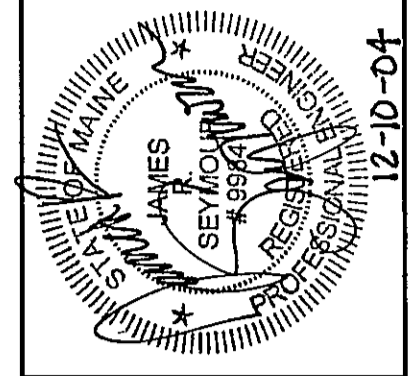
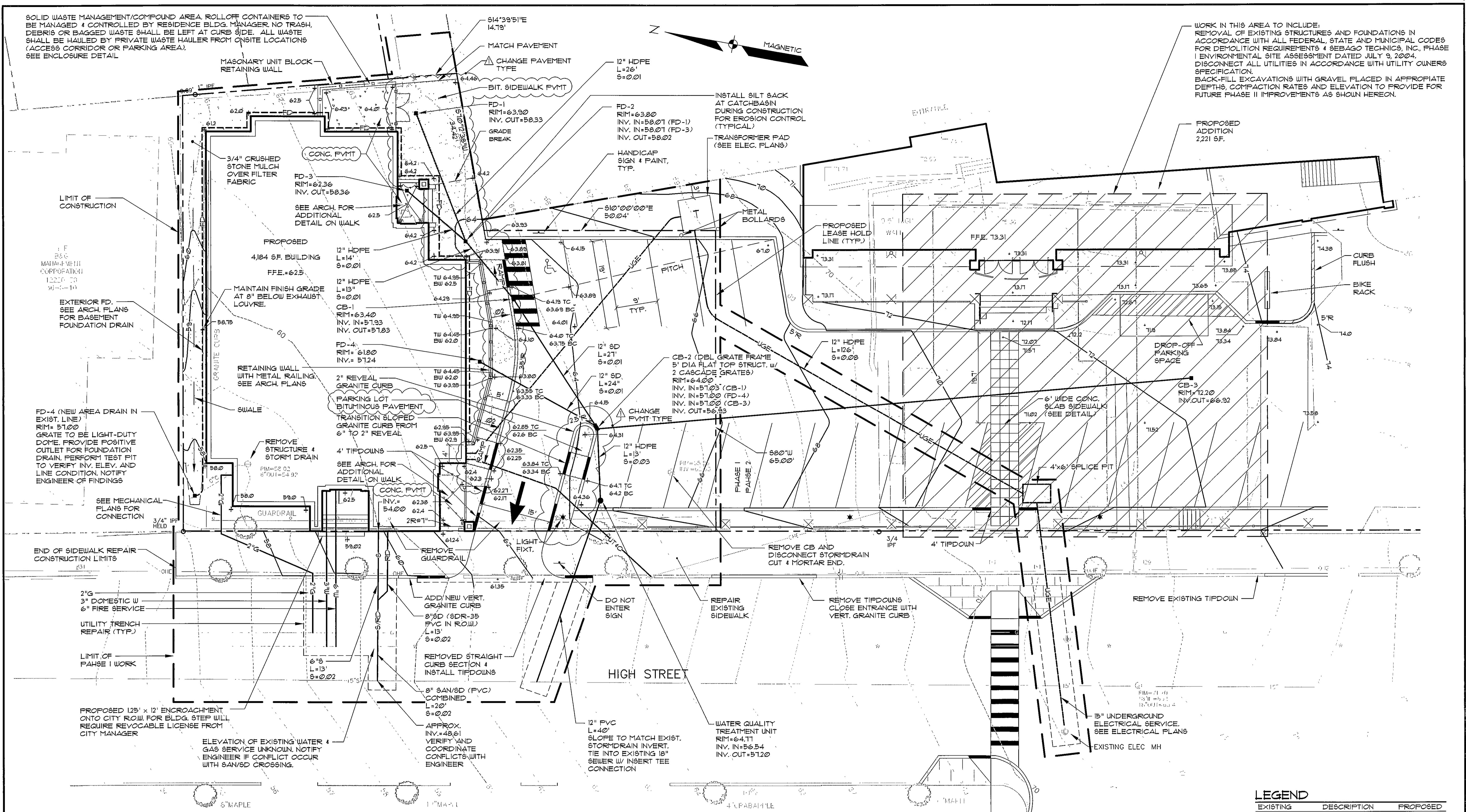


SOLID WASTE MANAGEMENT/COMPOUND AREA. ROLLOFF CONTAINERS TO BE MANAGED & CONTROLLED BY RESIDENCE BLDG. MANAGER. NO TRASH, DEBRIS OR BAGGED WASTE SHALL BE LEFT AT CURB SIDE. ALL WASTE SHALL BE HAULED BY PRIVATE WASTE HAULER FROM ON-SITE LOCATIONS (ACCESS CORRIDOR OR PARKING AREA). SEE ENCLOSURE DETAIL.

WORK IN THIS AREA TO INCLUDE:
 REMOVAL OF EXISTING STRUCTURES AND FOUNDATIONS IN ACCORDANCE WITH ALL FEDERAL, STATE AND MUNICIPAL CODES FOR DEMOLITION REQUIREMENTS & SEBAGO TECHNICS, INC. PHASE I ENVIRONMENTAL SITE ASSESSMENT DATED JULY 9, 2004. DISCONNECT ALL UTILITIES IN ACCORDANCE WITH UTILITY OWNERS SPECIFICATION.
 BACK-FILL EXCAVATIONS WITH GRAVEL PLACED IN APPROPRIATE DEPTHS, COMPACTION RATES AND ELEVATION TO PROVIDE FOR FUTURE PHASE II IMPROVEMENTS AS SHOWN HEREON.



SGD	12-10-04	VALUE ENGINEERING	ISSUED FOR FINAL PRICING
BY:	DATE:	STATUS:	
THIS PLAN SHALL NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.			

Sebago Technics
 Engineering Expertise You Can Build On
 One Onondaga Street
 Portland, ME 04101
 Tel: (207) 856-0277

PROJECT NO. FIELD BOOK DESIGN CHKD DRAWN
 98661 SGD BRF SAB

SITE, GRADING, & UTILITIES PLAN

OF:
YMCA APARTMENTS
 231 HIGH STREET
 PORTLAND, MAINE

FOR:
CCYSRO, L.P. (C/O CUMBERLAND COUNTY YMCA)
 70 FOREST AVENUE
 PORTLAND, ME 04101

DATE: 9-16-04 SCALE: 1"=10'

SHEET 1 OF 4

- NOTES:**
- OWNERS OF RECORDS AND TAX LOTS:

PARCEL ID	OWNER - BOOK/PAGE
36-6-20	YMCA - 1111/42 ± 1153/136 ± 1212/15 ± 2811/10 ± 2848/23 ± 2844/324 ± 2131/458 ± 2511/398 ± 2353/261 AND 265
36-G-22	YMCA - 1150/6/288
36-G-24,25	YMCA - 9207/106
36-G-21	YMCA - 1410/51
 - BEARINGS ARE MAGNETIC 1993.
 - ELEVATIONS ARE BASED ON CITY DATUM.
 - THE TOTAL AREA OF THE PROPERTY IS APPROXIMATELY 1.41 ACRES.
 - THIS PROPERTY IS LOCATED IN AN EXISTING R-6 ZONE. THE PROJECT HAS BEEN REVIEWED FOR CONTRACT ZONING.
 - PARKING REQUIREMENTS FOR THE PROPOSED RESIDENTIAL USE SHALL BE BASED ON THE SEPARATELY ATTACHED YMCA PARKING MANAGEMENT PLAN. FINAL FINDINGS AND PLANNING BOARD REQUIREMENTS WILL BE SHOWN ON THE FINAL SUBDIVISION PLAN.

- NOTES (CONT.):**
- UTILITIES SHOWN ARE BASED ONLY ON PLANS AND STRUCTURES FOUND. NO INVESTIGATION INTO SERVICE LINES HAS BEEN MADE. A PORTLAND WATER DISTRICT PLAN SHOWS A SERVICE FOR THE YMCA COMING FROM FOREST AVE.
 - SEE DEEDS IN 1212/15 AND 1212/21 WHICH APPEAR TO HAVE CREATED TWO 5 FOOT STRIPS OF LAND. ONE STRIP OWNED BY YMCA IS ADJACENT TO THE HURLEY BUILDING. THE OTHER STRIP OWNED BY HURLEY IS ADJACENT TO THE YMCA BUILDING. HOWEVER THE STATED INTENT OF THE TWO DEEDS IS "TO MAKE A PASSAGEWAY TO BE USED IN COMMON".
 - THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATIONS TO OR DEVIATIONS FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS SIZE, LOCATION AND SURFACING OF PARKING AREAS, AND LOCATION AND SIZE OF BUILDINGS.
 - CONTRACTOR TO INCLUDE PRICING FOR BOTH ON-SITE AND OFF-SITE IMPROVEMENTS. CONTRACTOR MAY BE REQUIRED TO SEGREGATE ON-SITE AND OFF-SITE COST. OFF-SITE COST WILL BE ALL WORK OUTSIDE OF THE LEASE LINE AS SHOWN HEREON.

- PLAN REFERENCES:**
- SURVEY BY E.C. JORDAN SURVEYORS 1903,1923,1925, 1938, AND 1945.
 - PLAN FOR R. HIGHT RINES AND YMCA BY PERCY H. RICHARDSON, RECORDED WITH DEED BOOK 1212, PAGE 215.
 - PLAN REFERENCE OWEN HASKELL
- CONTACT ZONING NOTE:**
- PRIOR TO FINAL REVIEW OF THE SUBDIVISION PLAN BY THE PLANNING BOARD, THE PLAN WILL BE MODIFIED TO REFLECT CONTRACT ZONING PROVISIONS, DIMENSIONAL REQUIREMENTS, NOTE REVISIONS, OR ADDITIONAL INFORMATION AS APPROVED BY THE PORTLAND AND CITY COUNCIL AND PLANNING BOARD.

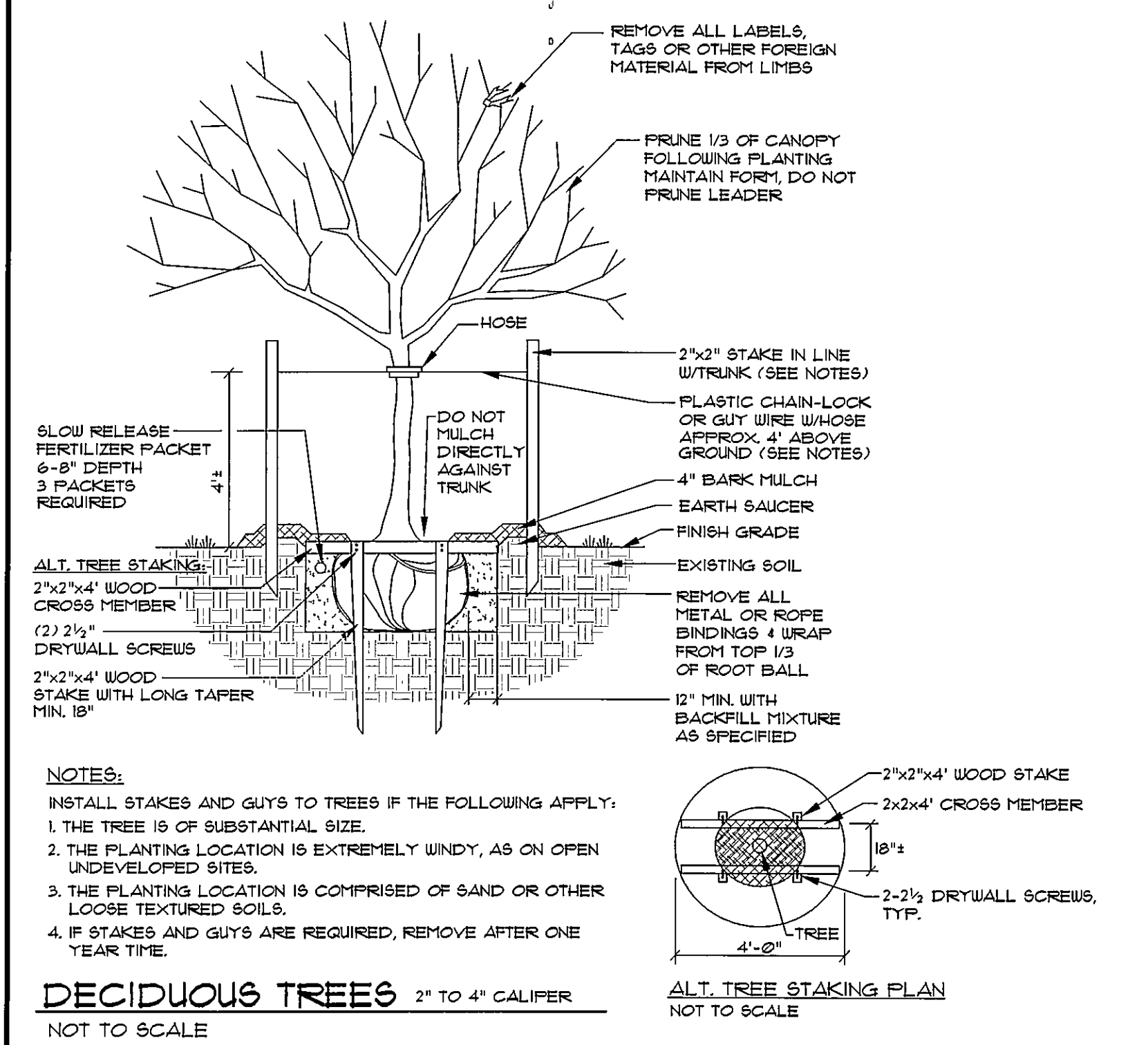
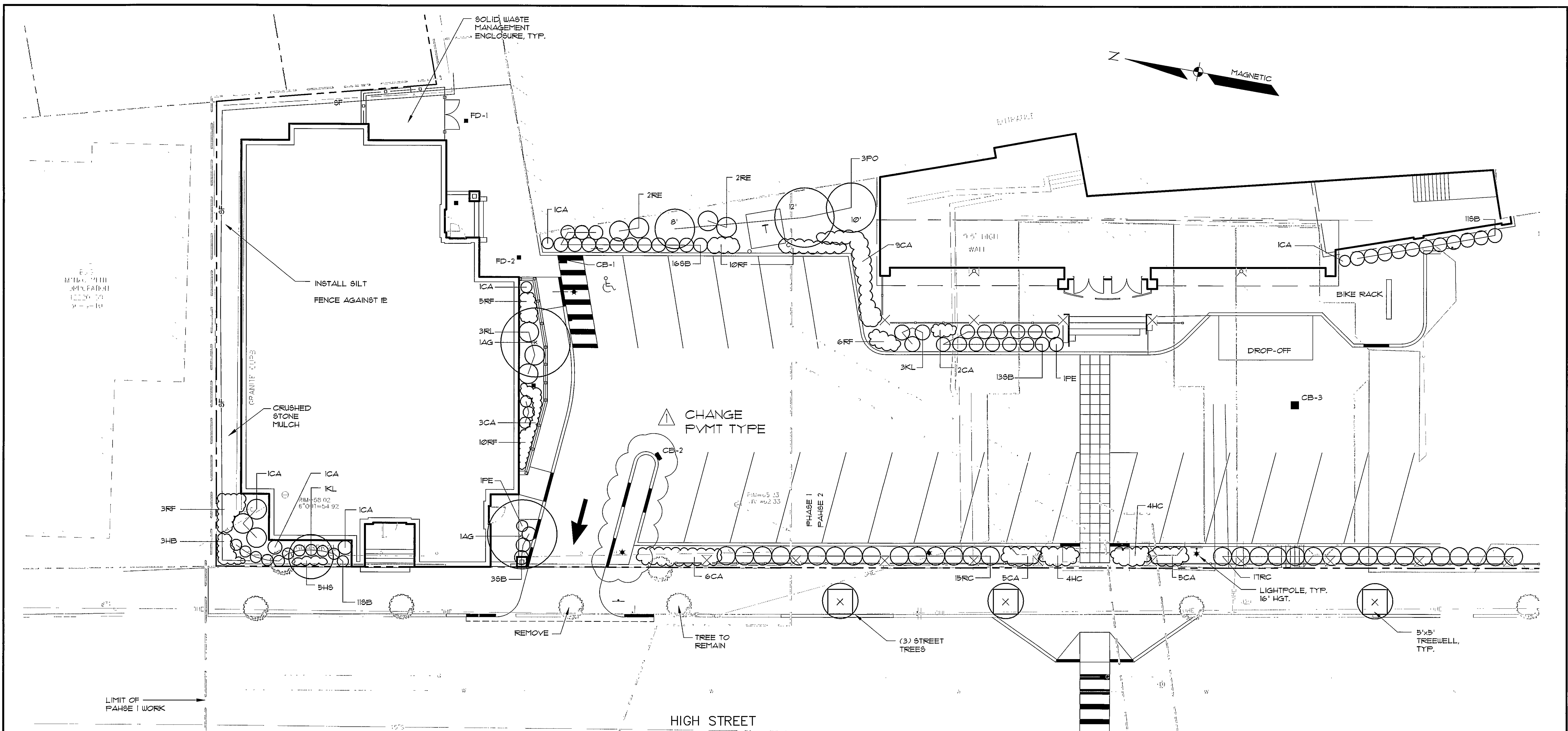
UTILITIES NOTE:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPREHEND ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
□	MONUMENT	□
○	IRON PIPE/ROD	○
---	BUILDING	---
---	CURBLINE	---
---	CONTOURS	---
---	GAS	---
---	WATER	---
---	SEWER	---
---	STORM DRAIN	---
---	OVERHEAD ELEC. & TEL.	---
---	GATE VALVE	---
---	UTILITY POLE	---
---	HYDRANT	---
---	CATCH BASIN	---
---	MANHOLE	---
---	BARB WIRE FENCE	---
---	DECIDUOUS TREE	---
---	GUARDRAIL	---
---	SPOT GRADE	---

ISSUED FOR PERMITTING 12-10-04



LANDSCAPE NOTES

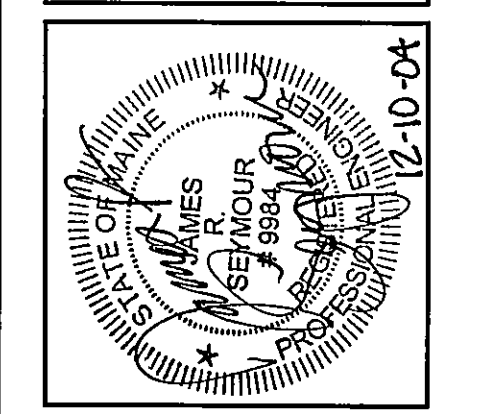
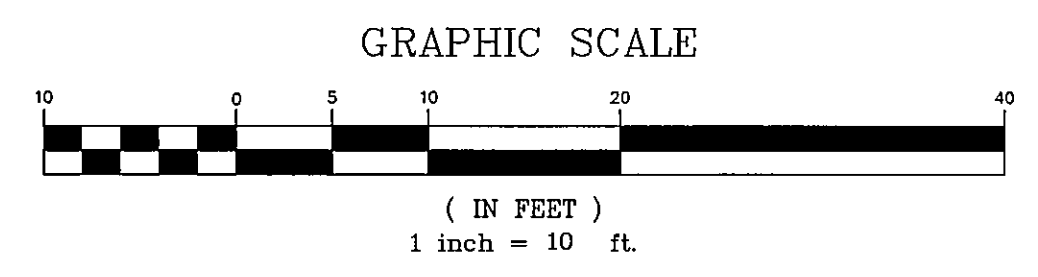
- PLANT QUANTITIES SHOWN ON PLANT LISTS ARE FOR CONVENIENCE TO THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL INSTALLATION AS SHOWN ON PLANS.
- SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF "U.S.A. STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERMEN, INC.
- ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING, STAKING OR GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE BY THE OWNER.
- PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BY THE CONTRACTOR AND A PERIOD OF TWO YEARS THEREAFTER BY THE OWNER FROM DATE OF INSTALLATION. DURING THE ONE YEAR GUARANTEE PERIOD, DEAD PLANT MATERIAL SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE ONE YEAR PERIOD, THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
- ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- EXISTING TREES TO BE PRESERVED WILL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF THE UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVING, WALKS, CURBING, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER.
- ALL SHRUB BEDS SHALL BE MULCHED WITH 3" CLEAN SHREDDED DARK BROWN BARK MULCH.
- THE CONTRACTOR SHALL PROVIDE 4" LOAM FOR ALL AREAS TO BE SODDED OR SEEDDED. PLANTING AREAS SHALL RECEIVE 12" ROLLED THICKNESS OF LOAM. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
- ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
- WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR PERENNIAL AND ANNUAL FLOWER BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL FERTILITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.

PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SIZE
AA	ACER X FREEMANI 'ARMSTRONG'	ARMSTRONG RED MAPLE	2 1/2" CAL.
AG	AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	8-10" HGT. (LIMB UP)
AU	ARCTOSTAPHYLOS UVA-URSI	BEARBERRY	NO. 1 CONT.
CA	CALANAGROSIS X ACUTIFOLLA 'KARL FOERSTER'	KARI FOERSTERS FEATHER REED GRASS	NO. 1 CONT.
CB	HOSTA TARDIANA 'HADSPEEN BLUE'	HADSPEEN BLUE HOSTA	NO. 1 CONT.
HB	HOSTA 'SUN-POWER'	SUNPOWER HOSTA	NO. 1 CONT.
KL	KALMIA LATIFOLIA	MOUNTAIN LAUREL	24"-30"
RC	RHODODENDRON 'ALGO'	ALGO RHODODENDRON	24"-30"
RO	ROSA 'CAREFREE WONDER'	CAREFREE WONDER ROSE	NO. 2 CONT.
RE	RHODODENDRON 'ENGLISH ROSEUM'	ENGLISH ROSEUM RHODODENDRON	24"-30"
RL	RHODODENDRON LAETEVIRENS	WILSON RHODODENDRON	24"-30"
SB	SPIREA X BIMALDA 'GOLD FLAME'	GOLD FLAME SPIREA	15"-18"
TO	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	6'-11' HGT.
FO	PICEA OMORICA	SERBIAN SPRUCE	(SEE PLAN FOR HGT.)
FE	FENISSETUM ALOPECUROIDES 'HAMELN'	DWARF FOUNTAIN GRASS	NO. 1 CONT.
ST	SEDUM TELEPHIUM 'PURPLE EMPEROR'	PURPLE EMPEROR STONE CROP	NO. 1 CONT.
RF	RUDBECKIA FULGIDA 'GOLDBURM'	GOLDBURM BLACK-EYED SUSAN	NO. 1 CONT.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
○	MONUMENT	●
—○—	IRON PIPE/ROD	—●—
—	BUILDING	—
—	CURBLINE	—
—	CONTOURS	—124
—	GAS	—6" G
—	WATER	—8" W
—	SEWER	—8" S
—	STORM DRAIN	—12" SD
—	OVERHEAD ELEC. 4 TEL.	—
—	GATE VALVE UTILITY POLE	—
—	HYDRANT	—
—	CATCH BASIN	—
—	MANHOLE	—
—	BARB WIRE FENCE	—
—	DECIDUOUS TREE	—
—	GUARDRAIL	—
—	SPOT GRADE	30x20



REV.	BY	DATE	STATUS	ISSUED FOR FINAL PRICING
A	SGD	12-10-04	VALUE ENGINEERING	
	SGD	10-1-04		

THIS PLAN SHALL NOT BE MODIFIED WITHOUT PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

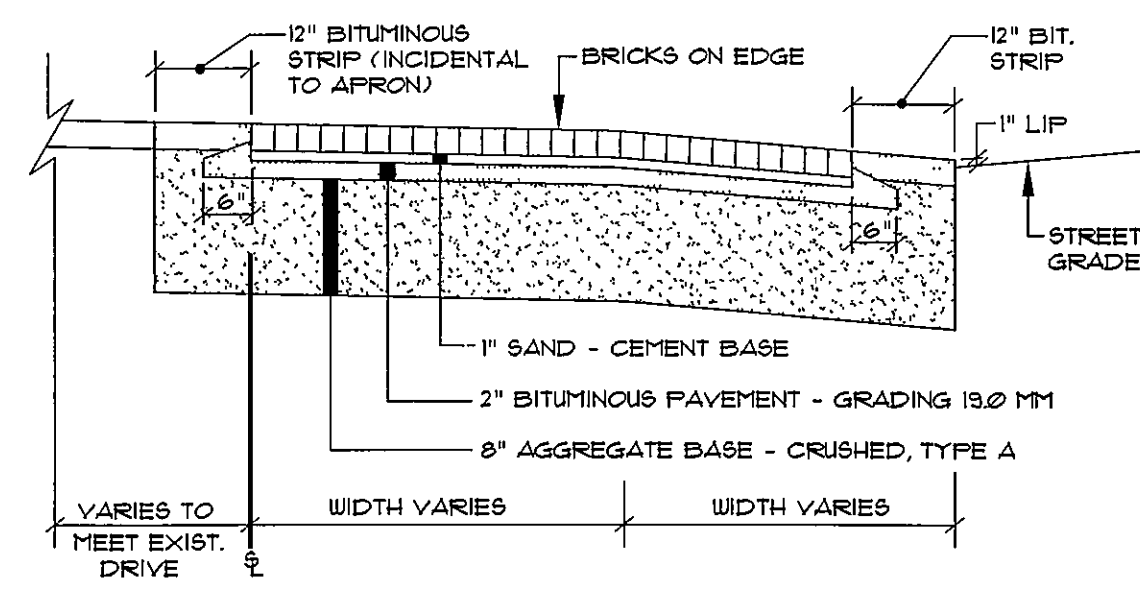
Sebago Technics
 Engineering Expertise You Can Build On
 One Chabot Street
 Portland, ME 04103
 Tel: (207) 856-0277

PROJECT NO: FIELD BOOK DESIGN CHDK DRAWN SCD
 98661

LANDSCAPE PLAN
 OF:
YMCA APARTMENTS
 231 HIGH STREET
 PORTLAND, MAINE
 FOR:
CCYSRO, L.P. (C/O CUMBERLAND COUNTY YMCA)
 70 FOREST AVENUE
 PORTLAND, ME 04101

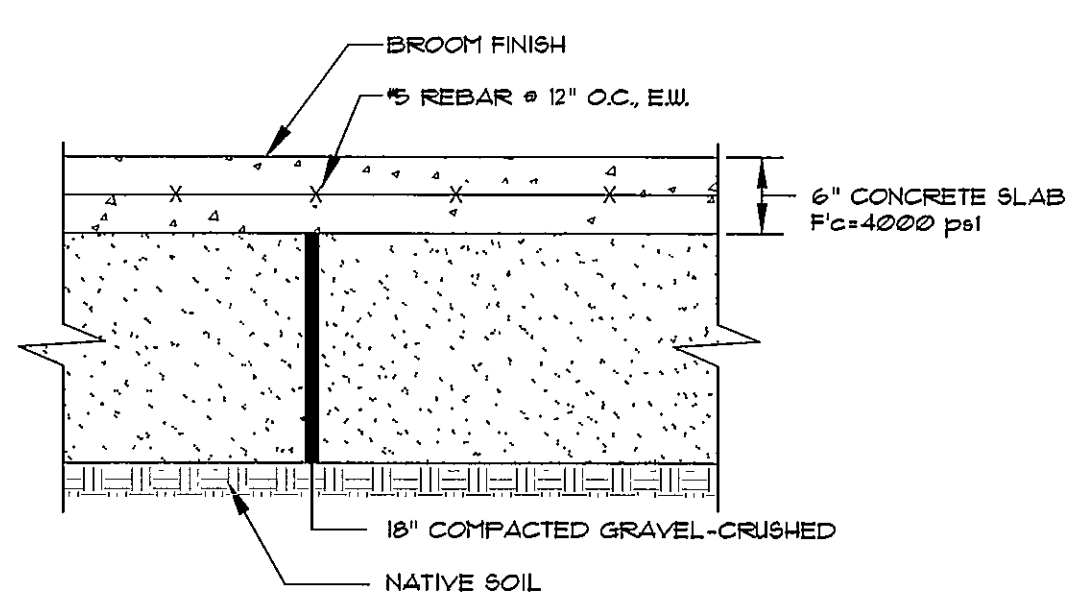
DATE: 9-16-04 SCALE: 1"=10'
 SHEET 2 OF 4

ISSUED FOR PERMITTING 12-10-04



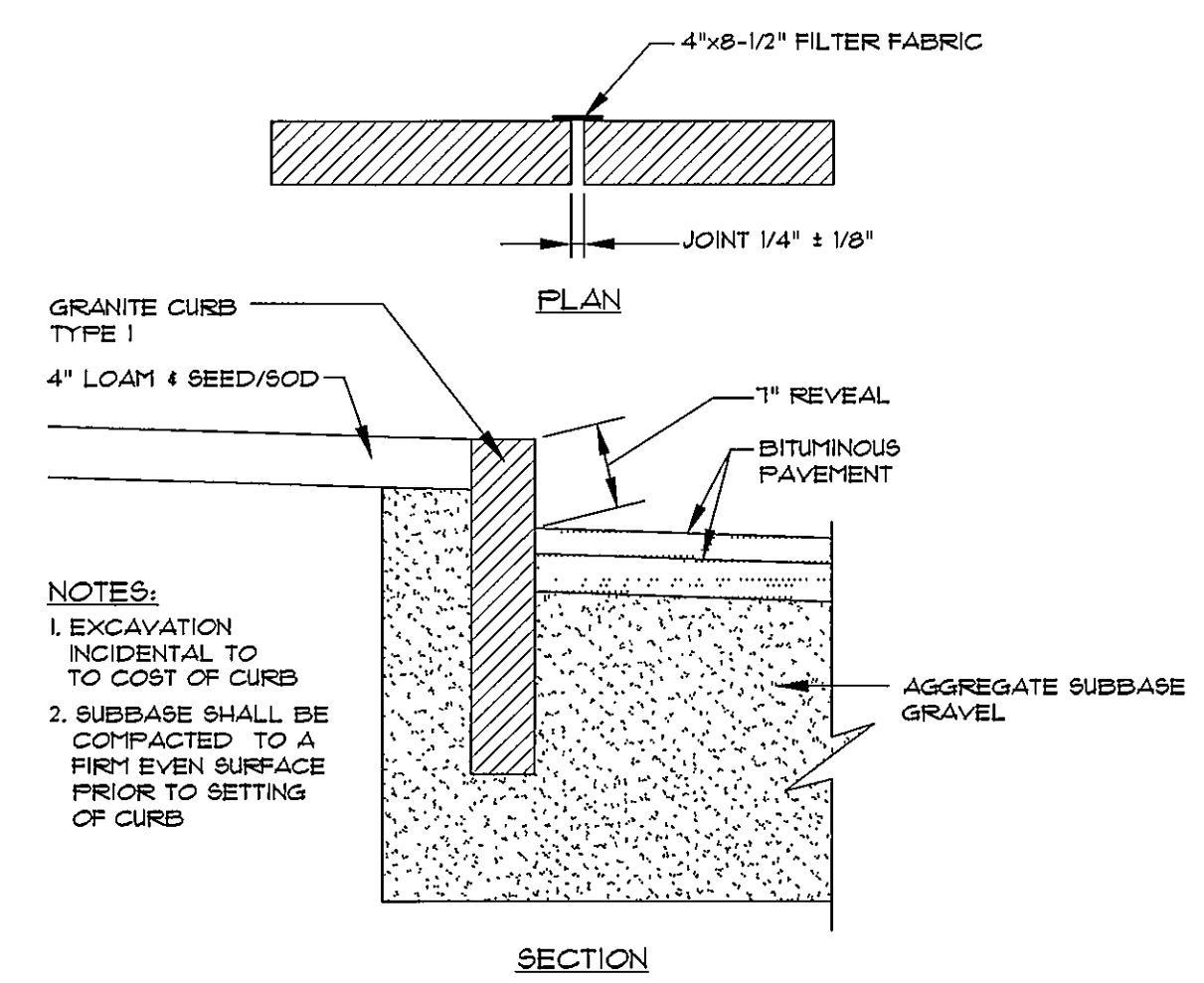
NOTE: BORDER COURSE OF BRICK SHALL BE MORTARED TO CONCRETE BASE.

BRICK WITH BITUMINOUS BASE DRIVEWAY CONSTRUCTION
NOT TO SCALE



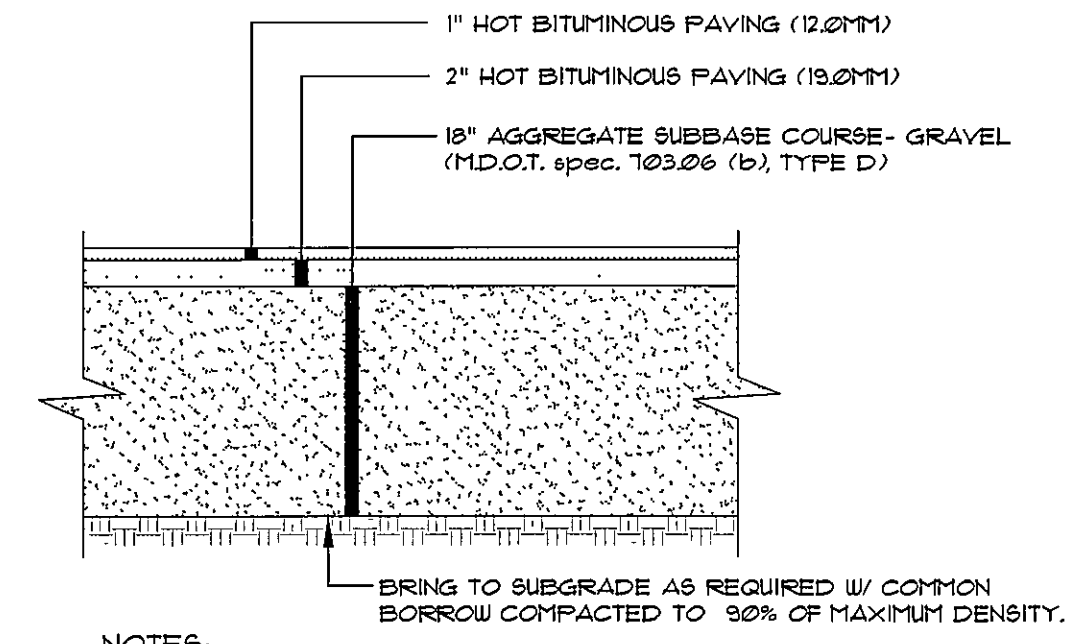
NOTE:
1. PROVIDE CONTRACTION CONTROL JOINTS EVERY 6' IN EACH DIRECTION

TYPICAL CONCRETE SLAB
NOT TO SCALE



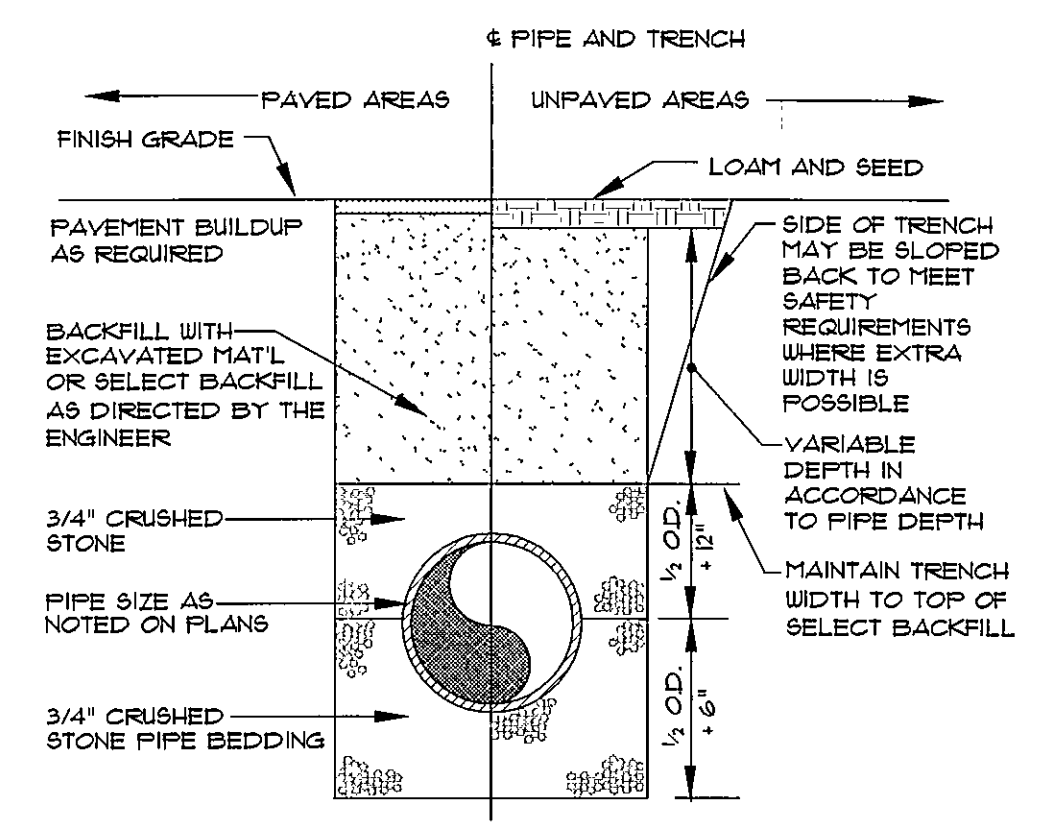
NOTES:
1. EXCAVATION INCIDENTAL TO COST OF CURB
2. SUBBASE SHALL BE COMPACTED TO A FIRM EVEN SURFACE PRIOR TO SETTING OF CURB

VERTICAL GRANITE CURB
NOT TO SCALE

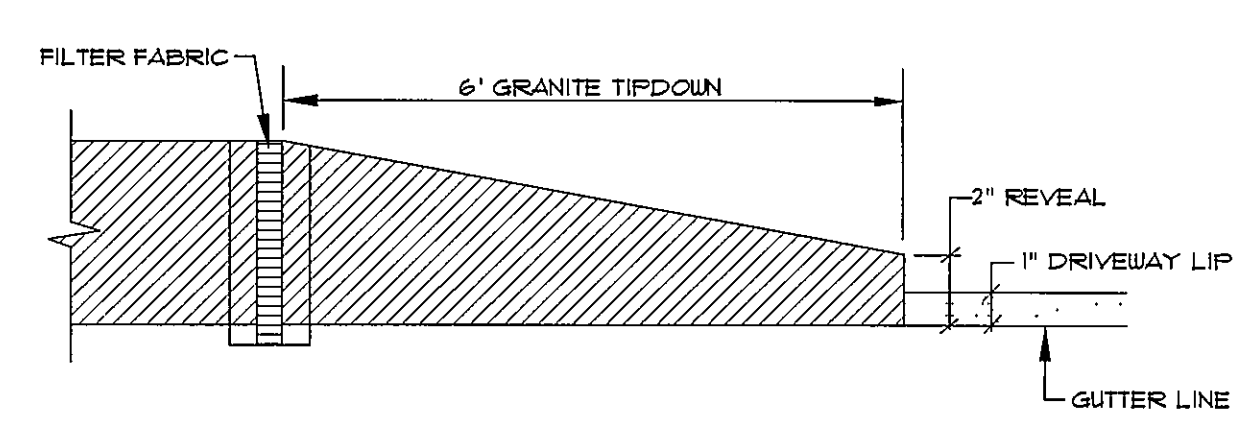


NOTES:
1. COMPACT GRAVEL SUBBASE BASE COURSE TO 92% OF MAXIMUM DENSITY USING HEAVY ROLLER COMPACTION.
2. CONTRACTOR SHALL SET GRADE STAKES MARKING SUBBASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.

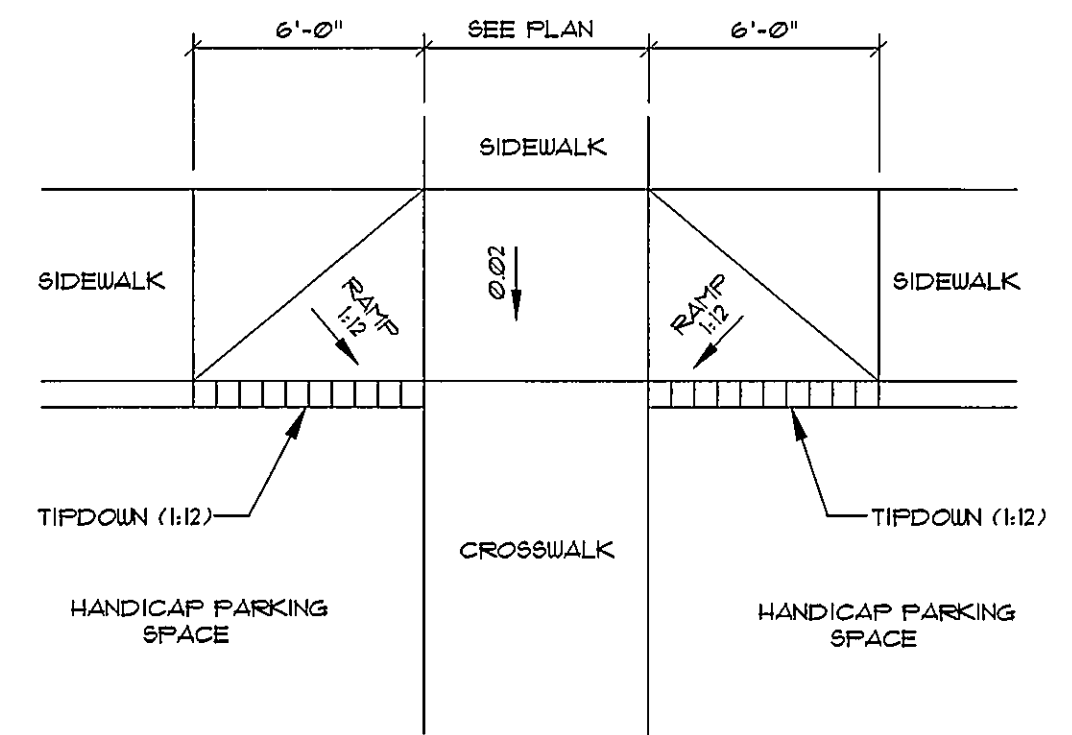
TYP. PAVED PARKING LOT SECTION
NOT TO SCALE



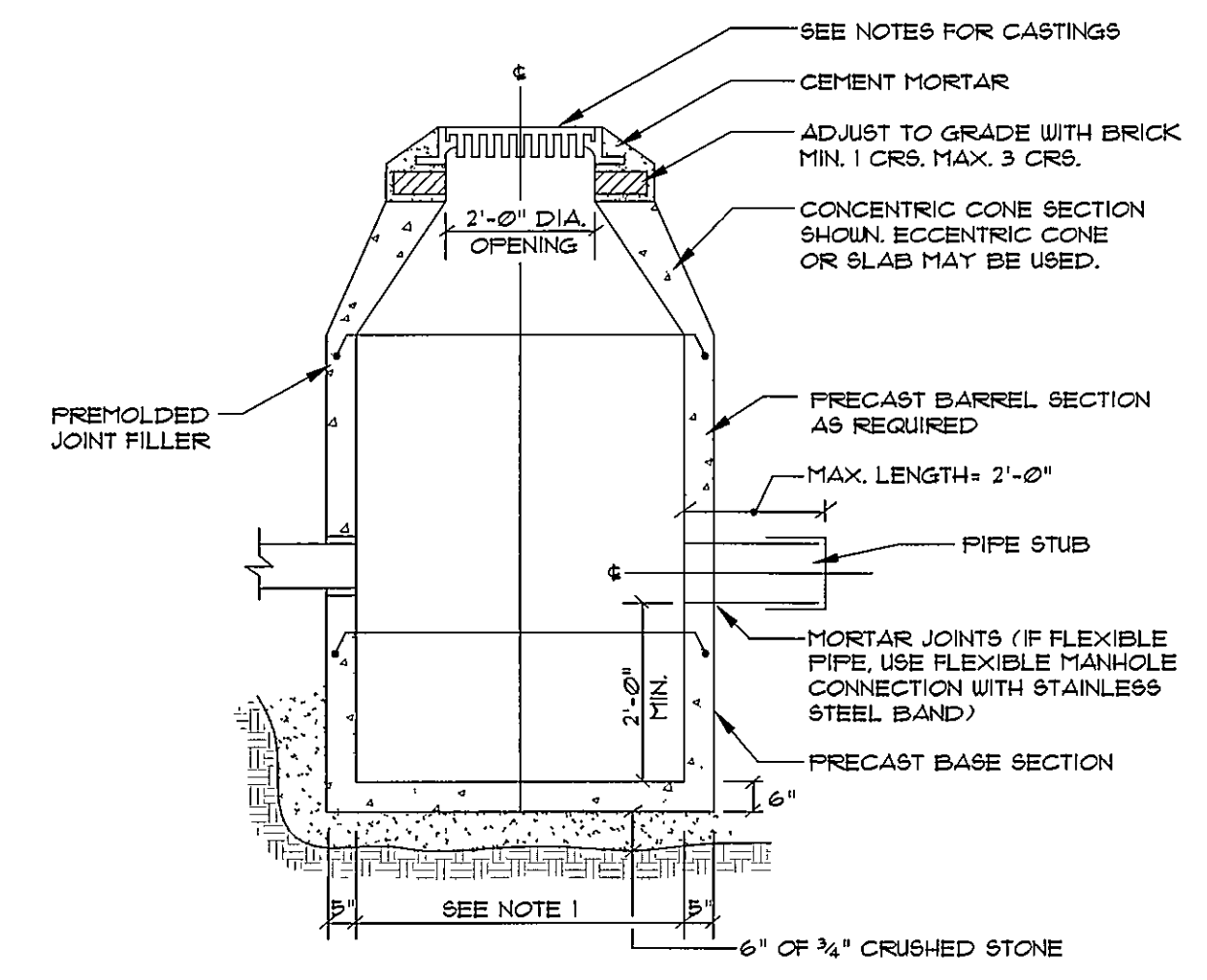
TYPICAL TRENCH SECTION
NOT TO SCALE



TYPICAL TIPDOWN CURB INSTALLATION
NOT TO SCALE

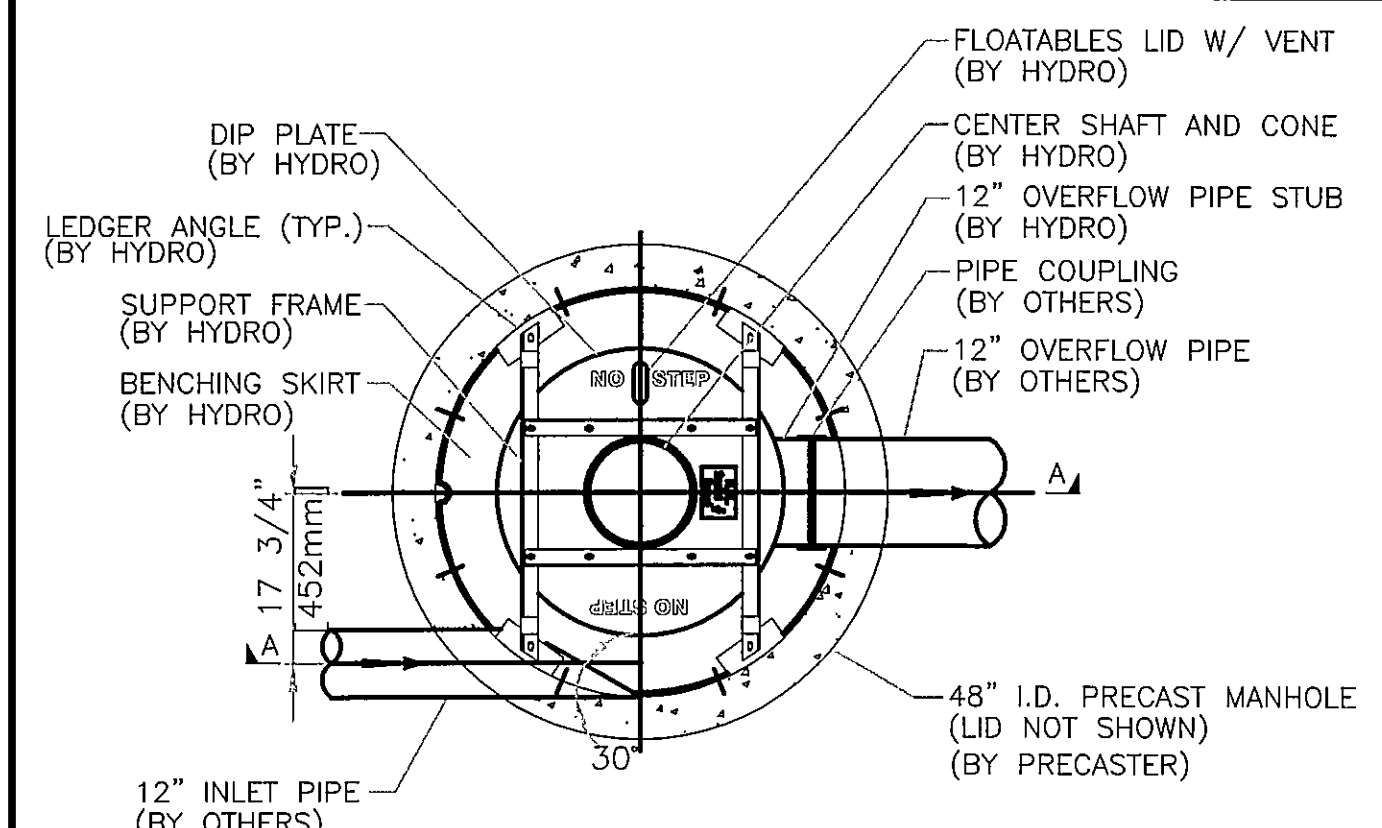


HANDICAP RAMP
NOT TO SCALE



NOTES:
1. 4\"/>

TYPICAL CATCH BASIN
NOT TO SCALE

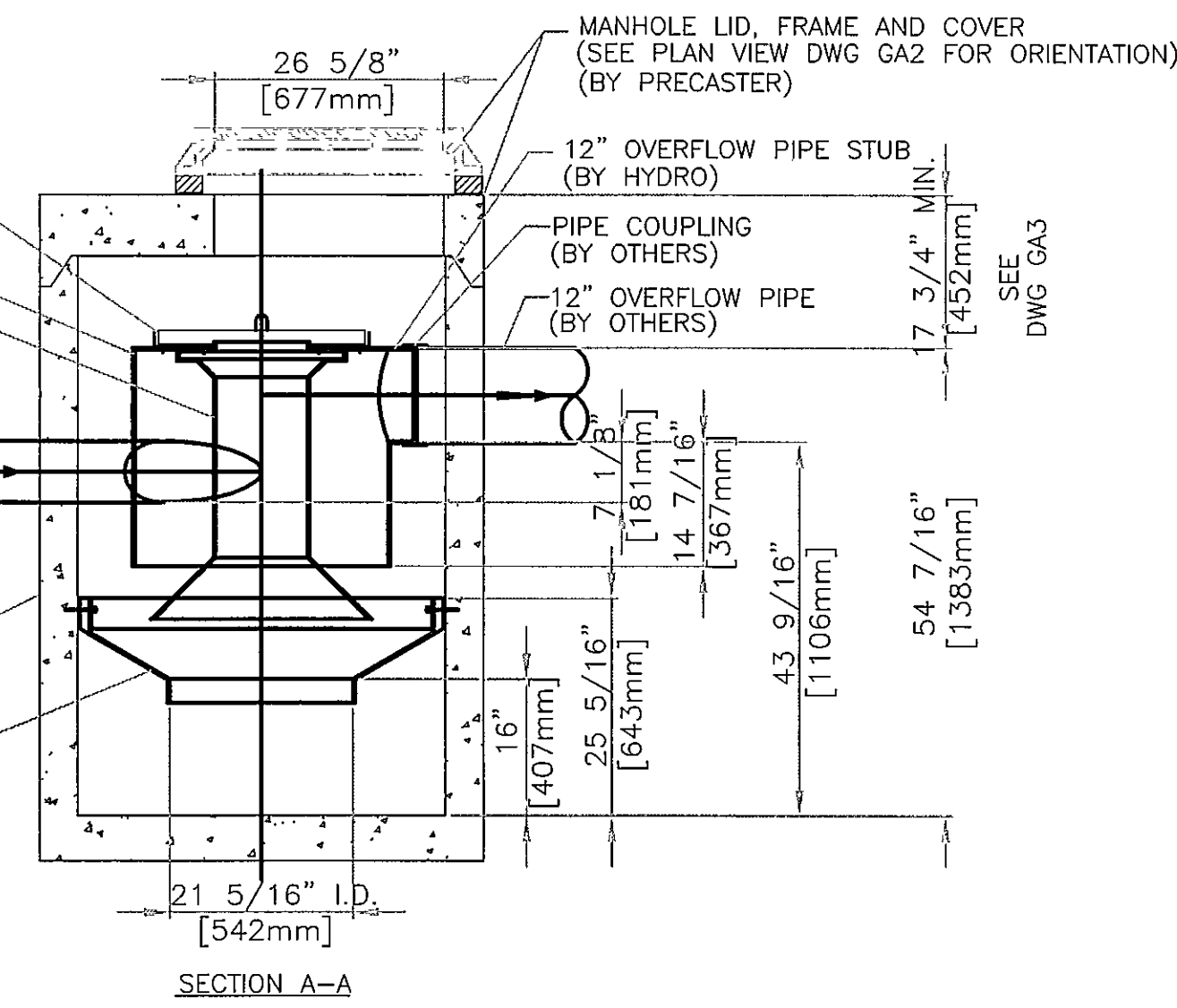


EQUIPMENT PERFORMANCE
The stormwater treatment unit shall adhere to the hydraulic parameters given in the chart below and provide the removal efficiencies and storage capacities as follows:

- Performance objectives: To remove at least 80% of all particles with specific gravity of 2.65 at the frequent storm flow listed below, based on a particle size gradation similar to typical D.O.T. road sand having greater than 20% of all particles finer than 300 microns. Additionally, the treatment chamber must be capable of removing greater than 50% of all particles in the range of 300-425 microns at the peak treatment flow rate listed below.
- Frequent storm flow: .75 cfs
- Peak treatment flow: 3.0 cfs
- Sediment Storage capacity: .70 Cu. yd.
- Oil storage capacity: 70 Gal.
- Sediment shall be stored in a zone that is isolated from the main flow path and protected from reentrainment by a benching skirt.

HYDRAULIC PARAMETERS	
DEPTH OF FLOW IN OVERFLOW PIPE AT .75 cfs	3.5 INCHES
DEPTH OF FLOW IN OVERFLOW PIPE AT 3.0 cfs	12 INCHES
ESTIMATED HEADLOSS* AT .75 cfs	3 INCHES
ESTIMATED HEADLOSS* AT 3.0 cfs	23 INCHES

*HEADLOSS IS DEFINED AS THE DIFFERENCE BETWEEN STATIC WATER LEVEL AT THE INLET OF THE DOWNSTREAM DEFENDER TO THE FREE WATER SURFACE IN THE OVERFLOW PIPE, ASSUMING FREE DISCHARGE.



NOTES:
1. THIS DRAWING IS A LEDGER SIZE ORIGINAL.
2. DIMENSIONS ARE GENERAL AND INTENDED FOR GUIDANCE ONLY.
3. THE ORIENTATION OF INLET PIPE AND OVERFLOW PIPE CAN BE ADJUSTED TO SITE REQUIREMENTS. SEE SITE PLAN FOR ORIENTATION.
4. INLET PIPE MUST BE TANGENT TO PRECAST MANHOLE I.D. AS SHOWN.
5. OVERFLOW PIPE STUB O.D. MATCHES SDR35 O.D.
6. 3/4\"/>

Rev	By	Date	Description
10/25/02	MPW	NTS	Scale

Rev	By	Date	Description
10/25/02	MPW	NTS	Scale

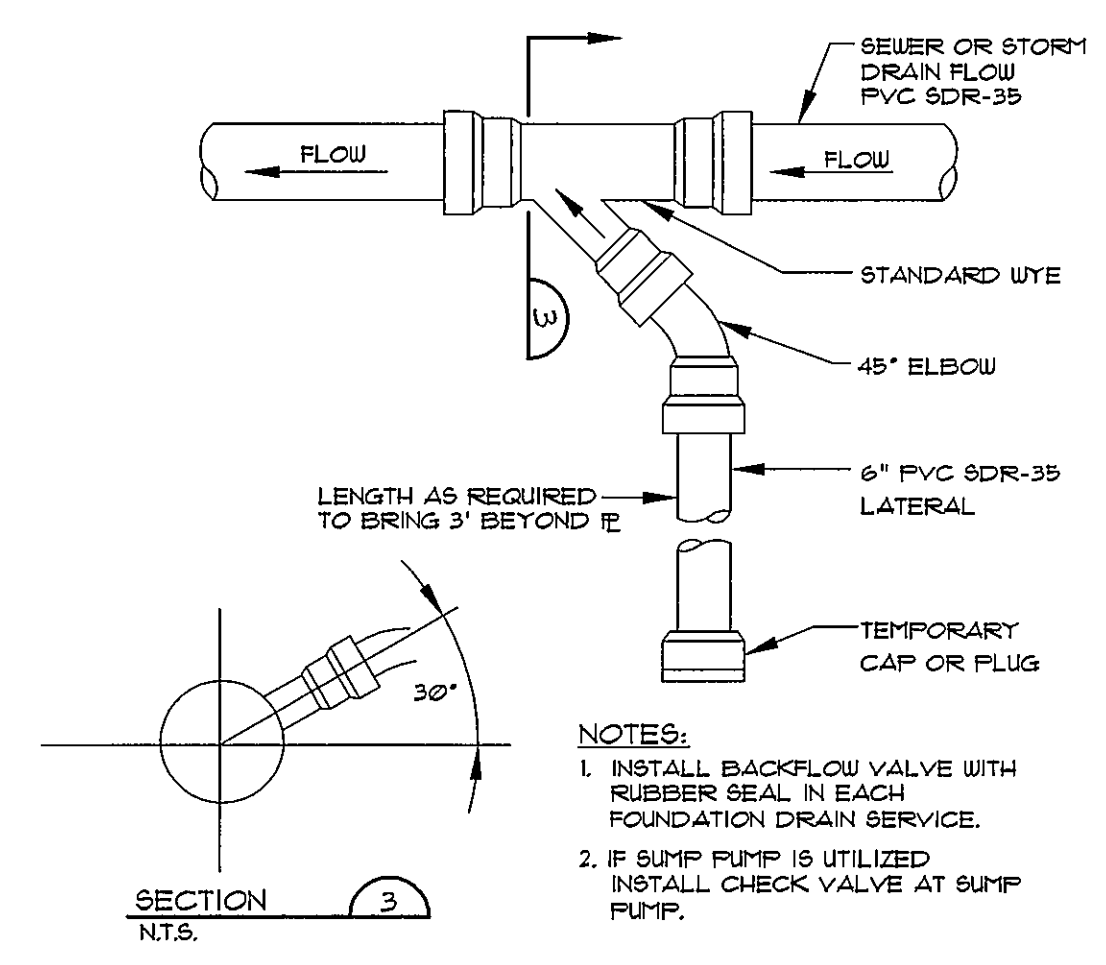
4 FT. DIA. DOWNSTREAM DEFENDER

GENERAL ARRANGEMENT

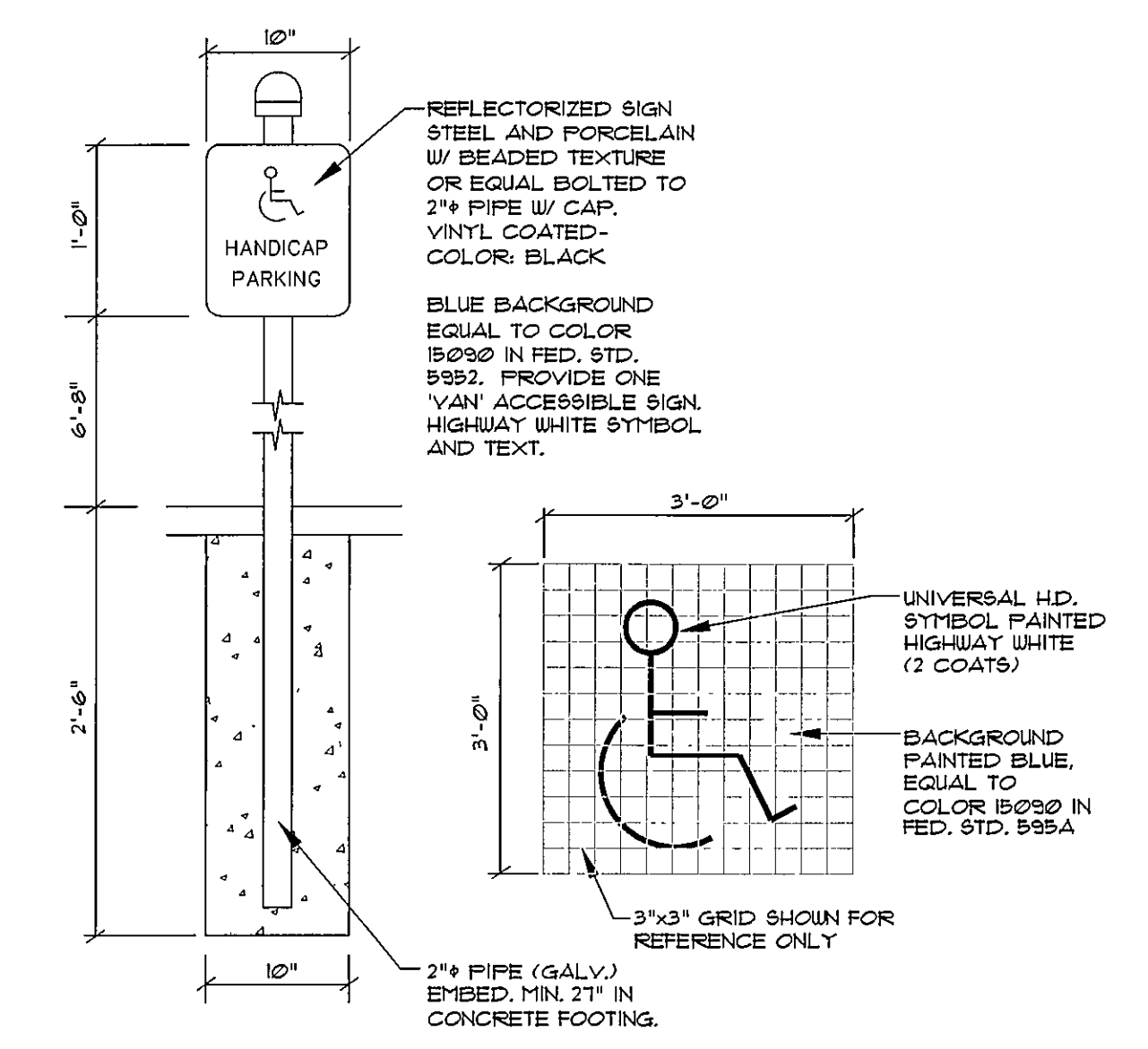


94 Hutchins Drive
Portland, Maine 04102
tel: (207) 756-6200
fax: (207) 756-6212
email: hiltech@hil-tech.com

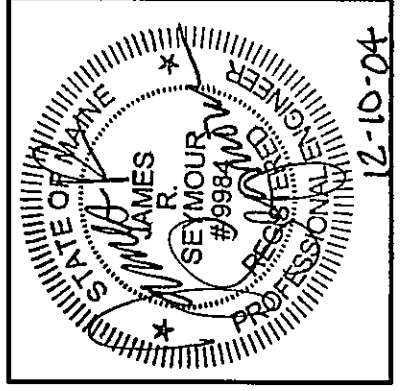
CAD Ref:	4ga1f
Project No.	
Drawing No.	4GA1 Rev. F



SEWER / FOUNDATION DRAIN SERVICE CONNECTION
NOT TO SCALE



HANDICAP SIGNS
NOT TO SCALE



PROJECT NO.	12-10-04
FIELD BOOK	
DESIGN	SGD
BOOK	BRF
DRAWN	SAB
DATE	12-10-04
SCALE	
ISSUED FOR FINAL PRICING	
STATUS:	
DATE:	
BY:	
VALUE ENGINEERING	
ISSUED FOR FINAL PRICING	
DATE:	
BY:	

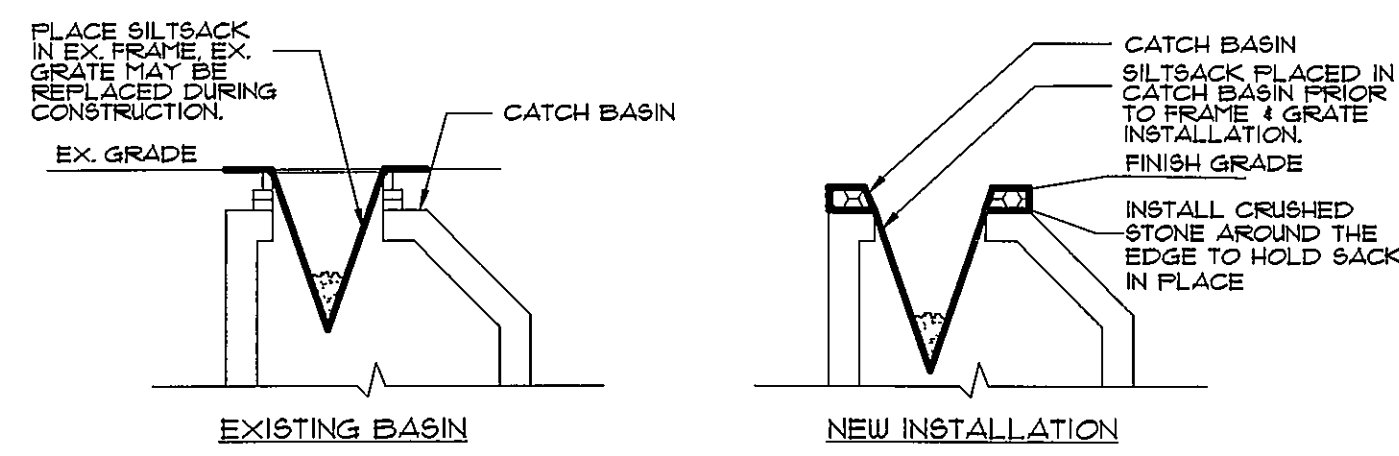
Sebago Technics
Engineering Expertise You Can Build On
One Chichester Street
Portland, ME 04101
Tel: (207) 856-0277

DETAILS
OF:
YMCA APARTMENTS
231 HIGH STREET
PORTLAND, MAINE
FOR:
CCYSRO, L.P. (C/O CUMBERLAND COUNTY YMCA)
70 FOREST AVENUE
PORTLAND, ME 04101

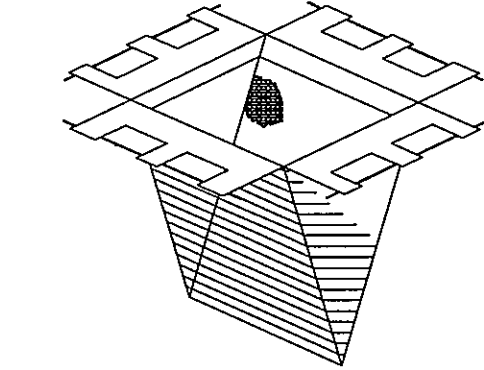
DATE: 12-10-04
SCALE: AS SHOWN

SHEET 3 OF 4

Any warranty made by Hydro International only applies to those items supplied by it. Hydro International does not accept and expressly disclaims any responsibility or liability for any structure, plant or equipment (or the performance thereof) designed, built, manufactured or supplied by any third-party. Hydro International has a policy of continuous product development and reserves the right to amend the specifications of any of its products or equipment at any time. Hydro International expressly disclaims any liability for the performance of its equipment (or any part thereof) used or made subject to conditions outside of the conditions set forth in Hydro International's design specifications. Hydro International owns the copyright in and to this drawing, which is supplied in confidence, and all intended recipients of the drawing, by their use thereof, agree to hold the drawing in confidence and not to use it for any purpose other than for which it was supplied and not reproduce, in whole or in part, the drawing or any of the equipment or structures depicted therein, without prior written permission of Hydro International.

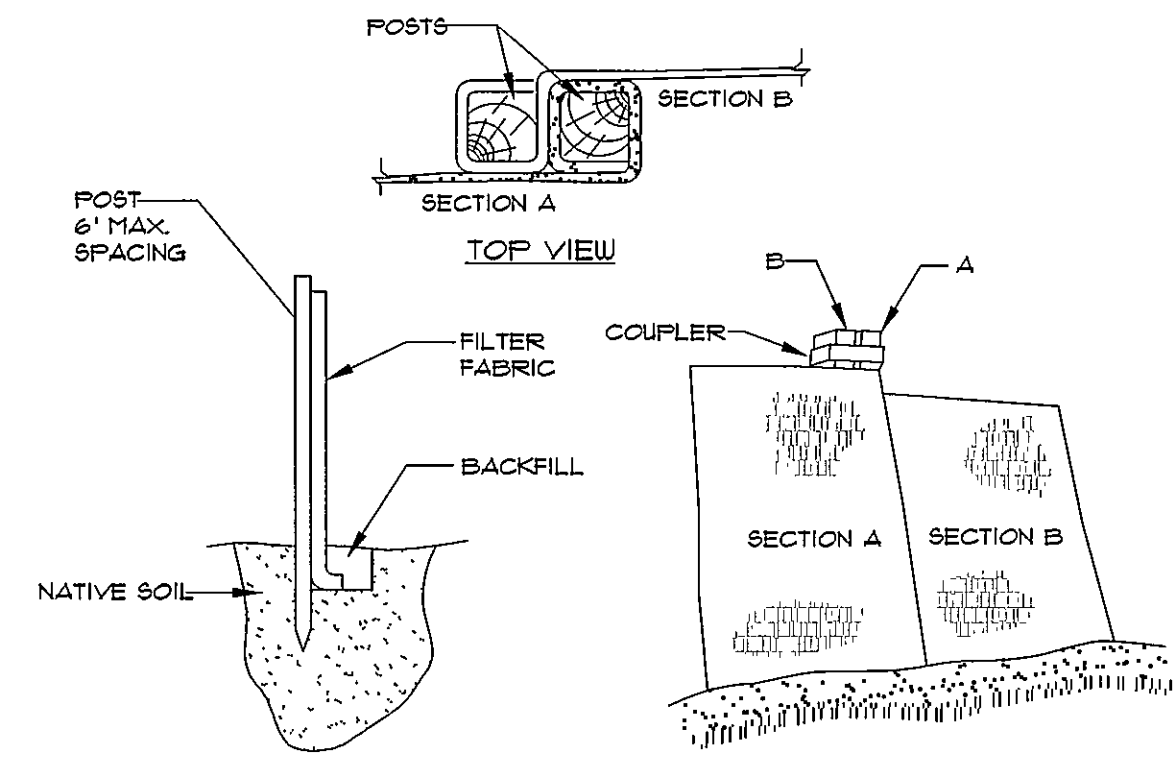


NOTES:
PRIOR TO FINAL GRADING AND HAVING OPERATIONS BEGIN A CATCH BASIN INSERT (SUCH AS A SILT SACK OR A SAND BAG) MUST BE INSTALLED IN EACH BASIN PER MANUFACTURER'S INSTRUCTIONS. HAY BALES SHOULD BE REMOVED ONCE INSERTS ARE INSTALLED.



SILT SACK PROTECTION

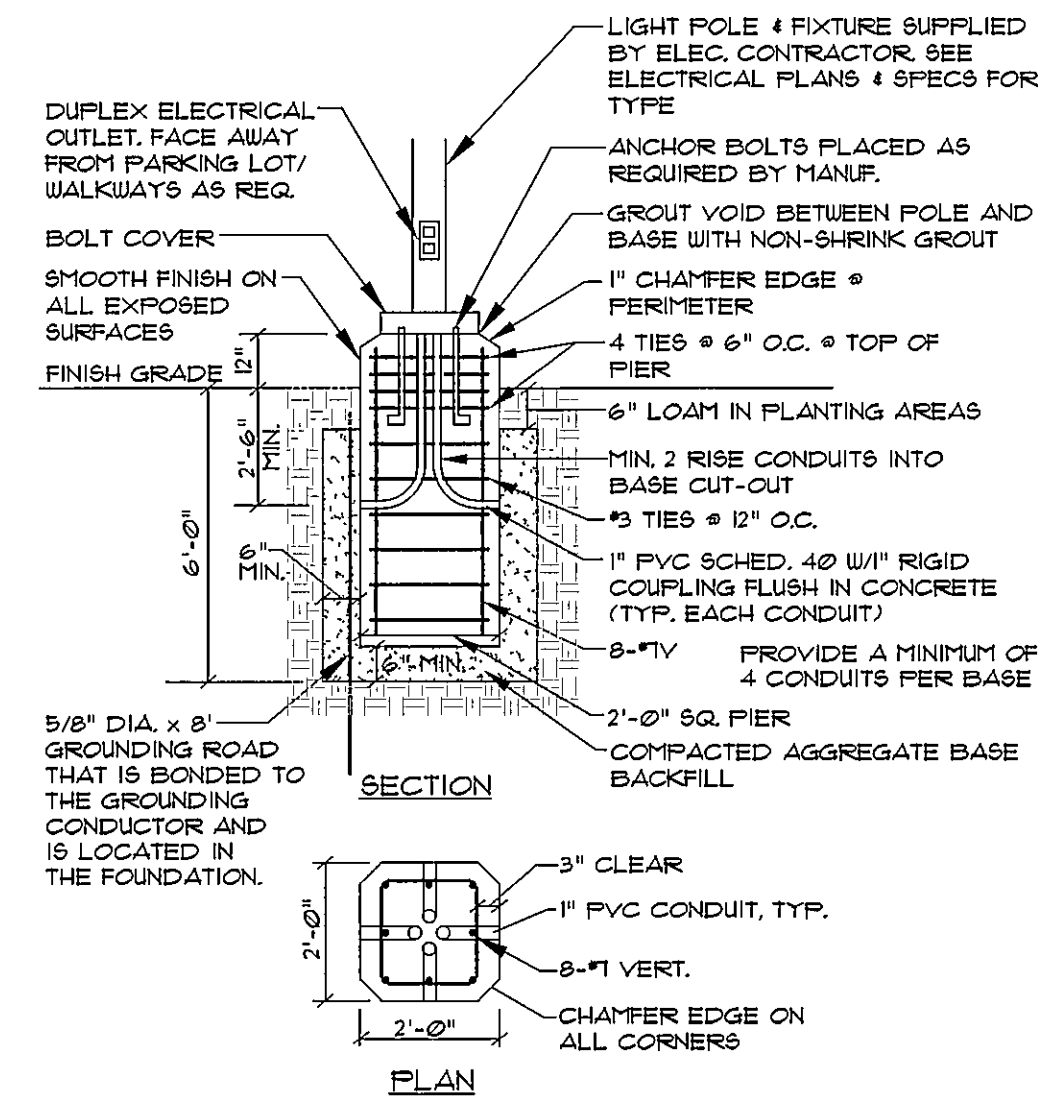
CATCH BASIN PROTECTION DETAIL (FOR PAVED AREAS)
NOT TO SCALE



INSTALLATION:

1. EXCAVATE A 6" x 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
3. DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.
4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND FILING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
5. JOIN SECTION AS SHOWN ABOVE.
6. BARRIER SHALL BE MIRAFI SILT FENCE OR EQUAL.

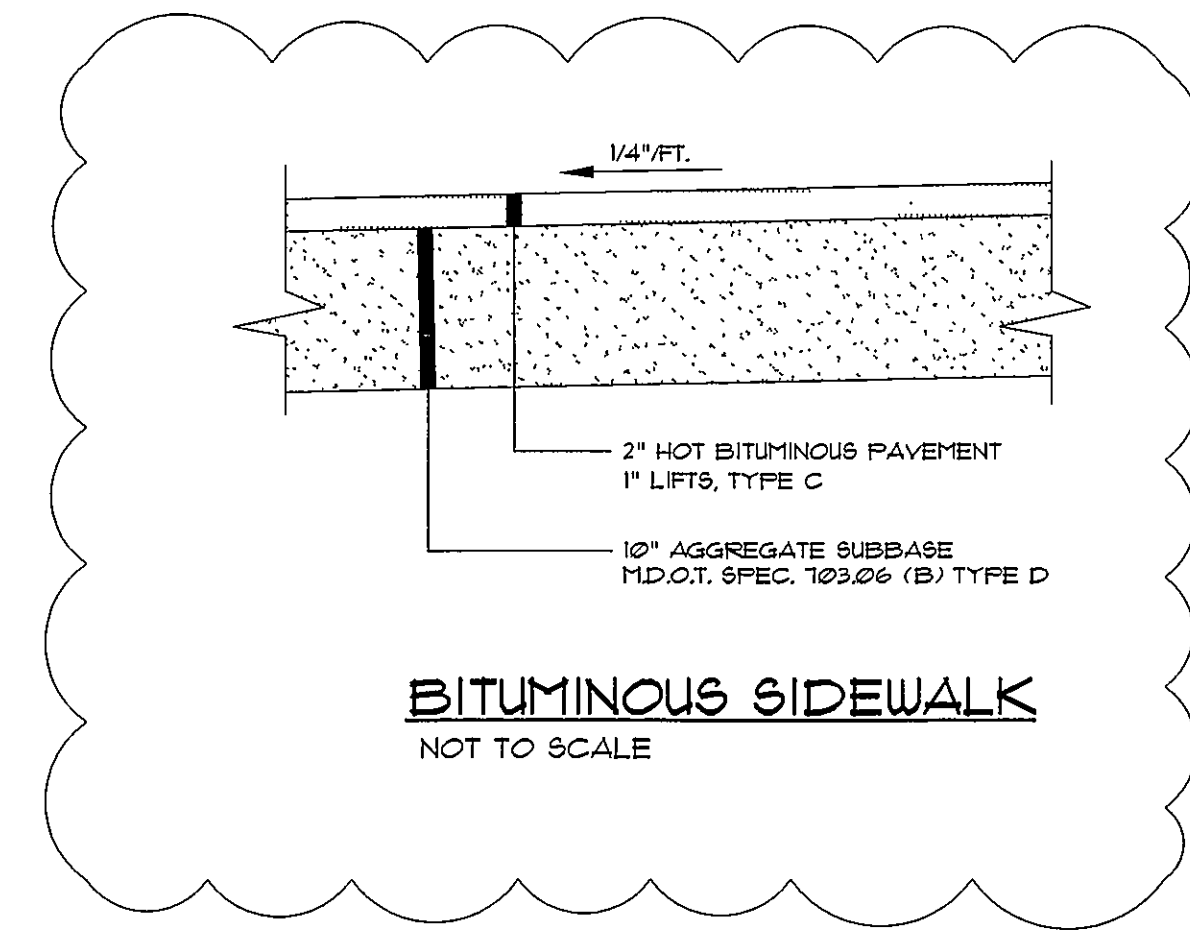
FILTER BARRIER
NOT TO SCALE



NOTES:

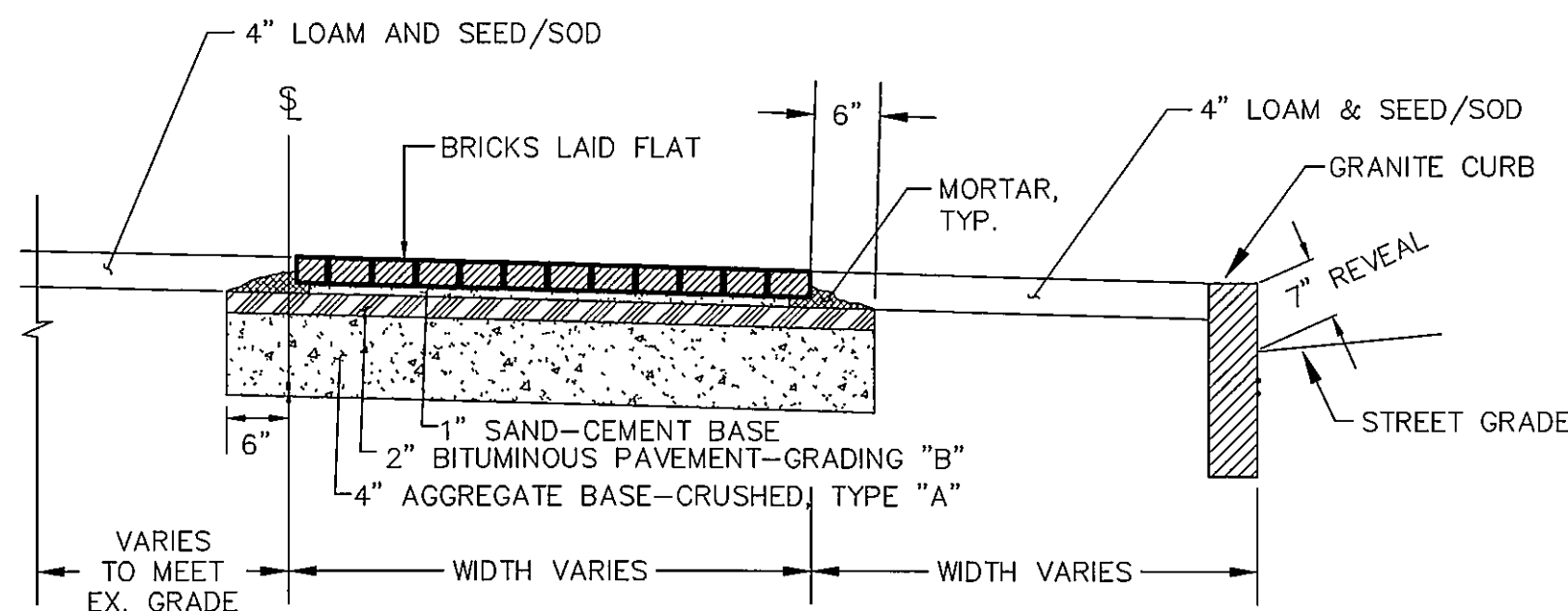
1. CONCRETE $f'_c = 4000$ psi.
2. REINF. STEEL GRADE 60 NEW BARS.
3. CONCRETE 3/4" AGG. @ 4" - 16" ENTRAINED AIR.
4. PROVIDE 2 COATS BITUMINOUS DAMPROOFING FOR ALL CONCRETE BELOW GRADE.
5. INSTALL BASE 3'-0" ABOVE FINISH GRADE IN LOCATIONS WHERE POLES ARE IN PARKING LOT PAVEMENT.
6. BID ALT. CONTRACTOR MAY SUBSTITUTE PRECAST CONCRETE LIGHT POLE BASE EQUAL TO ABOVE SPEC.

LIGHT POLE BASE
NOT TO SCALE



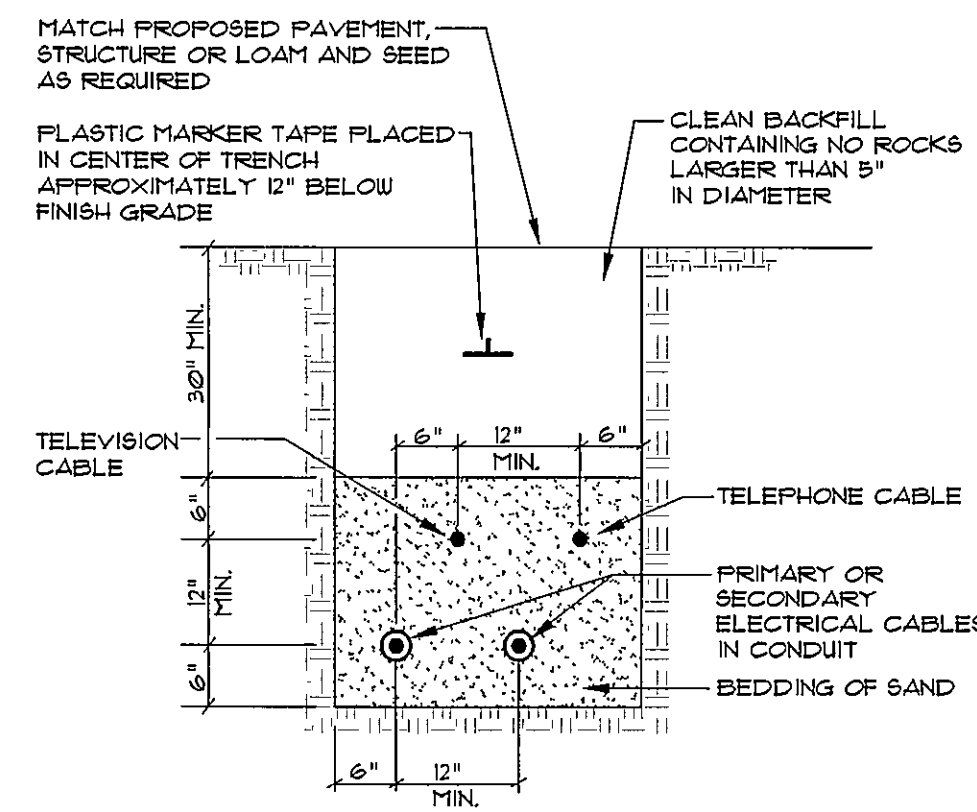
BITUMINOUS SIDEWALK
NOT TO SCALE

ADD DETAIL



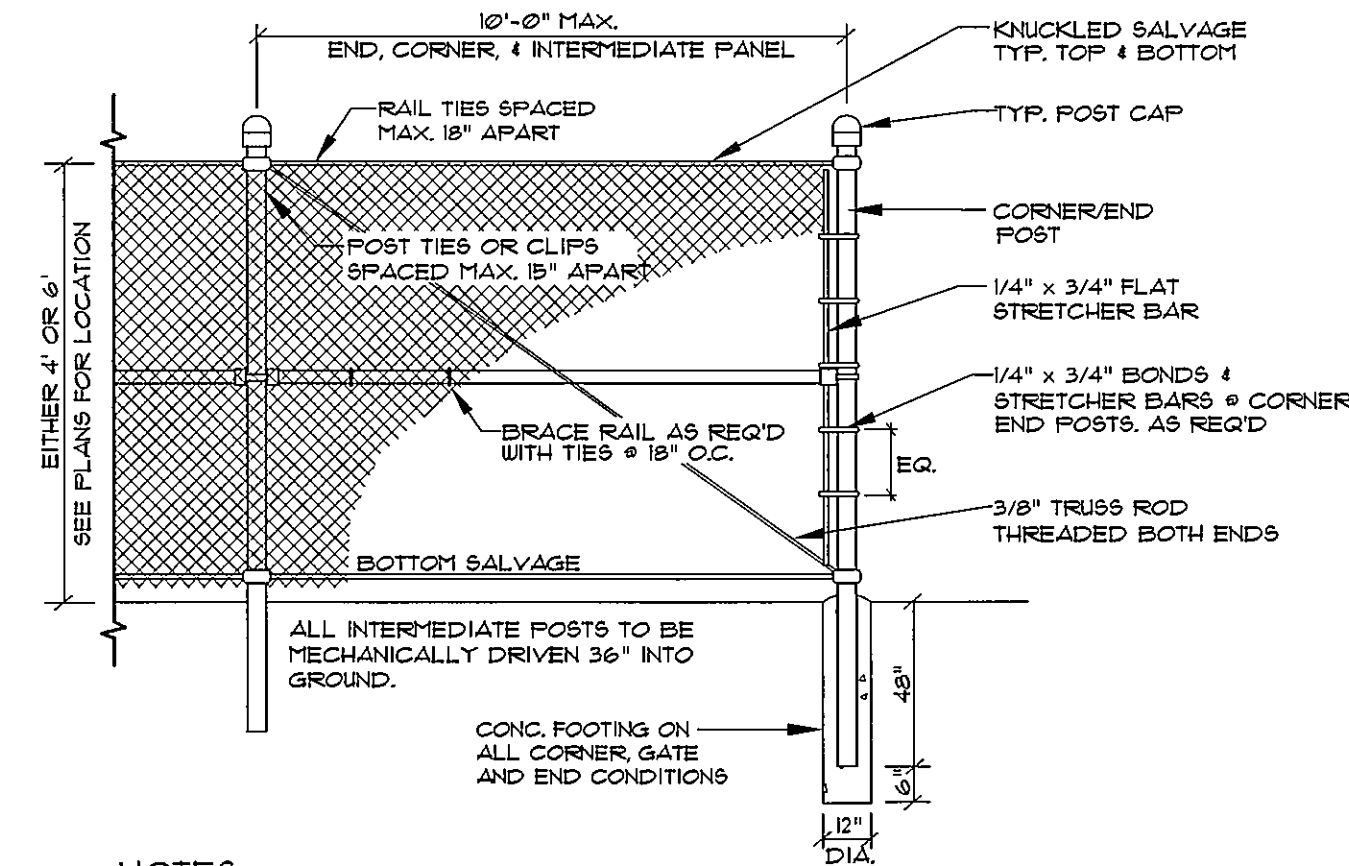
SECTION

BRICK SIDEWALK DETAIL
NOT TO SCALE



CABLES TO BE ENCASED IN SCHEDULE 40 PVC CONDUIT WHEN RUN BENEATH PAVED AREAS.

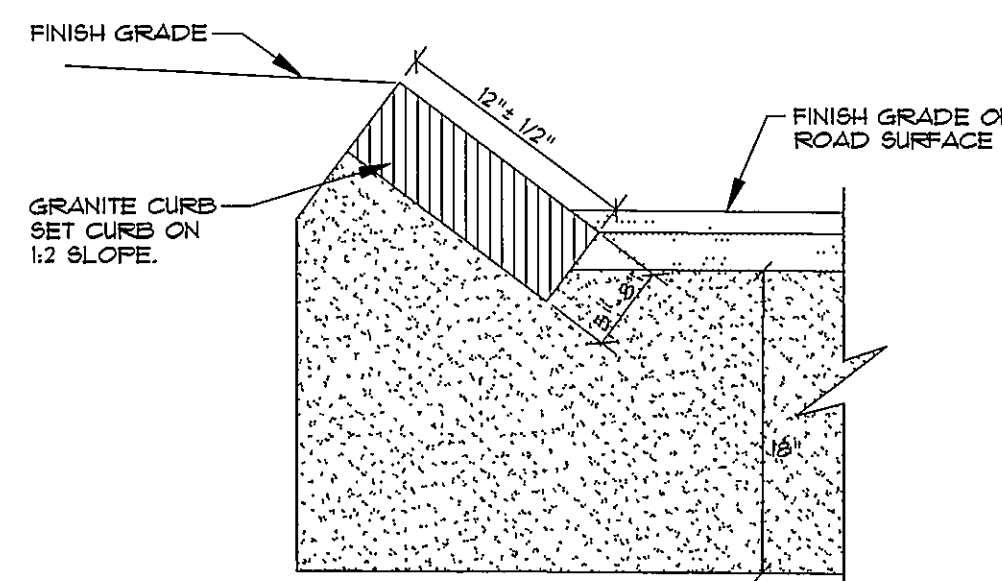
TYPICAL UNDERGROUND CABLE INSTALLATION
NOT TO SCALE



NOTES:

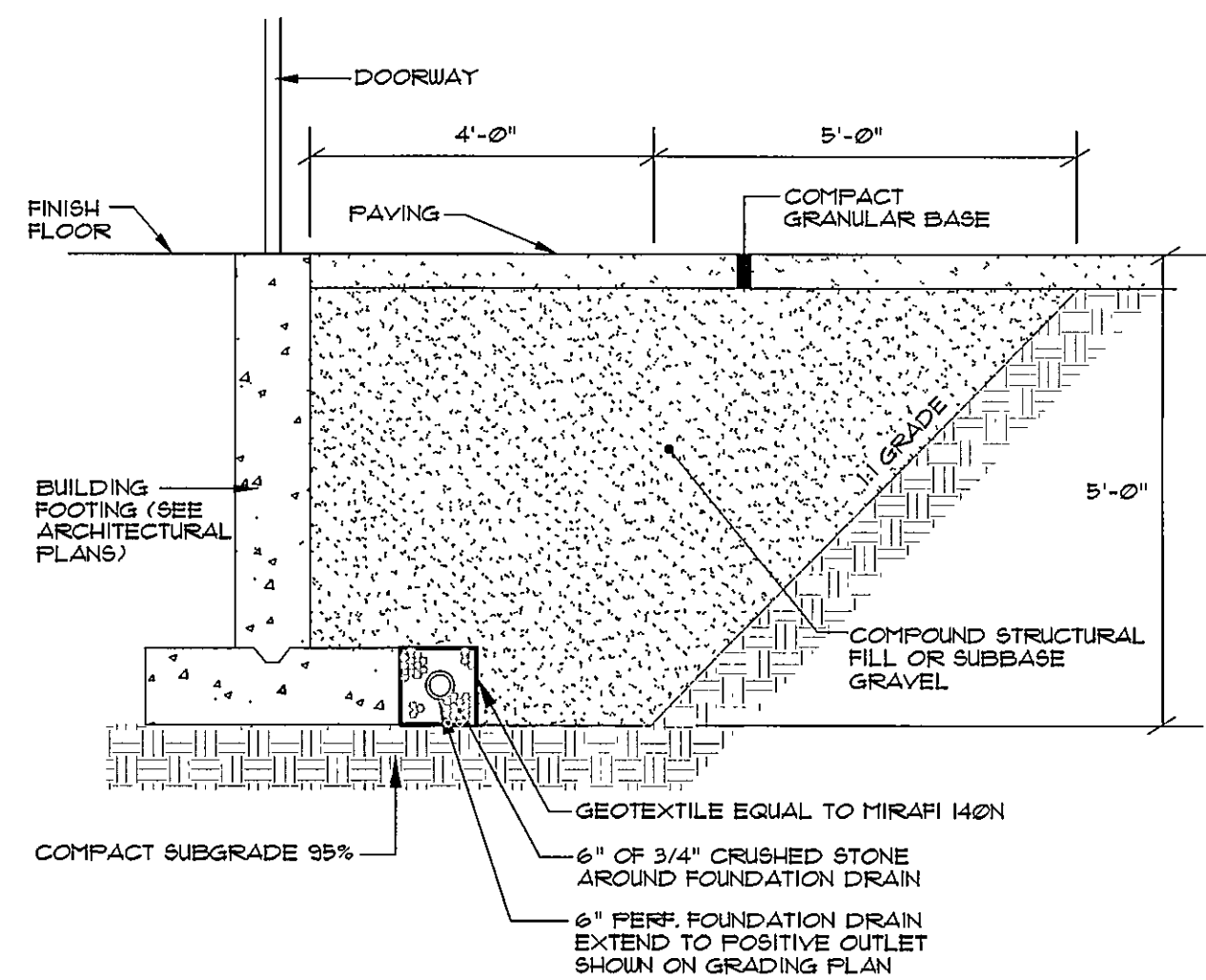
1. CORNER OR END POST, NOMINAL 3" O.D. GALVANIZED STEEL PIPE, MIN. 5.75 lbs./LF.
2. INTERMEDIATE POST, NOMINAL 2-1/2" O.D. GALVANIZED STEEL PIPE, MIN. 3.65 lbs./LF.
3. BRACES (TOP & BOTTOM), NOMINAL 1-5/8" O.D. GALVANIZED STEEL PIPE, MIN. 2.21 lbs./LF.
4. THE OUTSIDE OF THE FENCE FABRIC SHALL BE 3" INSIDE THE EDGE OF PAVEMENT.
5. BRACE RAIL AND DIAGONAL BRACE ROD SHALL BE INSTALLED AT EACH 10' CORNER SECTION OF ENCLOSURE.
6. CONCRETE SHALL HAVE MINIMUM COMPRESSIVE STRENGTH (f'_c) OF 3000 psi WITH 6% AIR ENTRAINMENT.

TYPICAL CHAIN LINK FENCE
NOT TO SCALE

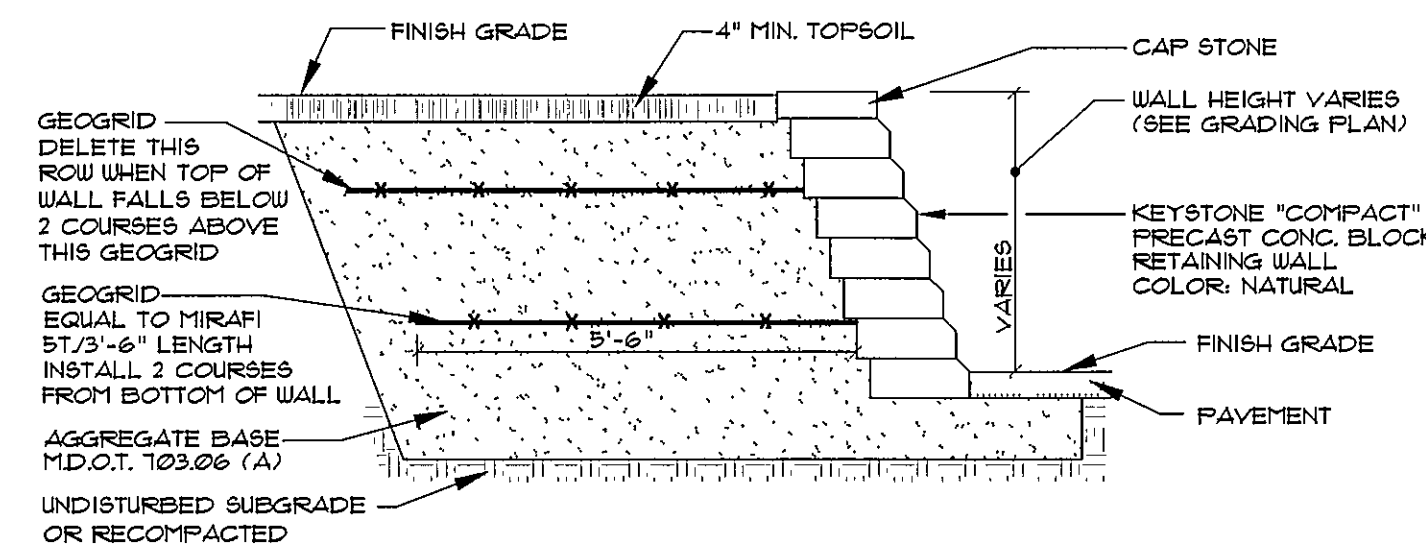


NOTE: REUSE EXISTING GRANITE CURB WHEN POSSIBLE

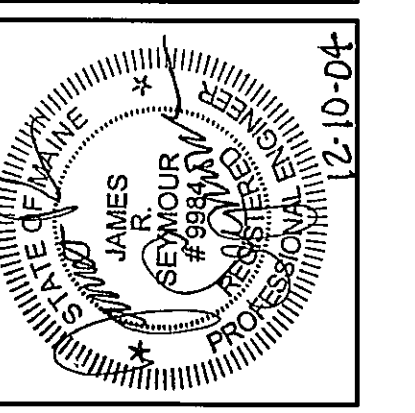
SLOPED GRANITE CURB (6x12)
NOT TO SCALE



5' GRANULAR BASE @ DOOR THRESHOLD
NOT TO SCALE



CONCRETE BLOCK RETAINING WALL
NOT TO SCALE



PROJECT NO.	12-10-04	VALUE ENGINEERING	ISSUED FOR FINAL PRICING
REV.	A	BY: SGD	DATE: 10-1-04
STATUS:	ISSUED FOR FINAL PRICING	STATUS:	ISSUED FOR FINAL PRICING

THIS PLAN SHALL NOT BE MODIFIED WITHOUT PERMISSION FROM SEABRO TECHNICS, INC. ANY ALTERATIONS, PARTIALS OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEABRO TECHNICS, INC.

Seabro Technics
Engineering Expertise You Can Build On
One Chabot Street - 1339
Woburn (707) 859-0277

PROJECT NO. 12-10-04
FIELD BOOK DESIGN CHD
98661 SGD BRF S/AB

DETAILS OF:
YMCA APARTMENTS
231 HIGH STREET
PORTLAND, MAINE

FOR:
CCYSRO, L.P. (C/O CUMBERLAND COUNTY YMCA)
70 FOREST AVENUE
PORTLAND, ME 04101

DATE	SCALE
9-16-04	AS SHOWN