



**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 06-0743	<b>Date Applied For:</b> 05/16/2006	<b>CBL:</b> 036 G020001
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<b>Location of Construction:</b> 70 FOREST AVE	<b>Owner Name:</b> YOUNG MENS CHRISTIAN ASS	<b>Owner Address:</b> 70 FOREST AVE	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> WRIGHT RYAN CONSTRUCTIO	<b>Contractor Address:</b> 10 DANFORTH STREET Portland	<b>Phone</b> (207) 773-3625
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Commercial	

<b>Proposed Use:</b> Commercial roof replacement on existing structure	<b>Proposed Project Description:</b> Roof replacement on existing structure
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 05/19/2006**Note:**      **Ok to Issue:** 

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) No expansion of the existing building is being approved with this permit.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Mike Nugent      **Approval Date:** 05/24/2006**Note:**      **Ok to Issue:** 

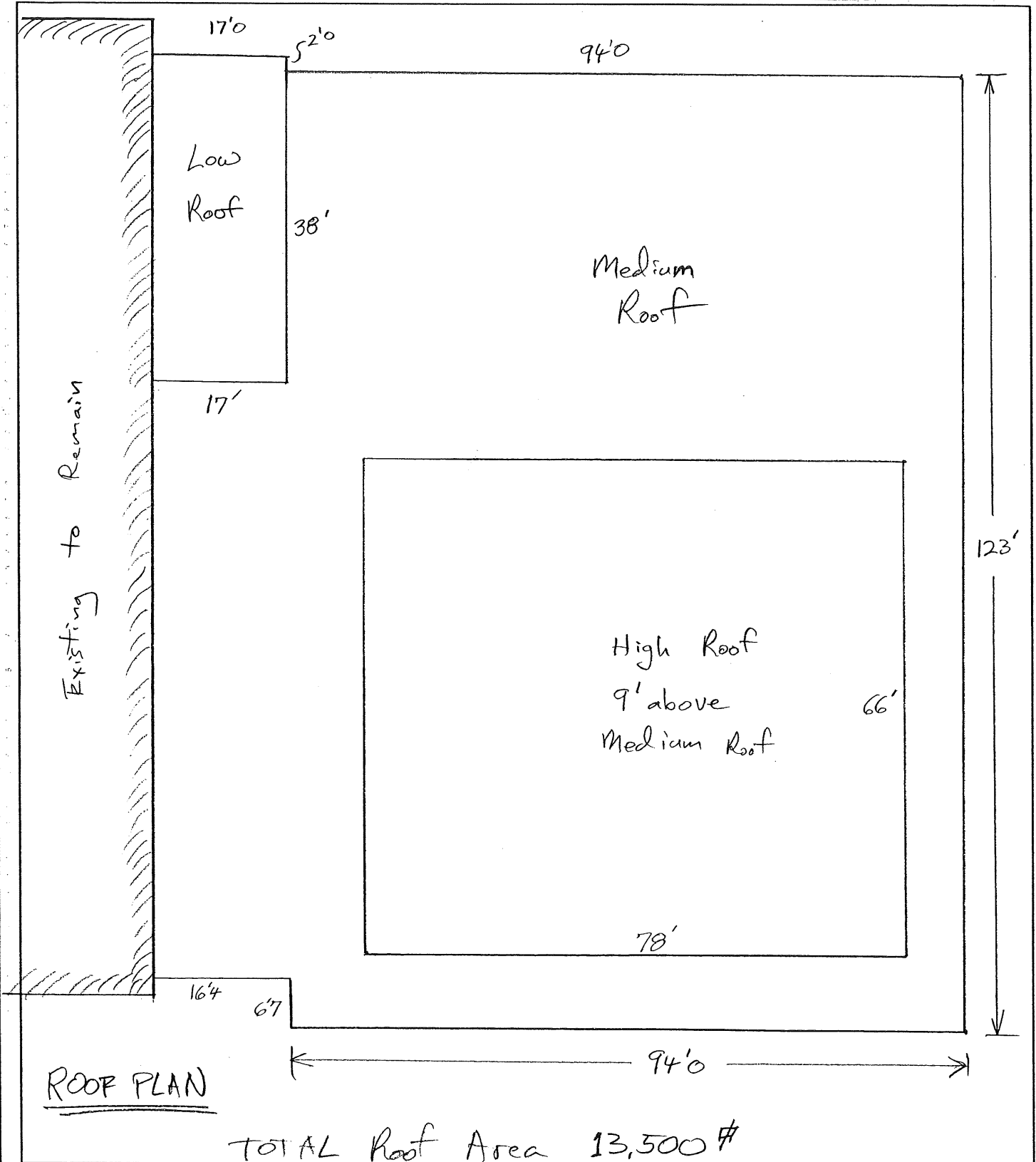
- 1) Joseph Leasure P.E. to perform special inspections per Randy Alred /Wright-Ryan

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Cptn Greg Cass      **Approval Date:** 05/22/2006**Note:**      **Ok to Issue:** 

- 1) Fire supression system shall comply with NFPA 13
- 2) Fire detection system shall comply with NFPA 72
- 3) All building construction shall comply with NFPA 101

**CWS Architects**  
 434 Cumberland Ave.  
 Portland, ME 04101-2325  
 Tel: (207) 774-4441  
 Fax: (207) 774-4016  
 CWSarch.com

JOB Portland YMCA Malcolm Wing  
 CITY OF PORTLAND, ME  
 SHEET NO. 1 OF 3  
 CALCULATED BY: MAY 16 2006 DATE 8-12-05  
 CHECKED BY: \_\_\_\_\_ DATE \_\_\_\_\_  
 SCALE \_\_\_\_\_  
**RECEIVED**

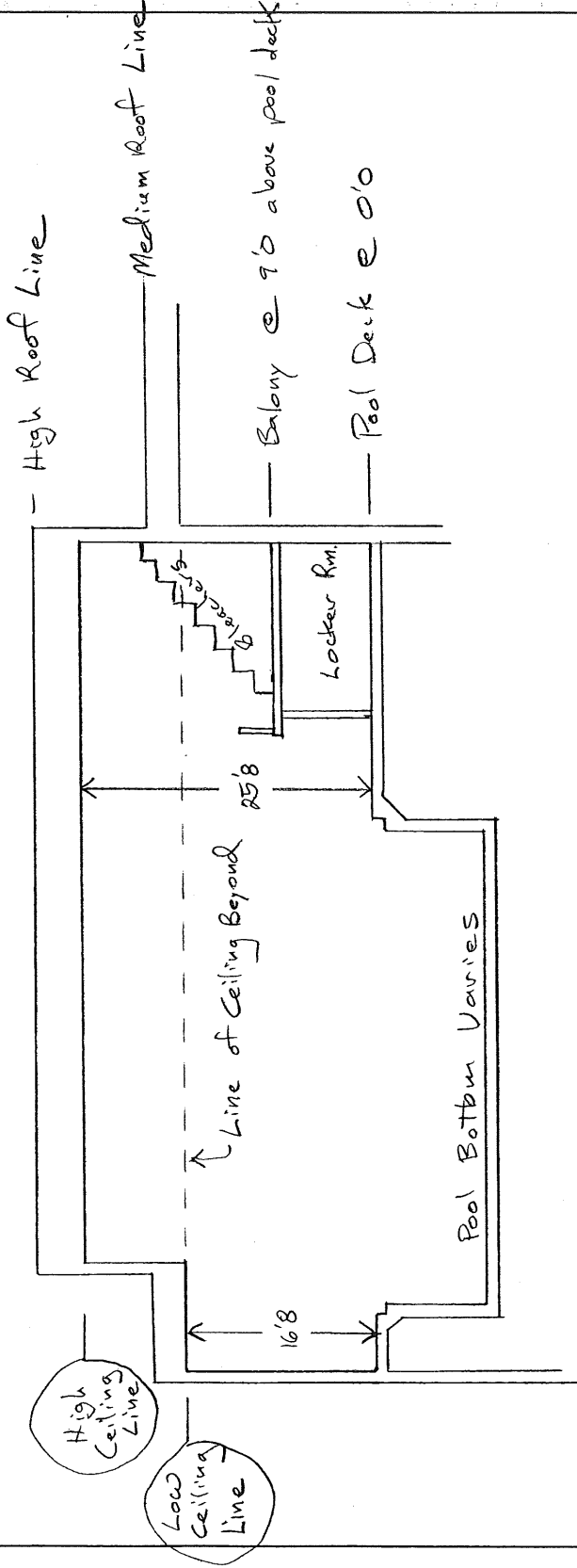
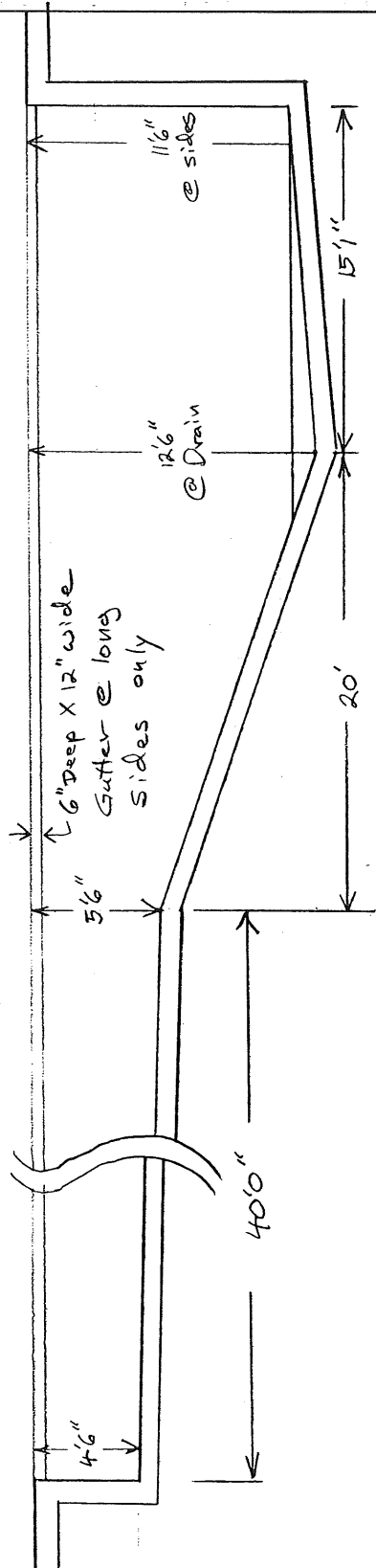




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JOB Portland YMCA Malcolm wing  
 SHEET NO. 3 OF 3  
 CALCULATED BY \_\_\_\_\_ DATE 8-12-05  
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 SCALE \_\_\_\_\_

Cross Section of Pool B-B  $\frac{1}{8}'' = 1'0''$



Building Cross Section A-A  $\frac{1}{16}'' = 1'0''$

**SECTION 07500  
ROOFING AND FLASHING**

**PART 1 GENERAL**

**1.01 DESCRIPTION OF WORK**

- A. Fully adhered EPDM sheet roofing, tapered and flat roof insulation, elastomeric flashing, wood nailers, Metal-Era fascia system, copper cap flashings, roof drains, plumbing and walkway pads.
- B. Wright-Ryan Construction, Inc. may change the scope of work described herein.

**1.02 CODES, REGULATIONS AND STANDARDS**

- A. Contractor Responsibility: The Contractor shall assume full responsibility and liability for compliance with all applicable Federal, State and local codes, regulations and standards pertaining to work practices, hauling, disposal, protection of workers and visitors to the site, and persons occupying areas adjacent to the site. This includes modification of procedures to comply with changes to codes, regulations and standards which occur during the work of this contract. The Contractor is responsible for providing medical examinations and maintaining medical records of personnel as required by the applicable Federal, State and local regulations. The Contractor shall hold the Owner and Owner's Representatives harmless for failure to comply with any applicable work, hauling, disposal, safety, health or other regulations on the part of himself, his employees or his subcontractors.

**1.03 QUALITY ASSURANCE**

- A. Roofing contractor to be approved in writing by the membrane manufacturer. Contractor shall be able to substantiate that he has been trained by the membrane manufacturer.
- B. Roofing and flashing workmanship to comply with industry standards. The National Roofing Contractors Association's (NRCA) *ROOFING AND WATERPROOFING MANUAL* along with *ARCHITECTURAL SHEET METAL MANUAL* as published by Sheet Metal and Air Conditioning Contractors National Association, Inc. (SMACNA) will be used to establish industry standards.

**1.04 SUBMITTALS**

- A. Sample ten (10) year watertight warranty for the EPDM membrane.
- B. Sample twenty (20) year material warranty for the EPDM membrane.
- C. Current EPDM membrane manufacturer's application specifications.
- D. Manufacturer's details of the proposed fascia system.

**1.05 PRODUCT DELIVERY, STORAGE AND HANDLING**

- A. Deliver materials in their original, unopened containers, clearly labeled with manufacturer's name. All material to be stored in waterproof trailers or sheds, up on raised platforms and under lock and key until use. Do not use materials damaged in handling or storage. Replace damaged material with new material. Store adhesives between 60 and 80 degrees F. Should they be exposed to lower temperatures, restore to room temperature for three to five days prior to use.

## 1.06 WARRANTY

A. A ten (10) year watertight warranty and twenty (20) year material warranty shall be issued by the EPDM membrane manufacturer.

B. The roofing contractor shall furnish the Owner with his personal two (2) year watertight warranty.

## PART 2 PRODUCTS

### 2.01 ROOF INSULATION

A. Tapered roof insulation to be polyisocyanurate closed-cell foam core with manufacturer's standard facing laminated to both sides, complying with FS HH-I-1972/2, Class 1. Use 1/2" per foot tapered isocyanurate to create the drain sumps; see attached drain sump detail. Use 1/8" per foot tapered isocyanurate having an average R-value of 30.0. The attached tapered insulation plan is one of many possibilities; contractors are encouraged to submit alternate tapered plans that will yield an average R-value of 30.0 and will give positive roof drainage.

B. Over all foam insulation, install one layer of 1/2" high density fiberboard roof insulation. The high density fiberboard roof insulation to be Structodek by Wood Fiber Industries, High Density Fiberboard by the Celotex Corp. or approved equal.

### 2.02 MEMBRANE ROOF SYSTEM

A. Membrane roofing to be fully adhered .060" EPDM sheet roofing furnished in twenty five foot (25') wide (or wider) rolls by Firestone, Carlisle or Versico. Roof membrane to be fully adhered to the 1/2" high density fiberboard roof insulation.

B. Use the roof membrane for flashing of curbs and walls per the manufacturer's standard details. Use reinforced EPDM anchor strips to avoid splice joints at walls and edges.

C. Adhesives, sealants, thinner, cleaner and accessories to be furnished by the membrane manufacturer.

**D. Six inch (6") wide seam tape will be required for all field seams.**

### 2.03 ROOF DRAINS AND PLUMBING

A. New roof drains shall be Zurn ZC-100-DP furnished with cast iron domes and "Top-Set" deck plates. Size of new drains to be the same size as the existing drain lines.

B. New drain lines as required to be Schedule 40 PVC. Insulate new drain lines and body with one inch (1") fiberglass with vapor barrier.

### 2.04 METAL FLASHING

A. Fascia to be System 200, FA-80 by Metal-Era, Inc. or approved equal. Water dam to be 24 gauge galvanized steel. Fascia and extender to be .050" Kynar 500 finished aluminum; color to be selected by the Owner from manufacturer's standard colors.

B. New cap flashing to be formed using 16 ounce lead coated copper.

### 2.05 WOOD NAILERS AND BLOCKING

A. All wood nailers and blocking shall be #2 or better pressure treated with non-leachable waterborne salt such as Osmose K-33. Plywood to be exterior type and pressure treated.

## 2.06 FASTENERS

- A. Use annular-ring hot dipped galvanized nails by the W.H. Maze Co. on the galvanized cant dam.
- B. Use fasteners recommended by the membrane manufacturer to secure anchor bars and termination bars.
- C. Wood nailers to be secured using annular-ring hot dipped galvanized nails, galvanized dry-wall screws, #14-10 Heavy Duty Roofing Fasteners, carriage bolts or expansion anchors.
- D. Fasteners used to secure roof insulation to the new steel deck to be #14-10 Heavy Duty Roofing Fasteners with CR-10 coating, a minimum shank diameter of 0.170" and a thread diameter of 0.125". Pressure plates to be 3" diameter Galvalume plates. Screws and plates to be manufactured by Olympic Fasteners or approved equal. Length, size and accessories to be as required by the EPDM membrane manufacturer selected.

## 2.07 WALKWAY PADS

- A. Walkway pads to be 30" x 30" x .30" thick Firestone Rubbergard Walkway pads or approved equal.

## PART 3 EXECUTION

### 3.01 PREPARATION OF SURFACES

- A. Completely remove existing roofing, roof insulation, base flashing, edge strips, vent flashing and roof drains. Promptly remove from site and dispose of properly.
- B. Surfaces on which the roofing system is to be applied shall be clean, smooth, dry, free of fins, rot, sharp edges, loose and foreign materials, oil and grease.

### 3.02 ROOF INSULATION

- A. Insulation shall be tightly butted with joints not more than 1/8" in width. Stagger joints with those in layer below. Fiberboard to be installed with a 1/16"-1/8" gap at all joints when board size is greater than 2' x 4'.
- B. Fasten insulation to the roof deck with the appropriate screws and plates. Fastener quantity and layout must meet all requirements that may be imposed by the EPDM manufacturer to obtain their warranty.
- C. Stagger joints in one direction for each course. For multiple layers, stagger joints in both directions between courses leaving no gaps, allowing a complete thermal envelope to be formed.
- D. Provide tapered units to suit drainage pattern indicated.
- E. Do not install more insulation in a day than can be covered with membrane before end of day or before start of inclement weather.

### 3.03 ROOF MEMBRANE

- A. Adhere the .060" EPDM membrane to the 1/2" high density fiberboard in strict accordance with the manufacturer's specifications.
- B. **Six inch (6") wide seam tape will be required for all field seams.**



### 3.04 FLASHING - - WALLS, PARAPETS, CURBS AND VENTS

- A. Remove all existing flashing.
- B. Use the longest pieces of material which are practical. All flashing and terminations shall be done in accordance with the applicable manufacturer's details.
- C. Care must be taken to set the elastomeric flashing so it does not bridge where there is a change of direction (i.e. where a parapet meets the roof deck). This can be accomplished by creasing the membrane into the angle change prior to adhering up the wall. Excess bridging will be cause for rejection and will be re-done at the contractor's expense.
- D. Install termination bars at the top of all base flashing, fastening a minimum of 6" on center.
- E. Raise existing curb height as necessary to obtain a minimum of 8" high flashing.

### 3.05 FASCIA

- A. Install fascia system in strict accordance with the manufacturer's printed instructions, except that the fascia is to be crimped to the cant dam at 24" on center.

### 3.06 CAP FLASHING

- A. Remove existing cap flashing. Cut a new reglet to a minimum depth of 1-1/4". Secure new cap flashing with lead wool plugs at 24" on center. Seal joint with NP1 by Sonneborn.

### 3.07 ROOF DRAINS AND PLUMBING

- A. Install new roof drains in accordance with the manufacturer's instructions. Review installation procedure with job-site inspector prior to installing drains.
- B. Connection to existing lines is the responsibility of the roofing contractor. Actual work may be sub-contracted to a plumbing contractor. All plumbing work to be performed in strict accordance with the State of Maine Plumbing Code. Insulate new PVC lines and drain bodies.
- C. Cutting and patching of masonry walls, steel beams and drywall are part of this contract. Please note all obstructions prior to bidding.
- D. Avoid target patches at the roof drains by installing new wood blocking, drains and tapered sumps prior to adhering the EPDM roof membrane.

### 3.08 WOOD NAILERS AND BLOCKING

- A. Securely fasten new pressure treated wood nailers to structural members so as to resist a force of 200 pounds per lineal foot in any direction.

### 3.09 WALKWAY PADS

- A. Adhere walkway pads to roof membrane in accordance with the manufacturer's instructions.

### 3.10 TEMPORARY WATER CUT-OFF

- A. Temporary water cut-offs are to be constructed at the end of each working day to protect the insulation, roofing, building and building interior from damage due to wind, snow and rain.
- B. Temporary water cut-offs are to be detailed by the contractor and approved by the manufacturer and Owner.

### 3.11 CLEAN UP

- A. Site clean-up shall be complete and to the satisfaction of the Owner.

B. All roofs, building, landscape and parking areas shall be cleaned of all trash, debris and dirt caused by or associated with this work.

C. Any areas stained, dirtied, discolored or otherwise damaged due to this work shall be cleaned, restored and replaced as required.

D. All debris shall be removed from the premises promptly and the construction area left clean daily.

### 3.12 INSPECTION AND TESTING

THE OWNER RESERVES THE RIGHT TO INSPECT AND TEST ALL CONSTRUCTION OPERATIONS AND MATERIALS.

A. Any defect or noncompliance discovered by inspection shall be reported to the contractor who shall promptly remove any defective material from the site.

B. The Owner reserves the right to inspect the work or parts of it as he chooses. His failure to inspect the work in progress shall not relieve the contractor of the responsibility for properly executing the contracted work, nor shall it impair the Owner's right to reject deficiencies he may subsequently discover.

### 3.13 DIMENSIONS AND QUANTITIES

A. The roof plan was compiled from various sources and may not reflect the conditions at the time of construction.

B. It is the contractor's responsibility to verify all dimensions prior to bidding.

## PART 4 JOB CONDITIONS

A. Roofing to be applied in dry weather.

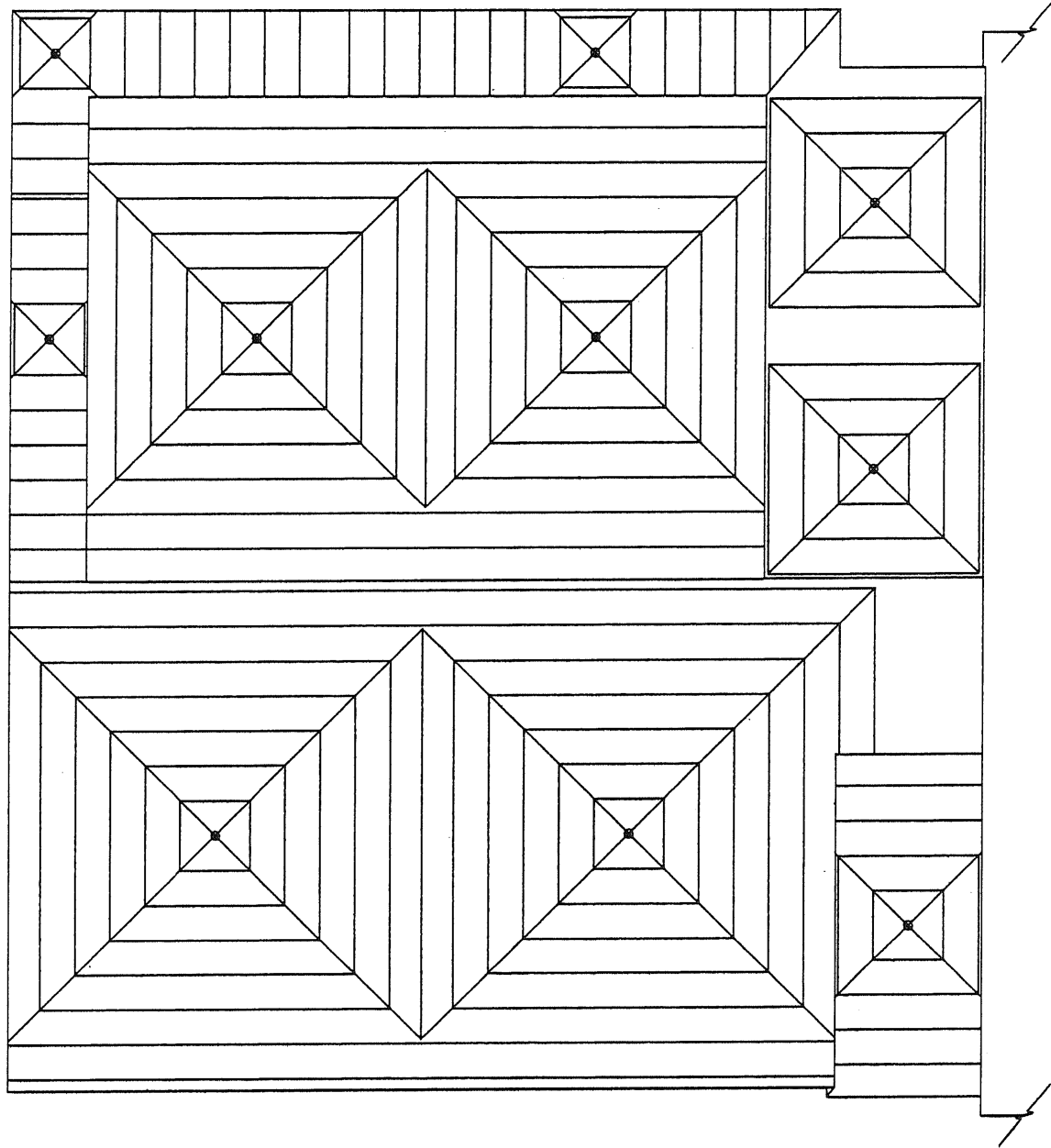
B. Completed roof areas shall not be trafficked. The work shall be coordinated to prevent this situation by working toward the roof edges.

C. This project is subject to compliance with all requirements of the Occupational Safety and Health Administration (OSHA). All work on this project must meet the requirements of all applicable state and local codes, laws and ordinances.

D. Test cuts were taken from the roofs.

1. Over existing cementitious wood fiber deck there is one layer of 1/2" fiberboard roof insulation and a fully adhered EPDM roof. There is a double tapered edge at the perimeter of the roofs. This old roof has had many repairs over the years so it is very likely that the roof composition will vary from one location to another. The contractors are encouraged to take their own test cuts to determine the exact composition of the existing roof system. Contractor will not receive any additional compensation should he later discover variations in the existing roof system. Contractor is to expect variations.

END OF SECTION



YMCA PORTLAND, MAINE		
INDEPENDENT ROOF SERVICES PORTLAND, MAINE	SCALE: 1"=20'	DRAWN BY JTB REVISED BY ---
TITLE: PROPOSED TAPERED INSULATION PLAN		
DATE: 8-2-05	FILE NAME: YMCA PORTLAND	DRAWING #: R1

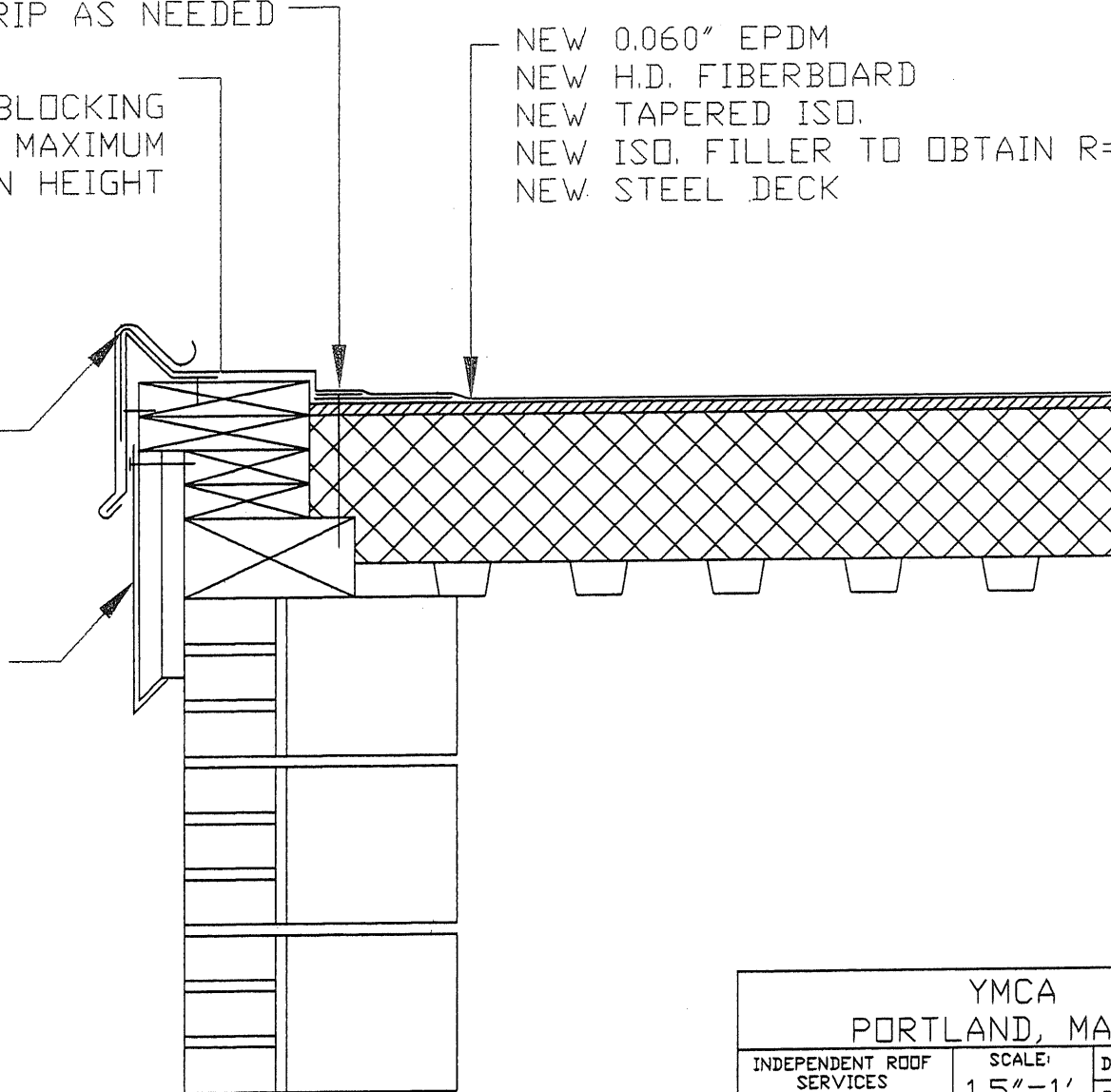
0.045" REINFORCED EPDM ANCHOR STRIP AS NEEDED

NEW AND EXISTING BLOCKING TO OBTAIN MAXIMUM INSULATION HEIGHT

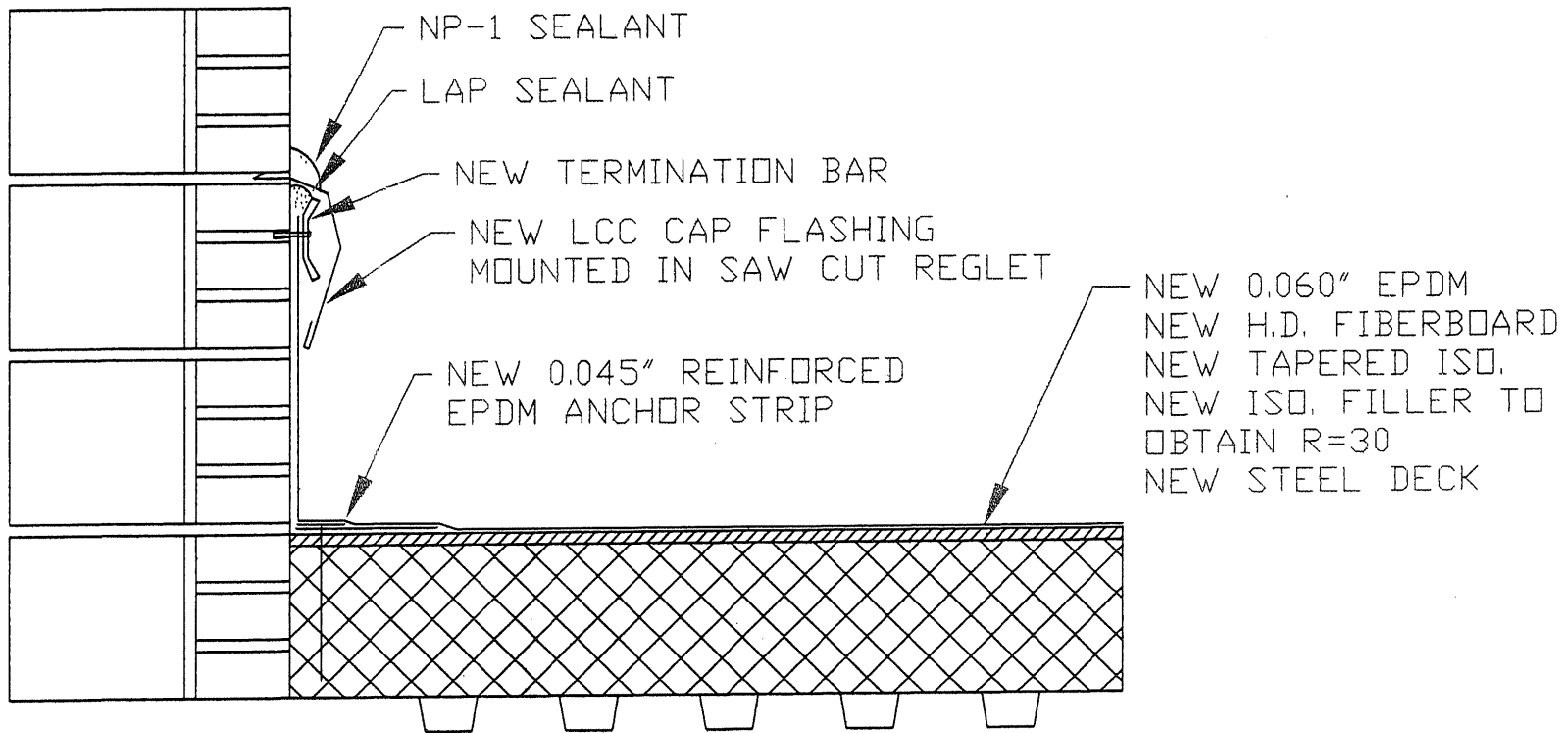
NEW 0.060" EPDM  
NEW H.D. FIBERBOARD  
NEW TAPERED ISO.  
NEW ISO. FILLER TO OBTAIN R=30  
NEW STEEL DECK

NEW METAL-ERA FA-80

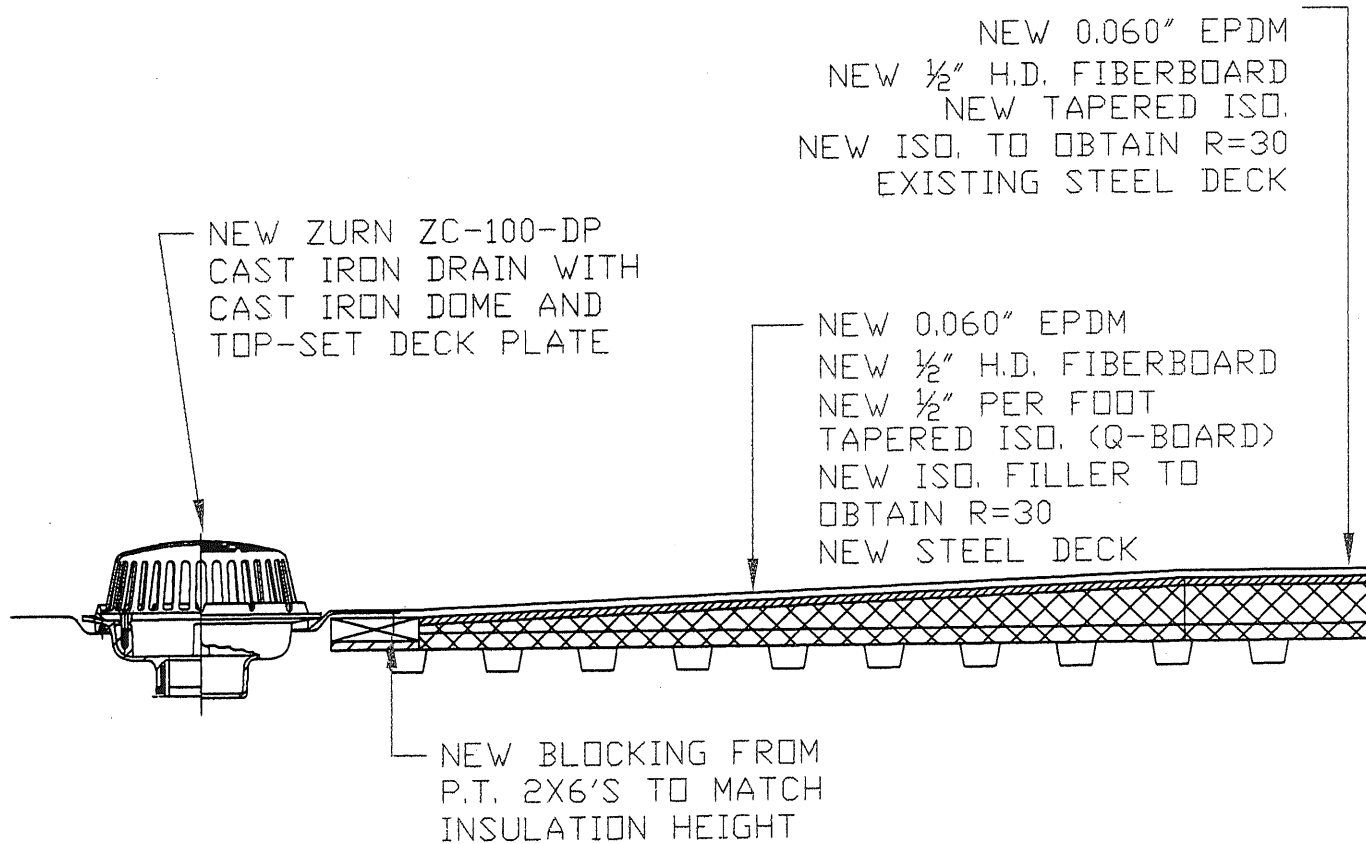
NEW FASCIA EXTENDER  
MADE FROM 0.050"  
ALUMINUM, NAIL TOP OF  
EXTENDER AT 18" O.C.  
THROUGH SLOTTED  
HOLES



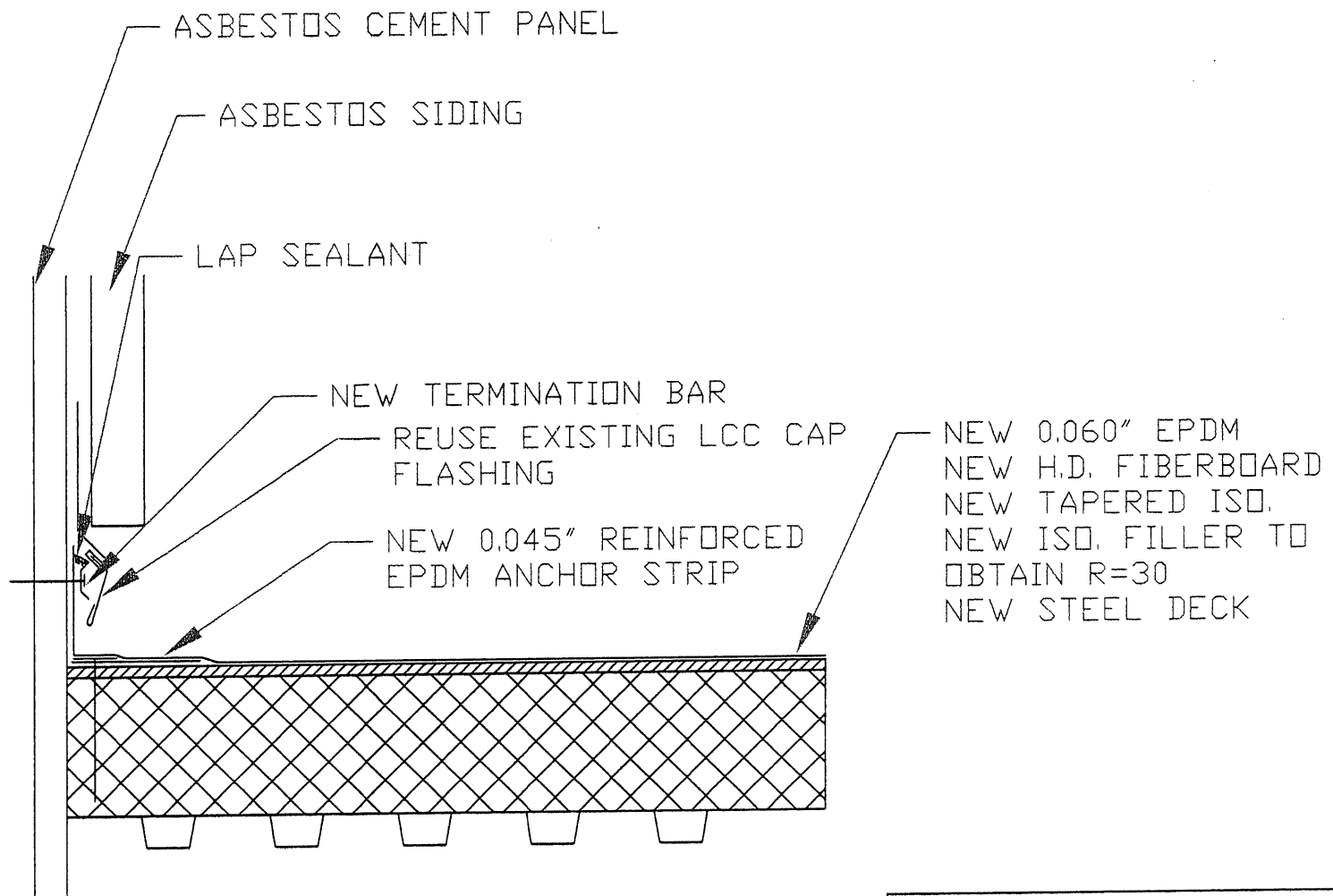
YMCA PORTLAND, MAINE		
INDEPENDENT ROOF SERVICES POWNA, MAINE	SCALE: 1.5"=1'	DRAWN BY JTB REVISED BY ---
TITLE: TYPICAL EDGE DETAIL		
DATE: 8-2-05	FILE NAME: YMCA PORTLAND	DRAWING #: R2



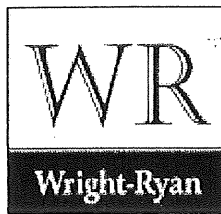
YMCA PORTLAND, MAINE		
INDEPENDENT ROOF SERVICES POWNA, MAINE	SCALE: 1.5"=1'	DRAWN BY JTB REVISED BY ---
TITLE: TYPICAL WALL DETAIL, BRICK		
DATE: 8-2-05	FILE NAME: YMCA PORTLAND	DRAWING #: R3



YMCA PORTLAND, MAINE		
INDEPENDENT ROOF SERVICES POWNA, MAINE	SCALE: 1"=1'	DRAWN BY JTB REVISED BY ---
TITLE: TYPICAL SUMP DETAIL		
DATE: 8-2-05	FILE NAME: YMCA PORTLAND	DRAWING #: R4



YMCA PORTLAND, MAINE		
INDEPENDENT ROOF SERVICES POWNA, MAINE	SCALE: 1.5"=1'	DRAWN BY JTB REVISED BY ---
TITLE: TYPICAL WALL DETAIL, SIDING		
DATE: 8-2-05	FILE NAME: YMCA PORTLAND	DRAWING #: R5



## REQUEST FOR PROPOSAL

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Project: MALCOLM WING ROOF REPLACEMENT  
Location: Greater Portland YMCA, Forest Avenue, Portland, Maine  
Issued by: Wright-Ryan Construction, Inc., Rick Bergeron  
Issued on: February 22, 2006  
Site Visit: Contact Rick Bergeron to schedule a site visit  
Bid due date: March 8, 2006 at 12:00 Noon

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THE BID DOCUMENTS for this project consist of the following:

- Specification Section 07500 Roofing and Flashing consisting of 5 pages and Sketches R1 through R5 prepared by Independent Roof Services dated August 2, 2005.
  - Structural Drawings S1, S2, and S3 prepared by L&L Structural Engineering Services dated August 11, 2005.
  - Sketches 1 of 3 - Malcolm Wing Roof Plan, 2 of 3 - Pool Room Plan, and 3 of 3 - Pool Room Cross Sections, all dated August 12, 2005.
  - **NOTE:** The Original Construction Documents for the Malcolm Wing are available at Wright-Ryan's office for review.
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THIS PROJECT CONSISTS of the following bid packages:

### 1. Selective Demolition

- Remove the entire roofing system over the Malcolm Wing (approx. 13,500 sft).
- Remove the existing tectum deck and supporting bulb tees. Grind smooth and touch-up paint the areas where the bulb tees are welded to the steel beams and joists.
- Remove the existing acoustical ceiling systems.
- The working platforms described in Item 2 below will be provided by others to access the roof area over the pool room and pool bleachers (about 50% of the total project area).
- This subcontractor is responsible for obtaining and paying for all state or local permits required to properly perform this scope of work.
- This subcontractor is responsible for providing the dumpsters required for debris removal. These containers will be covered at all times to control dust migration.
- When "remove" is used above, it means remove, handle, transport off site, and legally dispose of.

*Building Maine's Great Spaces*

Wright-Ryan Construction, Inc. • 10 Danforth Street • Portland, Maine 04101  
Phone (207)773-3625 • Fax (207)773-5173 • www.wright-ryan.com



## 2. Working Platform over the Pool

- Design, furnish, erect, and subsequently dismantle and remove working platforms to access the roof area above the Malcolm Pool and bleacher area.
- The pool will be drained by others prior to the start of erection work. All existing tile work must be protected from damage due to scaffolding leg loading.
- These working platforms must provide access to the entire roof over the pool room and bleacher area (approx. 73'4" by 91'11").
- The top of these working platforms should be located about 6'0" below the existing ceiling surfaces.
- All scaffold materials must be loaded in and out through the existing access door at the northeast corner of the pool room.

## 3. Structural Upgrades

- Fabricate, deliver, and fully install all of the structural steel upgrades indicated for both the existing steel frame and steel joists. Note that all of the upgrades that can be performed from underneath the existing roof deck will be performed before the roofing and decking are removed. The working platforms described in Item 2 above will be provided by others to access the roof area over the pool room and pool bleachers (about 50% of the total project area). This subcontractor will need to provide access to the remaining areas requiring upgrades.
- Furnish and install the new metal decking.

## 4. New Roofing System

- Furnish and install a new roof system in accordance with the bid documents (approx. 13,500 sft).
- Furnish and install the new roof drains indicated. All interior plumbing work will be performed by others.
- Furnish and install all required flashing work required including that required for the existing rooftop equipment and penetrations not indicated on the drawings.
- Furnish and install walkway pads to access the existing equipment and roof protection pads for the existing wooden walkway which will be removed and reinstalled by others.
- All roof demolition work will be performed by others.
- All metal decking and wood blocking work will be performed by others.
- **NOTE:** Provide an Alternate price to substitute a FiberTite roof system in lieu of the specified EPDM system. Contact John Massengill at Seaman Corporation (Tele: 510-6868) for material pricing.

## 5. Acoustical Ceiling Systems

- Furnish and install a new acoustical ceiling system in the pool room. The tile shall be Armstrong Ceramiguard or approved equal.
- Furnish and install a new acoustical ceiling system in the upstairs areas adjoining the squash and handball courts.
- The working platforms described in Item 2 above will be provided by others to access the roof area over the pool room and pool bleachers.

## 6. Mechanical Systems

- Furnish and install new horizontal rain water piping from the new roof drains to the existing storm water leaders.
- Temporarily support any mechanical system component currently hung from the existing tectum decking. Reattach to the adjacent steel framing or the new metal deck.
- The working platforms described in Item 2 below will be provided by others to access the roof area over the pool room and pool bleachers.

## 7. Fire Protection Systems

- Design, fabricate, deliver, and fully install a new fire protection system for all spaces in the Malcolm Wing located directly below the roof structure (top level spaces).
- The working platforms described in Item 2 above will be provided by others to access the roof area over the pool room and pool bleachers.
- **NOTE:** Provide an Alternate price to provide fire protection coverage for the balance of the wing spaces (lower level spaces – i.e.: locker rooms, etc).

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THE PROJECT CONSTRUCTION SCHEDULE for this work is as follows:

- Subcontract awards will be made within 30 days of the bid date allowing the individual subcontractors to purchase the required building materials. Subcontractors will be paid for properly identified and insured stored materials. Actual field construction work will not begin until June 2006.
- Mobilize and start work on June 5, 2006.
- Work will be phased and will be performed in a sequence to keep the building as dry as possible. This sequence will be determined later.
- Complete all work by August 25, 2006.

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## GENERAL BIDDING REQUIREMENTS

All questions concerning this scope of work, the bid documents or the construction schedule must be submitted in writing at least 72 hours in advance of the established bid proposal due date and time. Please fax all written questions to Rick Bergeron at 773-5173. Responses will be issued in writing via addendum.

All bid proposals shall be in strict accordance with this RFP and all documents listed herein, including all addenda issued subsequently. All bid documents are complementary – should one document require a scope of work item not indicated on or within another document, it is understood that this work item will be required as if indicated by all documents, and shall not be considered a conflict within the documents. All exclusions, clarifications, and/or assumptions, relative to this scope of work, the bid documents or the construction schedule, must be clearly listed on the bidder's proposal. Bid proposals shall remain subject to acceptance for 30 days after the due date listed above. Bid proposals may be hand delivered to our main office or faxed to 773-5173.

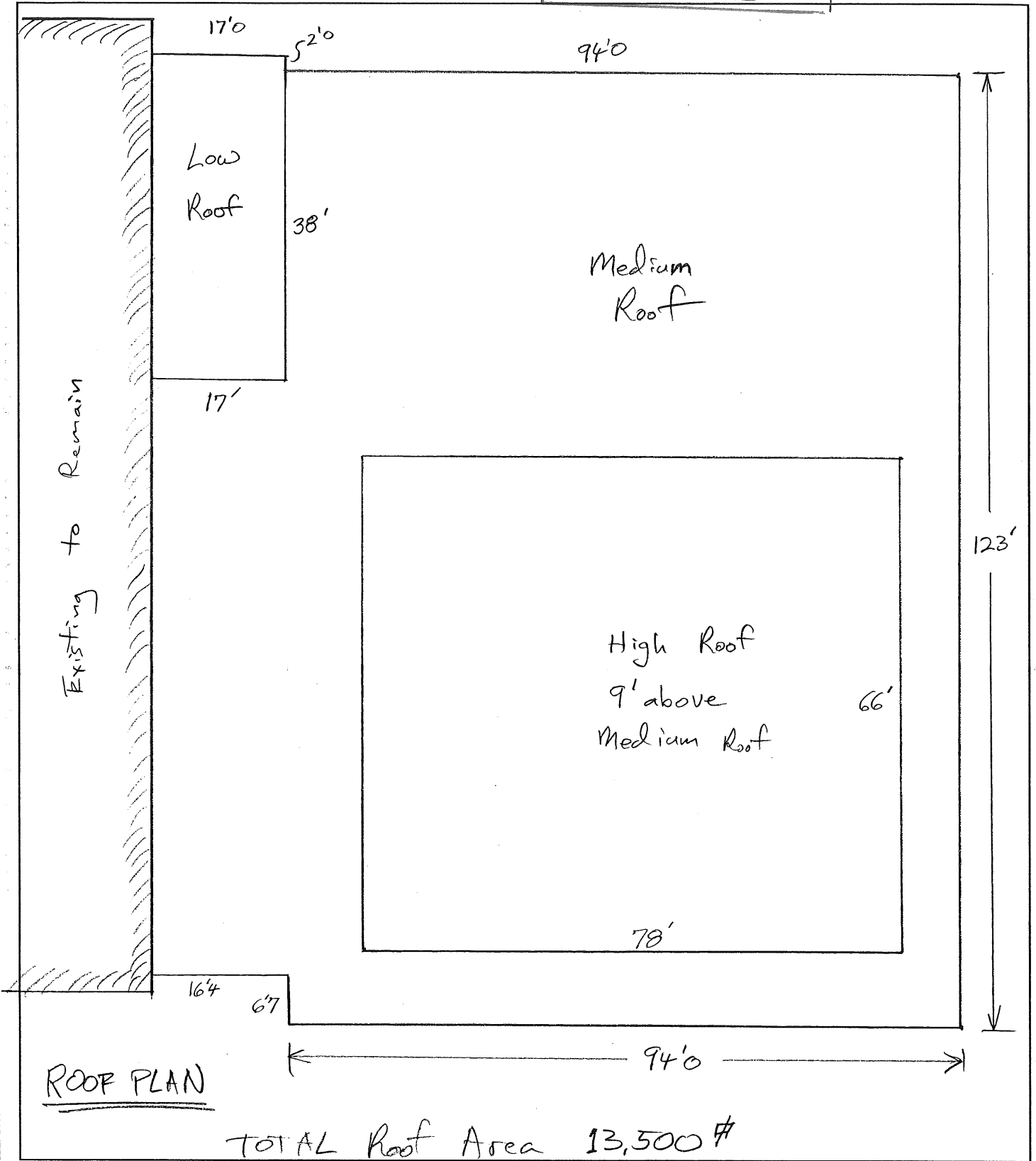
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End of RFP

**CWS Architects**

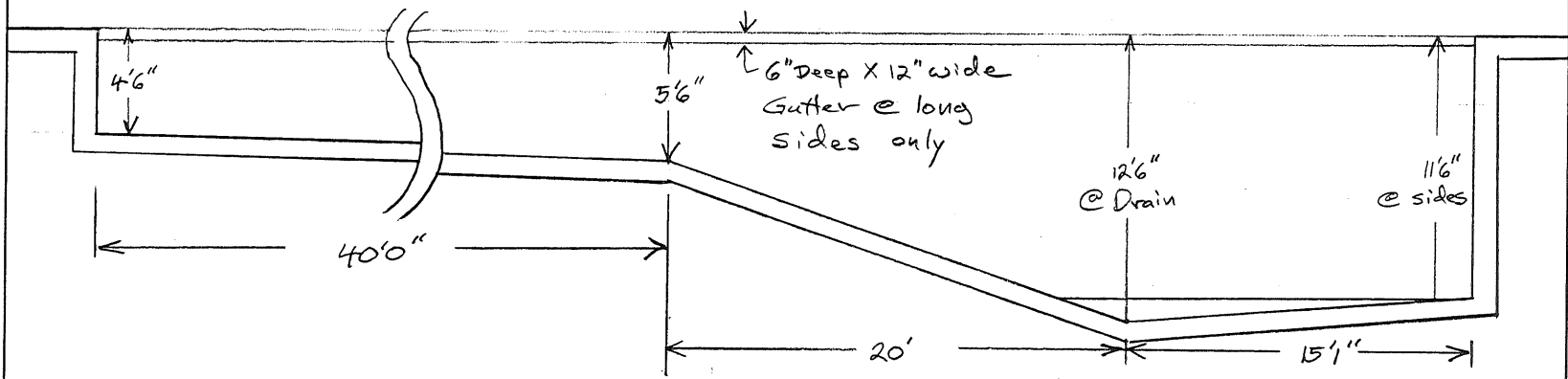
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DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME OF 3  
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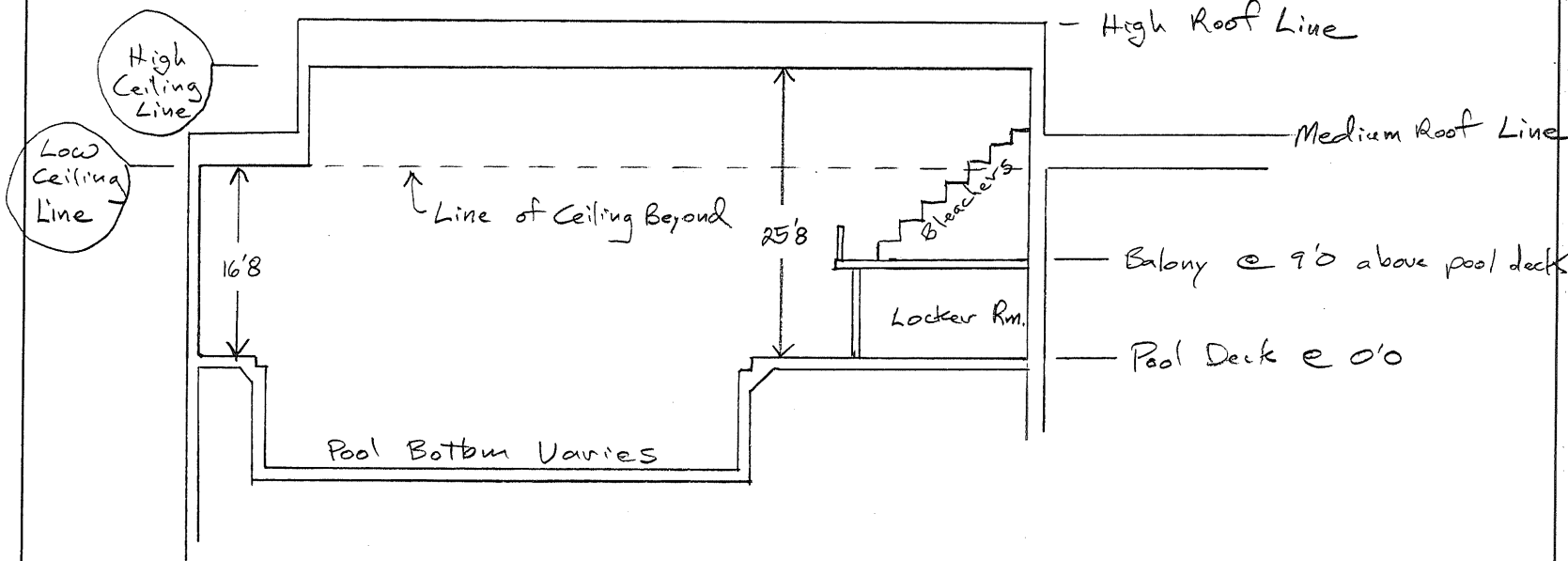




Cross Section of Pool B-B  $\frac{1}{8}'' = 1'0''$



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Building Cross Section A-A  $\frac{1}{16}'' = 1'0''$

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**SECTION 07500  
ROOFING AND FLASHING**

**PART 1 GENERAL**

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B. Roofing and flashing workmanship to comply with industry standards. The National Roofing Contractors Association's (NRCA) *ROOFING AND WATERPROOFING MANUAL* along with *ARCHITECTURAL SHEET METAL MANUAL* as published by Sheet Metal and Air Conditioning Contractors National Association, Inc. (SMACNA) will be used to establish industry standards.

**1.04 SUBMITTALS**

- A. Sample ten (10) year watertight warranty for the EPDM membrane.
- B. Sample twenty (20) year material warranty for the EPDM membrane.
- C. Current EPDM membrane manufacturer's application specifications.
- D. Manufacturer's details of the proposed fascia system.

**1.05 PRODUCT DELIVERY, STORAGE AND HANDLING**

A. Deliver materials in their original, unopened containers, clearly labeled with manufacturer's name. All material to be stored in waterproof trailers or sheds, up on raised platforms and under lock and key until use. Do not use materials damaged in handling or storage. Replace damaged material with new material. Store adhesives between 60 and 80 degrees F. Should they be exposed to lower temperatures, restore to room temperature for three to five days prior to use.

## 1.06 WARRANTY

- A. A ten (10) year watertight warranty and twenty (20) year material warranty shall be issued by the EPDM membrane manufacturer.
- B. The roofing contractor shall furnish the Owner with his personal two (2) year watertight warranty.

## PART 2 PRODUCTS

### 2.01 ROOF INSULATION

- A. Tapered roof insulation to be polyisocyanurate closed-cell foam core with manufacturer's standard facing laminated to both sides, complying with FS HH-I-1972/2, Class 1. Use 1/2" per foot tapered isocyanurate to create the drain sumps; see attached drain sump detail. Use 1/8" per foot tapered isocyanurate having an average R-value of 30.0. The attached tapered insulation plan is one of many possibilities; contractors are encouraged to submit alternate tapered plans that will yield an average R-value of 30.0 and will give positive roof drainage.
- B. Over all foam insulation, install one layer of 1/2" high density fiberboard roof insulation. The high density fiberboard roof insulation to be Structodek by Wood Fiber Industries, High Density Fiberboard by the Celotex Corp. or approved equal.

### 2.02 MEMBRANE ROOF SYSTEM

- A. Membrane roofing to be fully adhered .060" EPDM sheet roofing furnished in twenty five foot (25') wide (or wider) rolls by Firestone, Carlisle or Versico. Roof membrane to be fully adhered to the 1/2" high density fiberboard roof insulation.
- B. Use the roof membrane for flashing of curbs and walls per the manufacturer's standard details. Use reinforced EPDM anchor strips to avoid splice joints at walls and edges.
- C. Adhesives, sealants, thinner, cleaner and accessories to be furnished by the membrane manufacturer.
- D. **Six inch (6") wide seam tape will be required for all field seams.**

### 2.03 ROOF DRAINS AND PLUMBING

- A. New roof drains shall be Zurn ZC-100-DP furnished with cast iron domes and "Top-Set" deck plates. Size of new drains to be the same size as the existing drain lines.
- B. New drain lines as required to be Schedule 40 PVC. Insulate new drain lines and body with one inch (1") fiberglass with vapor barrier.

### 2.04 METAL FLASHING

- A. Fascia to be System 200, FA-80 by Metal-Era, Inc. or approved equal. Water dam to be 24 gauge galvanized steel. Fascia and extender to be .050" Kynar 500 finished aluminum; color to be selected by the Owner from manufacturer's standard colors.
- B. New cap flashing to be formed using 16 ounce lead coated copper.

### 2.05 WOOD NAILERS AND BLOCKING

- A. All wood nailers and blocking shall be #2 or better pressure treated with non-leachable waterborne salt such as Osmose K-33. Plywood to be exterior type and pressure treated.

## 2.06 FASTENERS

- A. Use annular-ring hot dipped galvanized nails by the W.H. Maze Co. on the galvanized cant dam.
- B. Use fasteners recommended by the membrane manufacturer to secure anchor bars and termination bars.
- C. Wood nailers to be secured using annular-ring hot dipped galvanized nails, galvanized dry-wall screws, #14-10 Heavy Duty Roofing Fasteners, carriage bolts or expansion anchors.
- D. Fasteners used to secure roof insulation to the new steel deck to be #14-10 Heavy Duty Roofing Fasteners with CR-10 coating, a minimum shank diameter of 0.170" and a thread diameter of 0.125". Pressure plates to be 3" diameter Galvalume plates. Screws and plates to be manufactured by Olympic Fasteners or approved equal. Length, size and accessories to be as required by the EPDM membrane manufacturer selected.

## 2.07 WALKWAY PADS

- A. Walkway pads to be 30" x 30" x .30" thick Firestone Rubbergard Walkway pads or approved equal.

## PART 3 EXECUTION

### 3.01 PREPARATION OF SURFACES

- A. Completely remove existing roofing, roof insulation, base flashing, edge strips, vent flashing and roof drains. Promptly remove from site and dispose of properly.
- B. Surfaces on which the roofing system is to be applied shall be clean, smooth, dry, free of fins, rot, sharp edges, loose and foreign materials, oil and grease.

### 3.02 ROOF INSULATION

- A. Insulation shall be tightly butted with joints not more than 1/8" in width. Stagger joints with those in layer below. Fiberboard to be installed with a 1/16"-1/8" gap at all joints when board size is greater than 2' x 4'.
- B. Fasten insulation to the roof deck with the appropriate screws and plates. Fastener quantity and layout must meet all requirements that may be imposed by the EPDM manufacturer to obtain their warranty.
- C. Stagger joints in one direction for each course. For multiple layers, stagger joints in both directions between courses leaving no gaps, allowing a complete thermal envelope to be formed.
- D. Provide tapered units to suit drainage pattern indicated.
- E. Do not install more insulation in a day than can be covered with membrane before end of day or before start of inclement weather.

### 3.03 ROOF MEMBRANE

- A. Adhere the .060" EPDM membrane to the 1/2" high density fiberboard in strict accordance with the manufacturer's specifications.
- B. **Six inch (6") wide seam tape will be required for all field seams.**



### 3.04 FLASHING - - WALLS, PARAPETS, CURBS AND VENTS

- A. Remove all existing flashing.
- B. Use the longest pieces of material which are practical. All flashing and terminations shall be done in accordance with the applicable manufacturer's details.
- C. Care must be taken to set the elastomeric flashing so it does not bridge where there is a change of direction (i.e. where a parapet meets the roof deck). This can be accomplished by creasing the membrane into the angle change prior to adhering up the wall. Excess bridging will be cause for rejection and will be re-done at the contractor's expense.
- D. Install termination bars at the top of all base flashing, fastening a minimum of 6" on center.
- E. Raise existing curb height as necessary to obtain a minimum of 8" high flashing.

### 3.05 FASCIA

- A. Install fascia system in strict accordance with the manufacturer's printed instructions, except that the fascia is to be crimped to the cant dam at 24" on center.

### 3.06 CAP FLASHING

- A. Remove existing cap flashing. Cut a new reglet to a minimum depth of 1-1/4". Secure new cap flashing with lead wool plugs at 24" on center. Seal joint with NP1 by Sonneborn.

### 3.07 ROOF DRAINS AND PLUMBING

- A. Install new roof drains in accordance with the manufacturer's instructions. Review installation procedure with job-site inspector prior to installing drains.
- B. Connection to existing lines is the responsibility of the roofing contractor. Actual work may be sub-contracted to a plumbing contractor. All plumbing work to be performed in strict accordance with the State of Maine Plumbing Code. Insulate new PVC lines and drain bodies.
- C. Cutting and patching of masonry walls, steel beams and drywall are part of this contract. Please note all obstructions prior to bidding.
- D. Avoid target patches at the roof drains by installing new wood blocking, drains and tapered sumps prior to adhering the EPDM roof membrane.

### 3.08 WOOD NAILERS AND BLOCKING

- A. Securely fasten new pressure treated wood nailers to structural members so as to resist a force of 200 pounds per lineal foot in any direction.

### 3.09 WALKWAY PADS

- A. Adhere walkway pads to roof membrane in accordance with the manufacturer's instructions.

### 3.10 TEMPORARY WATER CUT-OFF

- A. Temporary water cut-offs are to be constructed at the end of each working day to protect the insulation, roofing, building and building interior from damage due to wind, snow and rain.
- B. Temporary water cut-offs are to be detailed by the contractor and approved by the manufacturer and Owner.

### 3.11 CLEAN UP

- A. Site clean-up shall be complete and to the satisfaction of the Owner.

B. All roofs, building, landscape and parking areas shall be cleaned of all trash, debris and dirt caused by or associated with this work.

C. Any areas stained, dirtied, discolored or otherwise damaged due to this work shall be cleaned, restored and replaced as required.

D. All debris shall be removed from the premises promptly and the construction area left clean daily.

### 3.12 INSPECTION AND TESTING

THE OWNER RESERVES THE RIGHT TO INSPECT AND TEST ALL CONSTRUCTION OPERATIONS AND MATERIALS.

A. Any defect or noncompliance discovered by inspection shall be reported to the contractor who shall promptly remove any defective material from the site.

B. The Owner reserves the right to inspect the work or parts of it as he chooses. His failure to inspect the work in progress shall not relieve the contractor of the responsibility for properly executing the contracted work, nor shall it impair the Owner's right to reject deficiencies he may subsequently discover.

### 3.13 DIMENSIONS AND QUANTITIES

A. The roof plan was compiled from various sources and may not reflect the conditions at the time of construction.

B. It is the contractor's responsibility to verify all dimensions prior to bidding.

## PART 4 JOB CONDITIONS

A. Roofing to be applied in dry weather.

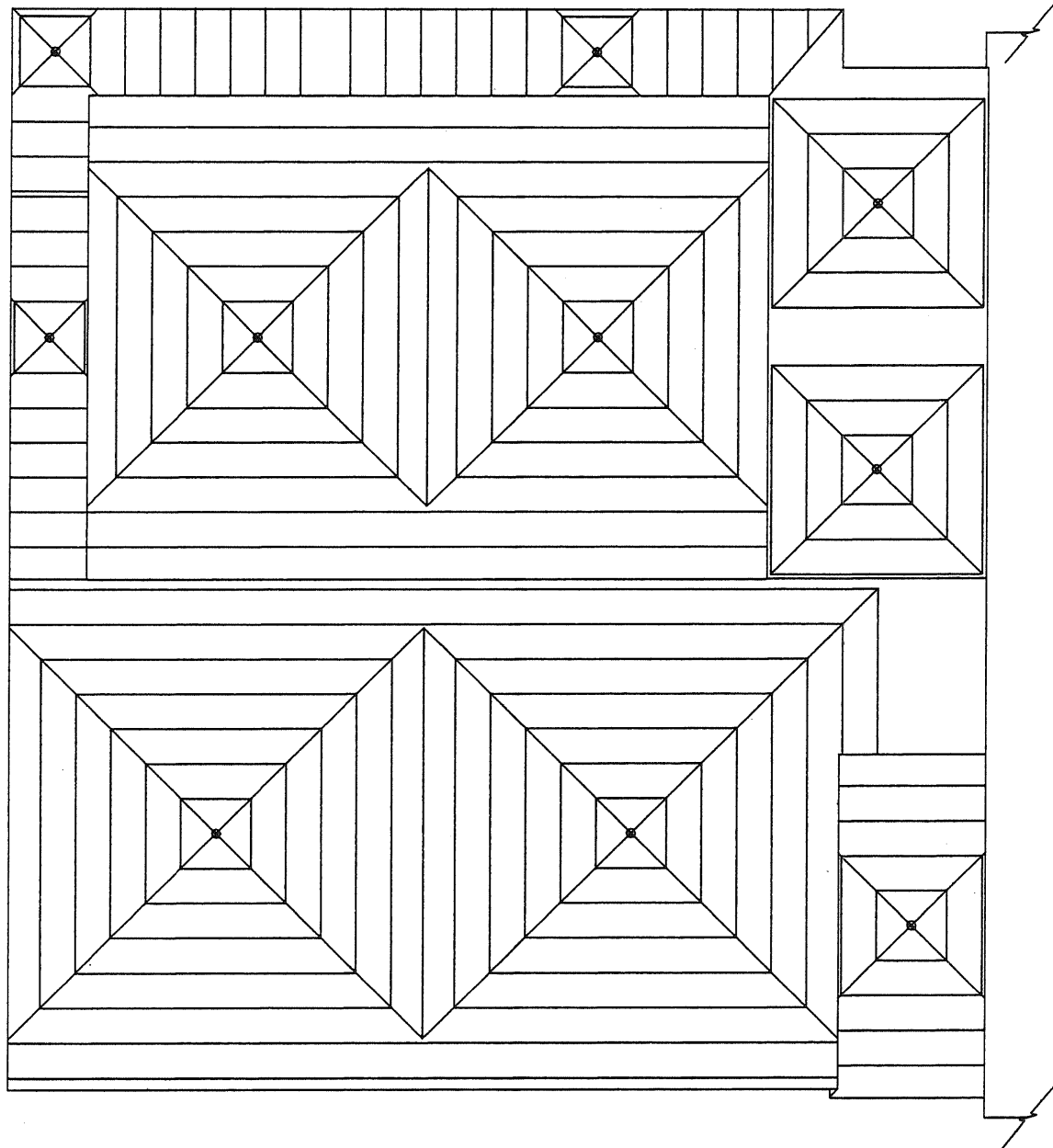
B. Completed roof areas shall not be trafficked. The work shall be coordinated to prevent this situation by working toward the roof edges.

C. This project is subject to compliance with all requirements of the Occupational Safety and Health Administration (OSHA). All work on this project must meet the requirements of all applicable state and local codes, laws and ordinances.

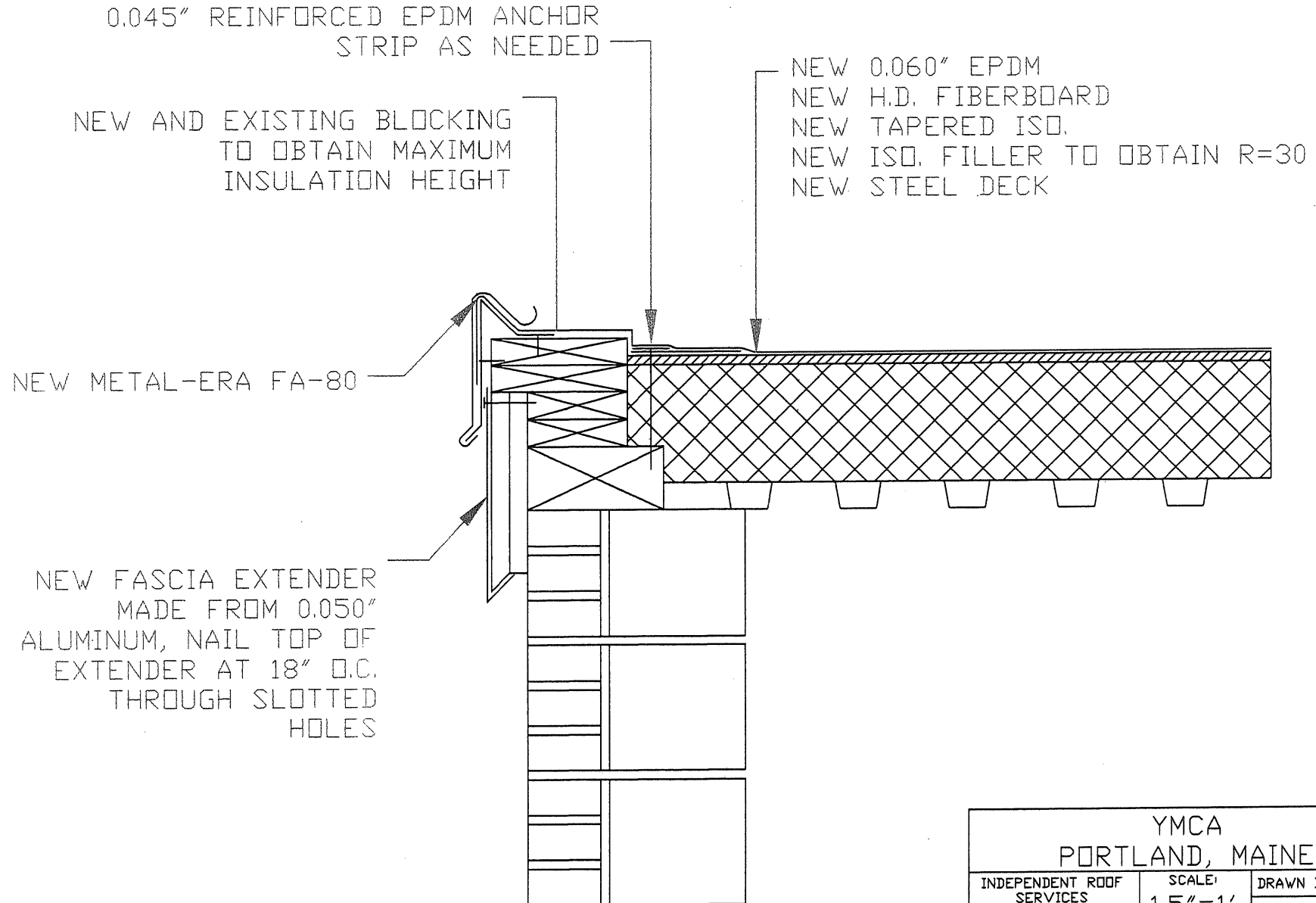
D. Test cuts were taken from the roofs.

1. Over existing cementitious wood fiber deck there is one layer of 1/2" fiberboard roof insulation and a fully adhered EPDM roof. There is a double tapered edge at the perimeter of the roofs. This old roof has had many repairs over the years so it is very likely that the roof composition will vary from one location to another. The contractors are encouraged to take their own test cuts to determine the exact composition of the existing roof system. Contractor will not receive any additional compensation should he later discover variations in the existing roof system. Contractor is to expect variations.

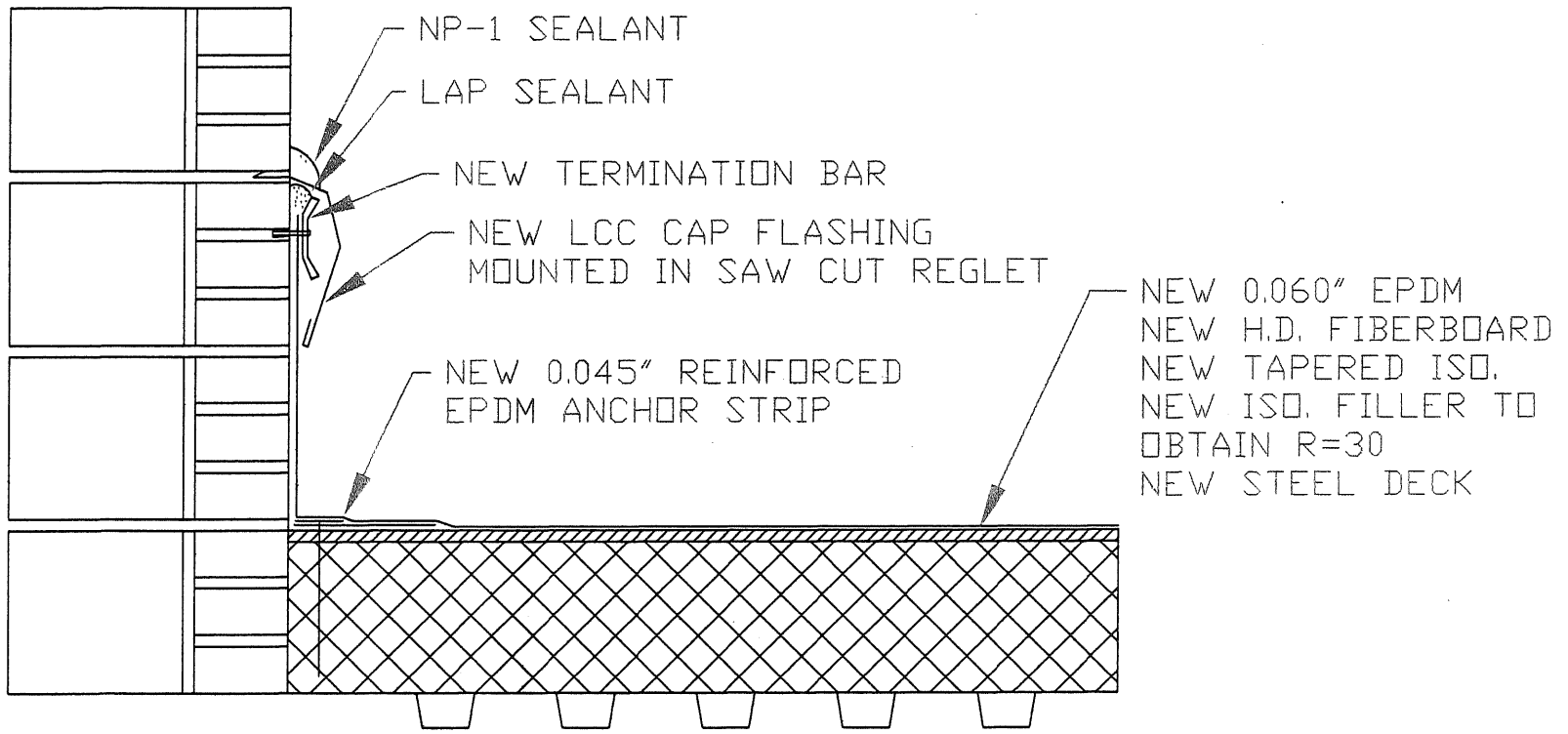
END OF SECTION



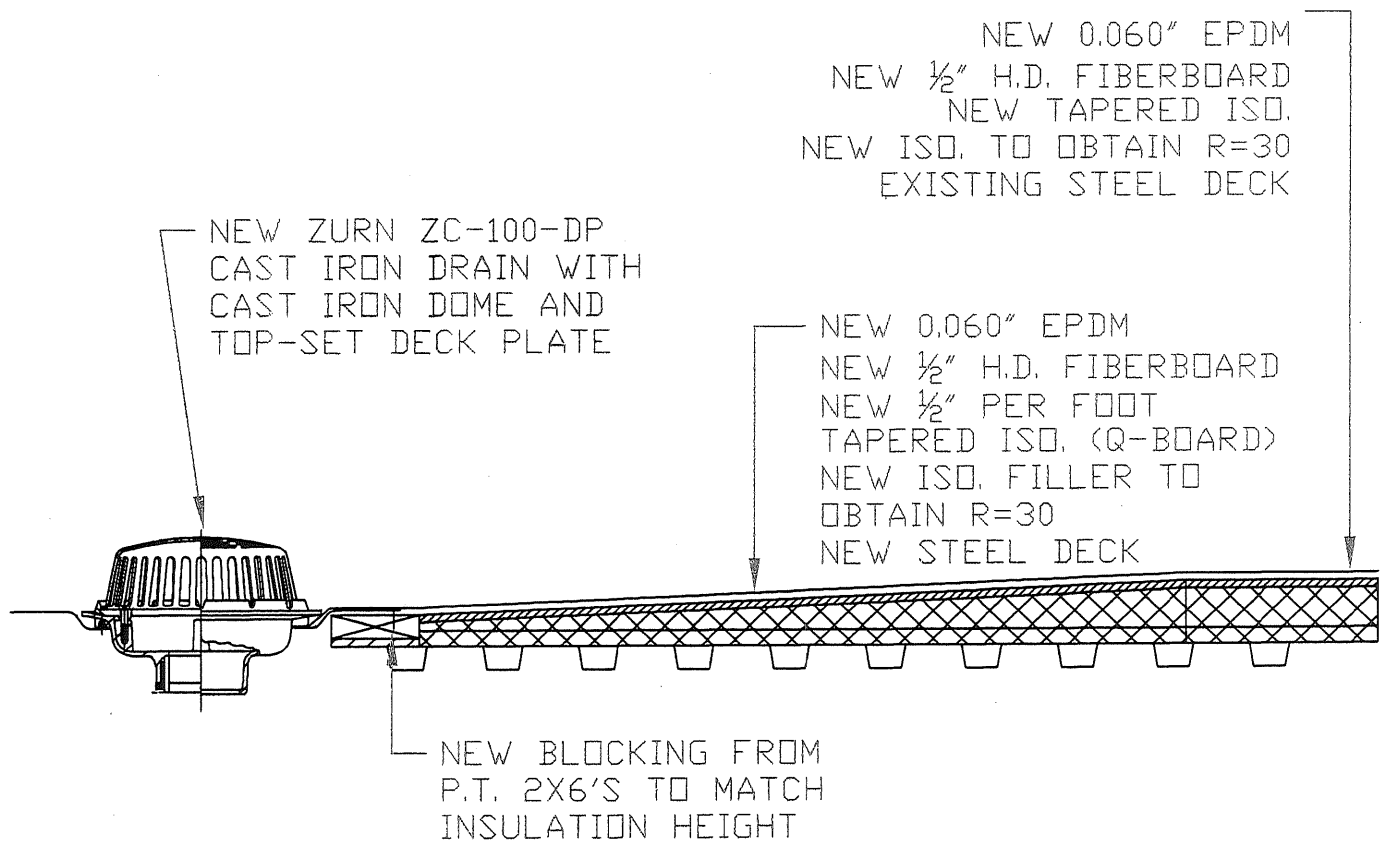
YMCA PORTLAND, MAINE		
INDEPENDENT ROOF SERVICES PORTLAND, MAINE	SCALE: 1"=20'	DRAWN BY JTB REVISED BY ---
TITLE: PROPOSED TAPERED INSULATION PLAN		
DATE: 8-2-05	FILE NAME: YMCA PORTLAND	DRAWING #: R1



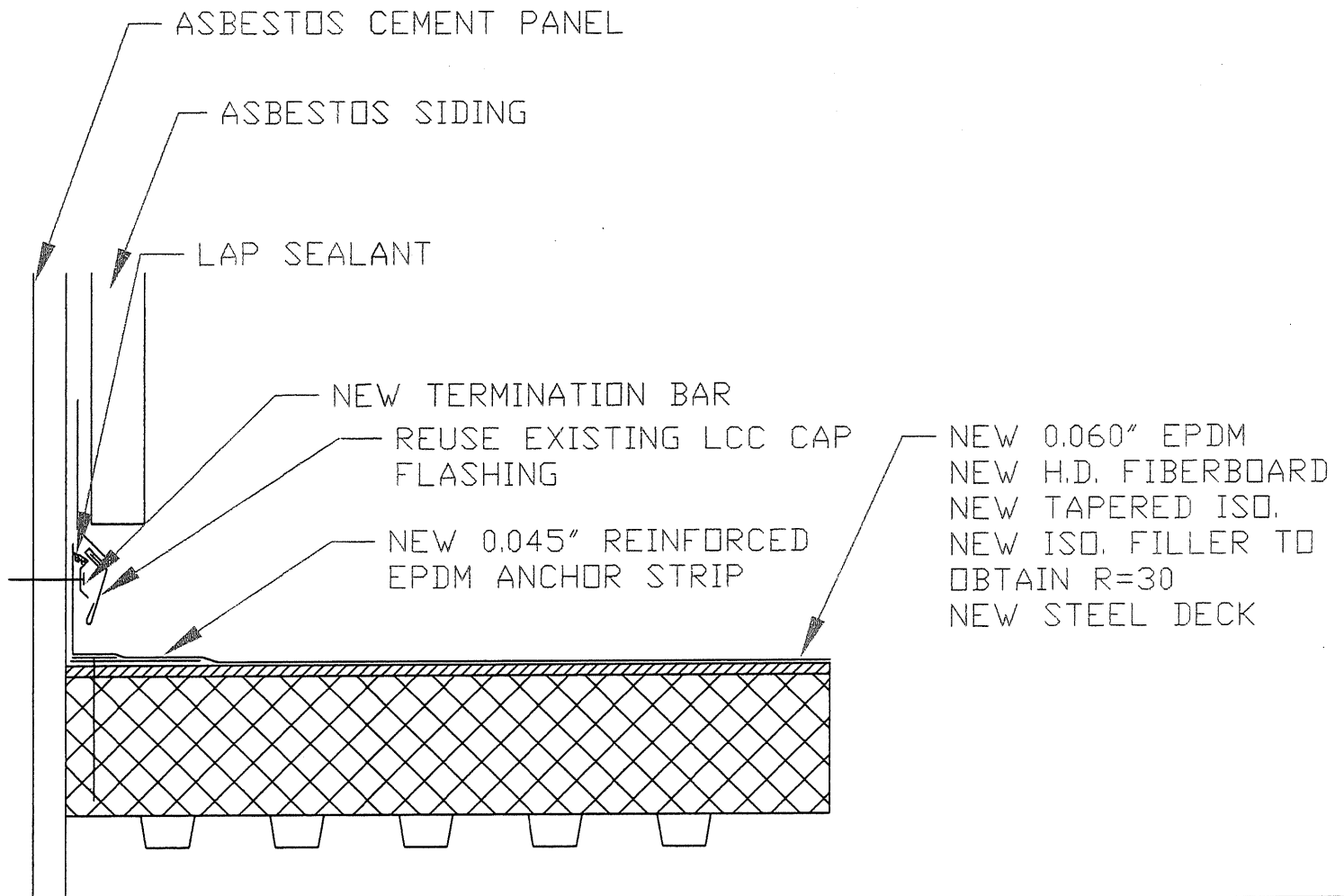
YMCA PORTLAND, MAINE		
INDEPENDENT ROOF SERVICES POWNA, MAINE	SCALE: 1.5"=1'	DRAWN BY JTB REVISED BY ---
TITLE: TYPICAL EDGE DETAIL		
DATE: 8-2-05	FILE NAME: YMCA PORTLAND	DRAWING #: R2



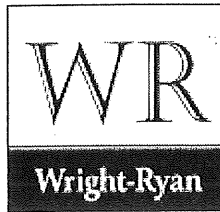
YMCA PORTLAND, MAINE		
INDEPENDENT ROOF SERVICES PORTLAND, MAINE	SCALE: 1.5"=1'	DRAWN BY JTB REVISED BY ---
TITLE: TYPICAL WALL DETAIL, BRICK		
DATE: 8-2-05	FILE NAME: YMCA PORTLAND	DRAWING #: R3



YMCA PORTLAND, MAINE		
INDEPENDENT ROOF SERVICES PORTLAND, MAINE	SCALE: 1"=1'	DRAWN BY JTB REVISED BY ---
TITLE: TYPICAL SUMP DETAIL		
DATE: 8-2-05	FILE NAME: YMCA PORTLAND	DRAWING #: R4



YMCA PORTLAND, MAINE		
INDEPENDENT ROOF SERVICES POWNA, MAINE	SCALE: 1.5"=1'	DRAWN BY JTB REVISED BY ---
TITLE: TYPICAL WALL DETAIL, SIDING		
DATE: 8-2-05	FILE NAME: YMCA PORTLAND	DRAWING #: R5



## REQUEST FOR PROPOSAL

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Project: MALCOLM WING ROOF REPLACEMENT  
Location: Greater Portland YMCA, Forest Avenue, Portland, Maine  
Issued by: Wright-Ryan Construction, Inc., Rick Bergeron  
Issued on: February 22, 2006  
Site Visit: Contact Rick Bergeron to schedule a site visit  
Bid due date: March 8, 2006 at 12:00 Noon

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THE BID DOCUMENTS for this project consist of the following:

- Specification Section 07500 Roofing and Flashing consisting of 5 pages and Sketches R1 through R5 prepared by Independent Roof Services dated August 2, 2005.
  - Structural Drawings S1, S2, and S3 prepared by L&L Structural Engineering Services dated August 11, 2005.
  - Sketches 1 of 3 - Malcolm Wing Roof Plan, 2 of 3 - Pool Room Plan, and 3 of 3 - Pool Room Cross Sections, all dated August 12, 2005.
  - **NOTE:** The Original Construction Documents for the Malcolm Wing are available at Wright-Ryan's office for review.
- 

THIS PROJECT CONSISTS of the following bid packages:

### 1. Selective Demolition

- Remove the entire roofing system over the Malcolm Wing (approx. 13,500 sft).
- Remove the existing tectum deck and supporting bulb tees. Grind smooth and touch-up paint the areas where the bulb tees are welded to the steel beams and joists.
- Remove the existing acoustical ceiling systems.
- The working platforms described in Item 2 below will be provided by others to access the roof area over the pool room and pool bleachers (about 50% of the total project area).
- This subcontractor is responsible for obtaining and paying for all state or local permits required to properly perform this scope of work.
- This subcontractor is responsible for providing the dumpsters required for debris removal. These containers will be covered at all times to control dust migration.
- When "remove" is used above, it means remove, handle, transport off site, and legally dispose of.

*Building Maine's Great Spaces*

Wright-Ryan Construction, Inc. • 10 Danforth Street • Portland, Maine 04101  
Phone (207)773-3625 • Fax (207)773-5173 • [www.wright-ryan.com](http://www.wright-ryan.com)



## 2. Working Platform over the Pool

- Design, furnish, erect, and subsequently dismantle and remove working platforms to access the roof area above the Malcolm Pool and bleacher area.
- The pool will be drained by others prior to the start of erection work. All existing tile work must be protected from damage due to scaffolding leg loading.
- These working platforms must provide access to the entire roof over the pool room and bleacher area (approx. 73'4" by 91'11").
- The top of these working platforms should be located about 6'0" below the existing ceiling surfaces.
- All scaffold materials must be loaded in and out through the existing access door at the northeast corner of the pool room.

## 3. Structural Upgrades

- Fabricate, deliver, and fully install all of the structural steel upgrades indicated for both the existing steel frame and steel joists. Note that all of the upgrades that can be performed from underneath the existing roof deck will be performed before the roofing and decking are removed. The working platforms described in Item 2 above will be provided by others to access the roof area over the pool room and pool bleachers (about 50% of the total project area). This subcontractor will need to provide access to the remaining areas requiring upgrades.
- Furnish and install the new metal decking.

## 4. New Roofing System

- Furnish and install a new roof system in accordance with the bid documents (approx. 13,500 sft).
- Furnish and install the new roof drains indicated. All interior plumbing work will be performed by others.
- Furnish and install all required flashing work required including that required for the existing rooftop equipment and penetrations not indicated on the drawings.
- Furnish and install walkway pads to access the existing equipment and roof protection pads for the existing wooden walkway which will be removed and reinstalled by others.
- All roof demolition work will be performed by others.
- All metal decking and wood blocking work will be performed by others.
- **NOTE:** Provide an Alternate price to substitute a FiberTite roof system in lieu of the specified EPDM system. Contact John Massengill at Seaman Corporation (Tele: 510-6868) for material pricing.

## 5. Acoustical Ceiling Systems

- Furnish and install a new acoustical ceiling system in the pool room. The tile shall be Armstrong Ceramiguard or approved equal.
- Furnish and install a new acoustical ceiling system in the upstairs areas adjoining the squash and handball courts.
- The working platforms described in Item 2 above will be provided by others to access the roof area over the pool room and pool bleachers.

## 6. Mechanical Systems

- Furnish and install new horizontal rain water piping from the new roof drains to the existing storm water leaders.
- Temporarily support any mechanical system component currently hung from the existing tectum decking. Reattach to the adjacent steel framing or the new metal deck.
- The working platforms described in Item 2 below will be provided by others to access the roof area over the pool room and pool bleachers.

## 7. Fire Protection Systems

- Design, fabricate, deliver, and fully install a new fire protection system for all spaces in the Malcolm Wing located directly below the roof structure (top level spaces).
- The working platforms described in Item 2 above will be provided by others to access the roof area over the pool room and pool bleachers.
- **NOTE:** Provide an Alternate price to provide fire protection coverage for the balance of the wing spaces (lower level spaces – i.e.: locker rooms, etc).

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THE PROJECT CONSTRUCTION SCHEDULE for this work is as follows:

- Subcontract awards will be made within 30 days of the bid date allowing the individual subcontractors to purchase the required building materials. Subcontractors will be paid for properly identified and insured stored materials. Actual field construction work will not begin until June 2006.
- Mobilize and start work on June 5, 2006.
- Work will be phased and will be performed in a sequence to keep the building as dry as possible. This sequence will be determined later.
- Complete all work by August 25, 2006.

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## GENERAL BIDDING REQUIREMENTS

All questions concerning this scope of work, the bid documents or the construction schedule must be submitted in writing at least 72 hours in advance of the established bid proposal due date and time. Please fax all written questions to Rick Bergeron at 773-5173. Responses will be issued in writing via addendum.

All bid proposals shall be in strict accordance with this RFP and all documents listed herein, including all addenda issued subsequently. All bid documents are complementary – should one document require a scope of work item not indicated on or within another document, it is understood that this work item will be required as if indicated by all documents, and shall not be considered a conflict within the documents. All exclusions, clarifications, and/or assumptions, relative to this scope of work, the bid documents or the construction schedule, must be clearly listed on the bidder's proposal. Bid proposals shall remain subject to acceptance for 30 days after the due date listed above. Bid proposals may be hand delivered to our main office or faxed to 773-5173.

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End of RFP

# All Purpose Building Permit Application

Property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 70 Forest Avenue, Portland, Maine

Total Square Footage of Proposed Structure <b>13,500 SQ/FT</b>	Square Footage of Lot
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Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <b>36          9          020</b>	Owner: <b>Cumberland County YMCA</b>	Telephone: <b>874-1111</b>
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Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <b>Wright-Ryan Construction 10 Danforth Street Portland, ME 04101 773-3625</b>	Cost Of Work: <b>\$400,000</b> Fee: <b>\$ 3,621</b>
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Current use: YMCA Program Space.

If the location is currently vacant, what was prior use: \_\_\_\_\_

Approximately how long has it been vacant: \_\_\_\_\_

Proposed use: Roof replacement on existing structure.

Project description: \_\_\_\_\_

Contractor's name, address & telephone: Wright-Ryan  
10 Danforth Street 773-3625  
Portland, ME

Who should we contact when the permit is ready: Randy Allred

Mailing address: Same

We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. **PHONE: 773-3625**

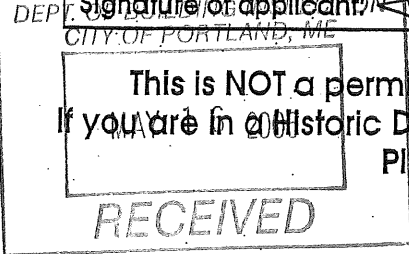
**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: <u>Randy Allred</u>	Date: <u>5-16-06</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.**

**If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall**



**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0743	Date Applied For: 05/16/2006	CBL: 036 G020001
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Location of Construction: 70 FOREST AVE	Owner Name: YOUNG MENS CHRISTIAN ASS	Owner Address: 70 FOREST AVE	Phone:
Business Name:	Contractor Name: WRIGHT RYAN CONSTRUCTIO	Contractor Address: 10 DANFORTH STREET Portland	Phone (207) 773-3625
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial roof replacement on existing structure	Proposed Project Description: Roof replacement on existing structure
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 05/19/2006

**Note:** **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) No expansion of the existing building is being approved with this permit.

**Dept:** Building      **Status:** Pending      **Reviewer:** Mike Nugent      **Approval Date:** 05/24/2006

**Note:** **Ok to Issue:**

- 1) Joseph Leasure P.E. to perform special inspections per Randy Alred /Wright-Ryan

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Cptn Greg Cass      **Approval Date:** 05/22/2006

**Note:** **Ok to Issue:**

- 1) Fire supression system shall comply with NFPA 13
- 2) Fire detection system shall comply with NFPA 72
- 3) All building construction shall comply with NFPA 101

X

FROM DESIGNER: L & L STRUCTURAL ENGINEERING SERVICES, INC.  
 DATE: 5/12/06  
 Job Name: YMCA, PORTLAND - MALCOLM POOL (ROOF REPLACEMENT)  
 Address of Construction: 70 FOREST AVENUE, PORTLAND ME.

2003 International Building Code

Construction project was designed according to the building code criteria listed below:

Building Code and Year 2003 IBC Use Group Classification(s) A3/A4

Type of Construction TYPE 2B UNPROTECTED/NON-COMBUSTIBLE

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IBC (NOT THIS PORTION)

Is the Structure mixed use? YES if yes, separated or non separated (see Section 302.3) EXISTING CONDITIONS (NOT MODIFIED)

Supervisory alarm system? YES Geotechnical/Soils report required? (See Section 1802.2) NO

STRUCTURAL DESIGN CALCULATIONS

YES Submitted for all structural members (108.1, 108.1.1)

DESIGN LOADS ON CONSTRUCTION DOCUMENTS (1803)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>NA</u>	

NA Live load reduction (1803.1.1, 1807.8, 1607.10)  
42 PSF Roof live loads (1803.1.2, 1607.11)

Root snow loads (7603.7.3, 1808)  
60 Ground snow load,  $P_g$  (1608.2)

42 If  $P_g > 10$  psf, flat-roof snow load,  $P_f$  (1808.3)

1.0 If  $P_f > 10$  psf, snow exposure factor,  $C_e$  (Table 1808.3.1)

1.0 If  $P_g > 10$  psf, snow load importance factor,  $I_s$  (Table 1604.5)

1.0 Roof thermal factor,  $C_t$  (Table 1608.3.2)

42 Sloped roof snowload,  $P_s$  (1808.4)

B Seismic design category (1816.8)

2D Basic seismic-force-resisting system (Table 1817.8.2)

5/4 1/2 Response modification coefficient,  $R$ , and deflection amplification factor,  $C_d$  (Table 1817.8.2)

1616.6 Analysis procedure (1818.6, 1817.5)

0.067 W Design base shear (1617.4, 1817.5.1)

Wind loads (1809.1.4, 1609)

(609.1.1) Design option utilized (1809.1.7, 1809.6)

100 MPH Basic wind speed (1809.3)

1.0 Building category and wind importance factor,  $I_w$  (Table 1804.6, 1809.5)

B Wind exposure category (1809.4)

+/- 0.18 Internal pressure coefficient (ASCE 7)

Component and cladding pressures (1809.1.4, 1809.6.2.2)

Main force wind pressures (7603.1.7, 1809.6.2.1)

Flood loads (1808.1.5, 1612)

NA Floodhazard area (1612.3)

35 Elevation of structure (ROOF HEIGHT)

Other loads

NA Concentrated loads (1607.4)

NA Partition loads (1607.5)

NA Impact loads (1607.8)

NA Misc. loads (Table 1807.8, 1807.8.1, 1607.7, 1607.12, 1807.13, 1616, 1811, 2404)

Earthquake design data (1808.1.5, 1614-1628)

1615 Design option utilized (1614.1)

II Seismic use group ("Category") (Table 1604.5, 1616.2)

S<sub>DS</sub> = 0.28  
S<sub>D1</sub> = 0.11 Spectral response coefficients,  $S_{DS}$  &  $S_{D1}$  (1616.1)

C Site class (1818.1.5)

ZONE 4  
+18.1/-19.6  
ZONE 5  
+18.1/-23.6

x



CITY OF PORTLAND  
BUILDING CODE CERTIFICATE  
389 Congress St., Room 315  
Portland, Maine 04101

ACCESSIBILITY CERTIFICATE

(NOT APPLICABLE)  
"ROOF REPLACEMENT"

Designer: \_\_\_\_\_

Address of Project: \_\_\_\_\_

Nature of Project: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

Signature: \_\_\_\_\_

Title: \_\_\_\_\_

Firm: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

Phone: \_\_\_\_\_

(SEAL)

**NOTE:** If this project is a new Multi Family Structure of 4 units or more, this project must also be designed in compliance with the Federal Fair Housing Act. On a separate submission, please explain in narrative form the method of compliance.



CITY OF PORTLAND  
BUILDING CODE CERTIFICATE  
389 Congress St., Room 315  
Portland, Maine 04101

TO: Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Service

FROM: L & L STRUCTURAL ENGINEERING SERVICES, INC.  
JOSEPH H. LEASURE

RE: Certificate of Design

DATE: 5/15/06

These plans and / or specifications covering construction work on:

YMCA MALCOLM POOL - ROOF REPLACEMENT.  
70 FOREST AVENUE, PORTLAND, MAINE

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the 2003 International Building Code and local amendments.

(SEAL)

Signature: [Handwritten Signature]

Title: PRINCIPAL

Firm: L & L STRUCTURAL ENGINEERING

Address: 60 STREET, SOUTH PORTLAND, ME  
04106

As per Maine State Law:

\$50,000.00 or more in new construction, repair expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.



# PORTLAND MAINE

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Lee Urban - Director of Planning and Development  
Jeanie Bourke - Inspection Division Services Director

# COPY

August 13, 2007

YOUNG MENS CHRISTIAN ASSOC OF  
70 FOREST AVE  
PORTLAND, ME 04101

**CBL: 036 G020001**  
**Located at 70 FOREST AVE**

**Certified Mail 7007071000024976**

**Dear Suzanne Wantland, Executive Director:**

City Inspectors met with you and Mark Anderson on the 8<sup>th</sup> day of August, 2007 to discuss a proactive resolution to the bed bug infestation at the above-referenced property. Previous inspections/ complaints show that the structures fails to comply with Chapter 6.Article V. of the Code of Ordinances of the City of Portland, The Housing Code.

Attached is a list of the violations.

As your records indicated all previous bed-bug reports were investigated and or treated by a licensed pest control operator. However, as public health officials, the increase of infestation complaints within the last month indicates that the current pest-control management process needs modifications. As discussed during our meeting, the following corrective-action plan must occur by the 24<sup>th</sup> day of August, 2007:

- Remove all eighty six (86) wooden bed frames from each dwelling unit
- Provide protective covers for each bed mattress
- Pre-screen tenants to prevent the spread of insect infestation
- Maintain dryer temperature to the recommended level
- Seal all building through penetrations
- Continue bed-bug treatment/ screening by your licensed pest control operator

This is a notice of violation pursuant to § 6-118 of the Code. All referenced violations shall be corrected within fourteen (14) days of the date of this notice. A re-inspection of the premises will occur on 28<sup>th</sup> day of August, 2007 at which time compliance will be required. Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in § 1-15 of the Code.

This constitutes an appealable decision pursuant to § 6-127 of the Code. Please feel free to contact me at 874.8702 if you wish to discuss the matter or have any questions.

Please be advised that the Portland City Council has amended the Building regulations to include a \$75.00 re-inspection fee. This violation will automatically cause a re-inspection at no charge. If there are any subsequent inspections, however, the \$75.00 fee will be assessed for each inspection.

Sincerely,

Jon Rioux,  
Code Enforcement Officer



**CITY OF PORTLAND**  
**DEPARTMENT OF PLANNING & URBAN DEVELOPMENT**  
 389 Congress Street  
 Portland, Maine 04101

**Inspection Violations**

<b>Owner/Manager</b> YOUNG MENS CHRISTIAN ASSOC OF		<b>Inspector</b> Jon Rioux	<b>Inspection Date</b> 8/10/2007
<b>Location</b> 70 FOREST AVE	<b>CBL</b> 036 G020001	<b>Status</b> Rescheduled	<b>Inspection Type</b> Complaint-Social Services/Gener

<b>Code</b>	<b>Int/Ext</b>	<b>Floor</b>	<b>Unit No.</b>	<b>Area</b>	<b>Compliance Date</b>
1) 6-109/5.6	Interior			Various locations	
<b>Violation:</b>	Rodent and vermin control.				
<b>Notes:</b>	4. Every owner or operator of a rooming house shall be responsible for the extermination of any insects, rodents, or other pests in the dwelling or upon the dwelling premises.				

**Comments:**

CITY OF PORTLAND, MAINE

FIRE DEPARTMENT

036-C-020

Y.M.C.A.

70 Forest Avenue

Portland, Maine 04104

RE: Fire 1/6/99 at 70 Forest Avenue

Sirs

On 1/6/99, a fire occurred in the building listed above, of which you are reported to be the owner( <sup>xx</sup>).

If permanent repair work is required for this building, you must obtain a permit from the Building and Inspection Division in City Hall before starting such work.

Very truly yours,

Joseph E. Thomas, Jr.

Chief  
Portland Fire Department

cc: Building and Inspection Division  
City Assessor's Office

7005 1160 0000 4787 3478

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Sent To Young Men's Christian  
 Street, Apt. No.,  
 or PO Box No. 20 Forest Ave  
 City, State, ZIP+4 Port ME 04101

PS Form 3800, June 2002 See Reverse for Instructions

**SECTION ON DELIVERY**

*Kuyler*  Agent  
 Addressee  
 Printed Name) C. Date of Delivery  
 8/14/07

Address different from item 1?  Yes  
 Delivery address below:  No

Mail  Express Mail  
 Return Receipt for Merchandise  
 Mail  C.O.D.  
 Delivery? (Extra Fee)  Yes

787 3478