INCOME:</b>	72,000	Income Sq/Ft. :		\$11.68	Total Sq/Ft:		6,162
Unit:	Unit #1	Unit #2	Unit #3	Unit #4	Unit #5	Unit #6	Washer/ Dryer
Square Feet:							
Income / Month	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000	\$100
Annual Income/Unit:	\$12,000	\$12,000	\$12,000	\$12,000	\$12,000	\$12,000	\$1,200
<b>% LEASED:</b>							

YEAR	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9
GROSS INCOME (2)	72,000	72,000	73,800	75,645	77,536	79,475	81,461	83,498	85,585
5% Vacancy	3,600	3,600	3,690	3,782	3,877	3,974	4,073	4,175	4,279
OPERATING INCOME	68,400	68,400	70,110	71,863	73,659	75,501	77,388	79,323	81,306
<b>EXPENSES</b>	<b>Basis</b>								
Building Dep.	430,000	11,026	11,026	11,026	11,026	11,026	11,026	11,026	11,026
Interest 1st.		25,984	25,374	24,717	24,010	23,247	22,425	21,539	20,585
Interest 2nd.									
Electricity		1,854	1,854	1,900	1,948	1,997	2,046	2,098	2,150
Gas		5,436	5,436	5,572	5,711	5,854	6,000	6,150	6,304
Water/Sewer		2,976	2,976	3,050	3,127	3,205	3,285	3,367	3,451
Insurance		3,000	3,000	3,075	3,152	3,231	3,311	3,394	3,479
Operating & Maint. (8)		3,420	3,420	3,506	3,593	3,683	3,775	3,869	3,966
Property Tax		15,875	15,875	16,272	16,679	17,096	17,523	17,961	18,410
Replacement/Reserves		3,420	3,420	3,506	3,593	3,683	3,775	3,869	3,966
Closing Fees (5)		5,250							
<b>TOTAL EXPENSES</b>		78,240	72,381	72,624	72,838	73,020	73,167	73,274	73,337
<b>GAIN/ (LOSS)</b>		-9,840	-3,981	-2,514	-975	639	2,334	4,114	5,986
<b>NET GAIN/ (LOSS)</b>		-9,840	-3,981	-2,514	-975	639	2,334	4,114	5,986
+ Dep. Building		11,026	11,026	11,026	11,026	11,026	11,026	11,026	11,026
- 1st. Principal		7,851	8,461	9,117	9,825	10,588	11,410	12,296	13,250
- 2nd. Principal									
<b>NET CASH FLOW</b>		-6,666	-1,416	-605	225	1,077	1,950	2,844	3,761

**Assumptions:**

1. The financing starts 1/1/05
2. The analysis inflation rate is: 2.50%
3. Depreciation - Building and Improvements: 39 years.
4. Marginal personal tax rate for 2004 and beyond is 0%.
5. Closing costs estimated at 1.5 percent of first position financing.
6. Property taxes estimated at: \$15,875
7. 2004 income projection is: 100%
8. Operating and Maintenance 5%
9. Management Fee 5%

## 219-221 High Street Breakeven Analysis

<b>TOTAL PROJECT COST:</b>	100%	580,000		
First Mortgage:	86.21%	500,000	7.50%	20 Years
Second Mortgage:				20 Years
Equity Investment:	13.79%	80,000		
Origination Date:	1 / 1 / 2005			

Mortgage Breakdown	
Cost/SF	
Acquisition	80,000
Reconstruction	500,000
<b>Total</b>	<b>580,000</b>

<b>TOTAL INCOME:</b>	90,000	Income Sq/Ft. :		\$14.61	Total Sq/Ft:		6,162		
Unit:	Unit #1	Unit #2	Unit #3	Unit #4	Unit #5	Unit #6	Washer/ Dryer		
Square Feet:									
Income / Month	\$1,250	\$1,250	\$1,250	\$1,250	\$1,250	\$1,250	\$100		
Annual Income/Unit:	\$15,000	\$15,000	\$15,000	\$15,000	\$15,000	\$15,000	\$1,200		
<b>% LEASED:</b>									

YEAR		Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9
GROSS INCOME (2)		90,000	90,000	92,250	94,556	96,920	99,343	101,827	104,372	106,982
5% Vacancy		4,500	4,500	4,613	4,728	4,846	4,967	5,091	5,219	5,349
OPERATING INCOME		85,500	85,500	87,638	89,828	92,074	94,376	96,735	99,154	101,633
<b>EXPENSES</b>	<b>Basis</b>									
Building Dep.	580,000	14,872	14,872	14,872	14,872	14,872	14,872	14,872	14,872	14,872
Interest 1st.		37,120	36,249	35,311	34,299	33,210	32,036	30,770	29,406	27,937
Interest 2nd.										
Electricity		1,854	1,854	1,900	1,948	1,997	2,046	2,098	2,150	2,204
Gas		5,436	5,436	5,572	5,711	5,854	6,000	6,150	6,304	6,462
Water/Sewer		2,976	2,976	3,050	3,127	3,205	3,285	3,367	3,451	3,538
Insurance		3,000	3,000	3,075	3,152	3,231	3,311	3,394	3,479	3,566
Operating & Maint. (8)		4,275	4,275	4,382	4,491	4,604	4,719	4,837	4,958	5,082
Property Tax		15,875	15,875	16,272	16,679	17,096	17,523	17,961	18,410	18,870
Replacement/Reserves		4,275	4,275	4,382	4,491	4,604	4,719	4,837	4,958	5,082
Closing Fees (5)		7,500								
<b>TOTAL EXPENSES</b>		<b>97,182</b>	<b>88,812</b>	<b>88,816</b>	<b>88,770</b>	<b>88,671</b>	<b>88,511</b>	<b>88,286</b>	<b>87,988</b>	<b>87,611</b>
<b>GAIN/ (LOSS)</b>		<b>-11,682</b>	<b>-3,312</b>	<b>-1,178</b>	<b>1,058</b>	<b>3,403</b>	<b>5,865</b>	<b>8,450</b>	<b>11,166</b>	<b>14,021</b>
<b>NET GAIN/ (LOSS)</b>		<b>-11,682</b>	<b>-3,312</b>	<b>-1,178</b>	<b>1,058</b>	<b>3,403</b>	<b>5,865</b>	<b>8,450</b>	<b>11,166</b>	<b>14,021</b>
+ Dep. Building		14,872	14,872	14,872	14,872	14,872	14,872	14,872	14,872	14,872
- 1st. Principal		11,216	12,087	13,025	14,036	15,126	16,300	17,565	18,929	20,399
- 2nd. Principal										
<b>NET CASH FLOW</b>		<b>-8,027</b>	<b>-527</b>	<b>669</b>	<b>1,894</b>	<b>3,149</b>	<b>4,437</b>	<b>5,756</b>	<b>7,108</b>	<b>8,494</b>

**Assumptions:**

1. The financing starts 1/1/05
2. The analysis inflation rate is: 2.50%
3. Depreciation - Building and Improvements: 39 years.
4. Marginal personal tax rate for 2004 and beyond is 0%.
5. Closing costs estimated at 1.5 percent of first position financing.
6. Property taxes estimated at: \$15,875
7. 2004 income projection is: 100%
8. Operating and Maintenance 5%
9. Management Fee 5%



USGS Quad \_\_\_\_\_  
 UTM \_\_\_\_\_

Maine Historic Preservation Commission  
HISTORIC PROPERTIES SURVEY

ATTACH PHOTO

PART A. ON-SITE

1. Property Name: (common)  
 \_\_\_\_\_
2. Address:  
 Road 219-221 High Street  
 Town Portland  
 County Cumberland
3. Present Use: 1 family \_\_\_\_  
 multi-family x educational \_\_\_\_  
 commercial \_\_\_\_ religious \_\_\_\_  
 governmental \_\_\_\_ agricultural \_\_\_\_  
 abandoned \_\_\_\_ other \_\_\_\_
4. Condition:  
 good \_\_\_\_ fair \_\_\_\_ poor x
5. Structural System: wood frame x brick \_\_\_\_ stone \_\_\_\_  
 concrete block \_\_\_\_ steel \_\_\_\_ other \_\_\_\_
6. Roof Material: asphalt shingle x wood \_\_\_\_ slate \_\_\_\_  
 metal \_\_\_\_ other \_\_\_\_\_
7. Exterior Wall Material: clapboard x wood shingle \_\_\_\_  
 brick \_\_\_\_ stone \_\_\_\_ log \_\_\_\_  
 asphalt/vinyl/aluminum siding \_\_\_\_  
 asbestos siding \_\_\_\_
8. Foundation Material: fieldstone \_\_\_\_ brick x wood \_\_\_\_  
 concrete \_\_\_\_ granite \_\_\_\_ other \_\_\_\_
9. Alterations (with approximate dates): Front shed-roofed dormer added  
(pre-1924)
10. No. of stories(main sec) 2-1/2 11. No. of stories(wing(s)) 2
12. Roof shape(main sec.) gable 13. Roof shape(wing(s)) shed
14. No. of porches \_\_\_\_\_ 15. Historic outbuildings \_\_\_\_\_
16. Important characteristic features: This large 2-1/2 story eaves-front gabled building has a gabled ell extending back at right angles, and has elaborately detailed molding throughout. A tall central gabled flush-boarded pavillion houses the double entrance with a large bracketed hood. A 1-story bay and a 2-story bay are to either side of the entrance, both with paneling and a pedimented cornice on the 1st floor. The windows all have bracketed cornices which are more elaborate on the front facade. The top center window also has carving above the cornice. The building rooflines are elaborately molded and have paired brackets. There is a front shed-roofed dormer.

PART B. OFF-SITE/RESEARCH - 219-221 High St.

1. Property Name: (historic) \_\_\_\_\_
2. Present Owner: #219 - John L. Murphy / 34 Pitt St. 04103  
#221 - Douglas P. Ludwig / RR1, Box 131 / No. Edgecomb,  
Me. 04556
3. Date of Construction (estimated): \_\_\_\_\_ factual: 1874

Architect/Housewright/Builder (specify): \_\_\_\_\_

Original Owner: \_\_\_\_\_

Source of Information: 1924 Tax Survey

4. Original Use: \_\_\_\_\_

Other Use(s): \_\_\_\_\_

5. Location: On Original Site x Moved \_\_\_\_ Year Moved \_\_\_\_

6. Historical Significance: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

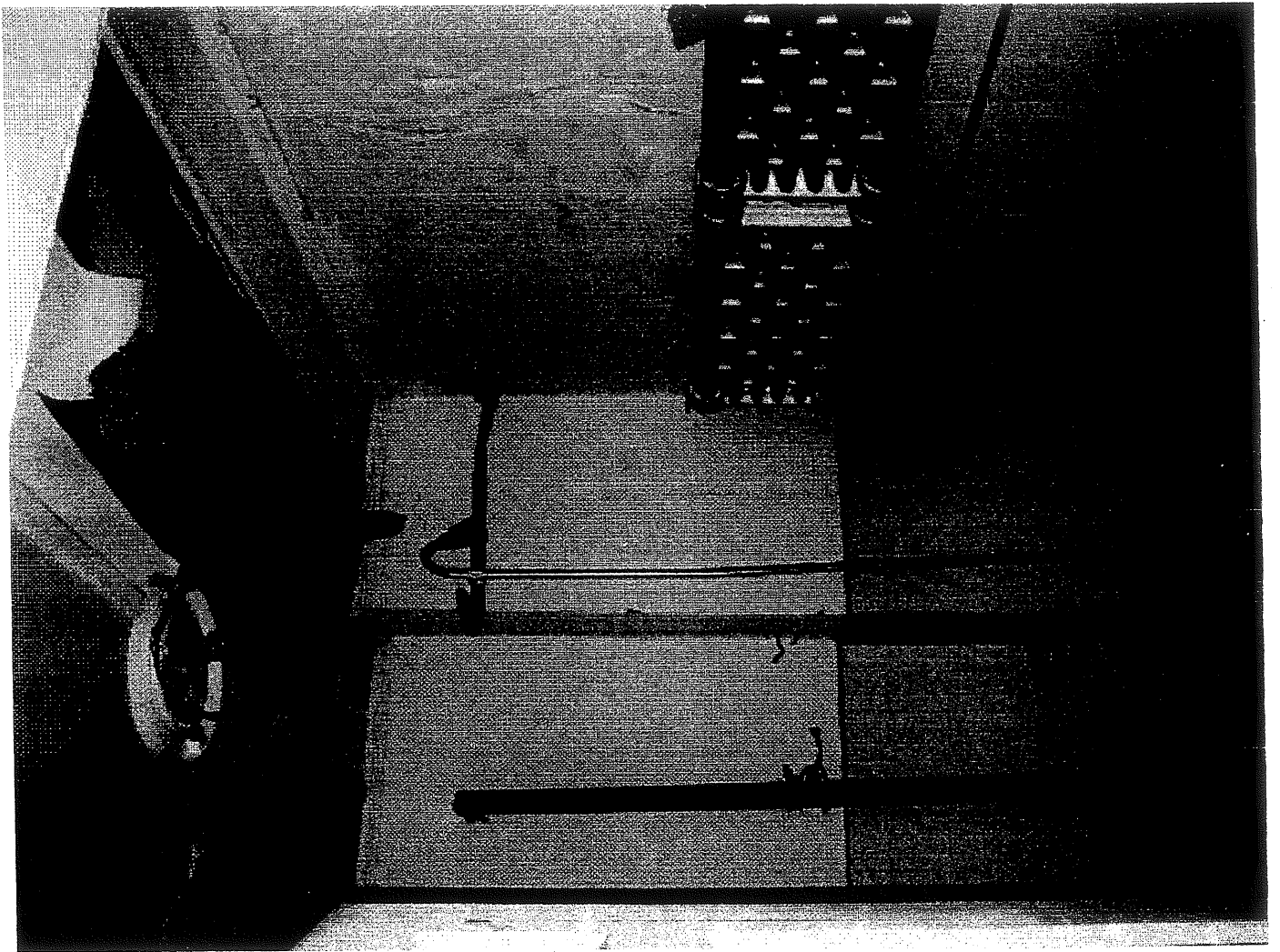
Surveyor: Anne G. Ball Date Photographed: 1/23/89  
Janet Roberts

(Please Print)

7. Known or Suspected Archaeological Sites on Property: \_\_\_\_\_  
\_\_\_\_\_

8. Use attached sheet for site maps showing clusters of buildings (i.e., a farmstead) or a complex of attached structures (i.e., a factory). Unusual floor plans may also be sketched. Important interior features may also be listed.

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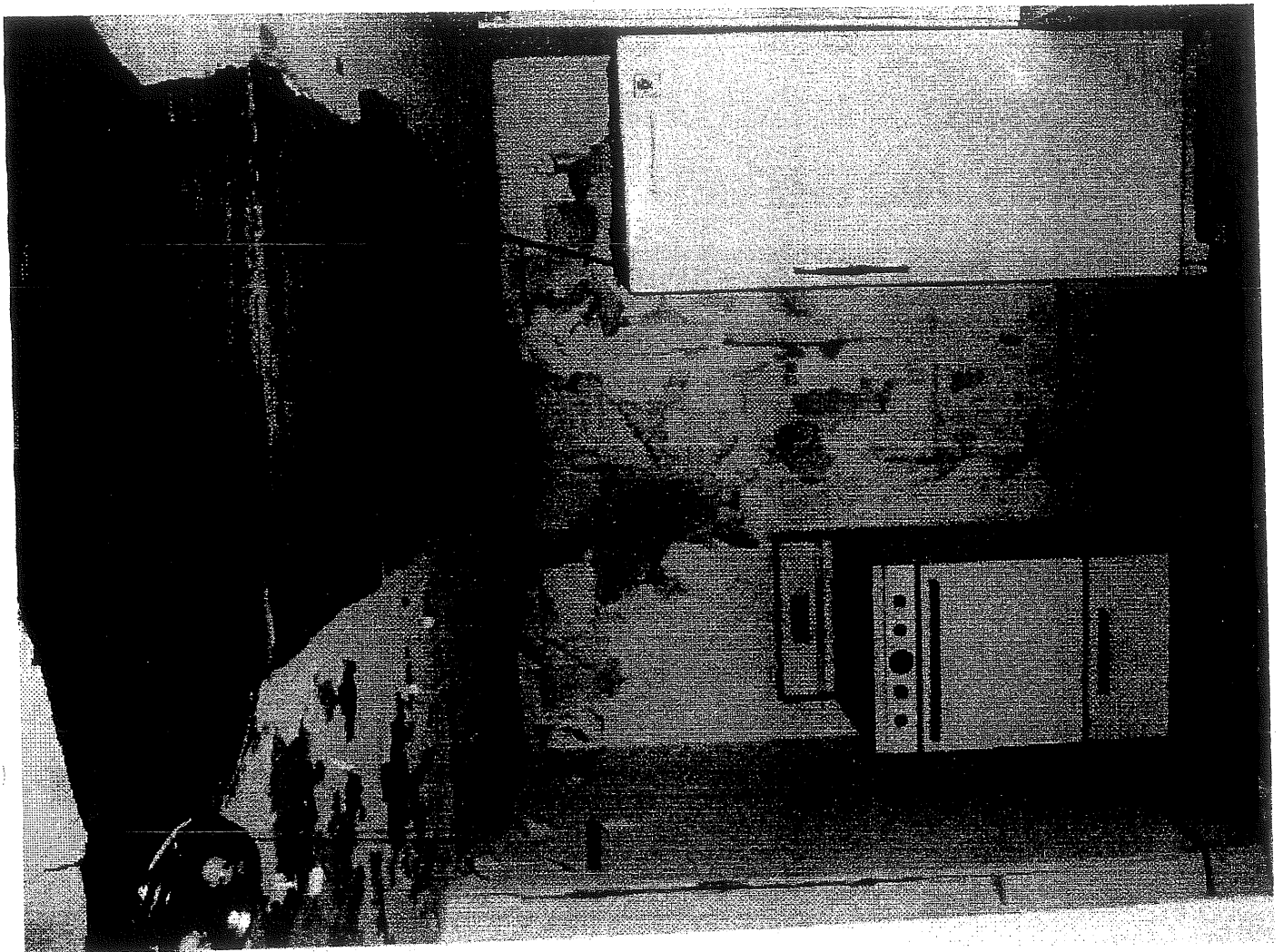
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IMG\_0223.JPG



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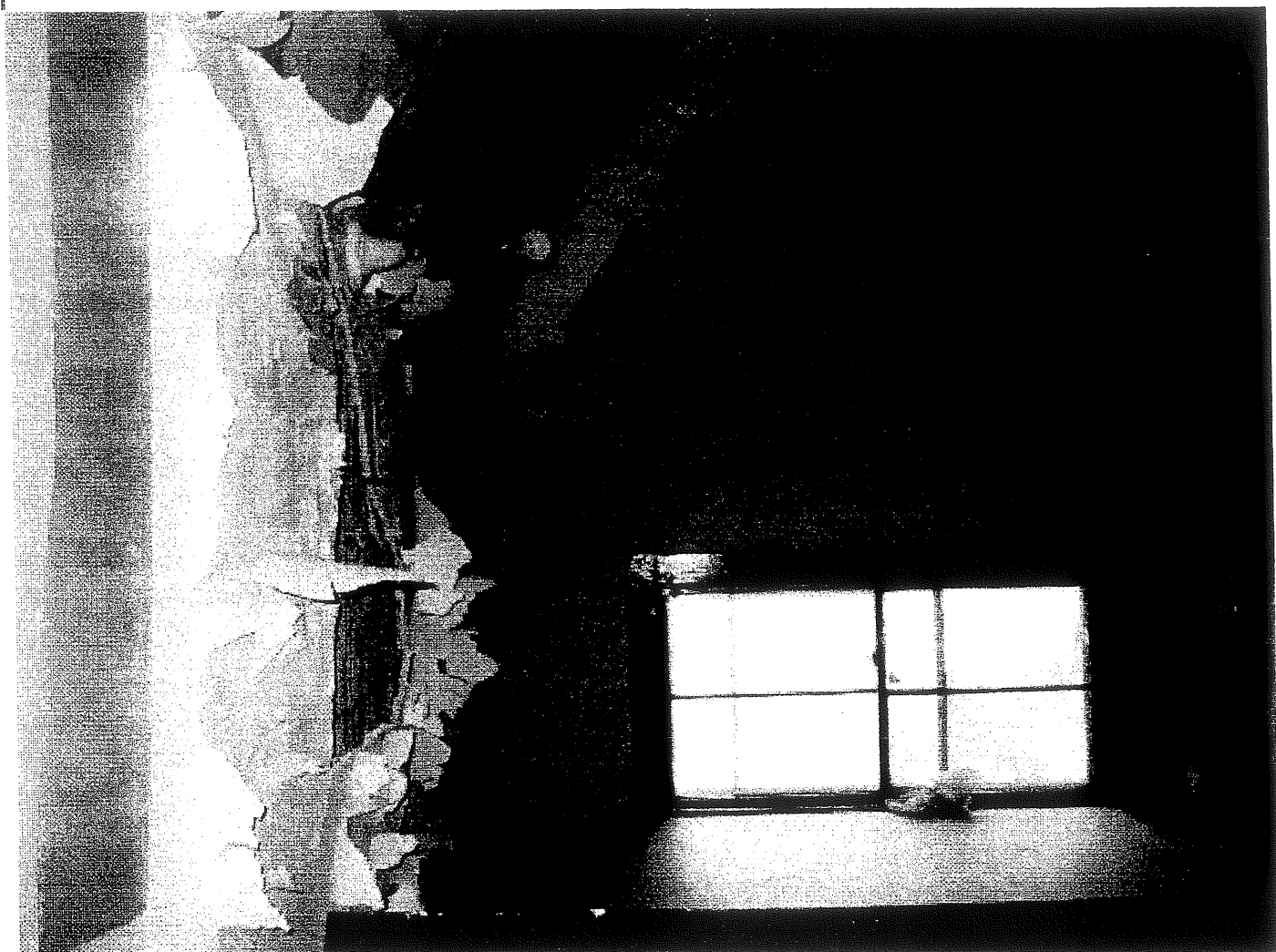


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**From:** "Cyrus Y. Hagge" <chagge1@maine.rr.com>  
**Date:** Wed Jan 21, 2004 10:47:40 AM America/New\_York  
**To:** cyrus Hagge <chagge1@maine.rr.com>  
**Subject:** Fwd: 13 great iPhotos

Begin forwarded message:

From: Patty <phagge@maine.rr.com>  
Date: Thu Jan 8, 2004 6:25:03 PM America/New\_York  
To: chagge1@maine.rr.com  
Subject: 13 great iPhotos



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Section 14-525, Site Plan Written Statements.

1. Description of proposed uses on the site. Construction of a 32 unit efficiency apartment building, demolition of two existing apartment building, construction of a new addition to the High Street side of the YMCA on 70 Forest Ave. and the reconstruction of the parking lot.
2. Total Area of the Site and total floor area.
  - a. Total area: 63,518 Square Feet
  - b. 32 apartment building:
    - i. 5,000 SF floor Plate
    - ii. 22,500 SF total
  - c. YMCA 70 Forest Ave:
    - i. Existing YMCA – 90,000 SF
    - ii. Addition – 2,500 SF
  - d. Parking Lot: 29,000 SF
3. Summary of existing and proposed easements: None known.
4. Estimated quantities of solid waste: The Y is currently served by a small 5yd dumpster picked up once a week. The proposal is to eliminate the dumpster and shift to large wheeled trash containers to be stored indoors and picked up two or three times a week as needed. The trash stream is comprised of office, general membership and residential trash. (See attached letter from trash hauler)
5. Evidence of the ability of off-site facilities: The Y is located in a dense urban setting with direct access to city streets. The existing facility is already served by all utilities (water, sewer, CMP, gas and telecommunications) and there should be adequate capacity to meet the future needs of the Y.
6. Surface water drainage and storm water management plan. The existing site is essentially 100% non-impervious and all drainage needs are met by a combination of storm water catch basins and street storm drains. The proposed plan is to contain all storm water on site via a network of storm drains that connect to the High Street storm drains.
7. Construction Schedule and Plan. The proposed sequence for construction will commence with the demolition of the two apartment building, re-grading and paving the parking lot, move all Y parking to the upper lot and simultaneously construct the new 32 unit building and the entrance addition. The goal is to start construction as soon after the

approval process ends with an anticipated ground breaking in late August or early September with completion with in 10 months.

8. List all state and federal regulatory approvals. This project is subject to final approval from the Maine State Housing Authority, which has already awarded financing.
9. Evidence of Financial and Technical capacity. The Y has been awarded a \$3.5 million grant and has been authorized to proceed with the project. (See attached Notice to Proceed) The Y also has received pledges contingent upon the granting all approvals to construct the addition. The Development team is comprised of a number of professionals that have experience with MSHA projects, from design, construction to operation.
  - a. Ben Walter: CWS Architects. Ben has many years of experience with MSHA projects and has appeared before the Portland Planning Board.
  - b. John Ryan: Wright-Ryan Construction, Inc. John has over thirty years of construction experience in Southern Maine.
  - c. Tom MacDonald: MacDonald Associates, Inc. Tom is a consultant specializing in Low Income Housing and has completed many projects in Southern Maine
  - d. Cyrus Hagge: Project Management, Inc. and President of the Cumberland County YMCA. Cyrus has over 25 years of construction and development experience.
  - e. Dave Thompson: CEO of the Cumberland County YMCA and Executive Director of the Greater Portland YMCA. Dave has a long history with the Y and was the lead staff person on the development of the Casco Bay Y in Freeport.
10. Title, Right or Interest. The Y owns all of its property Fee-Simple. (see attached Exhibit of YMCA properties and Option to Lease)
11. Unusual natural areas. There are none due to the urban setting.
12. Recycling procedures. The Y in conjunction with it trash hauler takes advantage of all recycling opportunity offered in Portland





December 18, 2003

Cyrus Y. Hagge  
CCYSRO, LP  
225 Commercial Street # 404  
Portland, Maine 04101

**RE: Special Needs Housing RFP 2003/Notice to Proceed**

Dear Mr. Hagge:

Maine State Housing Authority ("MSHA") has completed its review of all applications received in response to the 2003 Special Needs Housing Request for Proposals (the "Special Needs RFP"). I am pleased to inform you that the proposal (the "Application") submitted by CCYSRO, LP (the "Developer") for a 32 unit SRO housing project in Portland, Maine to be known as YMCA Apartments at 231 High Street (the "Project") has been selected for further processing.

**This is not a commitment of financing or a reservation of low-income housing tax credits.**

This is a notice to proceed. MSHA will continue its underwriting process, which includes, but is not limited to, commissioning a real estate appraisal, conducting a site visit, reviewing technical construction submissions, reviewing operating budgets and finalizing underwriting. MSHA will notify you if it requires any additional information from the Developer to complete the underwriting process.

Any financing commitment issued by MSHA will be subject to certain terms and conditions required under the Special Needs RFP, the Rental Loan Program and the Low Income Housing Tax Credit Program. Among the conditions of any MSHA financing commitment will be the requirement that the Developer enter into an extended low income housing commitment agreement (commonly referred to as "extended use agreement"), which will be recorded in the appropriate registry of deeds, will be enforceable by MSHA and residents of the Project and will obligate the Developer, its successors and assigns, to perform the commitments made by the Developer in the Application.

All or a portion of any financing made available by MSHA may be eligible as match for federal funding allocated to MSHA pursuant to Title II of the Cranston-Gonzalez National Affordable Housing Act of 1990 and the implementing regulations in 24 C.F.R. Part 92, both as may be amended from time to time (collectively, "FedHOME"). Any MSHA financing commitment will designate the number of units which are subject to the FedHOME match requirements and will require the Developer to enter into a regulatory agreement and restrictive covenants obligating the Developer to comply with the match requirements during the minimum compliance period required under FedHOME.

If you have any questions about the process, please feel free to contact Todd Marlowe, the Multifamily Loan Officer who has been assigned to the Project, at either (207) 626-4600 or 1-800-452-4668 (ext. 791).

Sincerely,



Michael R. DeVos  
Director of Development

cc: Todd Marlowe, MSHA Multifamily Loan Officer  
Tom MacDonald, MacDonald Associates, Inc.

P. 42



EXHIBIT A

Cumberland County YMCA Properties

ADDRESS	NAME	DATE	BOOK	PAGE
233 High Street	The Young Mens Christian Association of Portland, Maine	July 17, 1964	2848	29
231 High Street	The Young Mens Christian Association of Portland, Maine	July 17, 1964	2844	324
229 High Street	The Young Mens Christian Association of Portland, Maine	December 17, 1964	2871	101
223-225 High Street	The Young Mens Christian Association of Portland, Maine	March 20, 1963	2737	458
221 High Street	Cumberland County YMCA	August 31, 1998	14105	1
219 High Street	Greater Portland YMCA	June 15, 1994	11506	288
217 High Street	Cumberland County YMCA	June 6, 2000	15518	100
207 High Street	Cumberland County YMCA	December 16, 2003	20687	288
84-86 Forest Avenue	The Young Mens Christian Association of Portland, Maine	October 31, 1959	2511	398
80-82 Forest Avenue	The Young Mens Christian Association of Portland, Maine	May 3, 1957	2353	265
72-78 Forest Avenue	The Young Mens Christian Association of Portland, Maine	January 5, 1924	1171	142
70 Forest Avenue	The Young Mens Christian Association of Portland, Maine	November 2, 1923	1153	136

**EXTENSION OF OPTION TO LEASE REAL ESTATE**

KNOW ALL MEN BY THESE PRESENTS that the Cumberland County YMCA, a non-profit corporation organized under the laws of the State of Maine with offices at 70 Forest Avenue, Portland, Maine (the "YMCA") for and in consideration of the sum of One Dollar (\$1.00) the receipt of which is hereby acknowledged, hereby amends a certain Option to Lease Real Estate to the CCYSRO, L.P., with offices at 70 Forest Avenue, Portland, Maine (the "Limited Partnership"), as follows:

Section 2: Term of Option. The YMCA hereby confirms that the Option to Lease Real Estate has not been terminated and extends the term of the Option to Lease Real Estate until March 31, 2005.

All other terms of the Option to Lease Real Estate shall remain unchanged and in full force and effect.

Dated: April 1, 2004

CUMBERLAND COUNTY YMCA

Eleanor L. Blanchard  
Witness

Cyrus Y. Hagge  
By: Cyrus Y. Hagge  
President, Board of Directors

STATE OF MAINE  
CUMBERLAND, SS

April 4<sup>th</sup>  
~~March~~ \_\_, 2004

Personally appeared before me the above-named Cyrus Y. Hagge, in his said capacity as President of the Board of Directors of the Cumberland County YMCA and acknowledged that the within instrument is his free act and deed in his said capacity, and the free act and deed of the Cumberland County YMCA.

Before me,

Eleanor L. Blanchard  
Notary Public/Attorney at Law  
Printed Name: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

**ELEANOR L. BLANCHARD**  
**NOTARY PUBLIC, MAINE**  
**MY COMMISSION EXPIRES JULY 14, 2010**

## Public Building Design Committee Process

The Y has created a Building Design Committee made up of a cross section of the surrounding community, by including representation from the Parkside Neighborhood Association, Landmarks, Y board and staff members. These meetings have been open to the general public. While the Y Board of Directors has final decision authority over the designs, the Y is very open to the thoughts and comments put forward at the meetings.

The Y feels that this is a neighborhood project, public involvement is imperative to creating satisfactory results that the community at large can endorse. There have been three public meetings to date. This process should be completed by the time this project is presented at the Planning Board Public Meeting.

Below is a brief outline of the issues discussed at the first two meetings.

### 12-9-03 Committee Meeting Minutes:

- \* Discussion of the Y's mission, need to make changes to bring the facility up to date as an urban Y.
- \* The current parking lots look blighted and needs to be cleaned up.
- \* The building to be demolished not that important
- \* Street Trees important to the project
- \* Portland Y can not do everything and needs to have a narrow focus.
- \* If the houses need to come down, the design should have an urban feel and not look like a suburban shopping mall.
- \* Parking plan should not be an invasion into the neighborhood
- \* Lighting Details are important, should over power the area.
- \* Should be respectful of urban design issues.

### 1-21-04 Committee Meeting Minutes:

- \* What is the Y's mission? To be a Landlord. Discussion about the number of units the Y currently manages.
- \* Forest Avenue side is too dark and needs to be brightened up.
- \* If High Street becomes the new Front Door, the Y needs to pay attention to a number of issues
  - A suburban design does not tie into the neighborhood
  - The current entrance does not tie into the street, it faces at an angle not parallel.
  - Design elements necessary on the street. Such as a gateway, shelter or benches.
  - Step down the fence to tie it into the streetscape
  - Spice up the exterior design of the SRO

- \* Public safety for vehicles in and out.
- \* Pedestrian safety.
- \* Parking in the neighborhood.

## 2-11-03 Committee Meeting Minutes

The Y presented its revised elevations for the SRO and the Entrance to a very favorable response. The general condenses was that the new elevations were a significant improvement over the preceding plans. The committee recommended to adopt the revised plans.

There were a number of side issues that were discussed

- Bump out sidewalk to make a safer crosswalk.
- Ask the city to put a no right on red at the Cumberland/High street intersection
- New speed limit sign
- Better street lighting
- Move the Sherman St. parking lot to 96 Forest and turn it into a playground
- Move SRO to 96 Forest Ave. playground, but not enough room on the lot.
- Discussion of the new entrance and internal circulation and building materials.
- Make sure there is enough storage for the tenants.

## Parking Management Plan:

To get a better understanding of the parking demand at the Forest Avenue facility, the Y surveyed of its members, residents and staff.

### Membership Parking Demand

The total number of members fluctuates over the year with the winter as the busiest time. During the day, the busiest hours are from 6am to 8am, 11am to 1pm and 5pm to 7pm. The total number of daily visits ranges from 360 to 533 members with a weekly average of 371 visits. Breaking down the daily usage, the flow of membership varies by the time of day. (See Chart A)

**Membership Parking Survey:** Over the week of March 15 the Y collected 137 responses to a simple survey. We asked our members if they drove to the Y, where did they park, time of visit, length of stay and which days of the week did they use the Y. Below is a snapshot of the results.

- 87% said they drove to the Y.
- Of those who drove 35% used the Y from 6am to 12pm, 43% from 12pm to 6pm and 21% from 6pm to closing.
- The length of stay varied with 27% there for 1hr, 48% for 1.5hr and 23% for 2hrs.
- 70% parked in the Y lot, 15% on High Street, 2% parked in the Garage and 1% said Sherman and Grant Streets
- 70% said they used the Y on Monday, Wednesday and Friday, 62% to 67% come on Tuesday and Thursday and only 36% used the Y on Saturday:

### Employee Parking Demand

The Y staff consists of 27 full time employees, who work a 40 hour. 110 part-time employees have hours that range from 4 to 20 hours per week. While a significant number, only 5 to 6 are on the job at any time. The Y is open 7 days a week from 6am to 10pm with staff coverage for the balance. The Y provides parking in the Sherman Street lot for the key employees and the balance finding on street parking or walking to work.

**Employee Parking Survey:** At the same time as the membership survey, we asked our staff how many drove, where they parked, days they worked and shift hours. 36 employees responded to the survey.

- 77% drive to work
- 33% park in the Sherman Street lot the balance on High Street and Sherman Street.

- All of the full time employees work weekdays during normal business hours.

### Resident Demand

Resident Parking Survey: The Y requests that when a resident registers to rent a room, that they state whether they own a car. Checking in over the past few weeks, we found that the number of resident cars vary from 9 to 11. About one half of the residents who own cars drive to work. The Y does not provide any parking spaces to residents so we assume that they park on the street. The new SRO should add approximately 2 new cars to the overall parking demand.

### Conclusions and Recommendations

To better understand the hourly demand for parking we have prepared two charts, the first showing number of parking spaces used by members, staff and residents and the second shows the cumulative numbers. (See Chart B, C) These charts identify that the Y can easily accommodate its staff and residents with in the parking already existing at the Y. What is clear, is that the Y can not accommodate its members with off street parking. The challenge is to get the membership to take advantage of the available Park & Shop parking lots.

We asked our membership if they were aware of the our 2hrs of free parking at the gateway garage and only 63% were aware of the program and only 2% are taking advantage. We left room on the survey for comments and most said that if they used the garage, it was last resort. Others suggested that the Y provide valet parking, sky-walk or a tunnel. Most mentioned that some sort of promotion that offered a free service such as a free towel or locker would make the garage more appealing.

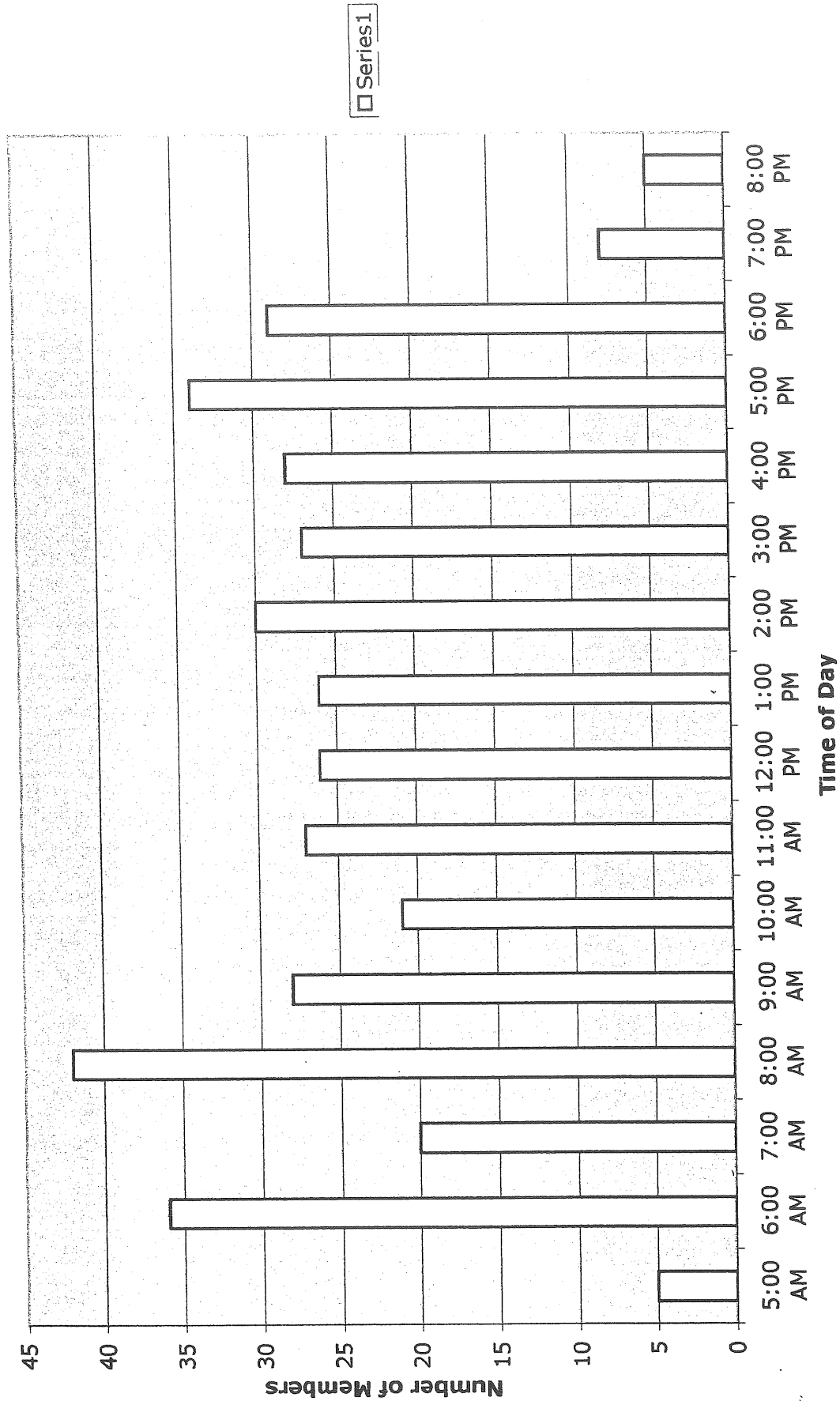
Based upon the information collected, the Y proposes to use a number of parking options to meet parking demand. The Y has never been able to meet the parking needs of our members, staff and residents on site, but with a combination of on and off site parking, on street parking and free parking in the Gateway garage, the Y has accommodated the parking demand over the years. The Y proposes the following changes to the parking management plan.

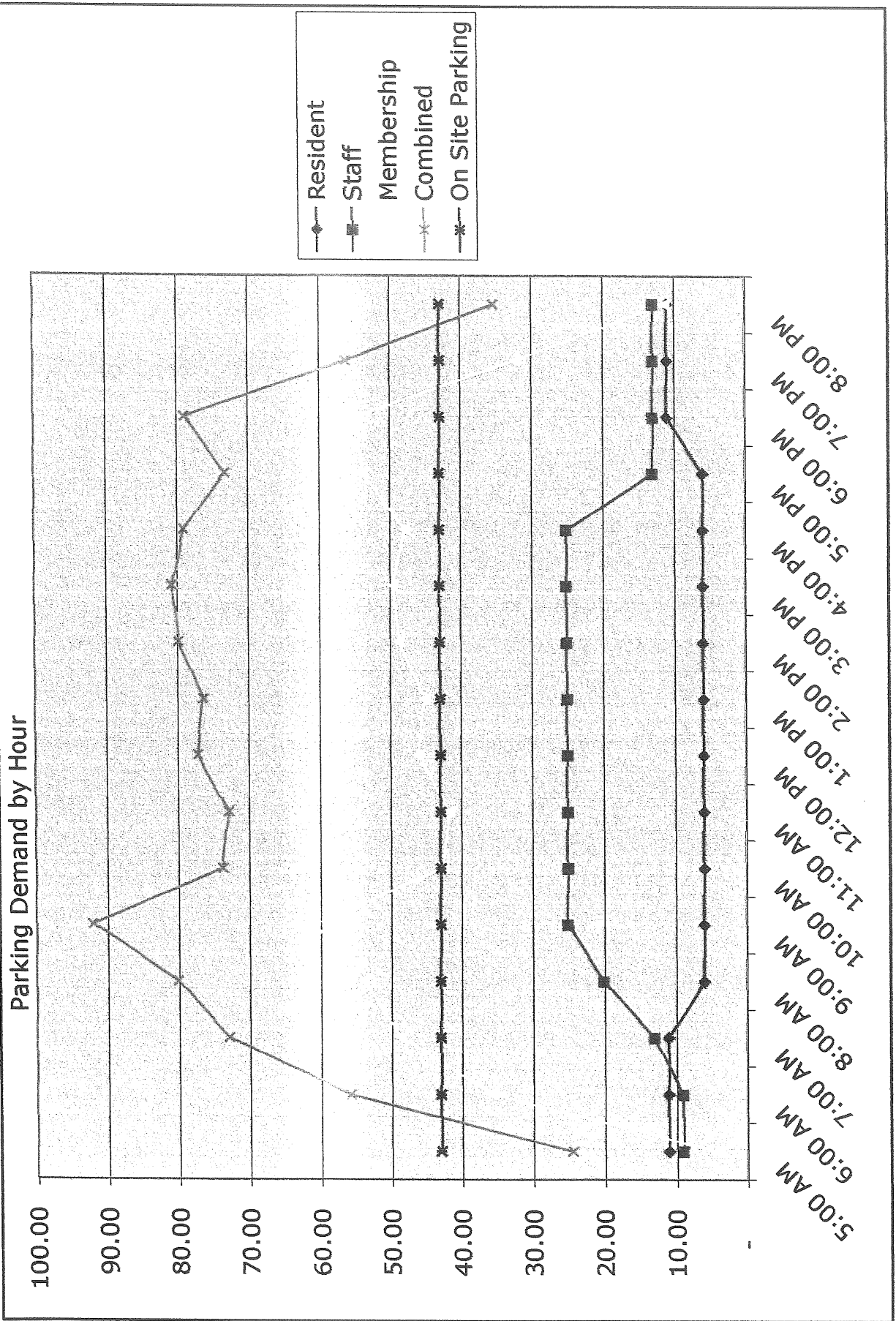
1. Membership parking: Continue using a combination of parking in the Y's High Street lot, on street parking and free use of the Gateway garage. The Y will institute a number of internal promotions to stimulate use of off-street parking. These promotions will include free towels, drawings for free membership, lessons and lockers. The Y will implement different promotional efforts over the year keep members attention.

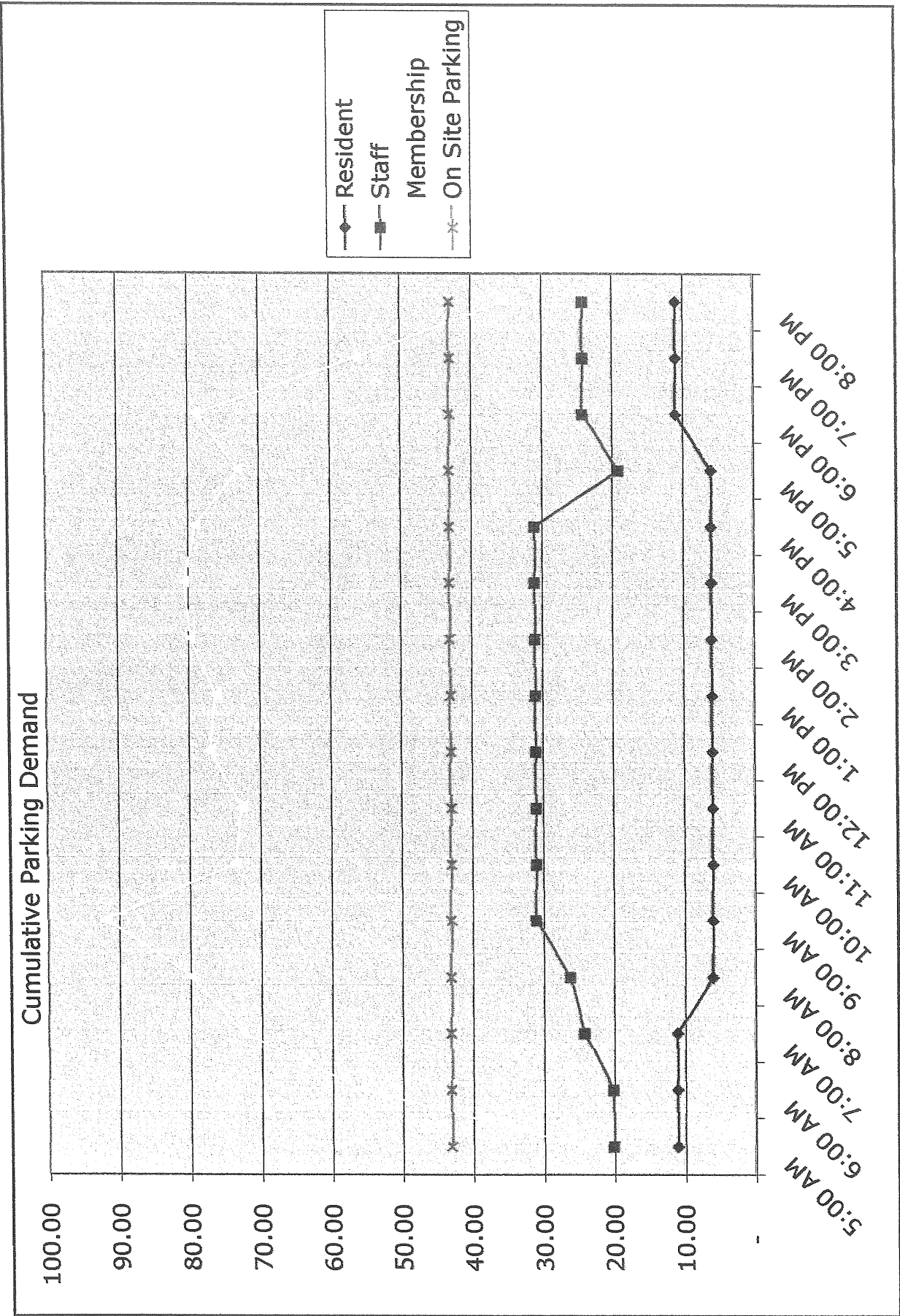


2. Staff parking: Staff will continue to use the Sherman Street lot.
3. Resident parking: Based upon our analysis, one in ten of our tenants own a car. With the new building and its net gain of 21 residents, the Y estimated the additional need for parking of 2 cars. Through the combination of shared parking with members and staff in the High Street and Sherman Street parking lots the Y believes that it can accommodate the resident parking demand.

# Greater Portland YMCA (Hourly Usage)







## Portland's Comprehensive Plan

The City of Portland has over many years created a comprehensive plan to guide the city as it makes planning decisions for the future. The Housing component of the plan has very clear goals and strategic plans. The YMCA SRO apartment building is one project that helps the city achieve many of its goals.

The first goal of the comprehensive plan, encourages growth fit within the City's existing infrastructure. Due to the urban location and the availability of infrastructure the YMCA meets this goal.

"Comprehensive Plan Goal A, Encourage orderly growth and development in appropriate areas".

"Encourage a manageable level of growths that will sustain the city as a healthy urban center in which to live and work"

"Maximize development where public infrastructure and amenities, such as school, parks, public/alternative transportation, sewer lines, and roads, exist or may be expanded at minimal costs"

The fourth goal of the comprehensive plan addresses the need for affordable housing. The SRO proposed by the YMCA is ideally situated to meet these goals too.

Comprehensive Plan Goal D: "To encourage and promote affordable, decent housing opportunities"

"Strive to provide a sufficient supply of quality housing commensurate with a manageable level of growth to sustain the city as a healthy urban center in which to live and work"

"Ensure that an adequate supply of housing is available to meet the needs, preferences, and financial capabilities of all Portland households, now and in the future"

"Ensure the construction of a diverse mix of housing types that offers a continuum of options across all income levels, which are both renter and owner-occupied, included but not limited to the following"

"Housing for special markets, such as SRO's, student or dormitory housing, group homes, and artist housing including live/work opportunities"

The YMCA believes that the proposed SRO fits well into the different goals put forth in Portland's Comprehensive Plan. The Y helps meet the need for affordable housing close to services and transportation systems. This project should fill a unique housing need for dwellings that fit between a boarding house and an apartment.

**Neighborhood Meeting:**

The YMCA will be holding a neighborhood meeting on Wednesday April 6, 2004 at 70 Forest Avenue at 7:30pm.

Preservation and Replacement Housing Application

Applicant: Cumberland County YMCA  
Address: 70 Forest Avenue, Portland, ME 04101  
Telephone Number: 207-874-1111

1. This application is for the following number of housing units proposed for elimination (enter number of units here): \_\_\_\_\_ 16 \_\_\_\_\_

2. Address(es) of housing unit(s) to be eliminated:

217 High Street,  
219-221 High Street

(attach list if necessary)

3. Applicable Chart Block Lot number(s) of housing units to be eliminated:

Map 36-G-23  
Map 36-G-21-22

(attach list if necessary)

4. For each housing unit(s) proposed for elimination, describe the characteristics of said unit(s) [14-483(f)(1)]:

217 High Street

floor area:	3 floors approximately 900SF per floor
number of bedrooms:	11 bedrooms
rent level:	\$105.00 per week
amenities:	None
lease length:	Boarding house week to week
other:	

219-221 High Street

floor area:	3 floors approximately 1,100SF per floor
number of bedrooms:	5-6 bedrooms
rent level:	\$0.00 building has been vacant since 1984
amenities:	None
lease length:	Boarding house week to week
other:	



5. Manner by which the housing unit(s) will be eliminated [14-483(c)]:  
(circle one or more)

- i.  demolition
  - ii.  conversion of residential unit to nonresidential use
  - iii.  reduction/consolidation of housing unit within residential structure
  - iv.  other: explain
- 
- 
- 

6. Are the housing units vacant? (Circle one)

219-221 Yes

No 217

If yes, how many units are vacant?

219-221 5 vacant units

If yes, how long has each been vacant?

Since 1984

(attach list if necessary)

7. If the housing units are occupied, identify each tenant currently residing in the housing unit(s) to be eliminated (attach list if necessary) [14-483(f)(2)] and the amount of rent each tenant currently pays:

The building at 217 High Street is used as a boarding house with week to week rentals. The residents turn over at weekly basis. With no long term tenants it is difficult to identify who the residents are.

8. Is the reason for the elimination of housing units solely due to the placement of a surface parking lot [14-483(c)]? (Circle one)

Yes

No

If no, please explain: The demolition of the two buildings will make way for a new entrance to the YMCA and additional parking.

9. Have you, or anyone affiliated with you, eliminated housing units in the City of Portland since July 1, 2002 [14-483(c)]? (Circle one)

Yes

No

If you answered yes, please identify the address(es) for all housing units which were eliminated, the date on which said units were eliminated, and the entity who eliminated the units:

Address: \_\_\_\_\_ Date: \_\_\_\_\_ Entity: \_\_\_\_\_  
Address: \_\_\_\_\_ Date: \_\_\_\_\_ Entity: \_\_\_\_\_  
Address: \_\_\_\_\_ Date: \_\_\_\_\_ Entity: \_\_\_\_\_

(continue on separate sheet if necessary)

10. To what use will the property containing the housing units be put after the units are eliminated [14-483(e)]? Please explain;

For the construction of a new addition to the YMCA and surface parking.

11. Has a site plan application for reuse of the property been submitted for Planning Board approval as a Conditional Use [14-483(e)]? (circle one)

Yes      No

12. How do you intend to meet the requirements of §14-483(h) to replace the eliminated housing units?

i. create new housing units within the City of Portland at the following location(s) 32 SRO Units at 231 High St. Such units have not previously been on the market as housing units, nor have the units been subject to prior site plan approval by the City of Portland Planning Board. These replacement units have the following characteristics:

floor area:	approximately 350 sqsf
number of bedrooms:	32 one bedroom units
rent level:	\$490.00 per month
amenities:	Private baths, kitchens, common areas and laundry facilities
lease length:	Minimum of 6 months

ii. the conversion of nonresidential building to residential uses at: \_\_\_\_\_

iii. the creation of new housing units at 32 SRO Units at 231 High St. under a plan which meets another important housing need within the City, as evidence by its inclusion in the housing element of the Comprehensive Plan (please explain):

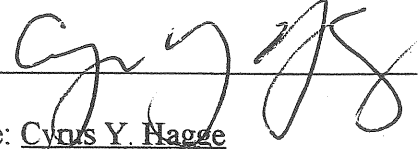
The YMCA believes that the proposed SRO fits very nicely into the different goals put forth in Portland's Comprehensive Plan. The Y helps meet the need for affordable housing close that close to services and transportations systems. This project should fill a unique housing need for dwellings that fit between a boarding house and an apartment.

- iv. housing created in advance of this application for demolition, conversion, elimination or consolidation at the site on which the housing units to be eliminated now sit and the Planning Authority approved such plan.
  - v. cash contribution to the City of Portland pursuant to §14-483(j).
13. Please complete the Affidavit required by §14-483 verifying that you have provided required notice to tenants of all housing units to be eliminated. (see attached)

The YMCA will not be able to provide notice to our tenants at this time due to the fact that the housing to be eliminated is week to week boarding house units and the tenants will change significantly between now and construction.

I, Cyrus Y. Hagge, as applicant for a permit allowing the elimination of housing units under Portland City Code 14-483, hereby certify that the foregoing is true to the best of my knowledge.

Date: 4-4-04

Signature: 

Print or Type Name: Cyrus Y. Hagge



CURTIS WALTER STEWART  
A r c h i t e c t s

434 Cumberland Avenue  
Portland ME 04101-2325

Benedict B. Walter, Vice President

Phone: 207.774.4441

Fax: 207.774.4016

E-mail: BWalter@CWSarch.com

April 2, 2004

Barbara Barhydt, Senior Planner  
City of Portland  
Department of Planning and Urban Development  
389 Congress Street, 4th Floor  
Portland, Maine 04101

Re: Greater Portland YMCA Master Plan  
Portland, Maine

Dear Barbara,

The pole mounted luminaries to be planned in the parking lot as indicated on the submitted site plan will be full-cutoff type bracket mounted fixture selected to be compatible with the master plans design aesthetics are as follows:

LSI Industries GREENLEE Lighting, Lifestyle Series Model Number: LSFH  
175MH XX FP F BLK type with 16' 4" Pole and LS BK CC S Bracket and  
CBC 4 Pole Base (see attached product cut sheets).

Very truly yours,

CURTIS WALTER STEWART ARCHITECTS

Benedict B. Walter, Architect  
Vice President

cc: Cyrus Hagge, CC YMCA  
Jim Seymour, Sebago Technics



# Lifestyle Series Luminaires

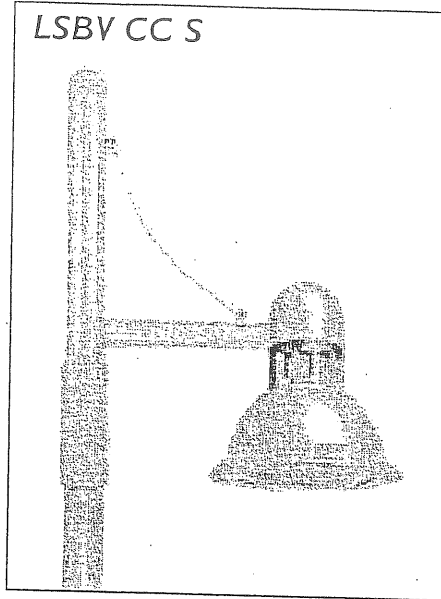
**Lamp Types:** Standard or Pulse Start Metal Halide and High Pressure Sodium  
**Shade and Crown:** Die Cast Aluminum.  
**Brackets:** Brackets are extruded and cast aluminum assemblies or fabrications. All decorative elements are die cast or extruded aluminum.  
**Finish:** Available in silver gray metallic, satin verde green, bronze, black, white or buff polyester powder coat.  
**Lens:** Flat or Contoured tempered glass lenses are available. Lens is sealed to the lens frame casting.  
**Gaskets and Seals:** Silicone gaskets seal the lens to the housing and the crown to the shade. All gaskets and seals are extruded, molded or die cut silicone.  
**Optics:** Four distributions- Type II, III, V, and Forward Throw Perimeter. Shade attachment allows field orientation of optics in 90° increments.  
**Lampholder:** Matched to the lamp.  
 Glazed porcelain, medium or mogul base, 4KV pulse rated with spring center contact.  
**Ballasts:** High power factor for -20°F starting is standard. Universal electronic for 120-277V, 50 or 60HZ operation is available for some wattages.  
**Color Bands:** Accent color decals are available in nine colors, and guaranteed for five years against peeling, cracking, or fading.  
**Fasteners:** All exposed fasteners are black oxide coated stainless steel.  
**Base Cover:** Optional Decorative or Contemporary base covers have two-piece die cast construction with stainless steel fasteners. Base covers are polyester powder coated to match pole.



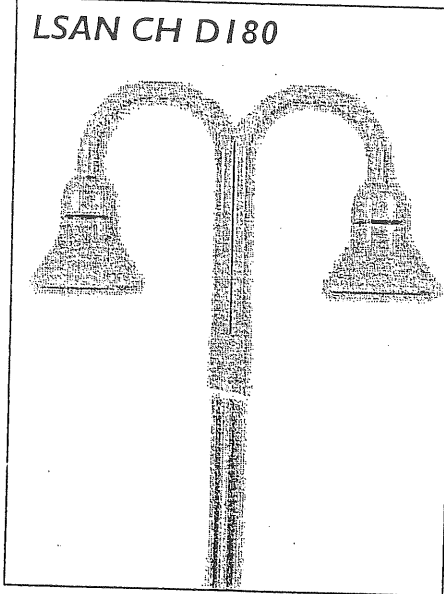
**UL** suitable for wet locations.  
LISTED

**UL** US LISTED

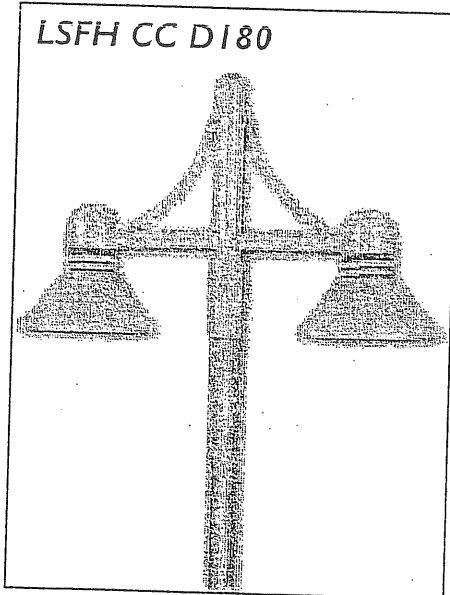
LSBV CC S



LSAN CH DI 80



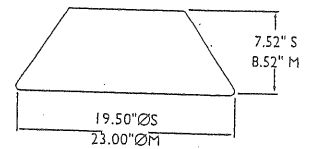
LSFH CC DI 80



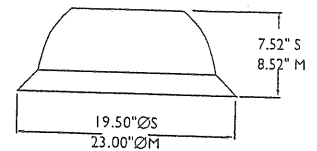
## Shade Dimensions

S = Small M = Medium

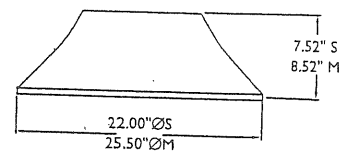
### A-ANGLE SHADE



### B-BELL SHADE

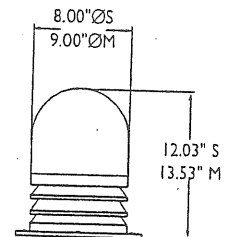


### F-FLARED SHADE

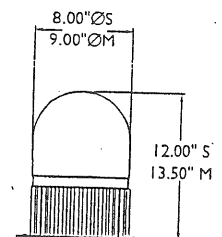


## Crown Dimensions

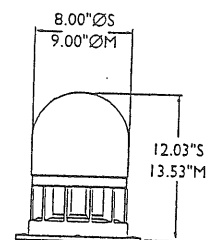
S = Small M = Medium



H-HORIZONTAL LOUVER



N-NON LUMINOUS



V-VERTICAL LOUVER

P. 61

AREA LIGHTING

# Order Specifications

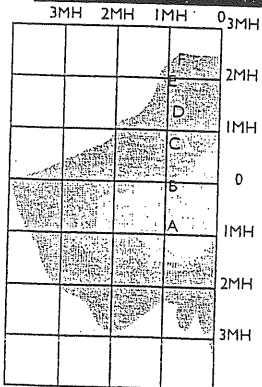
TO ORDER: Select appropriate choice from each column as in example below.

EXAMPLE:

Series	Shade	Crown	Wattage/Lamp Type	Voltage	Optics	Lens	Finish
LS Lifestyle Series Small	A B F	N H V	50, 70, 100, 150, 175 MH E-17 Medium Base  50, 70, 100, 150, HPS E-17 Medium Base	MT - Multi-Tap <sup>1</sup> 120, 208, 240, 277 TT - Tri-Tap 120, 277, 347, 480V (Magnetic Ballast is not available in 50, 70, 150MH or 50 HPS) UE - Electronic Universal Electronic 120-277V 50 or 60 HZ	2- Type I I 3- Type I I I FP - Forward Throw Perimeter 5 - Type V	F- Flat Lens (provides full cut off) CT - Contoured Clear Tempered Glass	SGM - Silver Grey Metallic SVG - Satin Verde Green BLK - Black BRZ - Bronze BUF - Buff WHT - White
LM Lifestyle Series Medium	A B F	N H V	250, 400 MHR Reduced MH-Mogul Base 250, 320, 350, PSMH Pulse Start Metal Halide 250, 400 HPS High Pressure Sodium (Requires contoured lens)				

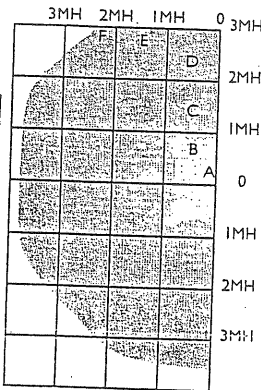
1. Multi-Tap ballast is pre-wired for highest voltage. Alternate voltages will require field re-wiring.

## Photometrics



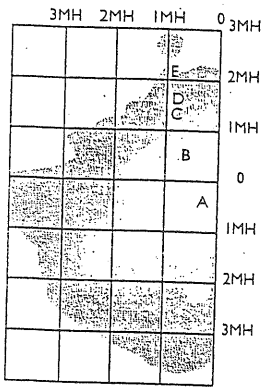
LS 175MH Type 2 Optics

Mounting Height	Lifestyle Small					
	A	B	C	D	E	F
10'	12.80	5.12	2.56	1.28	0.51	0.26
12'	8.89	3.56	1.78	0.89	0.36	0.18
14'	6.53	2.61	1.31	0.65	0.26	0.13
16'	5.00	2.00	1.00	0.50	0.20	0.10
18'	3.95	1.58	0.79	0.40	0.16	0.08
20'	3.20	1.28	0.64	0.32	0.13	0.06
24'	2.22	0.89	0.44	0.22	0.09	0.04



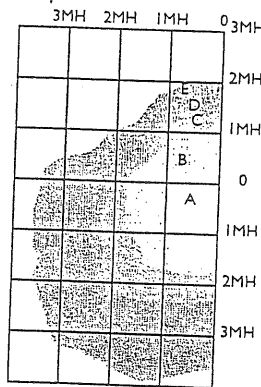
LS 175MH Type 5 Optics

Mounting Height	Lifestyle Small					
	A	B	C	D	E	F
10'	12.80	5.12	2.56	1.28	0.51	0.26
12'	8.89	3.56	1.78	0.89	0.36	0.18
14'	6.53	2.61	1.31	0.65	0.26	0.13
16'	5.00	2.00	1.00	0.50	0.20	0.10
18'	3.95	1.58	0.79	0.40	0.16	0.08
20'	3.20	1.28	0.64	0.32	0.13	0.06
24'	2.22	0.89	0.44	0.22	0.09	0.04



LS 175MH Type 3 Optics

Mounting Height	Lifestyle Small					
	A	B	C	D	E	F
10'	12.80	5.12	2.56	1.28	0.51	0.26
12'	8.89	3.56	1.78	0.89	0.36	0.18
14'	6.53	2.61	1.31	0.65	0.26	0.13
16'	5.00	2.00	1.00	0.50	0.20	0.10
18'	3.95	1.58	0.79	0.40	0.16	0.08
20'	3.20	1.28	0.64	0.32	0.13	0.06
24'	2.22	0.89	0.44	0.22	0.09	0.04



LS 175MH Type FP Optics

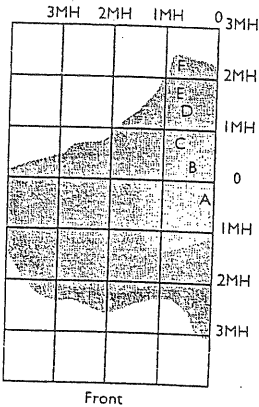
Mounting Height	Lifestyle Small					
	A	B	C	D	E	F
10'	12.80	5.12	2.56	1.28	0.51	0.26
12'	8.89	3.56	1.78	0.89	0.36	0.18
14'	6.53	2.61	1.31	0.65	0.26	0.13
16'	5.00	2.00	1.00	0.50	0.20	0.10
18'	3.95	1.58	0.79	0.40	0.16	0.08
20'	3.20	1.28	0.64	0.32	0.13	0.06
24'	2.22	0.89	0.44	0.22	0.09	0.04

P. 62

Option/Accessory	Style	Configuration	Pole Diameter	Pole Material	Pole Height	Pole Option/Accessory
LL - Less Lamp PC120 - 120Volt Photocell PCHV - 208- 277V Photocell RGS - Rock Guard Stainless (Not available with PT) EQ - Emergency Quartz (Separate Circuit) SQ - Stand-by Quartz (Not available with electronic ballast) Color Bands: 45 - Light Gold Metallic 20 - Charcoal Metallic 55 - Black 94 - Blue Metallic 59 - Dark Green 51 - Dark Red 21 - Tomato Red 50 - White 700 - Aztec Silver	PT - Post Top SA - Side Arm PA - Parallel Arm CC - Curved Clevis SC - Straight Clevis CH - Classic Hook PM - Pendant Mount	W - Wall Mount S - Single D180° - Double D90° - Double T90° - Triple T120° - Triple Q90° - Quad	4" 5"	S10G S7G S11G	10' 12' 14' 16' 18' 20' 24'	DBC Decorative Base Cover CBC Contemporary Base Cover GFR-GFCI Duplex Receptacle WPR Weather Proof Receptacle

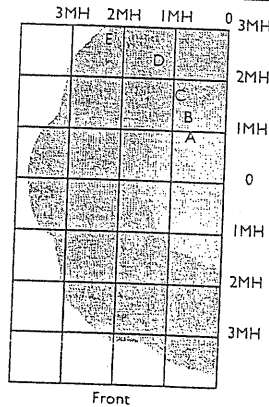
Photometrics

LM 320 PSMH Type 2 Optics



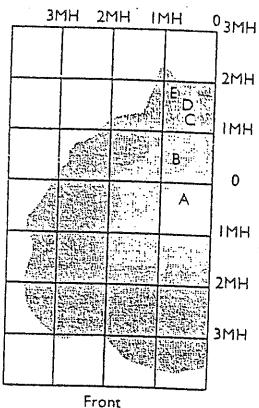
Mounting Height	Lifestyle Medium					
	A	B	C	D	E	F
10'	28.80	11.52	5.76	2.88	1.15	0.58
12'	20.00	8.00	4.00	2.00	0.80	0.40
14'	14.69	5.88	2.94	1.47	0.59	0.29
16'	11.25	4.50	2.25	1.13	0.45	0.23
18'	8.89	3.56	1.78	0.89	0.36	0.18
20'	7.20	2.88	1.44	0.72	0.29	0.14
24'	5.00	2.00	1.00	0.50	0.20	0.10

LM 320 PSMH Type 5 Optics



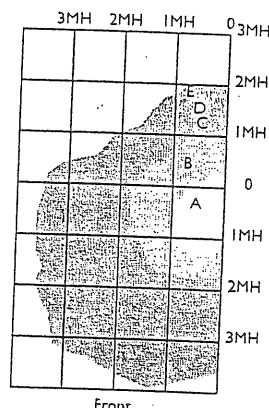
Mounting Height	Lifestyle Medium					
	A	B	C	D	E	F
10'	28.80	11.52	5.76	2.88	1.15	0.58
12'	20.00	8.00	4.00	2.00	0.80	0.40
14'	14.69	5.88	2.94	1.47	0.59	0.29
16'	11.25	4.50	2.25	1.13	0.45	0.23
18'	8.89	3.56	1.78	0.89	0.36	0.18
20'	7.20	2.88	1.44	0.72	0.29	0.14
24'	5.00	2.00	1.00	0.50	0.20	0.10

LM 320 PSMH Type 3 Optics



Mounting Height	Lifestyle Medium					
	A	B	C	D	E	F
10'	28.80	11.52	5.76	2.88	1.15	0.58
12'	20.00	8.00	4.00	2.00	0.80	0.40
14'	14.69	5.88	2.94	1.47	0.59	0.29
16'	11.25	4.50	2.25	1.13	0.45	0.23
18'	8.89	3.56	1.78	0.89	0.36	0.18
20'	7.20	2.88	1.44	0.72	0.29	0.14
24'	5.00	2.00	1.00	0.50	0.20	0.10

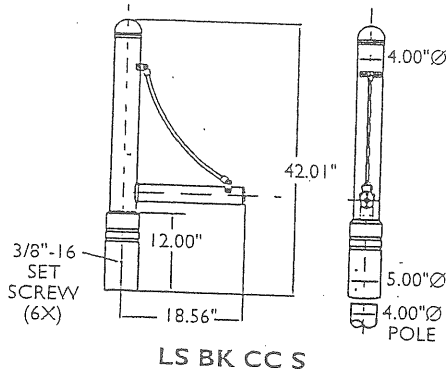
LM 320 PSMH Type FP Optics



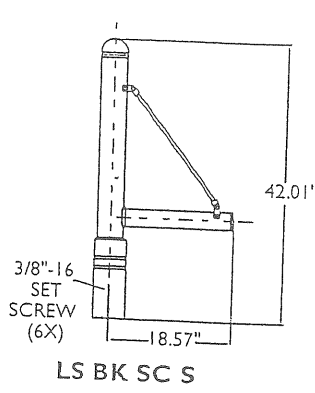
Mounting Height	Lifestyle Medium					
	A	B	C	D	E	F
10'	28.80	11.52	5.76	2.88	1.15	0.58
12'	20.00	8.00	4.00	2.00	0.80	0.40
14'	14.69	5.88	2.94	1.47	0.59	0.29
16'	11.25	4.50	2.25	1.13	0.45	0.23
18'	8.89	3.56	1.78	0.89	0.36	0.18
20'	7.20	2.88	1.44	0.72	0.29	0.14
24'	5.00	2.00	1.00	0.50	0.20	0.10

P.63

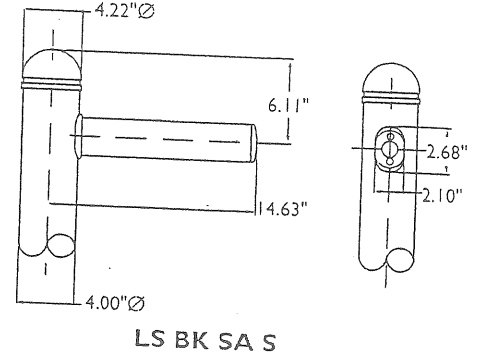
# Lifestyle Small Brackets



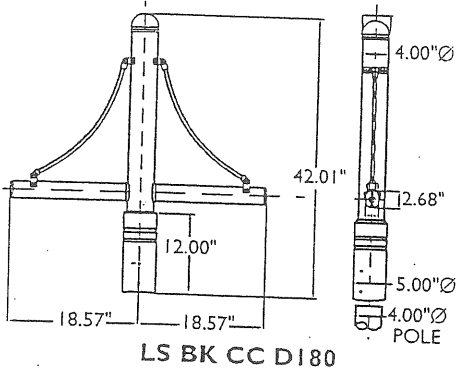
LS BK CC S



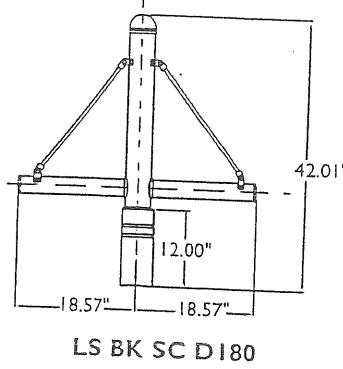
LS BK SC S



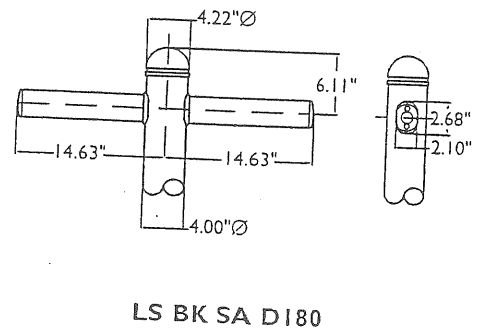
LS BK SA S



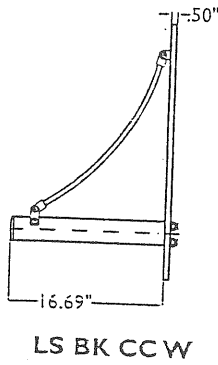
LS BK CC DI80



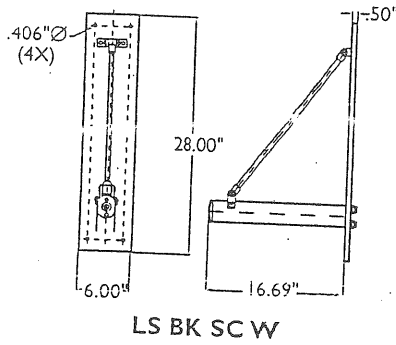
LS BK SC DI80



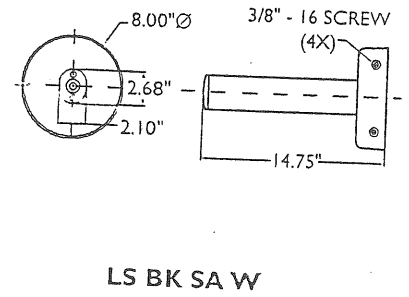
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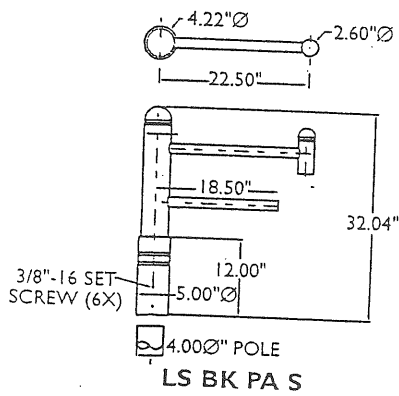
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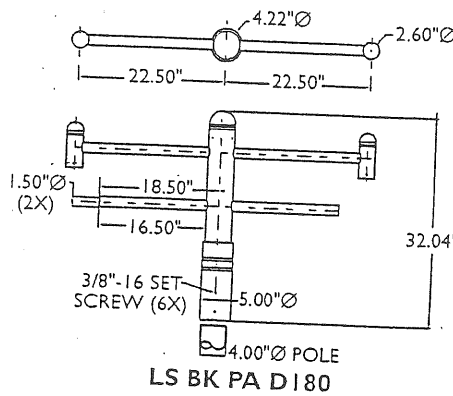
LS BK SCW



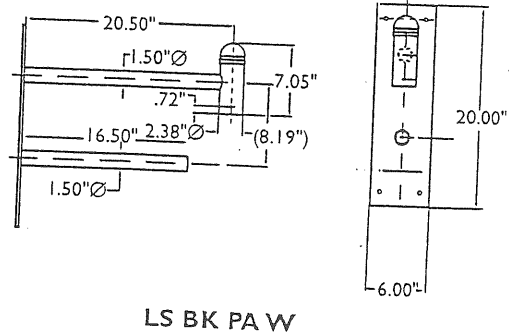
LS BK SAW



LS BK PAS

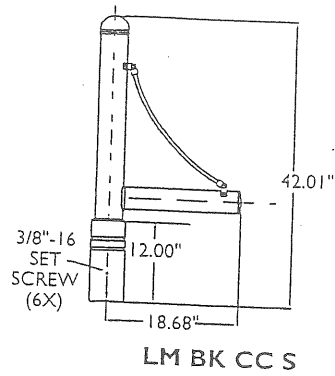


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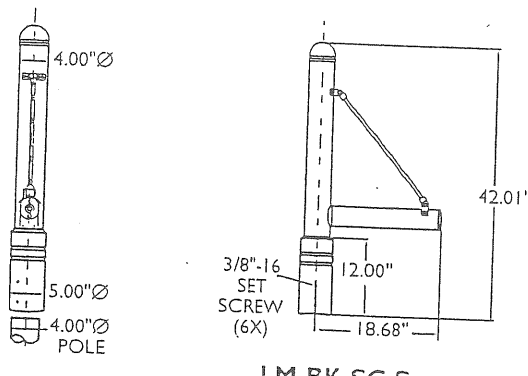


LS BK PAW

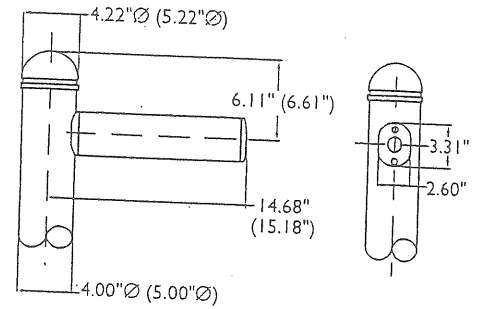




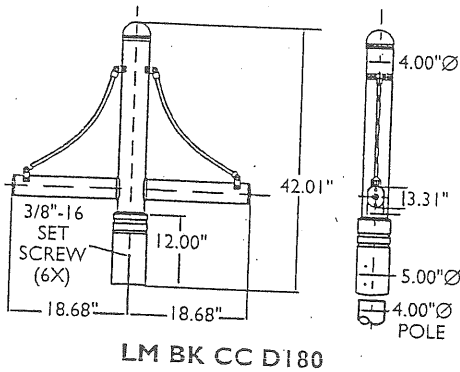
**LM BK CC S**



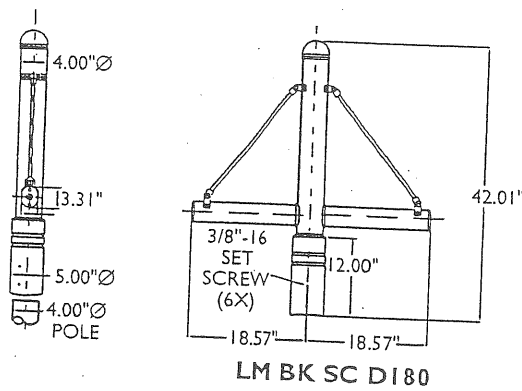
**LM BK SC S**



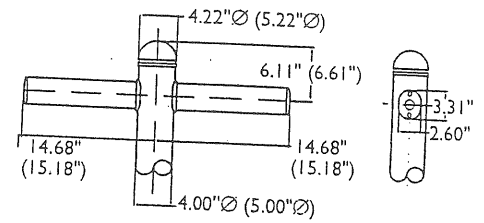
**LM BK SA S**



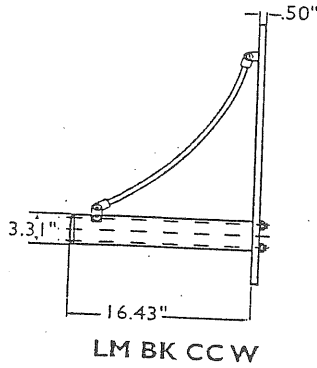
**LM BK CC D180**



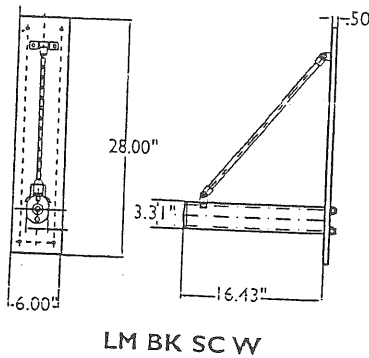
**LM BK SC D180**



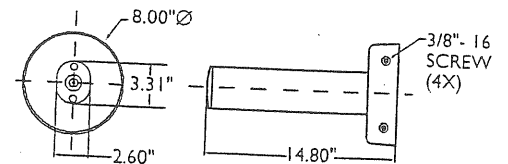
**LM BK SA D180**



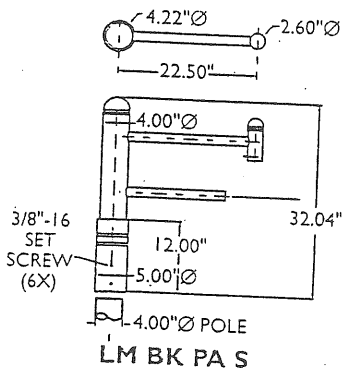
**LM BK CC W**



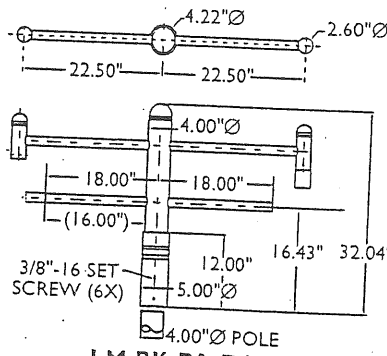
**LM BK SC W**



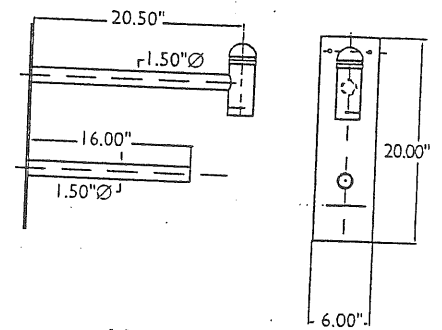
**LM BK SA W**



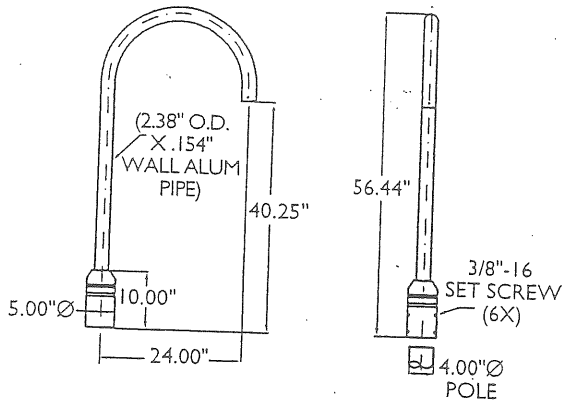
**LM BK PA S**



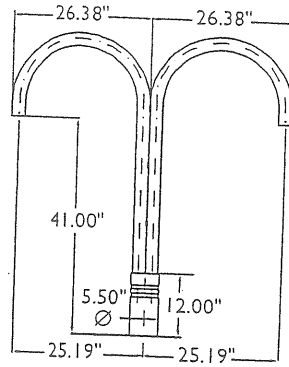
**LM BK PA D180**



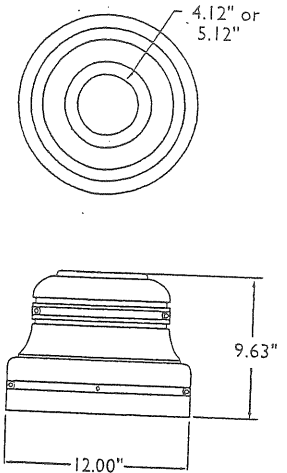
**LM BK PA W**



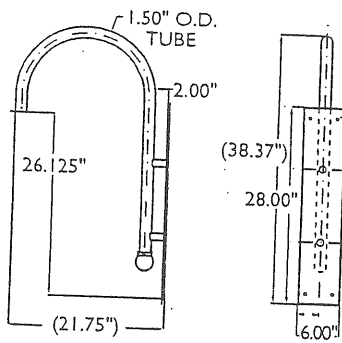
**LMS BK CH S**



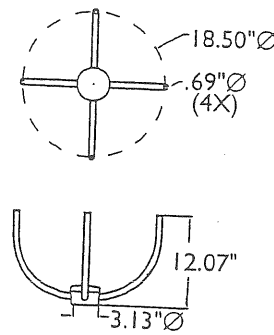
**LMS BK CH DI80**



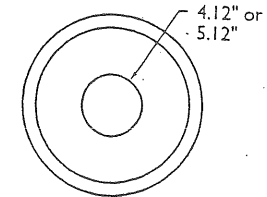
**DBC 4 or DBC 5**



**LMS BK CH W**

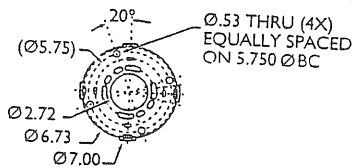


**LM BK PT**

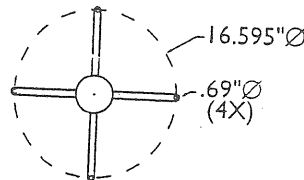


**CBC 4 or CBC 5**

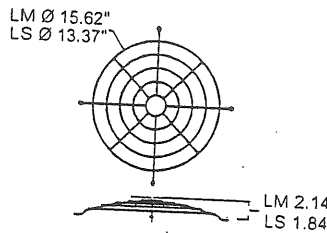
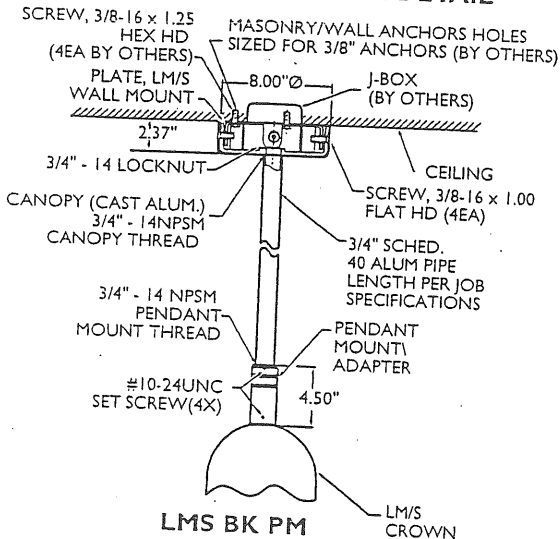
IMPORTANT: FIXTURE WEIGHT UP TO 60 POUNDS REQUIRES METALLIC ANCHORING DEVICES. ANCHORS MUST ACCEPT 3/8 - 16 x 1.25 BOLTS OR STUDS.



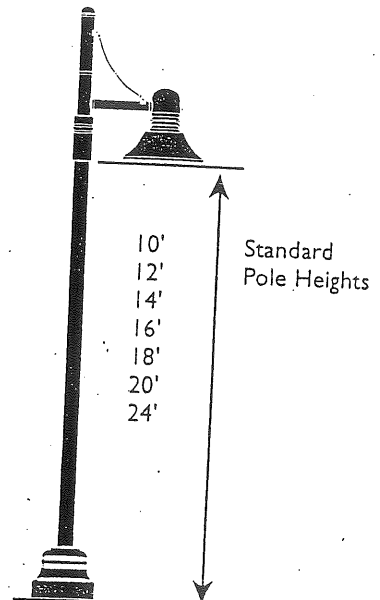
**LM/S WALL MOUNT PLATE DETAIL**



**LS BK PT**



**LMS Rock Guard**



**Standard Pole Heights**

*P. 666*



# Lifestyle Series Round Steel Poles

**Pole Shaft:** Pole shaft is electro-welded ASTM-A500 Grade C steel tubing with a minimum yield strength of 46,000 psi. Round steel poles are 4" or 5" in diameter.

**Mounting Methods:** Poles for luminaires with bolt on bracket mounts are drilled to match bracket. Adapter is welded in poles for Post Top mount luminaires. Brackets with slipfitters slide onto 4" poles, or onto 4" diameter tenon that is welded on 5" poles.

**Hand-Hole:** Standard hand-hole location is 12" above pole base. Poles 18' and above have a 3" x 6" reinforced hand-hole. Shorter poles have a 2" x 4" non-reinforced hand-hole.

**Base:** Pole base is ASTM-A36 hot-rolled steel plate with a minimum yield strength of 36,000 psi.

**Base Cover:** Optional Decorative or Contemporary die cast aluminum base covers are available.

**Anchor Bolts:** Poles are furnished with anchor bolts featuring zinc-plated double nuts and washers. Galvanized anchor bolts are optional. Anchor bolts conform with ASTM-A36 with a minimum yield strength of 36,000 psi.

**Ground Lug:** Ground lug is standard.

**Ground Fault Receptacle:** Duplex receptacle with Ground Fault Circuit Interrupter is optional.

**Duplex Receptacle:** Weatherproof duplex receptacle is optional.

**Finish:** Each pole is finished with baked-on polyester powder coat. Six standard finish colors are silver gray metallic, satin verde green, black, bronze, white, and buff.

**Pole Selection Process:** To determine the proper luminaire / pole combination for your application follow these steps:

1. Select luminaire.
2. Select bracket style and configuration.
3. Refer to Luminaire / Bracket EPA chart below to determine EPA value.

Luminaire EPA Chart (includes Bracket)	⊙	⊕	⊕	⊕	⊕	⊕	⊕
	Post Top	Single	D90°	D180°	T90°	T120°	Quad
LS - Lifestyle Small	1.1	1.6	2.3	2.7	3.3	3.4	4.1
LM - Lifestyle Medium	1.3	1.8	2.7	3.1	4.0	4.0	4.9

4. Select pole Height.
5. Select MPH to match the wind speed in application area.
6. Confirm the pole EPA is equal to or exceeds the luminaire/bracket EPA as was determined previously in step #3.

Pole Ht.	EPA at listed wind speed				Pole Dia.	Material & Gauge	Bolt Circle Dia.	Anchor Bolt Dia.
	70MPH	80MPH	90MPH	100MPH				
10'	18.6	13.8	10.6	8.3	4	S10G	8.00"	0.75
12'	14.7	10.8	8.1	6.2	4	S10G	8.00"	0.75
14'	11.8	8.5	6.2	4.5	4	S10G	8.00"	0.75
16'	10.1	7.1	5.0	3.5	4	S10G	8.00"	0.75
18'	16.1	11.5	8.4	6.1	4	S10G	8.00"	0.75
20'	13.2	9.2	6.5	4.5	4	S10G	8.00"	0.75
16'	18.7	13.5	9.9	7.3	5	S11G	8.00"	0.75
18'	24.3	17.6	13.0	9.7	5	S11G	8.00"	0.75
20'	20.1	14.3	10.3	7.4	5	S11G	8.00"	0.75
24'	13.8	9.2	6.1	3.9	5	S11G	8.00"	0.75
16'	28.8	21.2	16.0	12.3	5	S07G	8.00"	1.00
18'	37.2	27.5	20.8	16.0	5	S07G	8.00"	1.00
20'	31.4	22.9	17.1	13.0	5	S07G	8.00"	1.00
24'	22.6	16.0	11.4	8.2	5	S07G	8.00"	1.00

Notes:

1. Non-reinforced handholes are 2" x 4". Reinforced handholes are 3" x 6".
2. 4" S10G pole EPA values are based on 156# load.
3. 5" S11G pole EPA values are based on 226# load.
4. 5" S07G pole EPA values are based on 296# load.

Anchor Bolt	Recommended Tightening Torque (Minimum)		A+1/8
	Inch Lb.	Foot Lb.	
3/4" x 30"	1620	135	3-1/4"
1" x 36"	2400	200	4"

Conduit Opening

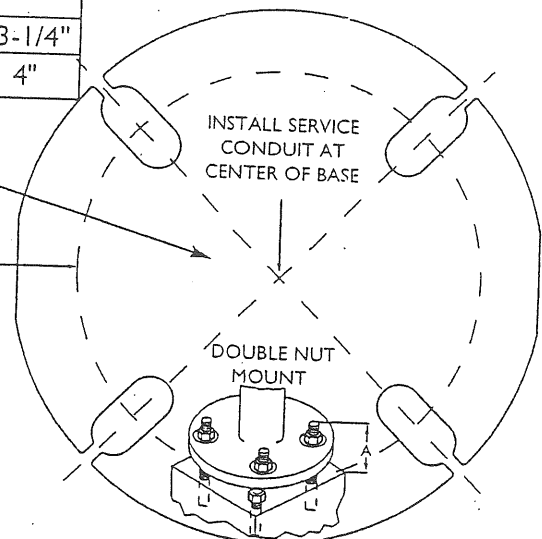
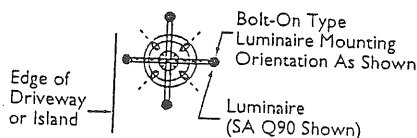
4 S10G 3.73Ø

5 S7G 4.64Ø

5 S11G 4.76Ø

8" BOLT CIRCLE

ROUND BASE PATTERN



Note: Install Bolts Accurately Centered Within 1/16" of Nominal Position for Proper Fit with Base.





# Jerith Products

[Click Here!](#)  
Fence Specifications

Click on the Series links below for more information about Jerith's fence lines.

To make it easier to decide which Jerith fence is right for you, we have divided our designs into several categories, based upon their common characteristics.

[Jerith Products](#)

[100 Series](#)

[200 Series](#)

[400 Series](#)

[Lexington & Concord Series](#)

[Ovation Series](#)

[Regency Series](#)

[Accessories](#)

[Dates](#)

[About Jerith](#)

[Aluminum as Strong as Steel](#)

[Guaranteed For Life](#)

[Our Fence Gets a Perfect Finish](#)

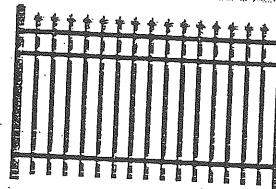
[Literature Request Form](#)

[Contact Us](#)

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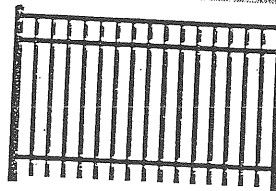
### 100 Series

These fences have exposed picket points on the top. These are classic "wrought iron" designs that have been used for over 100 years.



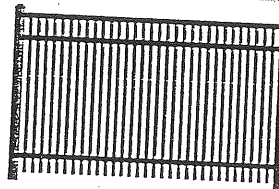
### 200 Series

A smooth top rail makes these styles perfect around pools. These are our most popular designs because of this. Their aluminum construction makes them ideal for pool enclosures since they can never rust.



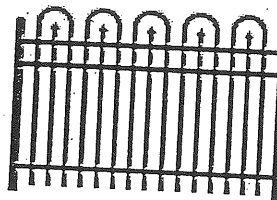
### 400 Series

These fences have a narrow 1-5/8" space between the pickets to keep pets inside your yard. The spacing also makes it very difficult for children to obtain a foothold on the fence.



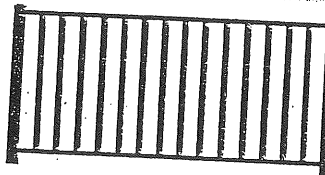
### Lexington and Concord Series

"Old World" wrought iron designs are reproduced with elegant arches connecting the pickets. These styles are among our fastest growing, and are unique to Jerith.



### Ovation Series

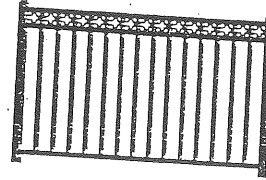
This simple design was specifically created to meet the pool enclosure code drafted by the U.S. Consumer Product Safety Commission. To give this two rail fence the necessary strength, we use larger horizontal rails and pickets.



P. 68

**Regency Series**

These sections have larger components that allow these fences to be 33% stronger than our other Residential sections. This is the *only* series with rings available as an option.



**Accessories & Gates**

We have a wide variety of scrolls, finials and other items to accent your Jerith fence. Gates are also available to match any of our fence designs.

**Specifications**

Here is a chart of the component sizes, standard heights, picket spacings, and other pertinent data relating to our fences:

Component Sizes	Residential Strength	Ovation - Regency	Industrial Strength
Pickets	5/8" sq. x .050" thick	3/4" sq. x .050" thick	1" sq. x .062" thick
Rails: Top Walls Side Walls	1" x .055" thick 1" x .082" thick	1" x .055" thick 1 1/2" x .082" thick	1 5/8" x .070" thick 1 5/8" x .100" thick
Standard Posts	2" sq. x .060" thick	2" sq. x .060" thick	2 1/2" sq. x .075" thick
Gate Posts	2" sq. x .125" thick 4" sq. x .125" thick	2" sq. x .125" thick 4" sq. x .125" thick	4" sq. x .125" thick 6" sq. x .125" thick
Spacing Between Pickets	3 13/16" (1 5/8" for 400 series)	3 31/32"	4" (1 1/2" for 400 series)
Post Spacing	72 1/2" on center	72" on center	71 1/2" on center
Heights Available*	36", 48", 60", 72", 54"* , 57"*	36", 48", 60", 72", 54"*	48", 60", 72", 84", 96"
Standard Colors	Black, White, Bronze	Black, White, Bronze	Black, White, Bronze
Weight Supported	350+ lbs. per section	350+ lbs. per section	1,000+ lbs. per section

\*Residential fence is also available in a 54" height as a modified Style #200 and #202, and a 57" height as a modified Lexington and Concord to meet most pool codes. Regency fence is available in a 54" height in Windsor and Windsor Plus styles. Ovation is only 48" high.

No Industrial fences are shown on this site. Industrial products are available in the 100, 200 and 400 Series designs. If you would like more information on our Industrial fences, please contact us.

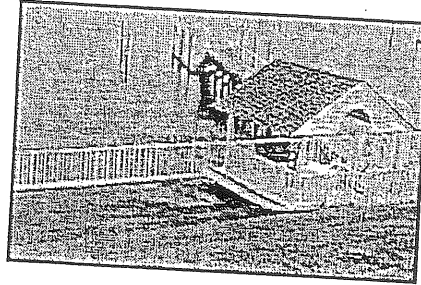
P. 69



## About Jerith

"Jerith offers a proud tradition of quality and service to our customers."

Jerith is a family business that is now in its third generation. We are the oldest and largest manufacturer of aluminum ornamental fences in North America. Decorative fences constructed from aluminum were first designed and manufactured by Jerith in 1961. Since that time, we have become a leader in the fencing industry. We are known for our high quality products and outstanding service.



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- About Jerith
- Aluminum  
Strong as Steel
- Guaranteed  
For Life
- Our Fence  
Finish
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We are a participating member in many organizations which promote product excellence, such as A.S.T.M., the Powder Coating Institute, and the American Fence Association. In 1995, Jerith was one of only four companies selected nationally to receive the prestigious American Business Ethics Award from the American Society of CLU & ChFC.

Jerith offers a proud tradition of quality and service to our customers. We are confident and proud that our fences are built to the highest standards in the industry. That is why we were the first fence manufacturer to give a Lifetime Warranty on every item we sell. No other fence manufacturer can match our combination of experience, quality and service.

Top of Screen

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P. 70

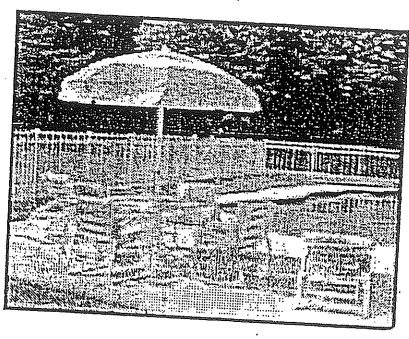


# Aluminum as Strong as Steel

Jerith's Exclusive HS-35™ Aluminum Alloy has the Strength of Steel Without the Rust.

You no longer have to choose between the maintenance-free ease of aluminum and the strength of steel for your fence. The best of both worlds is available only from Jerith. Through extensive research and testing, Jerith has developed an aluminum alloy called HS-35. This remarkable material has the strength of steel without the rust!

- Jerith Products
- Strong Jerith
- Aluminum as Strong as Steel
- Guaranteed For Life
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Our HS-35 Alloy has a minimum yield strength of 35,000 pounds per square inch (psi), which is significantly higher than the 25,000-33,000 psi strength found in most steel fences. Even more impressive is Jerith's advantage over other aluminum fences, which have yield strengths of only 16,000 psi.

Every post and rail in Jerith aluminum fences is extruded from our exclusive HS-35 Alloy. While some aluminum fence manufacturers claim to use similar alloys, they seldom use it in both their posts and rails like we do. In addition, Jerith is the only manufacturer that uses a high strength alloy in its pickets. Our pickets are over 50% stronger than any other aluminum fence. We don't cut corners on the strength of our products!

An independent testing laboratory has proven that a typical Jerith Residential Fence can support over 350 pounds per section without any structural failure and our Industrial fence can hold over 1,000 pounds! With strength like this, Jerith fences will certainly satisfy your fencing needs for years to come.


Always look for our logo on the sections, post caps,

and gates to ensure that you are receiving Jerith quality and our exclusive HS-35 Alloy. Other fences may look like Jerith, but none are as strong, durable or well-built as ours.

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**CITY OF PORTLAND, MAINE  
CITY COUNCIL AGENDA REQUEST FORM**

**TO:** Linda Cohen, City Clerk

**FROM:** Alexander Jaegerman, Director of Planning Division

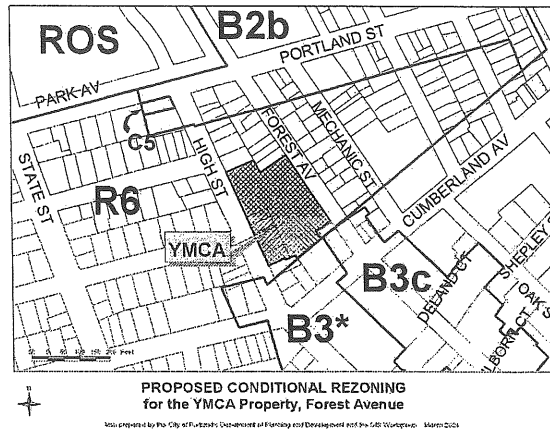
**DATE:** March 22, 2004

**SUBJECT:** Agenda Request: Cumberland County YMCA Conditional Rezoning Contract, Sponsored by the Portland Planning Board

- 1) Council Meeting at which action is requested (Date): First Reading May 3, 2004 and Second Reading June 7, 2004
- 2) Can action be taken at a later date?     \_\_\_ YES   **X** NO   Notices for the Public Hearing are required.

**I.     SUMMARY OF ISSUE**

The Cumberland County YMCA is requesting that the Portland City Council consider a conditional rezoning agreement for 70-88 Forest Avenue and 209-233 High Street to allow the construction of a building with thirty-two (32) efficiency units, also know as single room occupancy (SRO) units. The YMCA is also proposing to demolish two apartment buildings on High Street with a total of 16 apartments, which would allow the YMCA to redesign of the parking lot and add a new entrance to the existing YMCA facility facing High Street. The conditional rezoning agreement specifically addresses the project's proposed housing density, building height and parking plan. This site is currently zoned R-6.



**II.    REASON FOR SUBMISSION (What issue/problem will this address?)**

The proposed conditional rezoning agreement will permit 32 efficiency units to be constructed in a new building on the YMCA site. The main facility has 86 SRO units, which have been on the site since 1927. The applicant is seeking the contract rezoning agreement to enable the project to go forward with the following space and bulk requirements specific to this proposal:

1. A proposed housing density of 450 square feet of land area per dwelling;
2. A building height up to 55 feet; and
3. A minimum parking requirement of 30 on-site spaces, 11 off-site spaces and a parking management plan that encourages members to use the Gateway Garage.

III. **INTENDED RESULT** (How does it resolve the issue/problem?)

The proposed conditional rezoning establishes the housing density, building height and the minimum required parking spaces for the YMCA project, so that it can be constructed. Some of the other conditions found in the conditional rezoning agreement include:

1. the permitted uses of the property;
2. the space and bulk requirements;
3. the owner's compliance with the Preservation and Replacement of Housing Units prior to the issuance of demolition permits;
4. the maintenance of the apartment building at 207 High Street so as to prevent deterioration and maintain code compliance of the building for as long as the YMCA owns the property; and
5. The maintenance of rent levels affordable for persons earning 60% or less of the area median income.

IV. **FINANCIAL IMPACT**

Financing for the project has been provided by the Maine State Housing Authority. The proposal for the 32 efficiency units will add to the City's tax base.

V. **STAFF ANALYSIS & RECOMMENDATION**

The Planning Board held a public hearing on the proposed conditional rezoning agreement proposed for the Cumberland County YMCA on April 13, 2004. The Planning Board report is included as Attachment 1. The Planning Board voted unanimously to recommend to City Council approval of the proposed contract rezoning at 70-88 Forest Avenue and 209-233 High Street with several conditions, all of which have been incorporated into the contract rezoning agreement:

- A. Warning signs for the crosswalk conforming to the Manual on Uniform Traffic Control Devices, Federal Highway Administration, shall be installed by the applicant. If Peninsula Traffic Study recommendations for two-way traffic on High Street are adopted, then the site plan shall be modified to eliminate the curb-line extensions for the High Street crosswalk.
- B. Replace paragraph # 15 of the proposed contract with the following language:
  - a. This conditional rezoning shall be enforced pursuant to land use enforcement provisions of state law (incl. 30-A MRSA 4452) and city ordinance. Following any determination of a zoning violation by the court, the Zoning Administrator or the Portland Zoning Board of Appeals, the City, after recommendation of the Planning Board, may amend, modify or rescind this rezoning.
- C. Add to paragraph #2 of the contract that... the owner agrees that it shall maintain the adjacent property at 207 High Street so as to prevent deterioration and maintain code compliance of the building....

D. Upon approval of the site Plan for the Project, the Owner shall implement a Parking Management Plan to be approved by the Planning Board during site plan review .....

**Attachments:**

1. Planning Board Report to City Council, Conditional Rezoning Agreement Request for Cumberland County YMCA and CCYSRO, L.P., Report #13-04

**PLANNING BOARD REPORT TO CITY COUNCIL #13-04**

**CONDITIONAL REZONING AGREEMENT REQUEST**

**FOR**

**CUMBERLAND COUNTY YMCA AND CCYSRO, L.P.**

**CUMBERLAND COUNTY YMCA**

**Applicant**

Submitted to:

Portland City Council  
Portland, Maine

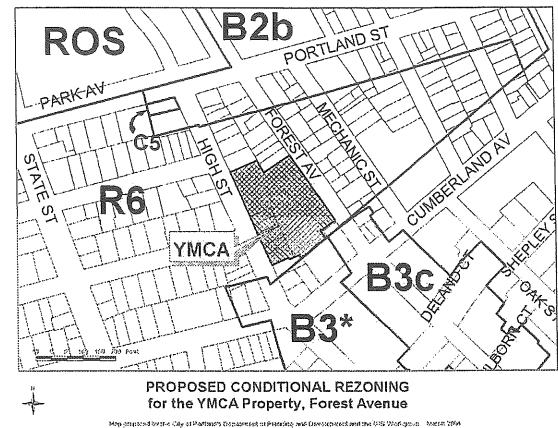
April 22, 2004

Submitted by:

Portland Planning Board

## I. INTRODUCTION

The Portland Planning Board is recommending to City Council the adoption of a conditional rezoning agreement for the Cumberland County YMCA. The Cumberland County YMCA is seeking a conditional rezoning agreement for 70-88 Forest Avenue and 209-233 High Street to construct a building with thirty-two (32) efficiency units at 231 High Street and to add a new entrance and lobby area facing High Street for the main YMCA facility.



The proposed contract is included as Attachment A including the map amendment (also shown to the right).

## II. FINDINGS

Property:	70-88 Forest Avenue and 209-233 High Street
Current Zoning:	R-6 Residential Zone
Proposed Zoning:	Conditional Rezoning Agreement
Adjoining Zoning:	B-3 and B-3c
Land Area:	1.27 acres
Existing Use:	YMCA with membership services and 86 residential units. 16 units in two High Street Apartment Buildings
Proposed Use:	Add 32 units of efficiency apartments in a separate building; build a 2,221 square foot addition to the YMCA building for a new entrance; and create a redesigned parking lot.
Proposed Building Height:	55 feet
Proposed Density:	Minimum of 450 square feet of land area per dwelling unit
Land Uses in the Vicinity:	Residential, Business – office and retail, and Parking Garage.

## III. DEVELOPMENT PLAN

### A. Overview

The Cumberland County YMCA is proposing to construct a building at 233 High Street with 32 efficiency units, also known as single room occupancy (SRO) units. Phase I of this proposal includes the demolition of two apartment buildings on High Street, the redesign of the parking lot and an addition to the main YMCA building for a new entrance facing High Street. The YMCA intends to upgrade the interior of the main building as a second phase pending a Capital Campaign in 2005. The YMCA submittal is

included in the packet as a separate document (Attachment B). The master plan with its description of existing facilities and proposed redevelopment plan are found in Attachment B, page 4 through 17. Attachment B pages 39 and 40 contain the YMCA's Site Plan written statements and the site plans are found on Pages 73 through 81 of Attachment B. The components of Phase I are outlined below.

### **B. SRO Building**

The proposed SRO building will have eight units on each of the four floors, refer to Attachment B pages 78, 80 and 81. The building will be served by an elevator and a handicapped accessible unit will be located on each floor. Laundry facilities, mechanical rooms and a management meeting room are located in the basement. An office and vestibule are located on the first floor. A common room is found on each of the upper floors and a small balcony is provided on the second and third stories. Each unit will have a bathroom and kitchen area. The main YMCA building will continue to have 86 SRO units, so the overall residential density of this site is proposed at 450 square feet of land per unit.

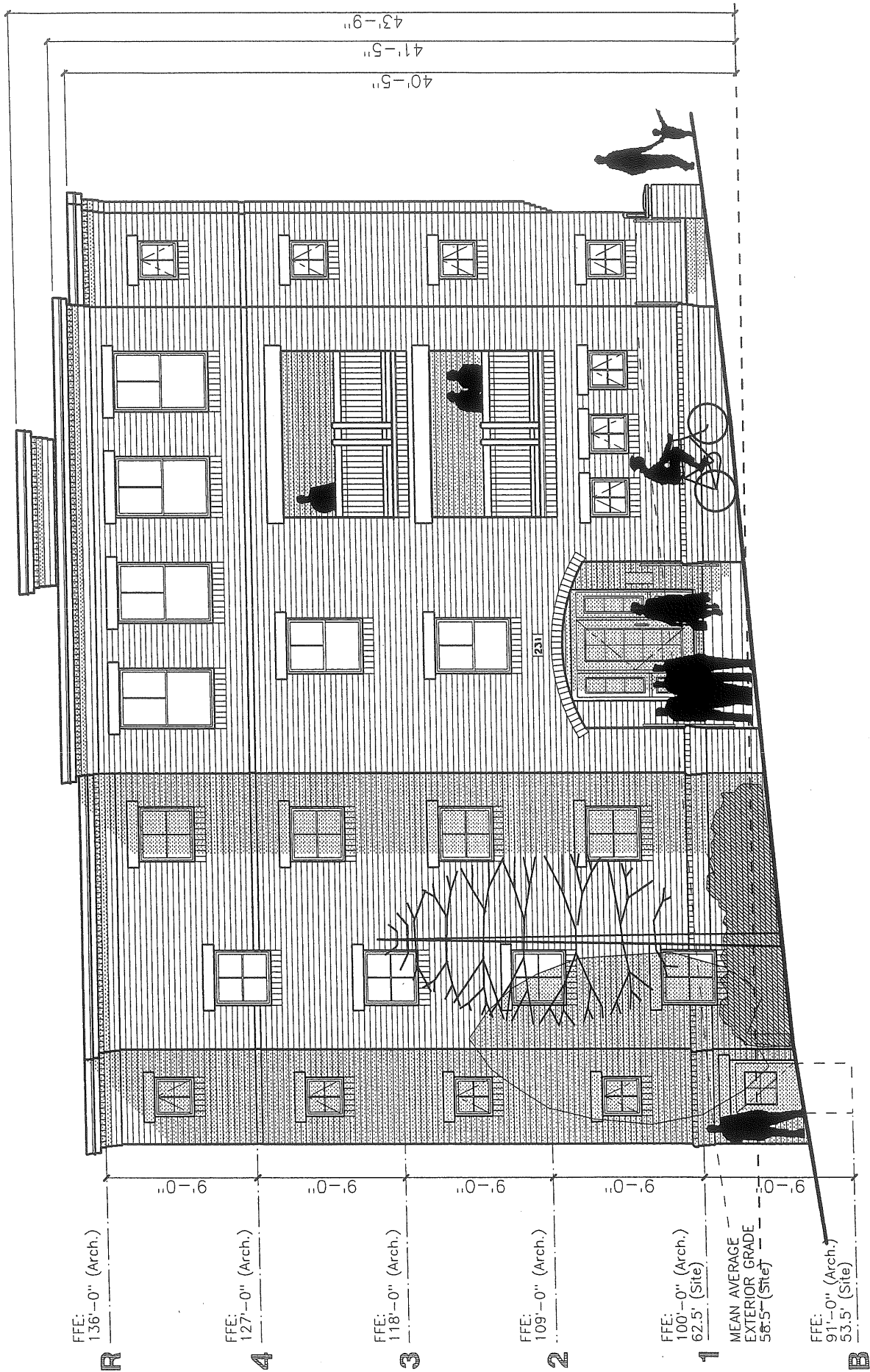
The proposed four-story SRO will have a footprint of 4,184 square feet with a brick exterior, refer to site plan in Attachment B page 75. The structure will be located at the street line with granite steps leading to the front entrance. Two handicapped accessible doors are located on the side of the building adjoining the parking lot. The front entrance and one side entrance have entry areas with an arch articulated with brick soldier coursing. Each unit has a pair of double hung windows (two over one pane) and smaller windows (two over two) are used in the stairwells, hallways and the vestibule. All of the windows are framed with granite lintels and brick soldier coursing for the sills. The efficiency unit windows on the upper three floors (facing the parking lot) are slightly projecting bay windows. The building has a flat roof that is defined with a projecting eave and brick soldier coursing along the cornice. The proposed building is compatible with the adjoining residential neighborhood due to the overall residential design of the structure, the choice of building materials, and the greater articulation of the building faces.

The building height is proposed to be up to 55 feet. The applicant submitted a height analysis (Figure 1) to address questions regarding its proposed height and the impact on views from properties along Cumberland Avenue. Due to the grades of the site, the building will be lower than the gable roof peaks of the buildings to be demolished.

### **C. Demolition of Two Apartment Buildings**

The YMCA is proposing to demolish two apartment buildings on High Street in order to facilitate an addition to the rear of the YMCA facility at 70 Forest Avenue and the redesign of the parking lot (Attachment B, pages 74 and 75). The building at 217 High Street is occupied with single-room occupancy tenants. The YMCA will relocate these tenants into their main facility as vacancies arise. The building at 219-221 High Street is vacant. The applicant submitted an analysis from John Ryan, Wright Ryan Construction, on the feasibility of preserving or moving the building (Attachment B pages 18-19 and

Figure 1



FRONT BUILDING ELEVATION  
FROM HIGH STREET

pages 24-38). The City staff prepared a summary of the inspection history of the vacant properties, which is included in Attachment B, pages 20-23. The YMCA is willing to contribute the costs of demolition to anyone who is willing to move the building, but the applicant has concluded that they cannot reuse or move the structure and meet their objectives for 32 units of SRO housing and a new handicapped accessible entrance to the YMCA.

The YMCA holds a third apartment building at 207 High Street. The YMCA intends to retain it as an apartment building and the proposed contract includes the following condition (#2):

In addition, as a condition of this contract, the **OWNER** agrees that it shall maintain the adjacent property at 207 High Street so as to prevent deterioration and maintain code compliance of the building located thereon, for as long as the **OWNER** shall own said property.

Marge Schmuckal has reviewed the history of the buildings (Attachment C) and has determined that there were 16 units of housing in the two buildings to be razed. The applicant is proposing to construct 32 SRO units to meet the City's need for type of housing unit. The applicant's Preservation and Replacement of Housing Plan is found on pages 18 and 19 of Attachment B and a copy of the Preservation and Replacement Housing Application is on pages 56-59 of the same attachment. The conditional rezoning agreement includes the following condition (excerpted from condition #2):

The **OWNER** will demolish two apartment buildings, one at 217 High Street and the other at 219 to 221 High Street. Prior to the issuance of the demolition permits, the **OWNER** shall provide to the City all information required by the Preservation and Replacement of Housing Units, Portland City Code, Sec. 14-483 to 14-488, shall comply with the requirements of said ordinance, and further ensures that all tenants of said buildings shall be offered replacement housing of a kind and quality similar to that being demolished.

**D. Addition to YMCA Facility and Redesign of the Parking Lot**

A 2,221 square foot addition is proposed for the rear of the YMCA facility. The addition creates a handicapped accessible entrance and lobby for the membership services, which will be parallel and face High Street. The exterior materials and design features for the addition are as follows:

- Brick running bond for the exterior;
- Double hung windows (2 over 1 on the first floor and 2 over 2 on the second level);
- Granite lintels and brick soldier coursing for the sills;
- Standing seam roof system for the gable roof, arched entrance, and barrel roof over the second story;



- Steel support columns on brick piers;
- Painted metal rail with brick piers for the patio; and
- Raised brick surfaces for three vertical piers and one horizontal band between the first and second floors, which provide visual relief and shadow lines.

The design corresponds with the proposed SRO building and reflects the residential character of the adjoining neighborhood.

#### **E. Parking Lot and Site Improvements**

Currently, the YMCA has two parking lots along High Street with a total of four curb cuts. With the proposed demolition of the two High Street apartment buildings, the YMCA is proposing to redesign their parking area and frontage along High Street. The proposed SRO would be located in the lower lot and the area behind the main facility will become one parking area with a total of two curb cuts. The lot has twenty-nine parking spaces and a drop off area near the entrance. The drop-off area (considered to be the 30<sup>th</sup> space) is a short-term parking space (five or ten minute parking) and it may also be used for unloading buses. Three handicapped accessible spaces will be provided. It should be noted that the original site plan included 32 parking spaces. This number has been reduced in order to create a more “formal” entrance as requested by the neighbors and Portland Landmarks, to relocate the handicapped space near the entrance, and to modify the angled spaces to address the consulting Traffic Engineer’s and the Planning Board’s concerns about the tight layout and internal circulation of the parking lot.

A black aluminum fence with brick piers and masonry caps is proposed along High Street. Three trees will be planted to maintain the existing pattern of street trees and a mixture of bushes and perennials are proposed between the fence and parking lot. Additional landscaping is proposed around the perimeter of the parking area and along the YMCA facility. Four light poles (16 feet high) are proposed for the parking area. Please refer landscaping plan in Attachment B, pages 76 and 77 and the design details found in Attachment B pages 60 through 72 and page 79.

Curb-line extensions are shown for the proposed High Street crosswalk between Sherman Street and the YMCA site (Attachment B, page 75). If High Street becomes a two-way street as recommended in the pending Peninsula Traffic Study, then the curb-line extensions would need to be dropped from the plan. Condition #9 in the contract (Attachment A) states as follows:

The cost of the curb extensions for a cross walk (as shown on the Site Plan) shall be included in a separate escrows account in favor of the City. If High Street is converted to a two-way street, prior to the installation of said curb extension, then the curb extensions shall not be required by the City, and the escrow money shall be returned to the OWNER.

The review by Tom Errico, consulting Traffic Engineer, are found as Attachments D and E. Steve Bushey, Engineering Review Consultant, reviewed the plans and his memo is

included as Attachment F. He states that the plan is satisfactory for consideration of a conditional rezoning. Mr. Bushey does identify some minor technical issues that can be resolved at the time of site plan and subdivision review, should the conditional rezoning be adopted.

#### **F. Parking Management Plan**

A parking management plan was submitted as part of this development proposal. The findings, conclusions and recommendations are found in Attachment B, pages 47 through 52. The applicant surveyed residents, employees and members regarding their use of vehicles to access the facility and proposed the following steps:

- Encourage member use of two free hours of parking at the Gateway Garage with promotions for free towels and drawings for free membership, lessons and lockers;
- Staff parking will continue to use the Sherman Street parking lot.
- The residents have one vehicle for every ten residents with an estimated need for two additional spaces. The plan states, “Through the combination of shared parking with members and staff in the High Street and Sherman Street parking lots the Y believes it can accommodate the resident parking demand.”

The contract calls for a minimum of thirty parking spaces on-site and a minimum of eleven off-site spaces. John Peverada’s memo is included as Attachment G. The Planning Board discussed the concerns raised by Mr. Peverada and have directed the YMCA to implement their parking management plan immediately, so the results of their efforts may be considered at the time of site plan and subdivision review. The Planning Board recommended including the following condition (#7) in the contract rezoning agreement:

Upon approval of the Site Plan for the **PROJECT**, the **OWNER** shall implement a Parking Management Plan to be approved by the Planning Board during site plan review and any additional parking management initiatives otherwise required by the Portland Planning Board during site plan review, with the goal of informing members, on an ongoing basis, of the availability of off-street, off-site parking provided by the **OWNER**, including parking at the so-called Gateway Garage, or any other parking lot under the control of the **OWNER** within a four block radius of the site.

#### **IV. ZONING POLICY CONSIDERATIONS**

The underlying zone for this parcel is R-6 and the purpose of R-6 is as follows:

To set aside areas on the peninsula for housing characterized primarily by multifamily dwellings at a high density providing a wide range of housing for differing types of households; and to conserve the existing housing stock and residential character of neighborhoods by controlling the scale and external

impacts of professional offices and other nonresidential uses.

The YMCA has submitted a comprehensive plan discussion, which identifies how the proposed development and conditional rezoning agreement conform to Portland's Comprehensive Plan (Attachment B, pages 53 and 54). The Planning Staff concurs with the applicant's evaluation and notes the following Comprehensive Plan goals and policies which also apply to this proposal:

- A Time of Change: Portland Transportation Plan – A goal of the plan is to link the transportation plan with land use planning policies in the City and region to guide decision-making for development and infrastructure investment. A supporting policy for this goal is to ensure that future growth does not foster auto dependency.

**Proposal:** Due to the location of the YMCA near the Downtown, some of their members walk to the facility and only a few residents own cars. The applicant is proposing a bike rack in the parking lot and has a parking management plan to encourage member use of the parking garage.

- Downtown Vision - The overall goals contained in Downtown Vision include:
  - Preserve and enhance the livability and walkability of Downtown Portland for residents, workers, shoppers, and visitors.
  - Maintain and enhance the Downtown's prominence as the regional center for commerce, human services, historic resources, culture and the arts.
  - Encourage growth and development Downtown while preserving and strengthening the unique identity and character of the Downtown.
  - Achieve the highest quality urban experience through high standards of excellence for improvements to the physical environment, including new construction, building alterations, and the enhancement of the pedestrian environment.
  - Preserve and enhance the quality and vitality of neighborhoods within and adjacent to the Downtown.
    - Continue to offer, expand, and promote programs, which maintain and upgrade housing in the neighborhoods within and immediately surrounding the Downtown.
    - Implement zoning and development ordinances, which require the relocation of tenants displaced by new development, in locations within or adjacent to the Downtown. Where demolition is necessary to facilitate new growth consistent with the plan for the downtown, relocation of existing residential tenants must be carefully addressed.
  - Guide and position the Downtown in response to changing market conditions to maintain its vitality and strength to achieve the above stated goals.

**Proposal:** The proposed housing and facility improvements to maintain services at the YMCA enhance the livability of Portland's Downtown and adjoining neighborhoods. The City has enacted a Housing Replacement Ordinance and the applicant will provide downtown housing for those tenants to be relocated. By working with the neighborhood and Portland Landmarks, the applicant has improved the design, choice of materials, and streetscape to increase compatibility of this proposal with the Downtown and surrounding neighborhood.

- **Housing: Sustaining Portland's Future** - In addition to the applicant's assessment, the following goals and policies can be applied to this project:
  - Maintain and enhance the livability of Portland's neighborhoods as the City grows and evolves through careful land use regulations, design and public participation that respect neighborhood integrity.
  - Encourage new innovative housing development, which is designed to be compatible with the scale, character, and traditional development patterns of each individual residential neighborhood.

**Proposal:** As stated above, the overall proposal and improvements to its design have enhanced the quality the project and the livability of Portland. The proposed single room occupancy units offer an innovative approach to meeting a housing need in the community.

#### **Sec. 14-264. Contract or conditional zoning.**

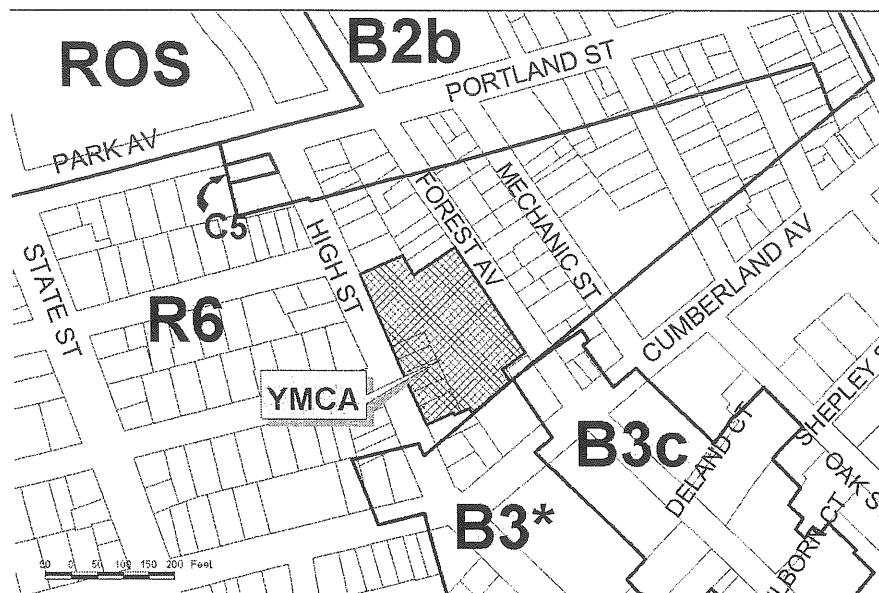
A conditional or contract rezoning shall only be approved if, after public hearing and opportunity for public comment, the reviewing body finds that the applicant has carried the burden of proof to show that the proposed development meets the following standards:

- (a) The proposed development is consistent with the comprehensive plan.
- (b) The proposed development is consistent with the purposes of this zone.
- (c) The proposed development is designed and operated so that it will prevent undue adverse environmental impacts, substantial diminution of the value or utility of neighboring structures, or significant hazards to the health or safety of neighboring residents by controlling noise levels, emissions, traffic, lighting, odors, and any other potential negative impacts of the proposal.
- (d) All plans must include complete information of processes, materials or methods of storage to be used by the development and shall specify how hazardous impacts to neighboring properties will be prevented.

## V. CONDITIONS FOR REZONING

The Planning Board has worked with the applicant to craft conditions for the rezoning to allow the density of housing sought for this site, to allow the new building to be built up to 55 feet in height, and to permit the parking management plan. The rezoning shall be subject to the following proposed conditions, as outlined in the agreement between the City and the applicant (included as Attachment A).

1. Effective upon the recording of this Agreement at the Cumberland County Registry of Deeds, but no later than sixty (60) days after the date of Portland City Council approval, the **CITY** hereby amends the Zoning Map of the City of Portland, dated December, 2000 (as amended from time to time and on file in the Department of Planning and Urban Development, and incorporated by reference into the Zoning Ordinance by § 14-49 of the Code) by adopting the map change amendment shown below. If this Agreement is not recorded by said date, then the conditional rezoning shall be null and void, and the zoning of the **PROPERTY** shall revert to the pre-existing Residential R-6 zone.



**PROPOSED CONDITIONAL REZONING  
for the YMCA Property, Forest Avenue**

Map prepared by the City of Portland's Department of Planning and Development and the GIS Workgroup March 2004

2. The **OWNER** will demolish two apartment buildings, one at 217 High Street and the other at 219 to 221 High Street. Prior to the issuance of the demolition permits, the **OWNER** shall provide to the City all information required by the Preservation and Replacement of Housing Units, Portland City Code, Sec. 14-483 to 14-488, shall comply with the requirements of said ordinance, and further ensures that all tenants of said buildings shall be offered replacement housing of a kind and quality similar to that being demolished. In addition, as a condition of this contract, the **OWNER** agrees that it shall maintain the adjacent property at 207 High Street so as to prevent

deterioration and maintain code compliance of the building located thereon, for as long as the **OWNER** shall own said property.

3. The **LEASED LOT** is to be developed with a single four-story building consisting of thirty-two (32) efficiency apartments as depicted on the attached Site Plan submitted by Sebago Technics, dated 12-29-03 and revised 2-4-04, attached hereto as Exhibits 1, 2 and 3, and Elevations, submitted by CWS Architects dated 4-2-04 and 3-9-04, attached hereto as Exhibits 4, 5, and 6.
4. Execution of this Agreement binds the **OWNER**, and their successors and assigns, to the terms set forth in this Agreement.
5. Any change in ownership shall be brought to the Planning Board for its review and approval, but this requirement shall not apply to the granting of mortgages by **OWNER** to the enforcement by the mortgagees of their rights under such mortgages, or to any change of ownership due to the transfer to an entity that is a wholly owned subsidiary or related entity of **OWNER**. Notwithstanding the provision contained herein and in paragraph 2, any change in ownership which includes the granting of a mortgage by the **OWNER** or the transfer of the property to any entity affiliated with the **OWNER**, shall include the obligation for the new owner to maintain 207 High Street so as to prevent deterioration and maintain code compliance of the building located thereon.
6. Permitted Uses. **OWNER** shall be authorized to establish and maintain the following uses on the **PROPERTY**:
  - a. Eighty six (86) rooming units presently existing within the main YMCA building at 70 Forest Avenue (delineated as YMCA building on the Site Plan), which rooming units share bathroom facilities and a common kitchen; and
  - b. A new four-story structure, containing thirty-two (32) low-income efficiency apartments<sup>1</sup> to be constructed over the existing High Street parking lot in the vicinity of 231 High Street (delineated as Proposed 32 Unit (SRO) on the Site Plan). There shall be on site laundry facilities in the basement, an office and vestibule on the first floor and common meeting rooms on the three upper floors, only for use of residents, guests and staff.
  - c. The following additional uses shall be permitted in the main building of the YMCA:

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<sup>1</sup> For purposes of this Agreement, "efficiency apartment" is defined as a self-contained living unit of not less than two hundred and fifty (250) square feet of living space, with a kitchen (containing at minimum, a kitchen sink, stove with an oven and refrigerator), and a bathroom. Occupancy of an efficiency apartment shall be targeted to one person.

1. Fitness facilities (including swimming, racquet sports, gym sports, yoga, dance, running, biking, etc);
2. Day care and after school programming for school-age children;
3. Teen center, focused on fitness, counseling and educational programs;
4. Day camps for school age children, to be held during the school year and vacations;
5. Elder programs;
6. Office and staff facilities;
7. Teaching and educational programs;
8. Therapeutic services;
9. Other membership and community services traditionally provided by the YMCA.

d. A minimum of thirty (30) dual use parking spaces (i.e. parking used by occupants of the efficiency apartments, the SRO and members of the YMCA) on site will be provided as delineated in the parking layout plan attached hereto as Exhibit 2.

The uses specified herein supersede the otherwise permitted uses contained within the underlying Residential R-6 zone.

7. Upon approval of the Site Plan for the **PROJECT**, the **OWNER** shall implement a Parking Management Plan to be approved by the Planning Board during site plan review and any additional parking management initiatives otherwise required by the Portland Planning Board during site plan review, with the goal of informing members, on an ongoing basis, of the availability of off-street, off-site parking provided by the **OWNER**, including parking at the so-called Gateway Garage, or any other parking lot under the control of the **OWNER** within a four block radius of the site.
8. The front entrance for the existing YMCA facility at 70 through 88 Forest Avenue will be used primarily for residents of the existing facility and the executive offices. A new entrance will be provided on High Street, which will primarily serve YMCA members and guests. The addition to the existing facility, as shown on the Site Plan, will create the new entrance, with a lobby and waiting area.
9. Performance guarantees will be required for entire buildout of the Site Plan shown on Exhibits 1, 2 and 3. The amount and terms of such performance guarantee shall be determined by the Planning Authority at the time of Site Plan, Conditional Use and Subdivision approval of the project. The parking lot and landscaping, designated on Exhibits 2 and 3 shall be completed prior to the issuance of a Certificate of Occupancy. The cost of the curb extensions for a cross walk (as shown on the Site Plan) shall be included in a separate escrow account in favor of the City. If High Street is converted to a two-way street, prior to the installation of said curb extension, then the curb extensions shall not be required by the City, and the escrow money shall be returned to the **OWNER**.

10. **OWNER** shall be responsible for ongoing maintenance of the **PROPERTY**, including snow removal, salting, sanding, sweeping, lighting, trash pickup, maintenance, mowing, etc.
  
11. The **PROPERTY** will be developed substantially in accordance with the Site Plans and Elevations shown on Exhibits 1 through 6, submitted by Sebago Technics dated 12-29-03 and revised 4-2-04 and submitted by CWS Architects dated 4-2-04 and 3-9-04. In addition to the space and bulk requirements of paragraph 12 below and the applicable provisions of Article IV (subdivisions) and Article V (site plan) of the Code, the development proposal shall show a unified design of the site, including the architecture, the layout of the buildings, pedestrian and vehicular circulation plan, open space, drainage, and the topography, soil conditions, vegetation, and other natural features of the site.
  
12. The Planning Board shall review and approve the project according to the Site Plan, Subdivision, and Conditional Use provisions of the Portland Land Use Code.
  
13. *Space and Bulk Requirements.* The following space and bulk requirements will apply to the efficiency apartment building (shown as leased lot on Exhibit 1):
 

a. Minimum lot size:	None.
b. Minimum area per dwelling (density):	450 sq. feet
c. Minimum street frontage:	50 feet.
d. Minimum front yard:	none required.
e. Minimum rear yard:	Five (5) feet
f. Minimum side yard:	Five (5) feet
g. Minimum lot width:	50 feet.
h. Maximum lot coverage:	100%
i. Maximum structure height:	55 feet
j. Open space ratio:	none required
k. Parking requirements:	minimum 30 parking spaces on site, and at minimum, eleven (11) spaces at an off site lot 2

14. **OWNER** agrees to maintain, for a period of ninety years, the rent levels and income requirements for the efficiency apartments on the Leased Lot as follows:

100% of units at 60% of Area Median Income.

The foregoing restriction on rent levels and income requirements will be secured by covenants and restrictions and conditions in any deeds conveyed out by **OWNER**.

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2 The current off site lot is located on Sherman Street.  
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15. This conditional rezoning shall be enforced pursuant to the land use enforcement provisions of state law (including 30-A MRSA 4452) and City Ordinance. Following any determination of a zoning violation by the Court, the Zoning Administrator, or the Portland Zoning Board of Appeals, the City, after recommendation of the Planning Board, may amend, modify or rescind this rezoning.

## VI. PLANNING BOARD RECOMMENDATION

The Planning Board held a public hearing on the proposed conditional rezoning agreement proposed for the Cumberland County YMCA on April 13, 2004. The Planning Board voted unanimously to recommend to City Council approval of the proposed contract rezoning at 70-88 Forest Avenue and 209-233 High Street with several conditions, which have been incorporated into the contract rezone agreement (Attachment A):

- A. Warning signs for the crosswalk conforming to the Manual on Uniform Traffic Control Devices, Federal Highway Administration, shall be installed by the applicant. If Peninsula Traffic Study recommendations for two-way traffic on High Street are adopted, then the site plan shall be modified to eliminate the curb-line extensions for the High Street crosswalk.
- B. Replace paragraph # 15 of the proposed contract with the following language:
  - a. This conditional rezoning shall be enforced pursuant to land use enforcement provisions of state law (incl. 30-A MRSA 4452) and city ordinance. Following any determination of a zoning violation by the court, the Zoning Administrator or the Portland Zoning Board of Appeals, the City, after recommendation of the Planning Board, may amend, modify or rescind this rezoning.
- C. Add to paragraph #2 of the contract that... the owner agrees that it shall maintain the adjacent property at 207 High Street so as to prevent deterioration and maintain code compliance of the building....
- D. Upon approval of the Site Plan for the Project, the Owner shall implement a Parking Management Plan to be approved by the Planning Board during site plan review .....

The Planning Board conditions A through D are incorporated into the contract for the City Council's consideration.

Attachments:

- A. Proposed Contract Zone Text
- B. Applicant's Submittal (separate document in packet)
- C. Memo from Marge Schmuckal, dated February 24, 2004
- D. Tom Errico, Traffic Engineer, Wilbur Smith & Assoc., April 8, 2004
- E. Tom Errico, Traffic Engineer, Wilbur Smith & Assoc., April 8, 2004, follow-up
- F. Stephen Bushey, P.E., Consulting Review Engineer
- G. John Peverada, Portland Parking Manager
- H. Neighborhood Meeting Minutes

**DRAFT**  
**CONDITIONAL REZONING AGREEMENT**  
**CCYSRO, L. P. AND**  
**THE CUMBERLAND COUNTY YMCA**

**AGREEMENT** made this \_\_\_\_ day of \_\_\_\_\_, 2004 by CCYSRO, L.P., a Maine limited partnership with a place of business in Portland, Maine and the Cumberland County YMCA, formerly known as the Greater Portland YMCA and the Young Men’s Christian Association of Portland, Maine, a nonprofit corporation with a place of business in Portland, Maine, and each of their successors and assigns (hereinafter collectively “**OWNER**”).

**W I T N E S S E T H**

**WHEREAS**, Cumberland County YMCA owns a parcel of land located at 70 through 88 Forest Avenue and 209 through 233 High Street in Portland, consisting of parcels shown on City of Portland Tax Map 36, Block G, Lots 20 through 25, and more particularly described on the attached Exhibit A. (collectively the “**PROPERTY**”); and

**WHEREAS**, the parcel comprising the northerly section of the Preliminary Subdivision Plan, submitted by Sebago Technics dated 12-29-03 and revised 4-2-04(Exhibit 1), denoted as “leased parcel” shall be leased by “CCYSRO, L.P.” (Leased Lot); and

**WHEREAS**, the entire parcel shown on the Site Plan and comprising (CBL Map 36, lots 20 through 25) is owned by Cumberland County YMCA (Lot II); and

**WHEREAS**, the **OWNER** will demolish two existing apartment buildings, one at 217 High Street and the other at 219 to 221 High Street, which buildings are recorded by the City as

containing a total of seven (7) dwelling units and nine (9) rooming units, which buildings currently house eleven number of occupants; and

**WHEREAS**, the **OWNER** has requested a conditional rezoning of the Property in order to permit the development of thirty-two (32) low-income efficiency apartment units (the “**PROJECT**”); and

**WHEREAS**, the number of new housing units exceeds the number of housing units being demolished and, thus, the proposal complies with Portland’s Ordinance, Division 29. Preservation and Replacement of Housing Units, Portland City Code, Sec. 14-483 to 14-488; and

**WHEREAS**, the **OWNER** intends to maintain the current uses in the existing YMCA facility at 70 through 88 Forest Avenue, which include a day care facility, membership services (i.e. athletic facilities, educational opportunities, etc.), administrative offices, eighty-six (86) single room occupancy units, and also provides space for a variety of recreational, community and social services; and

**WHEREAS**, the **OWNER** will change the primary entrance for Cumberland County YMCA members from Forest Avenue to High Street, by adding a new entrance, lobby and waiting area on the High Street side of the building; and

**WHEREAS**, the parking lot along High Street will have a minimum of thirty (30) spaces and will be rebuilt with a maximum of two curb cuts and landscaping; and

**WHEREAS**, the Portland Planning Board has determined that the rezoning and proposed development would provide needed housing in the City for low income individuals, is consistent with the housing component of the Comprehensive Plan and would not have an adverse impact on the surrounding residential community; and

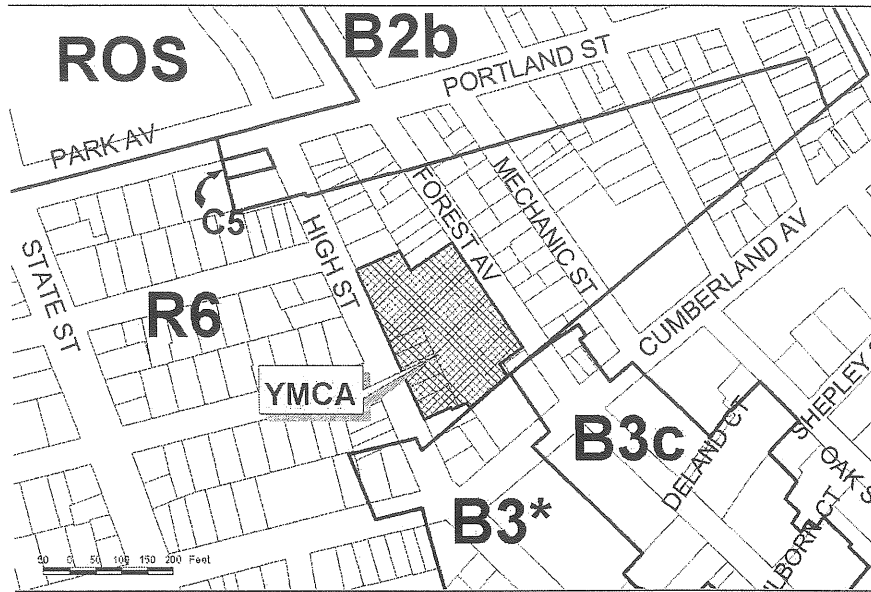
**WHEREAS**, the Planning Board of the City of Portland, pursuant to 30-A M.R.S.A. § 4352(8) and Portland City Code (the "Code") §§ 14-60 to 14-62 and 14-264, and after notice and hearing and due deliberation thereon, recommended the rezoning of the **PROPERTY**, subject, however, to certain conditions; and

**WHEREAS**, because of the unusual nature and unique location of the proposed development, it is necessary and appropriate to have the following conditions and restrictions imposed on this development in order to ensure that the rezoning is consistent with the **CITY'S** Comprehensive Plan; and

**WHEREAS**, the City Council of the **CITY** authorized the execution of this Agreement on \_\_\_\_\_, 2004, by City Council Order No. \_\_\_\_\_, a true copy of which is attached hereto as Exhibit 2;

**NOW, THEREFORE**, in consideration of the rezoning, **OWNER** covenants and agrees as follows:

1. Effective upon the recording of this Agreement at the Cumberland County Registry of Deeds, but no later than sixty (60) days after the date of Portland City Council approval, the **CITY** hereby amends the Zoning Map of the City of Portland, dated December, 2000 (as amended from time to time and on file in the Department of Planning and Urban Development, and incorporated by reference into the Zoning Ordinance by § 14-49 of the Code) by adopting the map change amendment shown below. If this Agreement is not recorded by said date, then the conditional rezoning shall be null and void, and the zoning of the **PROPERTY** shall revert to the pre-existing Residential R-6 zone.



**PROPOSED CONDITIONAL REZONING  
for the YMCA Property, Forest Avenue**

Map prepared by the City of Portland's Department of Planning and Development and the GIS Workgroup March 2004

2. The **OWNER** will demolish two apartment buildings, one at 217 High Street and the other at 219 to 221 High Street. Prior to the issuance of the demolition permits, the **OWNER** shall provide to the City all information required by the Preservation and Replacement of Housing Units, Portland City Code, Sec. 14-483 to 14-488, shall comply with the requirements of said ordinance, and further ensures that all tenants of said buildings shall be offered replacement housing of a kind and quality similar to that being demolished. In addition, as a condition of this contract, the **OWNER** agrees that it shall maintain the adjacent property at 207 High Street so as to prevent deterioration and maintain code compliance of the building located thereon, for as long as the **OWNER** shall own said property.
  
3. The **LEASED LOT** is to be developed with a single four-story building consisting of thirty-two (32) efficiency apartments as depicted on the attached Site Plan submitted by Sebago Technics, dated 12-29-03 and revised 2-4-04, attached hereto as Exhibits 1, 2 and 3, and Elevations, submitted by CWS Architects dated 4-2-04 and 3-9-04, attached hereto as Exhibits 4, 5, and 6.
  
4. Execution of this Agreement binds the **OWNER**, and their successors and assigns, to the terms set forth in this Agreement.
  
5. Any change in ownership shall be brought to the Planning Board for its review and approval, but this requirement shall not apply to the granting of mortgages by **OWNER** to the enforcement by the mortgagees of their rights under such mortgages, or to any change of ownership due to the transfer to an entity that is a wholly owned subsidiary or related entity of **OWNER**. Notwithstanding the provision contained herein and in paragraph 2, any change in ownership which includes the granting of a mortgage by the **OWNER** or the transfer of the property to any entity affiliated with the **OWNER**, shall include the obligation for the new owner to maintain 207 High Street so as to prevent deterioration and maintain code compliance of the building located thereon.

6. Permitted Uses. **OWNER** shall be authorized to establish and maintain the following uses on the **PROPERTY**:

a. Eighty six (86) rooming units presently existing within the main YMCA building at 70 Forest Avenue (delineated as YMCA building on the Site Plan), which rooming units share bathroom facilities and a common kitchen; and

b. A new four-story structure, containing thirty-two (32) low-income efficiency apartments<sup>1</sup> to be constructed over the existing High Street parking lot in the vicinity of 231 High Street (delineated as Proposed 32 Unit (SRO) on the Site Plan). There shall be on site laundry facilities in the basement, an office and vestibule on the first floor and common meeting rooms on the three upper floors, only for use of residents, guests and staff.

c. The following additional uses shall be permitted in the main building of the YMCA:

1. Fitness facilities (including swimming, racquet sports, gym sports, yoga, dance, running, biking, etc);
2. Day care and after school programming for school-age children;
3. Teen center, focused on fitness, counseling and educational programs;
4. Day camps for school age children, to be held during the school year and vacations;
5. Elder programs;
6. Office and staff facilities;
7. Teaching and educational programs;
8. Therapeutic services;
9. Other membership and community services traditionally provided by the YMCA.

d. A minimum of thirty (30) dual use parking spaces (i.e. parking used by occupants of the efficiency apartments, the SRO and members of the YMCA) on site will be provided as delineated in the parking layout plan attached hereto as Exhibit 2.

The uses specified herein supersede the otherwise permitted uses contained within the underlying Residential R-6 zone.

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<sup>1</sup> For purposes of this Agreement, “efficiency apartment” is defined as a self-contained living unit of not less than two hundred and fifty (250) square feet of living space, with a kitchen (containing at minimum, a kitchen sink, stove with an oven and refrigerator), and a bathroom. Occupancy of an efficiency apartment shall be targeted to one person.

7. Upon approval of the Site Plan for the **PROJECT**, the **OWNER** shall implement a Parking Management Plan to be approved by the Planning Board during site plan review and any additional parking management initiatives otherwise required by the Portland Planning Board during site plan review, with the goal of informing members, on an ongoing basis, of the availability of off-street, off-site parking provided by the **OWNER**, including parking at the so-called Gateway Garage, or any other parking lot under the control of the **OWNER** within a four block radius of the site.
8. The front entrance for the existing YMCA facility at 70 through 88 Forest Avenue will be used primarily for residents of the existing facility and the executive offices. A new entrance will be provided on High Street, which will primarily serve YMCA members and guests. The addition to the existing facility, as shown on the Site Plan, will create the new entrance, with a lobby and waiting area.
9. Performance guarantees will be required for entire buildout of the Site Plan shown on Exhibits 1, 2 and 3. The amount and terms of such performance guarantee shall be determined by the Planning Authority at the time of Site Plan, Conditional Use and Subdivision approval of the project. The parking lot and landscaping, designated on Exhibits 2 and 3 shall be completed prior to the issuance of a Certificate of Occupancy. The cost of the curb extensions for a cross walk (as shown on the Site Plan) shall be included in a separate escrow account in favor of the City. If High Street is converted to a two-way street, prior to the installation of said curb extension, then the curb extensions shall not be required by the City, and the escrow money shall be returned to the **OWNER**.
10. **OWNER** shall be responsible for ongoing maintenance of the **PROPERTY**, including snow removal, salting, sanding, sweeping, lighting, trash pickup, maintenance, mowing, etc.
11. The **PROPERTY** will be developed substantially in accordance with the Site Plans and Elevations shown on Exhibits 1 through 6, submitted by Sebago Technics dated 12-29-03 and revised 4-2-04 and submitted by CWS Architects dated 4-2-04 and 3-9-04. In addition to the space and bulk requirements of paragraph 12 below and the applicable provisions of Article IV (subdivisions) and Article V (site plan) of the Code, the development proposal shall show a unified design of the site, including the architecture, the layout of the buildings, pedestrian and vehicular circulation plan, open space, drainage, and the topography, soil conditions, vegetation, and other natural features of the site.
12. The Planning Board shall review and approve the project according to the Site Plan, Subdivision, and Conditional Use provisions of the Portland Land Use Code.



If any of the restrictions, provisions, conditions, or portions thereof set forth herein should be for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed as a separate, distinct and independent provision and such determination shall not affect the validity of the remaining portions hereof.

**WITNESS:**

**Cumberland County YMCA**

BY:

By:

\_\_\_\_\_

By \_\_\_\_\_

STATE OF MAINE  
CUMBERLAND, ss.

\_\_\_\_\_, 2003

Personally appeared before me the above-named-----, in his capacity as President of Cumberland County YMCA, , as aforesaid, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said organization, a non-profit entity.

Before me,

\_\_\_\_\_  
Notary Public/Attorney at Law

---

<sup>2</sup> The current off site lot is located on Sherman Street.



CITY OF PORTLAND

TO: Barbara Barhydt, Senior Planner

FROM: Marge Schmuckal, Zoning Administrator

SUBJECT: Parking requirements under existing Zoning Ordinance as would apply to the newly proposed 32 unit SRO for the YMCA – 036-G-020 – R-6 zone

DATE: February 24, 2004

Barbara,


I have researched our files for the legal uses of other structures on site. Those legal uses are as follows:

217 High Street – 036-G-023: A zoning use determination letter on file states that the legal use of this property is 2 dwelling units and 9 rooming units. There is no other change of use permit on file since that determination letter.

219 High Street – 036-G-022: Our microfiche files distinguish this building from the attached 221 High Street building. A zoning use determination letter on file dated October 19, 1993 states that the legal use of this property is 3 dwelling units. There is no other change of use permit on file since that determination letter.

221 High Street – 036-G-021: Our microfiche file shows several different uses from 2 dwelling units (1941) to a rooming house (1947). There are no more recent permits to document the legal use. Therefore I have used some other tools to determine the use just prior to 1957. A 1955 City Directory shows two dwelling units as a use on this property. The pre-1957 Assessor's card shows this property to be a single family. I have made a determination on the legal number of dwelling units based on the 1955 City Directory for two dwelling units.

That makes a total of 7 dwelling units and 9 rooming units to be demolished. Currently there is a proposal to demolish these three buildings and to build a new 32 unit Single Room Occupancy dwelling units elsewhere on the YMCA's site. Comparing dwelling units with rooming units is



not normally done because they are two distinct defined uses within the Zoning Ordinance. In this case there is a net increase of 25 dwelling units ( $32-7=25$ ). 25 new dwelling units require 2 parking spaces for each new constructed unit plus one additional parking space for every six units or fraction thereof under Section 14-332 . That would mean that  $50 + 5$ , or 55 extra parking spaces would be required without regard to contract zone language.

It should also be noted that the legal use of these new SRO units would be considered dwelling units because of the private kitchen facilities and bathrooms in each unit. However, for parking requirements only, the Planning Board has previously considered the Logan Place SRO units similar in nature to rooming units in regard to their contract zone. Section 14-332 would require 1 parking space for each five (5) rooming units. That would translate into 5 extra parking spaces to be provided with the new proposal.

Currently the submitted site plan revised on 1/27/04 shows 35 parking spaces on the site. Previously, the YMCA was approved for 11 parking spaces at 26 Sherman Street (036-F-005). That is a total of 46 currently available parking spaces. The new plans, after the demolition and new SRO building, show a total on 32 parking spaces on site with the 11 parking spaces at 26 Sherman Street for a total of 43 parking spaces available.

CC: Penny Littell, Corporation Counsel

AH. D

From: "Tom Errico" <terrigo@wilbursmith.com>  
To: "Barbara Barhydt" <BAB@portlandmaine.gov>  
Date: 4/8/2004 2:18:21 PM  
Subject: YMCA Master Plan

Barbara--

I have reviewed the project package provided to me containing plans dated April 4, 2004 and find the submittal to be acceptable. I would like to note the following:

a.. The proposed crosswalk on High Street north of Sherman Street as illustrated on the plan is well designed. However, the Portland Peninsula Study draft recommendations are such that conversion of High Street in the vicinity of the project from one-way to two-way flow is being considered. If those recommendations are indeed adopted and implemented, the proposed crosswalk design would need to be modified to eliminate the curb extensions. The approval may want to account for this possibility. If you have any questions or need additional information please contact me.

Thomas A. Errico, P.E.  
Senior Transportation Engineer  
Wilbur Smith Associates  
59 Middle Street  
Portland, Maine 04101  
(207) 871-1785  
(207) 871-5825 fax

CC: "Katherine Earley" <KAS@ci.portland.me.us>

AH. E

From: "Tom Errico" <terrico@wilbursmith.com>  
To: "Barbara Barhydt" <BAB@portlandmaine.gov>  
Date: 4/8/2004 2:18:52 PM  
Subject: YMCA Master Plan

Barbara--

As a follow up to my previous email, warnings signs should be installed for the crosswalk on High Street that conform to the Manual on Uniform Traffic Control Devices, Federal Highway Administration. I do not believe they have been specified on the plans.

Thomas A. Errico, P.E.  
Senior Transportation Engineer  
Wilbur Smith Associates  
59 Middle Street  
Portland, Maine 04101  
(207) 871-1785  
(207) 871-5825 fax

CC: "Katherine Earley" <KAS@ci.portland.me.us>

Att. F



DeLUCA-HOFFMAN ASSOCIATES, INC.  
Consulting Engineers

778 Main Street  
Suite 8  
South Portland, Maine 04106  
TEL. 207 775 1121  
FAX 207 879 0896

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

## MEMORANDUM

**DATE:** April 9, 2004

**TO:** Barbara Barhydt, Portland Planning

**FROM:** Stephen R. Bushey, P.E.

**SUBJECT:** YMCA Contract Zoning application

Barbara,

I have reviewed the latest site plans submitted for the YMCA Contract Zone Request dated 4-02-04 and offer the following comments:

1. The plans appear satisfactorily complete for consideration as part of the Contract Zoning request. As we previously commented, additional detail will be required during the Site Plan Review process. However for now, they serve to provide sufficient detail to explain the project proposal. I do not have a copy of the proposed Contract document; therefore I leave it to staff to determine how well the plan adheres to the provisions within the Contract.
2. Several minor technical issues that may warrant consideration during the Contract Zoning process are as follows:
  - a. The location of the Solid Waste Management enclosure behind the building appears to have limited accessibility, particularly for emergency personnel in the event of a fire etc. I will leave it to the Fire Dept. to determine if they will accept that location. Obviously, there are not many options, however, this may be a concern for the Dept.
  - b. The sidewalk ramp on the south end of High Street at the new driveway appears to have at least a 12% grade. It may be necessary to reconstruct the sidewalk a bit further away from the driveway in order to lessen the grade/ramp.
  - c. The contour lines should be drawn between the backside of the sidewalk along High Street and the proposed parking curb line. The upper end of the parking lot is in an excavation cut that lowers the parking lot grade below the street grade. A wall doesn't appear necessary, however, the grading should be reviewed and the treatment between the backside of the sidewalk and the parking lot confirmed.
  - d. Additional spot grades may be necessary to insure that the gutter line flow along High Street does not enter into the southerly (high end) driveway, but rather continues down the street.
  - e. The grading at the northerly end of the YMCA adjacent the new parking lot

should be tied off to the building. It appears that there will be excavation required to regrade the slope adjacent the building at this location.

3. We recommend the Public Works Dept. review the proposed bump outs into High Street to assess the potential impacts to gutter line flows and drainage. With the bump out gutter line drainage flow will be pushed out into the travel way. Depending upon what this flow amount is, it may be warranted to install a new catch basin structure on the uphill side of the bump out. This should be the Public Works determination.
4. The City's traffic engineer should review signage needs associated with the proposed High Street crosswalk.
5. Some of the details may need to be revised. The granite curb detail should be revised to show aggregate base gravel around the curb. The pavement references may also need to be updated to reflect the current MDOT designations for 9.5 mm, 12.0 mm, and 19.0 mm mix designs rather than the old Grade "C" and "B" mixes.

I trust these comments are useful. Please call if you have any questions.

Steve Bushey, PE  
Senior Engineer  
DeLuca-Hoffman Associates, Inc.

Srb/jn1350.10/barhydt04-09-04

Attachment C

**From:** John Peverada  
**To:** Barbara Barhydt  
**Date:** 4/9/2004 4:48:58 PM  
**Subject:** YMCA

Barbara, I have reviewed the Y's revised Parking Management Plan, and make the following comments to help protect the residents of the neighborhood.

1. The Y should be required to provide ALL employees with an off street parking space. The report states that they have 27 full time employees and 5-6 part time employees on the job at any given time, however only "key" employees have off street parking, and the balance find on street parking. Therefore, I suggest that they verify that they have at least 31 off street parking spaces dedicated for employee parking.

2. The report states that the Y does not provide any parking spaces to residents, so they assume that they are parking on the street. This confirms the story told by the son of one of our employees who moved out of the Y after living there for over a year. He claims that he almost had his car towed from the YMCA lot on two occasions (once he was only dropping off his groceries). He was told under no uncertain terms that he was not allowed to park his vehicle in the YMCA parking lots at any time. The Y like any other landlord should provide off street parking for their tenants.

3. I think that the membership parking demand can be satisfied with the lot on High St., further promotion of the Gateway Garage and the overflow using the available on street turnover parking.

4. An adequate drop off and pick up area should be provided.

Barbara, I think that this is a good project, but I honestly think that more parking is needed to make it work without negatively impacting the existing neighborhood.

Please do not hesitate to contact me if you have any questions or concerns, and pass this memo on to members of the board.

**CC:** GLORIA THOMAS



**PUBLIC MEETING  
SRO/PLANNING BOARD  
Wednesday, April 07, 2004  
7:30 PM  
Greater Portland YMCA  
Harris Community Room**

**MINUTES**

**Neighborhood Attendees:** Stephen Scharf, Mary Lynch, Randall Toothaker Scott, Rebecca & Douglas Sneed, Peter and Debbie Feely, Marie Gray, Chris Bailey, Michael DeAngelis, a representative from Weston Associates.

**Board Attendees:** Cyrus Hagge (President), Ben Walter, Scott Herrick

**Staff Attendees:** Dave Thompson (CEO – Cumberland County YMCA), Anne-Marie Jannace (Director of Development and Communications) and Leona Accuosti (Administrative Assistant)

Cyrus Hagge opened the meeting, and gave an overview of the history and events leading up to the proposed project, which includes:

- ♣ In the 80's the Y purchased the properties on High Street: 217, 219, 221 High Street, with the intention to tear them down.
- ♣ Since then, the city changed the zoning, and you can no longer remove housing in Portland without replacing it.
- ♣ The Cumberland County YMCA/Greater Portland YMCA proposes to build a free standing 32 unit efficiency apartment building (SRO) which will enable the Y to tear down the two buildings on High Street. Each unit in the SRO will be furnished and would have a kitchen, bathroom, living room/bedroom – approximately 350 square feet per unit. A four story, handicap accessible building.
- ♣ Once the High Street buildings are gone, the Y also proposes to build a new, bright, sunny entrance that is actually visible. To create a safe, open, comfortable place to come to the Y.
- ♣ Ben Walter walked the group through the plans (see attachment) that were provided providing detailed explanations, and answering and addressing questions and comments as they were raised. Ben also covered what the SRO and addition will be constructed with (easy to maintain materials that will meld with the neighborhood – brick, etc.) including windows, roofing, etc.

Questions/Comments that were raised by neighborhood folks:

- ♣ Michael DeAngelis commented that the neighborhood has a difficult job not viewing the Y as "slum lords" given their lack of upkeep and repair to the High Street properties. Cyrus Hagge replied that while it is true that we have not maintained the properties on High Street, it was for a viable reason: that we've always planned to tear them down.
- ♣ Peter Feely asked the Y to verify which buildings were being torn down – he asked if it was a different plan from the Len's Market Plan. Cyrus Hagge replied that yes – it was different. The proposal that Mr. Feely was referring to is across from the Y on the Forest Avenue side, where there is a proposal to build a high rise.
- ♣ Questions and concerns raised by the neighborhood folks:
  - f **How will the parking lot configuration work?** *Tearing down the buildings will more or less connect our two existing lots. The grade of the lot will also be made more level.*

- f **How much parking will this add to our lot?** *Actually, we will likely lose 8-10 parking spaces in this process.*
- f **Where will people park? Particularly with the addition of the SRO – residents having cars, etc.** *Cyrus Hagge noted that it is not likely there will be that many more cars added to the equation from residents of the new SRO. But there is no way to tell for sure. A parking survey was done by the Y about a week or so ago, and it shows that approximately 11 of our current residents have vehicles. It has been as low as 9.*
- f **Will the proposed crosswalk create a bottleneck?** *No. It should actually slow traffic down, but not create a bottleneck situation. It is also dependent on what the city decides to do with the potential change of make High Street and State Street two way streets.*
- f **Will Y Members come down High Street, see that the lot is full, then turn down Sherman Street, causing even more traffic on Sherman Street?** *No, due to the proposed landscaping and fence, etc. You will not be able to see from High Street if the lot is full. You will have to enter the lot, and in order to exit the lot (if it is indeed full) you will come back out on High Street below Sherman Street.*
- f **Will the SRO be a taxable entity?** *Yes. It should make approximately \$30,000.00 in tax dollars for the city. Though the building will have no market value. It won't be a viable source of revenue for the Y. Though we do hope that it makes enough revenue so we can hire a full time Social Worker – we hope that the SRO will contribute about 50% of that person's salary.*
- f **What will the security be like for the SRO?** *Because it is more of an apartment building – the occupants signing leases, etc. – it will be run more like an apartment building. It will not have 24 hour onsite security, as we currently have at the Y. Though the 24 hour security at the Y will be available to the SRO, as it is currently available to the Leonard Inn. We also plan to wire the SRO so that it has security access to the Y.*
- f **Will we be involving the Portland Housing Authority in some way, or will it just be the Y running the SRO?** *We have not firmed that up yet. For the first few years we are looking to involve another entity in the running of the SRO, then the Y will eventually take it over entirely. We already maintain 96 rooms, and we feel comfortable that we can do this.*
- f **Does the Y intend to continue to grow?** *No. There is really not that much room for growth. We can only serve so many members. We do have some consistent slow times during the day – there is room for growth/more members there...we are looking to provide childcare during these times, to promote more activity during these slow times. We are hoping to become more attractive to the pedestrian community – Parkside – downtown – etc. We are also looking to provide incentive for members to park in the parking garage. Our purpose here is for improvement, not expansion.*
- f **Will the proposed re-zoning affect the entire neighborhood?** *No. It would affect this building only. Currently this building (the Y) is non-conforming because it is so old. Zoning started in 1956. We are asking the City Council to make this building legal with everything as it is. It would become legal for EXACTLY what we do now. If we wanted to add another component, we would have to go back to the city and apply again. We are not looking to purchase any more property.*
- f **What kind of street lighting will be provided? Will it flood the street with light?** *No. we plan to use nice lighting units that actually shine the light straight down, rather than outward – as you normally see in average street lights.*

- f **How will the trash be dealt with at the SRO?** *We will be getting rid of the dumpster – and there will be an enclosed area at the SRO in which we will keep large trash barrels which will be on wheels, and will be wheeled out when necessary.*
- f **Will trash receptacles be provided along High Street – since we plan to increase the pedestrian traffic?** *At first, the Y indicated that it was hesitant about this idea. But agreed that it is certainly something that we can look into.*
- f **Since the Y is looking to make High Street it's main entrance, is there any possibility of making High Street a truck free street?** *That will never likely happen, given that High Street is an access street to the highway.*
- f **Will the SRO be a Tax Credit Property?** *Yes. A neighborhood citizen noted the failed tax credit property on Sherman Street.*

Michael DeAngelis repeatedly remarked on his concern regarding the size of our Board of Directors. (23 Board Members) He has concern that if something were to go awry with the project, the neighborhood would not know whom to go to, as the Board was so big. Cyrus Hagge, Ben Walter, Scott Herrick and Dave Thompson pointed out that it is the Cumberland County Board of Directors – which covers not only the Portland Branch, but the Casco Bay Branch, the Pineland Branch, as well as Otter Pond Camp. Each branch has it's own (smaller) Advisory Council, which is primarily responsible for their given branch. So, if anyone had any concerns, they would seek out the Advisory Council Members. We also have an Executive Committee.

It was also discussed that as the Cumberland County YMCA, the Greater Portland YMCA as an Urban Y, would get some funding support from it's Suburban Y's. Dave Thompson noted that the Greater Portland Y would likely not be in business if it weren't for the support we get from our Suburban Y's.

It was generally agreed that the neighborhood would like to see the Y thrive.

\*\*\*Notice of a Public Meeting\*\*\*\*

Cumberland County YMCA  
70 Forest Ave  
Portland, Me 04101

March 24, 2004

Dear Neighbor:

Please join us for a neighborhood meeting to discuss our plans for a new 32 unit apartment building and new entrance to the Portland YMCA at 217 – 231 High Street.

Date: April 7<sup>th</sup> at 7:30 PM  
Location: YMCA, 70 Forest Ave. in the Harris conference Room.

If you have any questions, please call me at 775-7442.

Sincerely,  
Cyrus Hagge,  
President, Cumberland County YMCA

# PLEASE SIGN IN

YMCA SRO Public Meeting  
Greater Portland YMCA - Harris Community Center  
April 7<sup>th</sup>, 2004 - 7:30 PM

Name: Steven Schorf Phone: 774-9393

Address: 97 Grant St 2nd Fl City: Portland State: ME Zip: 04101

Name: DEBRA Smith / Peter Fealy Phone: 774-4501

Address: 194 High St City: PORTLAND State: ME Zip: 04101

Name: Rebecca & Doug Sneed Phone: 772-7274

Address: 1 Grant St. City: Portland State: ME Zip: 04101

Name: Maria Gray Phone: 773-5329

Address: 263 State St City: Portland State: Me. Zip: 04101

Name: Mary G. Lynch Phone: 879-0145

Address: 32 Sherman St City: Portland State: ME Zip: 04101

Name: Randall T. Scott Phone: —

Address: 16 Sherman # City: Portland State: ME Zip: 04101

Name: Michael Packard Weston Associates, Inc Phone: 617-266-0044

Address: 170 Newbury Street City: Boston State: MA Zip: 02116

Name: Michael DeAngelis Phone: 772-5521

Address: Sherman St City: PTD State: ME Zip: 04101

Continue on next page...



Cumberland County YMCA

Greater Portland Branch, Casco Bay Regional Branch/Pineland & Otter Pond Camp



# Neighborhood Meeting Certification

I, The Cumberland County YMCA and Cyrus Y. Hagge, hereby certify that a neighborhood meeting was held on April 7, at the Greater Portland YMCA, 70 Forest Ave, Portland Maine at 7:30 pm.

I also certify that on March 24, 2004, invitations were mailed to all addresses on the mailing list provided by the Planning Division, including property owners within 500 feet of the proposed development and the residents on the "interested parties" list.

Cyrus Y. Hagge Pres. 4-9-04

Greater Portland YMCA • 70 Forest Avenue • P.O. Box 1078 • Portland, Maine 04101-1078  
P: 207-874-1111 • F: 207-874-1114 • [www.portlandymca.org](http://www.portlandymca.org)

Casco Bay YMCA • 14 Old South Freeport Road • Freeport, Maine 04032  
P: 207-865-9600 • F: 207-865-0484 • [www.cascobayymca.org](http://www.cascobayymca.org)

Cumberland County YMCA at Pineland • 25 Campus Drive • New Gloucester, Maine 04260





# Cumberland County YMCA

*Greater Portland Branch, Casco Bay Regional Branch/Pineland & Otter Pond Camp*



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P: 207-865-9600 • F: 207-865-0484 • [www.cascobayymca.org](http://www.cascobayymca.org)

Cumberland County YMCA at Pineland • 25 Campus Drive • New Gloucester, Maine 04260  
P: 207-688-2255 • F: 207-688-4700 • [www.cascobayymca.org](http://www.cascobayymca.org)



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\*\*\*Notice of a Public Meeting\*\*\*\*

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Portland, Me 04101

March 24, 2004

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# PLEASE SIGN IN

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Address: 16 Sherman #1 City: Portland State: ME Zip: 04101

Name: Michael Richard Weston Associates, Inc Phone: 617-266-0044

Address: 170 Newbury Street City: Boston State: MA Zip: 02116

Name: Michael DeAngelis Phone: 772-5531

Address: Sherman St City: PTLD State: ME Zip: 04101

Continue on next page...



APPLICATION FOR ZONING AMENDMENT  
 City of Portland, Maine  
 Department of Planning and Development  
 Portland Planning Board

1. **Applicant Information:**  
CUMBERLAND County YMCA  
 Name  
70 FOREST AVE  
 Address  
PORTLAND, ME 04101  
775-7442      761-0922  
 Phone                      Fax

2. **Subject Property:**  
70-88 FOREST AVE &  
 Address  
209-233 HIGH ST.  
MAP-36-(20-25)  
 Assessor's Reference (Chart-Block-Lot)

3. **Property Owner:**     Applicant     Other  
 Name  
CUMBERLAND County YMCA  
 Address  
ABOVE  
 \_\_\_\_\_  
 Phone                      Fax

4. **Right, Title, or Interest:** Please identify the status of the applicant's right, title, or interest in the subject property:  
PROPERTY OWNER

Provide documentary evidence, attached to this application, of applicant's right, title, or interest in the subject property. (For example, a deed, option or contract to purchase or lease the subject property.)

5. **Vicinity Map:** Attach a map showing the subject parcel and abutting parcels, labeled as to ownership and/or current use. (Applicant may utilize the City Zoning Map or Parcel Map as a source.)

6. Existing Use:

Describe the existing use of the subject property:

THE PROPERTY IS CURRENTLY USED AS A YMCA WITH  
SRD HOUSING AND PARKING

7. Current Zoning Designation(s): RC

8. Proposed Use of Property: Please describe the proposed use of the subject property. If construction or development is proposed, please describe any changes to the physical condition of the property.

SEE ATTACHMENTS

9. Sketch Plan: On a separate sheet please provide a sketch plan of the property, showing existing and proposed improvements, including such features as buildings, parking, driveways, walkways, landscape and property boundaries. This may be a professionally drawn plan, or a carefully drawn plan, to scale, by the applicant. (Scale to suit, range from 1"=10' to 1"=100'.)

10. Proposed Zoning: Please check all that apply:

A. \_\_\_\_\_ Zoning Map Amendment, from \_\_\_\_\_ to \_\_\_\_\_

B. \_\_\_\_\_ Zoning Text Amendment to Section 14-\_\_\_\_\_

For Zoning Text Amendment, attach on a separate sheet the exact language being proposed, including existing relevant text, in which language to be deleted is depicted as crossed out (~~example~~), and language to be added is depicted with underline (example).

C.  Conditional or Contract Zone

A conditional or contract rezoning may be requested by an applicant in cases where limitations, conditions, or special assurances related to the physical development and operation of the property are needed to ensure that the rezoning and subsequent development are consistent with the comprehensive plan and compatible with the surrounding neighborhood. (Please refer to Division 1.5, Sections 14-60 to 62)

11. **Application Fee:** A fee for must be submitted by check payable to the City of Portland in accordance with Section 14-54 of the Municipal Code (see below). The applicant also agrees to pay all costs of publication (or advertising) of the Workshop and Public Hearing Notices as required for this application. Such amount will be billed to the applicant following the appearance of the advertisement.

_____ Zoning Map Amendment	\$2,000.00
_____ Zoning Text Amendment	\$2,000.00
<u>X</u> Contract/Conditional Rezoning	
Under 5,000 sq. ft.	\$1,000.00
5,000 sq. ft. and over	\$3,000.00
Legal Advertisements	percent of total bill
Notices	.55 cents each
(receipt of application, workshop and public hearing)	

NOTE: Legal notices placed in the newspaper are required by State Statue and local ordinance. Applicants are billed directly by the newspaper for these notices.

12. **Signature:** The above information is true and accurate to the best of my knowledge.

10-1-03  
Date of Filing

 V.P.  
Signature of Applicant

**Further Information:**

Please contact the Planning Office for further information regarding the rezoning process. Applicants are encouraged to make an appointment to discuss their rezoning requests before filing the application.

Applicants are encouraged to include a letter or narrative to accompany the rezoning application which can provide additional background or context information, and describe the proposed rezoning and reasons for the request in a manner that best suits the situation.

In the event of withdrawal of the zoning amendment application by the applicant in writing prior to the submission of the advertisement copy to the newspaper to announce the public hearing, a refund of two-thirds of the amount of the zone change fee will be made to the applicant by the City of Portland.

Portland Planning Board  
Portland, Maine

Effective: July 6, 1998

8. Proposed Use of Property:

The Portland YMCA proposes to build a 32 Unit Efficiency Apartment building at its Forest Avenue site. The purpose is to create additional affordable housing for Men on a long term basis. The Y is working through the Maine State Housing Authority for Low Income Housing Tax Credit financing. The proposed project will be located in the Y's lower parking lot on High Street with its front door opening onto High Street. The proposed structure will be four stories high. The scope of the work is as follows

1. Construct 32 unit (21,000 SF) affordable housing efficiency apartment building.
2. Demolish two existing apartment buildings at 217, 219 and 221 High Street using the new housing units as replacement housing.
3. Construct a new "Front Door" at High Street entrance to the YMCA facility with new lobby and waiting area.
4. Re-grade the parking lot eliminating two of the four curb cuts.
5. Re-landscape the edge between the parking lot and the High Street Sidewalk.

The remaining YMCA uses will not change.





MAPS



DRIVING DIRECTIONS



ROAD TRIP PLANNER



YELLOW PAGES

HELP ?

## maps

- Address
- Airport
- ZIP Code
- City
- Area Code
- Lat / Long
- Road Atlas Key
- Saved Maps

70 Forest Ave  
Portland, ME  
04101-2813, US

Portland Offers:

Hotels  Go



Get Directions To This Location



Map a New Location

### What's Nearby

Search for the nearest:

BORDERS'



### Orbitz Travel Deals

- Hotels:**  
Save up to 70% on Orbitz Savers nationwide. Search Portland, ME!
- Flights:**  
Find low fares to the Portland, ME area!
- Rental Cars:**  
Find special offers on rental prices in the Portland, ME area!



### Yellow Pages

Search Portland for:

Auto repair

Search

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CLICKING ON MAP WILL:

ADDITIONAL MAP FEATURES:

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Map Legend

This map is informational only. No representation is made or warranty given as to its content. User assumes all risk of use. MapQuest and its suppliers assume no responsibility for any loss or delay resulting from such use.

A True Copy

Attest

*Brandi L. Maxwell, Asst. City Clerk*

Brandi L. Maxwell, Asst. City Clerk  
9/10/2004

Order 222-03/04  
5/3/04

NATHAN H. SMITH (MAYOR)(3)  
WILLIAM R. GORHAM (1)  
KAREN A. GERAGHTY (2)  
CHERYL A. LEEMAN (4)  
JAMES I. COHEN (5)

**CITY OF PORTLAND  
IN THE CITY COUNCIL**

PETER E. O'DONNELL (A/L)  
JAMES F. CLOUTIER(A/L)  
JILL C. DUSON (A/L)  
NICHOLAS M. MAVODONES (A/L)

**ORDER AUTHORIZING AMENDMENT TO CITY CODE  
SEC. 14-49 (ZONING MAP AMENDMENT)  
RE: CONDITIONAL REZONING FOR:  
70-88 Forest Avenue and 209 through 233 High Street**

**ORDERED**, that the Zoning Map of the City of Portland, dated December 2000 as amended and on file in the Department of Planning & Development, and incorporated by reference into the Zoning Ordinance by Sec. 14-49 of the Portland City Code, is hereby amended to reflect a conditional rezoning agreement as detailed below;

**BE IT FURTHER ORDERED**, that the contract zone amendment authorized herein shall become effective thirty (30) days following this rezoning or the date upon which the Contract is executed by CCYSRO LP and the Cumberland County YMCA, whichever is later.

**CONDITIONAL REZONING AGREEMENT**

**CCYSRO, L. P. AND  
THE CUMBERLAND COUNTY YMCA**

**AGREEMENT** made this \_\_\_\_ day of \_\_\_\_\_, 2004 by CCYSRO, L.P., a Maine limited partnership with a place of business in Portland, Maine and the Cumberland County YMCA, formerly known as the Greater Portland YMCA and the Young Men's Christian Association of Portland, Maine, a nonprofit corporation with a place of business in Portland, Maine, and each of their successors and assigns (hereinafter collectively "**OWNER**").

**W I T N E S S E T H**

**WHEREAS**, Cumberland County YMCA owns a parcel of land located at 70 through 88 Forest Avenue and 209 through 233 High Street in Portland, consisting of parcels shown on City of Portland Tax Map 36, Block G, Lots 20 through 25, and more particularly described on the attached Exhibit A. (collectively the "**PROPERTY**"); and

**WHEREAS**, the parcel comprising the northerly section of the Preliminary Subdivision Plan, submitted by Sebago Technics dated 12-29-03 and revised 4-2-04(Exhibit 1), denoted as "leased parcel" shall be leased by "CCYSRO, L.P." (Leased Lot); and

**WHEREAS**, the entire parcel shown on the Site Plan and comprising (CBL Map 36, lots 20 through 25) is owned by Cumberland County YMCA (Lot II); and

**WHEREAS**, the **OWNER** will demolish two existing apartment buildings, one at 217 High Street and the other at 219 to 221 High Street, which buildings are recorded by the City as containing a total of seven (7) dwelling units and nine (9) rooming units, which buildings currently house eleven number of occupants; and

**WHEREAS**, the **OWNER** has requested a conditional rezoning of the Property in order to permit the development of thirty-two (32) low-income efficiency apartment units (the "**PROJECT**"); and

**WHEREAS**, the number of new housing units exceeds the number of housing units being demolished and, thus, the proposal complies with Portland's Ordinance, Division 29. Preservation and Replacement of Housing Units, Portland City Code, Sec. 14-483 to 14-488; and

**WHEREAS**, the **OWNER** intends to maintain the current uses in the existing YMCA facility at 70 through 88 Forest Avenue, which include a day care facility, membership services (i.e. athletic facilities, educational opportunities, etc.), administrative offices, eighty-six (86) single room occupancy units, and also provides space for a variety of recreational, community and social services; and

**WHEREAS**, the **OWNER** will change the primary entrance for Cumberland County YMCA members from Forest Avenue to High Street, by adding a new entrance, lobby and waiting area on the High Street side of the building; and

**WHEREAS**, the parking lot along High Street will have a minimum of thirty (30) spaces and will be rebuilt with a maximum of two curb cuts and landscaping; and

**WHEREAS**, the Portland Planning Board has determined that the rezoning and proposed development would provide needed housing in the City for low income individuals, is consistent with the housing component of the Comprehensive Plan and would not have an adverse impact on the surrounding residential community; and

**WHEREAS**, the Planning Board of the City of Portland, pursuant to 30-A M.R.S.A. § 4352(8) and Portland City Code (the "Code") §§ 14-60 to 14-62 and 14-264, and after notice and hearing and due deliberation thereon, recommended the rezoning of the **PROPERTY**, subject, however, to certain conditions; and

**WHEREAS**, because of the unusual nature and unique location of the proposed development, it is necessary and appropriate to have the following conditions and restrictions imposed on this development in order to ensure that the rezoning is consistent with the **CITY'S** Comprehensive Plan; and

**WHEREAS**, the City Council of the **CITY** authorized the execution of this Agreement on June 7, 2004, by City Council Order No. 222-03/04, a true copy of which is attached hereto as Exhibit 2;

**NOW, THEREFORE**, in consideration of the rezoning, **OWNER** covenants and agrees as follows:

1. Effective upon the recording of this Agreement at the Cumberland County Registry of Deeds, but no later than sixty (60) days after the date of Portland City Council approval, the **CITY** hereby amends the Zoning Map of the City of Portland, dated December, 2000 (as amended from time to time and on file in the Department of Planning and Urban Development, and incorporated by reference into the Zoning Ordinance by § 14-49 of the Code) by adopting the map change amendment shown below. If this Agreement is not recorded by said date, then the conditional rezoning shall be null and void, and the zoning of the **PROPERTY** shall revert to the pre-existing Residential R-6 zone.

2. The **OWNER** will demolish two apartment buildings, one at 217 High Street and the other at 219 to 221 High Street. Prior to the issuance of the demolition permits, the **OWNER** shall provide to the City all information required by the Preservation and Replacement of

Housing Units, Portland City Code, Sec. 14-483 to 14-488, shall comply with the requirements of said ordinance, and further ensures that all tenants of said buildings shall be offered replacement housing of a kind and quality similar to that being demolished. In addition, as a condition of this contract, the **OWNER** agrees that it shall maintain the adjacent property at 207 High Street so as to prevent deterioration and maintain code compliance of the building located thereon, for as long as the **OWNER** shall own said property.

3. The **LEASED LOT** is to be developed with a single four-story building consisting of thirty-two (32) efficiency apartments as depicted on the attached Site Plan submitted by Sebago Technics, dated 12-29-03 and revised 2-4-04, attached hereto as Exhibits 1, 2 and 3, and Elevations, submitted by CWS Architects dated 4-2-04 and 3-9-04, attached hereto as Exhibits 4, 5, and 6.

4. Execution of this Agreement binds the **OWNER**, and their successors and assigns, to the terms set forth in this Agreement.

5. Any change in ownership shall be brought to the Planning Board for its review and approval, but this requirement shall not apply to the granting of mortgages by **OWNER**, to the enforcement by the mortgagees of their rights under such mortgages, or to any change of ownership due to the transfer to an entity that is a wholly owned subsidiary or related entity of **OWNER**. Notwithstanding the provision contained herein and in paragraph 2, any change in ownership which includes the granting of a mortgage by the **OWNER** or the transfer of the property to any entity affiliated with the **OWNER**, shall include the obligation for the new owner to maintain 207 High Street so as to prevent deterioration and maintain code compliance of the building located thereon.

6. Permitted Uses. **OWNER** shall be authorized to establish and maintain the following uses on the **PROPERTY**:

a. Eighty six (86) rooming units presently existing within the main YMCA building at 70 Forest Avenue (delineated as YMCA building on the Site Plan), which rooming units share bathroom facilities and a common kitchen; and

b. A new four-story structure, containing thirty-two (32) low-income efficiency apartments<sup>1</sup> to be constructed over the existing High Street parking lot in the vicinity of 231 High Street (delineated as Proposed 32 Unit (SRO) on the Site Plan). There shall be on site laundry facilities in the basement, an office and vestibule on the first floor and common meeting rooms on the three upper floors, only for use of residents, guests and staff.

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<sup>1</sup> For purposes of this Agreement, "efficiency apartment" is defined as a self-contained living unit of not less than two hundred and fifty (250) square feet of living space, with a kitchen (containing at minimum, a kitchen sink, stove with an oven and refrigerator), and a bathroom. Occupancy of an efficiency apartment shall be targeted to one person.

c. The following additional uses shall be permitted in the main building of the YMCA:  
Fitness facilities (including swimming, racquet sports, gym sports, yoga, dance, running, biking, etc);  
Day care and after school programming for school-age children;  
Teen center, focused on fitness, counseling and educational programs;  
Day camps for school age children, to be held during the school year and vacations;  
Elder programs;  
Office and staff facilities;  
Teaching and educational programs;  
Therapeutic services;  
Other membership and community services traditionally provided by the YMCA.

d. A minimum of thirty (30) dual use parking spaces (i.e. parking used by occupants of the efficiency apartments, the SRO and members of the YMCA) on site will be provided as delineated in the parking layout plan attached hereto as Exhibit 2.

The uses specified herein supersede the otherwise permitted uses contained within the underlying Residential R-6 zone.

7. Upon approval of the Site Plan for the **PROJECT**, the **OWNER** shall implement a Parking Management Plan to be approved by the Planning Board during site plan review and any additional parking management initiatives otherwise required by the Portland Planning Board during site plan review, with the goal of informing members, on an ongoing basis, of the availability of off-street, off-site parking provided by the **OWNER**, including parking at the so-called Gateway Garage, or any other parking lot under the control of the **OWNER** within a four block radius of the site. Such Parking Management Plan shall be subject to twice per year monitoring by the Planning Authority and the Parking Authority, with reports submitted to the District One and District Two City Councilors.

8. The front entrance for the existing YMCA facility at 70 through 88 Forest Avenue will be used primarily for residents of the existing facility and the executive offices. A new entrance will be provided on High Street, which will primarily serve YMCA members and guests. The addition to the existing facility, as shown on the Site Plan, will create the new entrance, with a lobby and waiting area.

9. Performance guarantees will be required for entire buildout of the Site Plan shown on Exhibits 1, 2 and 3. The amount and terms of such performance guarantee shall be determined by the Planning Authority at the time of Site Plan, Conditional Use and Subdivision approval of the project. The parking lot and landscaping, designated on Exhibits 2 and 3 shall be completed prior to the issuance of a Certificate of Occupancy. The cost of the curb extensions for a cross walk (as shown on the Site Plan) shall be included in a separate escrow account in favor of the City. If High Street is converted to a two-way street, prior to the installation of said curb extension, then the curb extensions shall not be required by the City, and the escrow money shall be returned to the **OWNER**.

10. **OWNER** shall be responsible for ongoing maintenance of the **PROPERTY**, including snow removal, salting, sanding, sweeping, lighting, trash pickup, maintenance, mowing, etc.

11. The **PROPERTY** will be developed substantially in accordance with the Site Plans and Elevations shown on Exhibits 1 through 6, submitted by Sebago Technics dated 12-29-03 and revised 4-2-04 and submitted by CWS Architects dated 4-2-04 and 3-9-04. In addition to the space and bulk requirements of paragraph 12 below and the applicable provisions of Article IV (subdivisions) and Article V (site plan) of the Code, the development proposal shall show a unified design of the site, including the architecture, the layout of the buildings, pedestrian and vehicular circulation plan, open space, drainage, and the topography, soil conditions, vegetation, and other natural features of the site.

12. The Planning Board shall review and approve the project according to the Site Plan, Subdivision, and Conditional Use provisions of the Portland Land Use Code.

13. *Space and Bulk Requirements.* The following space and bulk requirements will apply to the efficiency apartment building (shown as leased lot on Exhibit 1):

Minimum lot size:	None.
Minimum area per dwelling (density):	450 sq. feet
Minimum street frontage:	50 feet.
Minimum front yard:	none required.
Minimum rear yard:	Five (5) feet
Minimum side yard:	Five (5) feet
Minimum lot width:	50 feet.
Maximum lot coverage:	100%
Maximum structure height:	55 feet
Open space ratio:	none required
Parking requirements:	minimum 30 parking spaces on site, and at minimum, eleven (11) spaces at an off site lot <sup>2</sup>

14, **OWNER** agrees to maintain, for a period of ninety years, the rent levels and income requirements for the efficiency apartments on the Leased Lot as follows:

100% of units at 60% of Area Median Income.

The foregoing restriction on rent levels and income requirements will be secured by covenants and restrictions and conditions in any deeds conveyed out by **OWNER**.

15. This conditional rezoning shall be enforced pursuant to the land use enforcement provisions of state law (including 30-A MRSA 4452) and City Ordinance. Following any determination of a zoning violation by the Court, the Zoning Administrator, or the Portland

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<sup>2</sup> The current off site lot is located on Sherman Street.

Zoning Board of Appeals, the City, after recommendation of the Planning Board, may amend, modify or rescind this rezoning.

16. The above stated restrictions, provisions, and conditions are an essential part of the rezoning, shall run with the **PROPERTY**, shall bind and benefit **OWNER**, any entity affiliated with **OWNER** which takes title to the **PROPERTY**, their successors or assigns, and any party in possession or occupancy of said **PROPERTY** or any part thereof, and shall inure to the benefit of and be enforceable by the **CITY**, by and through its duly authorized representatives. The **OWNER** shall file a counterpart original of this Agreement in the Cumberland County Registry of Deeds.

If any of the restrictions, provisions, conditions, or portions thereof set forth herein should be for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed as a separate, distinct and independent provision and such determination shall not affect the validity of the remaining portions hereof.

**WITNESS:**

**Cumberland County YMCA**

\_\_\_\_\_

\_\_\_\_\_

By:  
Its:

**WITNESS:**

**CCYSRO LP**

\_\_\_\_\_

\_\_\_\_\_

By:  
Its:

STATE OF MAINE  
CUMBERLAND, ss.

\_\_\_\_\_, 2004

Personally appeared before me the above-named \_\_\_\_\_, in his capacity as President of Cumberland County YMCA, as aforesaid, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said organization, a non-profit entity.

Before me,

\_\_\_\_\_  
Notary Public/Attorney at Law

STATE OF MAINE  
CUMBERLAND, ss.

\_\_\_\_\_, 2004

Personally appeared before me the above-named \_\_\_\_\_, in his capacity as President of CCYSRO LP, as aforesaid, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said organization, a non-profit entity.

Before me,

\_\_\_\_\_  
Notary Public/Attorney at Law



ymca -

David -

- programming the same
- services for families + children enhanced
- higher degree of safety - more inviting
- facility for community -

## Parking Mgt Plan

# of employees -

27 -

31 - 33 - employees -

5 or 6 - there are parttime

11 -

David Silk -

- 207 - - wholly - owned subsidiary -

- Parking Issue -

- Mgt Plan -

- still some need -

- purposes of site plan -

- parking mgt plan -

// - closer look to do everything  
you can do to get

Paragraph 7 -

Parking Mgt Plan -

is important - limitations of site -  
not on st. as much -

\* implement -

100% of units at 60% of Area Median Income.

The foregoing restriction on rent levels and income requirements will be secured by covenants and restrictions and conditions in any deeds conveyed out by **OWNER**.

15. In the event of a breach by **OWNER** or its successors or assigns of the zoning provisions contained herein (whether such breach is determined to have occurred by the Zoning Administrator, the Zoning Board of Appeals or a court), the Planning Board, after notice and hearing, may recommend to the City Council that the conditional rezoning and this Agreement be amended, or be rescinded, such rescinding to result in the termination of this Agreement and a reversion of the **PROPERTY** to the R-6 zone in place before the execution of this Agreement.

#### **VI. NEIGHBORHOOD MEETING**

A neighborhood meeting was held on March 7, 2004 and the minutes are included as Attachment G.

#### **VII. FINANCIAL IMPACT**

The Maine State Housing Authority has awarded a \$3.5 million dollar grant to the YMCA to create the 32 units of affordable housing. Evidence of the YMCA's financial capability, the lease the lot for the SRO to a limited partnership called CCYSRO, L.P., are found in Attachment B pages 41-44.

#### **VII. RECOMMENDATION**

The Planning Division supports the recommendation of this conditional rezoning agreement to the Portland City Council.

#### **VIII. MOTIONS FOR THE BOARD TO CONSIDER**

On the basis of plans and materials submitted by Cumberland County YMCA, the policies of the R-6 Zone, Comprehensive Plan, the information provided in Planning Board Report #8-04, and/or other findings as follows:

- VII. The Board finds that the proposed Contract Rezoning for the Cumberland County YMCA and CCYSRO, L.P. [is or is not] consistent with the Comprehensive Plan of the City of Portland and [meets or does not meet] the standards of 14-264 a through d. (Contract Rezoning). The Planning Board therefore [recommends or does not recommend] to the City Council approval of the proposed contract rezoning at 70 to 88 Forest Avenue and 209 to 233 High Street with the following condition:

- A. Warning signs for the crosswalk conforming with the Manual on Uniform Traffic Control Devices, Federal Highway Administration, shall be installed by the applicant. If the

Peninsula Traffic Study recommendations for two-way traffic on High Street are adopted, then the site plan shall be modified to eliminate the curb-line extensions for the High Street crosswalk.

Attachments:

- A. Proposed Contract Zone Text
- A. Applicant's Submittal (separate document in packet)
- C. Memo from Marge Schmuckal, dated February 24, 2004
- D. Tom Errico, Traffic Engineer, Wilbur Smith & Assoc., April 8, 2004
- E. Tom Errico, Traffic Engineer, Wilbur Smith & Assoc., April 8, 2004, follow-up
- F. Stephen Bushey, P.E., Consulting Review Engineer,
- G. Neighborhood Meeting Minutes

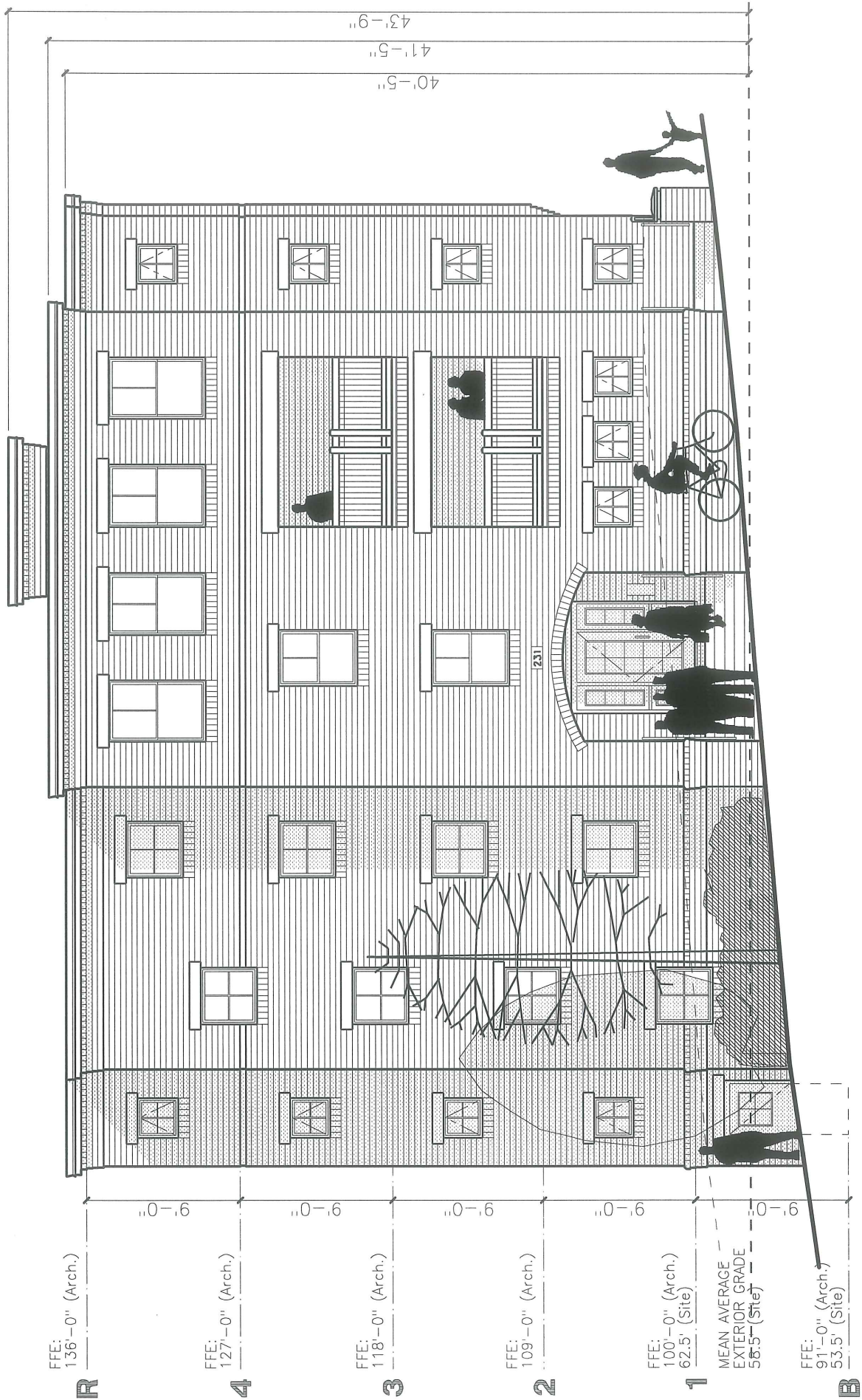
b. Additional condition to replace —  
Paragraph 15 — be replaced  
w/ Penny's —

c. Paragraph #2 —  
amended to include  
— determination — a  
in d. so as to p  
maintain code compliance

d. Paragraph 7 — ple —  
— amended — <sup>st</sup>  
upon approval  
owner shall implement  
a parking mg plan  
be approved

lt - 0

— wholly



FRONT BUILDING ELEVATION  
FROM HIGH STREET

AH H

**From:** "Tom Errico" <terrico@wilbursmith.com>  
**To:** "Barbara Barhydt" <BAB@portlandmaine.gov>  
**Date:** Wed, Mar 3, 2004 4:34 PM  
**Subject:** Greater Portland YMCA MasterPlan and Site Plan Contract Zone Request

Barbara--

The applicant is proposing a crosswalk across High Street north of Sherman Street. I concur with this action but suggest the following.

a.. Appropriate warning signs should be provided according to the Manual on Uniform Traffic Control Devices, Federal Highway Administration (MUTCD).

b.. The crosswalk should be reviewed and approved by the Maine Department of Transportation.

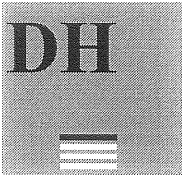
c.. In conjunction with the Portland Peninsula Study, there is a draft recommendation to convert High Street from a one-way street to a two way street in the vicinity of the YMCA. Because this recommendation has not been adopted by the City, the provision of curb extensions for the crosswalk is questioned. Under one-way flow, the curb extension should be provided. Under two-way flow the curb extensions will conflict with traffic flow requirements.

At this time it is suggested that the plan depict the curb extensions. If adoption of the two-way recommendation is realized, the plans can be revised in the future.

If you have any questions or comments please call.

Thomas A. Errico, P.E.  
Senior Transportation Engineer  
Wilbur Smith Associates  
59 Middle Street  
Portland, Maine 04101  
(207) 871-1785  
(207) 871-5825 fax

**CC:** "Katherine Earley" <KAS@ci.portland.me.us>



DeLUCA-HOFFMAN ASSOCIATES, INC.  
CONSULTING ENGINEERS

778 MAIN STREET  
SUITE 8  
SOUTH PORTLAND, MAINE 04106  
TEL. 207 775 1121  
FAX 207 879 0896

A.H. I

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

---

## MEMORANDUM

**DATE:** February 5, 2004

**TO:** Barbara Barhydt, Portland Planning

**FROM:** Stephen R. Bushey, P.E.

**SUBJECT:** YMCA Contract Zoning application

---

Barbara,

I have briefly reviewed the site plans submitted for the YMCA Contract Zone Request and offer the following comments:

1. The plan calls for the demolition and reconstruction of land area along High Street to construct a new parking area and a new building. Overall the plan appears reasonable in nature, however, a number of technical details will need to be worked out prior to Site Plan approval. The Contract zoning review should not be dependent on these details that are technical in nature.
2. The new parking area will be one-way directional with an entrance on the high side of the street and an exit on the low side. Several parking spaces nearest the entrance on the street side will be difficult to enter even for the tight radius turn of a passenger vehicle. This should be reviewed and perhaps the two spaces nearest the entrance eliminated.
3. The slope of the parking area will be as much as 8% for much of the lot. This is relatively steep, however, the nature of the site and its adjacency to High Street, which is similarly sloped in profile, make for few options. The plans have correctly shown the ADA spaces as sloped no greater than 2%, which is good.
4. I suggest that at least one more catch basin or perhaps a double capacity structure be provided in the vicinity of CB-2 since this structure will intercept the majority of the runoff from the paved area. Otherwise, runoff is likely to bypass the structure during peak events and go out into the street. This also raises the question of the City's system in High Street and the existing conditions related to CSO' abatement and the use of hydrobrakes. The engineer should determine how the connection of the proposed drainage system into the 18 inch sewer will impact the system. The PWD may require some onsite storage, although, it seems apparent that there will be no substantial increase in impervious surface on the site.
5. The Public Works Dept. should comment as to the adequacy of the 6" sewer service for the new building. An 8" service with clean out may be warranted.
6. The demolition of the existing buildings may warrant specific measures for the backfilling of the foundation holes. This should be addressed at the time of the site plan review.

- I
7. The plan is unclear as to any reconstruction of the sidewalk and curbing along High Street that is proposed. It looks like some of the old curb openings should be closed and the sidewalk reconstructed. I have not been to the site to review so this may or may not be the case.
  8. The plan shows a water quality treatment unit in the parking area. This should be shown to scale to determine if the structure may extend out under the sidewalk and into the right-of-way.
  9. The City's traffic reviewer should look at the plan and make any comments regarding cross walk locations, possible bus drops etc. along the High Street frontage. Is it contemplated that the High Street side of the YMCA will become more actively used for visitors to the building and require a pull off area similar to the Forest Ave. side?

I trust these comments are useful. Please call if you have any questions.

Steve Bushey, PE  
Senior Engineer  
DeLuca-Hoffman Associates, Inc.

Srb/jn1350.10/barhydt02-05-04

Zoning Division  
Marge Schmuckal

Zoning Administrator



AH. J  
Department of Planning & Development  
Lee Urban, Director

## CITY OF PORTLAND

TO: Barbara Barhydt, Senior Planner

FROM: Marge Schmuckal, Zoning Administrator

SUBJECT: Parking requirements under existing Zoning Ordinance as would apply to the newly proposed 32 unit SRO for the YMCA – 036-G-020 – R-6 zone

DATE: February 24, 2004

Barbara,

I have researched our files for the legal uses of other structures on site. Those legal uses are as follows:

217 High Street – 036-G-023: A zoning use determination letter on file states that the legal use of this property is 2 dwelling units and 9 rooming units. There is no other change of use permit on file since that determination letter.

219 High Street – 036-G-022: Our microfiche files distinguish this building from the attached 221 High Street building. A zoning use determination letter on file dated October 19, 1993 states that the legal use of this property is 3 dwelling units. There is no other change of use permit on file since that determination letter.

221 High Street – 036-G-021: Our microfiche file shows several different uses from 2 dwelling units (1941) to a rooming house (1947). There are no more recent permits to document the legal use. Therefore I have used some other tools to determine the use just prior to 1957. A 1955 City Directory shows two dwelling units as a use on this property. The pre-1957 Assessor's card shows this property to be a single family. I have made a determination on the legal number of dwelling units based on the 1955 City Directory for two dwelling units.

That makes a total of 7 dwelling units and 9 rooming units to be demolished. Currently there is a proposal to demolish these three buildings and to build a new 32 unit Single Room Occupancy dwelling units elsewhere on the YMCA's site. Comparing dwelling units with rooming units is



not normally done because they are two distinct defined uses within the Zoning Ordinance. In this case there is a net increase of 25 dwelling units ( $32-7=25$ ). 25 new dwelling units require 2 parking spaces for each new constructed unit plus one additional parking space for every six units or fraction thereof under Section 14-332 . That would mean that  $50 + 5$ , or 55 extra parking spaces would be required without regard to contract zone language.

It should also be noted that the legal use of these new SRO units would be considered dwelling units because of the private kitchen facilities and bathrooms in each unit. However, for parking requirements only, the Planning Board has previously considered the Logan Place SRO units similar in nature to rooming units in regard to their contract zone. Section 14-332 would require 1 parking space for each five (5) rooming units. That would translate into 5 extra parking spaces to be provided with the new proposal.

Currently the submitted site plan revised on 1/27/04 shows 35 parking spaces on the site. Previously, the YMCA was approved for 11 parking spaces at 26 Sherman Street (036-F-005). That is a total of 46 currently available parking spaces. The new plans, after the demolition and new SRO building, show a total on 32 parking spaces on site with the 11 parking spaces at 26 Sherman Street for a total of 43 parking spaces available.

CC: Penny Littell, Corporation Counsel

Att. K

**From:** "Marge Schmuckal" <MES@portlandmaine.gov>  
**To:** Portland.CityHall(BAB)  
**Date:** Fri, Mar 5, 2004 11:28 AM  
**Subject:** YMCA

Barbara,

I received a copy of the average building height. The current R-6 regulations state the maximum building height is 45 feet. The building height is a vertical measurement from grade to the highest point of the roof beams in flat roofs. The grade may be averaged to determine the grade measuring point. Roof structures such as stair towers, elevator towers, or HVAC housings may extend higher without regard to the maximum building height. The current proposal meets the maximum 45 feet height requirement.

If the applicant wishes to be higher than required by ordinance, then it should be included within the contract zone.

Marge Schmuckal  
Zoning Administrator

**CC:** Portland.CityHall(PL)

Memorandum  
Department of Planning and Development  
Planning Division



**To:** Chair Delogu and Members of the Portland Planning Board  
**From:** Barbara Barhydt, Senior Planner  
**Date:** February 10, 2004  
**Re:** YMCA Contract Zone at 70-88 Forest Avenue and 209 to 233 High Street  
(Tax Map 36, Block G, lots 20 through 25)

**I. INTRODUCTION**

The Cumberland County YMCA is requesting a contract zone for 70 to 88 Forest Avenue and 209 to 233 High Street to construct a building with thirty-two (32) efficiency units on its main facility site. This is the second workshop on the proposal. In addition to considering a contract zone, the Planning Board will review the proposal under the City's subdivision, site plan and replacement housing ordinances.

**II. EXISTING CONDITIONS** (Refer to Attachment 3.4 a-i)

The main facility for the YMCA is located at 70 Forest Avenue. The programs and services at the facility include fitness programming, day care and after school programs, teen center, day camps, administrative offices, and eighty-six (86) single-room occupancy (SRO) housing units. The primary entrance to this facility is from Forest Avenue with a secondary entrance from a High Street parking lot. A playground is located on a separate lot at 96 Forest Avenue.

The YMCA owns three apartment houses on High Street. The apartment building at 207 High Street was acquired in December 2003 and will remain as housing. The building at 217 High Street was acquired in 2000. It has three apartments and houses eleven residents under the YMCA's SRO program. The third building is 219-221 High Street, which is vacant. The YMCA is proposing to demolish both 217 High Street and 219-221 High Street as part of this development proposal. Photographs of the buildings are on the following page.

The YMCA owns three parking lots. Two of the lots are on High Street with the upper lot (209 to 215 High Street) offering twelve to fifteen parking spaces. The lower lot (223 to 233 High Street) has twenty spaces. The Sherman Street lot accommodates ten to twelve vehicles.

Based on the Tax Assessor's records, the total area of the site (the contiguous parcels) is 63,518 square feet (1.5 acres), the playground lot has 4,357 square feet, and the Sherman Street parking lot has 5,000 square feet. The proposed contract zone as drafted does include 207 High Street or the separate lots, so the total area for the contract zone is 60,166 square feet (1.4 acres).

207 High Street



217 High Street



219-221 High Street



### **III. MASTER PLAN FOR YMCA** (Refer to Attachment 3.3 a -u)

At the October 28, 2003 Planning Board workshop, the Board requested that the YMCA provide a master plan for the site and its nearby properties. The YMCA has submitted a summary of the Master Planning Process and a copy of its *Strategic Plan: 150 Years and Beyond*, which is dated September 26, 2002. The Master Planning Process lists the following recommended changes for the Greater Portland YMCA facility:

- Expand the YMCA's commitment to affordable housing and create opportunities for additional housing. The YMCA has received \$3.5 million dollars from MSHA to construct 32 units of affordable housing.
- Demolish two High Street apartment buildings to make room for a new entrance to the main facility and redesign the parking lot.
- Construct a new "front door" entrance for the main building facing High Street. The new entrance will be handicap accessible and allow for future reorganization of the interior of the YMCA.
- Create a redesigned parking lot with ADA compliant parking spaces, enhanced pedestrian safety and improved vehicle safety.
- Acquire the apartment building at 207 High Street to serve as an anchor to the upper parking lot and remain as an apartment building (completed 2003).

### **IV. DEVELOPMENT PROPOSAL** (Refer to Attachments 3.5 a-h)

#### ***Efficiency Units for Single Room Occupancy***

The YMCA is proposing to construct a building with thirty-two (32) efficiency units, also known as single room occupancy (SRO) units in the lower parking lot at 233 High Street. Each efficiency unit has approximately 336 square feet of floor area and includes a kitchen and bathroom. A common room is located on each of the three upper floors, laundry facilities are in the basement and an office/ vestibule are proposed at the front entrance. The YMCA will provide twenty-four hour supervision and services to the residents. The density of this housing proposal, including the 86 SRO units in the existing YMCA facility, is approximately 509 square feet of land per unit.

The proposed building elevations are found as Attachment (3.5g). The building elevations are concepts as expressed in a note on the plan. The YMCA has invited Portland Landmarks and the Parkside Neighborhood Association to participate in defining fundamental site and building design components, so revisions to the plan are anticipated.

The Maine State Housing Authority is providing low-income housing tax credit financing. There will be a limited partner and a general partner in the development of this project. The entire parcel will be divided into two lots for financing purposes.

#### ***Demolition of Two Existing Apartment Buildings*** ( Refer to Attachments 3.7 a-q)

As part of the project, the YMCA proposes to demolish two apartment buildings with a total of eighteen apartments. The buildings are located at 217 High Street and 219-221 High Street. There are eleven residents living in 217 High Street under the YMCA's SRO program. The building at 219-221 High Street is vacant.

At the October 28 workshop, the Planning Board requested additional information regarding the condition of the buildings and whether the buildings, particularly 219-221 High Street, could be

preserved. The staff reviewed the Inspection Office records on 219-221 High Street. There are entries from 1977 to 2000 for 219 High Street and from 1941 to 1994 for 221 High Street, but please note that the City's records do not indicate when a building becomes vacant. Summaries of the records are included as Attachments 4 and 5. According to Mike Nugent, Building Inspection Manager, the building is not condemned or considered a dangerous building<sup>1</sup> under Maine's statutes. YMCA has kept the building boarded up as is required for abandoned buildings. Attachment 3.7 a-q is the applicant's material regarding their assessment of renovating or relocating 219-221 High Street. The YMCA's evaluation includes a letter from John Ryan of Wright-Ryan Construction, Inc., financial statements, the City's historic properties survey form and interior photographs.

Portland's Historic Preservation Ordinance requires that all demolition permits be reviewed and approved by the Historic Preservation Program Manager. The Deering Street Historic District does not include the easterly side of High Street where these buildings are located and the two structures are not individually designated. In 1997, as part of a reassessment of historic district boundaries, it was felt that the easterly side of the street did not exhibit sufficient architectural cohesiveness or integrity to merit inclusion in the district. While the building at 219-221 High Street is not designated, it maintains a commanding presence on this block and an architecturally noteworthy structure. Additionally, the building terminates the view as approached from Sherman Street. The cost of renovating or moving the building is contained in Mr. Ryan's letter. The YMCA has stated in their materials that they will donate the house and contribute \$35,000 to \$45,000 to assist in moving this building.

Under the City's new ordinance, "Preservation and Replacement of Housing Units", the Planning Board will review the proposed demolition of housing units as a conditional use and site plan. The YMCA addresses this in their application (Attachment 3.7). A draft application form for this review was forwarded to the applicant on February 4, 2004. The application form requires the Applicant to certify the number and description of existing units, list the names of current tenants and current rent levels, and demonstrate how the proposal will comply with the ordinance. The ordinance options include either replacement in-kind, funds in lieu of replacement or replacement with housing that meets a community housing need. The YMCA proposes to meet the latter option by providing thirty-two (32) efficiency units. Attachment 6 is a copy of Division 29 of Portland's Code.

### ***Modifications to Existing Building*** (Attachment 3.5)

An addition is proposed for the High Street side of the existing facility. The addition will be a new entrance area for the athletic facilities of the YMCA, which will be accessed from the High Street parking lot. The Forest Avenue entrance will be the primary entry for the existing eighty-

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<sup>1</sup> State definition of a dangerous building: Whenever the municipal officers in the case of a municipality, or the county commissioners in the case of the unorganized or deorganized areas in their county, find that a building or structure or any portion thereof or any wharf, pier, pilings or any portion thereof that is or was located on or extending from land within the boundaries of the municipality or the unorganized or deorganized area, as measured from low water mark, is structurally unsafe; unstable; unsanitary; constitutes a fire hazard; is unsuitable or improper for the use or occupancy to which it is put; constitutes a hazard to health or safety because of inadequate maintenance, dilapidation, obsolescence or abandonment; or is otherwise dangerous to life or property, they may after notice and hearing on this matter adjudge the same to be a nuisance or dangerous and may make and record an order prescribing what disposal must be made of that building or structure. [1997, c. 6, §1 (amd).]

Att. L

six (86) single room occupancy units, the administrative offices, and the YMCA's range of community services.

***Parking*** (Refer to Attachment 3.6)

The proposal includes redesigning the parking lot and extending the parking area to include the lots at 217 through 221 High Street (lots of the buildings to be demolished). The proposed lot has thirty-two (32) parking spaces with a drop-off area at the new building entrance. Two of the four curb cuts will be closed. Landscaping and a fence will be provided for screening. The details for this are being discussed as part of process with Portland Landmarks and the Parkside Neighborhood Association.

The Planning Board requested that a parking management plan be developed for this proposal, which is included as Attachment 3.6. The YMCA is proposing that members continue to use the High Street lot, on-street parking and the free parking at the Gateway Garage. Staff will continue to use the Sherman Street lot. The YMCA state that one in ten of their residents own a car. They estimate that the net gain of 21 units will result in two more cars. The YMCA proposes that the members and staff share parking in the High Street and Sherman Street parking lots and that they are able to secure additional parking on a lot across from 70 High Street, if needed.

**V. STAFF COMMENTS**

Tom Errico, consulting Traffic Engineer, noted that the first parking space near the upper entrance is very tight and may not be a usable space. He is also requesting that the applicant prepare an assessment of whether a mid-block crosswalk on High Street is warranted.

Steve Bushey, consulting Engineer, has done a preliminary review of the project. His comments are included as Attachment 7.

John Peverada, Parking Manager, reviewed the parking management plan. He does not want the project to negatively impact the on-street parking in the neighborhood. The parking management plan provides daily numbers for the YMCA, but it is unclear what the parking demand is at peak times. Mr. Peverada indicated that it may be necessary for the YMCA to address how they will encourage members to use the Gateway garage and potentially secure leases to accommodate staff and residents at peak times. The draft contract suggests that the YMCA will provide a set number of spaces in the Gateway Garage.

**VI. CONTRACT ZONE**

A draft of the proposed contract zone is a preliminary draft and is included as Attachment 1 for the Board's review. The conditions for the proposal are found on pages 3 through 6 and the proposed space and bulk requirements are found on page 5 of Attachment 1.

**Attachments:**

1. Draft Contract Zone
2. Contract Zone Application
3. YMCA submission for 1/10/04 workshop
4. Inspection Records – 219 High Street
5. Inspection Records – 221 High Street
6. Division 29, Preservation and Replacement of Housing Units
7. Steve Bushey, DeLucca Hoffman, review

**Cyrus Y. Hagge**

225 Commercial Street, Suite 404  
Portland, Maine 04101-4613  
207-775-7442  
FAX 207-761-0922  
Email-chagge1@maine.rr.com

December 13, 2004

Penny Littell  
City Of Portland  
389 Congress Street  
Portland, ME 04101

Re: YMCA

Dear Penny:

Thank you for all of your help during the YMCA re-zoning effort. Enclosed please find a copy of the recorded contract rezoning for the YMCA. This was recorded in a timely fashion.

I am also enclosing copies of the 90 eviction notices for the apartment building on High street that the Y plans to demolish as part of this plan.

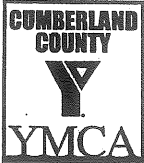
If I can be of further assistance, don't hesitate to contact me.

Sincerely,



Cyrus Hagge  
Cc: Barbara Barhydt





# Cumberland County YMCA

Greater Portland Branch, Casco Bay Regional Branch & Otter Pond Camp



## NINETY-DAY NOTICE TO QUIT

TO: **DONNOVAN DIXON**  
217 High Street  
Portland, ME 04101

AND ALL OTHER OCCUPANTS OF UNIT **#12**, 217 HIGH STREET, PORTLAND, IN THE COUNTY OF CUMBERLAND AND STATE OF MAINE.

I HEREBY NOTIFY AND REQUIRE YOU TO QUIT AND DELIVER UP TO ME ON **BY MIDNIGHT, JANUARY 31 2005**, THE POSSESSION OF THE FOLLOWING DESCRIBED PREMISES, NOW OCCUPIED BY YOU AND BELONGING TO CUMBERLAND COUNTY YMCA AT:

217 HIGH STREET, PORTLAND, MAINE

AND THIS NOTICE TO BE GIVEN TO YOU FOR PURPOSE OF TERMINATING YOUR TENANCY THEREIN.

THIS NOTICE IS SERVED PURSUANT TO TITLE 14 M.R.S.A. § 6002 ET. SEQ.

DATED AT PORTLAND, MAINE, THIS 1<sup>st</sup> DAY OF NOVEMBER, 2004.

SERVED IN HAND THIS THE 26<sup>th</sup> DAY OF OCTOBER, 2004 BY MARK ANDERSON ON BEHALF OF THE CUMBERLAND COUNTY YMCA.

AFTER THREE GOOD FAITH ATTEMPTS AT SERVICE ON OCTOBER 27<sup>th</sup>, ON OCTOBER 28<sup>th</sup>, AND ON OCTOBER 29<sup>th</sup>, 2004. I LEFT THE NOTICE AT UNIT **#12**, 217 HIGH STREET, PORTLAND, MAINE.

DATED: 11/01/04

Mark Anderson  
MARK ANDERSON  
CUMBERLAND COUNTY YMCA



Greater Portland YMCA • 70 Forest Avenue • P.O. Box 1078 • Portland, Maine 04101-1078  
P: 207-874-1111 • F: 207-874-1114 • [www.portlandymca.org](http://www.portlandymca.org)

Casco Bay YMCA • 14 Old South Freeport Road • Freeport, ME 04032  
P: 207-865-9600 • F: 207-865-0484 • [www.cascobayymca.org](http://www.cascobayymca.org)



YMCA COPY

# Cumberland County YMCA



Greater Portland Branch, Casco Bay Regional Branch & Otter Pond Camp

## NINETY-DAY NOTICE TO QUIT

TO: JEFFERY REED  
217 High Street  
Portland, ME 04101

AND ALL OTHER OCCUPANTS OF UNIT #11, 217 HIGH STREET, PORTLAND, IN THE COUNTY OF CUMBERLAND AND STATE OF MAINE.

I HEREBY NOTIFY AND REQUIRE YOU TO QUIT AND DELIVER UP TO ME ON **BY MIDNIGHT, JANUARY 31 2005**, THE POSSESSION OF THE FOLLOWING DESCRIBED PREMISES, NOW OCCUPIED BY YOU AND BELONGING TO CUMBERLAND COUNTY YMCA AT:

217 HIGH STREET, PORTLAND, MAINE

AND THIS NOTICE TO BE GIVEN TO YOU FOR PURPOSE OF TERMINATING YOUR TENANCY THEREIN.

THIS NOTICE IS SERVED PURSUANT TO TITLE 14 M.R.S.A. § 6002 ET. SEQ.

DATED AT PORTLAND, MAINE, THIS 27<sup>th</sup> DAY OF OCTOBER, 2004.

SERVED IN HAND THIS THE 27<sup>th</sup> DAY OF OCTOBER, 2004 BY MARK ANDERSON ON BEHALF OF THE CUMBERLAND COUNTY YMCA.

DATED: 10/27/04

Mark Anderson  
MARK ANDERSON  
CUMBERLAND COUNTY YMCA

SIGNATURE: Jeffery A. Reed Sr  
JEFFERY REED - #11

Date: 10/27/04

LEONA ACCUOSTI  
Notary Public, Maine  
My Commission Expires December 5, 2010

State of Maine, County of Cumberland

The foregoing instrument was acknowledged before me this October 27, 2004 by  
(date)

Jeffery Reed  
(Name of person acknowledged)

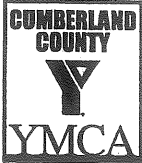
Signature of Notary Public: Leona Accuosti

Name of Notary Public: Leona Accuosti



Greater Portland YMCA • 70 Forest Avenue • P.O. Box 1078 • Portland, Maine 04101-1078  
P: 207-874-1111 • F: 207-874-1114 • www.portlandymca.org

Casco Bay YMCA • 14 Old South Freeport Road • Freeport, ME 04032  
P: 207-865-9600 • F: 207-865-0484 • www.cascobayymca.org



# Cumberland County YMCA

Greater Portland Branch, Casco Bay Regional Branch & Otter Pond Camp



## NINETY-DAY NOTICE TO QUIT

TO: **SEBASTIAN COLE**  
217 High Street  
Portland, ME 04101

AND ALL OTHER OCCUPANTS OF UNIT **#09**, 217 HIGH STREET, PORTLAND, IN THE COUNTY OF CUMBERLAND AND STATE OF MAINE.

I HEREBY NOTIFY AND REQUIRE YOU TO QUIT AND DELIVER UP TO ME ON **BY MIDNIGHT, JANUARY 31 2005**, THE POSSESSION OF THE FOLLOWING DESCRIBED PREMISES, NOW OCCUPIED BY YOU AND BELONGING TO CUMBERLAND COUNTY YMCA AT:

217 HIGH STREET, PORTLAND, MAINE

AND THIS NOTICE TO BE GIVEN TO YOU FOR PURPOSE OF TERMINATING YOUR TENANCY THEREIN.

THIS NOTICE IS SERVED PURSUANT TO TITLE 14 M.R.S.A. § 6002 ET. SEQ.

DATED AT PORTLAND, MAINE, THIS 1<sup>st</sup> DAY OF NOVEMBER, 2004.

SERVED IN HAND THIS THE 26<sup>th</sup> DAY OF OCTOBER, 2004 BY MARK ANDERSON ON BEHALF OF THE CUMBERLAND COUNTY YMCA.

AFTER THREE GOOD FAITH ATTEMPTS AT SERVICE ON OCTOBER 27<sup>th</sup>, ON OCTOBER 28<sup>th</sup>, AND ON OCTOBER 29<sup>th</sup>, 2004. I LEFT THE NOTICE AT UNIT **#09**, 217 HIGH STREET, PORTLAND, MAINE.

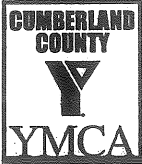
DATED: 11/01/04

Mark Anderson  
MARK ANDERSON  
CUMBERLAND COUNTY YMCA



Greater Portland YMCA • 70 Forest Avenue • P.O. Box 1078 • Portland, Maine 04101-1078  
P: 207-874-1111 • F: 207-874-1114 • [www.portlandymca.org](http://www.portlandymca.org)

Casco Bay YMCA • 14 Old South Freeport Road • Freeport, ME 04032  
P: 207-865-9600 • F: 207-865-0484 • [www.cascobayymca.org](http://www.cascobayymca.org)



# Cumberland County YMCA

Greater Portland Branch, Casco Bay Regional Branch & Otter Pond Camp



## NINETY-DAY NOTICE TO QUIT

TO: **MARCUS CHAPMAN**  
217 High Street  
Portland, ME 04101

AND ALL OTHER OCCUPANTS OF UNIT #08, 217 HIGH STREET, PORTLAND, IN THE COUNTY OF CUMBERLAND AND STATE OF MAINE.

I HEREBY NOTIFY AND REQUIRE YOU TO QUIT AND DELIVER UP TO ME ON **BY MIDNIGHT, JANUARY 31 2005**, THE POSSESSION OF THE FOLLOWING DESCRIBED PREMISES, NOW OCCUPIED BY YOU AND BELONGING TO CUMBERLAND COUNTY YMCA AT:

217 HIGH STREET, PORTLAND, MAINE

AND THIS NOTICE TO BE GIVEN TO YOU FOR PURPOSE OF TERMINATING YOUR TENANCY THEREIN.

THIS NOTICE IS SERVED PURSUANT TO TITLE 14 M.R.S.A. § 6002 ET. SEQ.

DATED AT PORTLAND, MAINE, THIS 27<sup>th</sup> DAY OF OCTOBER, 2004.

SERVED IN HAND THIS THE 27<sup>th</sup> DAY OF OCTOBER, 2004 BY MARK ANDERSON ON BEHALF OF THE CUMBERLAND COUNTY YMCA.

DATED: 10/28/04

Mark Anderson  
MARK ANDERSON  
CUMBERLAND COUNTY YMCA

SIGNATURE:

Marcus Chapman  
MARCUS CHAPMAN - #08

Date: 10/28/04

LEONA ACCUOSTI  
Notary Public, Maine  
My Commission Expires December 5, 2010

State of Maine, County of Cumberland

The foregoing instrument was acknowledged before me this October 28<sup>th</sup>, 2004 by  
(date)

Marcus Chapman  
(Name of person acknowledged)

Signature of Notary Public: Leona Accuosti

Name of Notary Public: Leona Accuosti





# Cumberland County YMCA

Greater Portland Branch, Casco Bay Regional Branch & Otter Pond Camp



## NINETY-DAY NOTICE TO QUIT

TO: **TNOMAS CODY**  
217 High Street  
Portland, ME 04101

AND ALL OTHER OCCUPANTS OF UNIT **#05**, 217 HIGH STREET, PORTLAND, IN THE COUNTY OF CUMBERLAND AND STATE OF MAINE.

I HEREBY NOTIFY AND REQUIRE YOU TO QUIT AND DELIVER UP TO ME ON **BY MIDNIGHT, JANUARY 31 2005**, THE POSSESSION OF THE FOLLOWING DESCRIBED PREMISES, NOW OCCUPIED BY YOU AND BELONGING TO CUMBERLAND COUNTY YMCA AT:

217 HIGH STREET, PORTLAND, MAINE

AND THIS NOTICE TO BE GIVEN TO YOU FOR PURPOSE OF TERMINATING YOUR TENANCY THEREIN.

THIS NOTICE IS SERVED PURSUANT TO TITLE 14 M.R.S.A. § 6002 ET. SEQ.

DATED AT PORTLAND, MAINE, THIS 1<sup>st</sup> DAY OF NOVEMBER, 2004.

SERVED IN HAND THIS THE 26<sup>th</sup> DAY OF OCTOBER, 2004 BY MARK ANDERSON ON BEHALF OF THE CUMBERLAND COUNTY YMCA.

AFTER THREE GOOD FAITH ATTEMPTS AT SERVICE ON OCTOBER 27<sup>th</sup>, ON OCTOBER 28<sup>th</sup>, AND ON OCTOBER 29<sup>th</sup>, 2004. I LEFT THE NOTICE AT UNIT **#05**, 217 HIGH STREET, PORTLAND, MAINE.

DATED: 11/01/04

Mark Anderson  
MARK ANDERSON  
CUMBERLAND COUNTY YMCA



Greater Portland YMCA • 70 Forest Avenue • P.O. Box 1078 • Portland, Maine 04101-1078  
P: 207-874-1111 • F: 207-874-1114 • [www.portlandymca.org](http://www.portlandymca.org)

Casco Bay YMCA • 14 Old South Freeport Road • Freeport, ME 04032  
P: 207-865-9600 • F: 207-865-0484 • [www.cascobayymca.org](http://www.cascobayymca.org)



# Cumberland County YMCA

Greater Portland Branch, Casco Bay Regional Branch & Otter Pond Camp



## NINETY-DAY NOTICE TO QUIT

TO: CALVEN SAM  
217 High Street  
Portland, ME 04101

AND ALL OTHER OCCUPANTS OF UNIT #04, 217 HIGH STREET, PORTLAND, IN THE COUNTY OF CUMBERLAND AND STATE OF MAINE.

I HEREBY NOTIFY AND REQUIRE YOU TO QUIT AND DELIVER UP TO ME ON **BY MIDNIGHT, JANUARY 31 2005**, THE POSSESSION OF THE FOLLOWING DESCRIBED PREMISES, NOW OCCUPIED BY YOU AND BELONGING TO CUMBERLAND COUNTY YMCA AT:

217 HIGH STREET, PORTLAND, MAINE

AND THIS NOTICE TO BE GIVEN TO YOU FOR PURPOSE OF TERMINATING YOUR TENANCY THEREIN.

THIS NOTICE IS SERVED PURSUANT TO TITLE 14 M.R.S.A. § 6002 ET. SEQ.

DATED AT PORTLAND, MAINE, THIS 1<sup>st</sup> DAY OF NOVEMBER, 2004.

SERVED IN HAND THIS THE 26<sup>th</sup> DAY OF OCTOBER, 2004 BY MARK ANDERSON ON BEHALF OF THE CUMBERLAND COUNTY YMCA.

AFTER THREE GOOD FAITH ATTEMPTS AT SERVICE ON OCTOBER 27<sup>th</sup>, ON OCTOBER 28<sup>th</sup>, AND ON OCTOBER 29<sup>th</sup>, 2004. I LEFT THE NOTICE AT UNIT #04, 217 HIGH STREET, PORTLAND, MAINE.

DATED: 11/01/04

  
MARK ANDERSON  
CUMBERLAND COUNTY YMCA



Greater Portland YMCA • 70 Forest Avenue • P.O. Box 1078 • Portland, Maine 04101-1078  
P: 207-874-1111 • F: 207-874-1114 • www.portlandymca.org

Casco Bay YMCA • 14 Old South Freeport Road • Freeport, ME 04032  
P: 207-865-9600 • F: 207-865-0484 • www.cascobayymca.org

YMCA COPY



# Cumberland County YMCA

Greater Portland Branch, Casco Bay Regional Branch & Otter Pond Camp



## NINETY-DAY NOTICE TO QUIT

TO: ANTHONY PEARSON  
217 High Street  
Portland, ME 04101

AND ALL OTHER OCCUPANTS OF UNIT #12, 217 HIGH STREET, PORTLAND, IN THE COUNTY OF CUMBERLAND AND STATE OF MAINE.

I HEREBY NOTIFY AND REQUIRE YOU TO QUIT AND DELIVER UP TO ME ON **BY MIDNIGHT, JANUARY 31 2005**, THE POSSESSION OF THE FOLLOWING DESCRIBED PREMISES, NOW OCCUPIED BY YOU AND BELONGING TO CUMBERLAND COUNTY YMCA AT:

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THIS NOTICE IS SERVED PURSUANT TO TITLE 14 M.R.S.A. § 6002 ET. SEQ.

DATED AT PORTLAND, MAINE, THIS 27<sup>th</sup> DAY OF OCTOBER, 2004.

SERVED IN HAND THIS THE 27<sup>th</sup> DAY OF OCTOBER, 2004 BY MARK ANDERSON ON BEHALF OF THE CUMBERLAND COUNTY YMCA.

DATED: 10/27/04

Mark Anderson  
MARK ANDERSON  
CUMBERLAND COUNTY YMCA

SIGNATURE: Anthony Pearson  
ANTHONY PEARSON - #02

Date: 10/27/04

LEONA ACCUOSTI  
Notary Public, Maine  
My Commission Expires December 5, 2010

State of Maine, County of Cumberland

The foregoing instrument was acknowledged before me this October 27<sup>th</sup>, 2004 by  
(date)

Anthony Pearson  
(Name of person acknowledged)

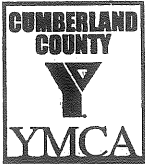
Signature of Notary Public: Leona Accuosti

Name of Notary Public: Leona Accuosti



Greater Portland YMCA • 70 Forest Avenue • P.O. Box 1078 • Portland, Maine 04101-1078  
P: 207-874-1111 • F: 207-874-1114 • www.portlandymca.org

Casco Bay YMCA • 14 Old South Freeport Road • Freeport, ME 04032  
P: 207-865-9600 • F: 207-865-0484 • www.cascobayymca.org



YMCA COPY

# Cumberland County YMCA

Greater Portland Branch, Casco Bay Regional Branch & Otter Pond Camp



## NINETY-DAY NOTICE TO QUIT

TO: WILLIAM ANDERSON

217 High Street  
Portland, ME 04101

AND ALL OTHER OCCUPANTS OF UNIT #01, 217 HIGH STREET, PORTLAND, IN THE COUNTY OF CUMBERLAND AND STATE OF MAINE.

I HEREBY NOTIFY AND REQUIRE YOU TO QUIT AND DELIVER UP TO ME ON **BY MIDNIGHT, JANUARY 31 2005**, THE POSSESSION OF THE FOLLOWING DESCRIBED PREMISES, NOW OCCUPIED BY YOU AND BELONGING TO CUMBERLAND COUNTY YMCA AT:

217 HIGH STREET, PORTLAND, MAINE

AND THIS NOTICE TO BE GIVEN TO YOU FOR PURPOSE OF TERMINATING YOUR TENANCY THEREIN.

THIS NOTICE IS SERVED PURSUANT TO TITLE 14 M.R.S.A. § 6002 ET. SEQ.

DATED AT PORTLAND, MAINE, THIS 27<sup>th</sup> DAY OF OCTOBER, 2004.

SERVED IN HAND THIS THE 27<sup>th</sup> DAY OF OCTOBER, 2004 BY MARK ANDERSON ON BEHALF OF THE CUMBERLAND COUNTY YMCA.

DATED: 10-27-04

  
MARK ANDERSON  
CUMBERLAND COUNTY YMCA

SIGNATURE: 

WILLIAM ANDERSON - #01

Date: 10.27.04

LEONA ACCUOSTI  
Notary Public, Maine  
My Commission Expires December 5, 2010

State of Maine, County of Cumberland

The foregoing instrument was acknowledged before me this October 27, 2004 by  
(date)

William Anderson  
(Name of person acknowledged)

Signature of Notary Public: 

Name of Notary Public: Leona Accuosti



Greater Portland YMCA • 70 Forest Avenue • P.O. Box 1078 • Portland, Maine 04101-1078  
P: 207-874-1111 • F: 207-874-1114 • www.portlandymca.org

Casco Bay YMCA • 14 Old South Freeport Road • Freeport, ME 04032  
P: 207-865-9600 • F: 207-865-0484 • www.cascobayymca.org



**From:** <lindakoke@att.net>  
**To:** <bab@portlandmaine.gov>  
**Date:** Tue, Feb 10, 2004 3:52 PM

February 10, 2004

To: Portland Planning Board

From: Linda Kokemuller, 442 Cumberland Avenue

Re: YMCA on High Street

I would like to continue to express concern that the expansion of the YMCA does not allow a building that would be higher than the existing buildings that will be torn down. People in the surrounding buildings have views of the back cove and other areas that have existed for many, many years since many of the buildings are older buildings. The building I live in dates from the 1800's. I don't think it would be fair to allow the YMCA to block existing views with their expansion. On a broader note, it is part of the viewshed of the neighborhood which is an interesting city neighborhood partly because of the way the street and the houses slope down the hill. The YMCA should be built to fit into that neighborhood, not force the neighborhood to fit it. On a personal note, the view is one of the aesthetic reasons that convinced me to buy my condominium and it is also part of the reason for its value.

Zoning Division  
Marge Schmuckal  
Zoning Administrator



A.H. J  
Department of Planning & Development  
Lee Urban, Director

## CITY OF PORTLAND

TO: Barbara Barhydt, Senior Planner

FROM: Marge Schmuckal, Zoning Administrator

SUBJECT: Parking requirements under existing Zoning Ordinance as would apply to the newly proposed 32 unit SRO for the YMCA – 036-G-020 – R-6 zone

DATE: February 24, 2004

Barbara,

I have researched our files for the legal uses of other structures on site. Those legal uses are as follows:

217 High Street – 036-G-023: A zoning use determination letter on file states that the legal use of this property is 2 dwelling units and 9 rooming units. There is no other change of use permit on file since that determination letter.

219 High Street – 036-G-022: Our microfiche files distinguish this building from the attached 221 High Street building. A zoning use determination letter on file dated October 19, 1993 states that the legal use of this property is 3 dwelling units. There is no other change of use permit on file since that determination letter.

221 High Street – 036-G-021: Our microfiche file shows several different uses from 2 dwelling units (1941) to a rooming house (1947). There are no more recent permits to document the legal use. Therefore I have used some other tools to determine the use just prior to 1957. A 1955 City Directory shows two dwelling units as a use on this property. The pre-1957 Assessor's card shows this property to be a single family. I have made a determination on the legal number of dwelling units based on the 1955 City Directory for two dwelling units.

That makes a total of 7 dwelling units and 9 rooming units to be demolished. Currently there is a proposal to demolish these three buildings and to build a new 32 unit Single Room Occupancy dwelling units elsewhere on the YMCA's site. Comparing dwelling units with rooming units is

not normally done because they are two distinct defined uses within the Zoning Ordinance. In this case there is a net increase of 25 dwelling units ( $32-7=25$ ). 25 new dwelling units require 2 parking spaces for each new constructed unit plus one additional parking space for every six units or fraction thereof under Section 14-332. That would mean that  $50 + 5$ , or 55 extra parking spaces would be required without regard to contract zone language.

It should also be noted that the legal use of these new SRO units would be considered dwelling units because of the private kitchen facilities and bathrooms in each unit. However, for parking requirements only, the Planning Board has previously considered the Logan Place SRO units similar in nature to rooming units in regard to their contract zone. Section 14-332 would require 1 parking space for each five (5) rooming units. That would translate into 5 extra parking spaces to be provided with the new proposal.

Currently the submitted site plan revised on 1/27/04 shows 35 parking spaces on the site. Previously, the YMCA was approved for 11 parking spaces at 26 Sherman Street (036-F-005). That is a total of 46 currently available parking spaces. The new plans, after the demolition and new SRO building, show a total on 32 parking spaces on site with the 11 parking spaces at 26 Sherman Street for a total of 43 parking spaces available.

CC: Penny Littell, Corporation Counsel

## CONDITIONAL REZONING AGREEMENT

### CCYSRO, L. P. AND THE CUMBERLAND COUNTY YMCA

AGREEMENT made this 14<sup>th</sup> day of September, 2004 by CCYSRO, L.P., a Maine limited partnership with a place of business in Portland, Maine and the Cumberland County YMCA, formerly known as the Greater Portland YMCA and the Young Men's Christian Association of Portland, Maine, a nonprofit corporation with a place of business in Portland, Maine, and each of their successors and assigns (hereinafter collectively "OWNER").

#### WITNESSETH

**WHEREAS**, Cumberland County YMCA owns a parcel of land located at 70 through 88 Forest Avenue and 209 through 233 High Street in Portland, consisting of parcels shown on City of Portland Tax Map 36, Block G, Lots 20 through 25, and more particularly described on the attached Exhibit A. (collectively the "PROPERTY"); and

**WHEREAS**, the parcel comprising the northerly section of the Preliminary Subdivision Plan, submitted by Sebago Technics dated 12-29-03 and revised 4-2-04 (Exhibit 1), denoted as "leased parcel" shall be leased by "CCYSRO, L.P." (Leased Lot); and

**WHEREAS**, the entire parcel shown on the Site Plan and comprising (CBL Map 36, lots 20 through 25) is owned by Cumberland County YMCA (Lot II); and

**WHEREAS**, the OWNER will demolish two existing apartment buildings, one at 217 High Street and the other at 219 to 221 High Street, which buildings are recorded by the City as containing a total of seven (7) dwelling units and nine (9) rooming units, which buildings currently house eleven number of occupants; and

**WHEREAS**, the OWNER has requested a conditional rezoning of the Property in order to permit the development of thirty-two (32) low-income efficiency apartment units (the "PROJECT"); and

**WHEREAS**, the number of new housing units exceeds the number of housing units being demolished and, thus, the proposal complies with Portland's Ordinance, Division 29. Preservation and Replacement of Housing Units, Portland City Code, Sec. 14-483 to 14-488; and

**WHEREAS**, the OWNER intends to maintain the current uses in the existing YMCA facility at 70 through 88 Forest Avenue, which include a day care facility, membership services (i.e. athletic facilities, educational opportunities, etc.), administrative offices, eighty-six (86) single room occupancy units, and also provides space for a variety of recreational, community and social services; and

**WHEREAS**, the OWNER will change the primary entrance for Cumberland County YMCA members from Forest Avenue to High Street, by adding a new entrance, lobby and waiting area on the High Street side of the building; and

**WHEREAS**, the parking lot along High Street will have a minimum of thirty (30) spaces and will be rebuilt with a maximum of two curb cuts and landscaping; and

**WHEREAS**, the Portland Planning Board has determined that the rezoning and proposed development would provide needed housing in the City for low income

individuals, is consistent with the housing component of the Comprehensive Plan and would not have an adverse impact on the surrounding residential community; and

**WHEREAS**, the Planning Board of the City of Portland, pursuant to 30-A M.R.S.A. § 4352(8) and Portland City Code (the "Code") §§ 14-60 to 14-62 and 14-264, and after notice and hearing and due deliberation thereon, recommended the rezoning of the **PROPERTY**, subject, however, to certain conditions; and

**WHEREAS**, because of the unusual nature and unique location of the proposed development, it is necessary and appropriate to have the following conditions and restrictions imposed on this development in order to ensure that the rezoning is consistent with the **CITY'S** Comprehensive Plan; and

**WHEREAS**, the City Council of the **CITY** authorized the execution of this Agreement on June 7, 2004, by City Council Order No. 2002-03/04, a true copy of which is attached hereto as Exhibit 2;

**NOW, THEREFORE**, in consideration of the rezoning, **OWNER** covenants and agrees as follows:

1. Effective upon the recording of this Agreement at the Cumberland County Registry of Deeds, but no later than sixty (60) days after the date of Portland City Council approval, the **CITY** hereby amends the Zoning Map of the City of Portland, dated December, 2000 (as amended from time to time and on file in the Department of Planning and Urban Development, and incorporated by reference into the Zoning Ordinance by § 14-49 of the Code) by adopting the map change amendment shown below. If this Agreement is not recorded by said date, then the conditional rezoning shall be null and void, and the zoning of the **PROPERTY** shall revert to the pre-existing Residential R-6 zone.
2. The **OWNER** will demolish two apartment buildings, one at 217 High Street and the other at 219 to 221 High Street. Prior to the issuance of the demolition permits, the **OWNER** shall provide to the City all information required by the Preservation and Replacement of Housing Units, Portland City Code, Sec. 14-483 to 14-488, shall comply with the requirements of said ordinance, and further ensures that all tenants of said buildings shall be offered replacement housing of a kind and quality similar to that being demolished. In addition, as a condition of this contract, the **OWNER** agrees that it shall maintain the adjacent property at 207 High Street so as to prevent deterioration and maintain code compliance of the building located thereon, for as long as the **OWNER** shall own said property.
3. The **LEASED LOT** is to be developed with a single four-story building consisting of thirty-two (32) efficiency apartments as depicted on the attached Site Plan submitted by Sebago Technics, dated 12-29-03 and revised 2-4-04, attached hereto as Exhibits 1, 2 and 3, and Elevations, submitted by CWS Architects dated 4-2-04 and 3-9-04, attached hereto as Exhibits 4, 5, and 6.
4. Execution of this Agreement binds the **OWNER**, and their successors and assigns, to the terms set forth in this Agreement.

5. Any change in ownership shall be brought to the Planning Board for its review and approval, but this requirement shall not apply to the granting of mortgages by **OWNER**. to the enforcement by the mortgagees of their rights under such mortgages, or to any change of ownership due to the transfer to an entity that is a wholly owned subsidiary or related entity of **OWNER**. Notwithstanding the provision contained herein and in paragraph 2, any change in ownership which includes the granting of a mortgage by the **OWNER** or the transfer of the property to any entity affiliated with the **OWNER**, shall include the obligation for the new owner to maintain 207 High Street so as to prevent deterioration and maintain code compliance of the building located thereon.

6. Permitted Uses. **OWNER** shall be authorized to establish and maintain the following uses on the **PROPERTY**:

a. Eighty six (86) rooming units presently existing within the main YMCA building at 70 Forest Avenue (delineated as YMCA building on the Site Plan), which rooming units share bathroom facilities and a common kitchen; and

b. A new four-story structure, containing thirty-two (32) low-income efficiency apartments<sup>1</sup> to be constructed over the existing High Street parking lot in the vicinity of 231 High Street (delineated as Proposed 32 Unit (SRO) on the Site Plan). There shall be on site laundry facilities in the basement, an office and vestibule on the first floor and common meeting rooms on the three upper floors, only for use of residents, guests and staff.

c. The following additional uses shall be permitted in the main building of the YMCA: Fitness facilities (including swimming, racquet sports, gym sports, yoga, dance, running, biking, etc);

Day care and after school programming for school-age children;

Teen center, focused on fitness, counseling and educational programs;

Day camps for school age children, to be held during the school year and vacations;

Elder programs;

Office and staff facilities;

Teaching and educational programs;

Therapeutic services;

Other membership and community services traditionally provided by the YMCA.

d. A minimum of thirty (30) dual use parking spaces (i.e. parking used by occupants of the efficiency apartments, the SRO and members of the YMCA) on site will be provided as delineated in the parking layout plan attached hereto as Exhibit 2.

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<sup>1</sup> For purposes of this Agreement, "efficiency apartment" is defined as a self-contained living unit of not less than two hundred and fifty (250) square feet of living space, with a kitchen (containing at minimum, a kitchen sink, stove with an oven and refrigerator), and a bathroom. Occupancy of an efficiency apartment shall be targeted to one person.

The uses specified herein supersede the otherwise permitted uses contained within the underlying Residential R-6 zone.

7. Upon approval of the Site Plan for the **PROJECT**, the **OWNER** shall implement a Parking Management Plan to be approved by the Planning Board during site plan review and any additional parking management initiatives otherwise required by the Portland Planning Board during site plan review, with the goal of informing members, on an ongoing basis, of the availability of off-street, off-site parking provided by the **OWNER**, including parking at the so-called Gateway Garage, or any other parking lot under the control of the **OWNER** within a four block radius of the site. Such Parking Management Plan shall be subject to twice per year monitoring by the Planning Authority and the Parking Authority, with reports submitted to the District One and District Two City Councilors.
8. The front entrance for the existing YMCA facility at 70 through 88 Forest Avenue will be used primarily for residents of the existing facility and the executive offices. A new entrance will be provided on High Street, which will primarily serve YMCA members and guests. The addition to the existing facility, as shown on the Site Plan, will create the new entrance, with a lobby and waiting area.
9. Performance guarantees will be required for entire buildout of the Site Plan shown on Exhibits 1, 2 and 3. The amount and terms of such performance guarantee shall be determined by the Planning Authority at the time of Site Plan, Conditional Use and Subdivision approval of the project. The parking lot and landscaping, designated on Exhibits 2 and 3 shall be completed prior to the issuance of a Certificate of Occupancy. The cost of the curb extensions for a cross walk (as shown on the Site Plan) shall be included in a separate escrow account in favor of the City. If High Street is converted to a two-way street, prior to the installation of said curb extension, then the curb extensions shall not be required by the City, and the escrow money shall be returned to the **OWNER**.
10. **OWNER** shall be responsible for ongoing maintenance of the **PROPERTY**, including snow removal, salting, sanding, sweeping, lighting, trash pickup, maintenance, mowing, etc.
11. The **PROPERTY** will be developed substantially in accordance with the Site Plans and Elevations shown on Exhibits 1 through 6, submitted by Sebago Technics dated 12-29-03 and revised 4-2-04 and submitted by CWS Architects dated 4-2-04 and 3-9-04. In addition to the space and bulk requirements of paragraph 12 below and the applicable provisions of Article IV (subdivisions) and Article V (site plan) of the Code, the development proposal shall show a unified design of the site, including the architecture, the layout of the buildings, pedestrian and vehicular circulation plan, open space, drainage, and the topography, soil conditions, vegetation, and other natural features of the site.

12. The Planning Board shall review and approve the project according to the Site Plan, Subdivision, and Conditional Use provisions of the Portland Land Use Code.

13. *Space and Bulk Requirements.* The following space and bulk requirements will apply to the efficiency apartment building (shown as leased lot on Exhibit 1):

Minimum lot size:	None.
Minimum area per dwelling (density):	450 sq. feet
Minimum street frontage:	50 feet.
Minimum front yard:	none required.
Minimum rear yard:	Five (5) feet
Minimum side yard:	Five (5) feet
Minimum lot width:	50 feet.
Maximum lot coverage:	100%
Maximum structure height:	55 feet
Open space ratio:	none required
Parking requirements:	minimum 30 parking spaces on site, and at minimum, eleven (11) spaces at an off site lot <sup>2</sup>

14. **OWNER** agrees to maintain, for a period of ninety years, the rent levels and income requirements for the efficiency apartments on the Leased Lot as follows:

100% of units at 60% of Area Median Income.

The foregoing restriction on rent levels and income requirements will be secured by covenants and restrictions and conditions in any deeds conveyed out by **OWNER**.

15. This conditional rezoning shall be enforced pursuant to the land use enforcement provisions of state law (including 30-A MRSA 4452) and City Ordinance. Following any determination of a zoning violation by the Court, the Zoning Administrator, or the Portland Zoning Board of Appeals, the City, after recommendation of the Planning Board, may amend, modify or rescind this rezoning.

16. The above stated restrictions, provisions, and conditions are an essential part of the rezoning, shall run with the **PROPERTY**, shall bind and benefit **OWNER**, any entity affiliated with **OWNER** which takes title to the **PROPERTY**, their successors or assigns, and any party in possession or occupancy of said **PROPERTY** or any part thereof, and shall inure to the benefit of and be enforceable by the **CITY**, by and through its duly authorized representatives. The **OWNER** shall file a counterpart original of this Agreement in the Cumberland County Registry of Deeds.

---

<sup>2</sup> The current off site lot is located on Sherman Street.



If any of the restrictions, provisions, conditions, or portions thereof set forth herein should be for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed as a separate, distinct and independent provision and such determination shall not affect the validity of the remaining portions hereof.

WITNESS:

Eleanor L. Blanchard

Cumberland County YMCA

Cyrus Y. Hagg  
By: Cyrus Y. Hagg  
Its: PRESIDENT

WITNESS:

Eleanor L. Blanchard

CCYSRO LP

Cyrus Y. Hagg  
By: Cyrus Y. Hagg  
Its: PRESIDENT

STATE OF MAINE  
CUMBERLAND, ss.

Personally appeared before me the above-named Cyrus Y. Hagg, in his capacity as President of Cumberland County YMCA, as aforesaid, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said organization, a non-profit entity.

Eleanor L. Blanchard

Notary Public/Attorney at Law  
ELEANOR L. BLANCHARD  
NOTARY PUBLIC, MAINE  
MY COMMISSION EXPIRES JULY 14, 2010

SEAL

STATE OF MAINE  
CUMBERLAND, ss.

Personally appeared before me the above-named Cyrus Y. Hagg, in his capacity as President of CCYSRO LP, as aforesaid, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said organization, a non-profit entity.

Eleanor L. Blanchard  
Notary Public/Attorney at Law

SEAL

**AMENDED  
CONDITIONAL REZONING AGREEMENT**

**CCYSRO, L. P. AND  
THE CUMBERLAND COUNTY YMCA**

**AGREEMENT** made this \_\_\_\_ day of \_\_\_\_\_, 2005 by CCYSRO, L.P., a Maine limited partnership with a place of business in Portland, Maine (hereinafter “**CCYSRO**”) and the Cumberland County **YMCA**, formerly known as the Greater Portland **YMCA** and the Young Men’s Christian Association of Portland, Maine, a nonprofit corporation with a place of business in Portland, Maine, (hereinafter “**YMCA**”) and each of their successors and assigns

**WITNESSETH**

**WHEREAS**, Cumberland County **YMCA** owns a parcel of land located at 70 through 88 Forest Avenue and 209 through 233 High Street in Portland, consisting of parcels shown on City of Portland Tax Map 36, Block G, Lots 20 through 25 (collectively the “**PROPERTY**”); and

**WHEREAS**, the parcel comprising the northerly section of the Subdivision Recording Plat, submitted by Owen Haskell, Inc. dated February 2, 2005 (see Exhibit 1), denoted as “leased parcel” shall be leased by “**CCYSRO, L.P.**” (hereinafter “**Leased Lot**”); and

<b>Deleted:</b> Preliminary Subdivision Plan
<b>Deleted:</b> Sebago Technics
<b>Deleted:</b> 12-29-03
<b>Deleted:</b> and revised _____

**WHEREAS**, the entire parcel shown on the Site Plan and comprising (CBL Map 36, lots 20 through 25) is owned by Cumberland County **YMCA** (Lot II); and

**WHEREAS**, the **YMCA** will demolish two existing apartment buildings, one at 217 High Street and the other at 219 to 221 High Street, which buildings, as of 9/14/04, were recorded by the City as containing a total of seven (7) dwelling units and nine (9) rooming units, which buildings housed eleven occupants; and

**WHEREAS**, the **YMCA** and **CCYSRO** have requested a conditional rezoning of the Property in order to permit the development of thirty-two (32) low-income efficiency apartment units located on the Leased Lot and to be owned by **CCYSRO** (the “**PROJECT**”); and

**WHEREAS**, the number of new housing units exceeds the number of housing units being demolished and, thus, the proposal complies with Portland’s Ordinance, Division 29. Preservation and Replacement of Housing Units, Portland City Code, Sec. 14-483 to 14-488; and

**WHEREAS**, the **YMCA** intends to maintain the current uses in the existing **YMCA** facility at 70 through 88 Forest Avenue, which include a day care facility, membership services (i.e. athletic facilities, educational opportunities, etc.), administrative offices, eighty-six (86) single room occupancy units, and also provides space for a variety of recreational, community and social services; and

**WHEREAS**, the **YMCA** will change the primary entrance for Cumberland County **YMCA** members from Forest Avenue to High Street, by adding a new entrance, lobby and waiting area on the High Street side of the building; and

**WHEREAS**, the parking lot along High Street will have a minimum of thirty (30) spaces and will be rebuilt by the **YMCA** with a maximum of two curb cuts and landscaping; and

**WHEREAS**, the Portland Planning Board has determined that the rezoning and proposed development would provide needed housing in the City for low income individuals, is consistent with the housing component of the Comprehensive Plan and would not have an adverse impact on the surrounding residential community; and

**WHEREAS**, the Planning Board of the City of Portland, pursuant to 30-A M.R.S.A. § 4352(8) and Portland City Code (the "Code") §§ 14-60 to 14-62 and 14-264, and after notice and hearing and due deliberation thereon, recommended the rezoning of the **PROPERTY**, subject, however, to certain conditions; and

**WHEREAS**, because of the unusual nature and unique location of the proposed development, it is necessary and appropriate to have the following conditions and restrictions imposed on this development in order to ensure that the rezoning is consistent with the **CITY'S** Comprehensive Plan; and

**WHEREAS**, the City Council of the City of Portland (hereinafter "**CITY**") authorized the execution of this Agreement on June 7, 2004, by City Council Order No. 222-03/04, a true copy of which is attached hereto as Exhibit 2; and

**WHEREAS**, the **YMCA** and **CCYSRO** have requested that certain revisions to the Agreement be made to clarify the responsibilities of the **YMCA** and **CCYSRO**;

**NOW, THEREFORE**, in consideration of the rezoning, **YMCA** and **CCYSRO**, respectively, as set forth more specifically below, covenant and agree as follows:

1. The **YMCA** and **CCYSRO** request, and the Portland City Council approves, the following changes to the Conditional Rezoning Agreement previously approved by City Council Order 222-03/04 and recorded in the CCCR at Bk. 21883 Pg. 155. This amended agreement shall be recorded at the Cumberland County Registry of Deeds, but no later than sixty (60) days after the date of the Portland City Council approval of the Amendment. If this Agreement is not recorded by said date, then the conditional rezoning shall be null and void, and the zoning of the **PROPERTY** shall revert to the pre-existing Residential R-6 zone.

2. The **YMCA** will demolish two apartment buildings, one at 217 High Street and the other at 219 to 221 High Street. Prior to the issuance of the demolition permits, the **YMCA** shall provide to the City all information required by the Preservation and Replacement of Housing Units, Portland City Code, Sec. 14-483 to 14-488, shall comply with the requirements of said ordinance, and further ensures that all tenants of said buildings shall be offered replacement housing of a kind and quality similar to that being demolished. In addition, as a condition of this contract, the **YMCA** agrees that it shall maintain the adjacent property at 207 High Street so as to prevent deterioration and maintain code compliance of the building located thereon, for as long as the **YMCA** shall own said property.

3. The **LEASED LOT** is to be developed with a single four-story building consisting of thirty-two (32) efficiency apartments as depicted on the attached Exhibit 1.

**Deleted:** Site Plan submitted by Sebago Technics, dated 12-29-03 and revised \_\_\_\_\_, attached hereto as \_\_\_\_\_

**Deleted:** 3

and Elevations, submitted by CWS Architects dated 4-2-04 and 3-9-04 and revised \_\_\_\_\_, attached hereto as Exhibit 3,

Deleted: 4

4. Execution of this Agreement binds the **YMCA and CCYSRO**, and their successors and assigns, to the terms applicable to each respective entity, as set forth in this Agreement.

5. Any change in ownership shall be brought to the Planning Board for its review and approval, but this requirement shall not apply to the granting of mortgages by **YMCA** or **CCYSRO** to the enforcement by the mortgagees of their rights under such mortgages, or to any change of ownership due to the transfer to an entity that is a wholly owned subsidiary or related entity of **YMCA**. Notwithstanding the provision contained herein and in paragraph 2, any change in ownership which includes the granting of a mortgage by the **YMCA** or the transfer of the property to any entity affiliated with the **YMCA**, shall include the obligation for the new owner to maintain 207 High Street so as to prevent deterioration and maintain code compliance of the building located thereon.

6. Permitted Uses.

I. **YMCA** shall be authorized to establish and maintain the following uses on the **PROPERTY**:

a. Eighty six (86) rooming units presently existing within the main **YMCA** building at 70 Forest Avenue (delineated as **YMCA** building on the Site Plan), which rooming units share bathroom facilities and a common kitchen; and

b. The following additional uses shall be permitted in the main building of the **YMCA**:  
Fitness facilities (including swimming, racquet sports, gym sports, yoga, dance, running, biking, etc);  
Day care and after school programming for school-age children;  
Teen center, focused on fitness, counseling and educational programs;  
Day camps for school age children, to be held during the school year and vacations;  
Elder programs;  
Office and staff facilities;  
Teaching and educational programs;  
Therapeutic services;  
Other membership and community services traditionally provided by the **YMCA**.

c. A minimum of thirty (30) dual use parking spaces (i.e. parking used by occupants of the efficiency apartments, the SRO and members of the **YMCA**) on site will be provided as delineated in the parking layout plan attached hereto as Exhibit 1, provided that the **YMCA** and **CCYSRO** may make reasonable accommodations for tenants as necessary to comply with federal and state laws and regulations.

Deleted: 3

II. **CCYSRO** shall be authorized to establish and maintain the following uses on the Leased Lot: A new four-story structure, containing thirty-two (32) low-income efficiency apartments<sup>1</sup> to be constructed over the existing High Street parking lot in the vicinity of 231 High Street (delineated as Proposed 32 Unit (SRO) on Exhibit 1). There shall be on site laundry facilities in the basement, an office and vestibule on the first floor and common meeting rooms on the three upper floors, only for use of residents, guests and staff.

Deleted: 3

The uses specified herein supersede the otherwise permitted uses contained within the underlying Residential R-6 zone.

7. Upon approval of the Site Plan for the **PROJECT**, the **YMCA** shall implement a Parking Management Plan to be approved by the Planning Board during site plan review and any additional parking management initiatives otherwise required by the Portland Planning Board during site plan review, with the goal of informing members, on an ongoing basis, of the availability of off-street, off-site parking provided by the **YMCA**, including parking at the so-called Gateway Garage, or any other parking lot under the control of the **YMCA** within a four block radius of the site. Such Parking Management Plan shall be subject to twice per year monitoring by the Planning Authority and the Parking Authority, with reports submitted to the District One and District Two City Councilors.

8. The front entrance for the existing **YMCA** facility at 70 through 88 Forest Avenue will be used primarily for residents of the existing facility and the executive offices. A new entrance will be provided on High Street, which will primarily serve **YMCA** members and guests. The addition to the existing facility, as shown on the Site Plan, will create the new entrance, with a lobby and waiting area.

9. Performance guarantees will be required for entire buildout of the Site Plan shown on Exhibit 3. The amount and terms of such performance guarantee shall be determined by the Planning Authority at the time of Site Plan, Conditional Use and Subdivision approval of the project. The parking lot, landscaping, and front entrance to the **YMCA** designated on Exhibit 1 shall be completed prior to the issuance of a Certificate of Occupancy for the **YMCA**. Such improvements need not be installed prior to the issuance of a Certificate of Occupancy for the Leased Lot. The cost of the curb extensions for a crosswalk (as shown on the Site Plan) shall be included in a separate escrow account in favor of the City. If High Street is converted to a two-way street, prior

Deleted: 3

---

<sup>1</sup> For purposes of this Agreement, “efficiency apartment” is defined as a self-contained living unit of not less than two hundred and fifty (250) square feet of living space, with a kitchen (containing at minimum, a kitchen sink, stove with an oven and refrigerator), and a bathroom. Occupancy of an efficiency apartment shall be targeted to one person.

to the installation of said curb extension, then the curb extensions shall not be required by the City, and the escrow money shall be returned to the YMCA.

10. YMCA shall be responsible for ongoing maintenance of the **PROPERTY**, including snow removal, salting, sanding, sweeping, lighting, trash pickup, maintenance, mowing, etc.

11. The **PROPERTY** will be developed substantially in accordance with the Subdivision Recording Plat and Elevations shown on Exhibits 1 and 3, submitted by Owen Haskell, Inc. dated February 2, 2005 and submitted by CWS Architects dated 4-2-04 and 3-9-04 and revised \_\_\_\_\_. In addition to the space and bulk requirements of paragraph 12 below and the applicable provisions of Article IV (subdivisions) and Article V (site plan) of the Code, the development proposal shall show a unified design of the site, including the architecture, the layout of the buildings, pedestrian and vehicular circulation plan, open space, drainage, and the topography, soil conditions, vegetation, and other natural features of the site.

- Deleted: Site
- Deleted: Plans
- Deleted: 3
- Deleted: 4
- Deleted: Sebago Technics
- Deleted: 12-29-03 and revised \_\_\_\_\_

12. The Planning Board shall review and approve the project according to the Site Plan, Subdivision, and Conditional Use provisions of the Portland Land Use Code.

13. *Space and Bulk Requirements.* The following space and bulk requirements will apply to the efficiency apartment building (shown as Leased Lot on Exhibit 1):

Minimum lot size:	None.
Minimum area per dwelling (density):	450 sq. feet
Minimum street frontage:	50 feet.
Minimum front yard:	none required.
Minimum rear yard:	Five (5) feet
Minimum side yard:	Five (5) feet
Minimum lot width:	50 feet.
Maximum lot coverage:	100%
Maximum structure height:	55 feet
Open space ratio:	none required
Parking requirements:	minimum 30 parking spaces on site, and at minimum, eleven (11) spaces at an off site lot <sup>2</sup> to be used by the YMCA and CCYSRO

14. **CCYSRO** agrees to maintain, for a period of ninety years, the rent levels and income requirements for the efficiency apartments on the Leased Lot as follows:

100% of units at 60% of Area Median Income.

The foregoing restriction on rent levels and income requirements will be secured by covenants and restrictions and conditions in any deeds conveyed out by YMCA.

15. This conditional rezoning agreement shall be enforced pursuant to the land use enforcement provisions of state law (including 30-A MRSA 4452) and City Ordinance. No alleged violation of this rezoning Agreement may be prosecuted, however, until the CITY has delivered written notice of the alleged violation(s) to the YMCA and CCYSRO and given the YMCA and CCYSRO an opportunity to cure the violation(s) within thirty (30) days of receipt of the notice. Following any determination of a zoning violation by the Court, and in addition to any penalties authorized by law and imposed by the Court, either the Portland Planning Board on its own initiative, or at the request of the Planning Authority, may make a recommendation to the City Council that the Conditional Rezoning be modified or the **PROPERTY** rezoned.

Notwithstanding anything to the contrary herein, in the event that either the YMCA or CCYSRO defaults on their respective obligations hereunder and fails to remedy said default within a reasonable period of time after written notice from the CITY, this Amended Conditional Rezoning Agreement shall remain in full force and effect with respect to the property occupied by the non-defaulting party. The YMCA and CCYSRO shall have no obligations to perform any of the duties or obligations of the other under this agreement, including any obligation to advance funds to satisfy the others obligations. Each party shall have the right (but not the obligation) to cure any default or violation of the defaulting party under this Agreement. The CITY shall have no right to withhold approvals relating to the Leased Lot (including without limitation, building permits and certificates of occupancy) as a result of any default by the YMCA.

16. The above stated restrictions, provisions, and conditions are an essential part of the rezoning, shall run with the **PROPERTY**, shall bind and benefit YMCA and CCYSRO, respectively, as more fully set forth above, any entity affiliated with YMCA and CCYSRO which takes title to the **PROPERTY**, their successors or assigns, and any party in possession or occupancy of said **PROPERTY** or any part thereof, and shall inure to the benefit of and be enforceable by the CITY, by and through its duly authorized representatives. The YMCA and CCYSRO shall file a counterpart original of this Agreement in the Cumberland County Registry of Deeds.

If any of the restrictions, provisions, conditions, or portions thereof set forth herein should be for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed as a separate, distinct and independent provision and such determination shall not affect the validity of the remaining portions hereof.

WITNESS:

Cumberland County YMCA

\_\_\_\_\_

\_\_\_\_\_

By:

Its:

Exhibit 1: Subdivision Recording Plat, submitted by Owen Haskell, Inc. dated February 2, 2005

Exhibit 2: Council Order June 4, 2004

Exhibit 3: Elevations, submitted by CWS Architects dated 4-2-04 and 3-9-04 and revised

**Deleted:** Plan

**Deleted:** Sebago Technics

**Deleted:** \_\_\_\_\_ and revised

**Deleted:** Site Plan submitted by Sebago Technics, dated 12-29-03 and revised \_\_\_\_\_

Exhibit 4:

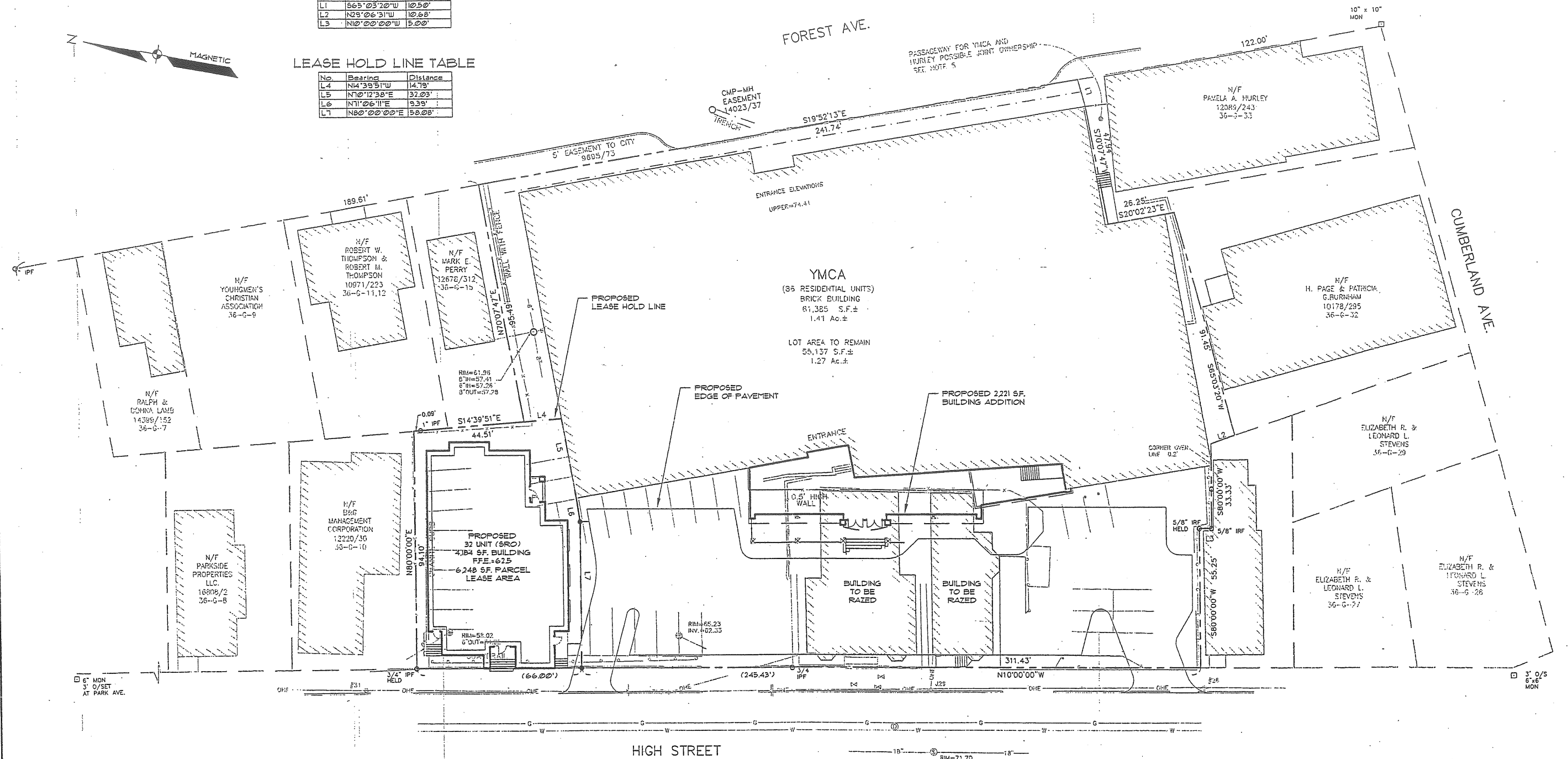


**LINE TABLE**

No.	Bearing	Distance
L1	S65°03'20"W	10.50'
L2	N29°06'31"W	10.68'
L3	N10°00'00"W	5.00'

**LEASE HOLD LINE TABLE**

No.	Bearing	Distance
L4	N4°39'51"W	14.79'
L5	N70°12'38"E	32.03'
L6	N71°06'11"E	9.39'
L7	N80°00'00"E	58.00'



**NOTES:**

- OWNERS OF RECORDS AND TAX LOTS:  

PARCEL ID	OWNER - BOOK/PAGE
36-6-20	YMCA - 111/142; 153/136; 121/215; 281/101; 2848/29; 2844/324; 2131/458; 2511/398; 2353/261 AND 265
36-G-22	YMCA - 1506/288
36-G-2425	YMCA - 3007/106
36-G-21	YMCA - 14105/1
- BEARINGS ARE MAGNETIC 1999.
- ELEVATIONS ARE BASED ON CITY DATUM.
- THE TOTAL AREA OF THE PROPERTY IS APPROXIMATELY 1.41 ACRES.
- THIS PROPERTY IS LOCATED IN AN EXISTING R-6 ZONE. THE PROJECT IS CURRENTLY BEING REVIEWED FOR CONTRACT ZONING FOR THE PARCEL(S) SHOWN ON THIS PLAN. THE FOLLOWING ARE THE CURRENT STANDARDS FOR THE R-6 ZONE:  

MIN. LOT SIZE:	4500 SF.
MIN. STREET FRONTAGE:	40 FT.
MIN. FRONT YARD:	10 FT.
MIN. SIDE YARD:	1 TO 3 STORIES = 10 FT.
MIN. REAR YARD:	20 FT. 4 STORIES = 12 FT.
MAX. BUILDING HEIGHT:	45 FT. 5 STORIES = 15 FT.
MIN. LOT WIDTH:	50 FT.
MAX. LOT COVERAGE:	40% W/ 20+ DUELLING UNITS 50% W/ LESS THAN 20 UNITS 20% W/ LESS THAN 20 UNITS 30% W/ 20+ DUELLING UNITS
- PARKING REQUIREMENTS FOR THE PROPOSED RESIDENTIAL USE SHALL

**NOTES (CONT.):**

- UTILITIES SHOWN ARE BASED ONLY ON PLANS AND STRUCTURES FOUND. NO INVESTIGATION INTO SERVICE LINES HAS BEEN MADE. A PORTLAND WATER DISTRICT PLAN SHOWS A SERVICE FOR THE YMCA COMING FROM FOREST AVE.
- SEE DEEDS IN 1212/15 AND 1212/11 WHICH APPEAR TO HAVE CREATED TWO 5 FOOT STRIPS OF LAND, ONE STRIP OWNED BY YMCA IS ADJACENT TO THE HURLEY BUILDING, THE OTHER STRIP OWNED BY HURLEY IS ADJACENT TO THE YMCA BUILDING. HOWEVER THE STATED INTENT OF THE TWO DEEDS IS 'TO MAKE A PASSAGEWAY TO BE USED IN COMMON'.
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATIONS TO OR DEVIATIONS FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LAND-USE, ETC.

**PLAN REFERENCES:**

- SURVEY BY E.C. JORDAN SURVEYORS 1903, 1923, 1925, 1938, AND 1945.
- PLAN FOR R. HIGHT RINES AND YMCA BY PERCY H. RICHARDSON, RECORDED WITH DEED BOOK 1212, PAGE 215.

**CONTACT ZONING NOTE:**

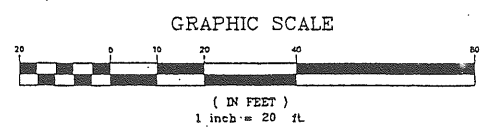
PRIOR TO FINAL REVIEW OF THE SUBDIVISION PLAN BY THE PLANNING BOARD, THE PLAN WILL BE MODIFIED TO REFLECT CONTRACT ZONING PROVISIONS, DIMENSIONAL REQUIREMENTS, NOTE REVISIONS, OR ADDITIONAL

**UTILITIES NOTE:**

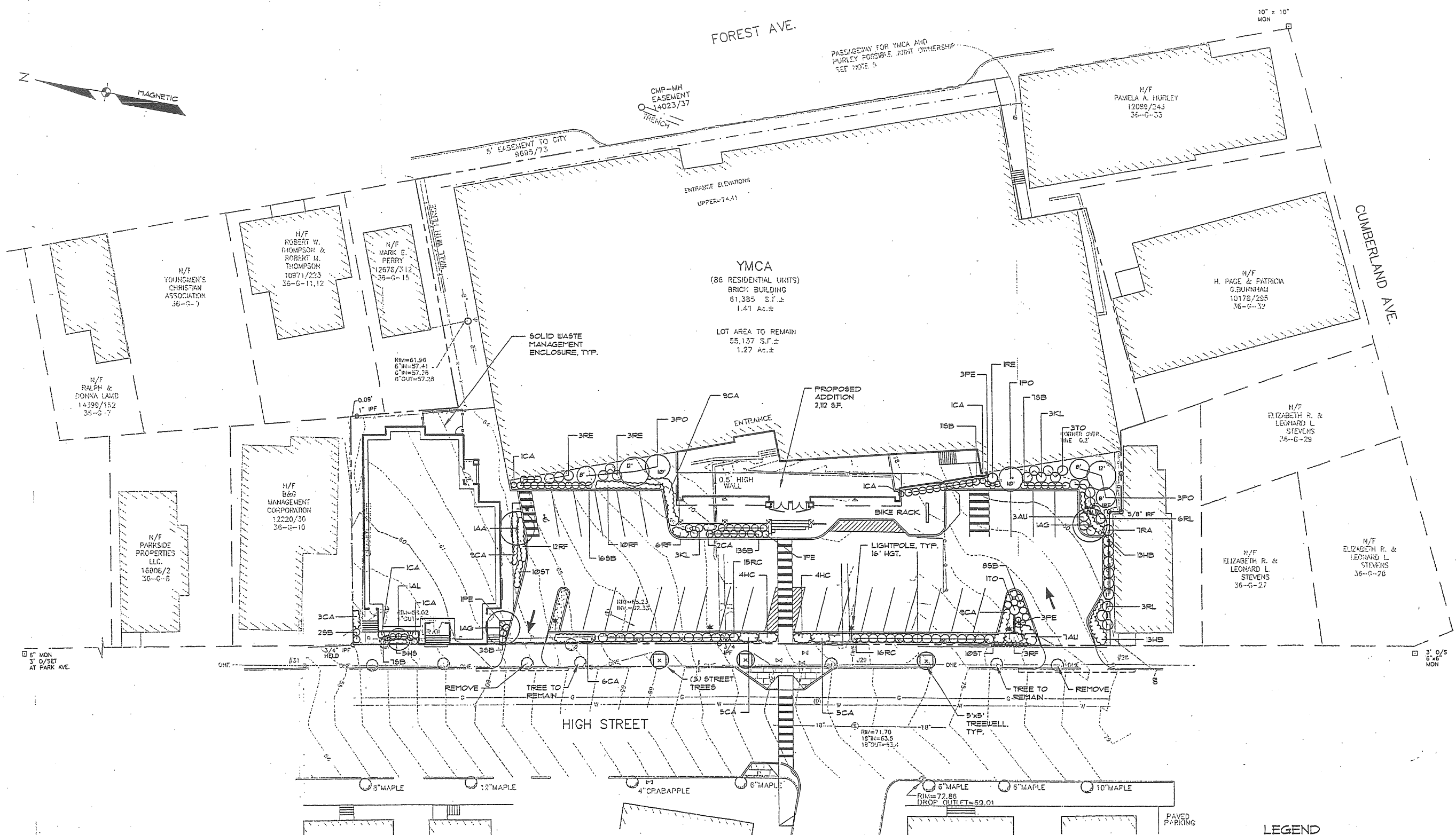
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH

**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
○	MONUMENT	○
—○—	IRON PIPE/ROD	—○—
---	EASEMENT	---
---	BUILDING CURB LINE	---
---	GAS	---
---	WATER	---
---	SEWER	---
---	OVERHEAD ELEC. & TEL.	---
---	GATE VALVE	---
---	UTILITY POLE	---
---	HYDRANT	---
---	CATCH BASIN	---
---	MANHOLE	---
---	BARB WIRE FENCE	---
---	GUARDRAIL	---





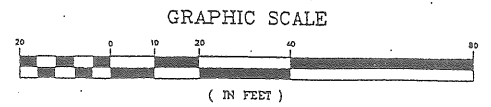


**PLANT LIST**

KEY	BOTANICAL NAME	COMMON NAME	SIZE
AA	ACER X FREEMANII 'ARMSTRONG'	ARMSTRONG RED MAPLE	2 1/2" CAL.
AG	AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	8'-10' HGT. (LIMB UP)
AU	ARCTOSTAPHYLOS UVA-URSII	BEARBERRY	NO. 1 CONT.
CA	CALAMAGROSTIS X ACUTIFOLLA 'KARL FOERSTER'	KARI FOERSTERS FEATER REED GRASS	NO. 1 CONT.
HB	HOSTA TARDIANA 'HADSPEEN BLUE'	HADSPEEN BLUE HOSTA	NO. 1 CONT.
HS	HOSTA 'SUNPOWER'	SUNPOWER HOSTA	NO. 1 CONT.
KL	KALMIA LATIFOLIA	MOUNTAIN LAUREL	24"-30"
RA	RHODODENDRON 'ALGO'	ALGO RHODODENDRON	24"-30"
RC	ROSA 'CAREFREE WONDER'	CAREFREE WONDER ROSE	NO. 2 CONT.
RE	RHODODENDRON 'ENGLISH ROSEUM'	ENGLISH ROSEUM RHODODENDRON	24"-30"
RL	RHODODENDRON 'LAETEVIRENS'	WILSON RHODODENDRON	24"-30"
SB	SPIREA X BUMALDA 'GOLD FLAME'	GOLD FLAME SPIRAEA	15"-18"
TO	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	6'-7' HGT.
PO	PICEA OMORICA	SERBIAN SPRUCE	(SEE PLAN FOR HGT.)
FE	PENNISETUM ALOPECUROIDES 'HAMELN'	DWARF FOUNTAIN GRASS	NO. 1 CONT.
ST	SEDUM TELEPHIUM 'PURPLE EMPEROR'	PURPLE EMPEROR STONE CROP	NO. 1 CONT.

**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
□	MONUMENT	■
—○—	IRON PIPE/ROD	—○—
▨	BUILDING	▨
---	CURBLINE	---
---	CONTOURS	---
---	GAS	---
---	WATER	---
---	SEWER	---
---	OVERHEAD ELEC. + TEL	---
○	GATE VALVE	○
○	UTILITY POLE	○
○	HYDRANT	○
○	CATCH BASIN	○
○	MANHOLE	○
○	BARB WIRE FENCE	○

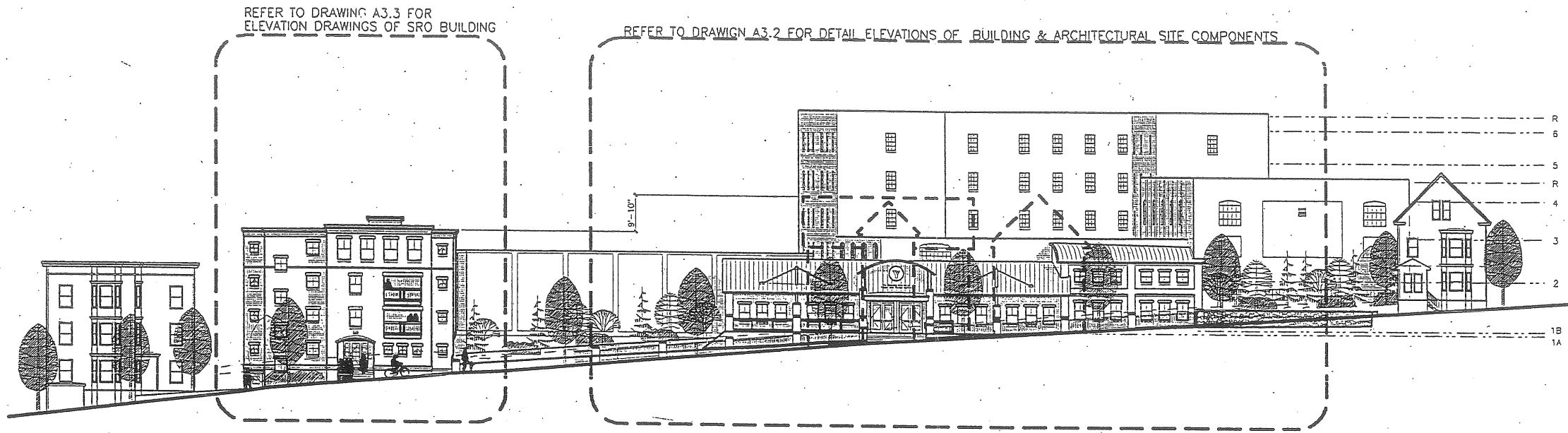


**Sebago Technics**  
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 One Chestnut Street  
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 Tel: (207) 866-1339  
 Tel: (207) 866-0277

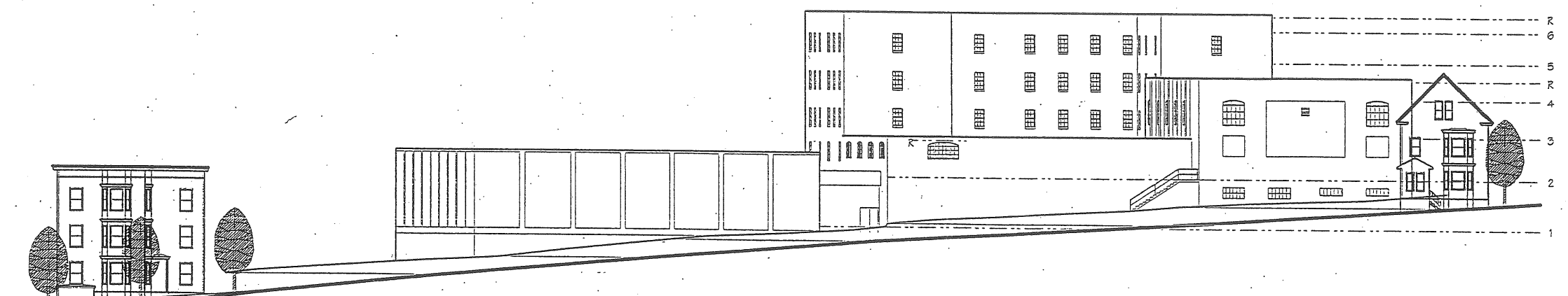
PROJECT NO: 17-0001  
 DATE: 1-27-04  
 BY: JRS  
 REV: A  
 STATUS: SUBMITTED FOR FINAL CONTRACT ZONING  
 SUBMITTED FOR CONTRACT ZONING

**LANDSCAPE PLAN**  
 OF  
**GREATER PORTLAND YMCA MASTER PLAN**  
 HIGH STREET  
 PORTLAND, MAINE  
 FOR:  
**GREATER PORTLAND YMCA** (C/O CUMBERLAND AVENUE)

DATE: \_\_\_\_\_ SCALE: \_\_\_\_\_



**W** PROPOSED WEST SITE MASTER PLAN ELEVATION - FROM HIGH STREET  
SCALE: 1"=20'-0"



**W** EXISTING WEST STREETSCAPE ELEVATION - FROM HIGH STREET  
SCALE: 1/16"=1'-0"

NOTE: THE YMCA HAD INVITED THE PARKSIDE NEIGHBORHOOD ASSOCIATION AND PORTLAND LANDMARKS TO PARTICIPATE IN THE PROCESS OF DEFINING FUNDAMENTAL SITE AND BUILDING DESIGN COMPONENTS, FEATURES AND DETAILING. OUT OF THIS PROCESS, THE CONCEPT DESIGNS REPRESENTED HEREIN WERE PREPARED. THIS PARTICIPATORY DESIGN REVIEW COMMITTEE WILL FURTHER CONVEENE DURING THE PROCESS OF DETAILING THE DESIGNS WITH THE HOPES THAT THE END PRODUCT CONFORMS TO THE WILL OF THE COMMUNITY.



**CWS Architects**  
 Architecture  
 Space Planning  
 Value Design  
 134 Cumberland Avenue  
 Portland, ME 04101  
 Phone: (207) 774-4441  
 Fax: (207) 774-4816  
 www.CWSArch.com

Owner:  
**CLEVELAND COUNTY YMCA**  
 70 Forest Avenue Portland, Maine 04101  
 207 874-1111

Contractor:



**GREATER PORTLAND YMCA**  
**MASTER PLAN**  
 High Street - Portland, Maine

Project No: 00.404 YMP

Drawing Title:  
**PROPOSED SITE ELEVATIONS**

Scale: 1" = 20'-0"  
 Date: April 2, 2004

Revisions:

Drawing Number:

**A3.1**



CWS Architects

Architecture  
Space Planning  
Value Design

634 Cumberland Avenue  
Portland, ME 04101  
Phone: (207) 774-4444  
Fax: (207) 774-4816

www.CWSArch.com

Owner:

GREATER PORTLAND  
YMCA  
c/o Cumberland County YMCA  
70 Forest Avenue, Portland, Maine 04101  
(207) 874-1111

Contractor:



GREATER  
PORTLAND  
YMCA  
MASTER PLAN  
Portland, Maine

Project No: 00.404 YMP

Drawing Title:

EXTERIOR  
ELEVATIONS

Scale: 1/8" = 1'-0"

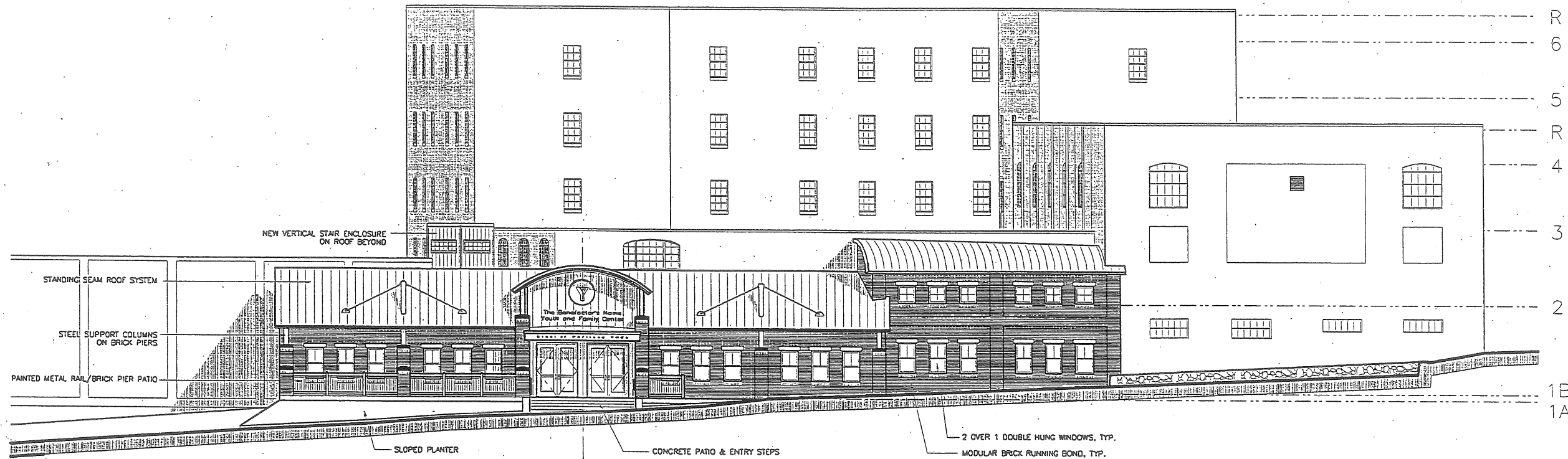
Date: April 2, 2004

Revisions:

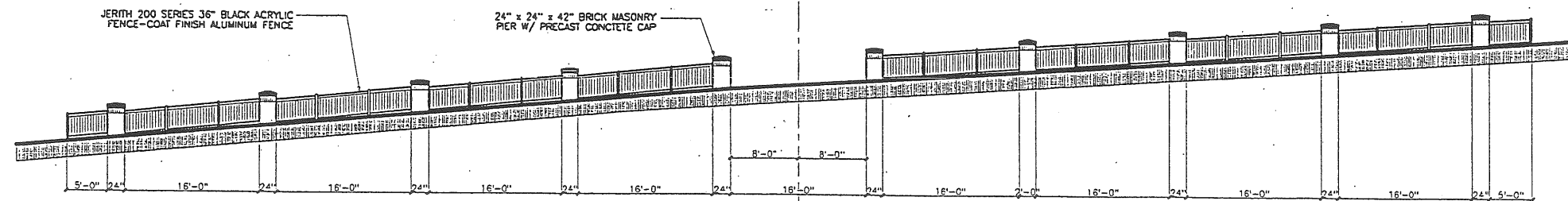
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Drawing Number:

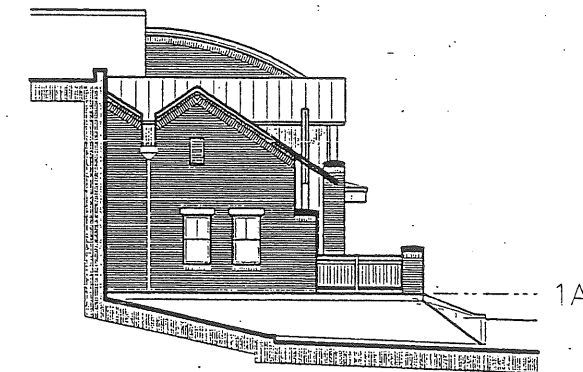
A3.2



**W PROPOSED WEST BUILDING ELEVATION - FROM PARKING AREA**  
SCALE: 1/8"=1'-0"



**W PROPOSED WEST ELEVATION - FENCE AT PROPERTY LINE FROM HIGH STREET**  
SCALE: 1/8"=1'-0"



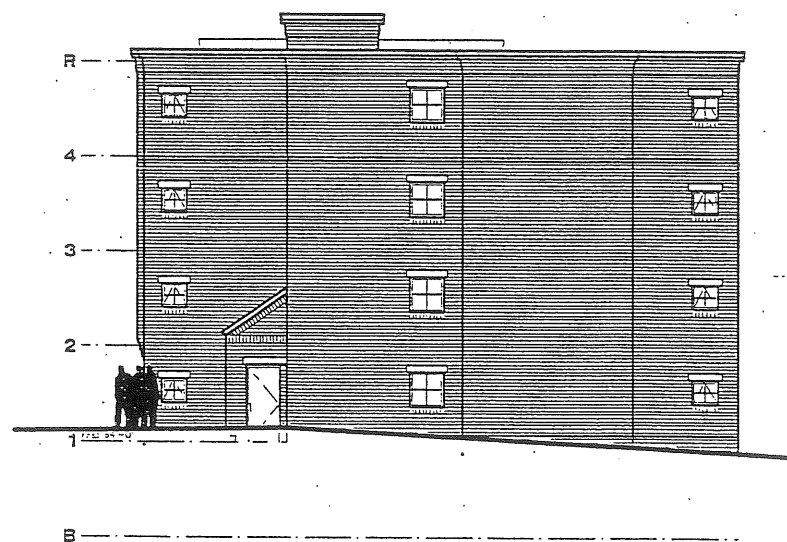
**N PROPOSED NORTH BUILDING ELEVATION**  
SCALE: 1/8"=1'-0"



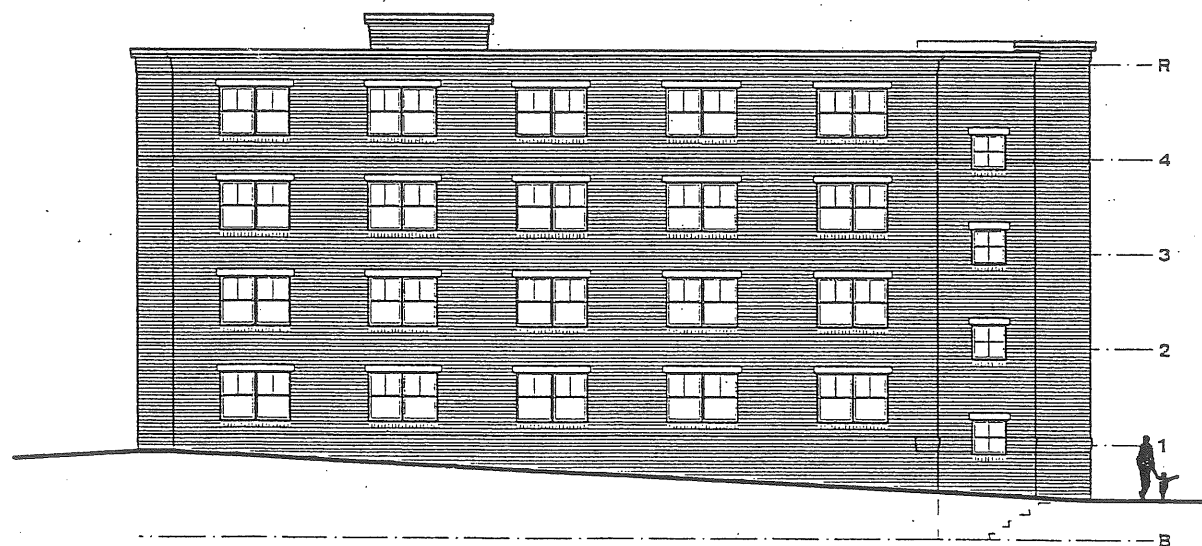
FRONT BUILDING ELEVATION  
FROM HIGH STREET



RIGHT SIDE BUILDING ELEVATION  
FROM YMCA PARKING LOT



REAR BUILDING ELEVATION



LEFT SIDE BUILDING ELEVATION



CWS Architects

- Architecture
- Space Planning
- Value Design

134 Cumberland Avenue  
Portland, ME 04101  
Phone: (207)774-1111  
Fax: (207)774-1816

www.CWSarch.com

Owner:  
**CCYSRO, L.P.**  
c/o Cumberland County YMCA  
70 Forest Avenue, Portland, Maine 04101  
(207) 874-1111

Contractor:



**YMCA**  
Apartments  
at 231  
High Street  
Portland, Maine

Project No: 03.403 YSH

Drawing Title:  
**BUILDING FRONT  
ELEVATION**

Scale: 1/8" = 1'-0"  
Date: March 5, 2004

Revisions:

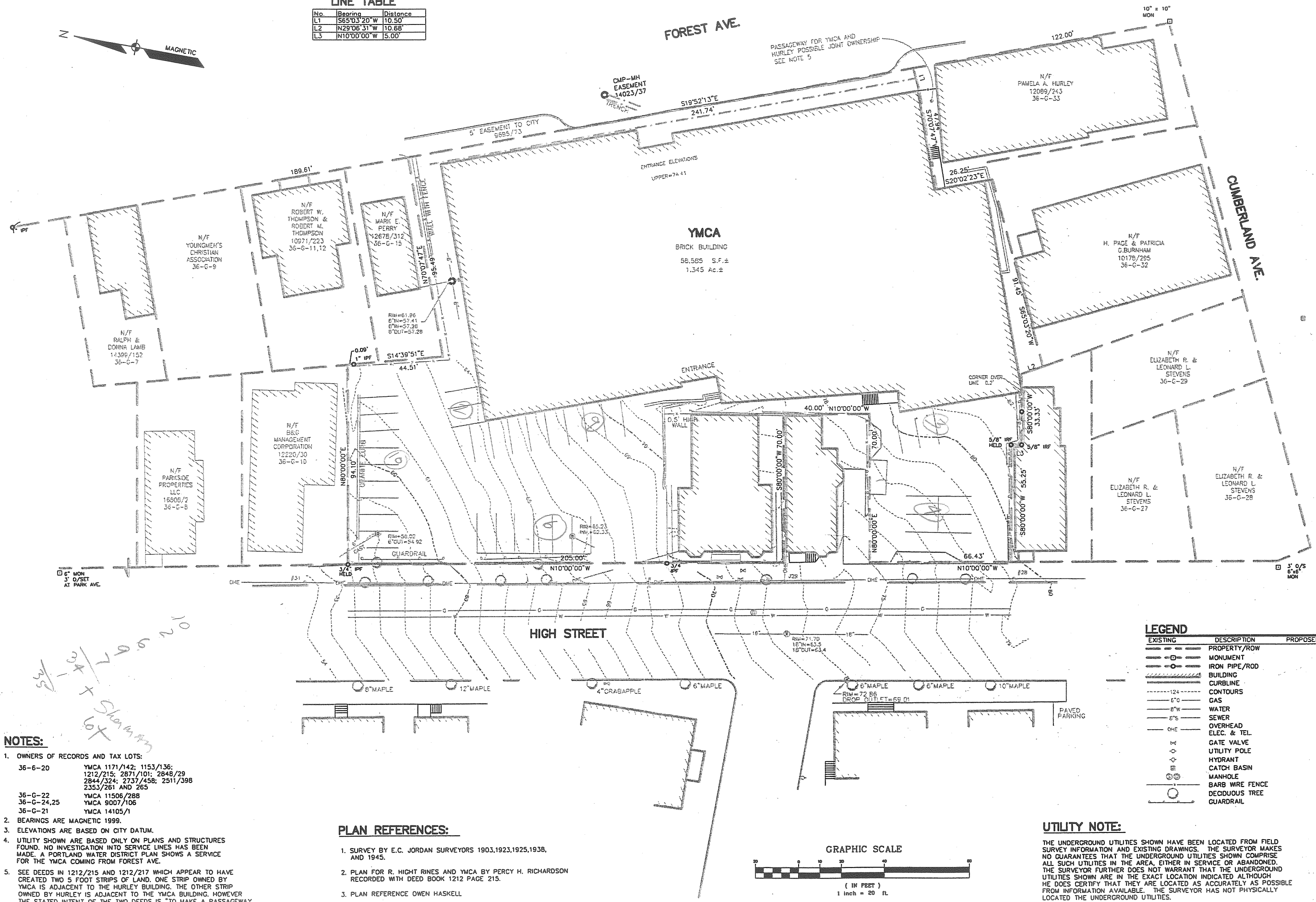
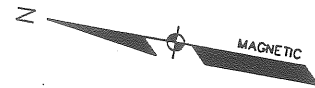
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Drawing Number:

**A3.3**

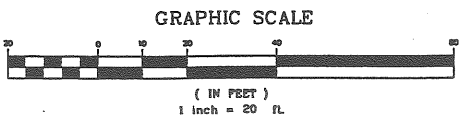
**LINE TABLE**

No.	Bearing	Distance
L1	S65°03'20" W	10.50'
L2	N29°06'31" W	10.68'
L3	N10°00'00" W	5.00'



**PLAN REFERENCES:**

1. SURVEY BY E.C. JORDAN SURVEYORS 1903,1923,1925,1938, AND 1945.
2. PLAN FOR R. HIGHT RINES AND YMCA BY PERCY H. RICHARDSON RECORDED WITH DEED BOOK 1212 PAGE 215.
3. PLAN REFERENCE OWEN HASKELL



**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
—○—	MONUMENT	—○—
—●—	IRON PIPE/ROD	—●—
—■—	BUILDING	—■—
—□—	CURBLINE	—□—
---	CONTOURS	---
---	GAS	---
---	WATER	---
---	SEWER	---
---	OVERHEAD ELEC. & TEL.	---
---	GATE VALVE	---
---	UTILITY POLE	---
---	HYDRANT	---
---	CATCH BASIN	---
---	MANHOLE	---
---	BARB WIRE FENCE	---
---	DECIDUOUS TREE	---
---	GUARDRAIL	---

**UTILITY NOTE:**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

**NOTES:**

1. OWNERS OF RECORDS AND TAX LOTS:  
 36-6-20 YMCA 1171/142; 1153/136; 1212/215; 2871/101; 2848/29; 2844/324; 2737/458; 2511/398; 2353/261 AND 265  
 36-6-22 YMCA 11506/288  
 36-6-24,25 YMCA 9007/106  
 36-6-21 YMCA 14105/1
2. BEARINGS ARE MAGNETIC 1999.
3. ELEVATIONS ARE BASED ON CITY DATUM.
4. UTILITY SHOWN ARE BASED ONLY ON PLANS AND STRUCTURES FOUND. NO INVESTIGATION INTO SERVICE LINES HAS BEEN MADE. A PORTLAND WATER DISTRICT PLAN SHOWS A SERVICE FOR THE YMCA COMING FROM FOREST AVE.
5. SEE DEEDS IN 1212/215 AND 1212/217 WHICH APPEAR TO HAVE CREATED TWO 5 FOOT STRIPS OF LAND. ONE STRIP OWNED BY YMCA IS ADJACENT TO THE HURLEY BUILDING. THE OTHER STRIP OWNED BY HURLEY IS ADJACENT TO THE YMCA BUILDING. HOWEVER THE STATED INTENT OF THE TWO DEEDS IS "TO MAKE A PASSAGEWAY TO BE USED IN COMMON".

**EXISTING CONDITIONS PLAN**  
**GREATER PORTLAND YMCA MASTER PLAN**  
 HIGH STREET, PORTLAND, MAINE  
 FOR: **GREATER PORTLAND YMCA** (C/O CUMBERLAND COUNTY YMCA)  
 70 FOREST AVENUE, PORTLAND, ME 04101

DATE: 12-29-03 SCALE: 1"=20'  
**SHEET 1 OF 3**

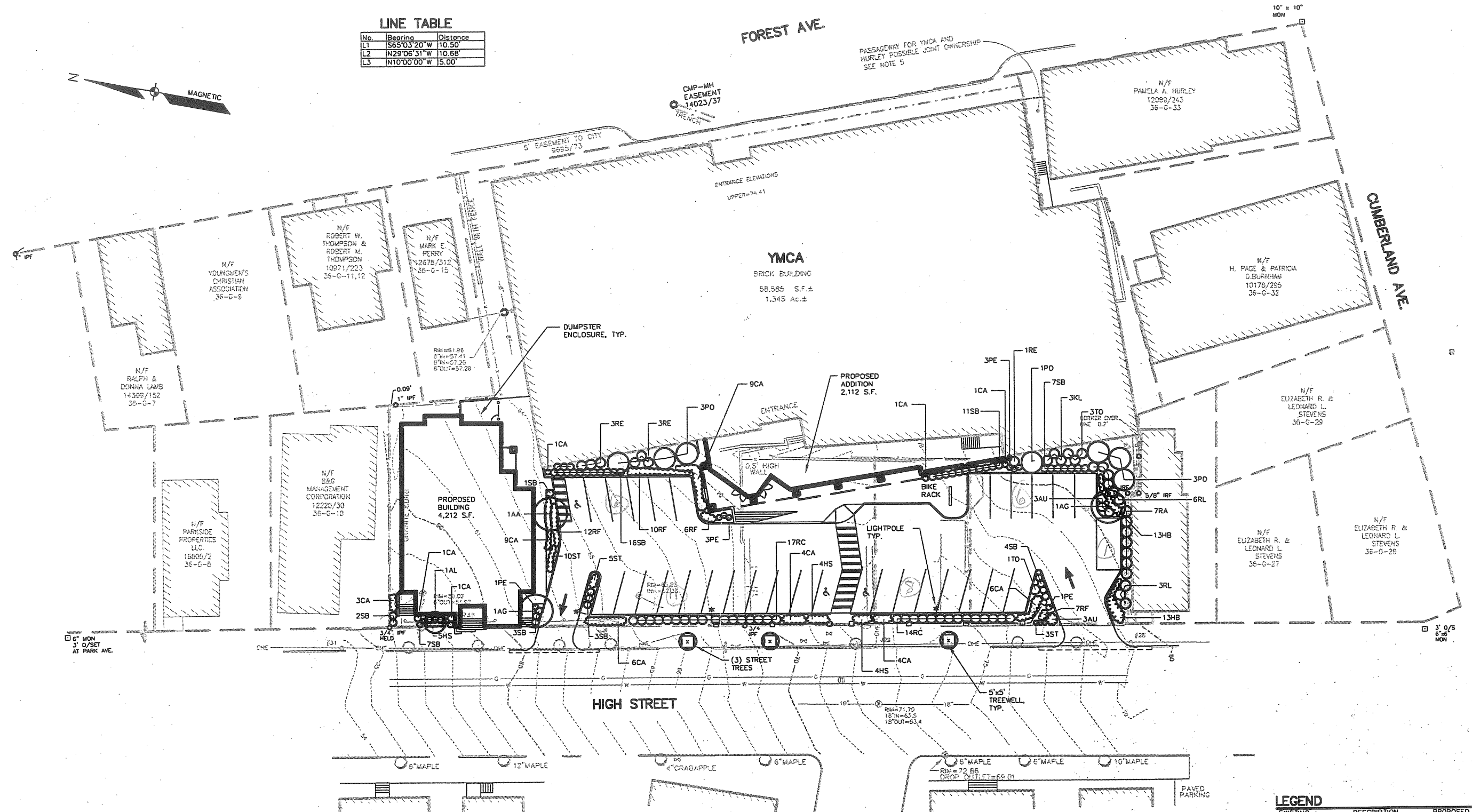
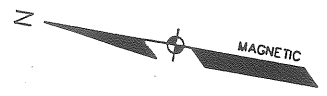
**Sebago Technics**  
 Engineering Expertise You Can Build On  
 One Chestnut Street  
 Westbrook, Me 04095-1339  
 Tel (207) 656-0777

PROJECT NO: FIELD BOOK DESIGN CHKD DRAWN  
 98661 JNB CLB JNB

REV: A JRS 1-27-04 SUBMITTED FOR CONTRACT ZONING  
 BY: DATE: STATUS:  
 THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

**LINE TABLE**

No.	Bearing	Distance
L1	S65°03'20" W	10.50'
L2	N29°06'31" W	10.68'
L3	N10°00'00" W	5.00'

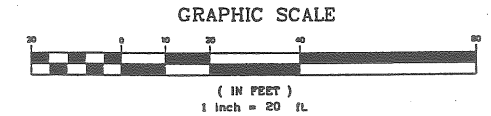


**PLANT LIST**

KEY	BOTANICAL NAME	COMMON NAME	SIZE
AA	ACER X FREEMANII 'ARMSTRONG'	ARMSTRONG RED MAPLE	2" CAL.
AC	AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	8'-10' HGT. (LUMB UP)
AU	ARCTOSTAPHYLOS UVA-URSI	BEARBERRY	NO. 1 CONT.
CA	CALAMAGROSTIS X ACUTIFOLIA 'KARL FOERSTER'	KARI FOERSTERS FEATER REED GRASS	NO. 1 CONT.
HB	HOSTA TARDIANA 'HADSPEN BLUE'	HADSPEN BLUE HOSTA	NO. 1 CONT.
HS	HOSTA 'SUNPOWER'	SUNPOWER HOSTA	NO. 1 CONT.
KL	KALMIA LATIFOLIA	MOUNTAIN LAUREL	24"-30"
RA	RHODODENDRON 'ALGO'	ALGO RHODODENDRON	24"-30"
RC	ROSA 'CAREFREE WONDER'	CAREFREE WONDER ROSE	NO. 2 CONT.
RE	RHODODENDRON 'ENGLISH ROSEUM'	ENGLISH ROSEUM RHODODENDRON	24"-30"
RL	RHODODENDRON LAETEVIRENS	WILSON RHODODENDRON	24"-30"
SB	SPIREA X BUMALDA 'GOLD FLAME'	GOLD FLAME SPIRAEA	15"-18"
TO	THUJA OCCIDENTALIS 'SMARAGO'	EMERALD GREEN ARBORVITAE	6'-7' HGT.
PO	PICEA OMORIKA	SERBIAN SPRUCE	(SEE PLAN FOR HGT.)
PE	PENNISSETUM ALOPECUROIDES 'HAMELI'	DWARF FOUNTAIN GRASS	NO. 1 CONT.
ST	SEDUM TELEPHIUM 'PURPLE EMPEROR'	PURPLE EMPEROR STONE CROP	NO. 1 CONT.
RF	RUDBECKIA FULGIDA 'GOLDSTURM'	GOLDSTURM BLACK-EYED SUSAN	NO. 1 CONT.

**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
⊠	MONUMENT	⊠
—○—	IRON PIPE/ROD	—○—
---	BUILDING	---
---	CURBLINE	---
---	CONTOURS	---
---	GAS	---
---	WATER	---
---	SEWER	---
---	OVERHEAD	---
---	ELEC. & TEL.	---
⊠	GATE VALVE	⊠
⊠	UTILITY POLE	⊠
⊠	HYDRANT	⊠
⊠	CATCH BASIN	⊠
⊠	MANHOLE	⊠
⊠	BARB WIRE FENCE	⊠
⊠	DECIDUOUS TREE	⊠
⊠	GUARDRAIL	⊠
⊠	LIGHT POLE	⊠



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PROJECT NO. 98661  
 FIELD BOOK DESIGN CHKD DRAWN  
 JRS BGY JNB

REV: DATE: STATUS: SUBMITTED FOR CONTRACT ZONING  
 1-27-04

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

**LANDSCAPE PLAN**  
 OF  
**GREATER PORTLAND YMCA MASTER PLAN**  
 HIGH STREET  
 PORTLAND, MAINE

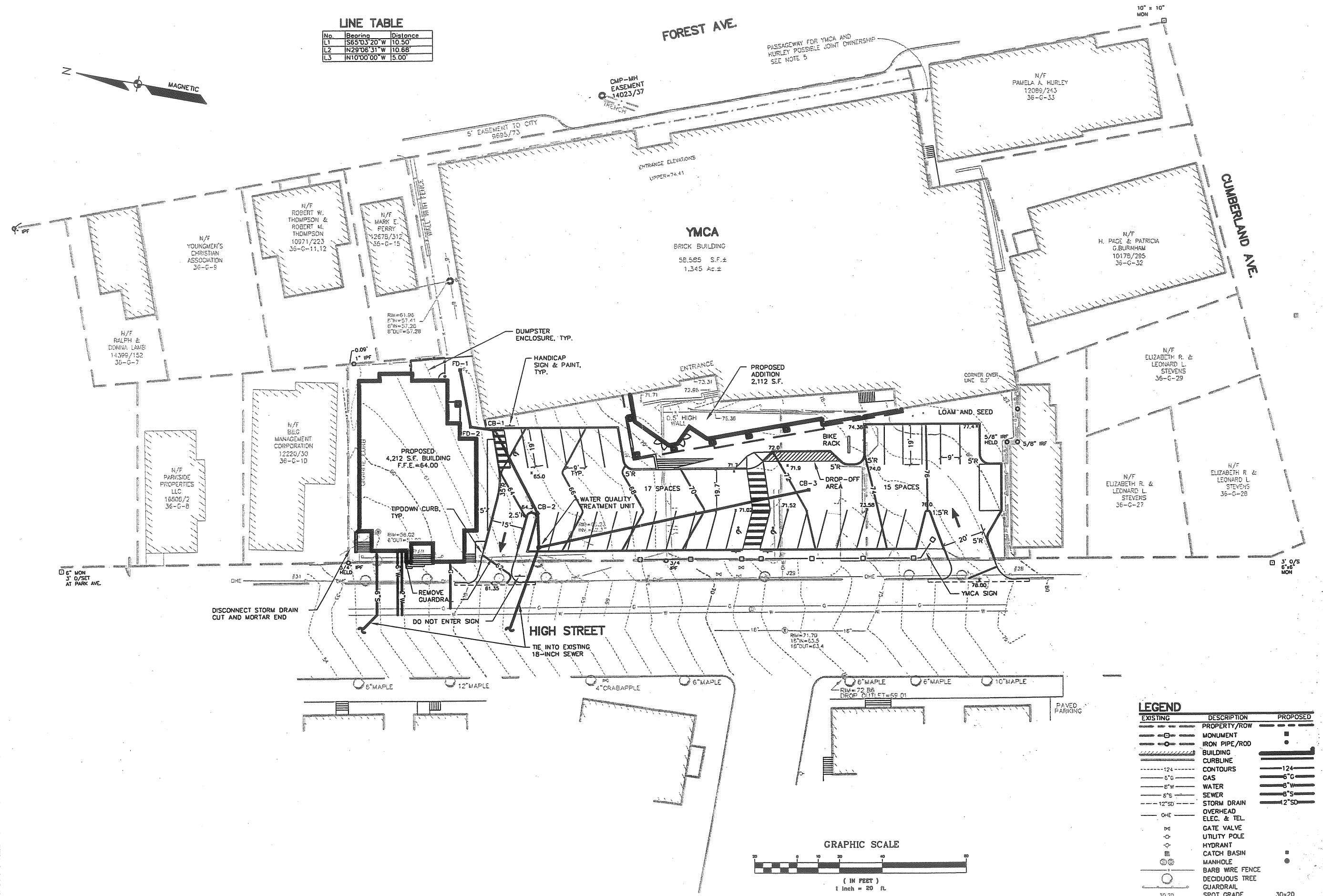
FOR:  
**GREATER PORTLAND YMCA** (C/O CUMBERLAND COUNTY YMCA)  
 70 FOREST AVENUE  
 PORTLAND, ME 04101

DATE: 12-29-03  
 SCALE: 1"=20'



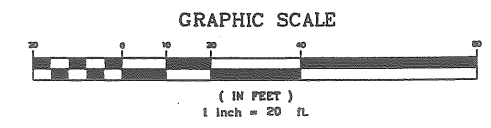
**LINE TABLE**

No.	Bearing	Distance
L1	S65°03'20" W	10.50'
L2	N29°06'31" W	10.68'
L3	N10°00'00" W	15.00'



**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
■	MONUMENT	■
—○—	IRON PIPE/ROD	—○—
▨	BUILDING	▨
---	CURBLINE	---
---	CONTOURS	---
---	GAS	---
---	WATER	---
---	SEWER	---
---	STORM DRAIN	---
—○—	OVERHEAD ELEC. & TEL.	—○—
—○—	GATE VALVE	—○—
—○—	UTILITY POLE	—○—
—○—	HYDRANT	—○—
—○—	CATCH BASIN	—○—
—○—	MANHOLE	—○—
—○—	BARB WIRE FENCE	—○—
—○—	DECIDUOUS TREE	—○—
—○—	GUARDRAIL	—○—
—○—	SPOT GRADE	—○—



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PROJECT NO. FIELD BOOK DESIGN CHKD DRAWN  
 98661 JRS JRS BCY JNB

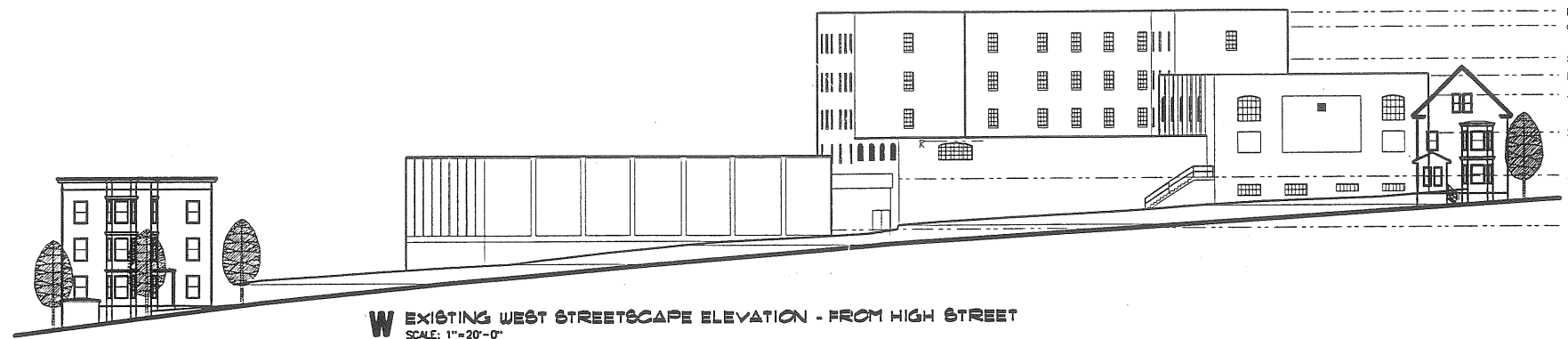
DATE: 1-27-04  
 STATUS: SUBMITTED FOR CONTRACT ZONING

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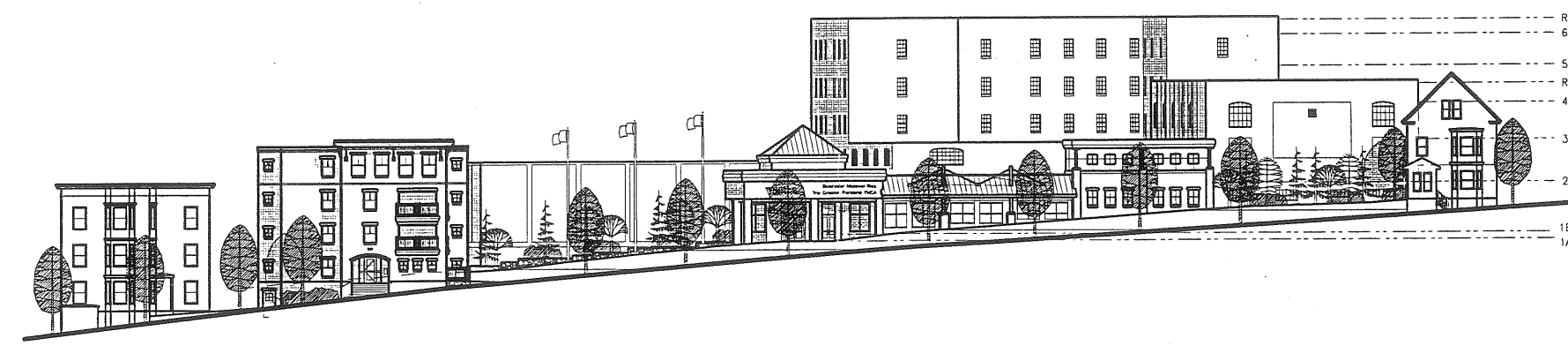
**SITE, GRADING, & UTILITIES PLAN**  
 OF  
**GREATER PORTLAND YMCA MASTER PLAN**  
 HIGH STREET  
 PORTLAND, MAINE

FOR:  
**GREATER PORTLAND YMCA** (C/O CUMBERLAND COUNTY YMCA)  
 70 FOREST AVENUE  
 PORTLAND, ME 04101

DATE: 12-29-03  
 SCALE: 1" = 20'



**W** EXISTING WEST STREETSCAPE ELEVATION - FROM HIGH STREET  
SCALE: 1"=20'-0"



**W** CONCEPT WEST STREETSCAPE ELEVATION - FROM HIGH STREET  
SCALE: 1"=20'-0"


NOTE: THE YMCA HAS INVITED THE PARKSIDE NEIGHBORHOOD ASSOCIATION AND PORTLAND LANDMARKS TO PARTICIPATE IN THE PROCESS OF DEFINING FUNDAMENTAL SITE AND BUILDING DESIGN COMPONENTS, FEATURES AND DETAILING. OUT OF RESPECT FOR THIS PROCESS, THE CONCEPT DESIGNS REPRESENTED HEREIN ARE PRELIMINARY AND INCLUDED SOLELY TO DEMONSTRATE BASIC BUILDING MASSING AND FUNCTIONALITY. THE PARTICIPATORY DESIGN REVIEW COMMITTEE PROCESS WILL LIKELY RESULT IN MODIFICATIONS TO EXTERIOR SITE AND BUILDING DESIGN AND DETAILING THAT INCORPORATE THE OBJECTIVES OF BOTH THE YMCA AND THE COMMUNITY.



**CWS Architects**  
 Architecture  
 Space Planning  
 Value Design  
 134 Cumberland Avenue  
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 Fax: (207) 774-6816  
 www.CWSArch.com

Owner:  
**CUMBERLAND COUNTY YMCA**  
 70 Forest Avenue Portland, Maine 04101  
 207 874-1111

Contractor:

  
**GREATER PORTLAND YMCA**  
**MASTER PLAN**  
 High Street - Portland, Maine

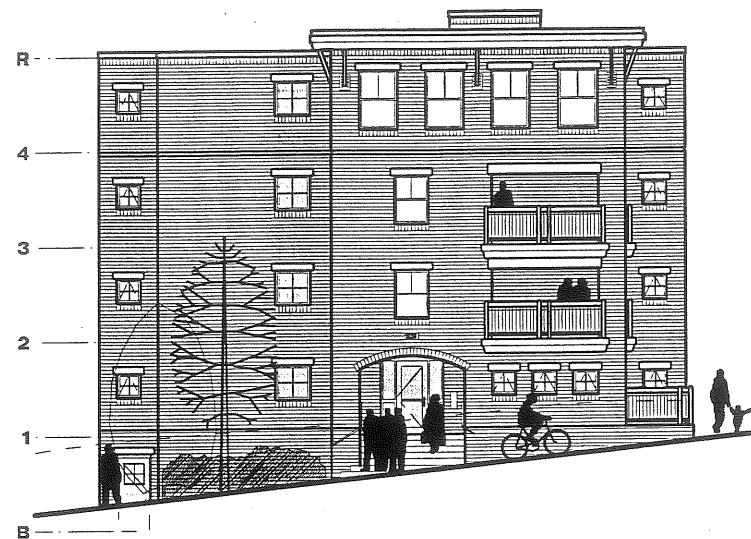
Project No. 01.004 YMP

Drawing Title:  
**PROPOSED SITE ELEVATIONS**

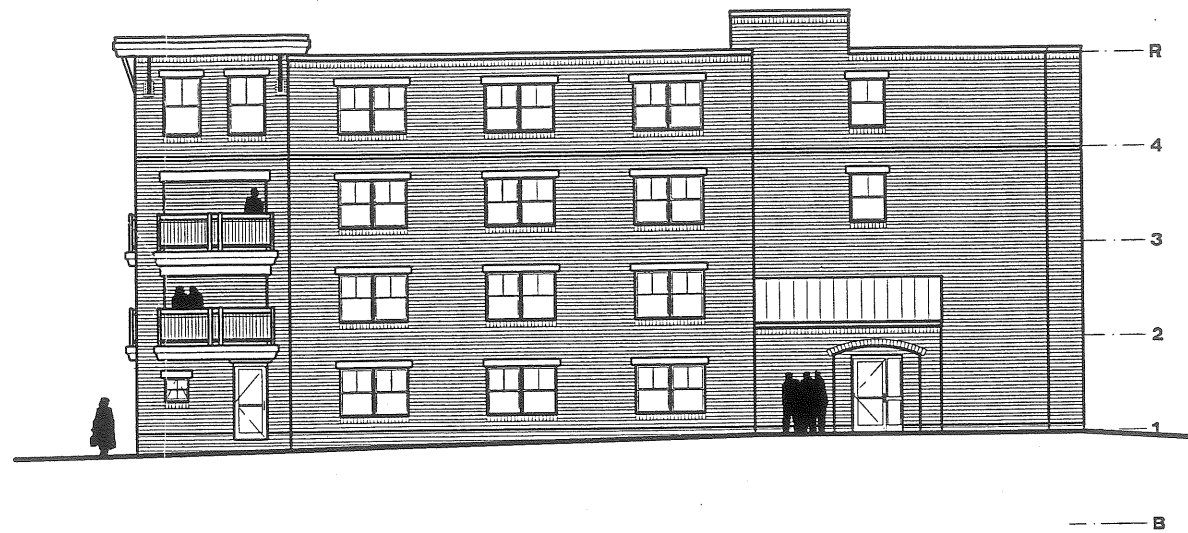
Scale: 1" = 20'-0"  
 Date: January 27, 2004

- Revisions:
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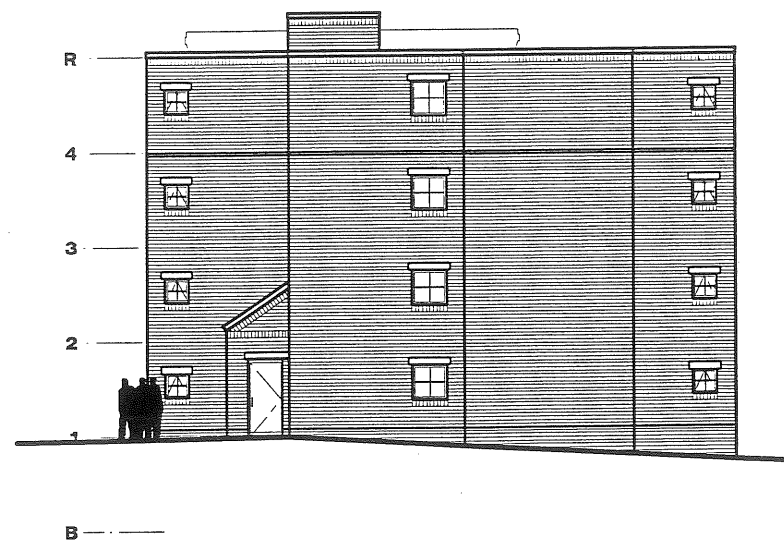
Drawing Number:  
**A3.1**



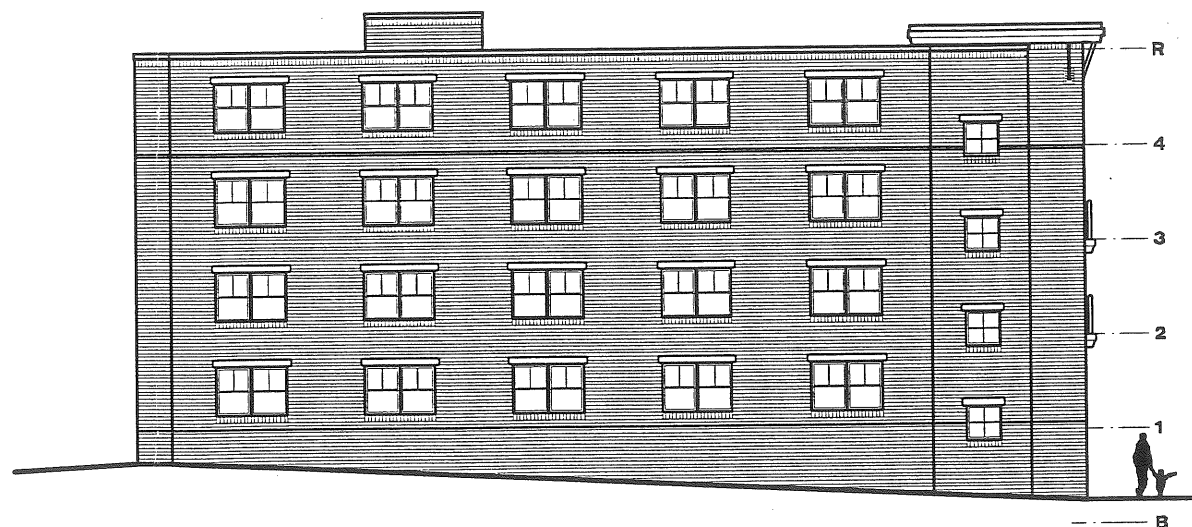
FRONT BUILDING ELEVATION  
FROM HIGH STREET



RIGHT SIDE BUILDING ELEVATION  
FROM YMCA PARKING LOT



REAR BUILDING ELEVATION



LEFT SIDE BUILDING ELEVATION

NOTE: THE YMCA HAS INVITED THE PARKSIDE NEIGHBORHOOD ASSOCIATION AND PORTLAND LANDMARKS TO PARTICIPATE IN THE PROCESS OF DEFINING FUNDAMENTAL SITE AND BUILDING DESIGN COMPONENTS, FEATURES AND DETAILING. OUT OF RESPECT FOR THIS PROCESS, THE CONCEPT DESIGNS REPRESENTED HEREIN ARE PRELIMINARY AND INCLUDED SOLELY TO DEMONSTRATE BASIC BUILDING MASSING AND FUNCTIONALITY. THE PARTICIPATORY DESIGN REVIEW COMMITTEE PROCESS WILL LIKELY RESULT IN MODIFICATIONS TO EXTERIOR SITE AND BUILDING DESIGN AND DETAILING THAT INCORPORATE THE OBJECTIVES OF BOTH THE YMCA AND THE COMMUNITY.

**CWS**

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Space Planning  
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Fax: (207)774-6816

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Owner:  
**CCYSRO, L.P.**  
c/o Cumberland County YMCA  
70 Forest Avenue Portland, Maine 04101  
(207) 874-1111

Contractor:



**YMCA**  
Apartments  
at 231  
High Street  
Portland, Maine

Project No. 03-003 YSH

Drawing Title:  
**BUILDING FRONT  
ELEVATION**

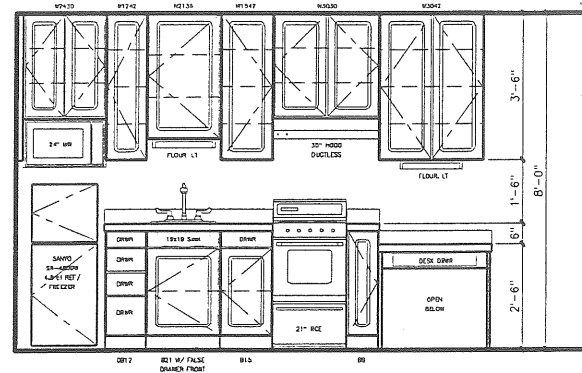
Scale: 1/4" = 1'-0"  
Date: January 27, 2004

Revisions:

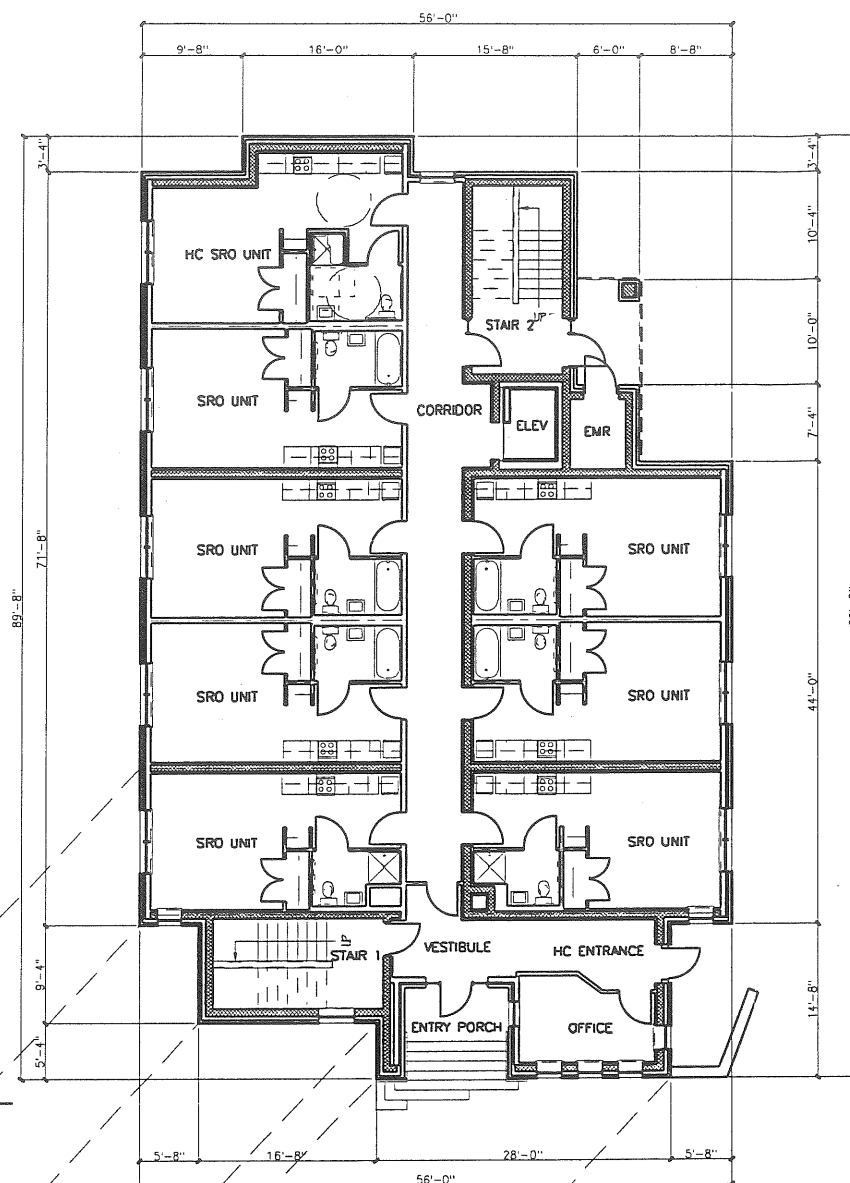
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Drawing Number:

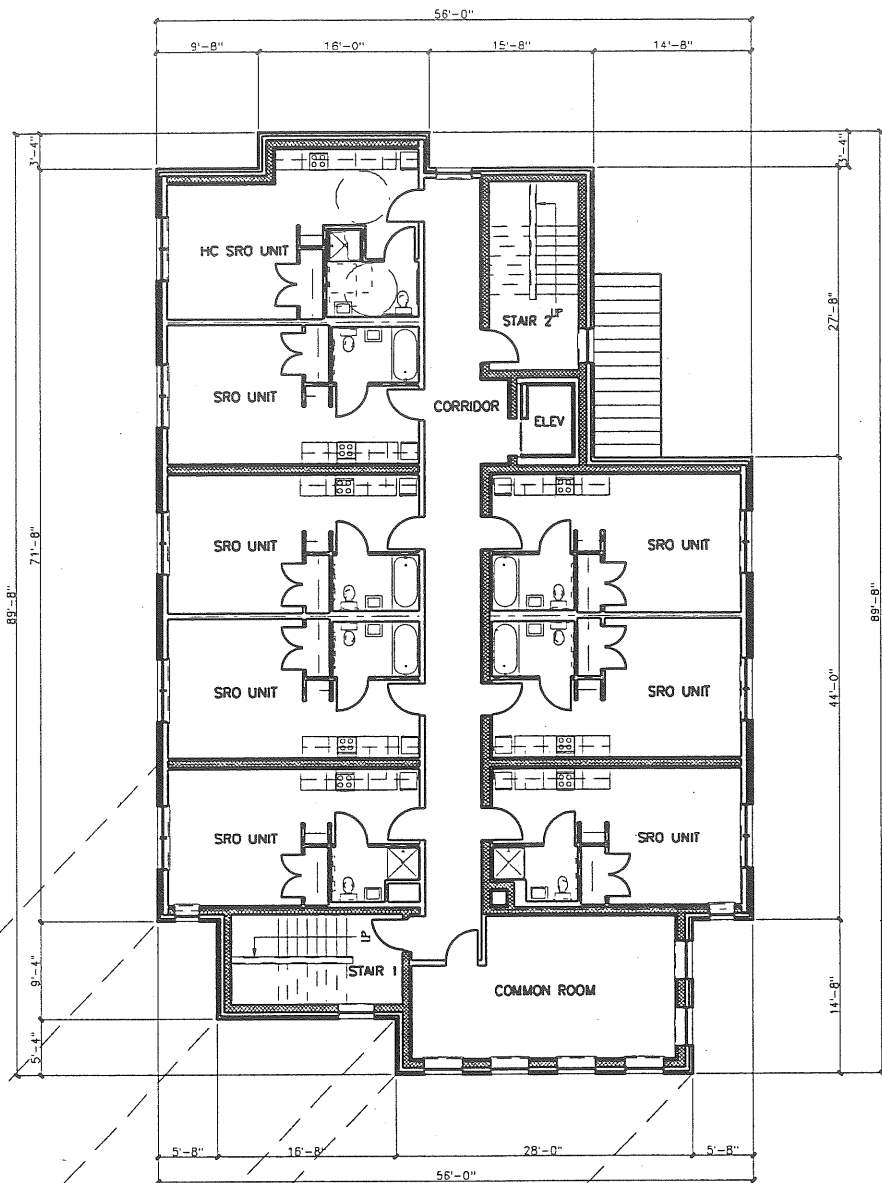
**A3.1**



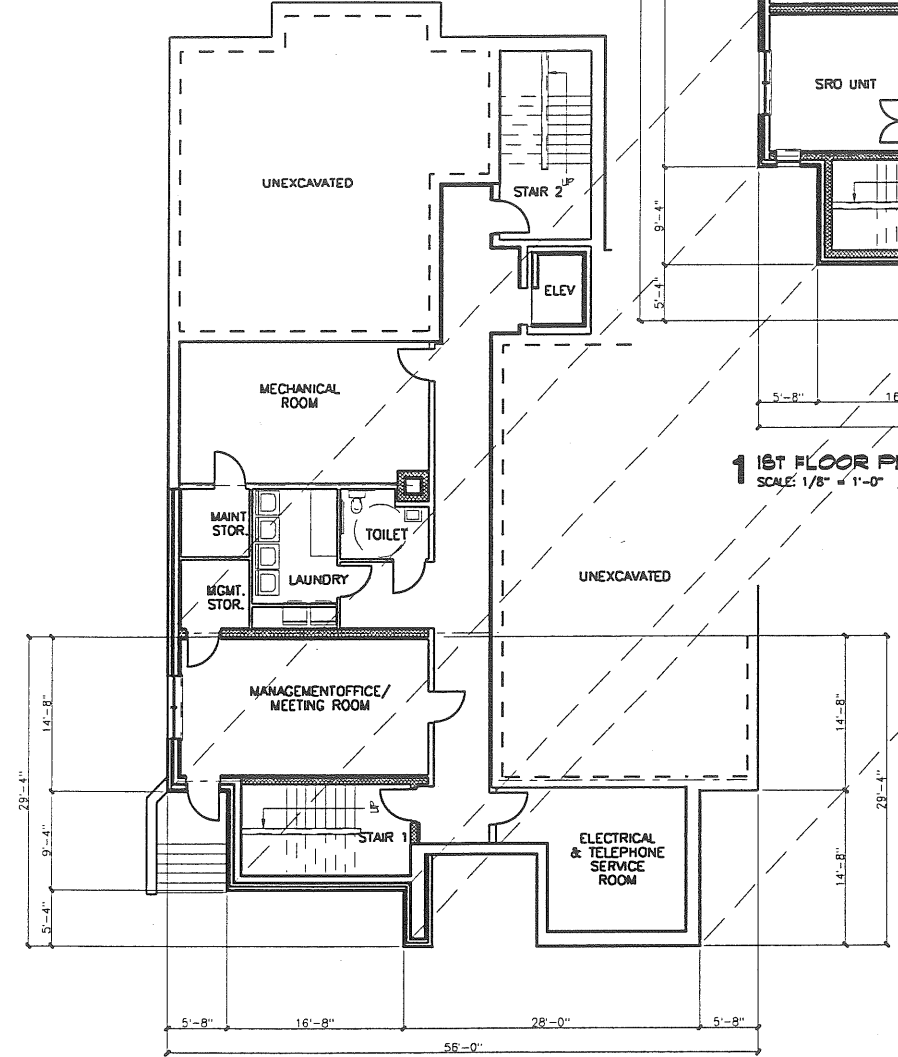
**K TYPICAL UNIT KITCHEN ELEVATION**  
SCALE: 1/2" = 1'-0"



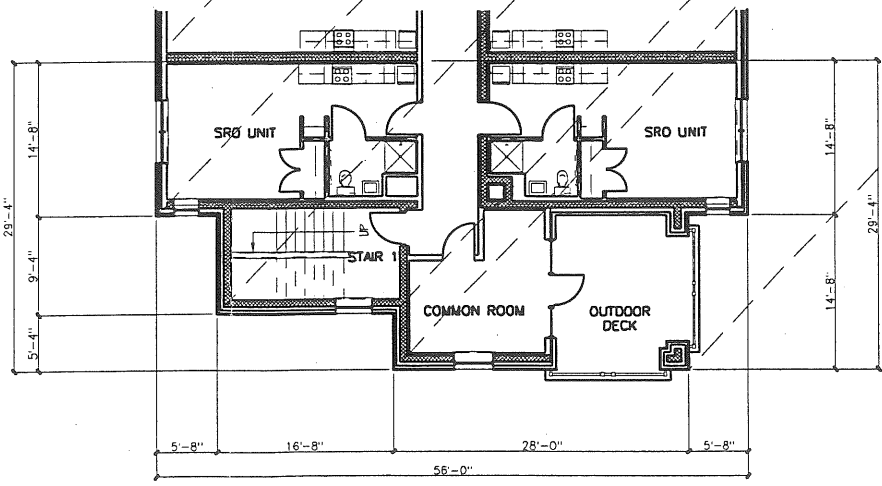
**1 1ST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**4 4TH FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**B BASEMENT FLOOR PLAN (PARTIAL)**  
SCALE: 1/8" = 1'-0"



**2-3 2ND & 3RD PARTIAL FLOOR PLANS (PARTIAL, 4TH FLR. 81M.)**  
SCALE: 1/8" = 1'-0"

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Phone: (207) 774-1111  
Fax: (207) 774-1111  
www.CWSarch.com

Owner:  
**CCYSRO, L.P.**  
c/o Cumberland County YMCA  
70 Forest Avenue - Portland, Maine 04101  
(207) 874-1111

Contractor:

**YMCA**  
Apartments  
at 231  
High Street  
High Street - Portland, Maine

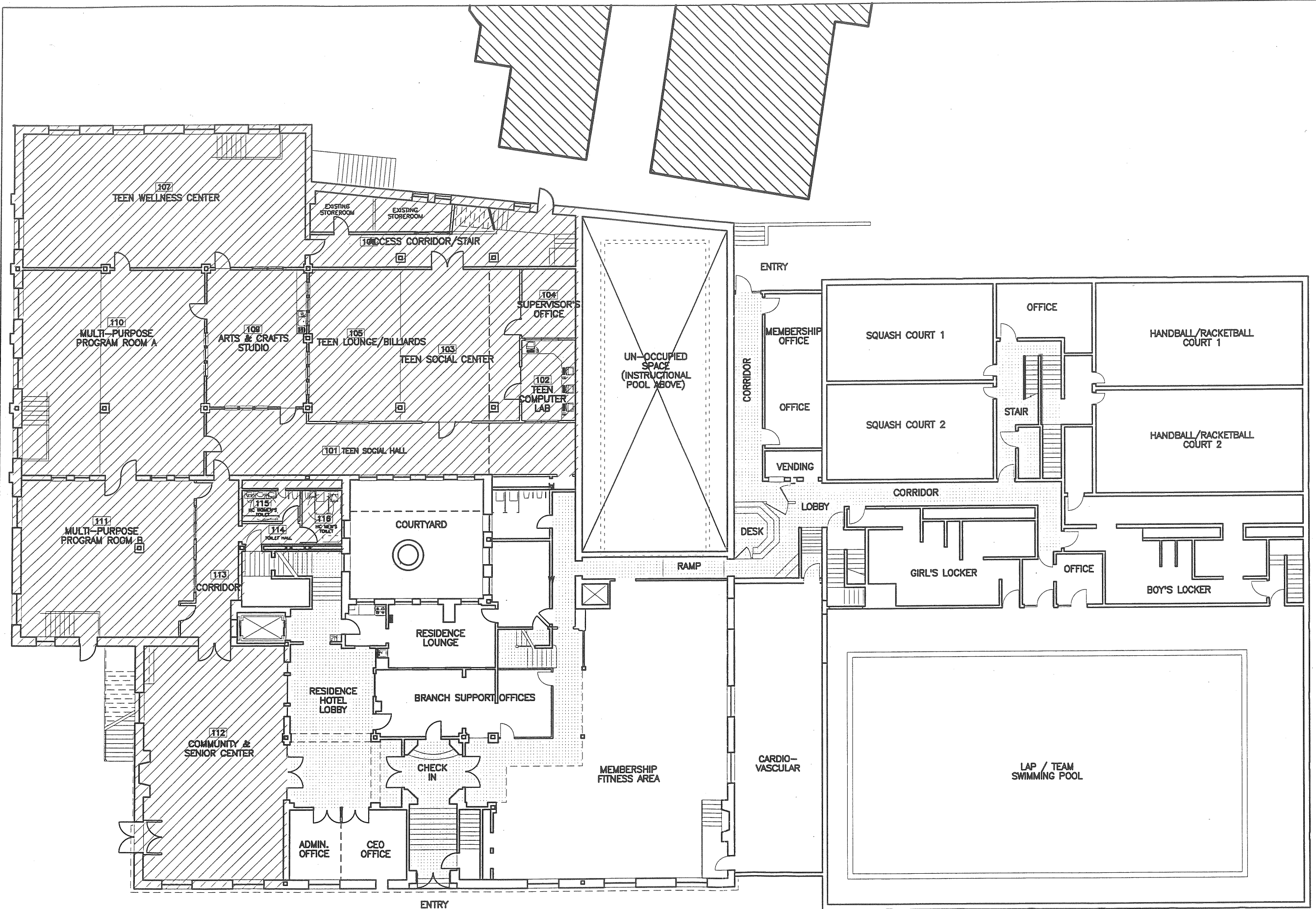
Project No. 03.403 YSH

Drawing Title:  
**BUILDING FLOOR PLANS**

Scale: 1/8" = 1'-0"  
Date: January 27, 2004

Revisions:

Drawing Number:  
**A1.1**



EXISTING FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

**CWS**  
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Space Planning  
Value Design  
134 Cumberland Avenue  
Portland, ME 04101  
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Fax: (207) 774-1816  
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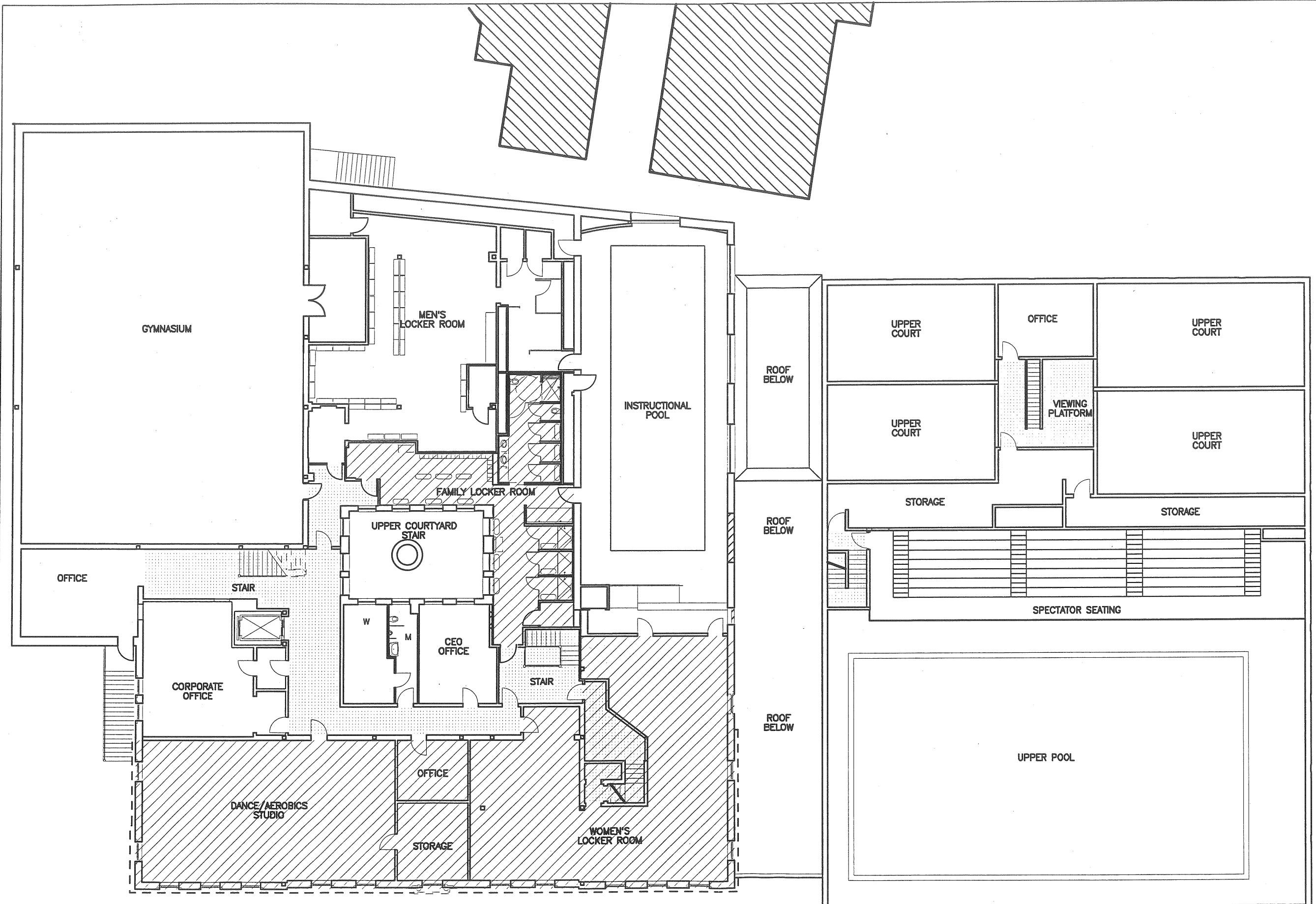
Owner:  
**GREATER PORTLAND YMCA**  
c/o Cumberland County YMCA  
70 Forest Avenue, Portland, Maine 04101  
(207) 874-1111

**GREATER PORTLAND YMCA**  
MASTER PLAN  
Portland, Maine

Project No: 01.004 YMP  
Drawing Title:  
**EXISTING 1ST FLOOR PLAN**  
Scale: 1/8" = 1'-0"  
Date: January 27, 2004

- Revisions:
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  - △

Drawing Number:  
**EX1.1**

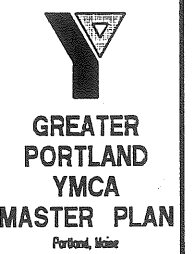


EXISTING SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"



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 Value Design  
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 Portland, ME 04101  
 Phone: (207) 774-4411  
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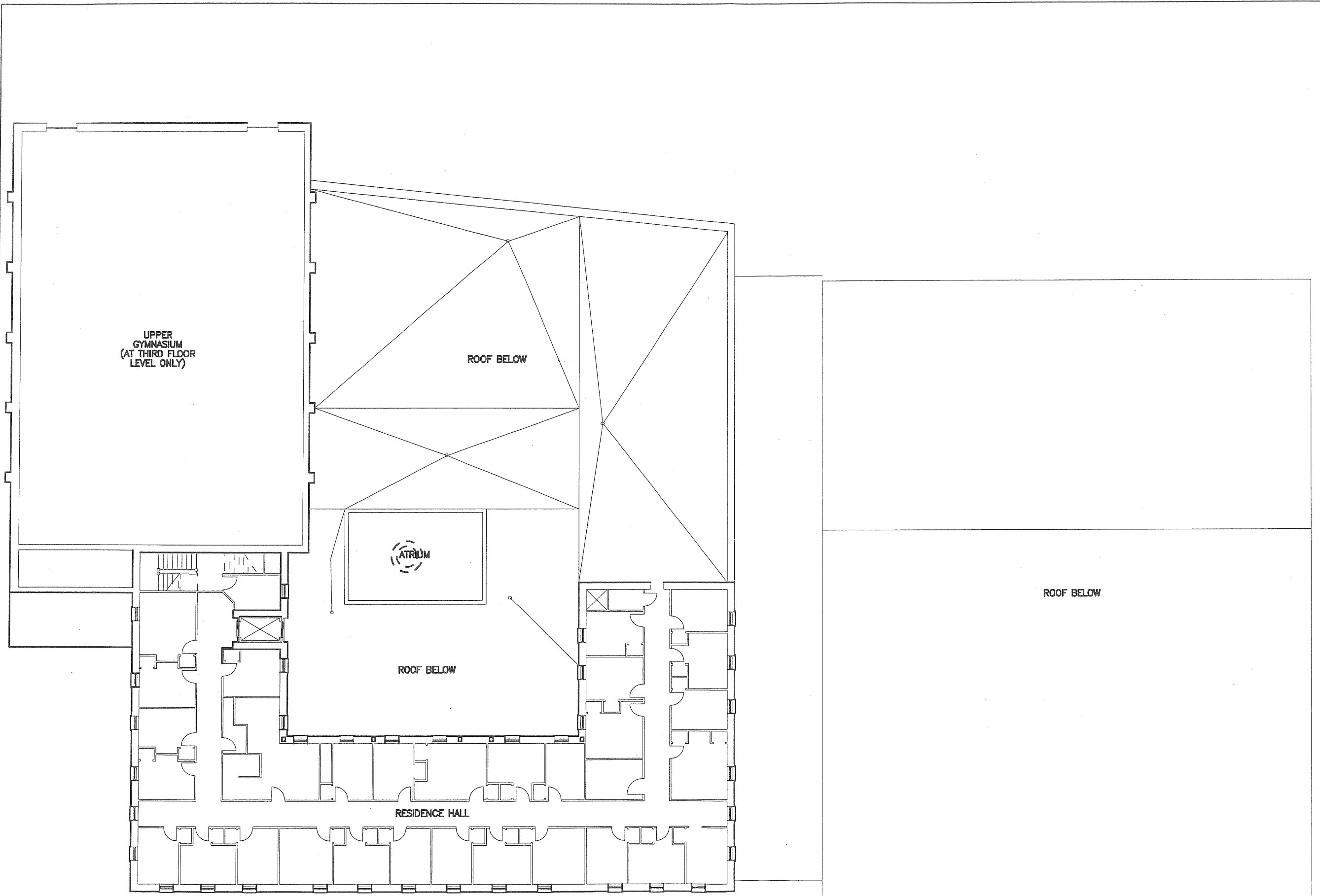
Owner:  
**GREATER PORTLAND YMCA**  
 c/o Cumberland County YMCA  
 70 Forest Avenue, Portland, Maine 04101  
 (207) 874-1111



Project No: 02.404 YMP  
 Drawing Title:  
**EXISTING 2ND FLOOR PLAN**  
 Scale: 1/8" = 1'-0"  
 Date: January 27, 2004

- Revisions:
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  - △
  - △
  - △
  - △
  - △

Drawing Number:  
**EX1.2**



EXISTING THIRD FLOOR PLAN (FOURTH AND FIFTH FLOORS SIMILAR)  
 SCALE: 1/8" = 1'-0"

**CWS**  
**CWS Architects**  
 Architects  
 Space Planning  
 Value Design  
 434 Cumberland Avenue  
 Portland, ME 04101  
 Phone: (207) 774-4444  
 Fax: (207) 774-4816  
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Owner:  
**GREATER PORTLAND YMCA**  
 c/o Cumberland County YMCA  
 70 Forest Avenue Portland, Maine 04101  
 (207) 874-1111

Contractor:

**GREATER PORTLAND YMCA**  
**MASTER PLAN**  
 Portland, Maine

Project No: 02.004 YMP

Drawing Title:  
**EXISTING 3RD, 4TH  
 5TH FLOOR PLANS**

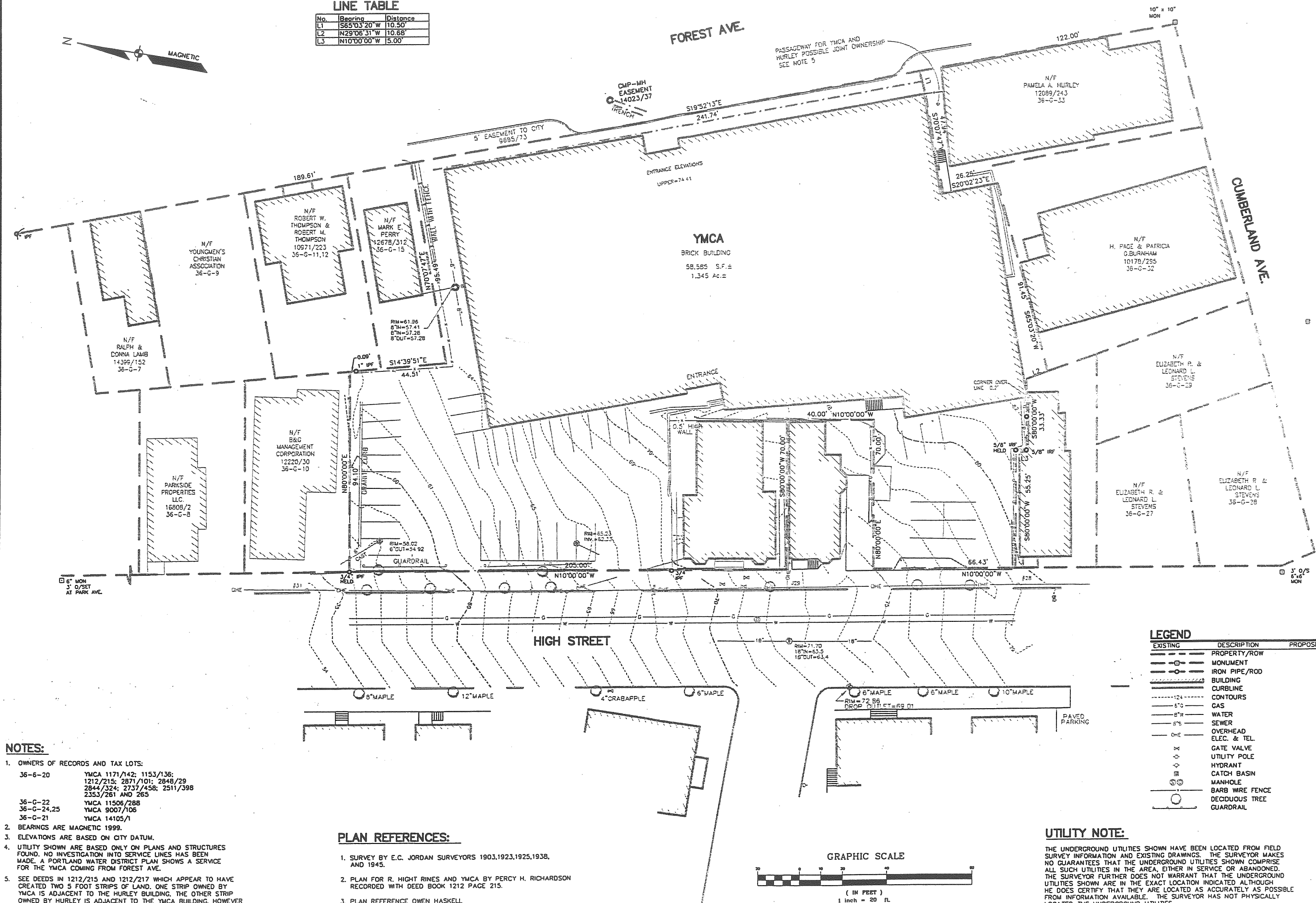
Scale: 1/8" = 1'-0"  
 Date: January 27, 2004

Revisions:  
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Drawing Number:  
**EX1.3**

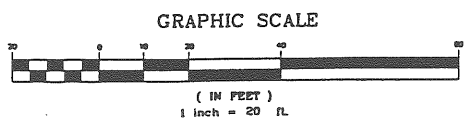
**LINE TABLE**

No.	Bearing	Distance
L1	S65°03'20" W	10.50'
L2	N29°06'31" W	10.68'
L3	N10°00'00" W	5.00'



**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	MONUMENT	---
---	IRON PIPE/ROD	---
---	BUILDING	---
---	CURBLINE	---
---	CONTOURS	---
---	GAS	---
---	WATER	---
---	SEWER	---
---	OVERHEAD ELEC. & TEL.	---
---	GATE VALVE	---
---	UTILITY POLE	---
---	HYDRANT	---
---	CATCH BASIN	---
---	MANHOLE	---
---	BARB WIRE FENCE	---
---	DECIDUOUS TREE	---
---	GUARDRAIL	---



**UTILITY NOTE:**  
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

- NOTES:**
- OWNERS OF RECORDS AND TAX LOTS:  
 36-6-20 YMCA 1171/142; 1153/136; 1212/215; 2871/101; 2848/29; 2844/324; 2737/458; 2511/398; 2353/261 AND 265  
 36-6-22 YMCA 11506/288  
 36-6-24,25 YMCA 9007/106  
 36-6-21 YMCA 14105/1
  - BEARINGS ARE MAGNETIC 1999.
  - ELEVATIONS ARE BASED ON CITY DATUM.
  - UTILITY SHOWN ARE BASED ONLY ON PLANS AND STRUCTURES FOUND. NO INVESTIGATION INTO SERVICE LINES HAS BEEN MADE. A PORTLAND WATER DISTRICT PLAN SHOWS A SERVICE FOR THE YMCA COMING FROM FOREST AVE.
  - SEE DEEDS IN 1212/215 AND 1212/217 WHICH APPEAR TO HAVE CREATED TWO 5 FOOT STRIPS OF LAND. ONE STRIP OWNED BY YMCA IS ADJACENT TO THE HURLEY BUILDING. THE OTHER STRIP OWNED BY HURLEY IS ADJACENT TO THE YMCA BUILDING. HOWEVER THE STATED INTENT OF THE TWO DEEDS IS "TO MAKE A PASSAGEWAY TO BE USED IN COMMON".

- PLAN REFERENCES:**
- SURVEY BY E.C. JORDAN SURVEYORS 1903,1923,1925,1938, AND 1945.
  - PLAN FOR R. HIGHT RINES AND YMCA BY PERCY H. RICHARDSON RECORDED WITH DEED BOOK 1212 PAGE 215.
  - PLAN REFERENCE OWEN HASKELL.

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**PROJECT NO** FIELD BOOK DESIGN CHKD DRAWN  
 98861

**DATE:** 12-29-03 **SCALE:** 1" = 20'

**SHEET 1 OF 3**

**EXISTING CONDITIONS PLAN**  
**GREATER PORTLAND YMCA MASTER PLAN**  
 HIGH STREET  
 PORTLAND, MAINE  
 FOR:  
**GREATER PORTLAND YMCA** (C/O CUMBERLAND COUNTY YMCA)  
 70 FOREST AVENUE  
 PORTLAND, ME 04101

**REV:** BY: DATE: STATUS:  
 A JRS 1-27-04 SUBMITTED FOR CONTRACT ZONING  
 THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.



3313  
2256  
3749

SHEET 37-A

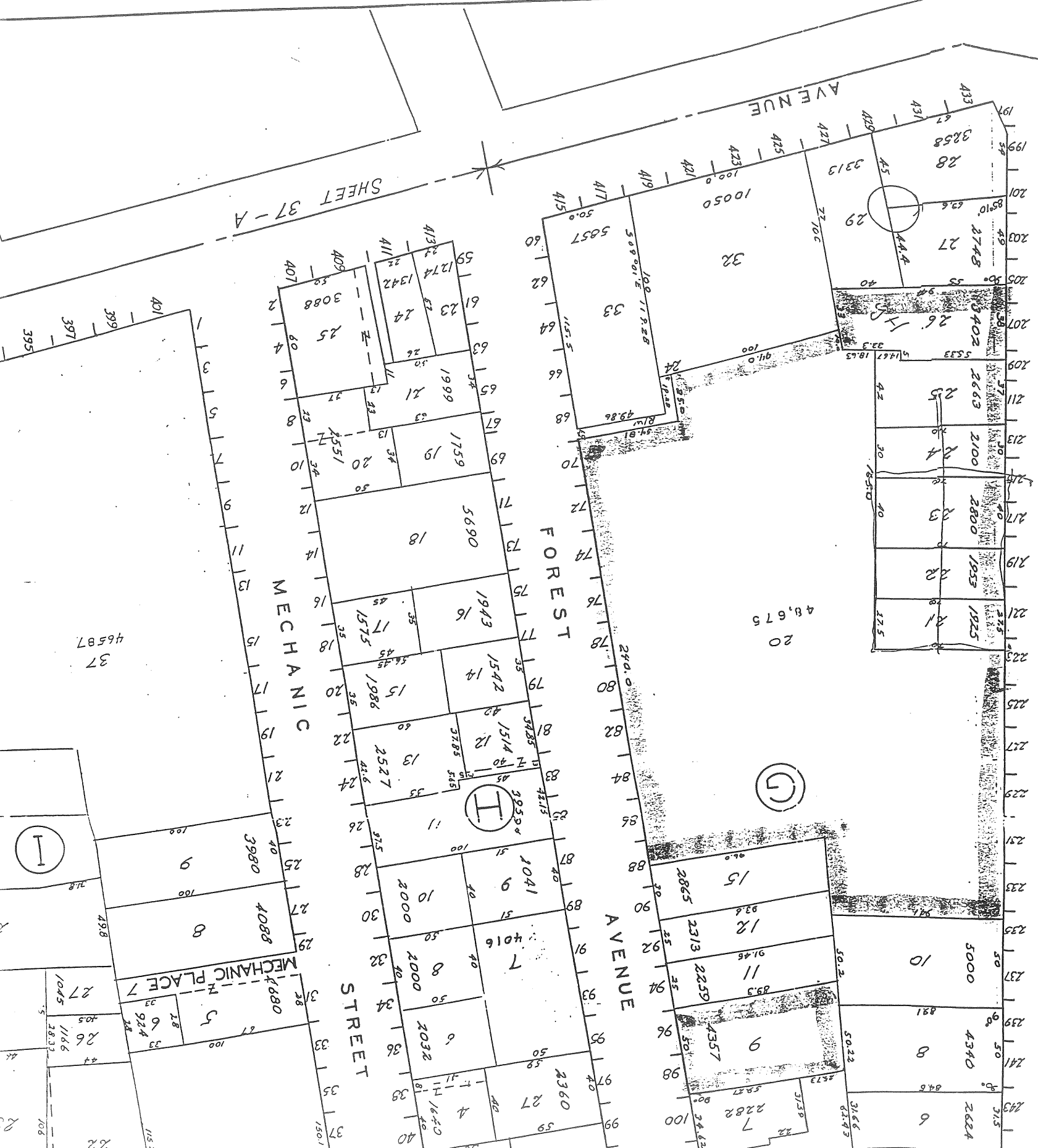
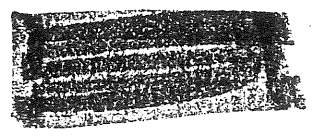
SHEET 46-A



STREET

HIGH

PROPERTY OWNED BY THE YMCA



STREET

MECHANIC

MECHANIC PLACE 7

I

G

F

37  
46587

395  
397  
399  
401

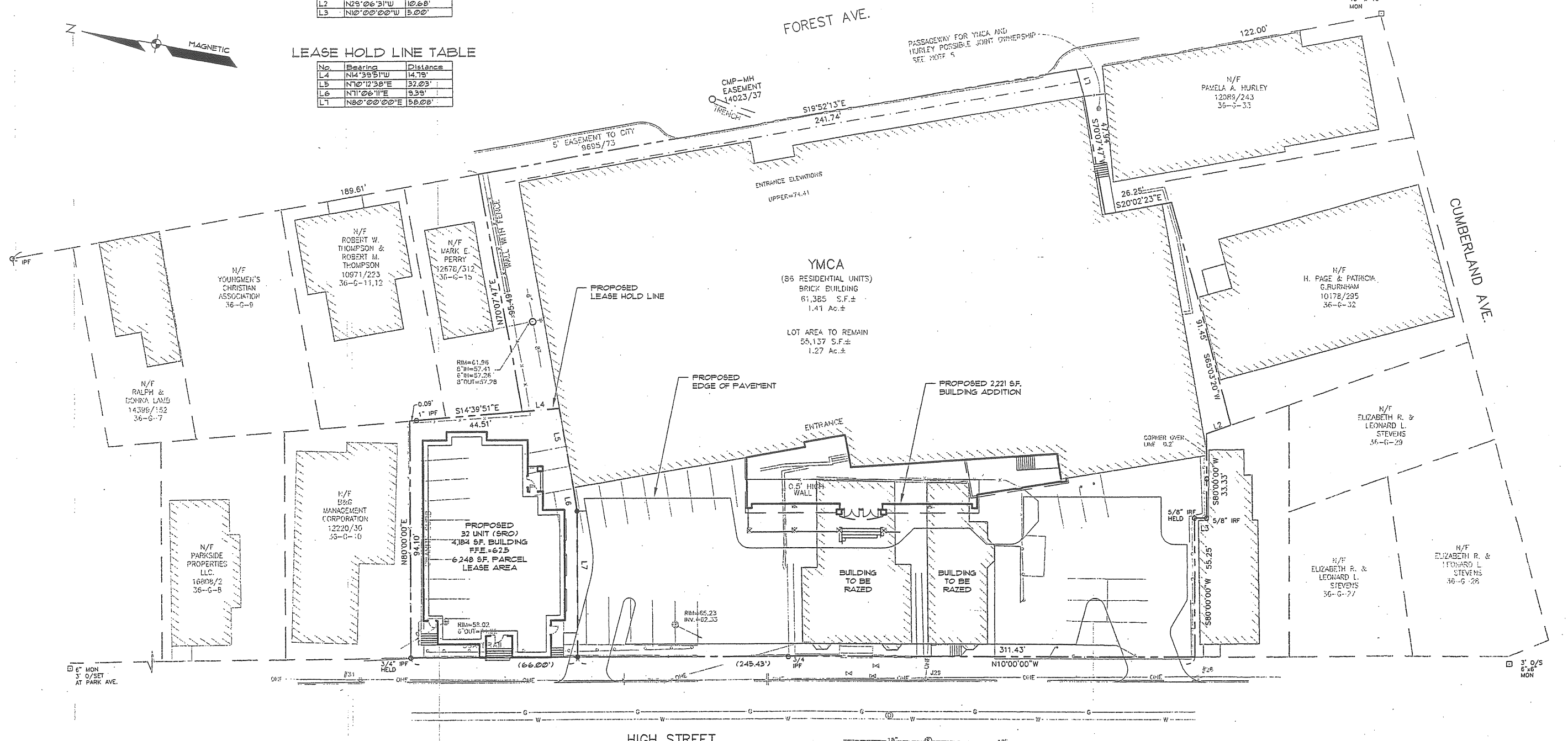
22

LINE TABLE

No.	Bearing	Distance
L1	S65°23'20"W	10.50'
L2	N28°06'31"W	10.68'
L3	N10°00'00"W	5.00'

LEASE HOLD LINE TABLE

No.	Bearing	Distance
L4	N14°39'51"W	14.79'
L5	N10°12'38"E	32.03'
L6	N11°06'11"E	9.39'
L7	N80°00'00"E	50.00'



NOTES:

- OWNERS OF RECORDS AND TAX LOTS:
 

PARCEL ID	OWNER - BOOK/PAGE
36-6-20	YMCA - 1171/42 ± 1153/136 ± 1212/15 ± 2871/01 ± 2848/29 ± 2844/324 ± 2737/458 ± 2511/398 ± 2353/261 AND 265
36-6-22	YMCA - 11506/788
36-6-2425	YMCA - 9007/106
36-6-21	YMCA - 14105/1
- BEARINGS ARE MAGNETIC 1999.
- ELEVATIONS ARE BASED ON CITY DATUM.
- THE TOTAL AREA OF THE PROPERTY IS APPROXIMATELY 1.41 ACRES.
- THIS PROPERTY IS LOCATED IN AN EXISTING R-6 ZONE. THE PROJECT IS CURRENTLY BEING REVIEWED FOR CONTRACT ZONING FOR THE PARCEL(S) SHOWN ON THIS PLAN. THE FOLLOWING ARE THE CURRENT STANDARDS FOR THE R-6 ZONE:
 

MIN. LOT SIZE:	4500 SF.
MIN. STREET FRONTAGE:	40 FT.
MIN. FRONT YARD:	10 FT.
MIN. SIDE YARD:	1 TO 3 STORIES = 10 FT.
MIN. REAR YARD:	20 FT. 4 STORIES = 12 FT.
MAX. BUILDING HEIGHT:	45 FT. 5 STORIES = 15 FT.
MIN. LOT WIDTH:	50 FT.
MAX. LOT COVERAGE:	40% W/ 20' DUELLING UNITS 50% W/ LESS THAN 20 UNITS 20% W/ LESS THAN 20 UNITS
OPEN SPACE RATIO:	30% W/ 20' DUELLING UNITS
- PARKING REQUIREMENTS FOR THE PROPOSED RESIDENTIAL USE SHALL BE BASED ON THE SEPARATELY ATTACHED YMCA PARKING MANAGEMENT

NOTES (CONT.):

- UTILITIES SHOWN ARE BASED ONLY ON PLANS AND STRUCTURES FOUND. NO INVESTIGATION INTO SERVICE LINES HAS BEEN MADE. A PORTLAND WATER DISTRICT PLAN SHOWS A SERVICE FOR THE YMCA COMING FROM FOREST AVE.
- SEE DEEDS IN 1212/15 AND 1212/21 WHICH APPEAR TO HAVE CREATED TWO 5 FOOT STRIPS OF LAND, ONE STRIP OWNED BY YMCA IS ADJACENT TO THE HURLEY BUILDING, THE OTHER STRIP OWNED BY HURLEY IS ADJACENT TO THE YMCA BUILDING, HOWEVER THE STATED INTENT OF THE TWO DEEDS IS 'TO MAKE A PASSAGEWAY TO BE USED IN COMMON'.
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATIONS TO OR DEVIATIONS FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LAND-SCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS SIZE.

PLAN REFERENCES:

- SURVEY BY E.C. JORDAN SURVEYORS 1903, 1923, 1925, 1938, AND 1945.
- PLAN FOR R-HIGH RINES AND YMCA BY PERCY H. RICHARDSON, RECORDED WITH DEED BOOK 1212, PAGE 215.

CONTACT ZONING NOTE:

PRIOR TO FINAL REVIEW OF THE SUBDIVISION PLAN BY THE PLANNING BOARD, THE PLAN WILL BE MODIFIED TO REFLECT CONTRACT ZONING PROVISIONS, DIMENSIONAL REQUIREMENTS, NOTE REVISIONS, OR ADDITIONAL INFORMATION AS APPROVED BY THE

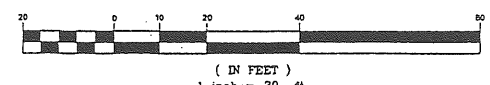
UTILITIES NOTE:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE

LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
—□—	MONUMENT	—□—
—○—	IRON PIPE/ROD	—○—
---	EASEMENT	---
▨▨▨▨	BUILDING	▨▨▨▨
---	CURBLINE	---
---	GAS	---
---	WATER	---
---	SEWER	---
---	OVERHEAD ELEC. & TEL.	---
⊕	GATE VALVE	⊕
⊙	UTILITY POLE	⊙
⊕	HYDRANT	⊕
⊙	CATCH BASIN	⊙
⊕	MANHOLE	⊕
---	BARB WIRE FENCE	---
---	GUARDRAIL	---

GRAPHIC SCALE



PRELIMINARY SUBDIVISION PLAN  
32 UNIT (SRO)  
OF  
GREATER PORTLAND YMCA  
UNIT 1111  
PORTLAND, MAINE  
FOR:  
GREATER PORTLAND YMCA (C/O CUMBERLAND COUNTY YMCA)  
70 FOREST AVENUE

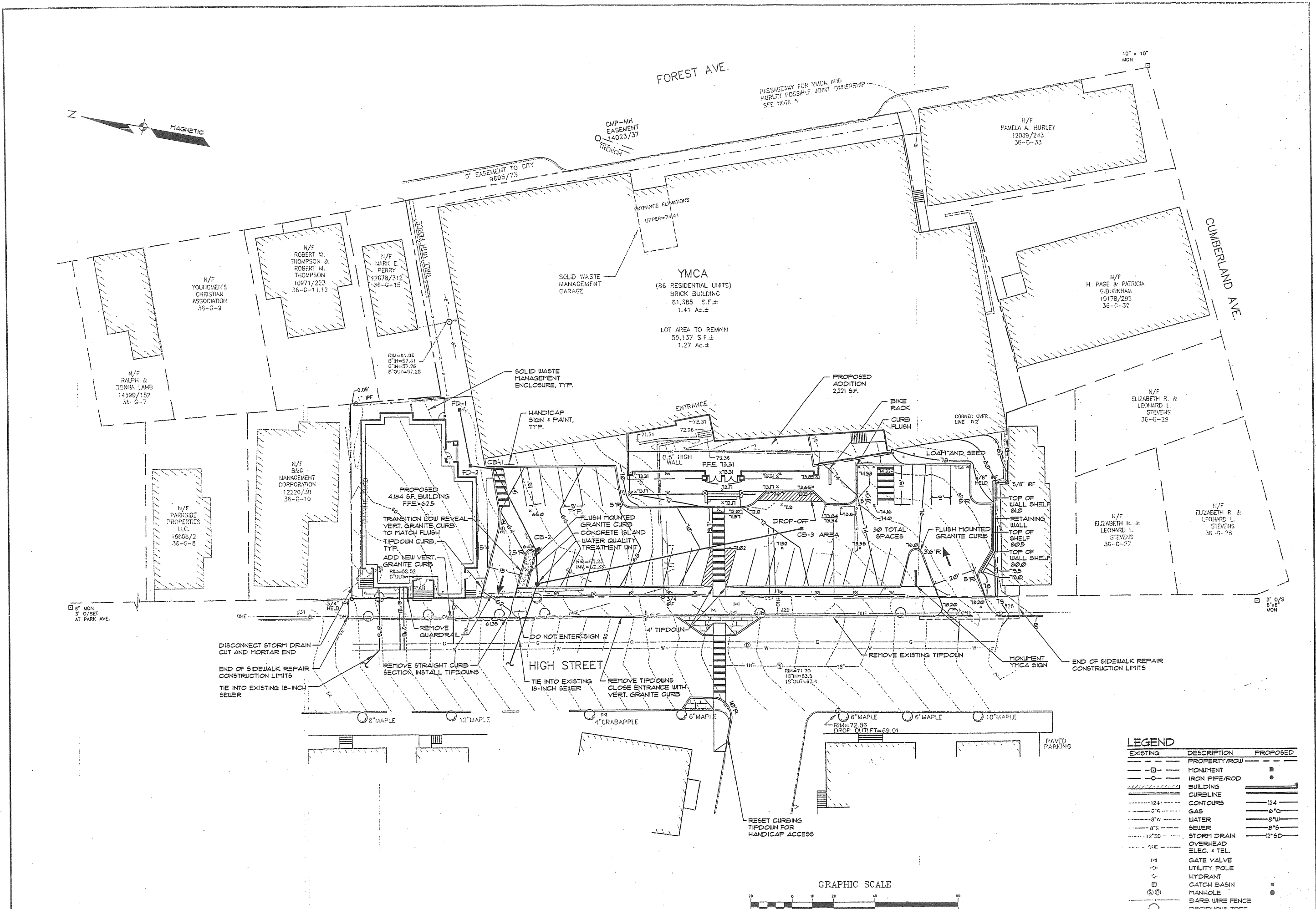
Sebago Technics  
Engineering Expertise You Can Build On  
One Cahoon Street  
Portland, ME 04103  
Tel: (603) 866-0177

DATE: 12-29-03 SCALE: 1" = 20'

PROJECT NO: FIELD BOOK DESIGN CHKD DRAWN

REV: BY: DATE: STATUS:

4-2-04 SUBMITTED FOR FINAL CONTRACT ZONING  
1-27-04 SUBMITTED FOR CONTRACT ZONING



C	JRS	4-2-04	SUBMITTED FOR FINAL CONTRACT ZONING
B	JRS	03-02-04	REVISED SITE PLAN FOR CONTRACT ZONING
A	JRS	1-27-04	SUBMITTED FOR CONTRACT ZONING
	REV. BY:	DATE:	STATUS:

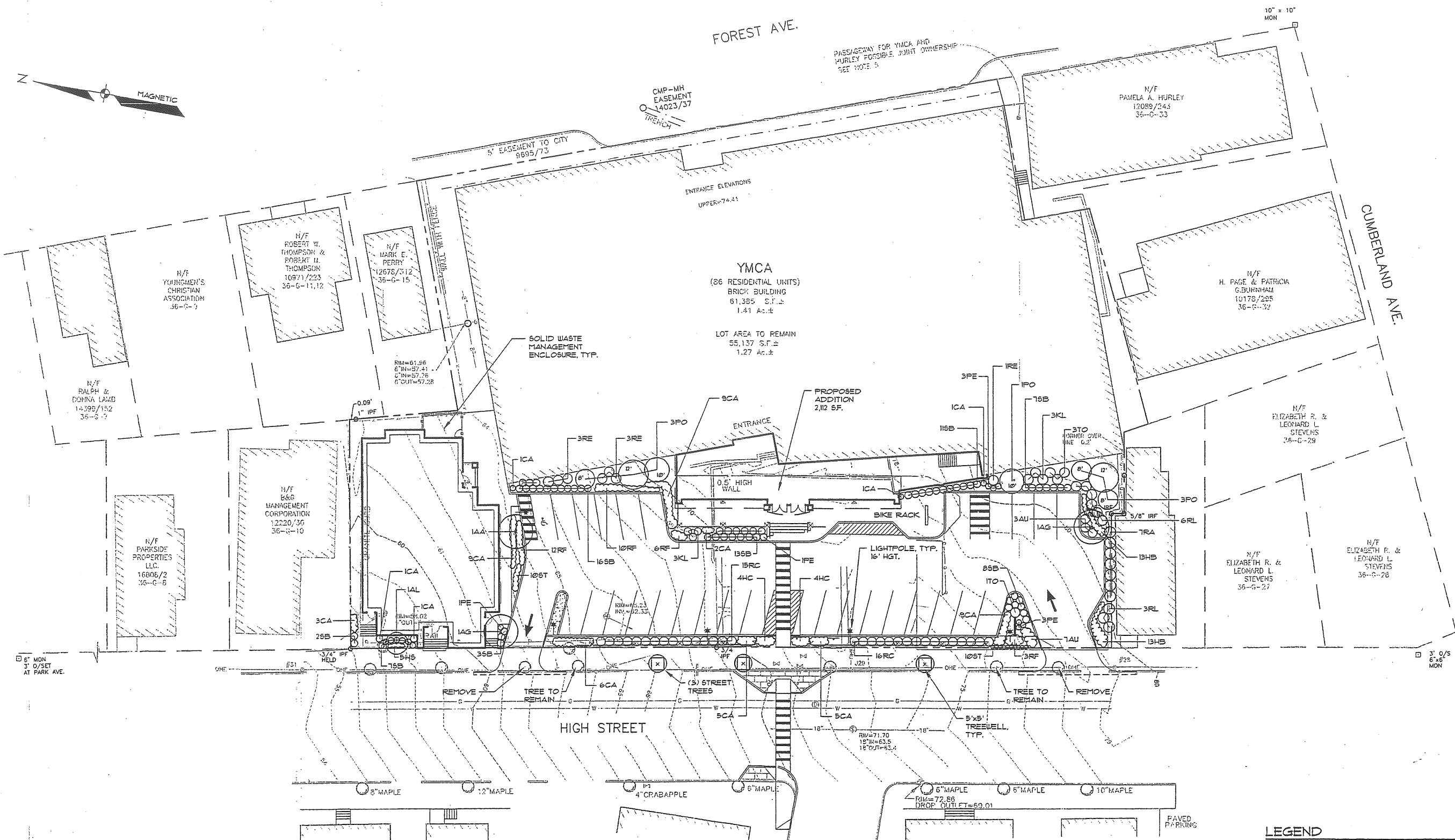
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS.

**Sebago Technics**  
 Engineering Expedite You Can Build On  
 One Chestnut Street  
 Westbrook, Me 04098-1339  
 Tel: (207) 856-0277

PROJECT NO. FIELD BOOK DESIGN CHKD DRAWN

**SITE, GRADING, & UTILITIES PLAN**  
 OF:  
**GREATER PORTLAND YMCA MASTER PLAN**  
 HIGH STREET  
 PORTLAND, MAINE  
 FOR:  
**GREATER PORTLAND YMCA** (C/O CUMBERLAND COUNTY YMCA)  
 70 FOREST AVENUE

DATE: 12-29-03 SCALE: 1"=20'

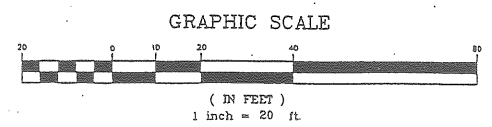


**PLANT LIST**

KEY	BOTANICAL NAME	COMMON NAME	SIZE
AA	ACER X FREEMANII 'ARMSTRONG'	ARMSTRONG RED MAPLE	2 1/2" CAL.
AG	AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	8'-10' HGT. (LIMB UP)
AU	ARCTOSTAPHYLOS UVA-URSI	BEARBERRY	NO. 1 CONT.
CA	CALAMAGROSTIS X ACUTIFOLIA 'KARL FOERSTER'	KARL FOERSTERS FEATHER REED GRASS	NO. 1 CONT.
HB	HOSTA 'SUNFLOWER'	HADSPEN BLUE HOSTA	NO. 1 CONT.
HS	HOSTA 'SUNFLOWER'	SUNFLOWER HOSTA	NO. 1 CONT.
KL	KALMIA LATIFOLIA	MOUNTAIN LAUREL	24"-30"
RA	RHODODENDRON 'ALGO'	ALGO RHODODENDRON	24"-30"
RC	ROSA 'CAREFREE WONDER'	CAREFREE WONDER ROSE	NO. 2 CONT.
RE	RHODODENDRON 'ENGLISH ROSEUM'	ENGLISH ROSEUM RHODODENDRON	24"-30"
RL	RHODODENDRON LAETEVIRENS	WILSON RHODODENDRON	24"-30"
SB	SPIREA X BUMALDA 'GOLD FLAME'	GOLD FLAME SPIRAEA	15"-18"
TO	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	6'-7' HGT.
PO	PICEA OMORICA	SERBIAN SPRUCE	(SEE PLAN FOR HGT.)
FE	FENNISSETUM ALOPECUROIDES 'HAMELN'	DWARF FOUNTAIN GRASS	NO. 1 CONT.
ST	SEDUM TELEPHIUM 'PURPLE EMPEROR'	PURPLE EMPEROR STONE CROP	NO. 1 CONT.
RF	RUDBECKIA FULGIDA 'GOLDSTURM'	GOLDSTURM BLACK-EYED SUSAN	NO. 1 CONT.

**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
— —	MONUMENT	— —
—○—	IRON PIPE/ROD	—○—
— — —	BUILDING	— — —
— — —	CURBLINE	— — —
— — —	CONTOURS	— — —
— — —	GAS	— — —
— — —	WATER	— — —
— — —	SEWER	— — —
— — —	OVER-HEAD ELEC. & TEL.	— — —
— — —	GATE VALVE	— — —
— — —	UTILITY POLE	— — —
— — —	HYDRANT	— — —
— — —	CATCH BASIN	— — —
— — —	MANHOLE	— — —
— — —	BARB WIRE FENCE	— — —
— — —	DECIDUOUS TREE	— — —



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 Westbrook, Me 04090-1339  
 Tel (207) 956-0277

PROJECT NO: 98661  
 FIELD BOOK DESIGN CHKD DRAWN  
 JRS BGY JNB

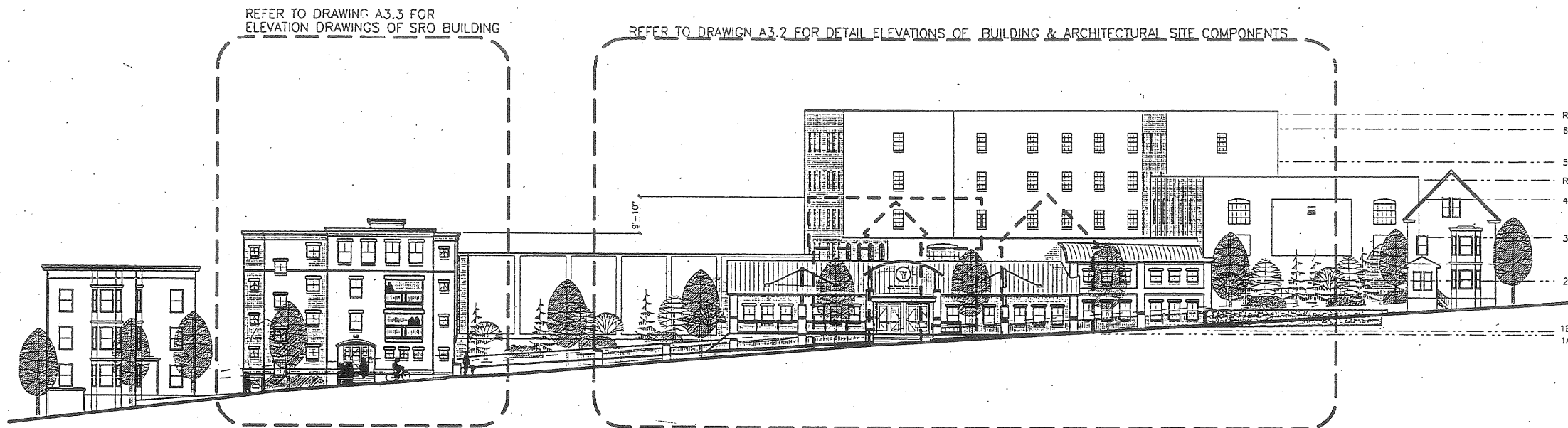
**LANDSCAPE PLAN**  
 OF:  
**GREATER PORTLAND YMCA MASTER PLAN**  
 HIGH STREET  
 PORTLAND, MAINE

FOR:  
**GREATER PORTLAND YMCA** (C/O CUMBERLAND COUNTY YMCA)  
 70 FOREST AVENUE  
 PORTLAND, ME 04101

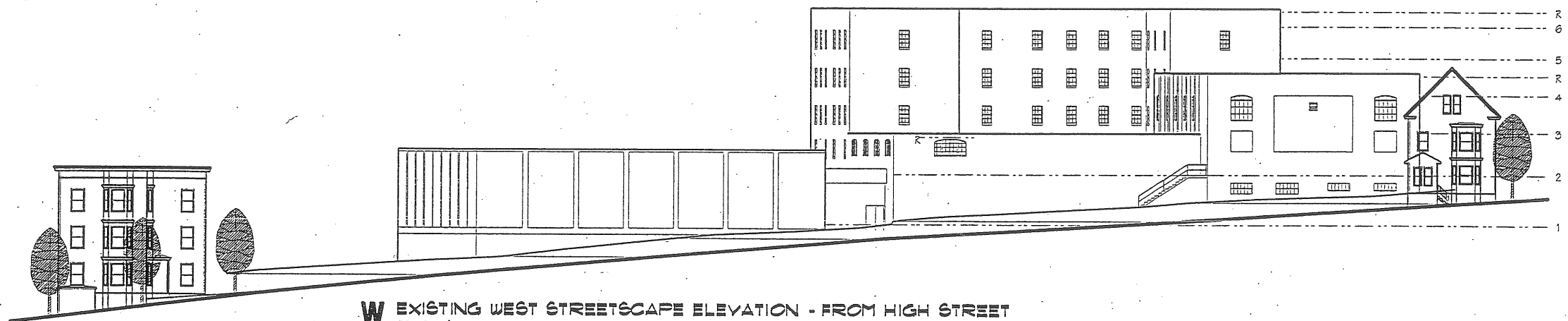
DATE	SCALE
12-29-03	1" = 20'

B	JRS	4-2-04	SUBMITTED FOR FINAL CONTRACT ZONING
A <td>JRS <td>1-27-04 <th>SUBMITTED FOR CONTRACT ZONING</th> </td></td>	JRS <td>1-27-04 <th>SUBMITTED FOR CONTRACT ZONING</th> </td>	1-27-04 <th>SUBMITTED FOR CONTRACT ZONING</th>	SUBMITTED FOR CONTRACT ZONING
			STATUS:

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**W** PROPOSED WEST SITE MASTER PLAN ELEVATION - FROM HIGH STREET  
SCALE: 1"=20'-0"



**W** EXISTING WEST STREETSCAPE ELEVATION - FROM HIGH STREET  
SCALE: 1/16"=1'-0"

NOTE: THE YMCA HAD INVITED THE PARKSIDE NEIGHBORHOOD ASSOCIATION AND PORTLAND LANDMARKS TO PARTICIPATE IN THE PROCESS OF DEFINING FUNDIMENTAL SITE AND BUILDING DESIGN COMPONENTS, FEATURES AND DETAILING. OUT OF THIS PROCESS, THE CONCEPT DESIGNS REPRESENTED HEREIN WERE PREPARED. THIS PARTICIPATORY DESIGN REVIEW COMMITTEE WILL FURTHER CONVENE DURING THE PROCESS OF DETAILING THE DESIGNS WITH THE HOPES THAT THE END PRODUCT CONFORMS TO THE WILL OF THE COMMUNITY.



CWS Architects

Architecture  
Space Planning  
Value Design

434 Cumberland Avenue  
Portland, ME 04101  
Phone: (207) 774-1441  
Fax: (207) 774-1816  
www.CWSarch.com

Owner:  
**CUMBERLAND COUNTY YMCA**  
70 Forest Avenue Portland, Maine 04101  
207 876-1111

Contractor:



**GREATER PORTLAND YMCA**  
**MASTER PLAN**  
High Steel - Portland, Maine

Project No: 00.404 YMP

Drawing Title:

**PROPOSED SITE ELEVATIONS**

Scale: 1" = 20'-0"

Date: April 2, 2004

Revisions:

- △
- △
- △
- △
- △
- △
- △

Drawing Number:

**A3.1**



**CWS Architects**  
 Architecture  
 Space Planning  
 Value Design  
 634 Cumberland Avenue  
 Portland, ME 04101  
 Phone: (207) 774-6161  
 Fax: (207) 774-6816  
 www.CWSarch.com

Owner:  
**GREATER PORTLAND YMCA**  
 c/o Cumberland County YMCA  
 70 Forest Avenue, Portland, Maine 04101  
 (207) 874-1111

Contractor:

**GREATER PORTLAND YMCA**  
**MASTER PLAN**  
 Portland, Maine

Project No: 00.404 YMP

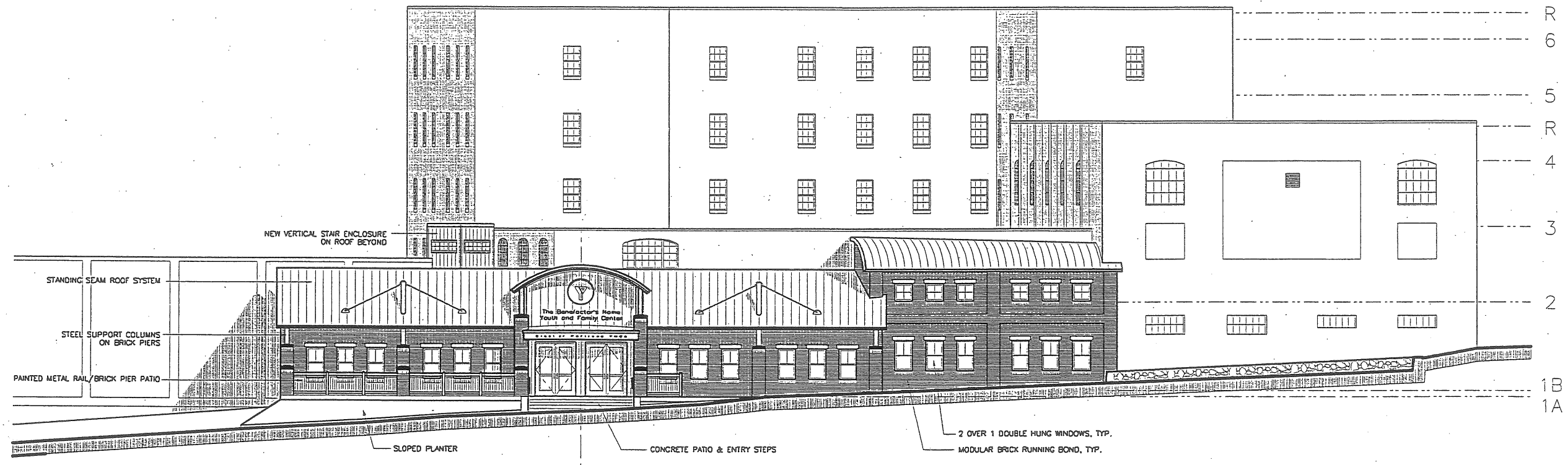
Drawing Title:  
**EXTERIOR ELEVATIONS**

Scale: 1/8" = 1'-0"  
 Date: April 2, 2004

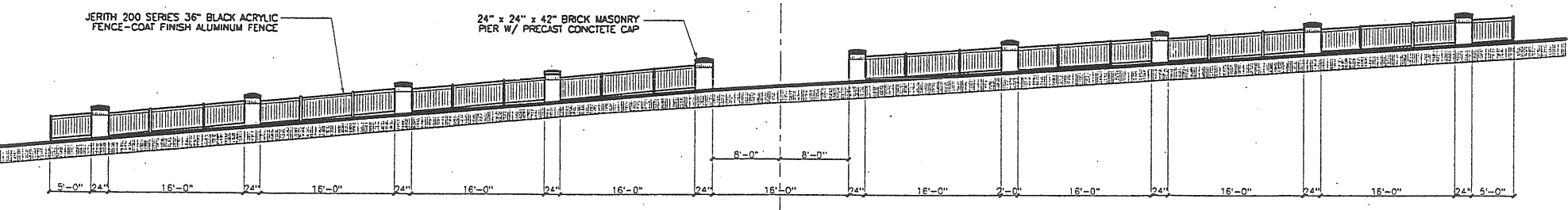
- Revisions:
- △
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  - △
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  - △
  - △

Drawing Number:

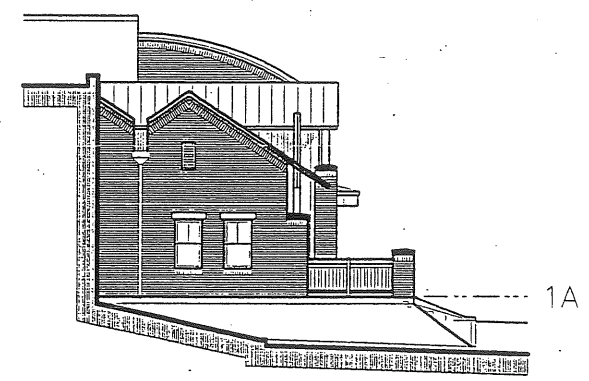
**A3.2**



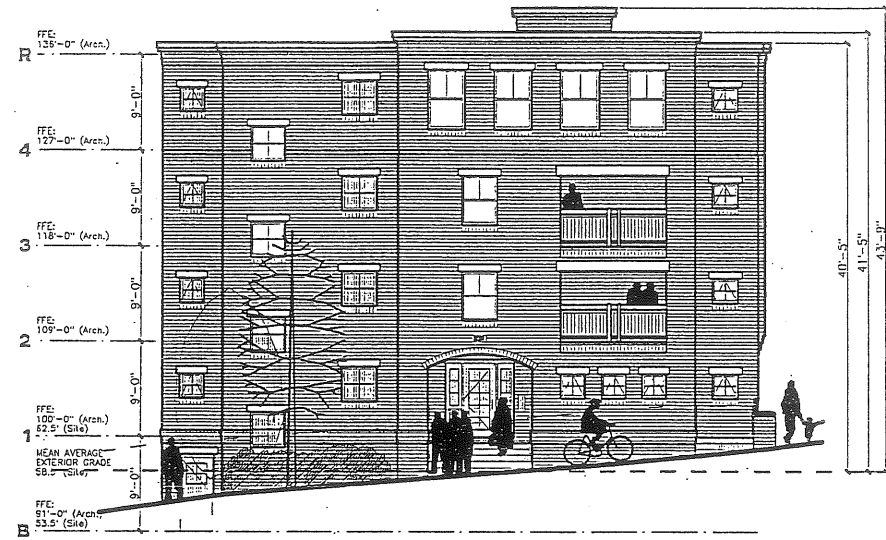
**W PROPOSED WEST BUILDING ELEVATION - FROM PARKING AREA**  
 SCALE: 1/8" = 1'-0"



**W PROPOSED WEST ELEVATION - FENCE AT PROPERTY LINE FROM HIGH STREET**  
 SCALE: 1/8" = 1'-0"



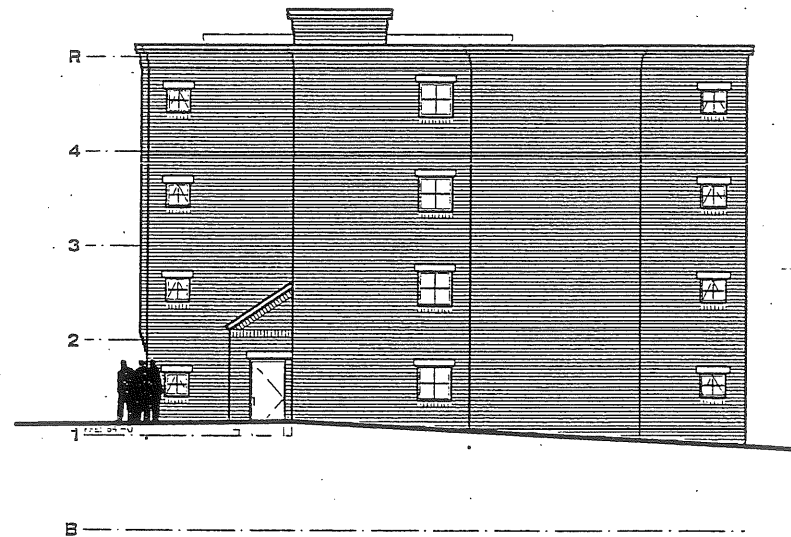
**N PROPOSED NORTH BUILDING ELEVATION**  
 SCALE: 1/8" = 1'-0"



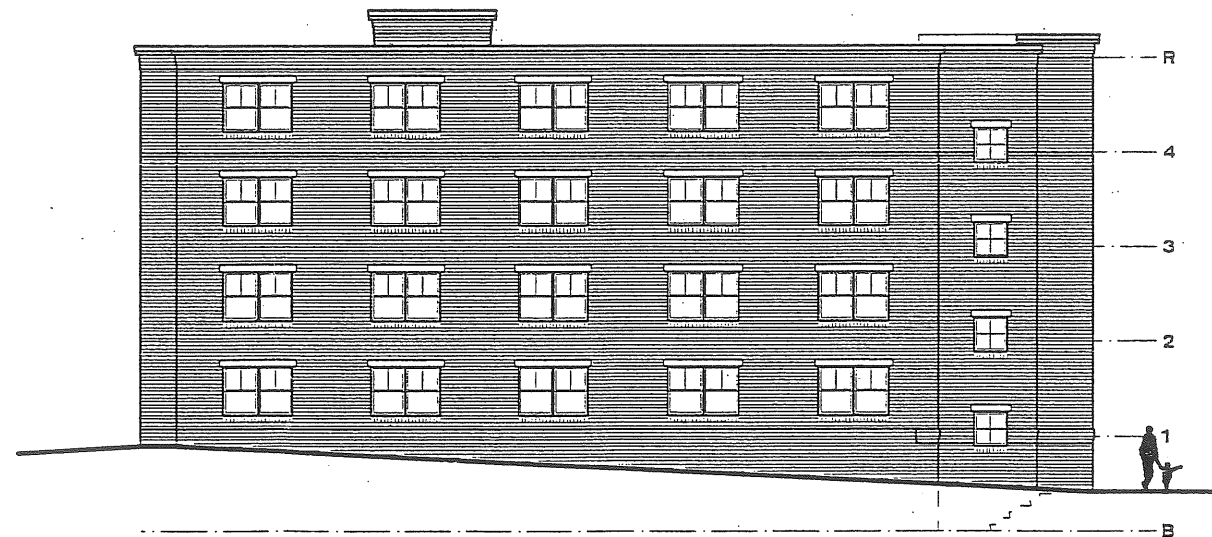
FRONT BUILDING ELEVATION  
FROM HIGH STREET



RIGHT SIDE BUILDING ELEVATION  
FROM YMCA PARKING LOT



REAR BUILDING ELEVATION



LEFT SIDE BUILDING ELEVATION



CWS Architects

Architecture  
Space Planning  
Value Design

134 Cumberland Avenue  
Portland, ME 04101  
Phone: (207) 774-1111  
Fax: (207) 774-0816

www.CWSarch.com

Owner:  
**CCYSRO, L.P.**  
c/o Cumberland County YMCA  
70 Forest Avenue, Portland, Maine 04101  
(207) 874-1111

Contractor:



**YMCA**  
Apartments  
at 231  
High Street  
Portland, Maine

Project No: 03.403 YSH

Drawing Title:  
**BUILDING FRONT  
ELEVATION**

Scale: 1/8" = 1'-0"  
Date: March 9, 2004

Revisions:

- △
- △
- △
- △
- △
- △
- △

Drawing Number:

**A3.3**



**CWS Architects**  
 Architects  
 Space Planning  
 Value Design  
 434 Cumberland Avenue  
 Portland, ME 04101  
 Phone: (207) 774-1111  
 Fax: (207) 774-1816  
 www.CWSarch.com

Owner:  
**GREATER PORTLAND YMCA**  
 c/o Cumberland County YMCA  
 70 Forest Avenue, Portland, Maine 04101  
 (207) 874-1111

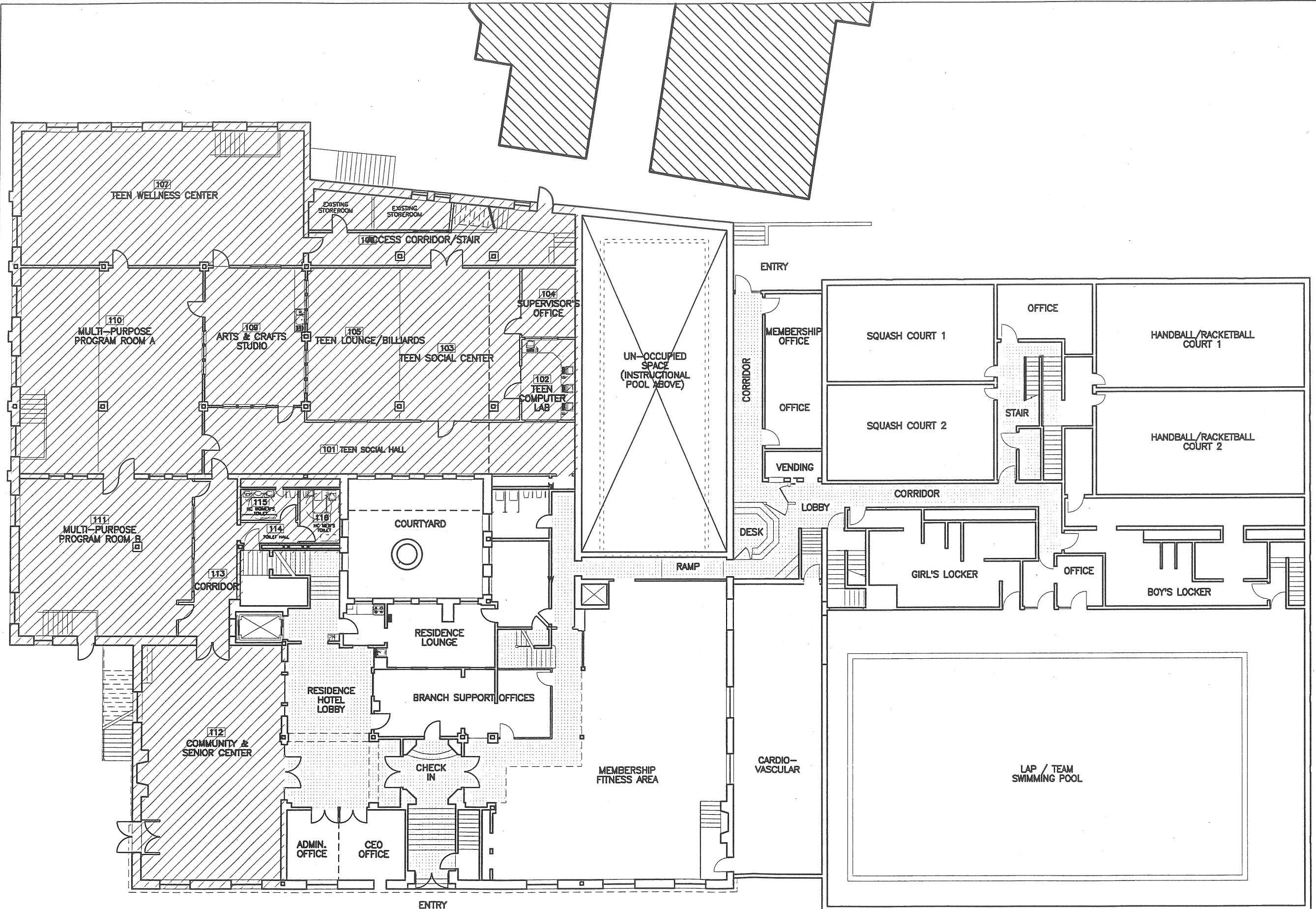


Project No: 00.404 YMP  
 Drawing Title:  
**EXISTING 1ST FLOOR PLAN**  
 Scale: 1/8" = 1'-0"  
 Date: January 27, 2004  
 Revisions:

- △
- △
- △
- △
- △
- △
- △

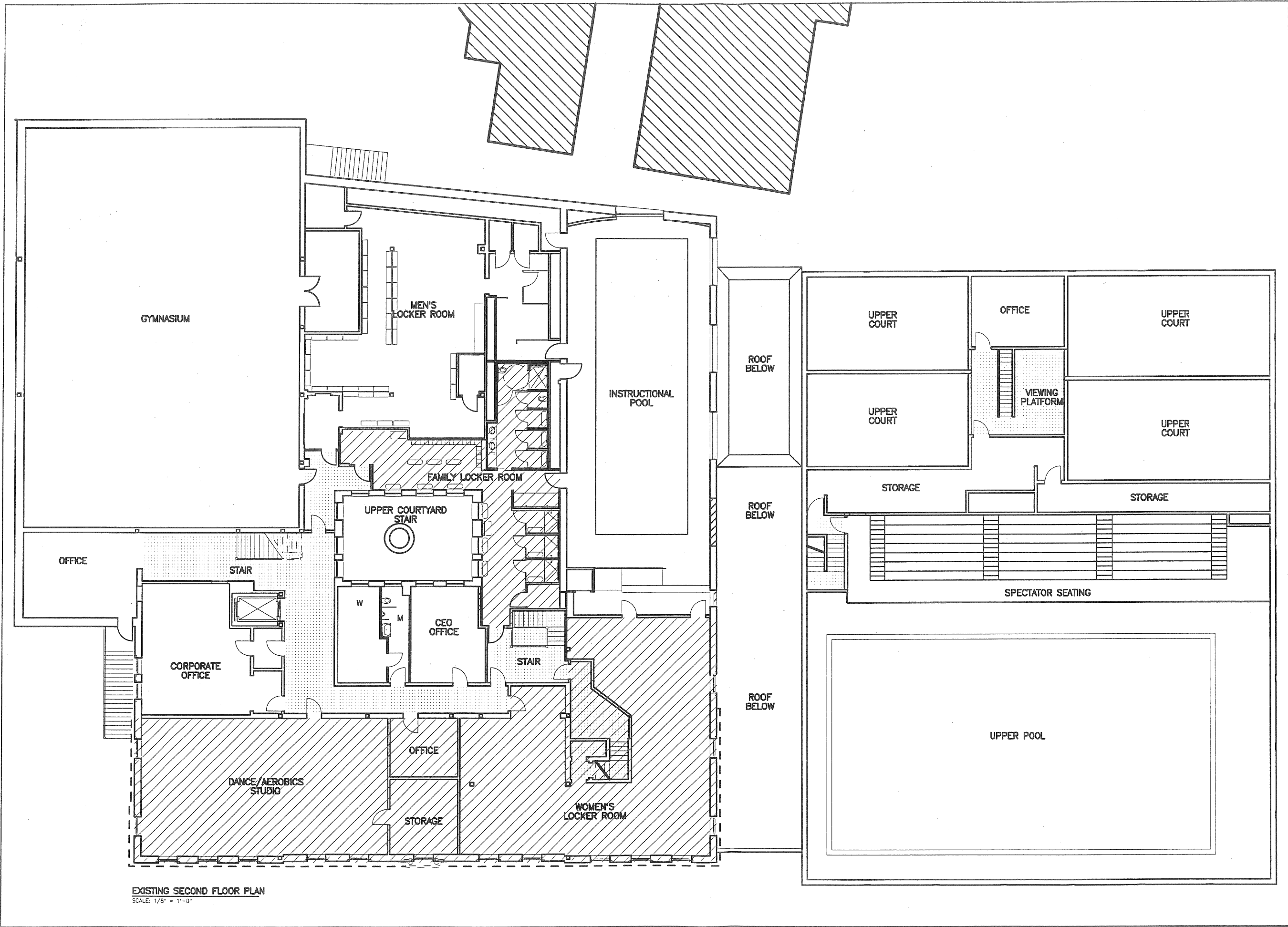
Drawing Number:

**EX1.1**



**EXISTING FIRST FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"





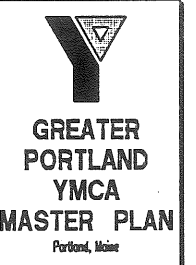
EXISTING SECOND FLOOR PLAN  
 SCALE: 1/8" = 1'-0"



**CWS Architects**  
 Architecture  
 Space Planning  
 Value Design  
 134 Cumberland Avenue  
 Portland, ME 04101  
 Phone: (207) 774-4441  
 Fax: (207) 774-4816  
 www.CWSarch.com

Owner:  
**GREATER PORTLAND YMCA**  
 c/o Cumberland County YMCA  
 70 Forest Avenue, Portland, Maine 04101  
 (207) 874-1111

Contractor:



Project No: 02.404 YMP

Drawing Title:  
**EXISTING 2ND FLOOR PLAN**

Scale: 1/8" = 1'-0"

Date: January 27, 2004

Revisions:

- △
- △
- △
- △
- △
- △

Drawing Number:

**EX1.2**

3.4.f



CWS Architects

Architecture  
Space Planning  
Value Design

134 Cumberland Avenue  
Portland, ME 04101  
Phone: (207) 774-4141  
Fax: (207) 774-4016

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**GREATER PORTLAND  
YMCA**  
c/o Cumberland County YMCA  
70 Forest Avenue, Portland, Maine 04101  
(207) 874-1111

Contractor:



**GREATER  
PORTLAND  
YMCA**  
**MASTER PLAN**  
Portland, Maine

Project No: 00.404 YMP

Drawing Title:

**EXISTING 3RD, 4TH  
5TH FLOOR PLANS**

Scale: 1/8" = 1'-0"

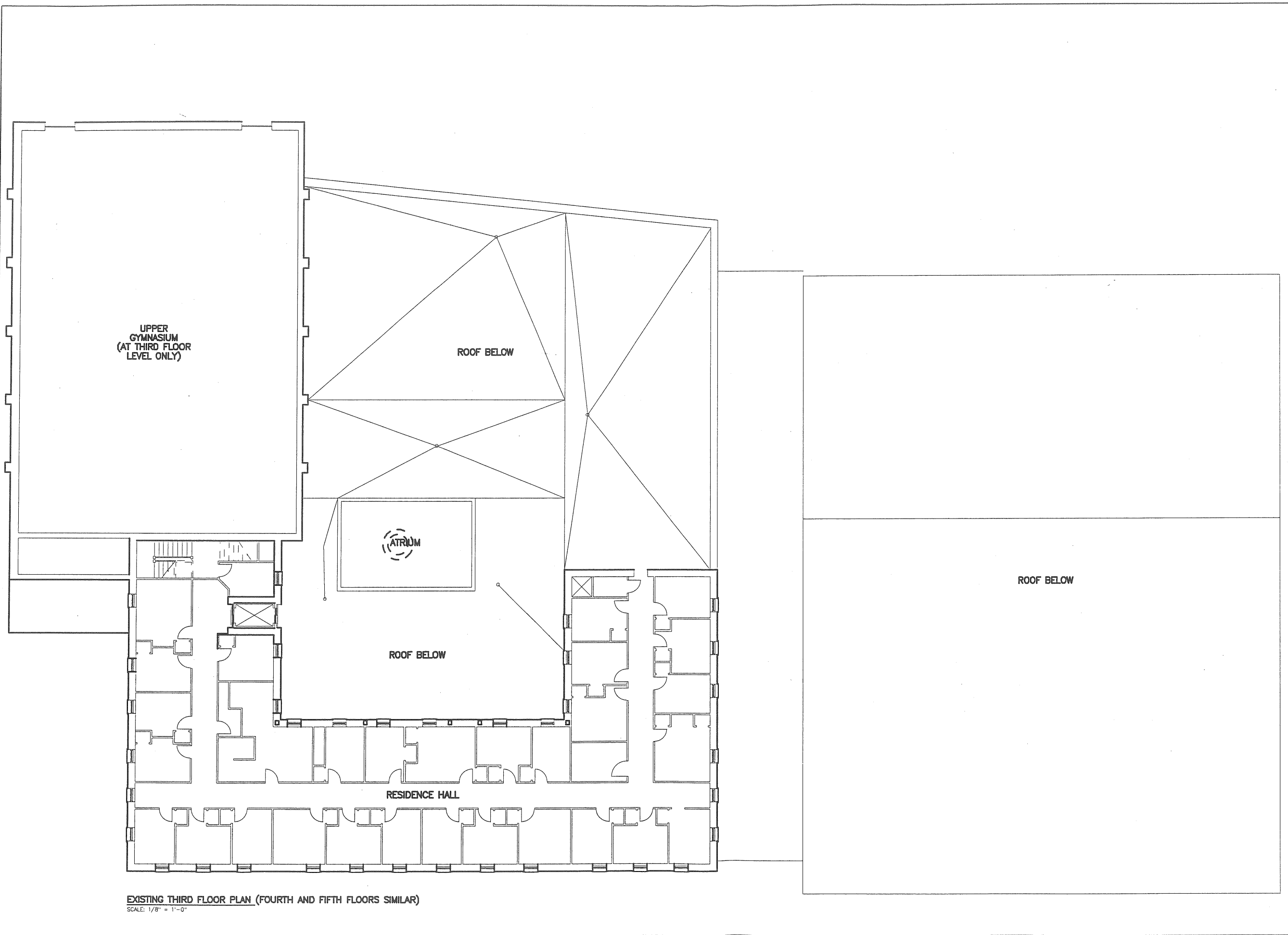
Date: January 27, 2004

Revisions:

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- △
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- △

Drawing Number:

**EX1.3**

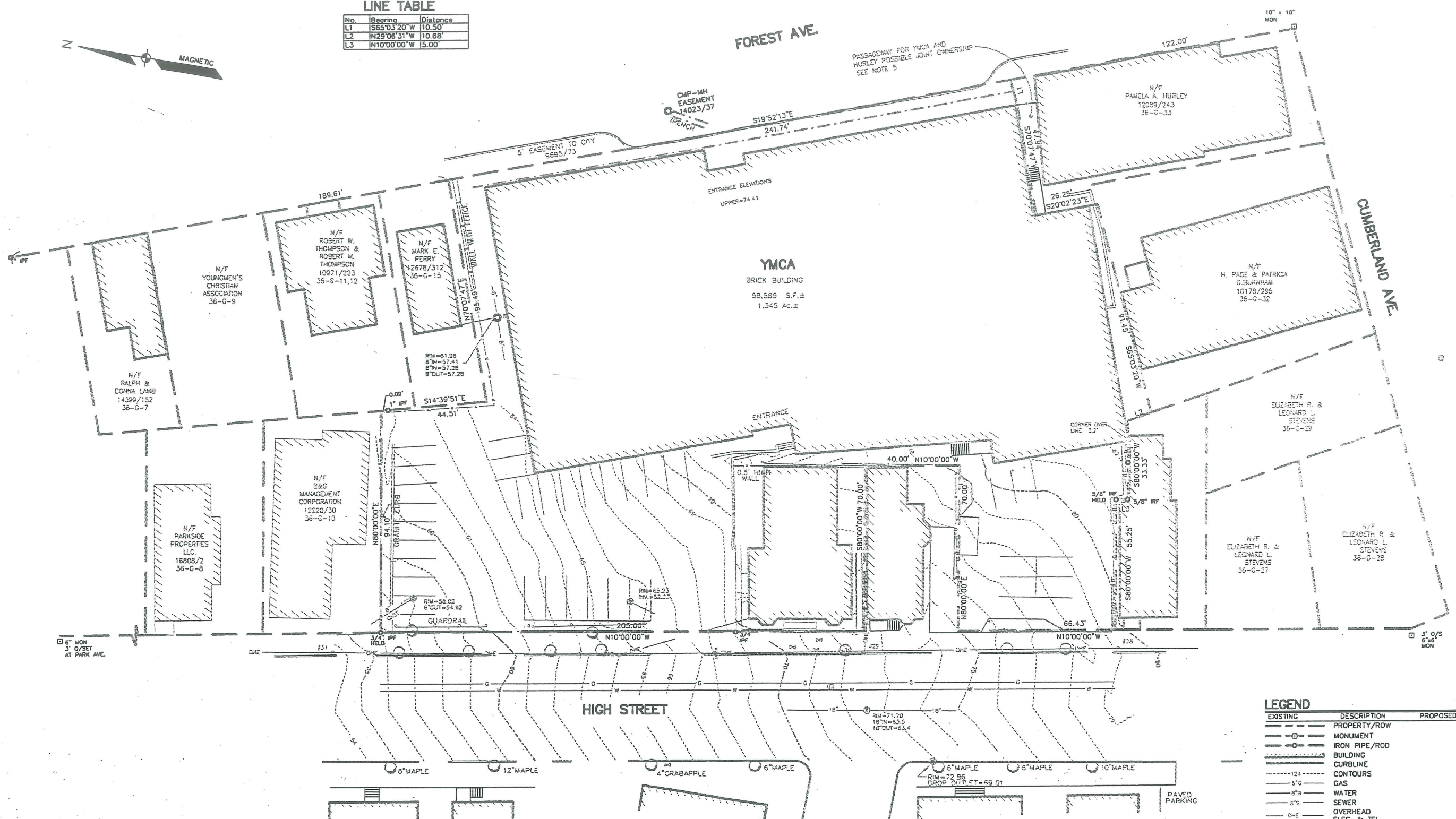
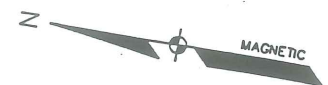


EXISTING THIRD FLOOR PLAN (FOURTH AND FIFTH FLOORS SIMILAR)  
SCALE: 1/8" = 1'-0"

3.4 g

**LINE TABLE**

No.	Bearing	Distance
L1	S65°03'20"W	10.50'
L2	N29°06'31"W	10.68'
L3	N10°00'00"W	5.00'



**LEGEND**

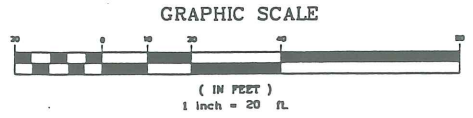
EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
—○—	MONUMENT	—○—
—●—	IRON PIPE/ROD	—●—
—■—	BUILDING	—■—
—	CURBLINE	—
---	CONTOURS	---
---	GAS	---
---	WATER	---
---	SEWER	---
---	OVERHEAD ELEC. & TEL.	---
—x—	GATE VALVE	—x—
—○—	UTILITY POLE	—○—
—	HYDRANT	—
—	CATCH BASIN	—
—○—	MANHOLE	—○—
—	BARB WIRE FENCE	—
—○—	DECIDUOUS TREE	—○—
—	GUARDRAIL	—

**NOTES:**

- OWNERS OF RECORDS AND TAX LOTS:  
 36-6-20 YMCA 1171/142; 1153/136; 1212/215; 2871/101; 2848/29; 2844/324; 2737/458; 2511/398; 2353/261 AND 265  
 36-G-22 YMCA 11506/288  
 36-G-24,25 YMCA 9007/106  
 36-G-21 YMCA 14105/1
- BEARINGS ARE MAGNETIC 1999.
- ELEVATIONS ARE BASED ON CITY DATUM.
- UTILITY SHOWN ARE BASED ONLY ON PLANS AND STRUCTURES FOUND. NO INVESTIGATION INTO SERVICE LINES HAS BEEN MADE. A PORTLAND WATER DISTRICT PLAN SHOWS A SERVICE FOR THE YMCA COMING FROM FOREST AVE.
- SEE DEEDS IN 1212/215 AND 1212/217 WHICH APPEAR TO HAVE CREATED TWO 5 FOOT STRIPS OF LAND. ONE STRIP OWNED BY YMCA IS ADJACENT TO THE HURLEY BUILDING. THE OTHER STRIP OWNED BY HURLEY IS ADJACENT TO THE YMCA BUILDING. HOWEVER THE STATED INTENT OF THE TWO DEEDS IS "TO MAKE A PASSAGEWAY TO BE USED IN COMMON".

**PLAN REFERENCES:**

- SURVEY BY E.C. JORDAN SURVEYORS 1903,1923,1925,1938, AND 1945.
- PLAN FOR R. HIGHT RINES AND YMCA BY PERCY H. RICHARDSON RECORDED WITH DEED BOOK 1212 PAGE 215.
- PLAN REFERENCE OWEN HASKELL



**UTILITY NOTE:**

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STATUS: SUBMITTED FOR CONTRACT ZONING

DATE: 1-27-04

BY: JRS

REV: A

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 One Chocot Street  
 Westbrook, ME 04090-1339  
 Tel (207) 658-0277

PROJECT NO: 98861  
 FIELD BOOK: DESIGN  
 CHKD: CLB  
 DRAWN: JNB

**EXISTING CONDITIONS PLAN**  
**GREATER PORTLAND YMCA MASTER PLAN**  
 HIGH STREET  
 PORTLAND, MAINE  
 FOR:  
**GREATER PORTLAND YMCA** (C/O CUMBERLAND COUNTY YMCA)  
 70 FOREST AVENUE  
 PORTLAND, ME 04101

DATE	SCALE
12-29-03	1"=20'

3313  
3258  
3715



STREET

HIGH

PROPERTY OWNED BY  
THE YMCA



Master Redevelopment Plan

The redevelopment plan revolves around the construction of the 32 unit four story apartment building. The new apartments allow the Y to replace the 18 units to be demolished and add an additional 14 units to the Portland housing stock. With the replacement of housing and the demolition of the two buildings, there will be room for the construction of the new entrance and the reconfigured parking lot.

32 Unit Efficiency Apartment Building: Working in conjunction with the Maine State Housing Authority, the Y has been awarded a \$3.5 million grant to create 32 units of affordable housing. The proposed structure is to be located in the lower parking lot at 223-233 High Street.

The Y has created a building design committee comprised of Y board members, staff, Parkside neighbors and Greater Portland Landmarks with the goal of designing a project that will be in keeping with the character of the neighborhood. This committee will continue to meet and develop exterior designs that will be presented to all interested parties for their review and comments.

1. Exterior Details
  - a. Four story steel and concrete slab construction with a partial basement for utilities and laundry. Approximately 25,000 square feet.
  - b. Exterior siding to be brick with granite window headers.
  - c. Front façade will face directly onto High Street and will be brought to the sidewalk with large granite front steps.
  - d. Two ADA entrances will be provided on the front side and a rear door will connect directly to the elevator.
  
2. Interior Details.
  - a. Eight residential units per floor.
  - b. Each unit to have private bathroom, efficiency kitchen and living room/bedroom.
  - c. Common areas provided on each level.
  
3. Leasing, management and security will be overseen by the Y director of housing services.
  
4. Minimum lot dimensions.
  - a. Front Yard: Principal Structure five (5) feet with zero (0) for porches and steps.
  - b. Side Yard: 5 feet.
  - c. Rear yard: 5 Feet.
  - d. Maximum Lot Coverage: Ninety (90) percent.
  - e. Minimum lot width: Fifty (50) feet.

- f. Non-impervious area: One Hundred (100) percent.
- g. Height: Sixty (60) feet.

Demolition of 217 and 219-221 High Street: The master plan calls for the removal of these two buildings with the lost housing units to be transferred to the new building. Depending upon how units are counted, there are at most eighteen living units being removed and replaced with 32 units for a net gain of 14 units. The existing units to be removed are significantly deficient and the new units while smaller, will be of much higher quality. During the construction process, the Y will provide alternative housing for all of our displaced tenants.

Renovations to the High Street side of 70 Forest Avenue. The Y plans to construct a new 2,500 square foot addition to the rear of 70 Forest Avenue. This addition will solve a number of significant problems facing the facility. This new bright and sunny entrance will become the new "Front Door" to the Y and will facilitate the creation of an ADA compliant entrance and connections to the two main wings. It will also provide safe and secure egress and ingress for members and help solve internal circulation and stairway problems. Most importantly, parents can drop off the children and see them check in at the reception desk in a safe and well lighted environment.

This component of the master plan will be undertaken simultaneously with the apartment building. The Y has been successful in its early fund raising and has on hand, pending all approvals, sufficient funding to complete this part of the project. Like the apartment building, the Y has opened up the Building Design Committee to the public and has drawn members from the neighborhood.

Parking Lot Plan: The proposed site plan for the parking lots will greatly improve safety and convenience for our members, guest and the general public. Instead of four driveways, there will be two with room for vehicle stacking and angled ingress and egress more in line with the flow of traffic on High Street. The re-graded lot will provide three handicap parking spaces with legal grades instead of the current 8%.

Sidewalk and Streetscape Improvements: The Y proposes to remove two curb cuts, make sidewalk repairs, plant new street trees and construct a new black metal fence with brick bollards. Between the new handicap parking spaces will be a new ADA friendly pedestrian entrance from the sidewalk directly to the new entrance. This element is also under review by the Building Design Committee

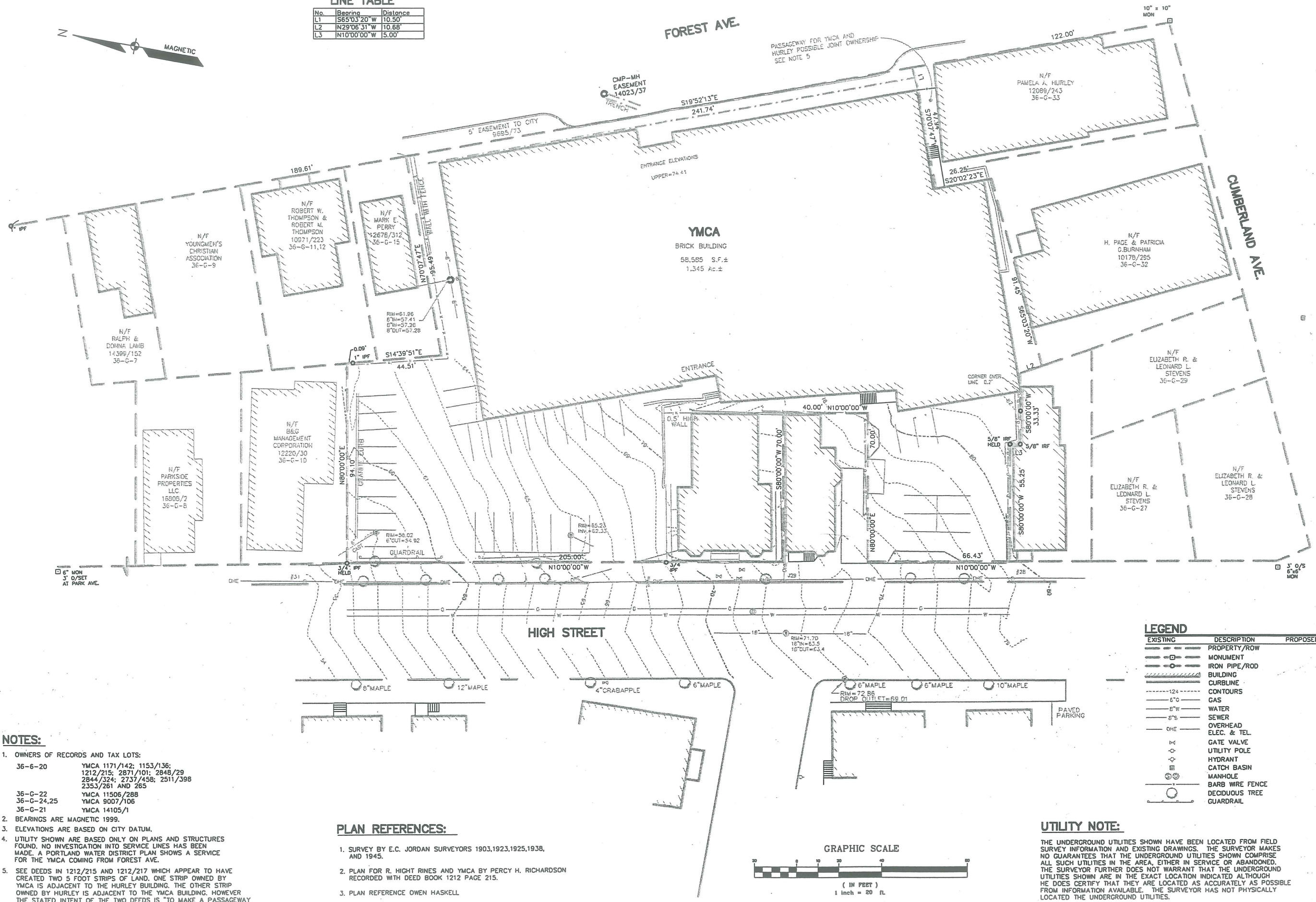
Lighting: The lighting plan will include replacement of the existing wall packs with cut off lights, building down lighting and additional parking lot lights if necessary.

Signage: The Y proposes to install a new entrance sign at the upper parking lot entrance.

3.5c

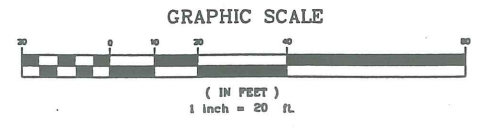
**LINE TABLE**

No.	Bearing	Distance
L1	S65°03'20"W	10.50'
L2	N29°06'31"W	10.68'
L3	N10°00'00"W	5.00'



- NOTES:**
- OWNERS OF RECORDS AND TAX LOTS:
    - 36-6-20 YMCA 1171/142; 1153/136; 1212/215; 2871/101; 2848/29; 2844/324; 2737/458; 2511/398; 2353/261 AND 265
    - 36-G-22 YMCA 11506/288
    - 36-G-24,25 YMCA 9007/106
    - 36-G-21 YMCA 14105/1
  - BEARINGS ARE MAGNETIC 1999.
  - ELEVATIONS ARE BASED ON CITY DATUM.
  - UTILITY SHOWN ARE BASED ONLY ON PLANS AND STRUCTURES FOUND. NO INVESTIGATION INTO SERVICE LINES HAS BEEN MADE. A PORTLAND WATER DISTRICT PLAN SHOWS A SERVICE FOR THE YMCA COMING FROM FOREST AVE.
  - SEE DEEDS IN 1212/215 AND 1212/217 WHICH APPEAR TO HAVE CREATED TWO 5 FOOT STRIPS OF LAND, ONE STRIP OWNED BY YMCA IS ADJACENT TO THE HURLEY BUILDING. THE OTHER STRIP OWNED BY HURLEY IS ADJACENT TO THE YMCA BUILDING. HOWEVER THE STATED INTENT OF THE TWO DEEDS IS "TO MAKE A PASSAGEWAY TO BE USED IN COMMON".

- PLAN REFERENCES:**
- SURVEY BY E.C. JORDAN SURVEYORS 1903,1923,1925,1938, AND 1945.
  - PLAN FOR R. HIGHT RINES AND YMCA BY PERCY H. RICHARDSON RECORDED WITH DEED BOOK 1212 PAGE 215.
  - PLAN REFERENCE OWEN HASKELL



**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
○	MONUMENT	○
—○—	IRON PIPE/ROD	—○—
▬	BUILDING	▬
—	CURBLINE	—
---	CONTOURS	---
---	GAS	---
---	WATER	---
---	SEWER	---
---	OVERHEAD ELEC. & TEL	---
⊗	GATE VALVE	⊗
⊕	UTILITY POLE	⊕
⊕	HYDRANT	⊕
⊕	CATCH BASIN	⊕
⊕	MANHOLE	⊕
⊕	BARB WIRE FENCE	⊕
○	DECIDUOUS TREE	○
---	GUARDRAIL	---

**UTILITY NOTE:**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

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Watbrook, ME 04986-1339  
Tel (207) 686-0777

PROJECT NO: FIELD BOOK DESIGN CHKD DRAWN  
98661

DATE: 1-27-04  
BY: JRS  
STATUS: SUBMITTED FOR CONTRACT ZONING

**EXISTING CONDITIONS PLAN**  
OF:  
**GREATER PORTLAND YMCA MASTER PLAN**  
HIGH STREET  
PORTLAND, MAINE  
FOR:  
**GREATER PORTLAND YMCA** (C/O CUMBERLAND COUNTY YMCA)  
70 FOREST AVENUE  
PORTLAND, ME 04101

DATE: 12-29-03  
SCALE: 1"=20'

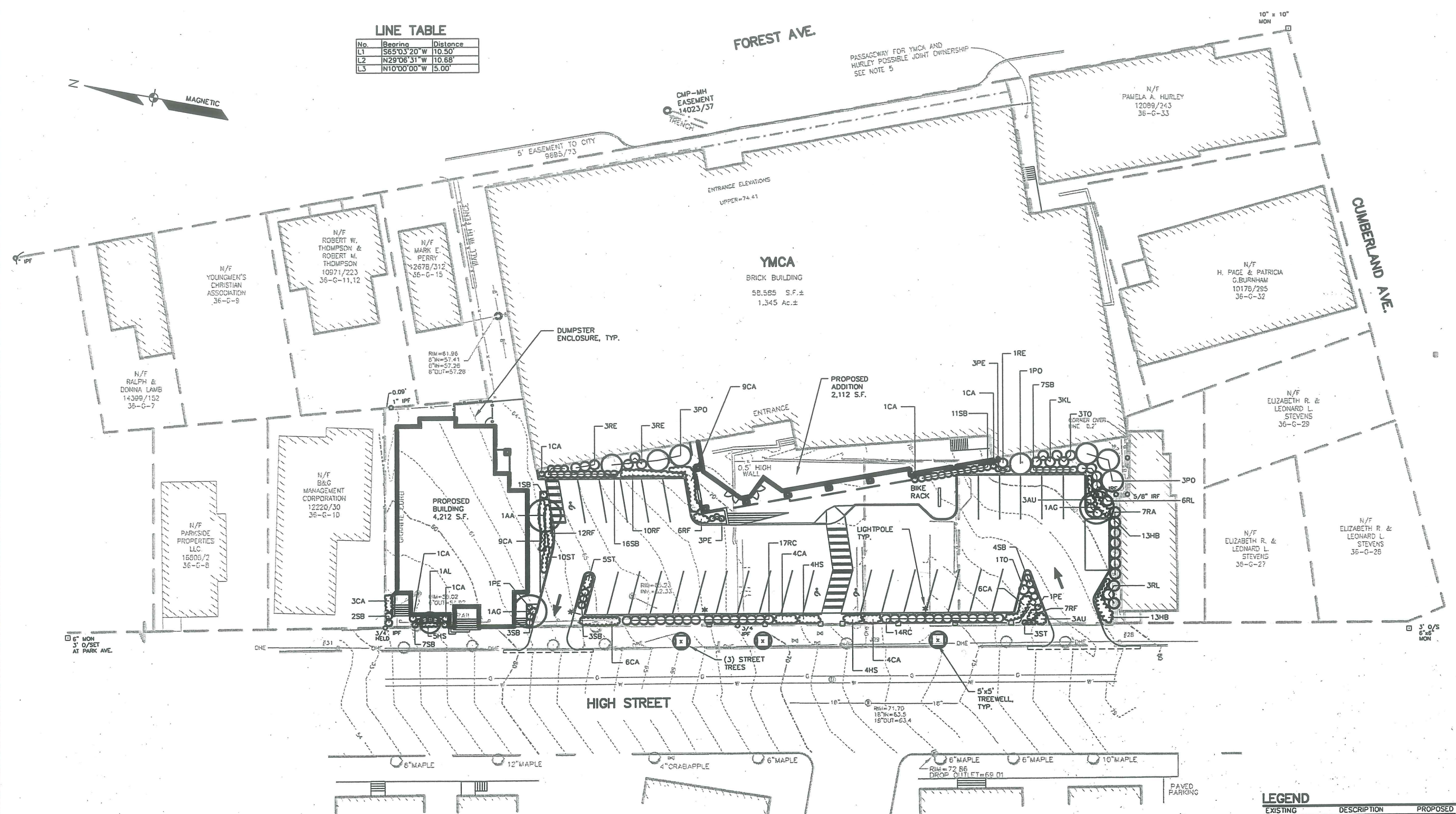
**SHEET 1 OF 3**



3.5d

**LINE TABLE**

No.	Bearing	Distance
L1	S65°03'20" W	10.50'
L2	N29°06'31" W	10.66'
L3	N10°00'00" W	5.00'

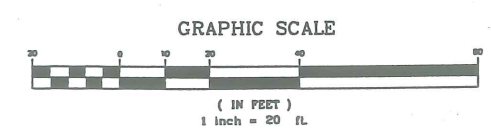


**PLANT LIST**

KEY	BOTANICAL NAME	COMMON NAME	SIZE
AA	ACER X FREEMANII 'ARMSTRONG'	ARMSTRONG RED MAPLE	2" CAL.
AG	AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	8"-10" HGT. (LIMB UP)
AU	ARCTOSTAPHYLOS UVA-URSI	BEARBERRY	NO. 1 CONT.
CA	CALAMAGROSTIS X ACUTIFOLIA 'KARL FOERSTER'	KARI FOERSTERS FEATER REED GRASS	NO. 1 CONT.
HB	HOSTA TARDIANA 'HADSPEN BLUE'	HADSPEN BLUE HOSTA	NO. 1 CONT.
HS	HOSTA 'SUNPOWER'	SUNPOWER HOSTA	NO. 1 CONT.
KL	KALMIA LATIFOLIA	MOUNTAIN LAUREL	24"-30"
RA	RHODODENDRON 'ALGO'	ALGO RHODODENDRON	24"-30"
RC	ROSA 'CAREFREE WONDER'	CAREFREE WONDER ROSE	NO. 2 CONT.
RE	RHODODENDRON 'ENGLISH ROSEUM'	ENGLISH ROSEUM RHODODENDRON	24"-30"
RL	RHODODENDRON LAETEVIRENS	WILSON RHODODENDRON	24"-30"
SB	SPIREA X BUMALDA 'GOLD FLAME'	GOLD FLAME SPIRAEA	15"-18"
TO	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	6"-7" HGT. (SEE PLAN FOR HGT.)
PO	PICEA OMORIKA	SERBIAN SPRUCE	NO. 1 CONT.
PE	PENNISETUM ALOPECUROIDES 'HAMEL'	DWARF FOUNTAIN GRASS	NO. 1 CONT.
ST	SEDUM TELEPHIUM 'PURPLE EMPEROR'	PURPLE EMPEROR STONE CROP	NO. 1 CONT.
RF	RUDBECKIA FULGIDA 'GOLDSTURM'	GOLDSTURM BLACK-EYED SUSAN	NO. 1 CONT.

**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
—○—	MONUMENT	—○—
—●—	IRON PIPE/ROD	—●—
— —	BUILDING	— —
— —	CURBLINE	— —
---	CONTOURS	---
---	GAS	---
---	WATER	---
---	SEWER	---
—O—	OVERHEAD ELEC. & TEL.	—O—
—V—	GATE VALVE	—V—
—U—	UTILITY POLE	—U—
—H—	HYDRANT	—H—
—B—	CATCH BASIN	—B—
—M—	MANHOLE	—M—
—W—	BARB WIRE FENCE	—W—
—D—	DECIDUOUS TREE	—D—
—G—	GUARDRAIL	—G—
—L—	LIGHT POLE	—L—



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 Portland, ME 04101  
 Tel (207) 858-0277

PROJECT NO. FIELD BOOK DESIGN CHKD DRAWN  
 98661 JRS BCY JNB

DATE: 1-27-04  
 STATUS: SUBMITTED FOR CONTRACT ZONING

REV: BY: JRS  
 THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

**LANDSCAPE PLAN**  
 OF  
**GREATER PORTLAND YMCA MASTER PLAN**  
 HIGH STREET  
 PORTLAND, MAINE

FOR:  
**GREATER PORTLAND YMCA** (C/O CUMBERLAND COUNTY YMCA)  
 70 FOREST AVENUE  
 PORTLAND, ME 04101

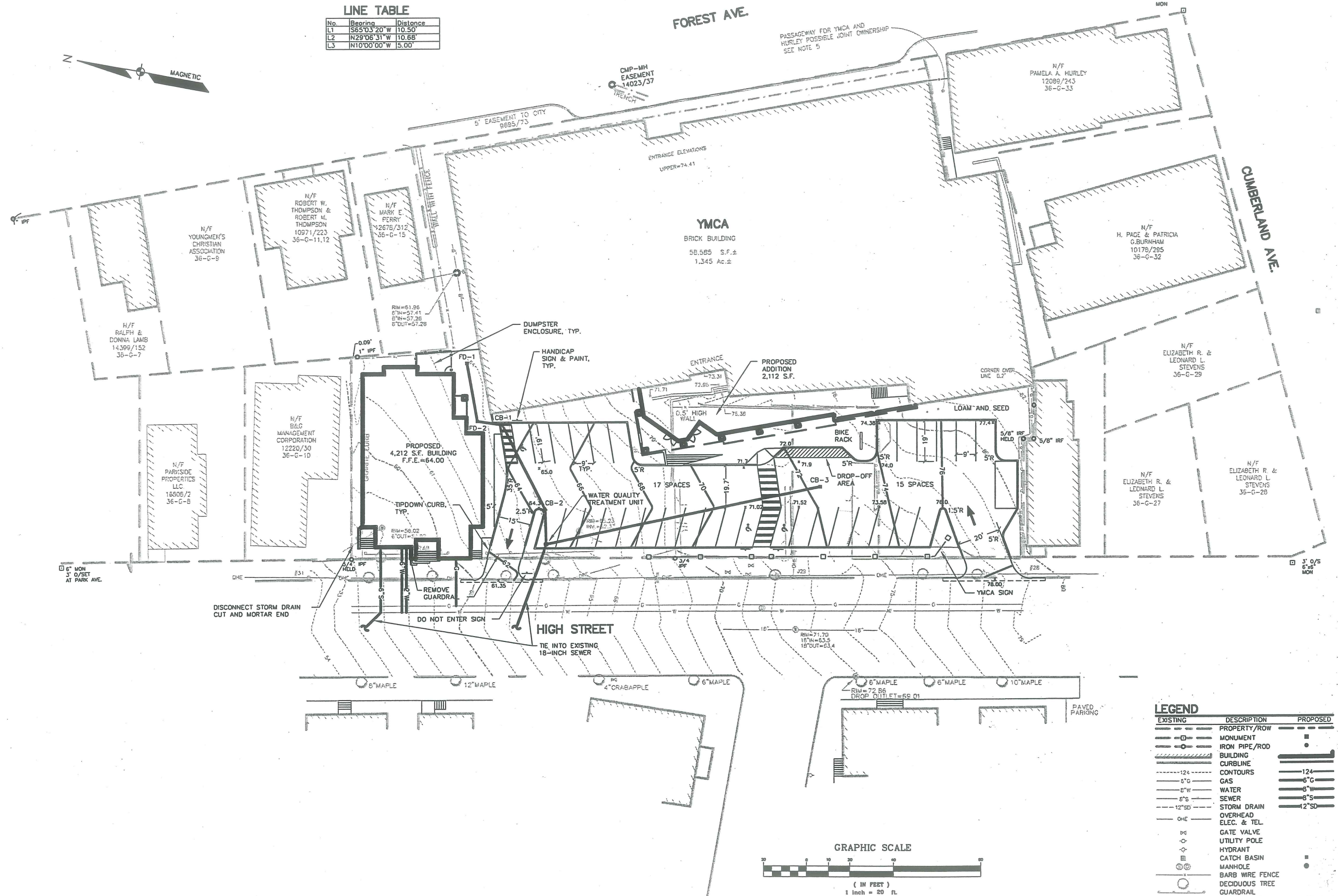
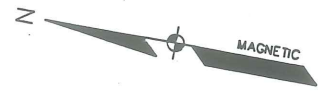
DATE: 12-29-03 SCALE: 1"=20'

SHEET 3 OF 3

3.5e

**LINE TABLE**

No.	Bearing	Distance
L1	S65°03'20" W	10.50'
L2	N29°06'31" W	10.68'
L3	N10°00'00" W	15.00'



REV.	BY:	DATE:	STATUS:
1	JRS	1-27-04	SUBMITTED FOR CONTRACT ZONING

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

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 Tel (207) 858-0277

PROJECT NO. FIELD BOOK DESIGN CHKD DRAWN  
 98661 JRS BGY JNB

**SITE, GRADING, & UTILITIES PLAN**  
 OF:  
**GREATER PORTLAND YMCA MASTER PLAN**  
 HIGH STREET  
 PORTLAND, MAINE

FOR:  
**GREATER PORTLAND YMCA** (C/O CUMBERLAND COUNTY YMCA)  
 70 FOREST AVENUE  
 PORTLAND, ME 04101

DATE: 12-29-03 SCALE: 1"=20'

30x20 30x20

**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
—○—	MONUMENT	—○—
—●—	IRON PIPE/ROD	—●—
—■—	BUILDING	—■—
—	CURBLINE	—
---	CONTOURS	---
---	12" GAS	---
---	6" GAS	---
---	6" WATER	---
---	6" SEWER	---
---	12" STORM DRAIN	---
—○—	OVERHEAD ELEC. & TEL	—○—
—○—	GATE VALVE	—○—
—○—	UTILITY POLE	—○—
—○—	HYDRANT	—○—
—○—	CATCH BASIN	—○—
—○—	MANHOLE	—○—
—○—	BARB WIRE FENCE	—○—
—○—	DECIDUOUS TREE	—○—
—○—	GUARDRAIL	—○—
—○—	SPOT GRADE	—○—

3.5



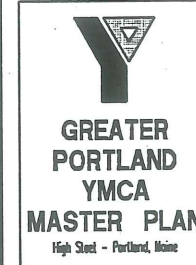
CWS Architects

Architecture  
Space Planning  
Value Design

634 Cumberland Avenue  
Portland, ME 04101  
Phone: (207) 774-4441  
Fax: (207) 774-1010  
www.CWSArch.com

Owner:  
**CUMBERLAND  
COUNTY YMCA**  
70 Forest Avenue Portland, Maine 04101  
207 871-1111

Contractor:



Project No: 01.004 YMP

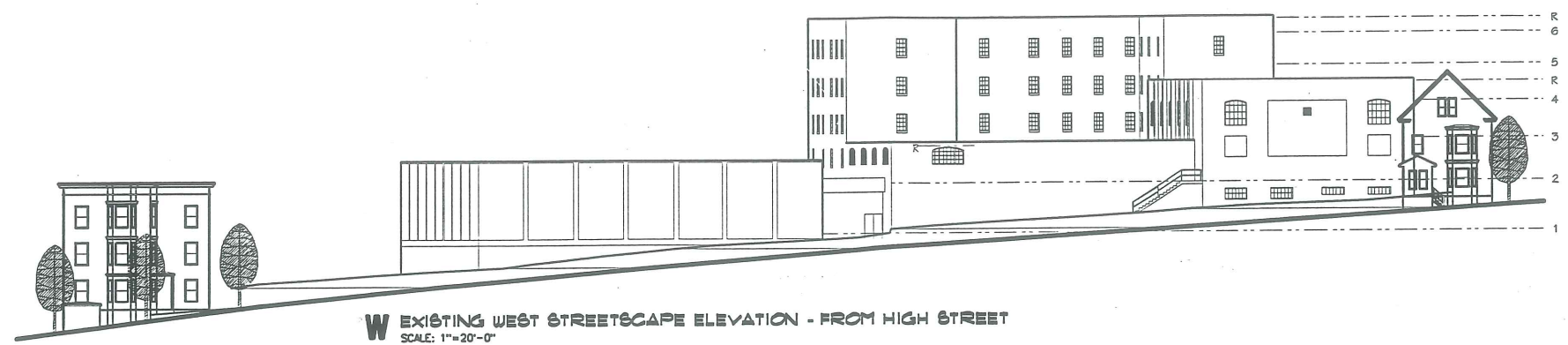
Drawing Title:  
**PROPOSED  
SITE ELEVATIONS**

Scale: 1" = 20'-0"  
Date: January 27, 2004

- Revisions:
- △
  - △
  - △
  - △
  - △
  - △

Drawing Number:

**A3.1**



**W EXISTING WEST STREETSCAPE ELEVATION - FROM HIGH STREET**  
SCALE: 1"=20'-0"



**W CONCEPT WEST STREETSCAPE ELEVATION - FROM HIGH STREET**  
SCALE: 1"=20'-0"

NOTE: THE YMCA HAS INVITED THE PARKSIDE NEIGHBORHOOD ASSOCIATION AND PORTLAND LANDMARKS TO PARTICIPATE IN THE PROCESS OF DEFINING FUNDAMENTAL SITE AND BUILDING DESIGN COMPONENTS, FEATURES AND DETAILING. OUT OF REPECT FOR THIS PROCESS, THE CONCEPT DESIGNS REPRESENTED HEREIN ARE PRELIMINARY AND INCLUDED SOLELY TO DEMONSTRATE BASIC BUILDING MASSING AND FUNCTIONALITY. THE PARTICIPATORY DESIGN REVIEW COMMITTEE PROCESS WILL LIKELY RESULT IN MODIFICATIONS TO EXTERIOR SITE AND BUILDING DESIGN AND DETAILING THAT INCORPORATE THE OBJECTIVES OF THE BOTH THE YMCA AND THE COMMUNITY.

3.5g

**CWS**

CWS Architects

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Space Planning  
Value Design

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Client:  
**CCYSRO, L.P.**  
c/o Cumberland County YMCA  
70 Forest Avenue Portland, Maine 04101  
(207) 874-1111

Contractor:



**YMCA**  
Apartments  
at 231  
High Street  
Portland, Maine

Project No: 03.403 YSH

Drawing Title:  
**BUILDING FRONT  
ELEVATION**

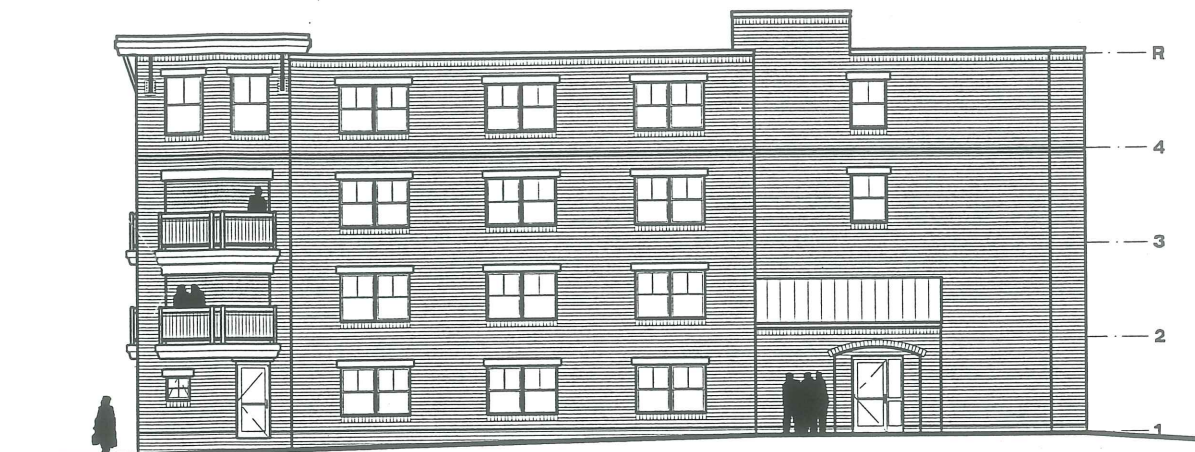
Scale: 1/4" = 1'-0"  
Date: January 27, 2004

- Revisions:
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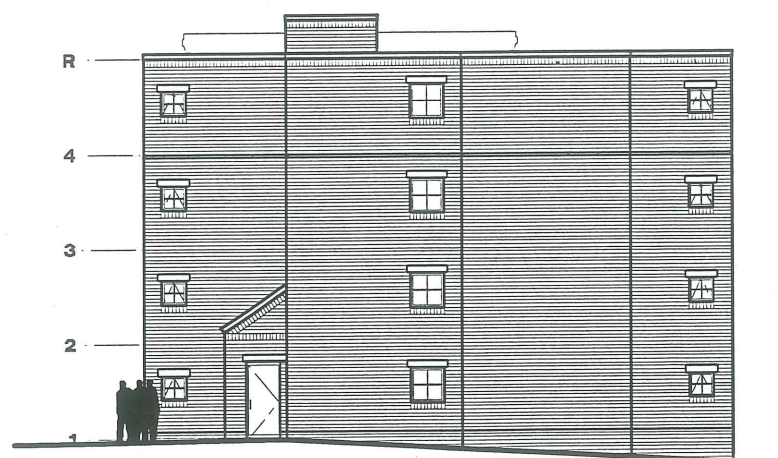
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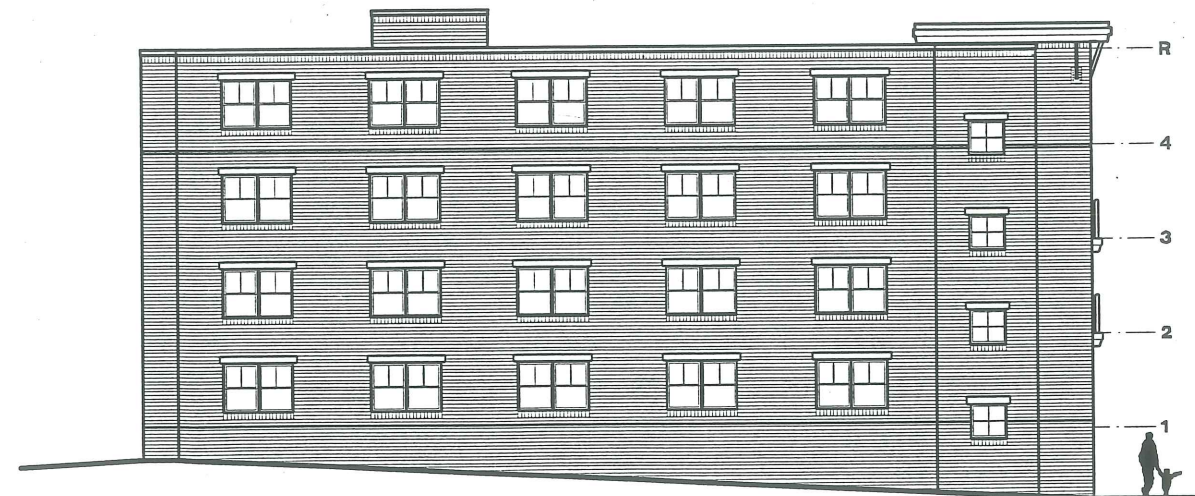
**FRONT BUILDING ELEVATION  
FROM HIGH STREET**



**RIGHT SIDE BUILDING ELEVATION  
FROM YMCA PARKING LOT**



**REAR BUILDING ELEVATION**



**LEFT SIDE BUILDING ELEVATION**

NOTE: THE YMCA HAS INVITED THE PARKSIDE NEIGHBORHOOD ASSOCIATION AND PORTLAND LANDMARKS TO PARTICIPATE IN THE PROCESS OF DEFINING FUNDAMENTAL SITE AND BUILDING DESIGN COMPONENTS, FEATURES AND DETAILING. OUT OF RESPECT FOR THIS PROCESS, THE CONCEPT DESIGNS REPRESENTED HEREIN ARE PRELIMINARY AND INCLUDED SOLELY TO DEMONSTRATE BASIC BUILDING MASSING AND FUNCTIONALITY. THE PARTICIPATORY DESIGN REVIEW COMMITTEE PROCESS WILL LIKELY RESULT IN MODIFICATIONS TO EXTERIOR SITE AND BUILDING DESIGN AND DETAILING THAT INCORPORATE THE OBJECTIVES OF BOTH THE YMCA AND THE COMMUNITY.

3.5a



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Space Planning  
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134 Cumberland Avenue  
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Owner:

**CCYSRO, L.P.**  
c/o Cumberland County YMCA  
70 Forest Avenue, Portland, Maine 04101  
(207) 874-1111

Contractor:



**YMCA**  
Apartments  
at 231  
High Street  
High Street - Portland, Maine

Project No: 03.403 YSH

Drawing Title:

**BUILDING  
FLOOR PLANS**

Scale: 1/8" = 1'-0"

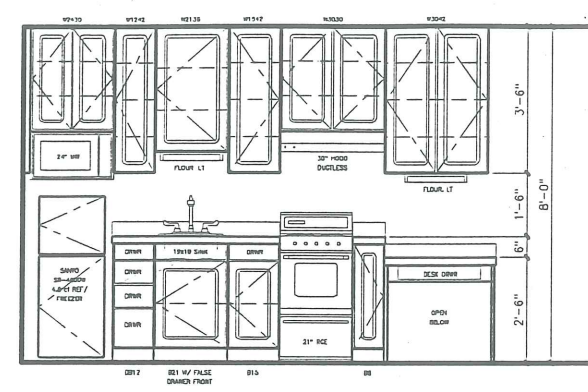
Date: January 27, 2004

Revisions:

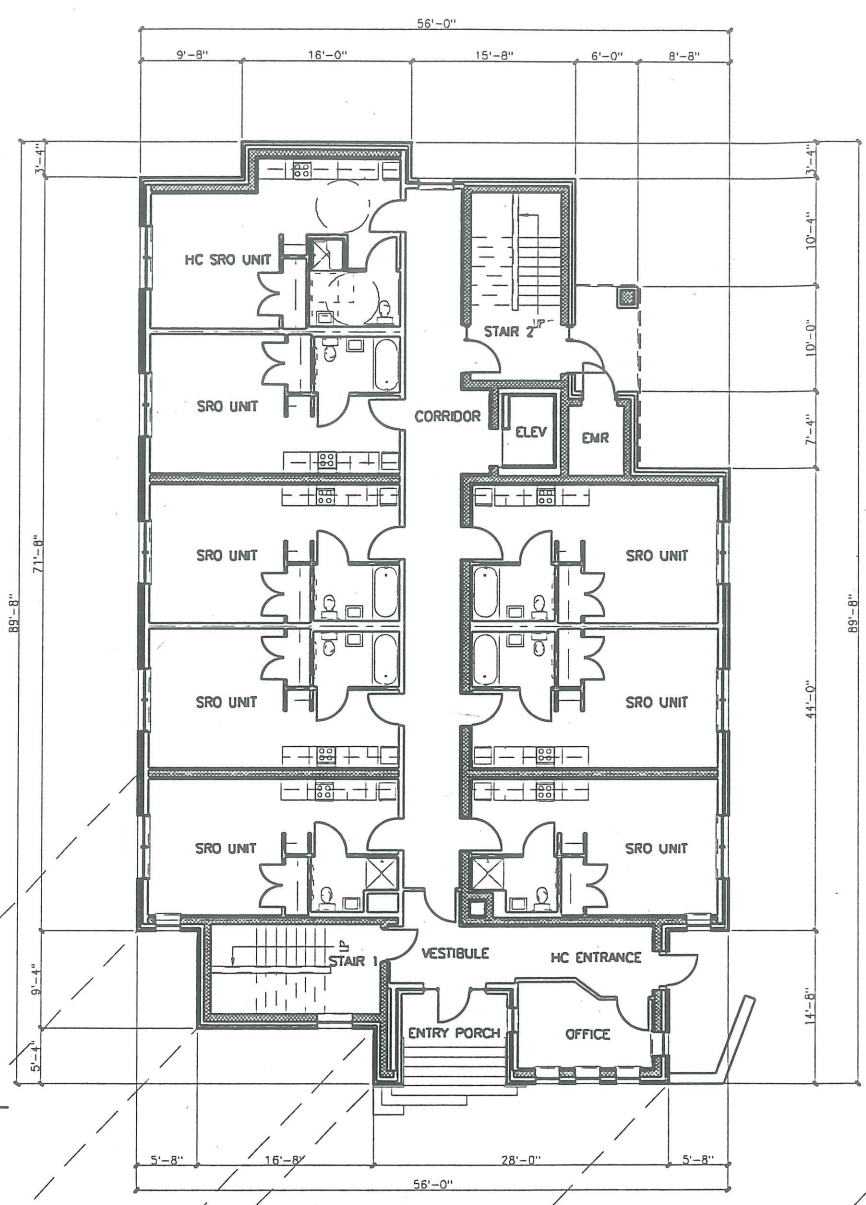
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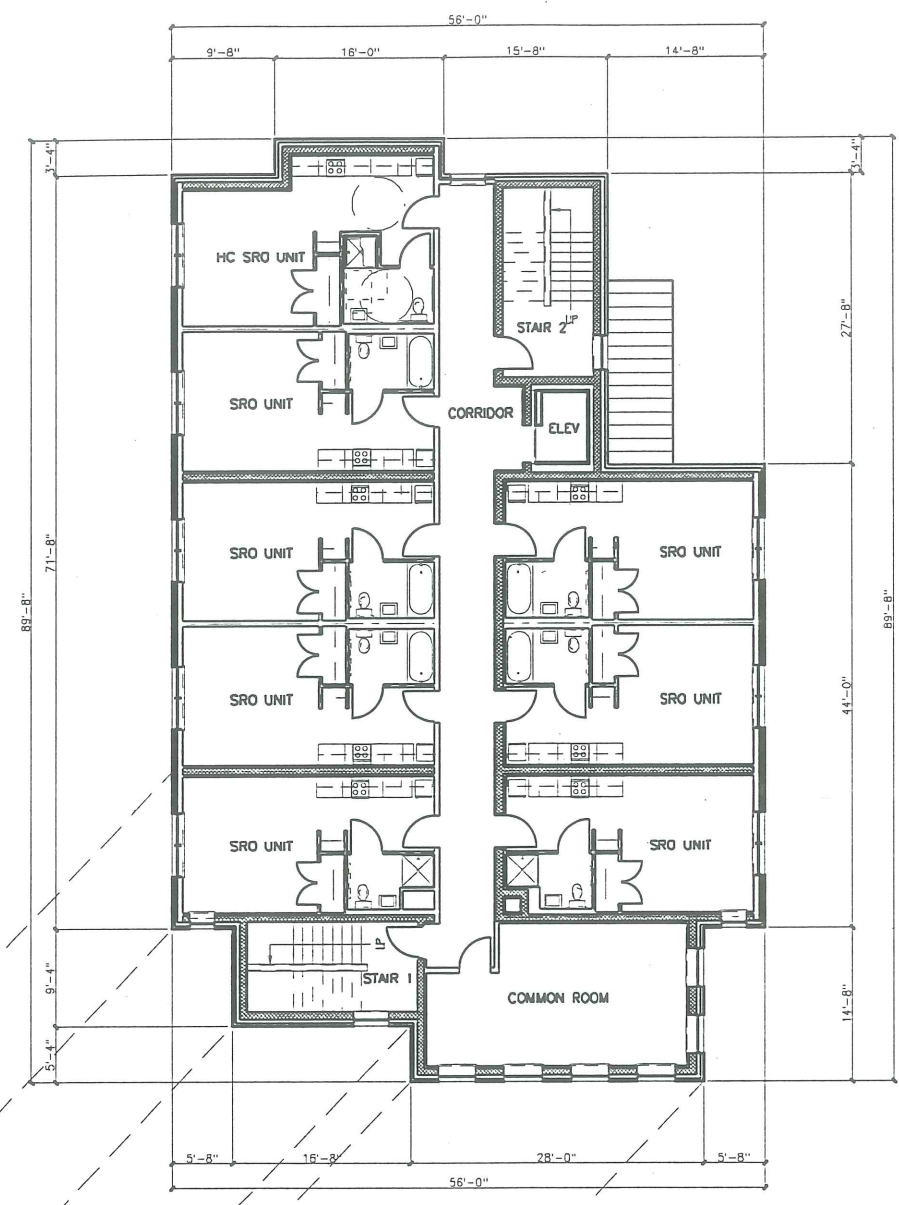
**A1.1**



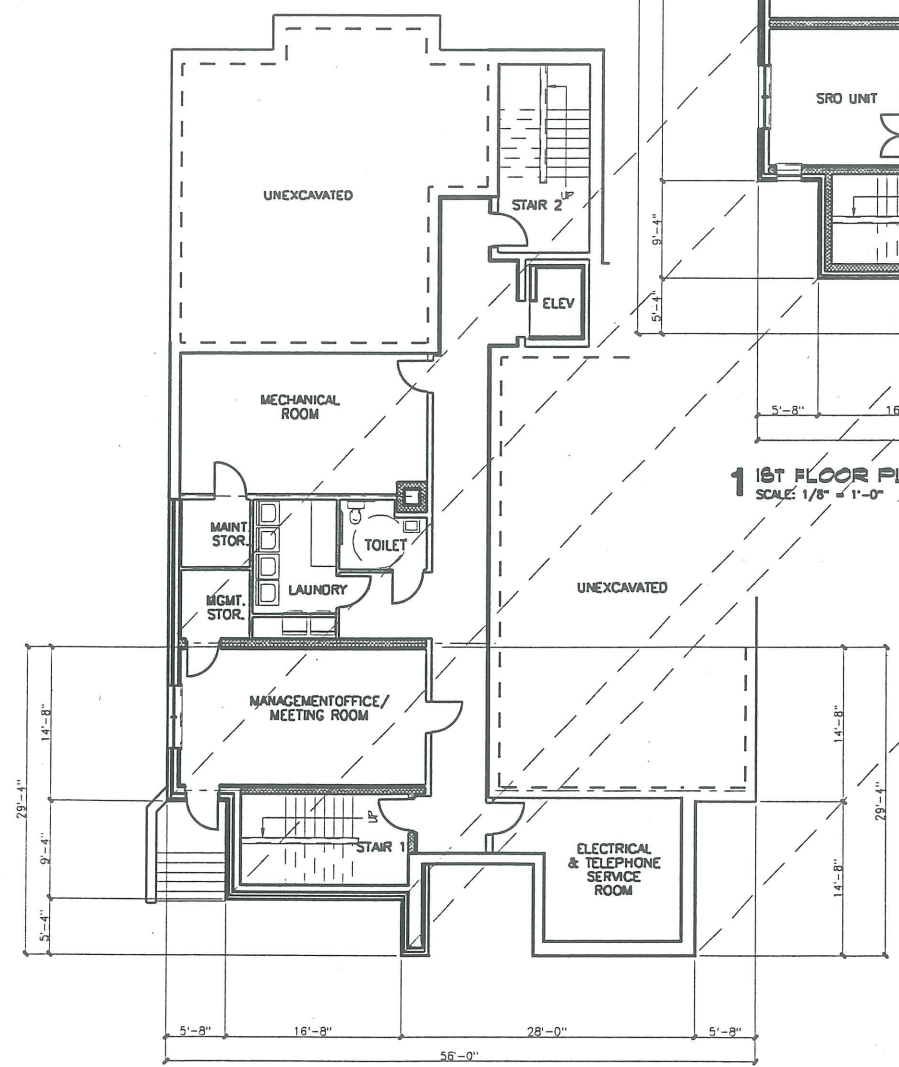
**K TYPICAL UNIT KITCHEN ELEVATION**  
SCALE: 1/2" = 1'-0"



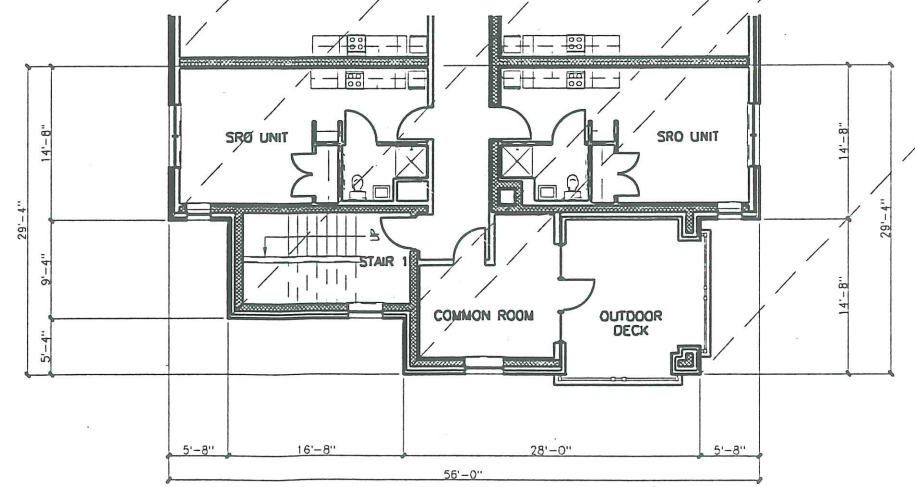
**1 1ST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**4 4TH FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



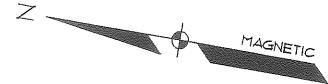
**B BASEMENT FLOOR PLAN (PARTIAL)**  
SCALE: 1/8" = 1'-0"



**2-3 2ND & 3RD PARTIAL FLOOR PLANS (PARTIAL, 4TH FLR. SIM.)**  
SCALE: 1/8" = 1'-0"

**LINE TABLE**

No.	Bearing	Distance
L1	S65°23'20"W	105.0'
L2	N29°06'31"W	106.8'
L3	N10°00'00"W	5.00'



FOREST AVE.

10" x 10" MON

CMP-MH EASEMENT 44023/37 TRENCH

PASSAGEWAY FOR YMCA AND HURLEY POSSIBLE JOINT OWNERSHIP SEE NOTE 5

ENTRANCE ELEVATIONS UPPER=74.41

**YMCA**  
BRICK BUILDING  
58,585 S.F. ±  
1.345 Ac. ±

N/F PAMELA A. HURLEY 12089/243 36-G-33

N/F H. PAGE & PATRICIA G. BURNHAM 10178/295 36-G-32

CUMBERLAND AVE.

N/F YOUNG MEN'S CHRISTIAN ASSOCIATION 36-G-9

N/F ROBERT W. THOMPSON & ROBERT M. THOMPSON 10971/223 36-G-11.12

N/F MARK E. HERRY 12678/312 36-G-15

N/F RALPH & DONNA LAMB 14399/152 36-G-7

N/F B&G MANAGEMENT CORPORATION 12220/30 36-G-10

N/F PARKSIDE PROPERTIES LLC 16908/2 36-G-8

N/F ELIZABETH R. & LEONARD L. STEVENS 36-G-29

N/F ELIZABETH P. & LEONARD L. STEVENS 36-G-27

N/F ELIZABETH R. & LEONARD L. STEVENS 36-G-28

PROPOSED 4212 SF. BUILDING F.F.E.=62.5  
TRANSITION LOW REVEAL VERT. GRANITE CURB TO MATCH FLUSH TIPDOWN CURB, TYP.  
ADD NEW VERT. GRANITE CURB  
RIM=58.02 6" OUT=54.92

DUMPSTER ENCLOSURE, TYP.  
HANDICAP SIGN & PAINT, TYP.

PROPOSED ADDITION 2221 SF.

BIKE RACK CURB FLUSH

LOAM AND SEED

RETAINING WALL

TOP OF WALL SHELF 81.0

TOP OF SHELF 80.5

TOP OF WALL SHELF 80.0

TOP OF WALL SHELF 79.5

TOP OF WALL SHELF 79.0

DISCONNECT STORM DRAIN CUT AND MORTAR END  
END OF SIDEWALK REPAIR CONSTRUCTION LIMITS  
TIE INTO EXISTING 18-INCH SEWER

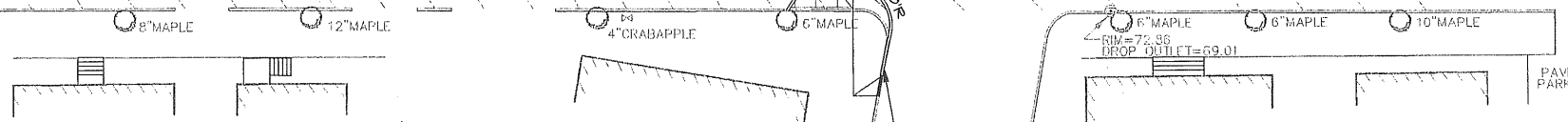
REMOVE STRAIGHT CURB SECTION, INSTALL TIPDOWNS

DO NOT ENTER SIGN  
TIE INTO EXISTING 18-INCH SEWER

REMOVE TIPDOWNS CLOSE ENTRANCE WITH VERT. GRANITE CURB

REMOVE EXT. TIPDOWN

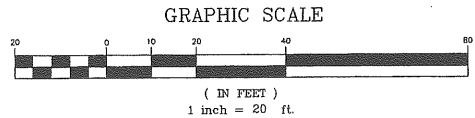
MONUMENT YMCA SIGN  
END OF SIDEWALK REPAIR CONSTRUCTION LIMITS



RESET CURBING TIPDOWN FOR HANDICAP ACCESS

**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY ROW	---
□	MONUMENT	■
○	IRON PIPE/ROD	●
---	BUILDING CURBLINE	---
---	CONTOURS	---
---	6" GAS	---
---	8" WATER	---
---	8" SEWER	---
---	12" SD STORM DRAIN	---
---	OVERHEAD ELEC. & TEL	---
○	GATE VALVE	○
○	UTILITY POLE	○
○	HYDRANT	○
□	CATCH BASIN	□
○	MANHOLE	○
○	BARB WIRE FENCE	○
○	DECIDUOUS TREE	○
○	GUARDRAIL	○
○	SPOT GRADE	○



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Engineering Expertise You Can Build On  
One Onopot Street  
Westbrook, Me 04098-1339  
Tel (207) 856-0277

PROJECT NO. FIELD BOOK DESIGN CHKD DRAWN  
98661 JRS BGY JNB

**SITE, GRADING, & UTILITIES PLAN**  
OF:  
**GREATER PORTLAND YMCA MASTER PLAN**  
HIGH STREET  
PORTLAND, MAINE  
FOR:  
**GREATER PORTLAND YMCA** (C/O CUMBERLAND COUNTY YMCA)  
70 FOREST AVENUE  
PORTLAND, ME 04101

REV.	BY:	DATE:	STATUS:
B	JRS	03-02-04	REVISED SITE PLAN FOR CONTRACT ZONING
A	JRS	1-27-04	SUBMITTED FOR CONTRACT ZONING

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

DATE: 12-29-03 SCALE: 1"=20'

**SHEET 2 OF 3**

98661G12

AH D



CWS Architects

Architecture  
Space Planning  
Value Design

434 Cumberland Avenue  
Portland, ME 04101  
Phone: (207) 774-4441  
Fax: (207) 774-4816

www.CWSarch.com

Owner:

CUMBERLAND  
COUNTY YMCA  
70 Forest Avenue, Portland, Maine 04101  
207 874-1111

Contractor:



GREATER  
PORTLAND  
YMCA  
MASTER PLAN  
High Street - Portland, Maine

Project No. 00.404 YMP

Drawing Title:

PROPOSED  
SITE ELEVATIONS

Scale: 1" = 20'-0"

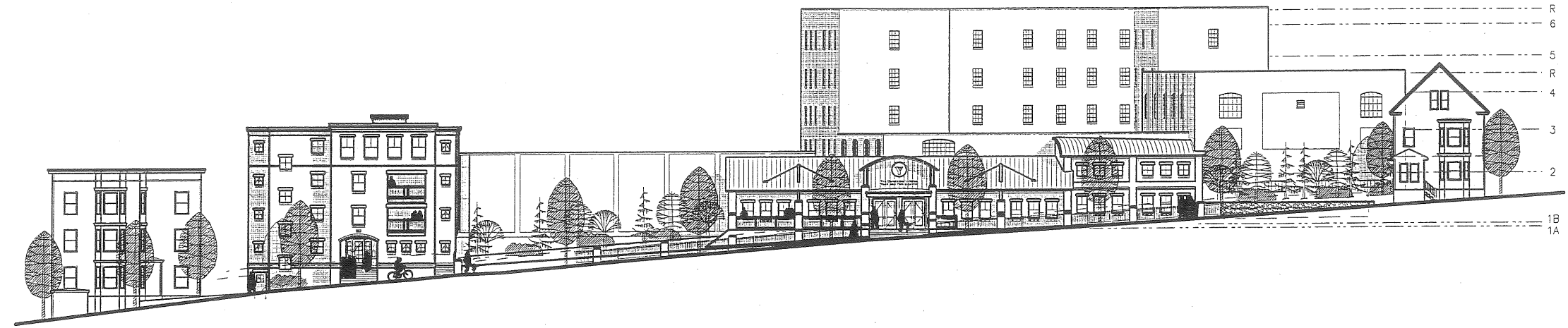
Date: February 10, 2004

Revisions:

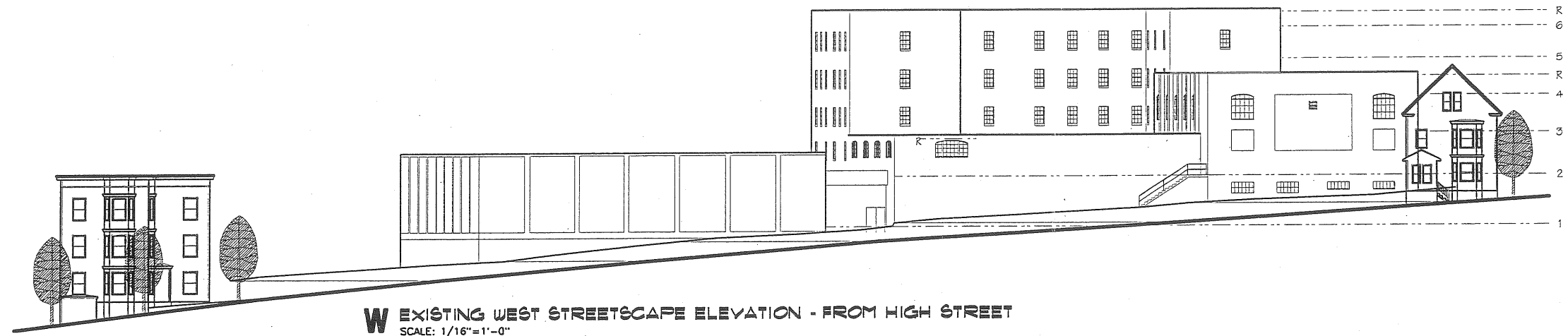
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Drawing Number:

A3.1



**W** PROPOSED WEST SITE MASTER PLAN ELEVATION - FROM HIGH STREET  
SCALE: 1/16"=1'-0"



**W** EXISTING WEST STREETSCAPE ELEVATION - FROM HIGH STREET  
SCALE: 1/16"=1'-0"

NOTE: THE YMCA HAS INVITED THE PARKSIDE NEIGHBORHOOD ASSOCIATION AND PORTLAND LANDMARKS TO PARTICIPATE IN THE PROCESS OF DEFINING FUNDAMENTAL SITE AND BUILDING DESIGN COMPONENTS, FEATURES AND DETAILING. OUT OF RESPECT FOR THIS PROCESS, THE CONCEPT DESIGNS REPRESENTED HEREIN ARE PRELIMINARY AND INCLUDED SOLELY TO DEMONSTRATE BASIC BUILDING MASSING AND FUNCTIONALITY. THE PARTICIPATORY DESIGN REVIEW COMMITTEE PROCESS WILL LIKELY RESULT IN MODIFICATIONS TO EXTERIOR SITE AND BUILDING DESIGN AND DETAILING THAT INCORPORATE THE OBJECTIVES OF THE BOTH THE YMCA AND THE COMMUNITY.



**CWS Architects**  
 Architects  
 Space Planning  
 Value Design  
 134 Cumberland Avenue  
 Portland, ME 04101  
 Phone: (207) 774-6441  
 Fax: (207) 774-6816  
 www.CWSArch.com

Owner:  
**CCYSRO, L.P.**  
 c/o Cumberland County YMCA  
 70 Forest Avenue - Portland, Maine 04101  
 (207) 874-1111

Contractor:



**YMCA**  
 Apartments  
 at 231  
 High Street  
 High Street - Portland, Maine

Project No. 03.403 YSH

Drawing Title:  
**BUILDING FLOOR PLANS**

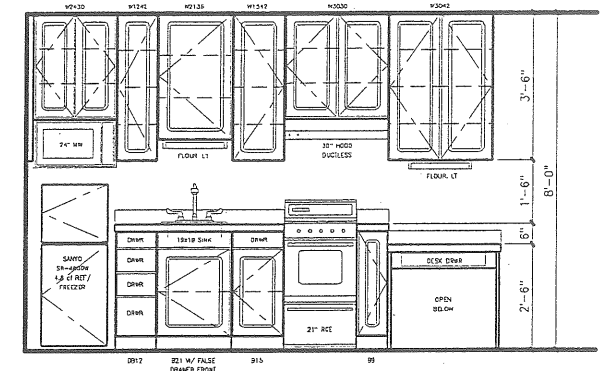
Scale: 1/8" = 1'-0"  
 Date: February 10, 2004

Revisions:

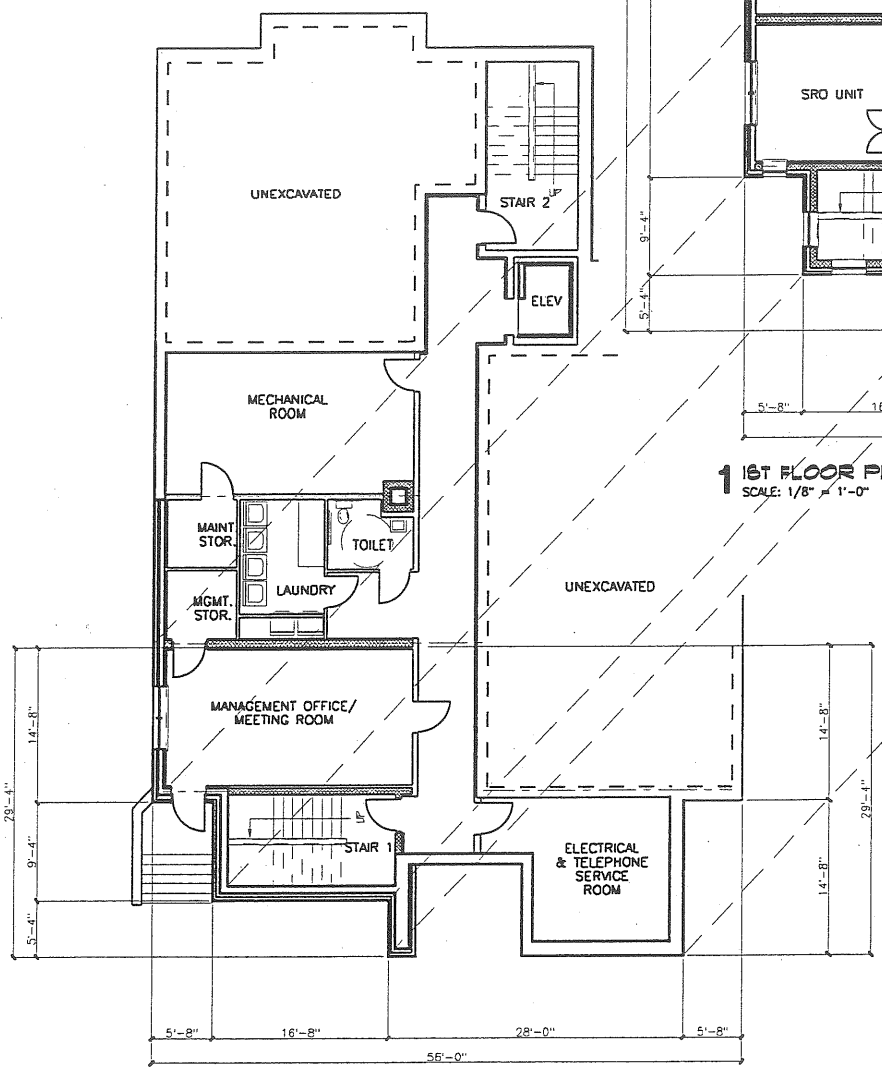
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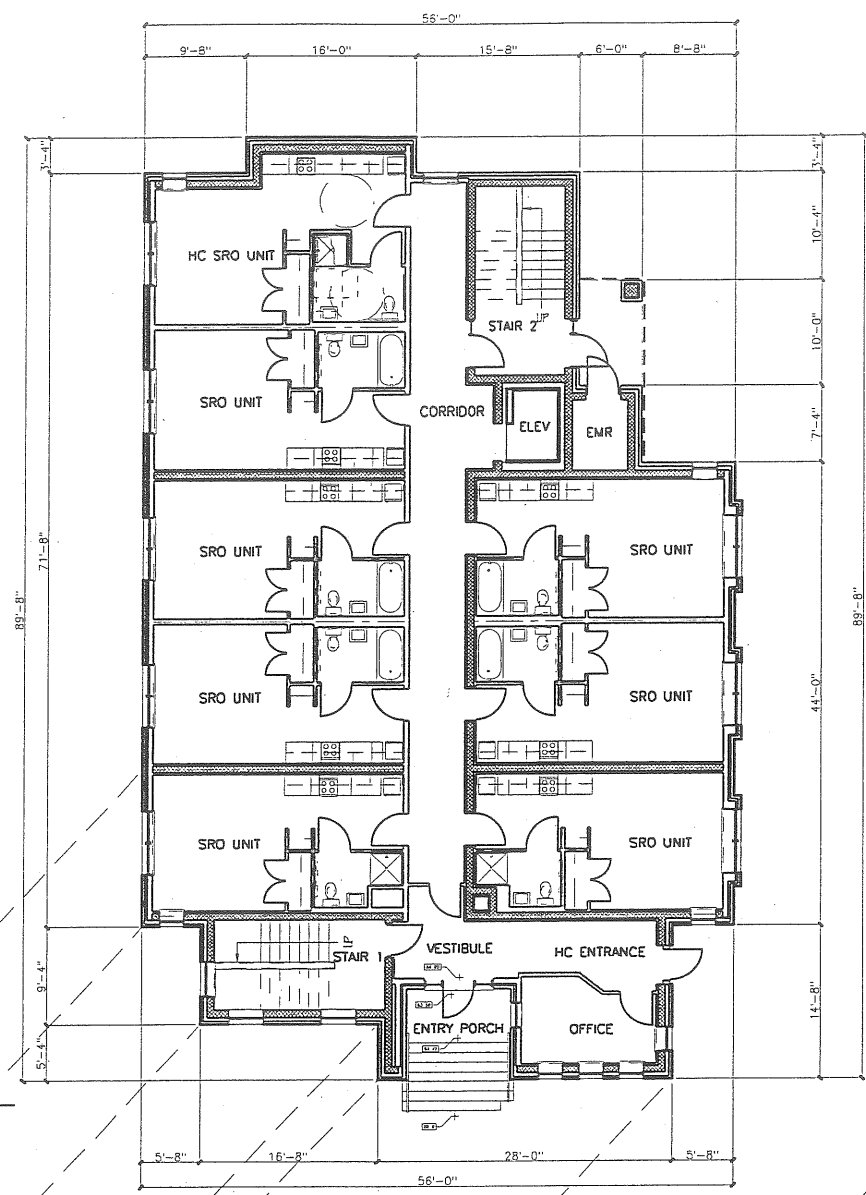
**2**



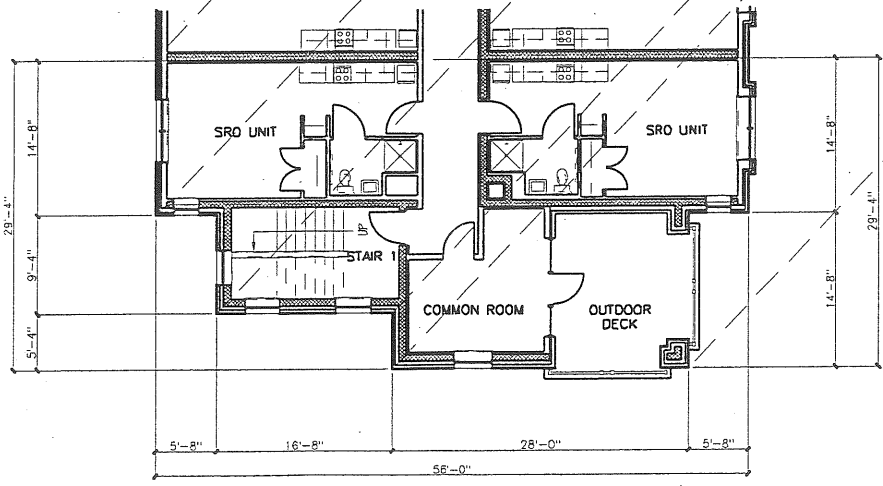
**K TYPICAL UNIT KITCHEN ELEVATION**  
 SCALE: 1/2" = 1'-0"



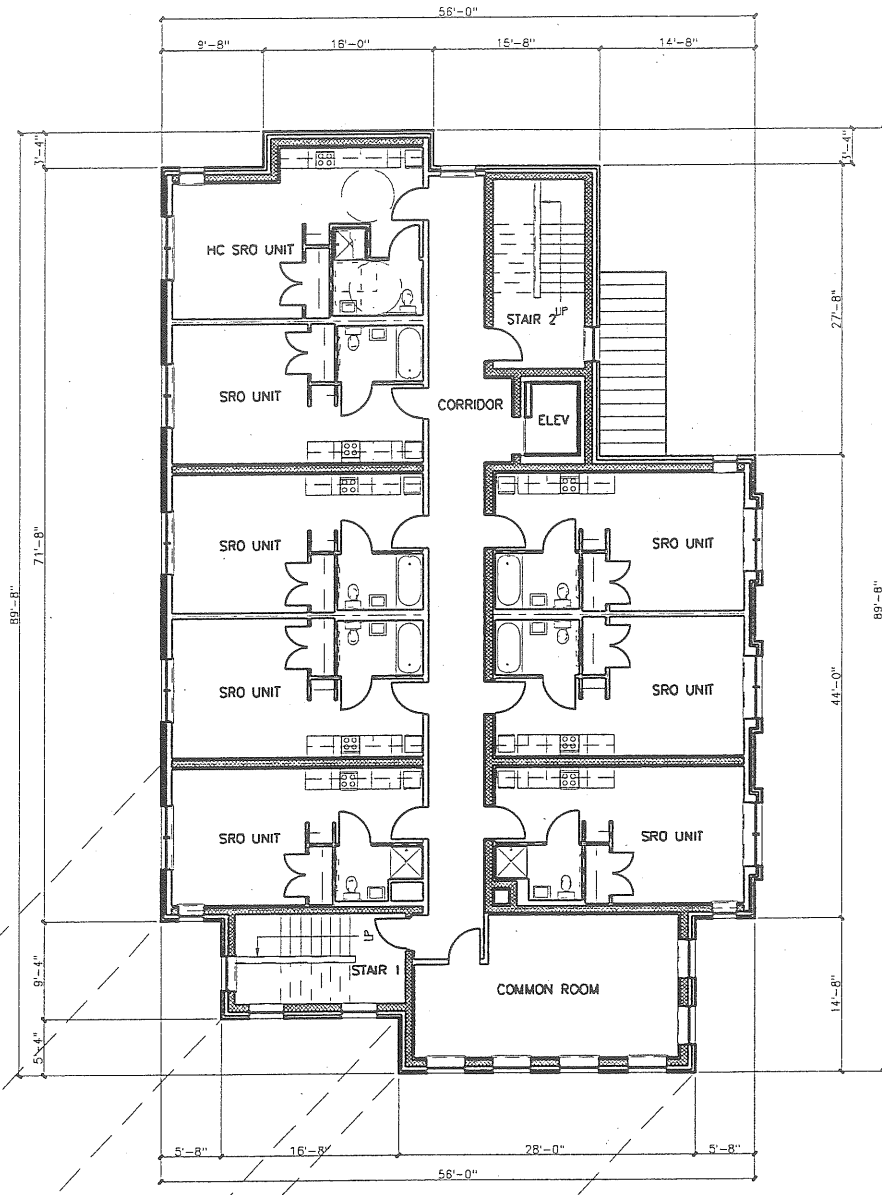
**B BASEMENT FLOOR PLAN (PARTIAL)**  
 SCALE: 1/8" = 1'-0"



**1 1ST FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



**2-3 2ND & 3RD PARTIAL FLOOR PLANS (PARTIAL, 4TH FLR. SIM.)**  
 SCALE: 1/8" = 1'-0"



**4 4TH FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



AHF



CWS Architects  
 Architecture  
 Space Planning  
 Value Design  
 134 Cumberland Avenue  
 Portland, ME 04101  
 Phone: (207) 774-1111  
 Fax: (207) 774-1816  
 www.CWSArch.com

Owner:  
**CCYSRO, L.P.**  
 c/o Cumberland County YMCA  
 70 Forest Avenue, Portland, Maine 04101  
 (207) 874-1111

Contractor:



**YMCA**  
 Apartments  
 at 231  
 High Street  
 Portland, Maine

Project No: 03.403 YSH

Drawing Title:  
**BUILDING FRONT  
 ELEVATION**

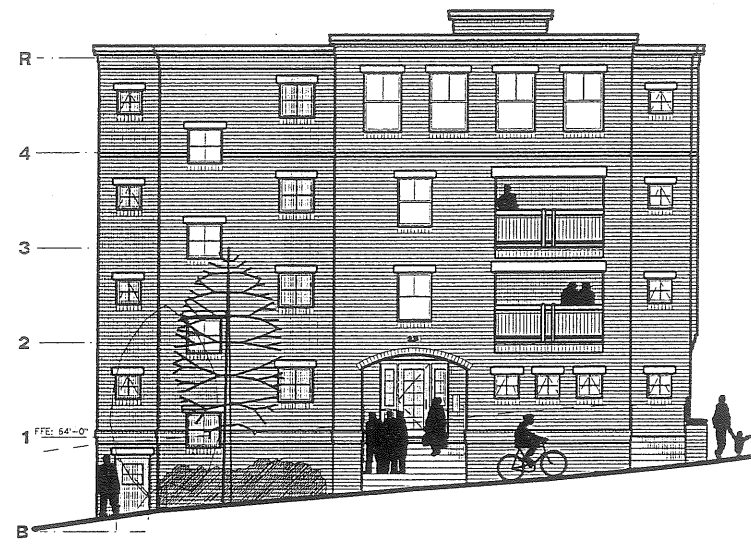
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Revisions:

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Drawing Number:

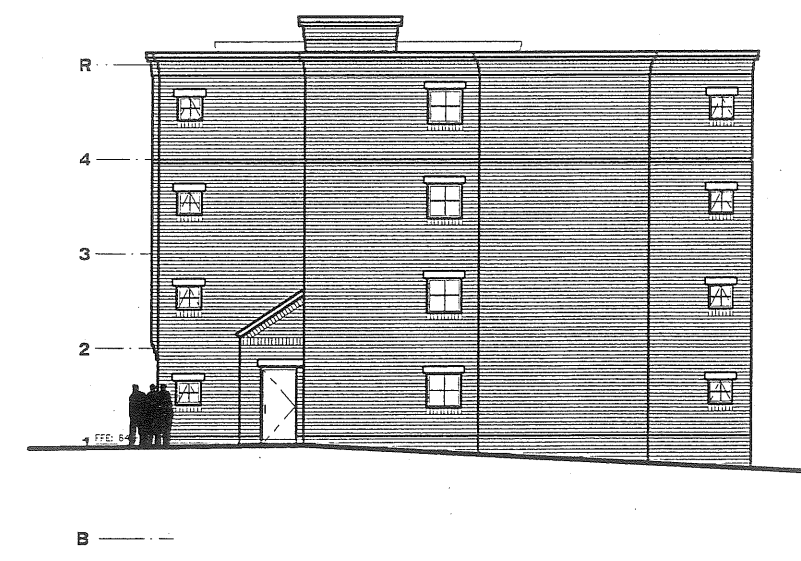
**3**



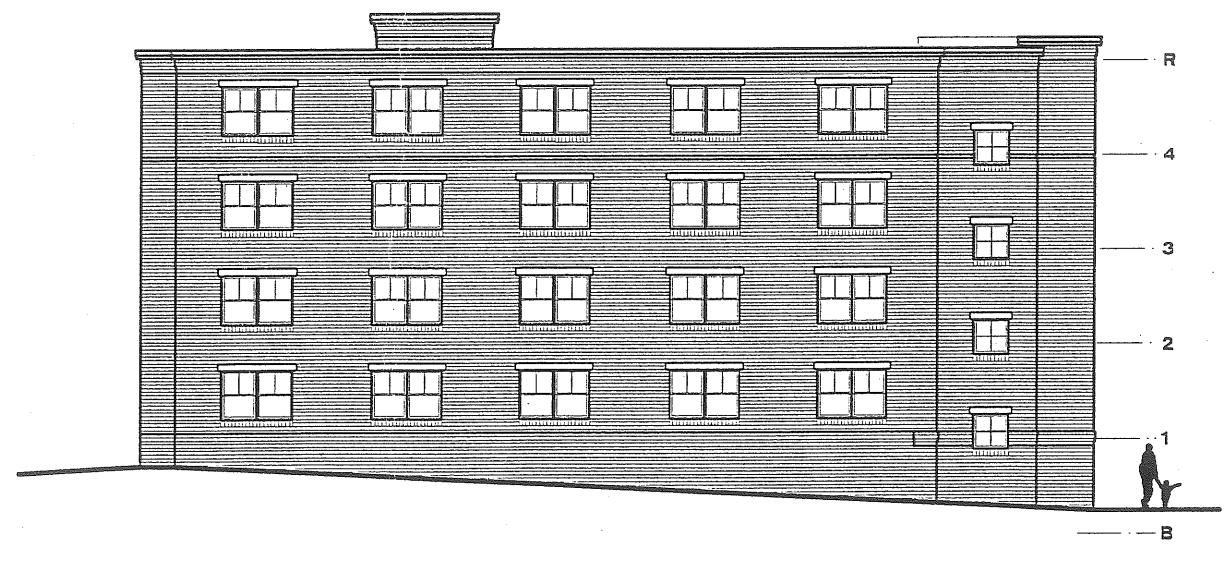
**FRONT BUILDING ELEVATION  
 FROM HIGH STREET**



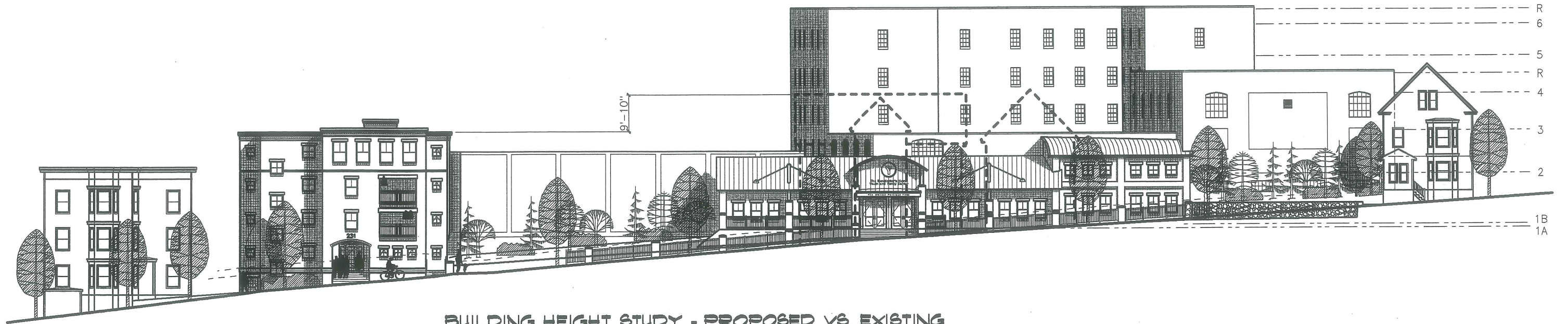
**RIGHT SIDE BUILDING ELEVATION  
 FROM YMCA PARKING LOT**



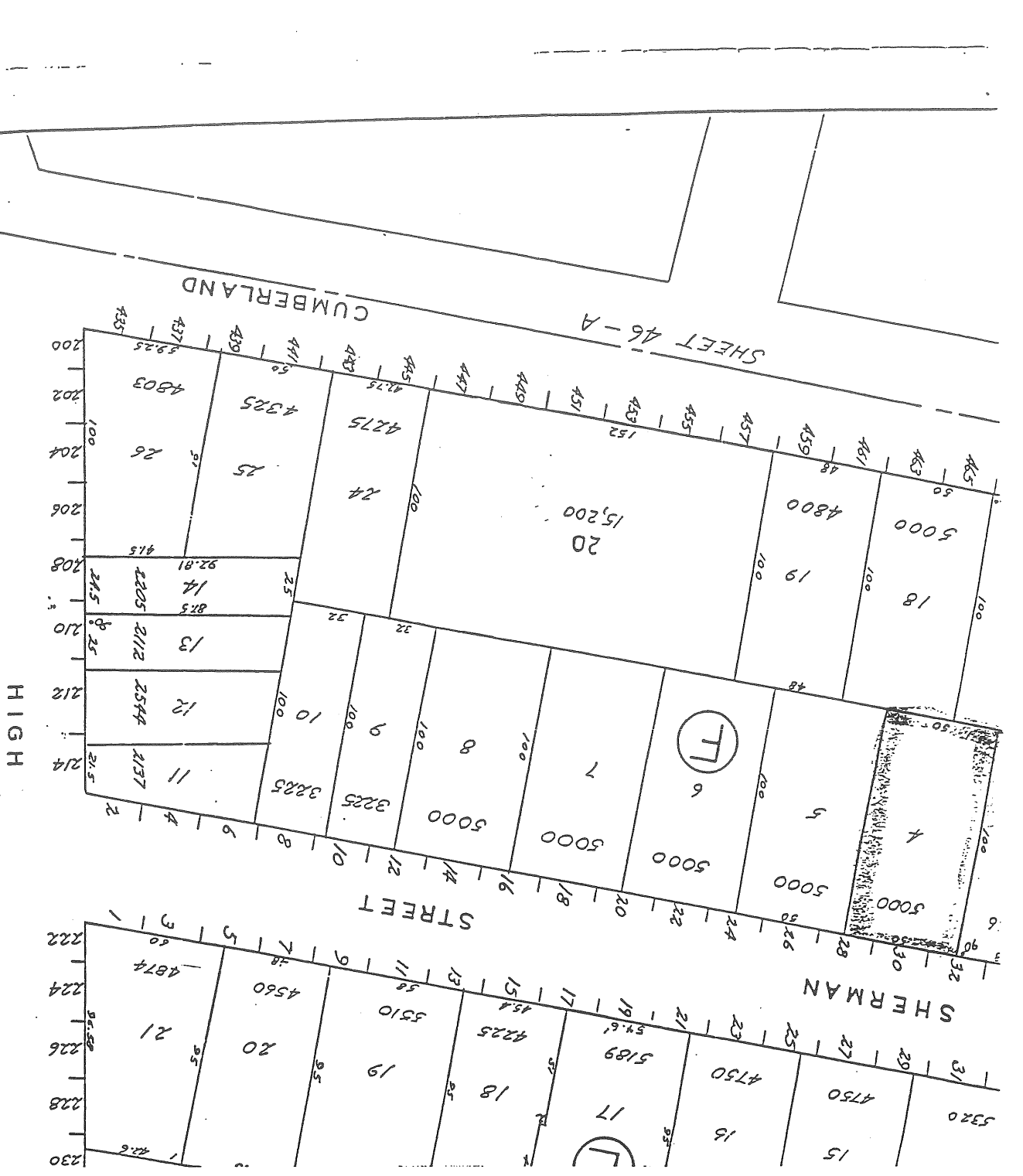
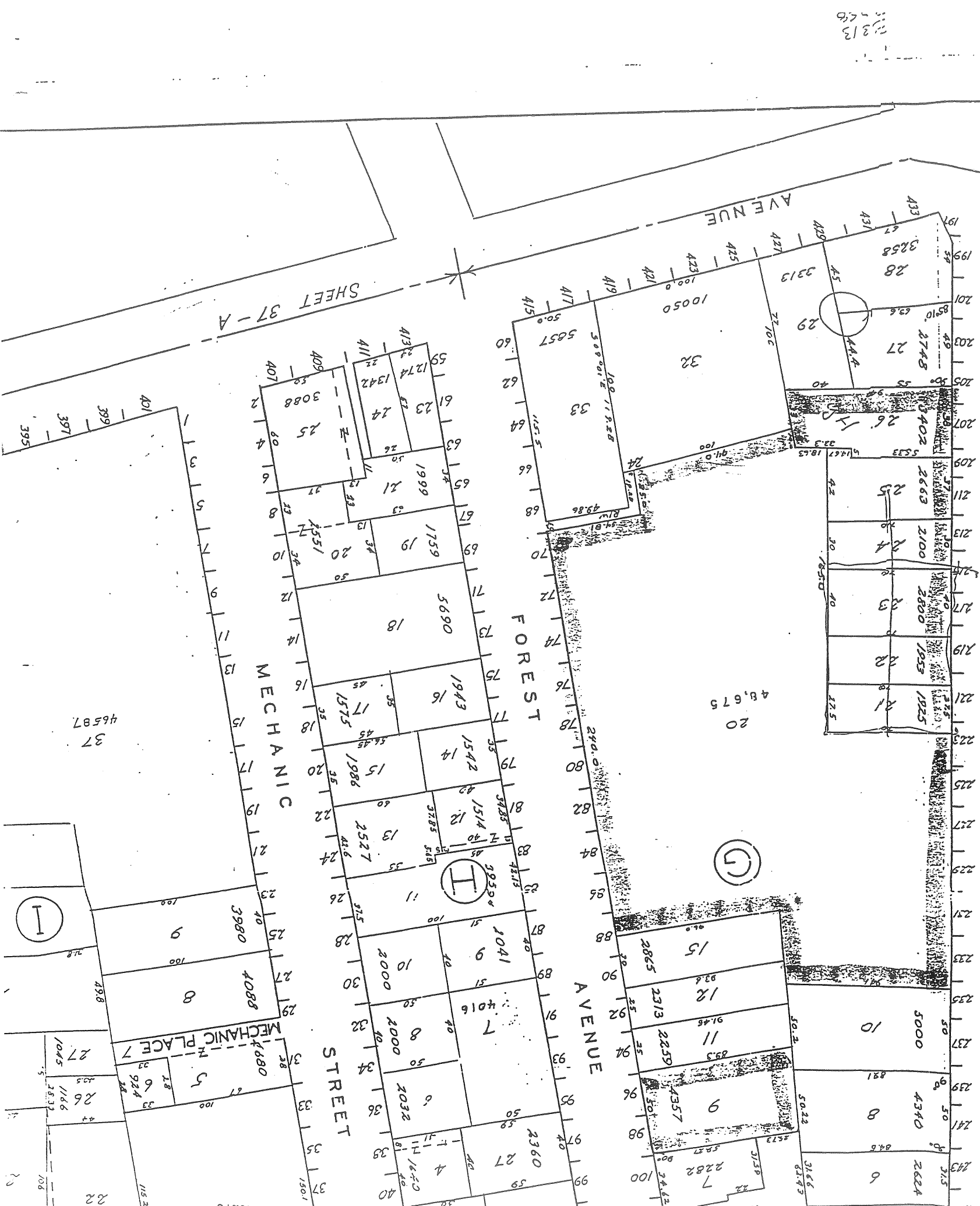
**REAR BUILDING ELEVATION**



**LEFT SIDE BUILDING ELEVATION**



BUILDING HEIGHT STUDY - PROPOSED VS. EXISTING

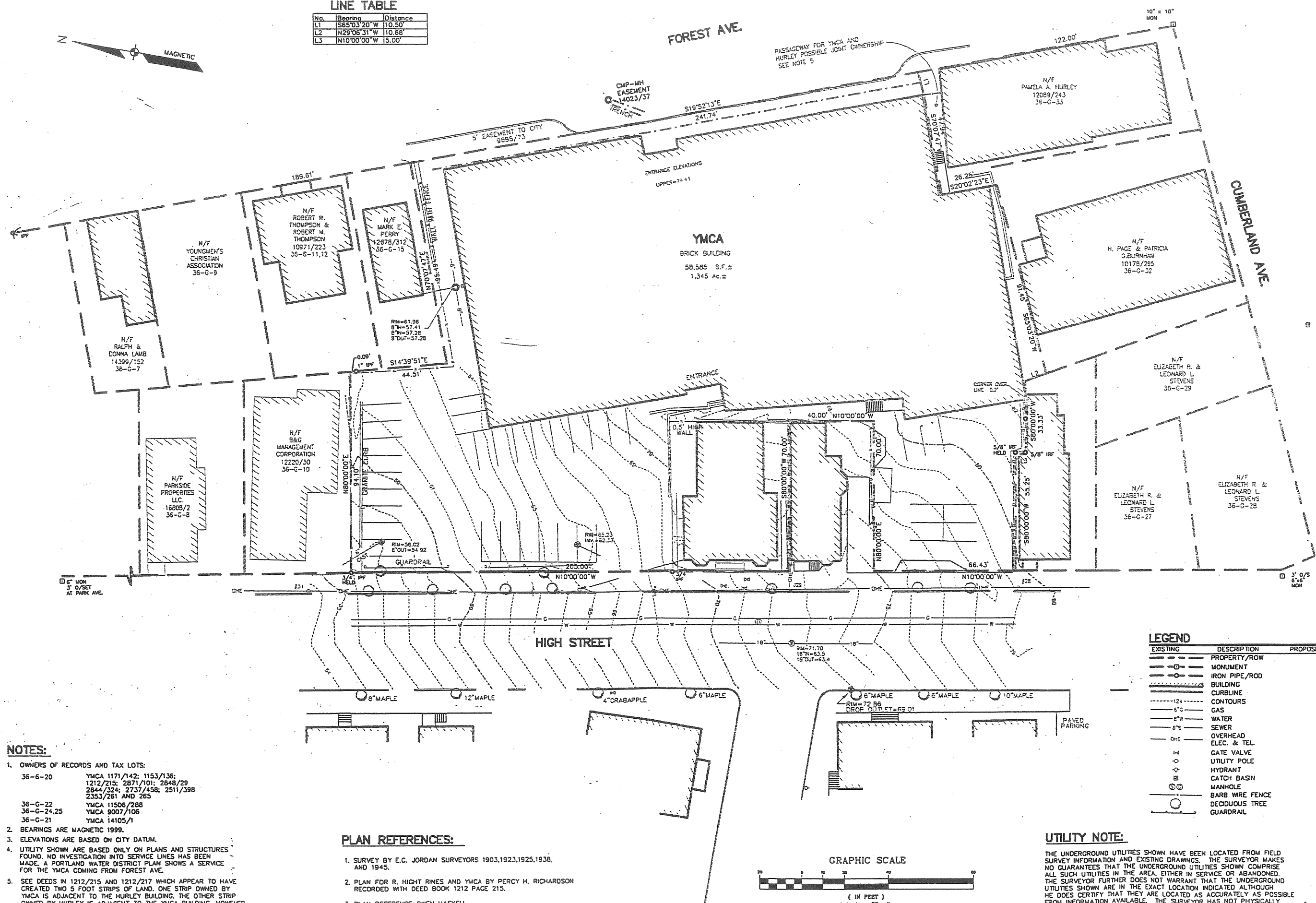


PROPERTY OWNED BY  
**THE YMCA**



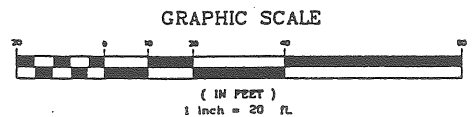
**LINE TABLE**

No.	Bearing	Distance
L1	S65°03'20" W	10.50'
L2	N29°06'31" W	10.66'
L3	N10°00'00" W	5.00'



- NOTES:**
- OWNERS OF RECORDS AND TAX LOTS:  
 36-6-20 YMCA 1171/142; 1153/136; 1212/215; 2871/101; 2848/29; 2844/324; 2737/458; 2511/398; 2353/261 AND 265  
 36-G-22 YMCA 11506/288  
 36-G-24,25 YMCA 9007/106  
 36-G-21 YMCA 14105/1
  - BEARINGS ARE MAGNETIC 1999.
  - ELEVATIONS ARE BASED ON CITY DATUM.
  - UTILITY SHOWN ARE BASED ONLY ON PLANS AND STRUCTURES FOUND. NO INVESTIGATION INTO SERVICE LINES HAS BEEN MADE. A PORTLAND WATER DISTRICT PLAN SHOWS A SERVICE FOR THE YMCA COMING FROM FOREST AVE.
  - SEE DEEDS IN 1212/215 AND 1212/217 WHICH APPEAR TO HAVE CREATED TWO 5 FOOT STRIPS OF LAND. ONE STRIP OWNED BY YMCA IS ADJACENT TO THE HURLEY BUILDING. THE OTHER STRIP OWNED BY HURLEY IS ADJACENT TO THE YMCA BUILDING. HOWEVER THE STATED INTENT OF THE TWO DEEDS IS "TO MAKE A PASSAGEWAY TO BE USED IN COMMON".

- PLAN REFERENCES:**
- SURVEY BY E.C. JORDAN SURVEYORS 1903,1923,1925,1938, AND 1945.
  - PLAN FOR R. HIGHT RINES AND YMCA BY PERCY H. RICHARDSON RECORDED WITH DEED BOOK 1212 PAGE 215.
  - PLAN REFERENCE OWEN HASKELL



**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
—○—	MONUMENT	—○—
— —	IRON PIPE/ROD	— —
▨	BUILDING	▨
—	CURBLINE	—
---	CONTOURS	---
---	GAS	---
---	WATER	---
---	SEWER	---
—E—	OVERHEAD ELEC. & TEL.	—E—
X	GATE VALVE	X
—○—	UTILITY POLE	—○—
—○—	HYDRANT	—○—
—○—	CATCH BASIN	—○—
—○—	MANHOLE	—○—
—○—	BARB WIRE FENCE	—○—
—○—	DECIDUOUS TREE	—○—
—	GUARDRAIL	—

**UTILITY NOTE:**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

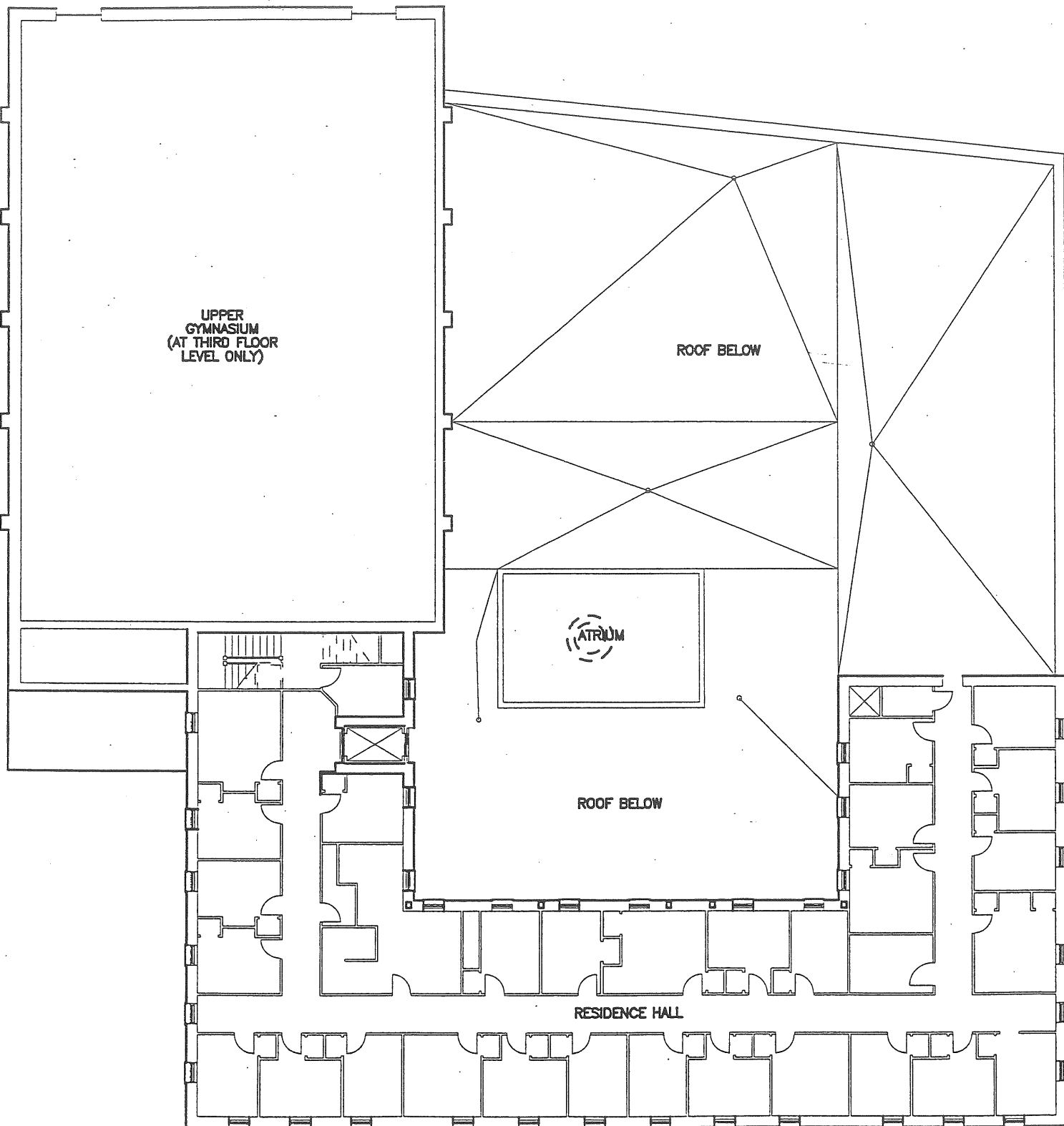
**Segabo Technics**  
 Engineering Experience You Can Build On  
 One Orono Street  
 Portland, ME 04103  
 Tel: (207) 955-0377

PROJECT NO. FIELD BOOK DESIGN CHKD DRAWN  
 98861 1-27-04 1-27-04 1-27-04

**EXISTING CONDITIONS PLAN**  
 OF  
**GREATER PORTLAND YMCA MASTER PLAN**  
 HIGH STREET  
 PORTLAND, MAINE

FOR:  
**GREATER PORTLAND YMCA** (C/O CUMBERLAND COUNTY YMCA)  
 70 FOREST AVENUE  
 PORTLAND, ME 04101

DATE	SCALE
12-29-03	1" = 20'



EXISTING THIRD FLOOR PLAN (FOURTH AND FIFTH FLOORS SIMILAR)  
SCALE: 1/8" = 1'-0"



CWS Architects

- Architecture
- Space Planning
- Value Design

134 Cumberland Avenue  
Portland, ME 04101  
Phone: (207) 774-1001  
Fax: (207) 774-1016

www.CWSArch.com

Owner:

**GREATER PORTLAND  
YMCA**  
c/o Cumberland County YMCA  
70 Forest Avenue, Portland, Maine 04101  
(207) 874-1111

Contractor:



**GREATER  
PORTLAND  
YMCA**  
**MASTER PLAN**  
Portland, Maine

Project No: 02.034 YMP

Drawing Title:

**EXISTING 3RD, 4TH  
5TH FLOOR PLANS**

Scale: 1/8" = 1'-0"

Date: January 27, 2004

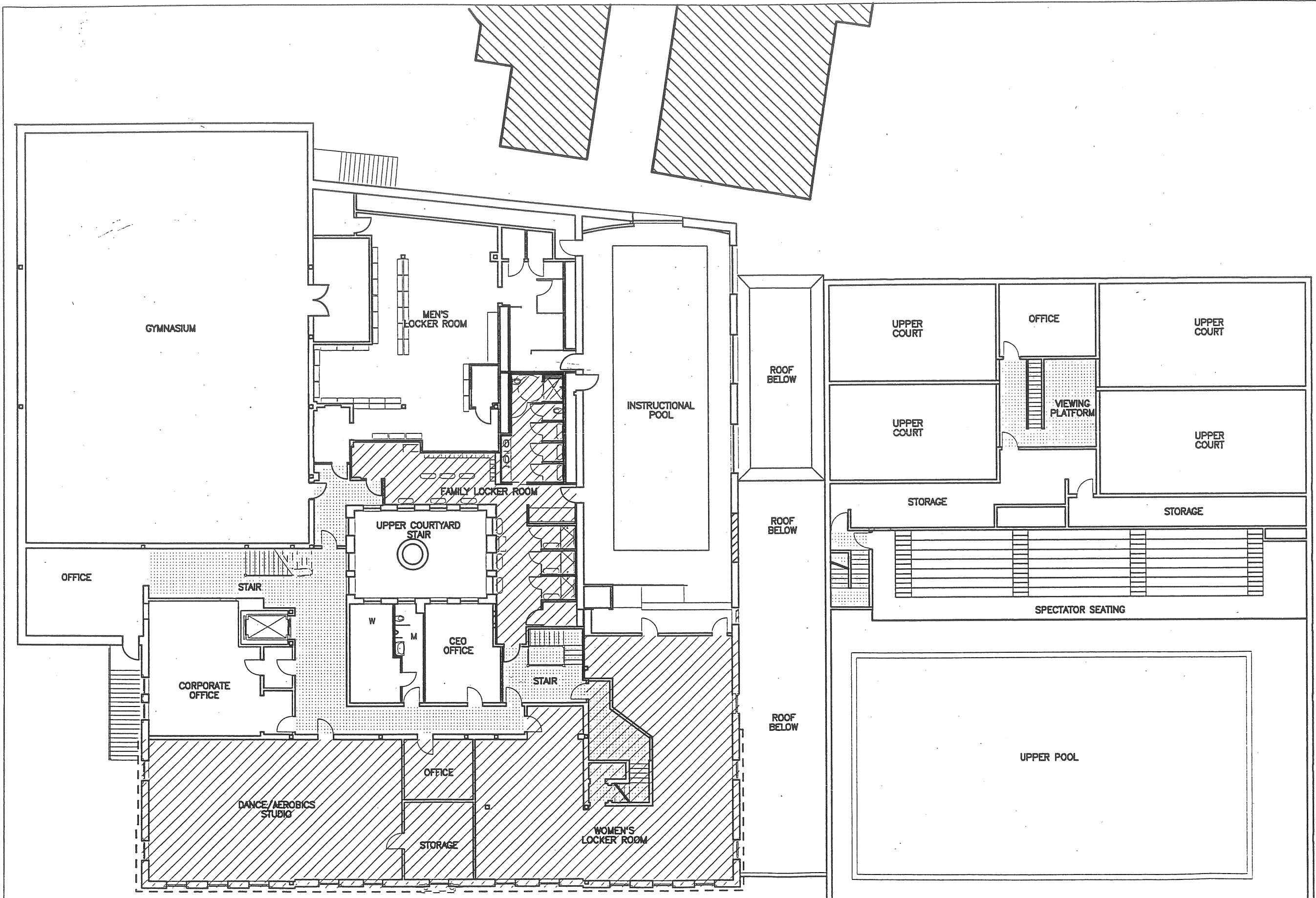
Revisions:

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Drawing Number:

**EX1.3**

P.12



EXISTING SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

**CWS**  
CWS Architects  
Architecture  
Space Planning  
Value Design  
134 Cumberland Avenue  
Portland, ME 04101  
Phone: (207) 774-1641  
Fax: (207) 774-1816  
www.CWSarch.com

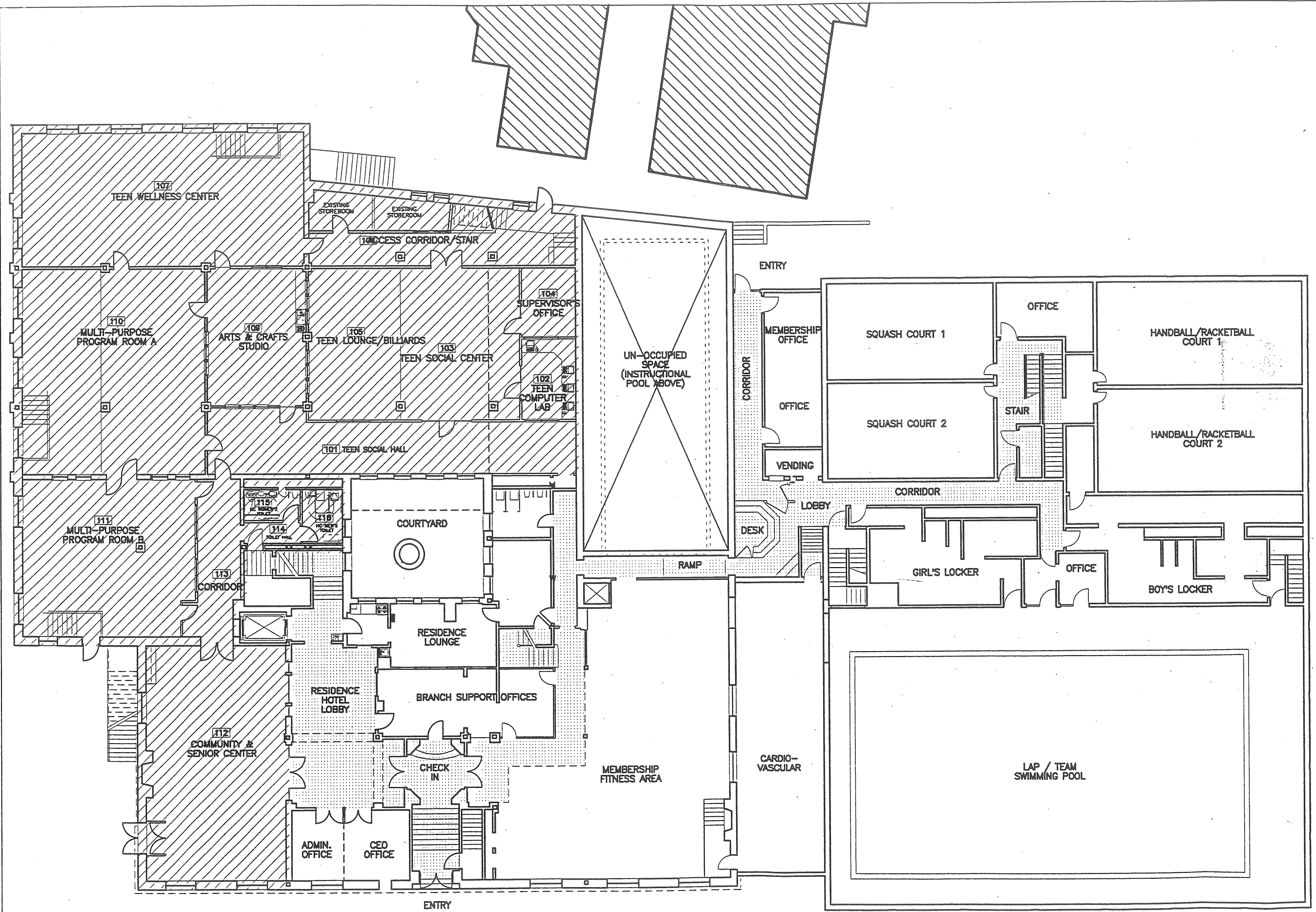
Owner:  
**GREATER PORTLAND YMCA**  
c/o Cumberland County YMCA  
70 Forest Avenue, Portland, Maine 04101  
(207) 874-1111

**GREATER PORTLAND YMCA**  
MASTER PLAN  
Portland, Maine

Project No: 02.04 YMP  
Drawing Title:  
**EXISTING 2ND FLOOR PLAN**  
Scale: 1/8" = 1'-0"  
Date: January 27, 2004

- Revisions:
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Drawing Number:  
**EX1.2**



EXISTING FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

**CWS**  
CWS Architects  
Architecture  
Space Planning  
Value Design  
134 Cumberland Avenue  
Portland, ME 04101  
Phone: (207)774-4441  
Fax: (207)774-4816  
www.CWSarch.com

Client:  
**GREATER PORTLAND YMCA**  
c/o Cumberland County YMCA  
70 Forest Avenue Portland, Maine 04101  
(207) 874-1111

**GREATER PORTLAND YMCA**  
MASTER PLAN  
Portland, Maine

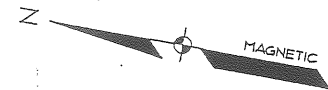
Project No: 02.054 YMP

Drawing Title:  
**EXISTING 1ST FLOOR PLAN**

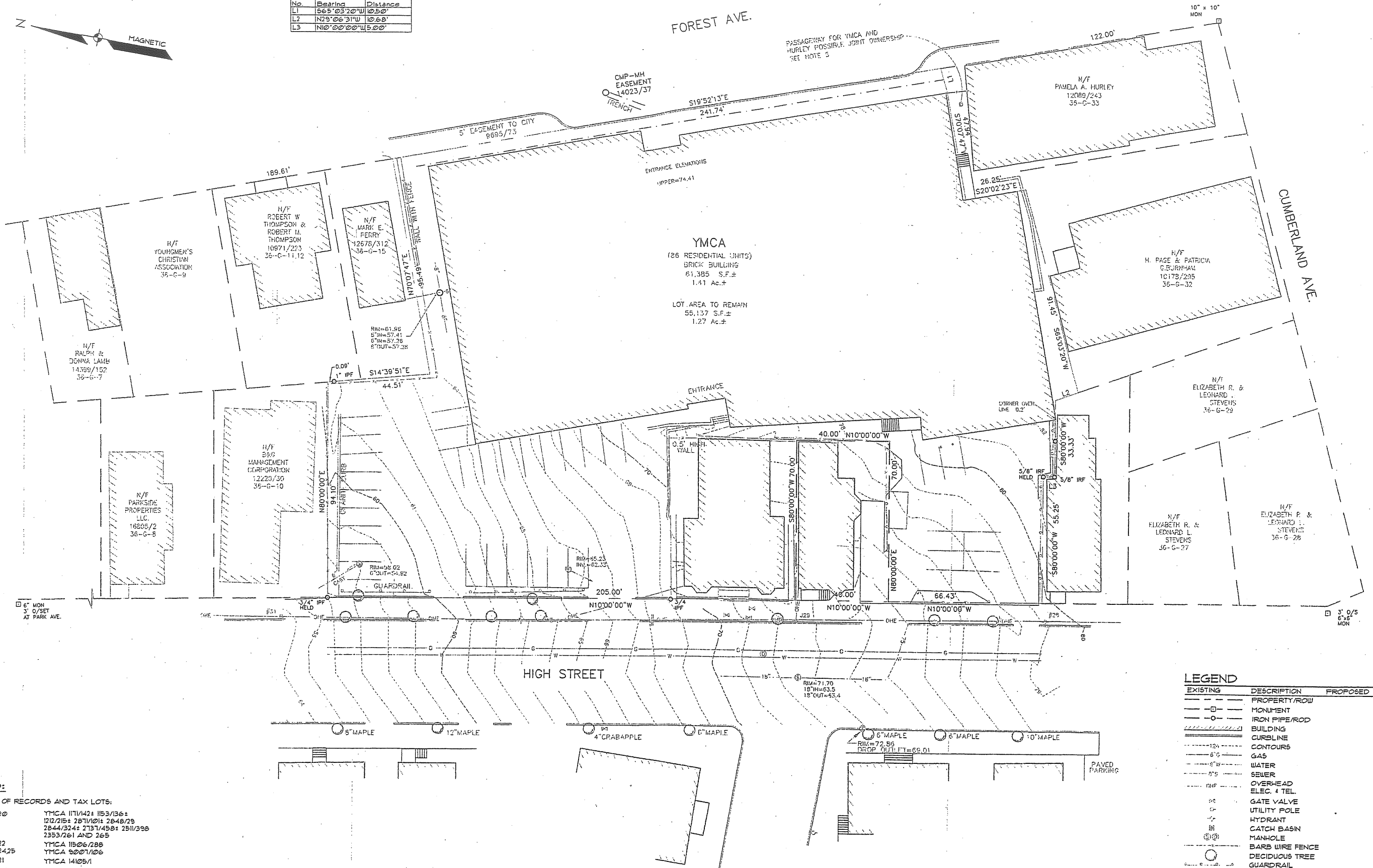
Scale: 1/8" = 1'-0"  
Date: January 27, 2004

- Revisions:
- △
  - △
  - △
  - △
  - △
  - △
  - △

Drawing Number:  
**EX1.1**



No	Bearing	Distance
L1	S65°03'20"W	10.50'
L2	N29°06'31"W	10.68'
L3	N10°00'00"W	5.00'



**NOTES:**

- OWNERS OF RECORDS AND TAX LOTS:  
 36-6-20 YMCA 111/142; 1153/136;  
 1212/215; 2871/204; 2848/29  
 2844/224; 2131/458; 2511/398  
 2353/261 AND 265  
 36-6-22 YMCA 11506/288  
 36-6-2425 YMCA 9001/106  
 36-6-21 YMCA 14105/1
- BEARINGS ARE MAGNETIC 1999.
- ELEVATIONS ARE BASED ON CITY DATUM.
- UTILITY SHOWN ARE BASED ONLY ON PLANS AND STRUCTURES FOUND. NO INVESTIGATION INTO SERVICE LINES HAS BEEN MADE. A PORTLAND WATER DISTRICT PLAN SHOWS A SERVICE FOR THE YMCA COMING FROM FOREST AVE.
- SEE DEEDS IN 1212/15 AND 1212/11 WHICH APPEAR TO HAVE CREATED TWO 5 FOOT STRIPS OF LAND. ONE STRIP OWNED BY YMCA IS ADJACENT TO THE HURLEY BUILDING. THE OTHER STRIP OWNED BY HURLEY IS ADJACENT TO THE YMCA BUILDING. HOWEVER

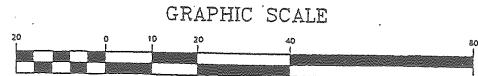
**PLAN REFERENCES:**

- SURVEY BY E.C. JORDAN SURVEYORS 1903,1923,1925,1938, AND 1945.
- PLAN FOR R. HIGHT RINES AND YMCA BY FERCY H. RICHARDSON RECORDED WITH DEED BOOK 1212 PAGE 215.
- PLAN REFERENCE CHEN WASKEL

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
—○—	MONUMENT	—○—
—○—	IRON PIPE/ROD	—○—
—	BUILDING	—
—	CURBLINE	—
---	CONTOURS	---
---	GAS	---
---	WATER	---
---	SEWER	---
---	OVERHEAD ELEC. 4 TEL	---
○	GATE VALVE	○
○	UTILITY POLE	○
○	HYDRANT	○
○	CATCH BASIN	○
○	MANHOLE	○
○	BARB WIRE FENCE	○
○	DECIDUOUS TREE	○
---	GUARDRAIL	---

**UTILITY NOTE:**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS APPROXIMATELY SHOWN.



P.73

**Sebago Technics**  
 Engineering Experts You Can Build On  
 One Church Street  
 Portland, ME 04108-1139  
 Tel: 603.766.0077

EXISTING CONDITIONS PLAN  
 OF:  
 GREATER PORTLAND YMCA MASTER PLAN  
 HIGH STREET  
 PORTLAND, MAINE  
 FOR: GREATER PORTLAND YMCA

4-2-04  
 JFS  
 B.  
 SUBMITTED FOR FINAL CONTRACT ZONING

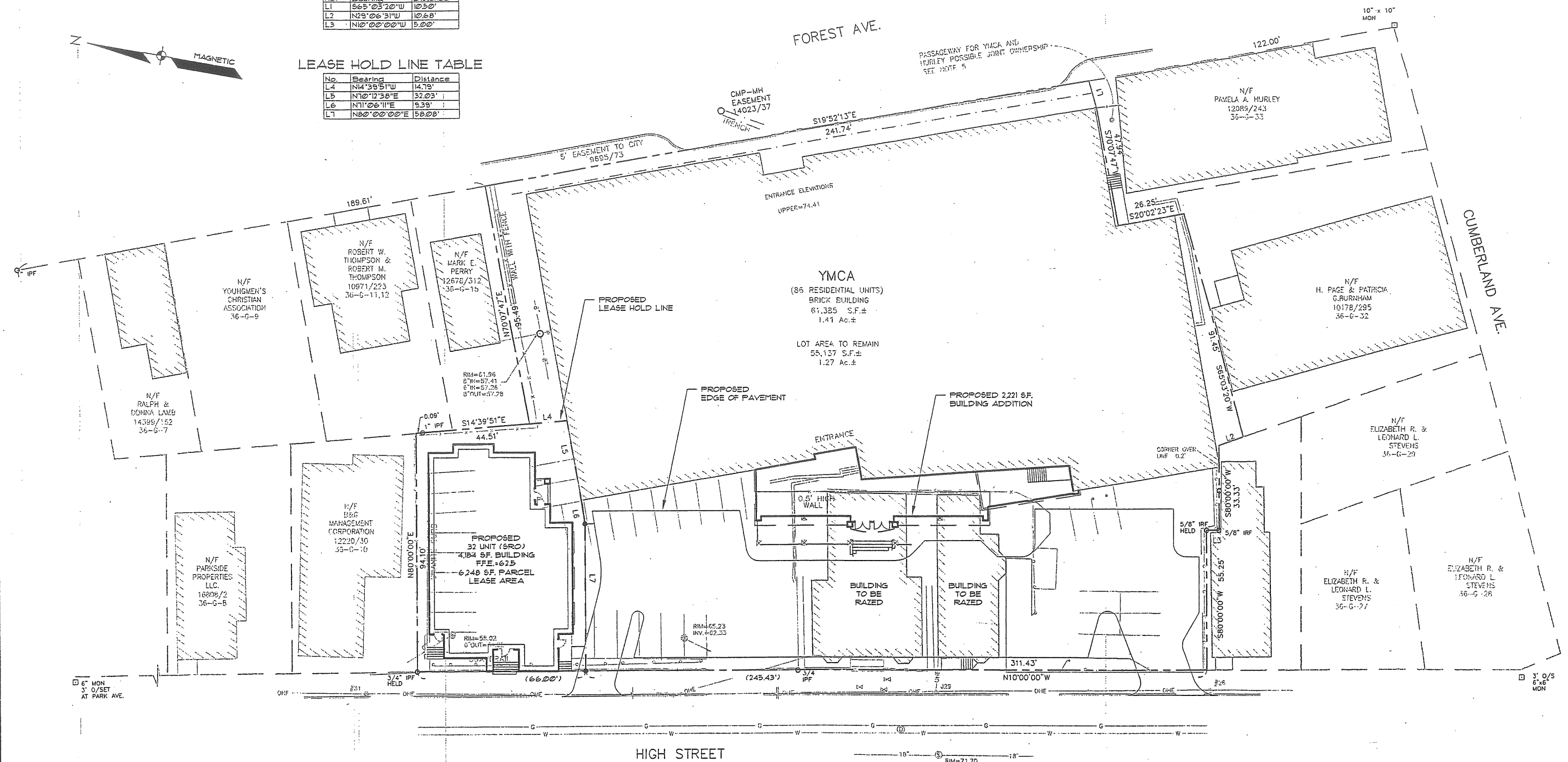
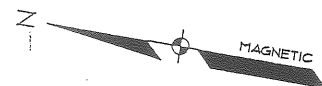


**LINE TABLE**

No.	Bearing	Distance
L1	S65°03'20"W	10.50'
L2	N29°06'31"W	10.68'
L3	N10°00'00"W	5.00'

**LEASE HOLD LINE TABLE**

No.	Bearing	Distance
L4	N14°39'51"W	14.79'
L5	N70°12'38"E	32.03'
L6	N71°06'11"E	8.39'
L7	N80°00'00"E	58.08'



**NOTES:**

- OWNERS OF RECORDS AND TAX LOTS:
 

PARCEL ID	OWNER - BOOK/PAGE
36-6-20	YMCA - 1171/42 ± 1153/136 ± 1212/215 ± 2811/018 2848/29 2844/324 2131/450 ± 2511/398 2353/261 AND 265
36-6-22	YMCA - 11506/288
36-6-24,25	YMCA - 8207/106
36-6-21	YMCA - 14105/1
- BEARINGS ARE MAGNETIC 1999.
- ELEVATIONS ARE BASED ON CITY DATUM.
- THE TOTAL AREA OF THE PROPERTY IS APPROXIMATELY 1.41 ACRES.
- THIS PROPERTY IS LOCATED IN AN EXISTING R-6 ZONE. THE PROJECT IS CURRENTLY BEING REVIEWED FOR CONTRACT ZONING FOR THE PARCEL(S) SHOWN ON THIS PLAN. THE FOLLOWING ARE THE CURRENT STANDARDS FOR THE R-6 ZONE:
 

MIN. LOT SIZE:	4500 SF.
MIN. STREET FRONTAGE:	40 FT.
MIN. FRONT YARD:	10 FT.
MIN. SIDE YARD:	1 TO 3 STORIES = 10 FT.
MIN. REAR YARD:	20 FT. 4 STORIES = 12 FT.
MAX. BUILDING HEIGHT:	45 FT. 5 STORIES = 15 FT.
MIN. LOT WIDTH:	50 FT.
MAX. LOT COVERAGE:	40% W/ 20+ DWELLING UNITS 50% W/ LESS THAN 20 UNITS 20% W/ LESS THAN 20 UNITS 30% W/ 20+ DWELLING UNITS
- PARKING REQUIREMENTS FOR THE PROPOSED RESIDENTIAL USE SHALL BE BASED ON THE SEPARATELY ATTACHED YMCA PARKING MANAGEMENT PLAN. FINAL FINDINGS AND PLANNING BOARD REQUIREMENTS WILL BE

**NOTES (CONT.):**

- UTILITIES SHOWN ARE BASED ONLY ON PLANS AND STRUCTURES FOUND. NO INVESTIGATION INTO SERVICE LINES HAS BEEN MADE. A PORTLAND WATER DISTRICT PLAN SHOWS A SERVICE FOR THE YMCA COMING FROM FOREST AVE.
- SEE DEEDS IN 1212/215 AND 1212/217 WHICH APPEAR TO HAVE CREATED TWO 5 FOOT STRIPS OF LAND. ONE STRIP OWNED BY YMCA IS ADJACENT TO THE HURLEY BUILDING. THE OTHER STRIP OWNED BY HURLEY IS ADJACENT TO THE YMCA BUILDING. HOWEVER THE STATED INTENT OF THE TWO DEEDS IS "TO MAKE A PASSAGEWAY TO BE USED IN COMMON".
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATIONS TO OR DEVIATIONS FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS SIZE, LOCATION AND SURFACING OF PARKING AREAS, AND LOCATION AND

**PLAN REFERENCES:**

- SURVEY BY E.C. JORDAN SURVEYORS 1903,1923,1925, 1938, AND 1945.
- PLAN FOR R. HIGHT RINES AND YMCA BY PERCY H. RICHARDSON, RECORDED WITH DEED BOOK 1212, PAGE 215.

**CONTACT ZONING NOTE:**

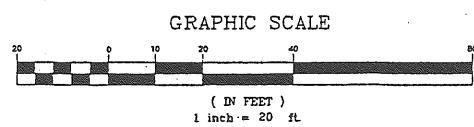
PRIOR TO FINAL REVIEW OF THE SUBDIVISION PLAN BY THE PLANNING BOARD, THE PLAN WILL BE MODIFIED TO REFLECT CONTRACT ZONING PROVISIONS, DIMENSIONAL REQUIREMENTS, NOTE REVISIONS, OR ADDITIONAL INFORMATION AS APPROVED BY THE PORTLAND CITY COUNCIL AND PLANNING

**UTILITIES NOTE:**

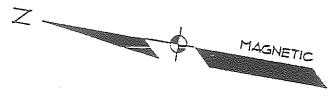
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**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
⊠	MONUMENT	⊠
—○—	IRON PIPE/ROD	—○—
---	EASEMENT	---
---	BUILDING	---
---	CURBLINE	---
---	GAS	---
---	WATER	---
---	SEWER	---
---	OVERHEAD ELEC. 4 TEL.	---
---	GATE VALVE	---
---	UTILITY POLE	---
---	HYDRANT	---
---	CATCH BASIN	---
---	MANHOLE	---
---	BARB WIRE FENCE	---
---	GUARDRAIL	---



P.74



FOREST AVE.

10" x 10" MON

PASSAGEWAY FOR YMCA AND HURLEY POSSIBLE JOINT OWNERSHIP SEE NOTE 3

CMP-MH EASEMENT 14023/37 TRENCH

5' EASEMENT TO CITY 9685/75

N/F PAMELA A. HURLEY 12089/243 36-6-33

CUMBERLAND AVE.

N/F YOUNGMEN'S CHRISTIAN ASSOCIATION 36-6-9

N/F ROBERT W. THOMPSON & ROBERT M. THOMPSON 10971/223 36-6-11.12

N/F MARK E. PERRY 12078/312 36-6-15

SOLID WASTE MANAGEMENT GARAGE

YMCA (86 RESIDENTIAL UNITS) BRICK BUILDING 61,385 S.F.± 1.41 Ac.±

LOT AREA TO REMAIN 55,137 S.F.± 1.27 Ac.±

N/F H. PAGE & PATRICIA G. BURNHAM 10178/295 36-6-32

N/F RALPH & DONNA LAMB 14388/152 36-6-7

N/F B/C MANAGEMENT CORPORATION 12220/30 36-6-10

N/F PARKSIDE PROPERTIES LLC 16808/2 36-6-8

N/F ELIZABETH R. & LEONARD L. STEVENS 36-6-29

N/F ELIZABETH R. & LEONARD L. STEVENS 36-6-27

N/F ELIZABETH R. & LEONARD L. STEVENS 36-6-28

SOLID WASTE MANAGEMENT ENCLOSURE, TYP.

HANDICAP SIGN 4 PAINT, TYP.

PROPOSED ADDITION 2221 SF.

BIKE RACK

CURB FLUSH

LOAM AND SEED

PROPOSED 4184 SF. BUILDING FFE=625

TRANSITION LOW REVEAL VERT. GRANITE CURB TO MATCH FLUSH TIPDOWN CURB, TYP.

ADD NEW VERT. GRANITE CURB

RIM=58.02 6" OUT=

FLUSH MOUNTED GRANITE CURB

CONCRETE ISLAND WATER QUALITY TREATMENT UNIT

RIM=75.23 INV.=62.33

ENTRANCE

5/8" IRF

TOP OF WALL SHELF 81.0

RETAINING WALL

TOP OF SHELF 80.5

TOP OF WALL SHELF 80.0

TOP OF SHELF 79.5

TOP OF SHELF 79.0

6" MON 3' 0" SET AT PARK AVE.

DISCONNECT STORM DRAIN CUT AND MORTAR END

END OF SIDEWALK REPAIR CONSTRUCTION LIMITS

TIE INTO EXISTING 18-INCH SEWER

REMOVE STRAIGHT CURB SECTION, INSTALL TIPDOWNS

HIGH STREET

TIE INTO EXISTING 18-INCH SEWER

REMOVE TIPDOWNS CLOSE ENTRANCE WITH VERT. GRANITE CURB

REMOVE EXISTING TIPDOWN

MONUMENT YMCA SIGN

END OF SIDEWALK REPAIR CONSTRUCTION LIMITS

8" MAPLE

12" MAPLE

4" CRABAPPLE

6" MAPLE

6" MAPLE

10" MAPLE

PAVED PARKING

RESET CURBING TIPDOWN FOR HANDICAP ACCESS

LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY ROW	---
—○—	MONUMENT	—●—
—○—	IRON PIPE/ROD	—○—
▨	BUILDING	▨
---	CURBLINE	---
---	CONTOURS	---
---	GAS	---
---	WATER	---
---	SEWER	---
---	STORM DRAIN	---
---	OVERHEAD ELEC. & TEL.	---
— —	GATE VALVE	— —
— —	UTILITY POLE	— —
— —	HYDRANT	— —
— —	CATCH BASIN	— —
— —	MANHOLE	— —
— —	BARB WIRE FENCE	— —
— —	DECIDUOUS TREE	— —

GRAPHIC SCALE



P.75

**Sebago Technics**  
Engineering Experts You Can Build On  
Westbrook, ME 04098-1139  
Tel: (207) 855-0277

DATE: 12-29-03

SUBMITTED FOR FINAL CONTRACT ZONING  
REMOVED SITE PLAN FOR CONTRACT ZONING  
SUBMITTED FOR CONTRACT ZONING

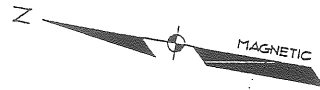
DATE: 12-29-03

SUBMITTED FOR FINAL CONTRACT ZONING  
REMOVED SITE PLAN FOR CONTRACT ZONING  
SUBMITTED FOR CONTRACT ZONING

DATE: 12-29-03

SUBMITTED FOR FINAL CONTRACT ZONING  
REMOVED SITE PLAN FOR CONTRACT ZONING  
SUBMITTED FOR CONTRACT ZONING

SITE, GRADING, & UTILITIES PLAN  
 OF  
 GREATER PORTLAND YMCA MASTER PLAN  
 HIGH STREET, CUMBERLAND, MAINE  
 FOR  
 GREATER PORTLAND YMCA



FOREST AVE.

10" x 10" MON

PASSAGEWAY FOR YMCA AND HURLEY POSSIBLE. JOINT OWNERSHIP. SEE NOTE 3.

CMP-MH EASEMENT 14023/37 TRENCH

5' EASEMENT TO CITY 9695/73

ENTRANCE ELEVATIONS UPPER=74.41

N/F PAMELA A. HURLEY 12089/243 36-C-33

CUMBERLAND AVE.

YMCA (86 RESIDENTIAL UNITS) BRICK BUILDING 61,385 S.F.± 1.41 Ac.±

LOT AREA TO REMAIN 55,137 S.F.± 1.27 Ac.±

N/F H. PAGE & PATRICIA G. BURHAM 11178/285 36-C-32

N/F ELIZABETH R. & LEONARD L. STEVENS 26-C-29

N/F ELIZABETH R. & LEONARD L. STEVENS 36-C-27

N/F ELIZABETH R. & LEONARD L. STEVENS 36-C-28

N/F YOUNG MEN'S CHRISTIAN ASSOCIATION 36-C-9

N/F ROBERT W. THOMPSON & ROBERT M. THOMPSON 10971/223 36-C-11,12

N/F MARK E. PERRY 12678/312 36-C-15

N/F RALPH & DONNA LAM 14398/152 36-C-7

N/F B&G MANAGEMENT CORPORATION 12220/30 36-C-10

N/F PARKSIDE PROPERTIES LLC 16806/2 36-C-6

SOLID WASTE MANAGEMENT ENCLOSURE, TYP.

PROPOSED ADDITION 2,112 S.F.

ENTRANCE

BIKE RACK

LIGHTPOLE, TYP. 16' HGT.

HIGH STREET

6" MON 3' O/SET AT PARK AVE.

6" x 6" O/S MON

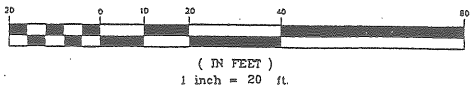
PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SIZE
AA	ACER X FREEMANII 'ARMSTRONG'	ARMSTRONG RED MAPLE	2 1/2" CAL.
AG	AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	8'-10' HGT. (LIMB UP)
AU	ARCTOSTAPHYLOS UVA-URSI	BEARBERRY	NO. 1 CONT.
CA	CALAMAGROSTIS X ACUTIFOLLA 'KARL FOERSTER'	KARI FOERSTERS FEATER REED GRASS	NO. 1 CONT.
HB	HOSTA TARDIANA 'HADSPEEN BLUE'	HADSPEEN BLUE HOSTA	NO. 1 CONT.
HS	HOSTA 'SUNPOUER'	SUNPOUER HOSTA	NO. 1 CONT.
KL	KALMIA LATIFOLIA	MOUNTAIN LAUREL	24"-30"
RA	RHODODENDRON 'ALGO'	ALGO RHODODENDRON	24"-30"
RC	ROSA 'CAREFREE WONDER'	CAREFREE WONDER ROSE	NO. 2 CONT.
RE	RHODODENDRON 'ENGLISH ROSEUM'	ENGLISH ROSEUM RHODODENDRON	24"-30"
RL	RHODODENDRON LAETEVIRENS	WILSON RHODODENDRON	24"-30"
SB	SPIREA X BUMALDA 'GOLD FLAME'	GOLD FLAME SPIRAEA	15"-18"
TO	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	6"-7" HGT.
PO	PICEA OMORIKA	SERBIAN SPRUCE	(SEE PLAN FOR HGT.)
FE	PENNISETUM ALOPECUROIDES 'HAMELN'	DWARF FOUNTAIN GRASS	NO. 1 CONT.
ST	SEDUM TELEPHIUM 'PURPLE EMPEROR'	PURPLE EMPEROR STONE CROP	NO. 1 CONT.
RF	RUDBECKIA FULGIDA 'GOLDSTURM'	GOLDSTURM BLACK-EYED SUSAN	NO. 1 CONT.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY ROW	---
—□—	MONUMENT	—□—
—○—	IRON PIPE/ROD	—○—
▬▬▬▬▬	BUILDING CURBLINE	▬▬▬▬▬
▬▬▬▬▬	CONTOURS	▬▬▬▬▬
—G—	GAS	—G—
—W—	WATER	—W—
—S—	SEWER	—S—
—E—	OVERHEAD ELEC. & TEL	—E—
—V—	GATE VALVE	—V—
—U—	UTILITY POLE	—U—
—H—	HYDRANT	—H—
—B—	CATCH BASIN	—B—
—M—	MANHOLE	—M—
—F—	BARB WIRE FENCE	—F—
—D—	DECIDUOUS TREE	—D—
—R—	GUARDRAIL	—R—

GRAPHIC SCALE



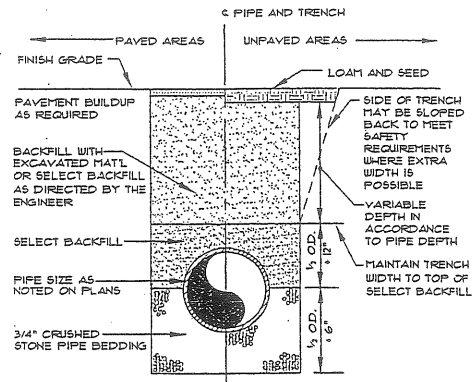
P. 76

LANDSCAPE PLAN OF: GREATER PORTLAND YMCA MASTER PLAN HIGH STREET PORTLAND, MAINE FOR: GREATER PORTLAND YMCA (C/O CUMBERLAND

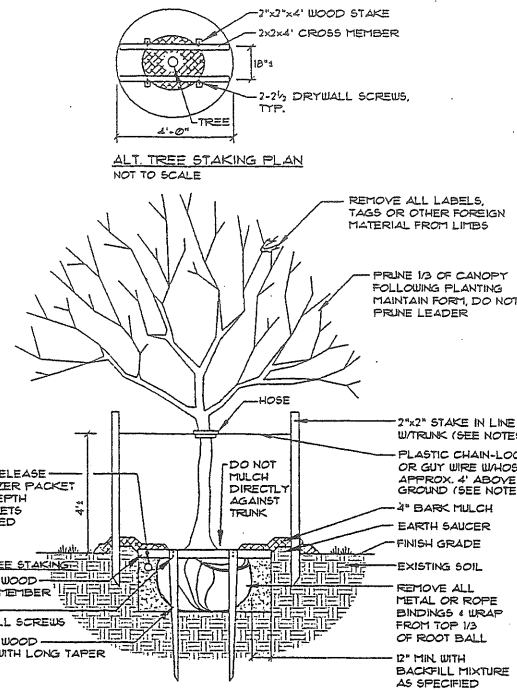
Sebago Technics Engineering, Excavation You Can Build On One Check Street Westbrook, ME 04098-1339 Tel (207) 858-0277

DATE: 12-29-03 SCAL: 1"=20'

4-2-04 SUBMITTED FOR FINAL CONTRACT ZONING  
1-27-04 SUBMITTED FOR CONTRACT ZONING

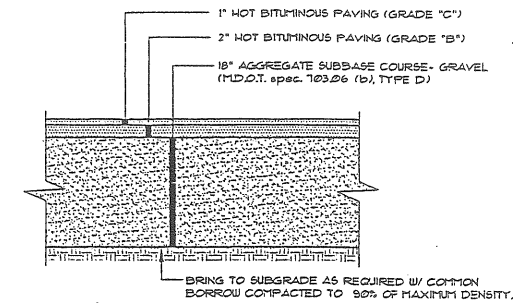


**TYPICAL TRENCH SECTION**  
NOT TO SCALE



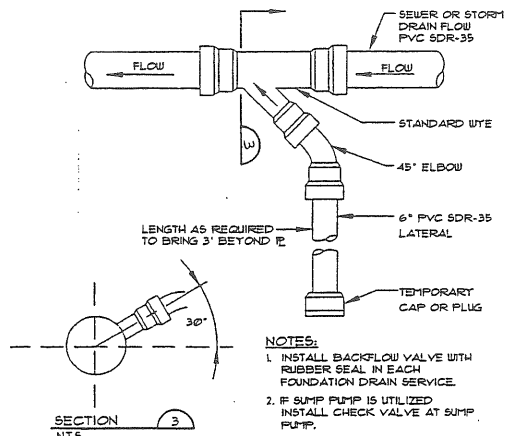
- NOTES:**
1. THE TREE IS OF SUBSTANTIAL SIZE.
  2. THE PLANTING LOCATION IS EXTREMELY WINDY, AS ON OPEN UNDEVELOPED SITES.
  3. THE PLANTING LOCATION IS COMPOSED OF SAND OR OTHER LOOSE TEXTURED SOILS.
  4. IF STAKES AND GUYS ARE REQUIRED, REMOVE AFTER ONE YEAR TIME.

**DECIDUOUS TREES 2\"/>**



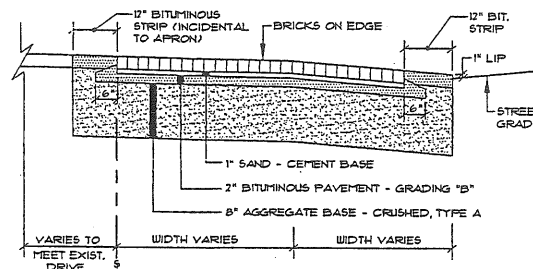
- NOTES:**
1. COMPACT GRAVEL SUBBASE, BASE COURSE TO 92% OF MAXIMUM DENSITY USING HEAVY ROLLER COMPACTION.
  2. CONTRACTOR SHALL SET GRADE STAKES MARKING SUBBASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.

**TYP. PAVED PARKING LOT SECTION**  
NOT TO SCALE



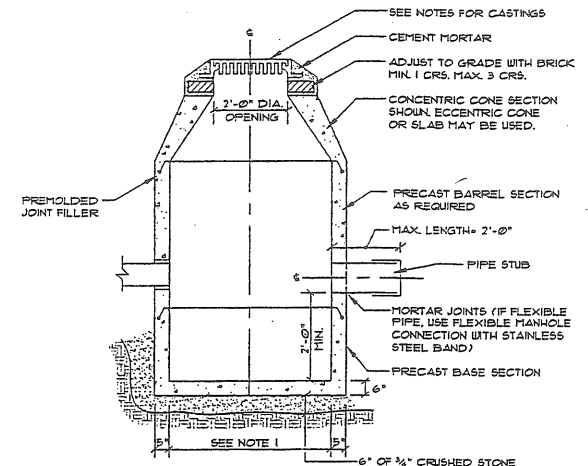
- NOTES:**
1. INSTALL BACKFLOW VALVE WITH RUBBER SEAL IN EACH FOUNDATION DRAIN SERVICE.
  2. IF SUMP PUMP IS UTILIZED INSTALL CHECK VALVE AT SUMP PUMP.

**SEWER / FOUNDATION DRAIN SERVICE CONNECTION**  
NOT TO SCALE



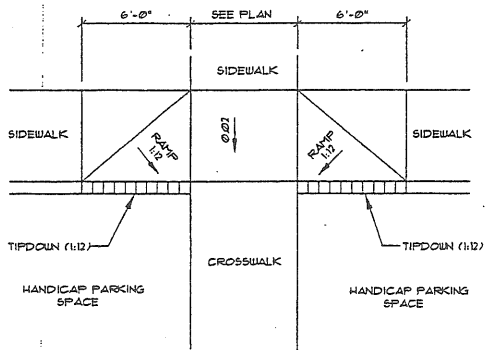
**NOTE:** BORDER COURSE OF BRICK SHALL BE MORTARED TO CONCRETE BASE.

**BRICK WITH BITUMINOUS BASE DRIVEWAY CONSTRUCTION**  
NOT TO SCALE

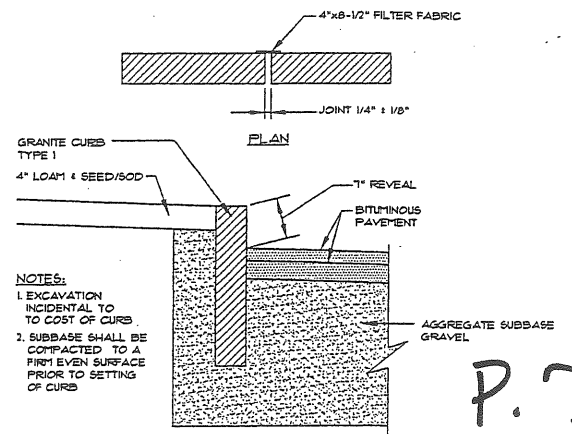


- NOTES:**
1. 4\"/>

**TYPICAL CATCH BASIN**  
NOT TO SCALE



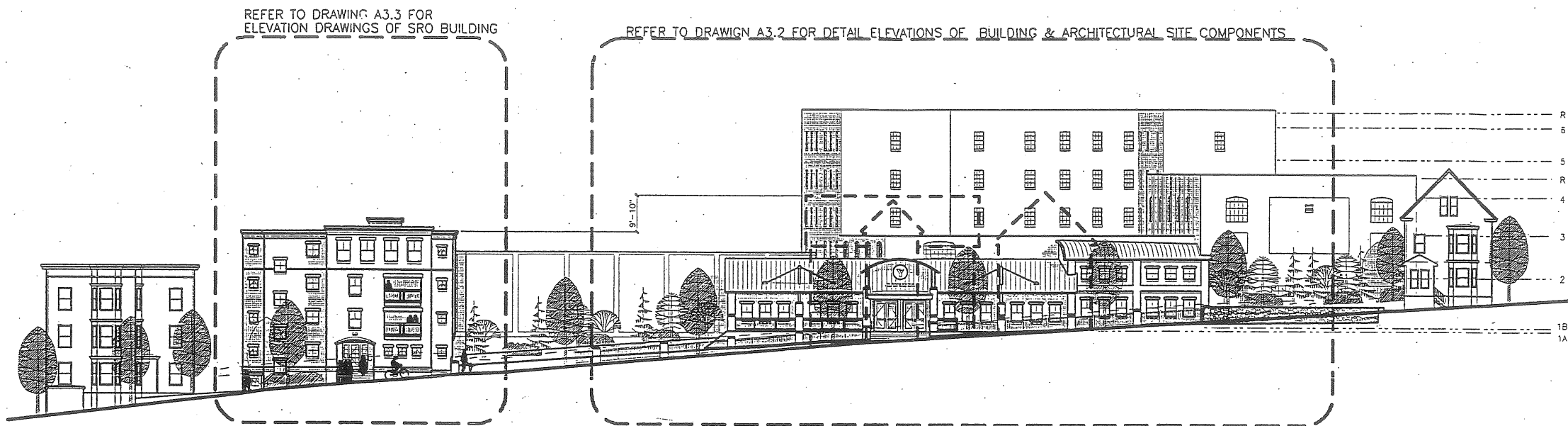
**HANDICAP RAMP**  
NOT TO SCALE



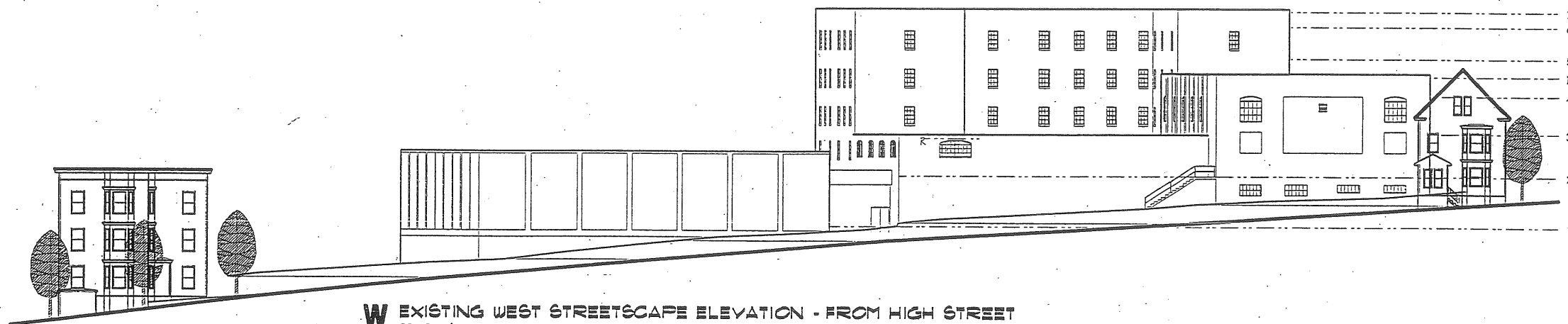
- NOTES:**
1. EXCAVATION INCIDENTAL TO COST OF CURB.
  2. SUBBASE SHALL BE COMPACTED TO A FINI EVEN SURFACE PRIOR TO SETTING OF CURB.

**VERTICAL GRANITE CURB**  
NOT TO SCALE

P. 77



**W** PROPOSED WEST SITE MASTER PLAN ELEVATION - FROM HIGH STREET  
SCALE: 1"=20'-0"



**W** EXISTING WEST STREETSCAPE ELEVATION - FROM HIGH STREET  
SCALE: 1/16"=1'-0"

NOTE: THE YMCA HAD INVITED THE PARKSIDE NEIGHBORHOOD ASSOCIATION AND PORTLAND LANDMARKS TO PARTICIPATE IN THE PROCESS OF DEFINING FUNDAMENTAL SITE AND BUILDING DESIGN COMPONENTS, FEATURES AND DETAILING. OUT OF THIS PROCESS, THE CONCEPT DESIGNS REPRESENTED HEREIN WERE PREPARED. THIS PARTICIPATORY DESIGN REVIEW COMMITTEE WILL FURTHER CONVENE DURING THE PROCESS OF DETAILING THE DESIGNS WITH THE HOPES THAT THE END PRODUCT CONFORMS TO THE WILL OF THE COMMUNITY.

**CWS**

CWS Architects

Architecture  
Space Planning  
Value Design

134 Cumberland Avenue

Portland, ME 04101

Phone: (207) 774-4441

Fax: (207) 774-1816

www.CWSarch.com

Owner:

CUMBERLAND

COUNTY YMCA

70 Forest Avenue Portland, Maine 04101

(207) 874-1111

Contractor:



GREATER  
PORTLAND  
YMCA

MASTER PLAN

High Street - Portland, Maine

Project No: 00.404 YMP

Drawing Title:

PROPOSED  
SITE ELEVATIONS

Scale: 1" = 20'-0"

Date: April 2, 2004

Revisions:

△

△

△

△

△

△

△

△

△

Drawing Number:

**A3.1**

P.78

**CWS**  
**CWS Architects**  
 Architecture  
 Space Planning  
 Value Design  
 634 Cumberland Avenue  
 Portland, ME 04103  
 Phone: (207) 774-4441  
 Fax: (207) 774-4816  
 www.CWSArch.com

Owner:  
**GREATER PORTLAND YMCA**  
 c/o Cumberland County YMCA  
 70 Forest Avenue, Portland, Maine 04101  
 (207) 874-1111

Contractor:

**GREATER PORTLAND YMCA**  
**MASTER PLAN**  
 Portland, Maine

Project No: 00.404 YMP

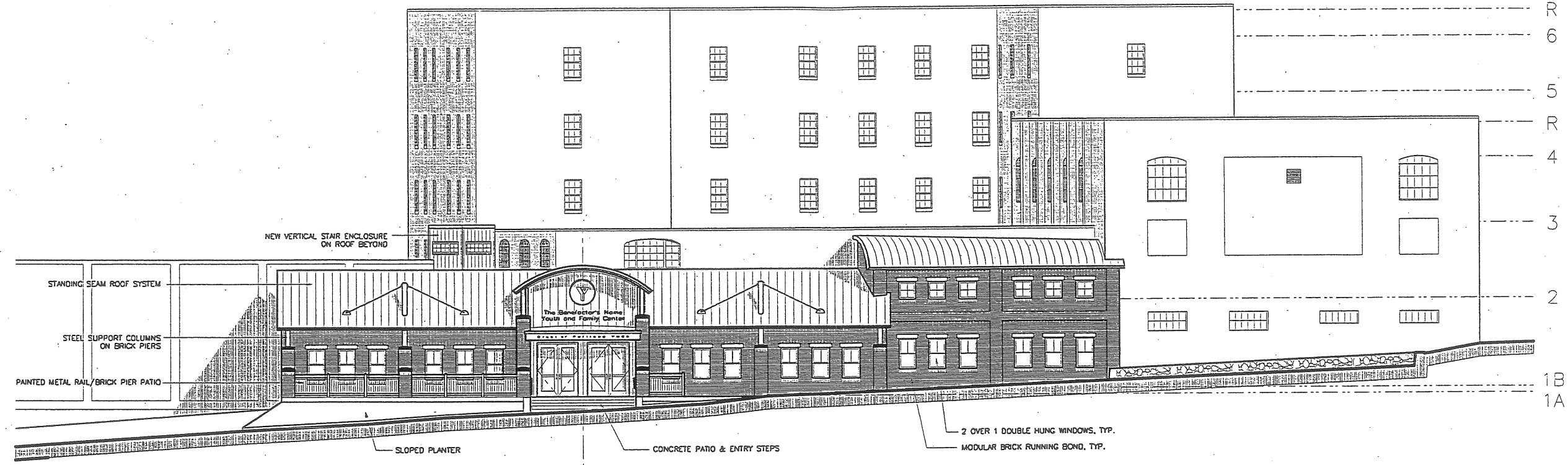
Drawing Title:  
**EXTERIOR ELEVATIONS**

Scale: 1/8" = 1'-0"  
 Date: April 7, 2004

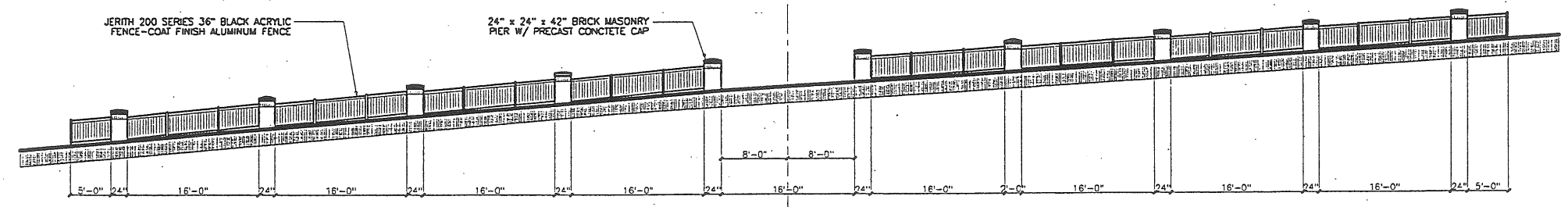
- Revisions:
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  - △

Drawing Number:

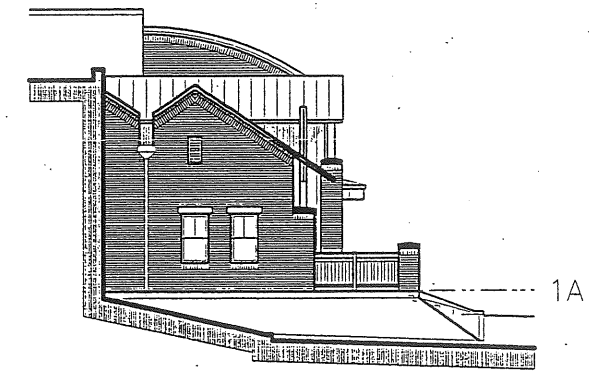
**A3.2**



**W PROPOSED WEST BUILDING ELEVATION - FROM PARKING AREA**  
 SCALE: 1/8"=1'-0"



**W PROPOSED WEST ELEVATION - FENCE AT PROPERTY LINE FROM HIGH STREET**  
 SCALE: 1/8"=1'-0"



**N PROPOSED NORTH BUILDING ELEVATION**  
 SCALE: 1/8"=1'-0"

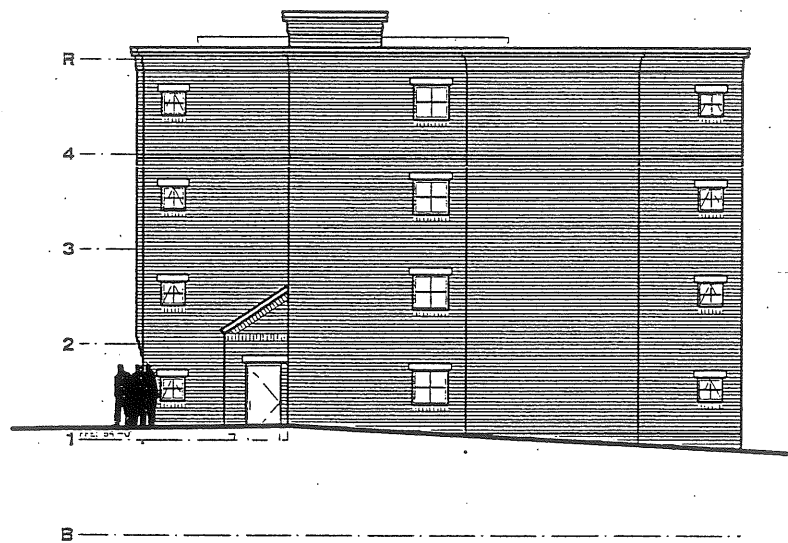
P.79



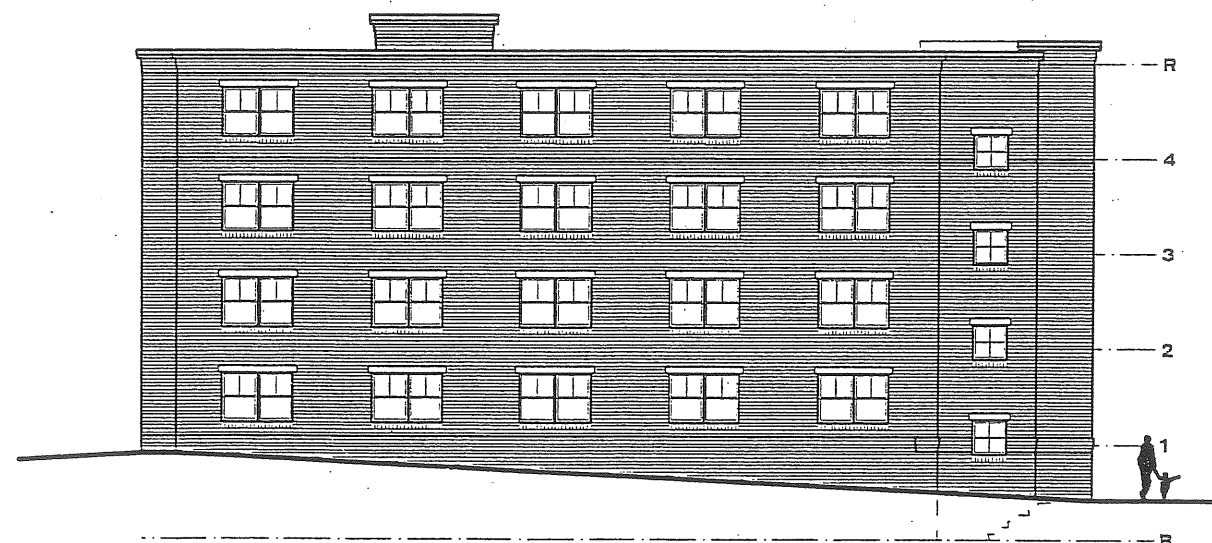
FRONT BUILDING ELEVATION  
FROM HIGH STREET



RIGHT SIDE BUILDING ELEVATION  
FROM YMCA PARKING LOT



REAR BUILDING ELEVATION



LEFT SIDE BUILDING ELEVATION

**CWS**

CWS Architects

Architecture  
Space Planning  
Value Design

134 Cumberland Avenue  
Portland, ME 04101  
Phone: (207)774-1441  
Fax: (207)774-1816

www.CWSarch.com

Owner:  
**CCYSRO, L.P.**  
c/o Cumberland County YMCA  
70 Forest Avenue Portland, Maine 04101  
(207) 874-1111

Contractor:



**YMCA**  
Apartments  
at 231  
High Street  
Portland, Maine

Project No. 03.403 YSH

Drawing Title:  
**BUILDING FRONT  
ELEVATION**

Scale: 1/8" = 1'-0"

Date: March 9, 2004

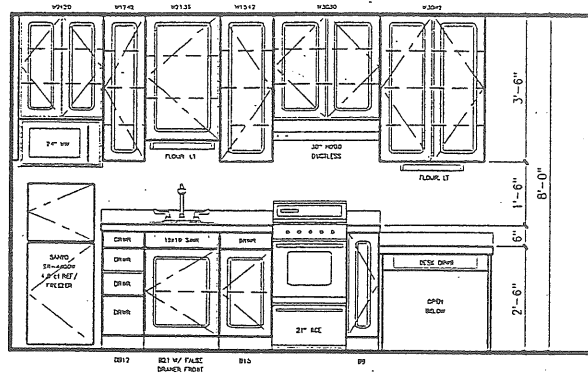
Revisions:

- △
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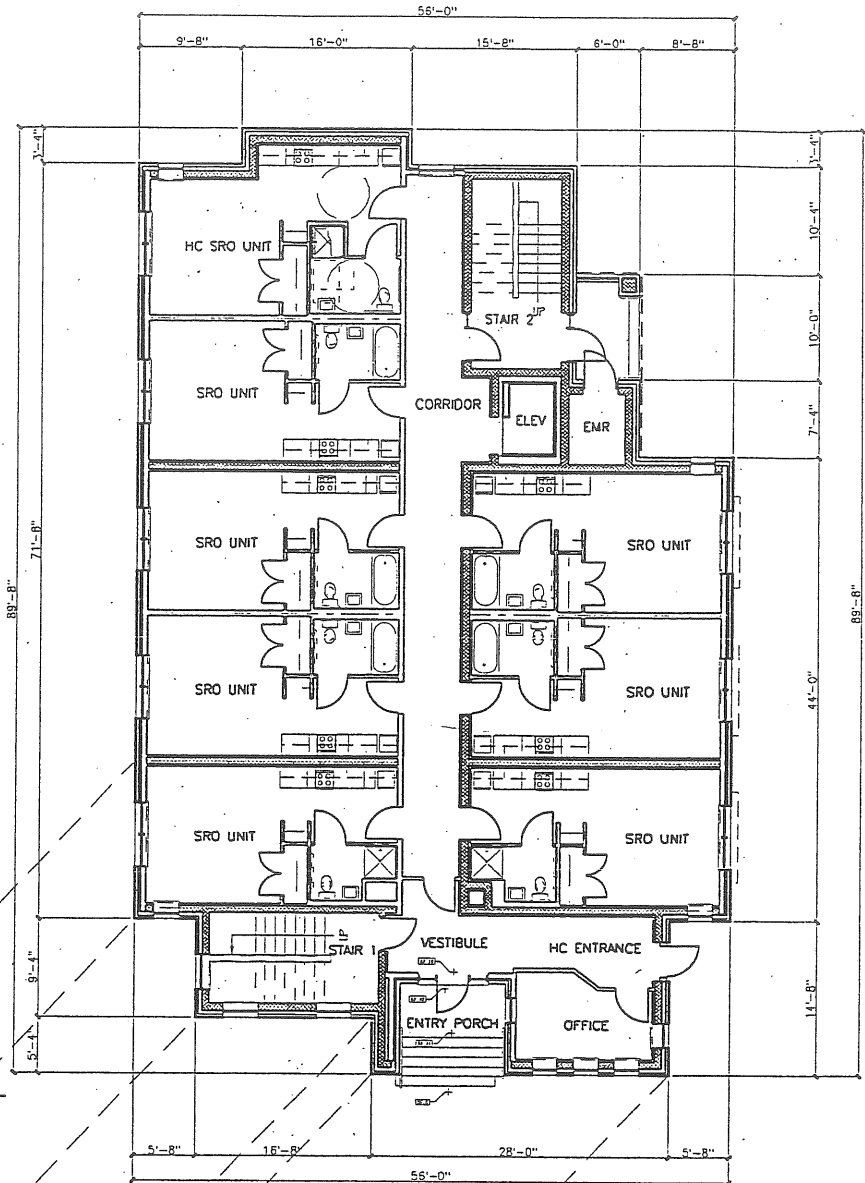
P. 80

Drawing Number:

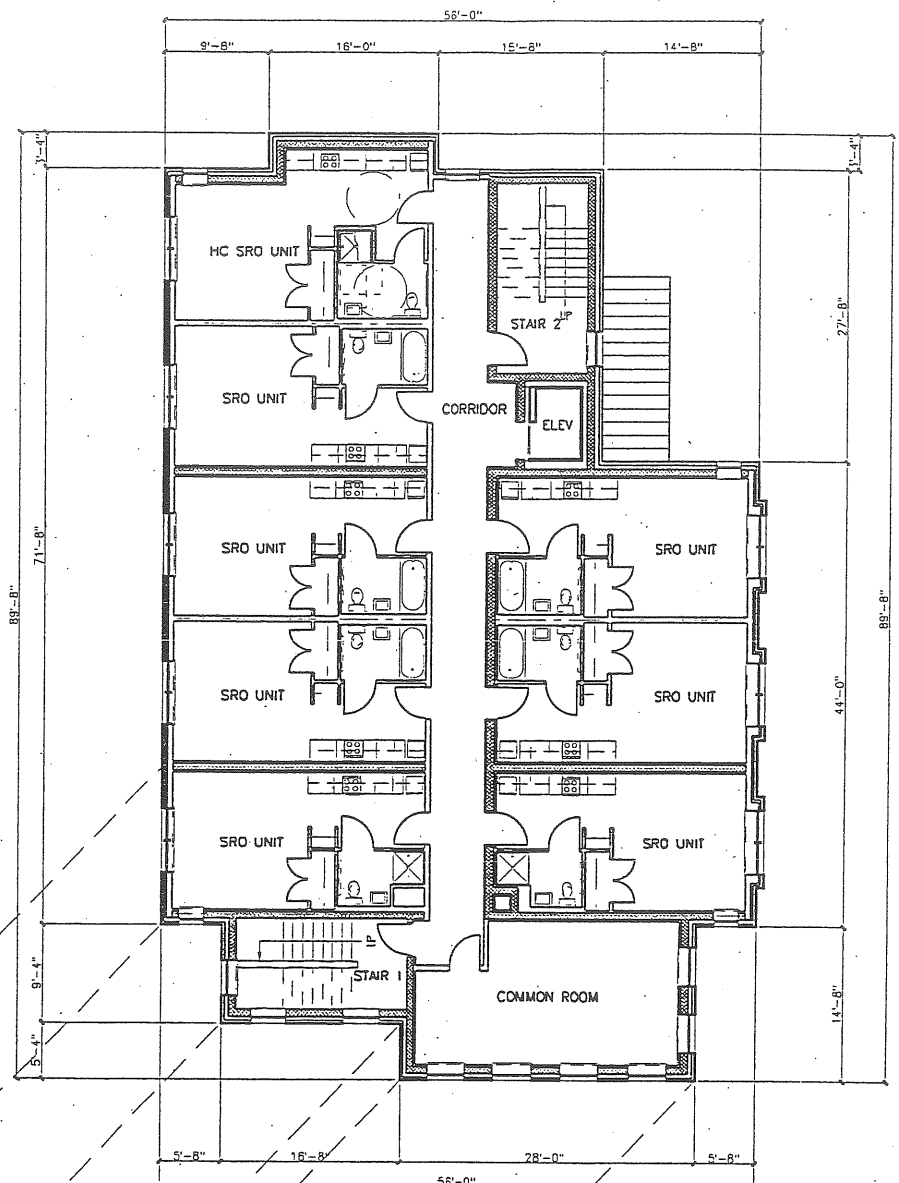
**A3.3**



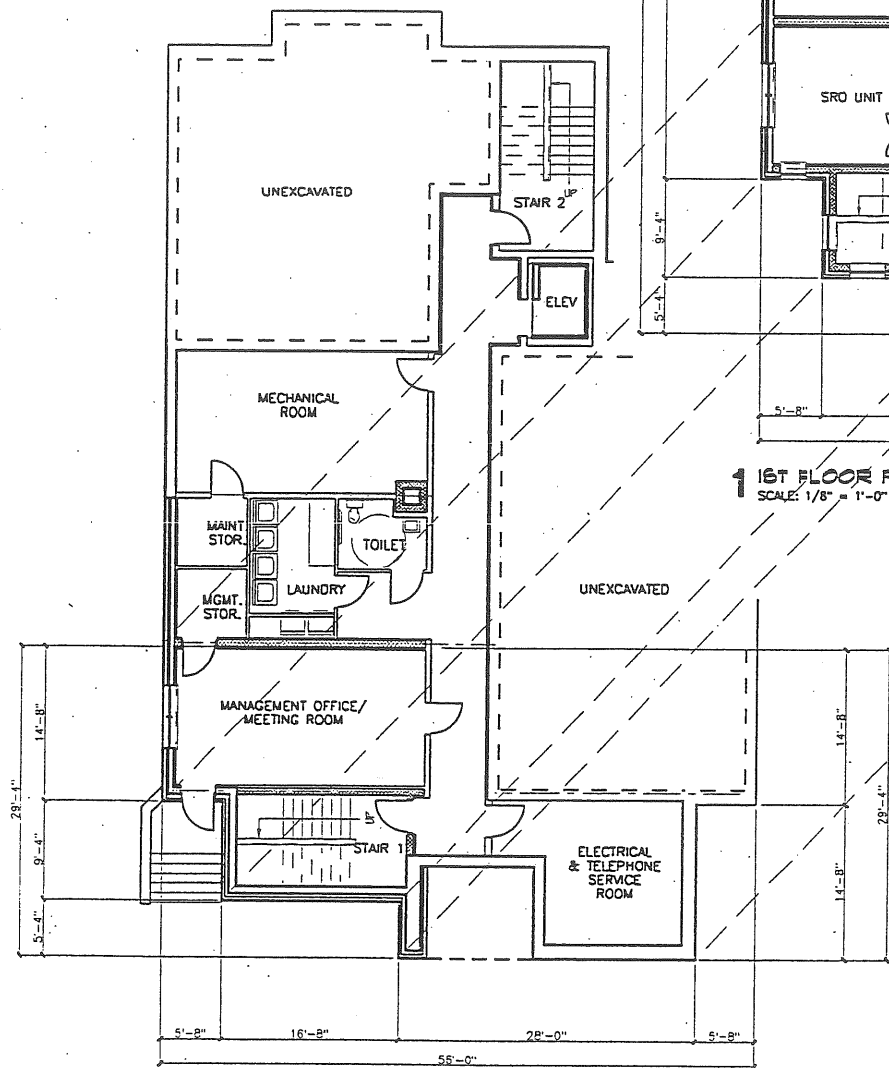
**K TYPICAL UNIT KITCHEN ELEVATION**  
SCALE: 1/2" = 1'-0"



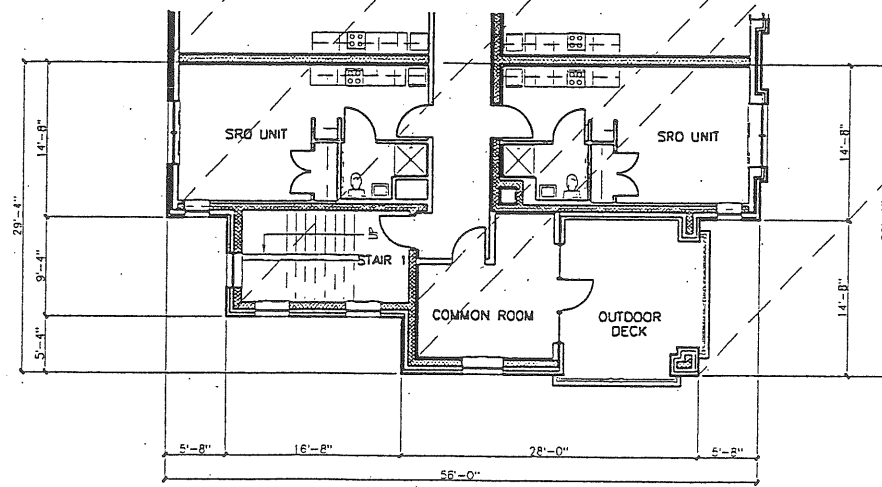
**1 1ST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**4 4TH FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**B BASEMENT FLOOR PLAN (PARTIAL)**  
SCALE: 1/8" = 1'-0"



**2-3 2ND & 3RD PARTIAL FLOOR PLANS (PARTIAL, 4TH FLR. SIM.)**  
SCALE: 1/8" = 1'-0"



CWS Architects

Architecture  
Space Planning  
Value Design

434 Cumberland Avenue  
Portland, ME 04101  
Phone: (207) 774-6881  
Fax: (207) 774-6816

www.CWSArch.com

Owner:  
**CCYSRO, L.P.**  
c/o Cumberland County YMCA  
70 Forest Avenue, Portland, Maine 04101  
(207) 874-1111

Contractor:



**YMCA**  
Apartments  
at 231  
High Street  
High Street - Portland, Maine

Project No: 03.403 YSH

Drawing Title:  
**BUILDING  
FLOOR PLANS**

Scale: 1/8" = 1'-0"  
Date: February 10, 2004

Revisions:

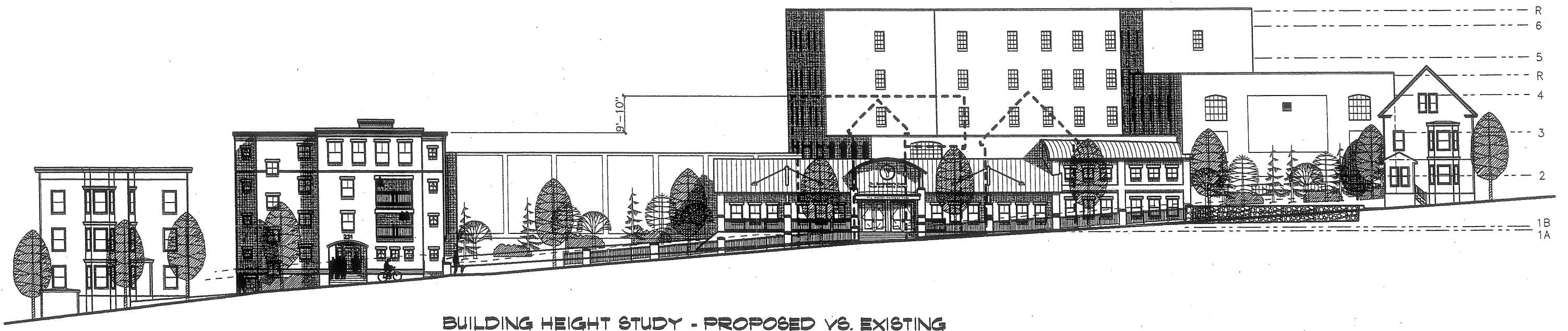
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P.81

Drawing Number:

**A1.1**





BUILDING HEIGHT STUDY - PROPOSED VS. EXISTING

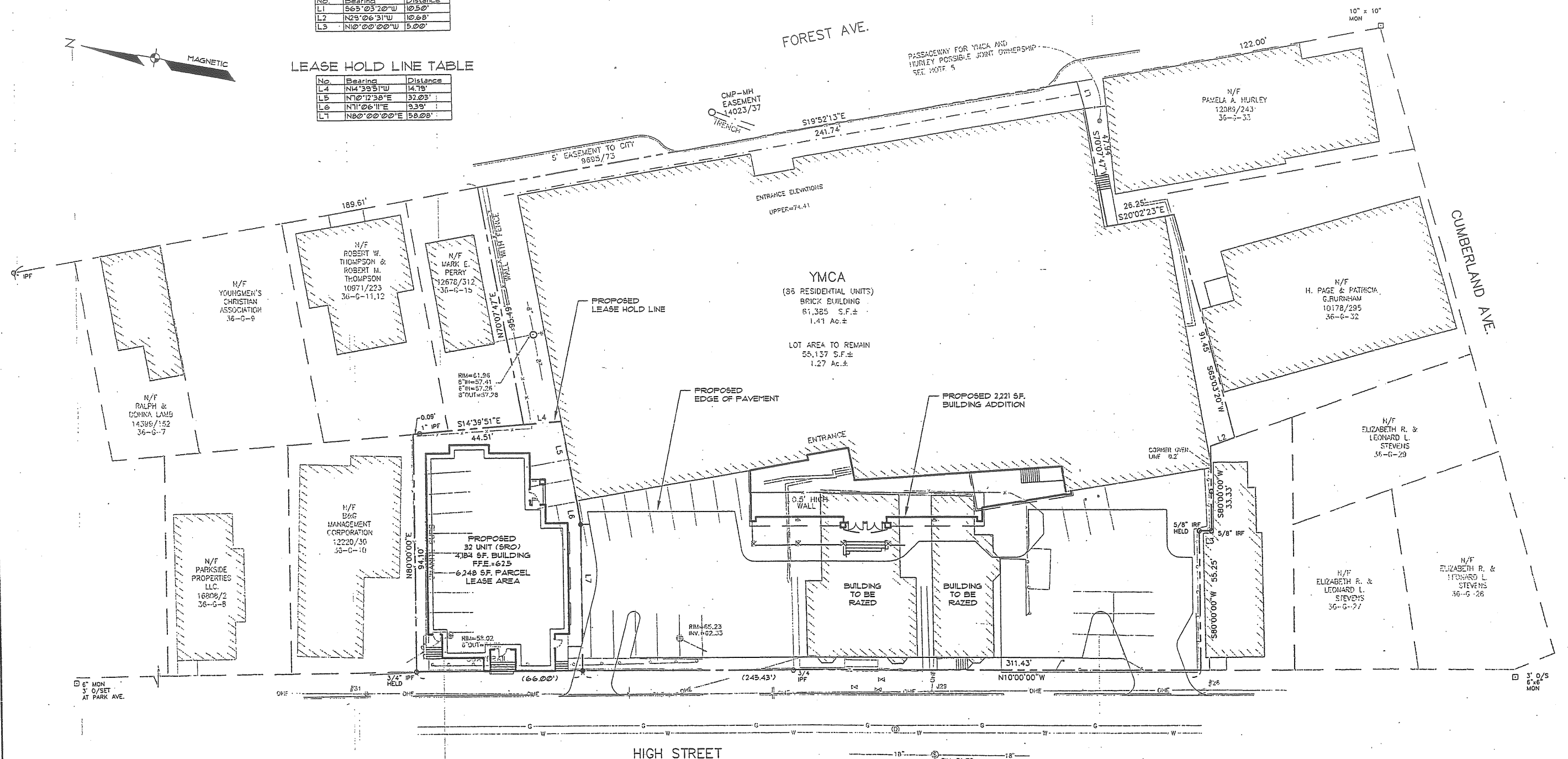
1B  
1A

**LINE TABLE**

No.	Bearing	Distance
L1	S68°23'20"W	10.50'
L2	N29°26'31"W	10.68'
L3	N10°20'00"W	5.00'

**LEASE HOLD LINE TABLE**

No.	Bearing	Distance
L4	N14°39'51"W	14.79'
L5	N10°12'30"E	37.03'
L6	N71°06'11"E	9.39'
L7	N80°00'00"E	58.00'



**NOTES:**

- OWNERS OF RECORDS AND TAX LOTS:
 

PARCEL ID	OWNER - BOOK/PAGE
36-6-20	YMCA - 111/142 & 1153/136 & 1212/215 & 281/101 & 2848/25 & 2844/324 & 2137/458 & 2511/398 & 2359/261 AND 265
36-G-22	YMCA - 11506/288
36-G-2425	YMCA - 9007/106
36-G-21	YMCA - 14105/1
- BEARINGS ARE MAGNETIC 1999.
- ELEVATIONS ARE BASED ON CITY DATUM.
- THE TOTAL AREA OF THE PROPERTY IS APPROXIMATELY 1.41 ACRES.
- THIS PROPERTY IS LOCATED IN AN EXISTING R-6 ZONE. THE PROJECT IS CURRENTLY BEING REVIEWED FOR CONTRACT ZONING FOR THE PARCEL(S) SHOWN ON THIS PLAN. THE FOLLOWING ARE THE CURRENT STANDARDS FOR THE R-6 ZONE:
 

MIN. LOT SIZE:	4500 SF.
MIN. STREET FRONTAGE:	40 FT.
MIN. FRONT YARD:	10 FT.
MIN. SIDE YARD:	1 TO 3 STORIES = 10 FT.
MIN. REAR YARD:	20 FT. 4 STORIES = 12 FT.
MAX. BUILDING HEIGHT:	45 FT. 5 STORIES = 15 FT.
MIN. LOT WIDTH:	50 FT.
MAX. LOT COVERAGE:	40% W/ 20+ DWELLING UNITS 50% W/ LESS THAN 20 UNITS 20% W/ LESS THAN 20 UNITS 30% W/ 20+ DWELLING UNITS
- PARKING REQUIREMENTS FOR THE PROPOSED RESIDENTIAL USE SHALL

**NOTES (CONT.):**

- UTILITIES SHOWN ARE BASED ONLY ON PLANS AND STRUCTURES FOUND. NO INVESTIGATION INTO SERVICE LINES HAS BEEN MADE. A PORTLAND WATER DISTRICT PLAN SHOWS A SERVICE FOR THE YMCA COMING FROM FOREST AVE.
- SEE DEEDS IN 1212/15 AND 1212/11 WHICH APPEAR TO HAVE CREATED TWO 5 FOOT STRIPS OF LAND. ONE STRIP OWNED BY YMCA IS ADJACENT TO THE HURLEY BUILDING. THE OTHER STRIP OWNED BY HURLEY IS ADJACENT TO THE YMCA BUILDING. HOWEVER THE STATED INTENT OF THE TWO DEEDS IS TO MAKE A PASSAGEWAY TO BE USED IN COMMON.
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATIONS TO OR DEVIATIONS FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LAND-SCAPING, EROSION CONTROL, AND TREE REMOVAL OR REPLANTING.

**PLAN REFERENCES:**

- SURVEY BY E.C. JORDAN SURVEYORS 1903, 1923, 1925, 1935, AND 1945.
- PLAN FOR R-HIGH RINES AND YMCA BY PERCY H. RICHARDSON, RECORDED WITH DEED BOOK 122, PAGE 118.

**CONTACT ZONING NOTE:**

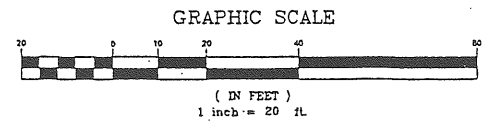
PRIOR TO FINAL REVIEW OF THE SUBDIVISION PLAN BY THE PLANNING BOARD, THE PLAN WILL BE MODIFIED TO REFLECT CONTRACT ZONING PROVISIONS, DIMENSIONAL REQUIREMENTS, NOTE REVISIONS, OR ADDITIONAL

**UTILITIES NOTE:**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH

**LEGEND**

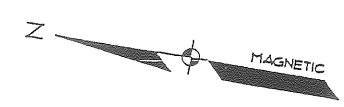
EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
—○—	MONUMENT	—○—
—○—	IRON PIPE/ROD	—○—
---	EASEMENT	---
---	BUILDING	---
---	CURBLINE	---
---	GAS	---
---	WATER	---
---	SEWER	---
---	OVERHEAD ELEC. & TEL	---
---	GATE VALVE	---
---	UTILITY POLE	---
---	HYDRANT	---
---	CATCH BASIN	---
---	MANHOLE	---
---	BARB WIRE FENCE	---
---	GUARDRAIL	---



PRELIMINARY SUBDIVISION PLAN  
32 UNIT (SRO)  
OFF. CREATOR PORTLAND YMCA  
1212 1/2 HIGH STREET  
PORTLAND, MAINE 04102  
DATE

**Sebago Technics**  
Engineering Experts You Can Build On  
100 Chestnut Street  
Watsonville, MA 04098-1339  
Tel: (703) 488-1977

DATE



FOREST AVE.

CUMBERLAND AVE.

YMCA  
(66 RESIDENTIAL UNITS)  
BRICK BUILDING  
81,385 S.F.±  
1.41 Ac.±

LOT AREA TO REMAIN  
55,137 S.F.±  
1.27 Ac.±

H/F  
PAMELA A. HURLEY  
12089/243  
36-G-33

H/F  
H. PAGE & PATRICIA  
C. BURMAN  
18178/295  
36-G-32

H/F  
ELIZABETH R. &  
LEONARD L. STEVENS  
36-G-28

H/F  
ELIZABETH R. &  
LEONARD L. STEVENS  
36-G-27

H/F  
ELIZABETH R. &  
LEONARD L. STEVENS  
36-G-26

CMP-MH  
EASEMENT  
14023/37  
TRENCH

5' EASEMENT TO CITY  
9695/73

SOLID WASTE  
MANAGEMENT  
GARAGE

SOLID WASTE  
MANAGEMENT  
ENCLOSURE, TYP.

PROPOSED  
ADDITION  
2,221 SF.

HANDICAP  
SIGN 4 PAINT,  
TYP.

ENTRANCE

BIKE  
RACK

CURB  
FLUSH

CORNER OVER  
LINE 1/2"

LOAM AND SEEP

PROPOSED  
4184 SF. BUILDING  
FFE=625

TRANSITION LOW REVEAL  
VERT. GRANITE CURB  
TO MATCH FLUSH  
TIPDOWN CURB,  
TYP.

ADD NEW VERT.  
GRANITE CURB  
6" OUT-

REMOVE STRAIGHT  
CURB SECTION,  
INSTALL TIPDOWNS

REMOVE STRAIGHT  
CURB SECTION,  
INSTALL TIPDOWNS

REMOVE STRAIGHT  
CURB SECTION,  
INSTALL TIPDOWNS

REMOVE STRAIGHT  
CURB SECTION,  
INSTALL TIPDOWNS

REMOVE STRAIGHT  
CURB SECTION,  
INSTALL TIPDOWNS

REMOVE STRAIGHT  
CURB SECTION,  
INSTALL TIPDOWNS

REMOVE STRAIGHT  
CURB SECTION,  
INSTALL TIPDOWNS

REMOVE STRAIGHT  
CURB SECTION,  
INSTALL TIPDOWNS

REMOVE STRAIGHT  
CURB SECTION,  
INSTALL TIPDOWNS

REMOVE STRAIGHT  
CURB SECTION,  
INSTALL TIPDOWNS

REMOVE STRAIGHT  
CURB SECTION,  
INSTALL TIPDOWNS

REMOVE STRAIGHT  
CURB SECTION,  
INSTALL TIPDOWNS

HIGH STREET

TIE INTO EXISTING  
18-INCH SEWER

REMOVE TIPDOWNS  
CLOSE ENTRANCE WITH  
VERT. GRANITE CURB

REMOVE TIPDOWNS  
CLOSE ENTRANCE WITH  
VERT. GRANITE CURB

REMOVE TIPDOWNS  
CLOSE ENTRANCE WITH  
VERT. GRANITE CURB

REMOVE TIPDOWNS  
CLOSE ENTRANCE WITH  
VERT. GRANITE CURB

REMOVE TIPDOWNS  
CLOSE ENTRANCE WITH  
VERT. GRANITE CURB

REMOVE TIPDOWNS  
CLOSE ENTRANCE WITH  
VERT. GRANITE CURB

REMOVE TIPDOWNS  
CLOSE ENTRANCE WITH  
VERT. GRANITE CURB

RESET CURBING  
TIPDOWN FOR  
HANDICAP ACCESS

PAVED  
PARKING

DISCONNECT STORM DRAIN  
CUT AND MORTAR END

END OF SIDEWALK REPAIR  
CONSTRUCTION LIMITS

TIE INTO EXISTING 18-INCH  
SEWER

END OF SIDEWALK REPAIR  
CONSTRUCTION LIMITS

MONUMENT  
YMCA SIGN

LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
—□—	MONUMENT	—■—
—○—	IRON PIPE/ROD	—●—
▨▨▨▨▨	BUILDING	▨▨▨▨▨
—	CURBLINE	—
---124---	CONTOURS	---124---
---6"---	GAS	---6"---
---8"---	WATER	---8"---
---8"---	SEWER	---8"---
---12"SD---	STORM DRAIN	---12"SD---
---OHE---	OVERHEAD ELEC. 4 TEL.	---OHE---
—V—	GATE VALVE	—V—
—U—	UTILITY POLE	—U—
—H—	HYDRANT	—H—
—C—	CATCH BASIN	—C—
—M—	MANHOLE	—M—
—B—	BARB WIRE FENCE	—B—
—D—	DECIDUOUS TREE	—D—

GRAPHIC SCALE

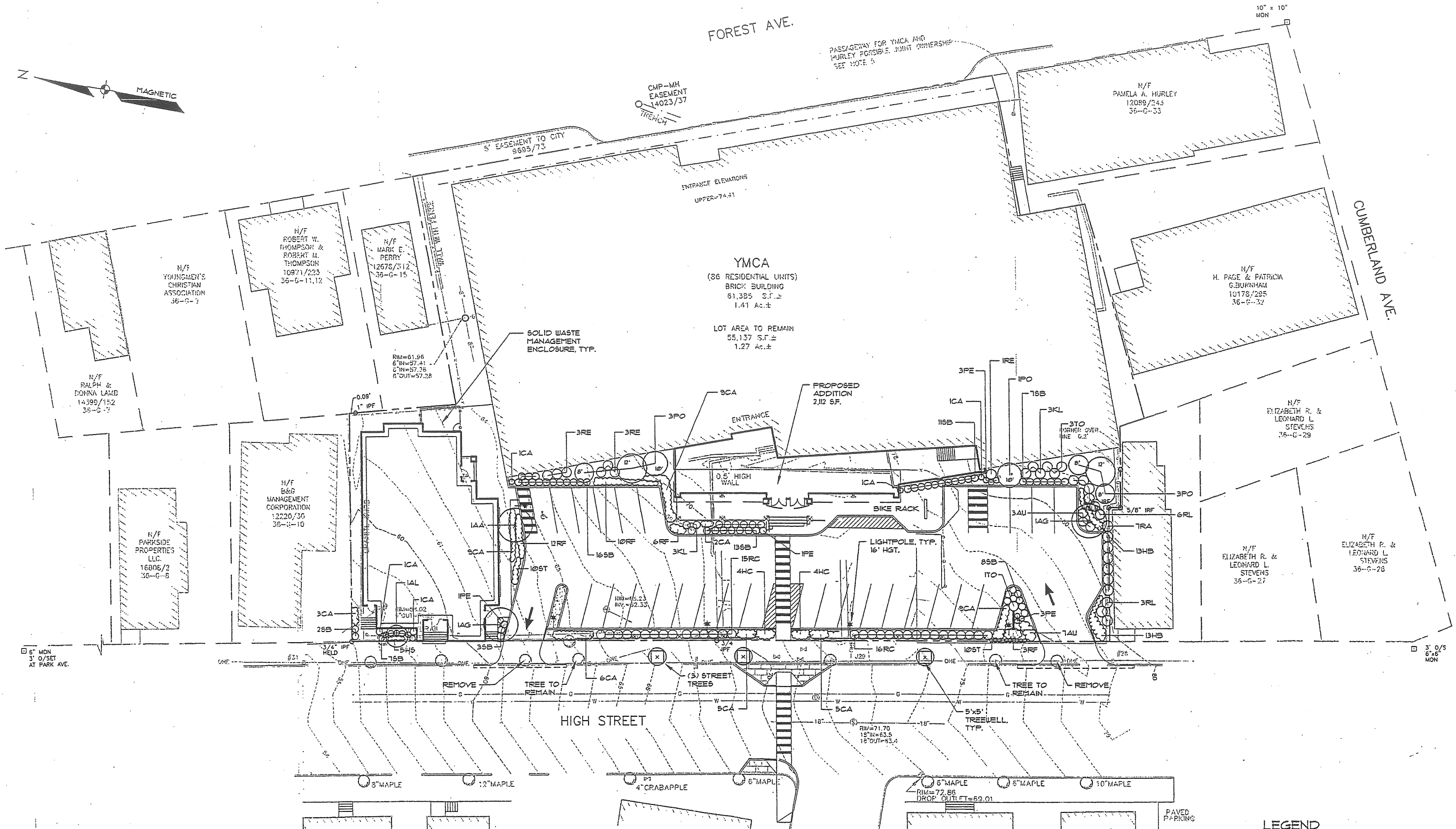


4-2-04 SUBMITTED FOR FINAL CONTRACT ZONING  
03-02-04 REVISED SITE PLAN FOR CONTRACT ZONING  
1-27-04 SUBMITTED FOR CONTRACT ZONING

JRS  
JRS  
JRS  
C  
B  
A

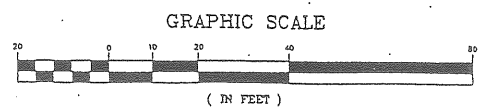
**Sebago Technics**  
Engineering Expenses You Can Build On  
One Seabrook Way, Scarborough, ME 04074  
Tel: (207) 856-0277

SITE, GRADING, & UTILITIES PLAN  
OF:  
GREATER PORTLAND YMCA MASTER PLAN  
HIGH STREET  
PORTLAND, MAINE  
DATE: 12-20-03



**PLANT LIST**

KEY	BOTANICAL NAME	COMMON NAME	SIZE
AA	ACER X FREEMANII 'ARMSTRONG'	ARMSTRONG RED MAPLE	2 1/2" CAL.
AG	ADELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	8'-10" HGT. (LIMBS UP)
AU	ARCTOSTAPHYLOS UVA-URSI	BEARBERRY	NO. 1 CONT.
CA	CALAMAGROSTIS X ACUTIFOLLA 'KARL FOERSTER'	KARL FOERSTERS FEATER REED GRASS	NO. 1 CONT.
HB	HOSTA TARDIANA 'HADSPEN BLUE'	HADSPEN BLUE HOSTA	NO. 1 CONT.
HS	HOSTA 'SUNPOWER'	SUNPOWER HOSTA	NO. 1 CONT.
KL	KALMIA LATIFOLIA	MOUNTAIN LAUREL	24"-30"
RA	RHODODENDRON 'ALGO'	ALGO RHODODENDRON	24"-30"
RC	ROSA 'CAREFREE WONDER'	CAREFREE WONDER ROSE	NO. 2 CONT.
RE	RHODODENDRON 'ENGLISH ROSEUM'	ENGLISH ROSEUM RHODODENDRON	24"-30"
RL	RHODODENDRON LAETEVIRENS	WILLSON RHODODENDRON	24"-30"
SB	SPIRAEA X BUMALDA 'GOLD FLAME'	GOLD FLAME SPIRAEA	15"-18"
TO	THUJA OCCIDENTALIS 'SHARAGD'	EMERALD GREEN ARBORVITAE	6'-7' HGT.
FO	PICEA OTTORIKA	SERBIAN SPRUCE	(SEE PLAN FOR HGT.)
FE	FENISTETUM ALOPECUROIDES 'HAMELEN'	DWARF FOUNTAIN GRASS	NO. 1 CONT.
ST	SEDUM TELEPHIUM 'PURPLE EMPEROR'	PURPLE EMPEROR STONE CROP	NO. 1 CONT.



**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
■	MONUMENT	■
—○—	IRON PIPE/ROD	—○—
▬▬▬	BUILDING	▬▬▬
---	CURBLINE	---
---	CONTOURS	---
---	WATER	---
---	GAS	---
---	SEWER	---
---	OVERHEAD ELEC. & TEL	---
---	GATE VALVE	---
---	UTILITY POLE	---
---	HYDRANT	---
---	MANHOLE	---
---	BARB WIRE FENCE	---

**LANDSCAPE PLAN**  
**OF:** GREATER PORTLAND YMCA MASTER PLAN  
 HIGH STREET  
 PORTLAND, MAINE  
**FOR:** GREATER PORTLAND YMCA (C/O CUMBERLAND  
 70 CORSET AVENUE  
 PORTLAND, MAINE 04106

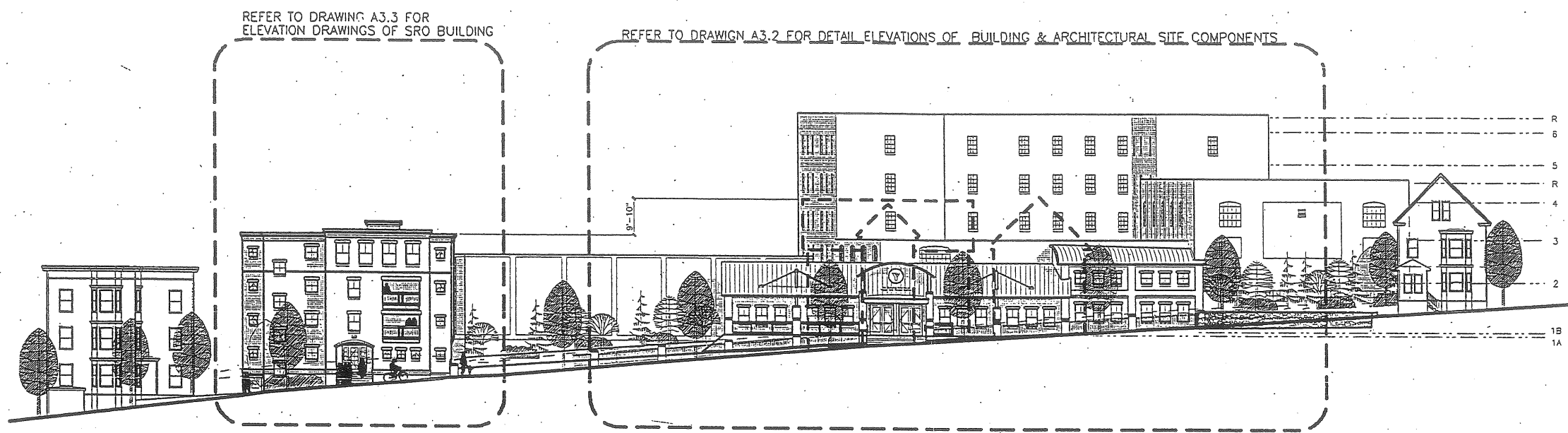
DATE: \_\_\_\_\_ SCALE: \_\_\_\_\_

REVISIONS:

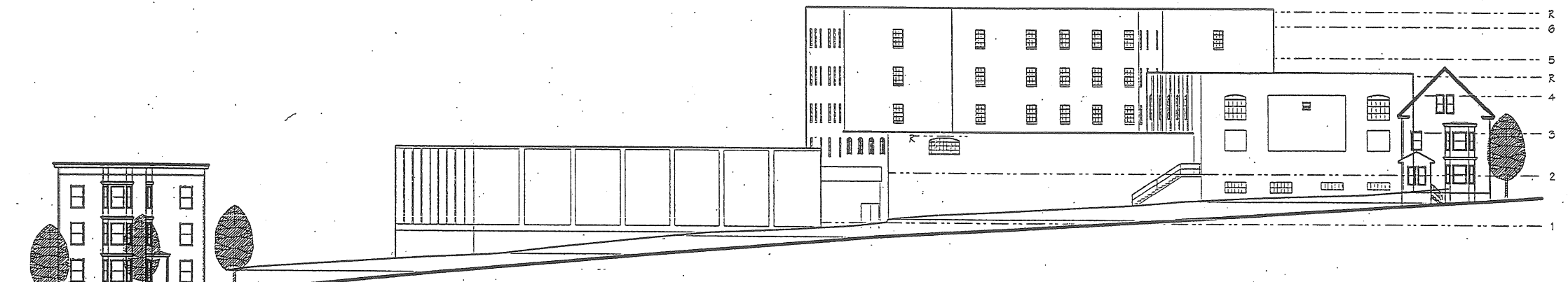
NO.	DATE	BY	REVISION
1	1-27-04	JRS	SUBMITTED FOR FINAL CONTRACT ZONING
2	1-27-04	JRS	SUBMITTED FOR CONTRACT ZONING

STATUS: \_\_\_\_\_

**Sebago Technics**  
 Engineering Expertise You Can Build On  
 Westbrook, ME 04095-1039  
 Tel (207) 856-0277



**W** PROPOSED WEST SITE MASTER PLAN ELEVATION - FROM HIGH STREET  
SCALE: 1"=20'-0"



**W** EXISTING WEST STREETSCAPE ELEVATION - FROM HIGH STREET  
SCALE: 1/16"=1'-0"

NOTE: THE YMCA HAD INVITED THE PARKSIDE NEIGHBORHOOD ASSOCIATION AND PORTLAND LANDMARKS TO PARTICIPATE IN THE PROCESS OF DEFINING FUNDAMENTAL SITE AND BUILDING DESIGN COMPONENTS, FEATURES AND DETAILING. OUT OF THIS PROCESS, THE CONCEPT DESIGNS REPRESENTED HEREIN WERE PREPARED. THIS PARTICIPATORY DESIGN REVIEW COMMITTEE WILL FURTHER CONVENE DURING THE PROCESS OF DETAILING THE DESIGNS WITH THE HOPES THAT THE END PRODUCT CONFORMS TO THE WILL OF THE COMMUNITY.



**CWS Architects**  
 Architecture  
 Space Planning  
 Value Design  
 134 Cumberland Avenue  
 Portland, ME 04101  
 Phone: (207) 774-6441  
 Fax: (207) 774-6816  
 www.CWSArch.com

Owner:  
**CUMBERLAND COUNTY YMCA**  
 70 Forest Avenue, Portland, Maine 04101  
 207 874-1111

Contractor:



**GREATER PORTLAND YMCA**  
**MASTER PLAN**  
 High Street - Portland, Maine

Project No: 00.494 YMP

Drawing Title:  
**PROPOSED SITE ELEVATIONS**

Scale: 1" = 20'-0"  
 Date: April 2, 2004

- Revisions:
- △
  - △
  - △
  - △
  - △
  - △
  - △

Drawing Number:

**A3.1**

**CWS**

CWS Architects

Architecture  
Space Planning  
Value Design

434 Cumberland Avenue  
Portland, ME 04101  
Phone: (207)774-4444  
Fax: (207)774-0816

www.CWSarch.com

Owner:

**GREATER PORTLAND  
YMCA**  
c/o Cumberland County YMCA  
70 Forest Avenue, Portland, Maine 04101  
(207) 874-1111

Contractor:



**GREATER  
PORTLAND  
YMCA  
MASTER PLAN**  
Portland, Maine

Project No: 00.004 YMP

Drawing Title:

**EXTERIOR  
ELEVATIONS**

Scale: 1/8" = 1'-0"

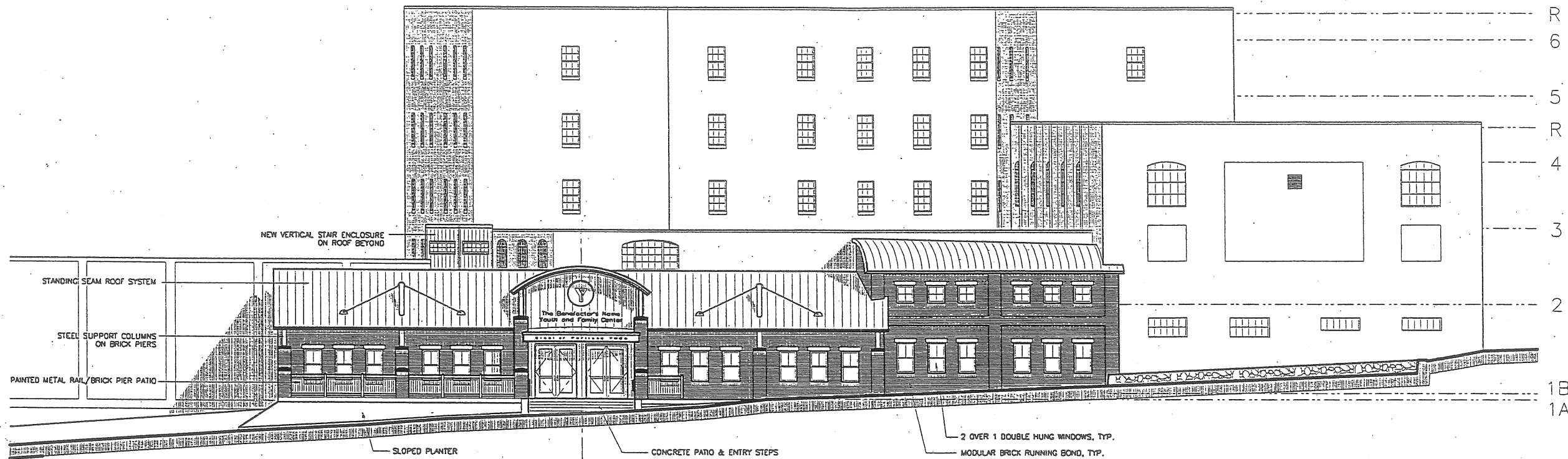
Date: April 2, 2004

Revisions:

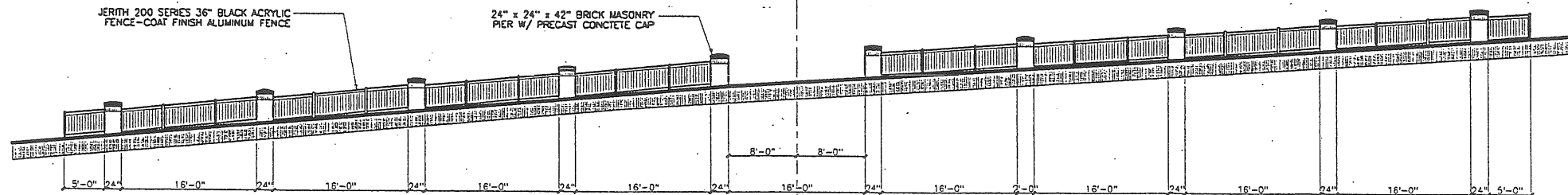
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Drawing Number:

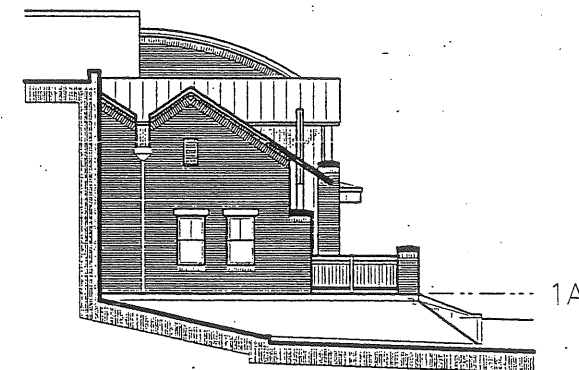
**A3.2**



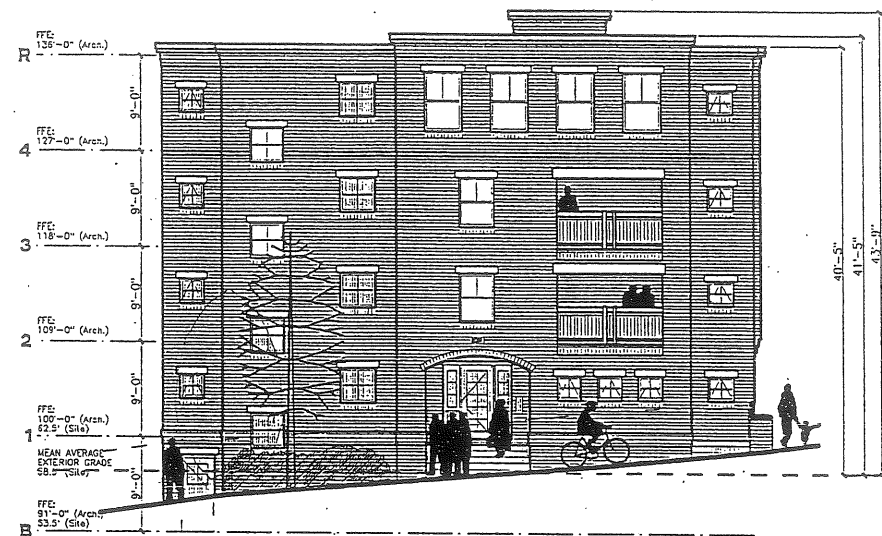
**W PROPOSED WEST BUILDING ELEVATION - FROM PARKING AREA**  
SCALE: 1/8"=1'-0"



**W PROPOSED WEST ELEVATION - FENCE AT PROPERTY LINE FROM HIGH STREET**  
SCALE: 1/8"=1'-0"



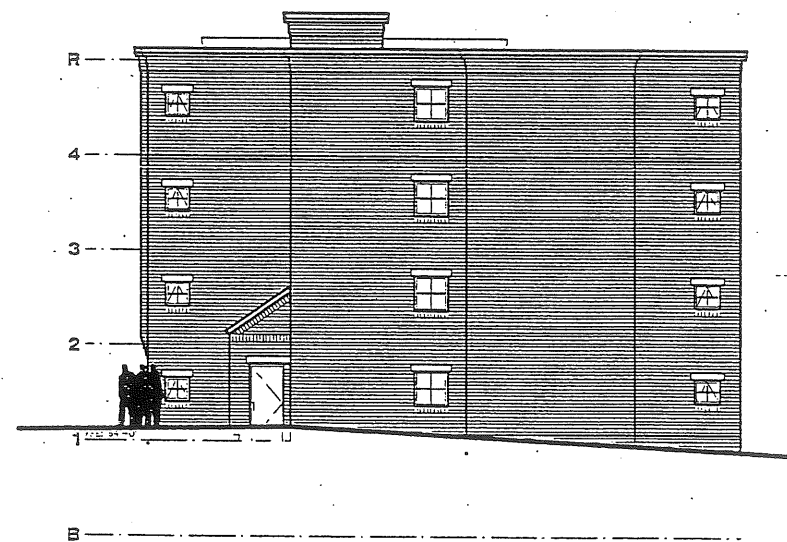
**N PROPOSED NORTH BUILDING ELEVATION**  
SCALE: 1/8"=1'-0"



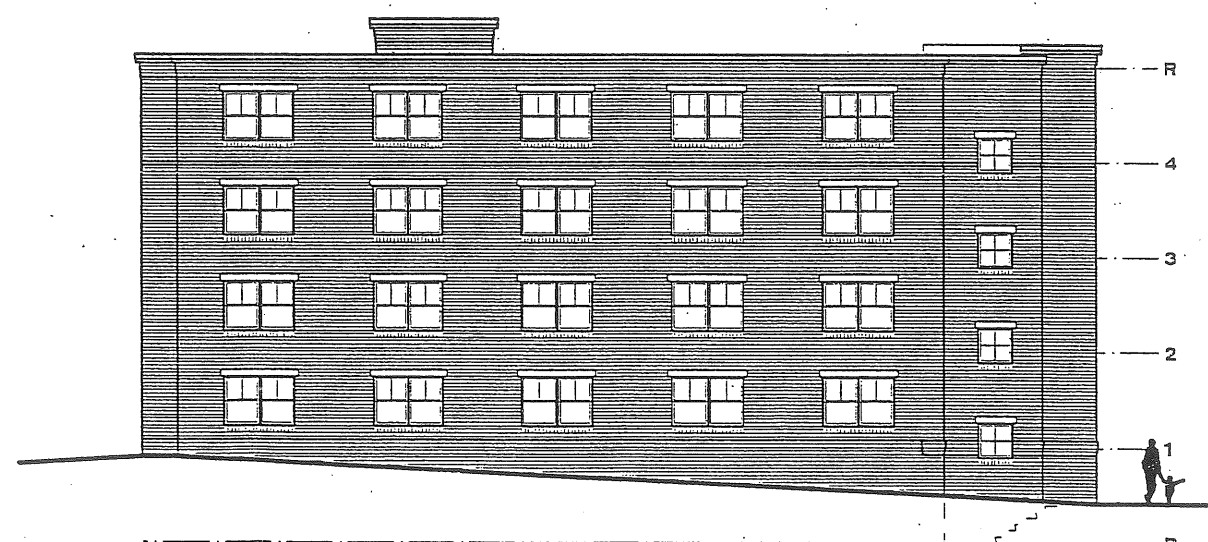
FRONT BUILDING ELEVATION  
FROM HIGH STREET



RIGHT SIDE BUILDING ELEVATION  
FROM YMCA PARKING LOT



REAR BUILDING ELEVATION



LEFT SIDE BUILDING ELEVATION



CWS Architects

- Architecture
- Space Planning
- Value Design

134 Cumberland Avenue  
Portland, ME 04101  
Phone: (207) 774-1111  
Fax: (207) 774-1816

www.CWSarch.com

Owner:  
**CCYSRO, L.P.**  
c/o Cumberland County YMCA  
20 Forest Avenue, Portland, Maine 04101  
(207) 874-1111

Contractor:



**YMCA**  
Apartments  
at 231  
High Street  
Portland, Maine

Project No: 03.403 YSH

Drawing Title:  
**BUILDING FRONT  
ELEVATION**

Scale: 1/8" = 1'-0"  
Date: March 5, 2004

Revisions:

- △
- △
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- △

Drawing Number:

**A3.3**



AVENUE

AVENUE

FOREST

STREET

HIGH

STREET

CUMBERLAND

YMCA

YMCA

G

EXISTING HOUSES

29

20  
48,675

5000

10000

3492

256

3643

101 103 105 107 109 111

4750

5225

7378

252

1425

101 102 104

15

16

17

250

1978

106 108

18

19

20

248

2649

107 109

21

22

23

244

1937

110 112

24

25

26

242

1978

104 106

27

28

29

246

1937

105 107

30

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1937

106 108

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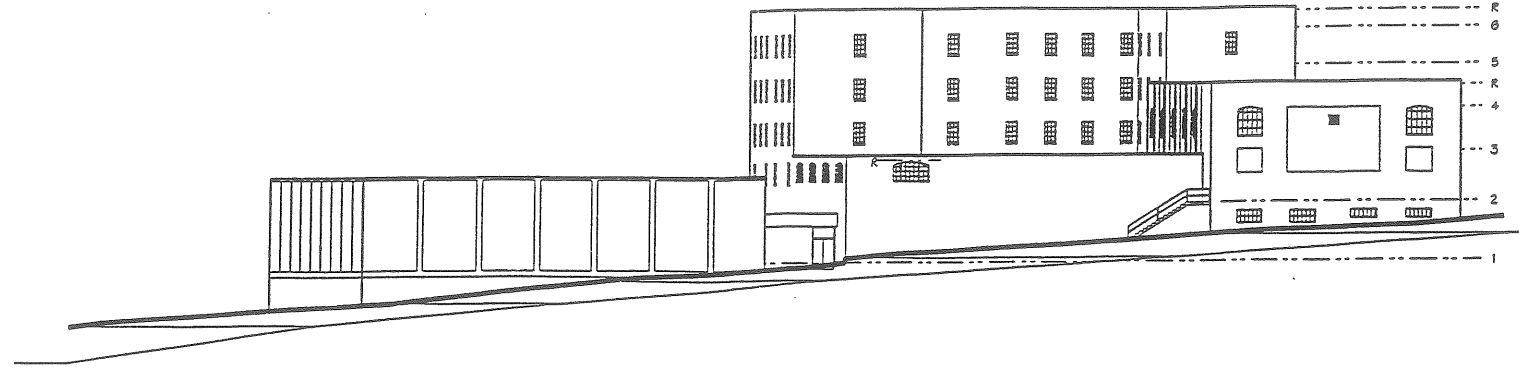
72

244

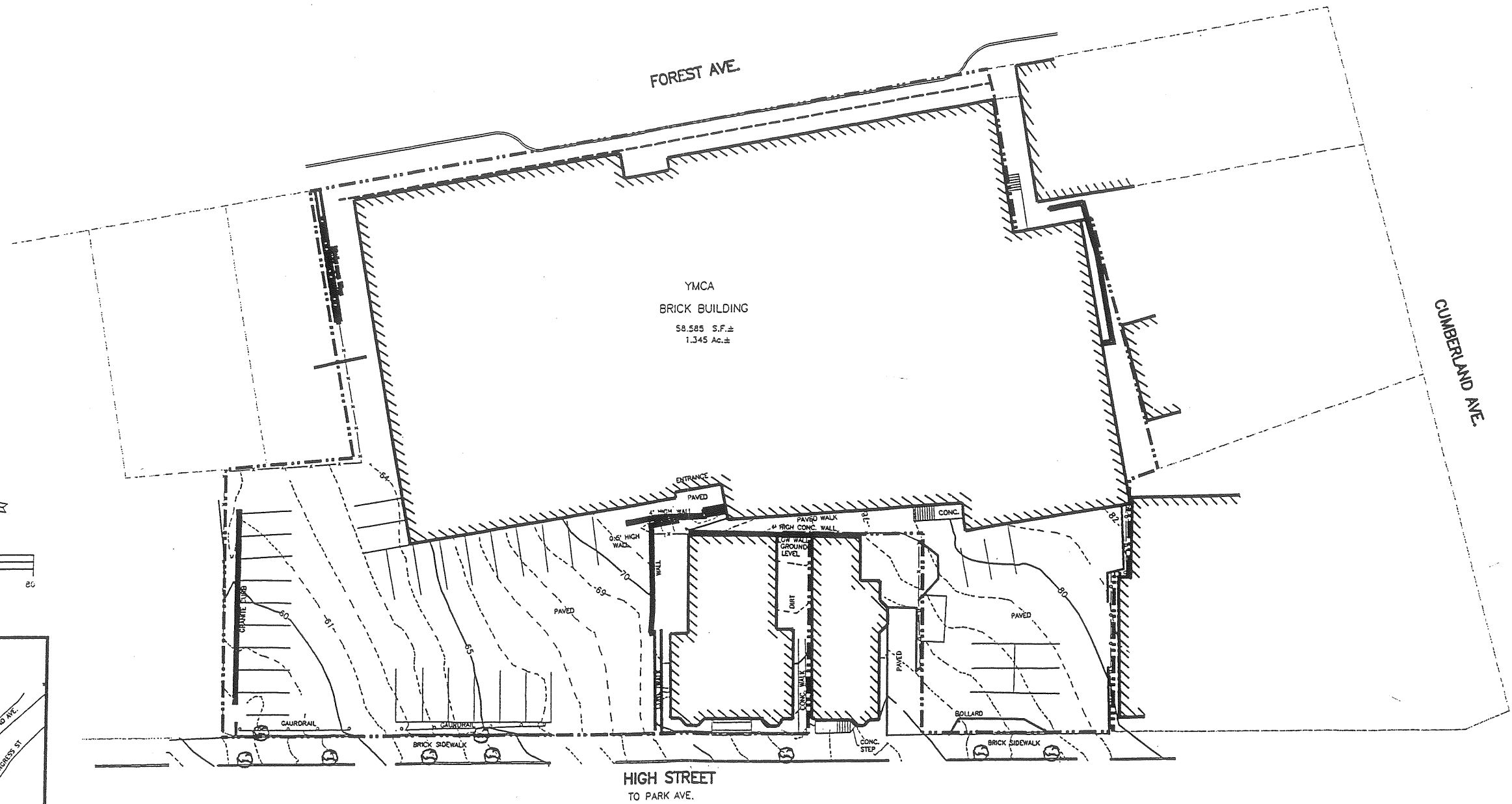
1937

146 148



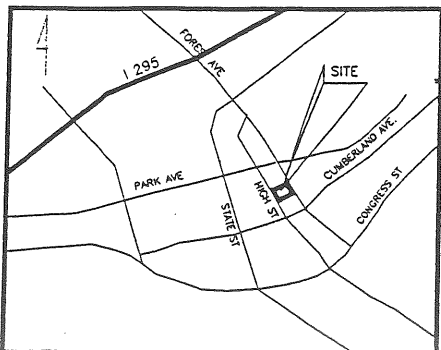
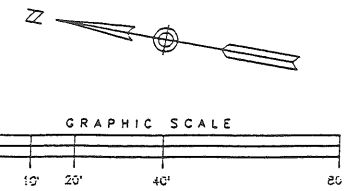


**W** EXISTING WEST BUILDING ELEVATION - FROM HIGH STREET  
SCALE: 1"=20'-0"



YMCA  
BRICK BUILDING  
58,585 S.F.±  
1.345 Ac.±

HIGH STREET  
TO PARK AVE.



LOCATION MAP N.T.S.

**E** EXISTING SITE PLAN  
SCALE: 1"=20'-0"

**CWS**  
Curtis Walker Stewart  
Architects

434 Cumberland Avenue  
Portland, ME 04101  
Phone: (207)774-4441  
Fax: (207)774-4016  
PO Box 6555  
Lacota, NH 03247  
Phone: (603)624-3000  
Fax: (603)627-0700

Owner:  
**GREATER  
PORTLAND  
YMCA**  
Portland, Maine

General Contractor:  
—  
—

**GREATER  
PORTLAND YMCA**  
MASTER PLAN  
Portland, Maine

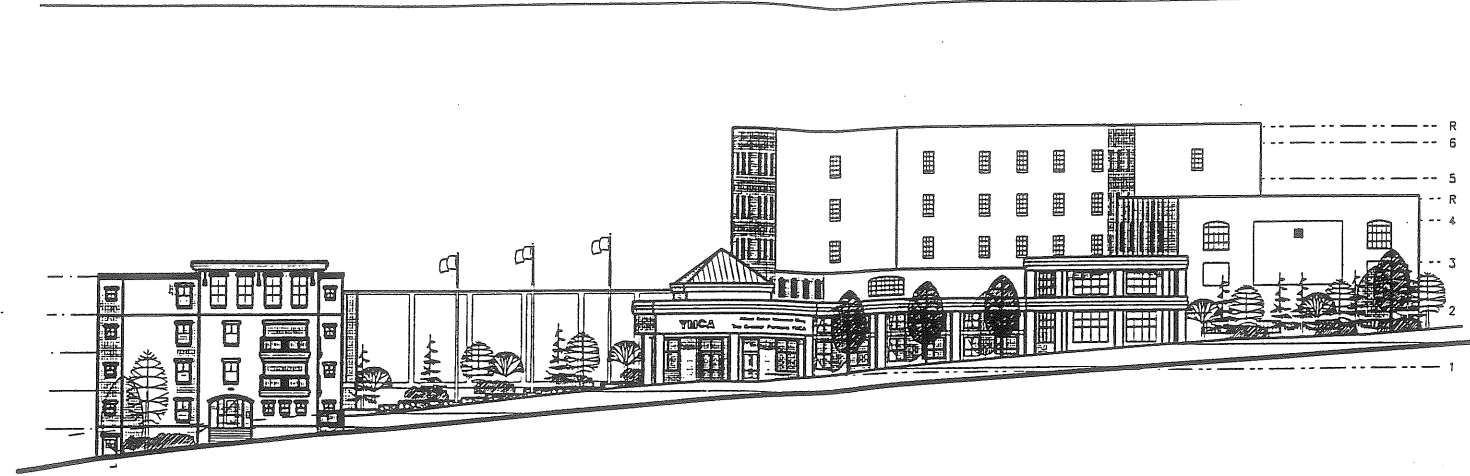
Project No: 00.404

Drawing Title:  
**CONCEPT PLAN  
"ADDITION"**

Scale: 1" = 20'-0"  
Date: PROGRESS 12/1/00  
Revision Dates:

Drawing Number:

**EX-1**



**W** PROPOSED WEST BUILDING ELEVATION - FROM HIGH STREET  
SCALE: 1" = 20'-0"

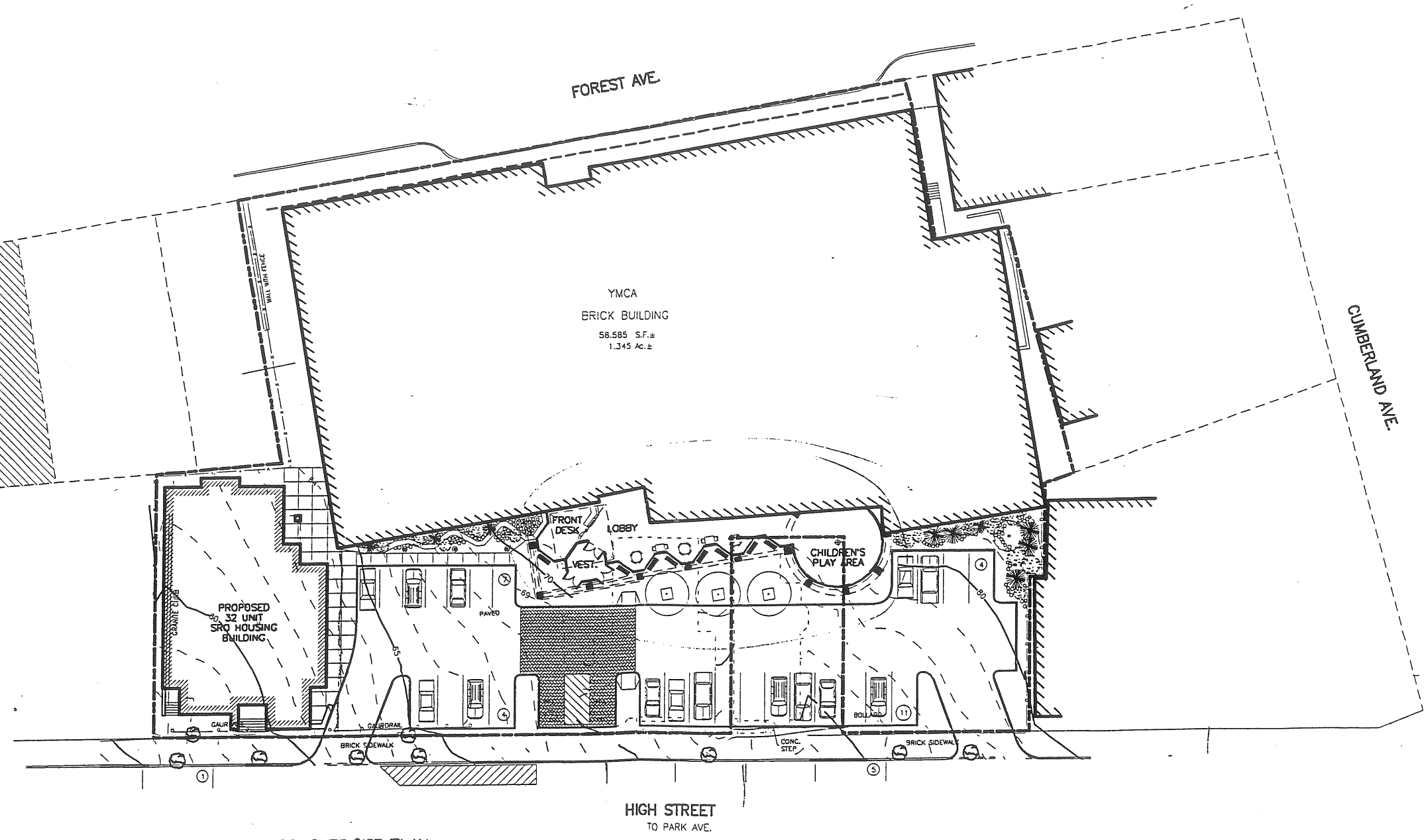
**PARKING SUMMARY**  
 ON SITE  
 26 SPACES  
 2 H.C. SPACES  
 28 TOTAL ONSITE

OFF SITE  
 6 ROADSIDE

SHERMAN STREET LOT  
 10 SPACES

44 TOTAL YMCA SPACES

**FACILITIES ADDITIONS SUMMARY**  
 NEW ENTRY 3,054 SF  
 NEW 32 UNIT SRO 5,000 SF



**C** CONCEPT SITE PLAN  
SCALE: 1" = 20'-0"



CWS Architects  
 Architecture  
 Space Planning  
 Value Design  
 134 Cumberland Avenue  
 Portland, ME 04103  
 Phone: (207) 774-4444  
 Fax: (207) 774-4816  
 www.CWSarch.com

Owner:  
**CUMBERLAND COUNTY YMCA**  
 70 Forest Avenue Portland, Maine 04101  
 207 874-1111

Contractor:



**GREATER PORTLAND YMCA**  
**MASTER PLAN**  
 High Street - Portland, Maine

Project No: 00\_054 YMP

Drawing Title:  
**CONCEPT SITE PLAN**

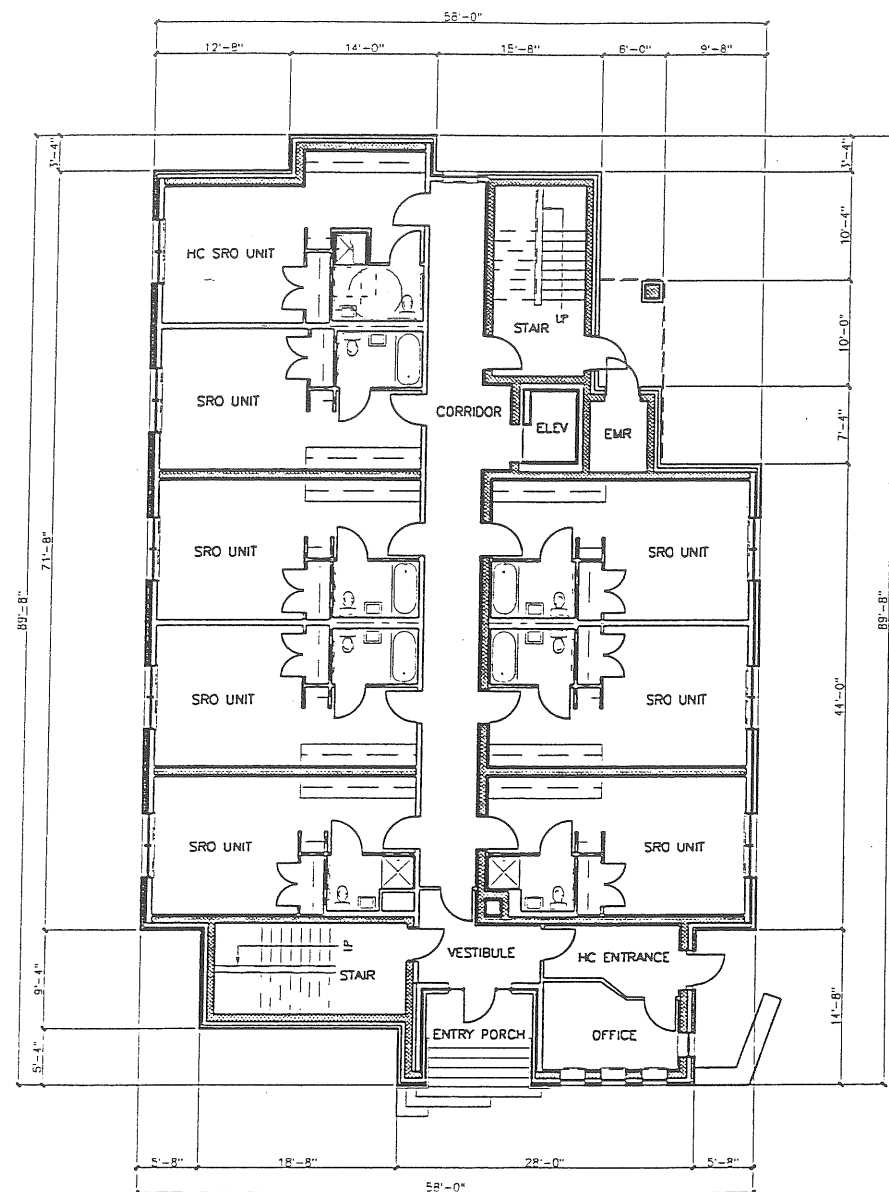
Scale: 1" = 20'-0"  
 Date: PROGRESS 1/20/03

Revisions:

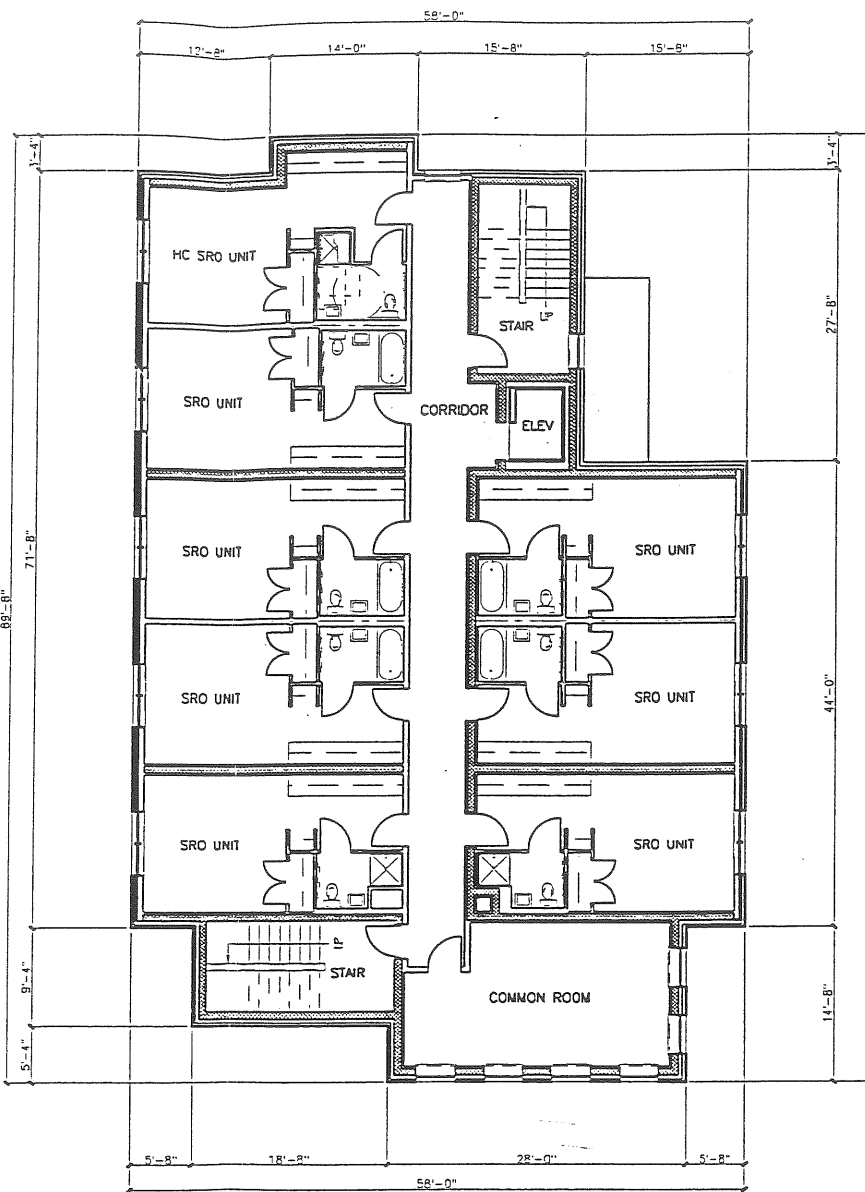
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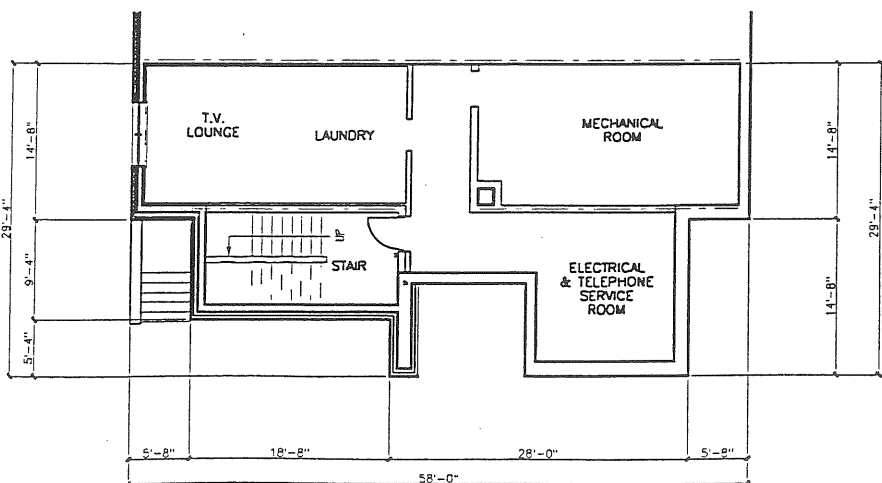
**1**



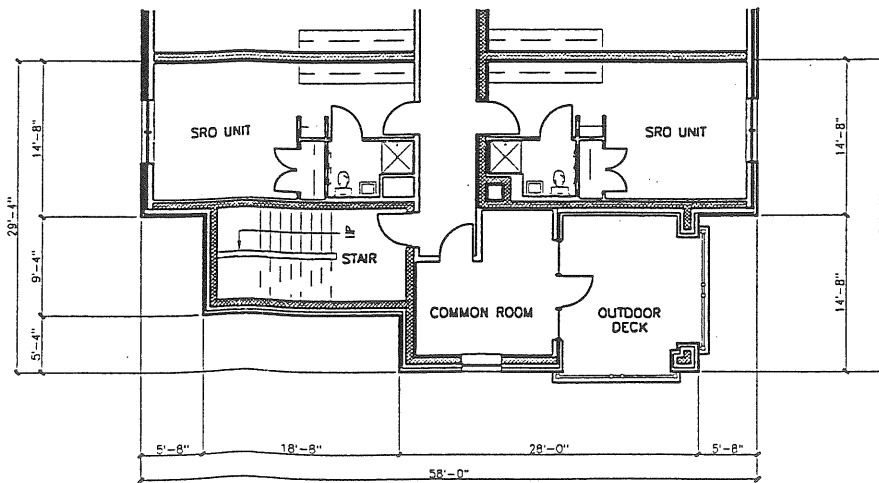
**1 1ST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**4 4TH FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**B BASEMENT FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



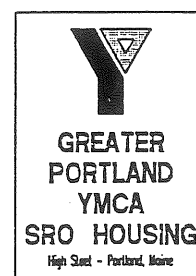
**2-3 2ND & 3RD PARTIAL FLOOR PLANS (4TH BIM.)**  
SCALE: 1/8" = 1'-0"



**CWS Architects**  
 Architecture  
 Space Planning  
 Value Design  
 134 Cumberland Avenue  
 Portland, ME 04101  
 Phone: (207) 774-4441  
 Fax: (207) 774-4816  
[www.CWSarch.com](http://www.CWSarch.com)

Owner:  
**CUMBERLAND COUNTY YMCA**  
 70 Forest Avenue Portland, Maine 04101  
 207 874-1111

Contractor:



Project No: 03-403 YSH

Drawing Title:  
**BUILDING FLOOR PLANS**

Scale: 1/8" = 1'-0"  
 Date: PROGRESS 1/20/03

- Revisions:
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  - △
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Drawing Number:  
**2**

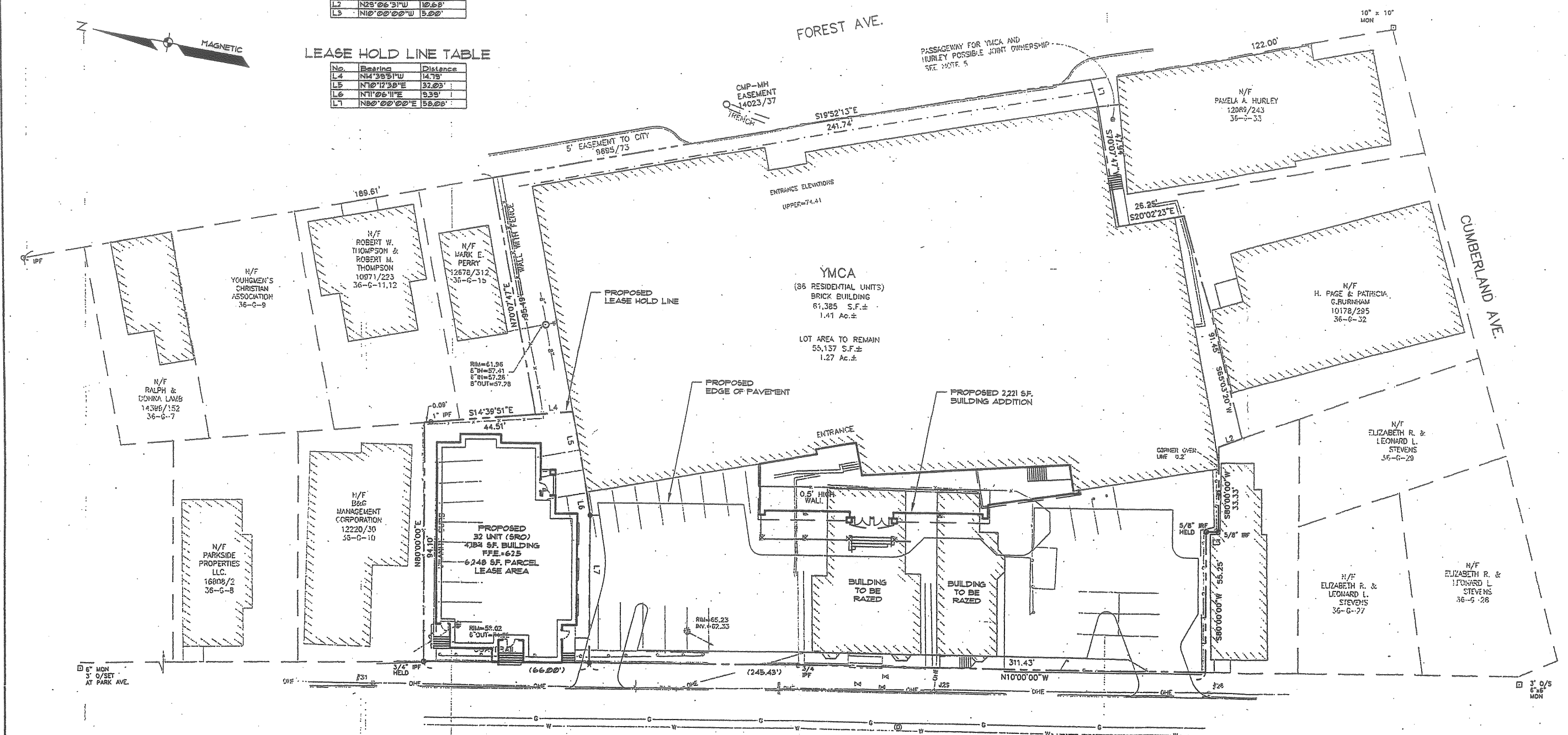
Exhibit 1

**LINE TABLE**

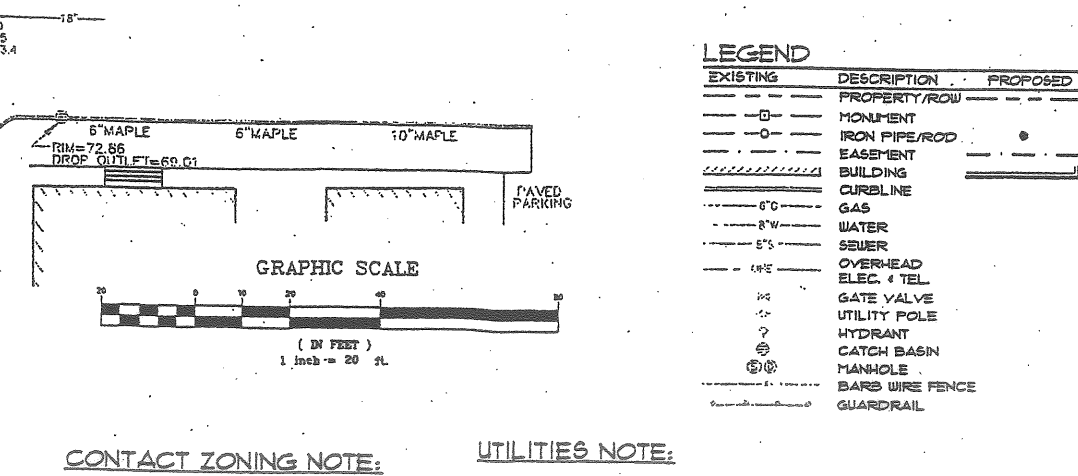
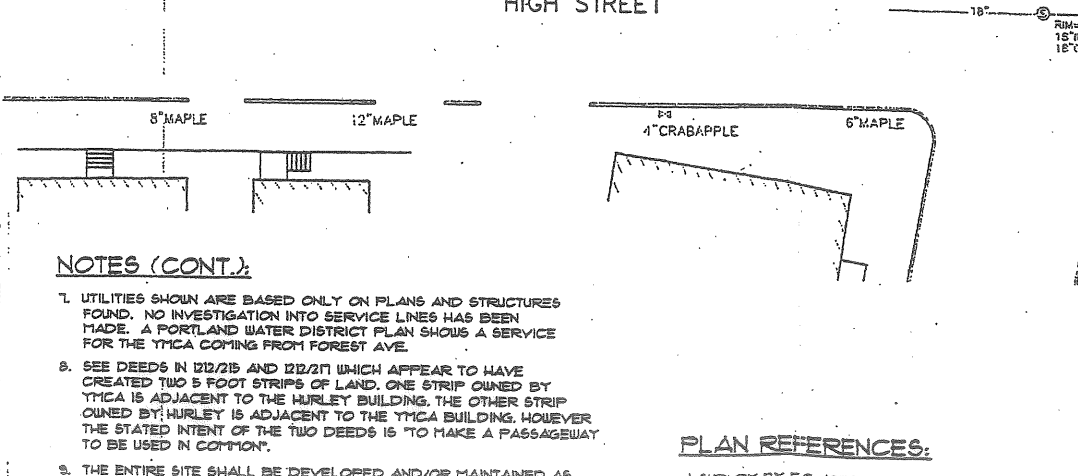
No.	Bearing	Distance
L1	S65°03'20"W	10.50'
L2	N29°06'31"W	10.69'
L3	N10°00'00"W	5.00'

**LEASE HOLD LINE TABLE**

No.	Bearing	Distance
L4	N4°39'51"W	14.75'
L5	N70°12'38"E	32.03'
L6	N71°06'11"E	9.35'
L7	N80°00'00"E	58.00'



- NOTES:**
- OWNERS OF RECORDS AND TAX LOTS:
- | PARCEL ID  | OWNER - BOOK/PAGE   |
|------------|---|
| 36-6-20    | YTICA - 111/142 & 153/136 & 122/215 & 287/101 & 2848/29 & 2844/324 & 2737/458 & 2511/398 & 2353/261 AND 265 |
| 36-6-22    | YTICA - 150/6/288   |
| 36-6-24,25 | YTICA - 5007/106  |
| 36-6-21    | YTICA - 14105/1   |
- BEARINGS ARE MAGNETIC 1993.
  - ELEVATIONS ARE BASED ON CITY DATUM.
  - THE TOTAL AREA OF THE PROPERTY IS APPROXIMATELY 1.41 ACRES.
  - THIS PROPERTY IS LOCATED IN AN EXISTING R-6 ZONE. THE PROJECT IS CURRENTLY BEING REVIEWED FOR CONTRACT ZONING FOR THE PARCEL(S) SHOWN ON THIS PLAN. THE FOLLOWING ARE THE CURRENT STANDARDS FOR THE R-6 ZONE:
- |                       |                           |
|-----------------------|---------------------------|
| MIN. LOT SIZE:        | 4,500 SF.                 |
| MIN. STREET FRONTAGE: | 40 FT.                    |
| MIN. FRONT YARD:      | 10 FT.                    |
| MIN. SIDE YARD:       | 1 TO 3 STORIES = 10 FT.   |
| MIN. REAR YARD:       | 20 FT. 4 STORIES = 12 FT. |
| MAX. BUILDING HEIGHT: | 45 FT. 5 STORIES = 15 FT. |
| MIN. LOT WIDTH:       | 50 FT.                    |
| MAX. LOT COVERAGE:    | 40% W/ 20+ DUELLING UNITS |
|                       | 50% W/ LESS THAN 20 UNITS |
- OPEN SPACE RATIO:



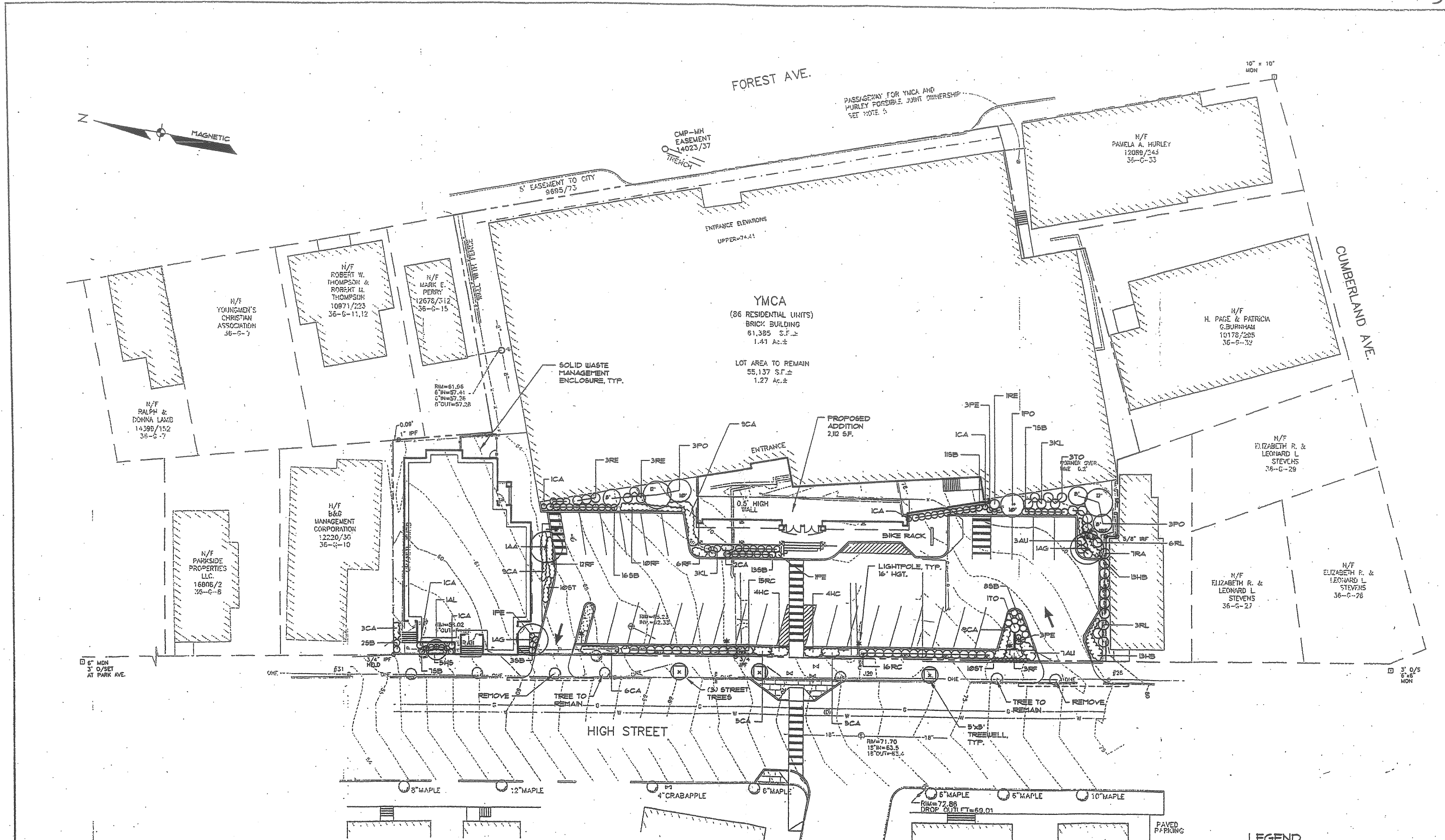
**Sebago Technics**  
Engineering Expertise You Can Build On  
One Church Street  
Westbrook, Me 04090-1339  
Tel (207) 698-0777

DATE: 4-2-04  
SUBMITTED FOR FINAL CONTRACT ZONING: 1-27-04  
SUBMITTED FOR CONTRACT ZONING: 1-27-04

REVISIONS:

NO.	DATE	BY	DESCRIPTION
1	1-27-04	JRS	DATE
2	4-2-04	JRS	DATE

UNITS (SRO)  
UNIT PORTLAND YMCA  
WATER PORTLAND YMCA  
MANO, MAINE  
WATER PORTLAND YMCA (C/O CUMBERLAND



**PLANT LIST**

KEY	BOTANICAL NAME	COMMON NAME	SIZE
AA	ACER X FREEMANII 'ARMSTRONG'	ARMSTRONG RED MAPLE	2 1/4" CAL.
AS	AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	8'-10' HGT. (LIMB UP)
AU	ARCTOSTAPHYLOS UVA-URSI	BEARBERRY	NO. 1 CONT.
CA	CALAMAGROSTIS X ACUTIFOLIA 'KARL FOERSTER'	KARL FOERSTERS FEATHER REED GRASS	NO. 1 CONT.
HB	HOSTA TARDIANA 'HADSPEN BLUE'	HADSPEN BLUE HOSTA	NO. 1 CONT.
HS	HOSTA 'SUNPOWER'	SUNPOWER HOSTA	NO. 1 CONT.
KL	KALMIA LATIFOLIA	MOUNTAIN LAUREL	24"-30"
RA	RHODODENDRON 'ALGO'	ALGO RHODODENDRON	24"-30"
RC	ROSA 'CAREFREE WONDER'	CAREFREE WONDER ROSE	NO. 2 CONT.
RE	RHODODENDRON 'ENGLISH ROSEUM'	ENGLISH ROSEUM RHODODENDRON	24"-30"
RL	RHODODENDRON LAETEVIRENS	WILSON RHODODENDRON	24"-30"
SB	SPIREAE X BUNYADIA 'SOL D.E. JAY'	CORONADO SPICE	15" DBH.

**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
— —	MONUMENT	— —
—○—	IRON PIPE/ROD	—○—
— — —	BUILDING	— — —
— — —	CURBLINE	— — —
---	CONTOURS	---
---	GAS	---
---	WATER	---
---	SEWER	---
---	OVER-HEAD ELEC. & TEL	---
---	GATE VALVE	---
---	UTILITY POLE	---

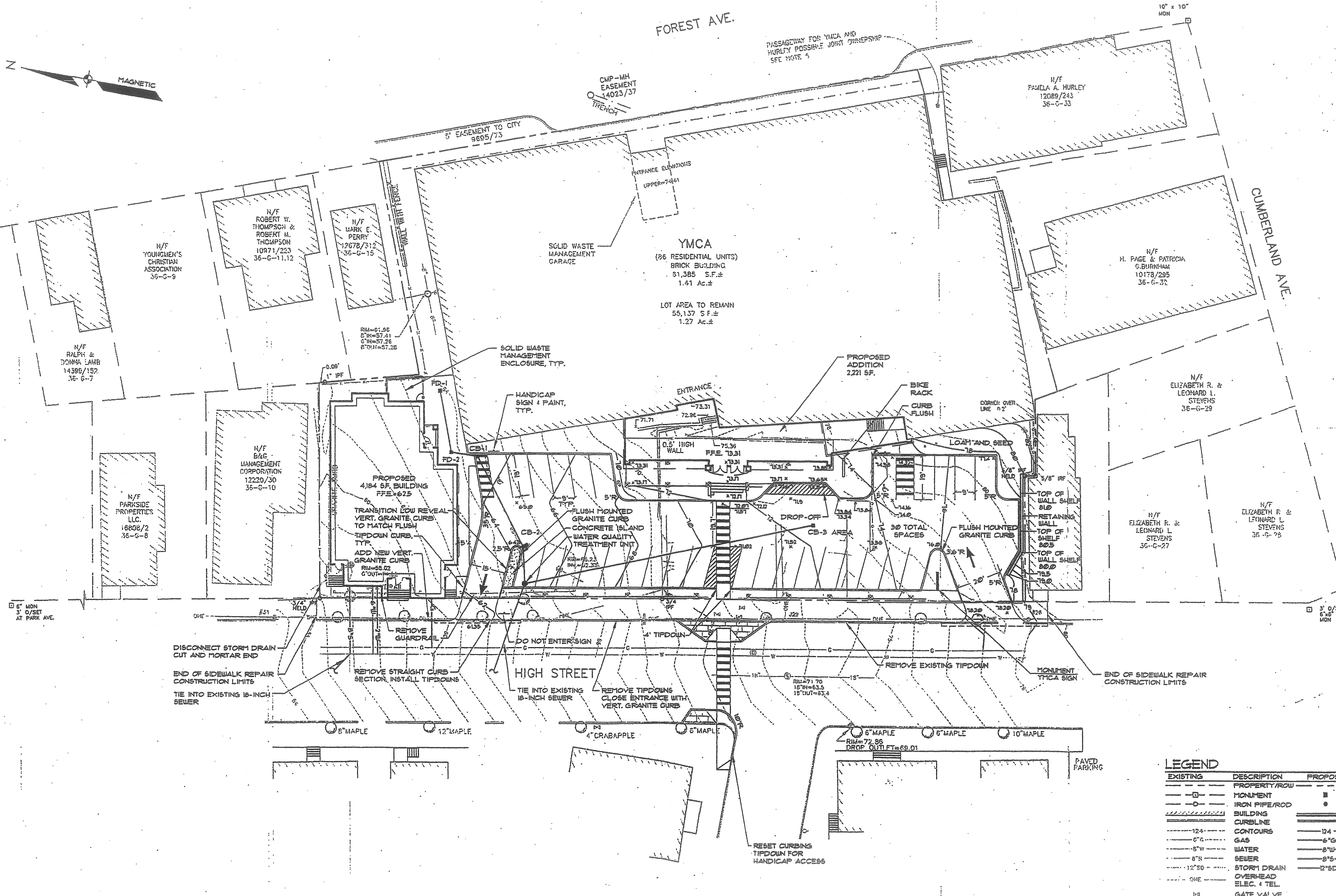
GRAPHIC SCALE

**Sebago Technics**  
 Engineering Expertise You Can Build On  
 One Chobert Street  
 Westbrook, ME 04090-1339  
 Tel (207) 858-0277

PROJECT NO. FIELD BOOK DESIGN CHKD DRAWN  
 REV: BY: DATE: STATUS: THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS.

4-2-04 SUBMITTED FOR FINAL CONTRACT ZONING  
 1-27-04 SUBMITTED FOR CONTRACT ZONING

LANDSCAPE PLAN  
 WATER PORTLAND YMCA MASTER PLAN  
 STREET  
 LAND, MAINE  
 WATER PORTLAND YMCA (C/O CUMBERLAND COUNTY YMCA)  
 REST AVENUE  
 PORTLAND, ME 04101



REV.	BY	DATE	STATUS
C	JRS	4-2-04	SUBMITTED FOR FINAL CONTRACT ZONING
B	JRS	03-02-04	REVISED SITE PLAN FOR CONTRACT ZONING
A	JRS	1-27-04	SUBMITTED FOR CONTRACT ZONING

**Sebago Technics**  
 Engineering Experts You Can Build On  
 One Chestnut Street  
 Westbrook, Me 04096-1339  
 Tel: (207) 850-0277

GRADING, & UTILITIES PLAN  
 WATER PORTLAND YMCA MASTER PLAN  
 WATER PORTLAND YMCA (C/O CUMBERLAND

**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
■	MONUMENT	■
○	IRON PIPE/ROD	○
▨	BUILDING	▨
---	CURBLINE	---
---	CONTOURS	---
---	GAS	---
---	WATER	---
---	SEWER	---
---	STORM DRAIN	---
---	OVERHEAD ELEC. & TEL	---
---	GATE VALVE	---





CWS Architects

Architects  
Space Planning  
Value Design

434 Centerland Avenue  
Portland, ME 04101  
Phone: (207) 774-1111  
Fax: (207) 774-0816

www.CWSArch.com

Owner:  
**GREATER PORTLAND  
YMCA**  
c/o Cumberland County YMCA  
70 Forest Avenue, Portland, Maine 04101  
(207) 874-1111

Contractor:



**GREATER  
PORTLAND  
YMCA**  
MASTER PLAN  
Portland, Maine

Project No: 00.404 YMP

Drawing Title:

**EXTERIOR  
ELEVATIONS**

Scale: 1/8" = 1'-0"

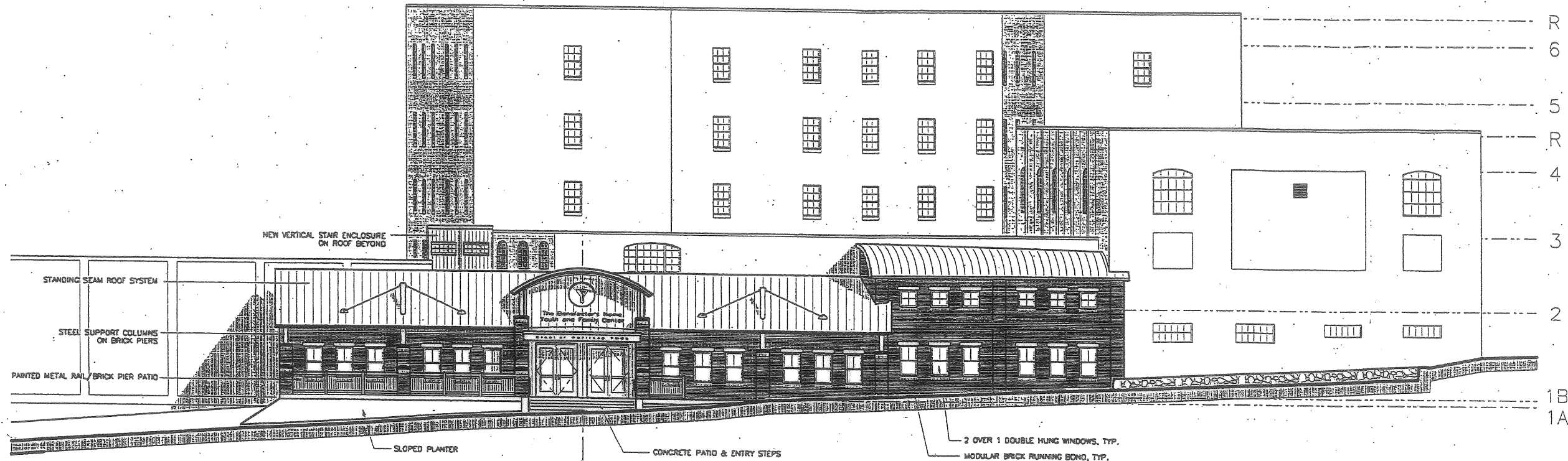
Date: April 2, 2004

Revisions:

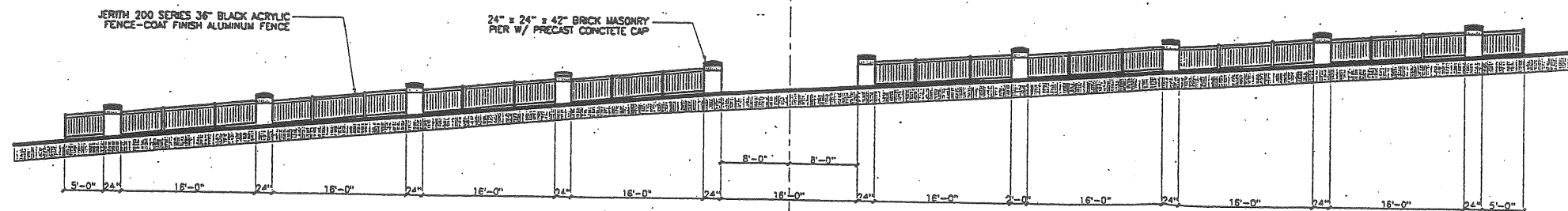
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Drawing Number:

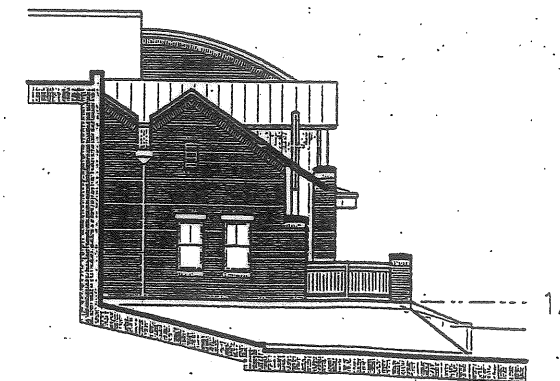
**A3 2**



**W PROPOSED WEST BUILDING ELEVATION - FROM PARKING AREA**  
SCALE: 1/8"=1'-0"



**W PROPOSED WEST ELEVATION - FENCE AT PROPERTY LINE FROM HIGH STREET**  
SCALE: 1/8"=1'-0"



**N PROPOSED NORTH BUILDING ELEVATION**  
SCALE: 1/8"=1'-0"



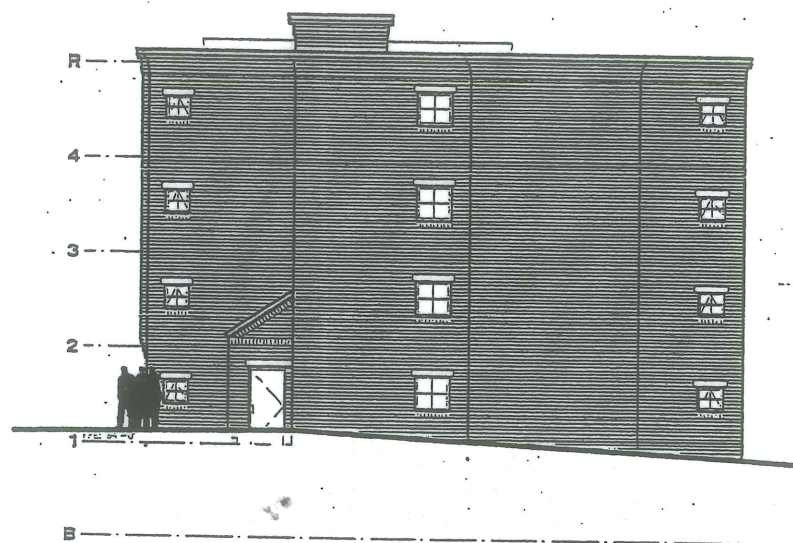
Exhibit 6



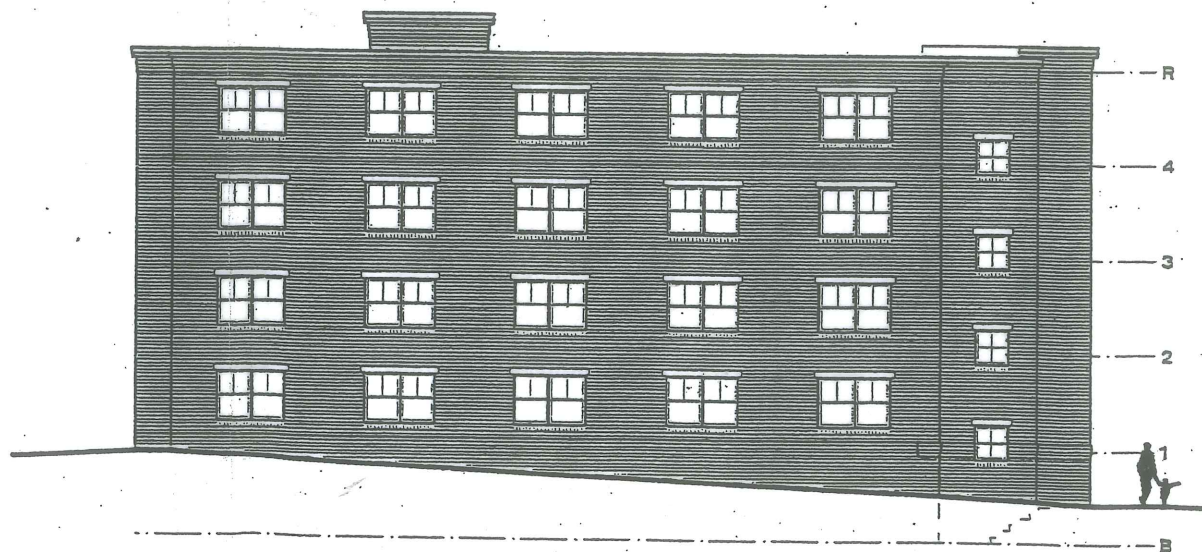
FRONT BUILDING ELEVATION FROM HIGH STREET



RIGHT SIDE BUILDING ELEVATION FROM YMCA PARKING LOT



REAR BUILDING ELEVATION



LEFT SIDE BUILDING ELEVATION

Received  
Recorded Register of Deeds  
Oct 13, 2004 09:43:50A  
Cumberland County  
John B O'Brien

**CWS**

CWS Architects

Architecture  
Space Planning  
Value Design

134 Cumberland Avenue  
Portland, ME 04101  
Phone: (207) 774-1441  
Fax: (207) 774-1818

www.CWSarch.com

Owner:  
**CCYSRO, L.P.**  
c/o Cumberland County YMCA  
70 Forest Avenue, Portland, Maine 04101  
(207) 874-1111

Contractor:



**YMCA**  
Apartments  
at 231  
High Street  
Portland, Maine

Project No: 03.403 YSI

Drawing Title:

**BUILDING FRONT  
ELEVATION**

Scale: 1/8" = 1'-0"

Date: March 9, 2004

Revisions:

- △
- △
- △
- △
- △
- △
- △

Drawing Number:

**A3.3**