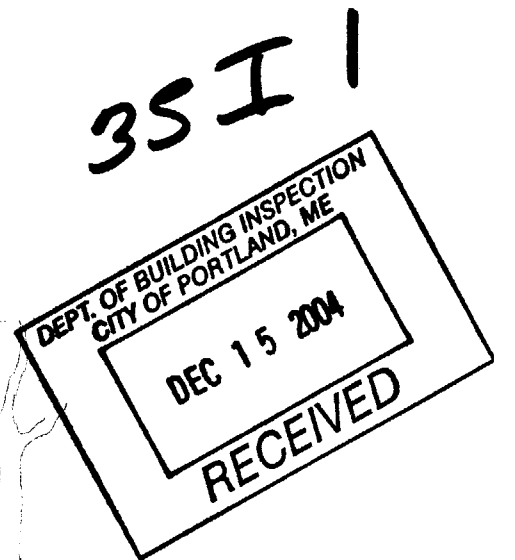
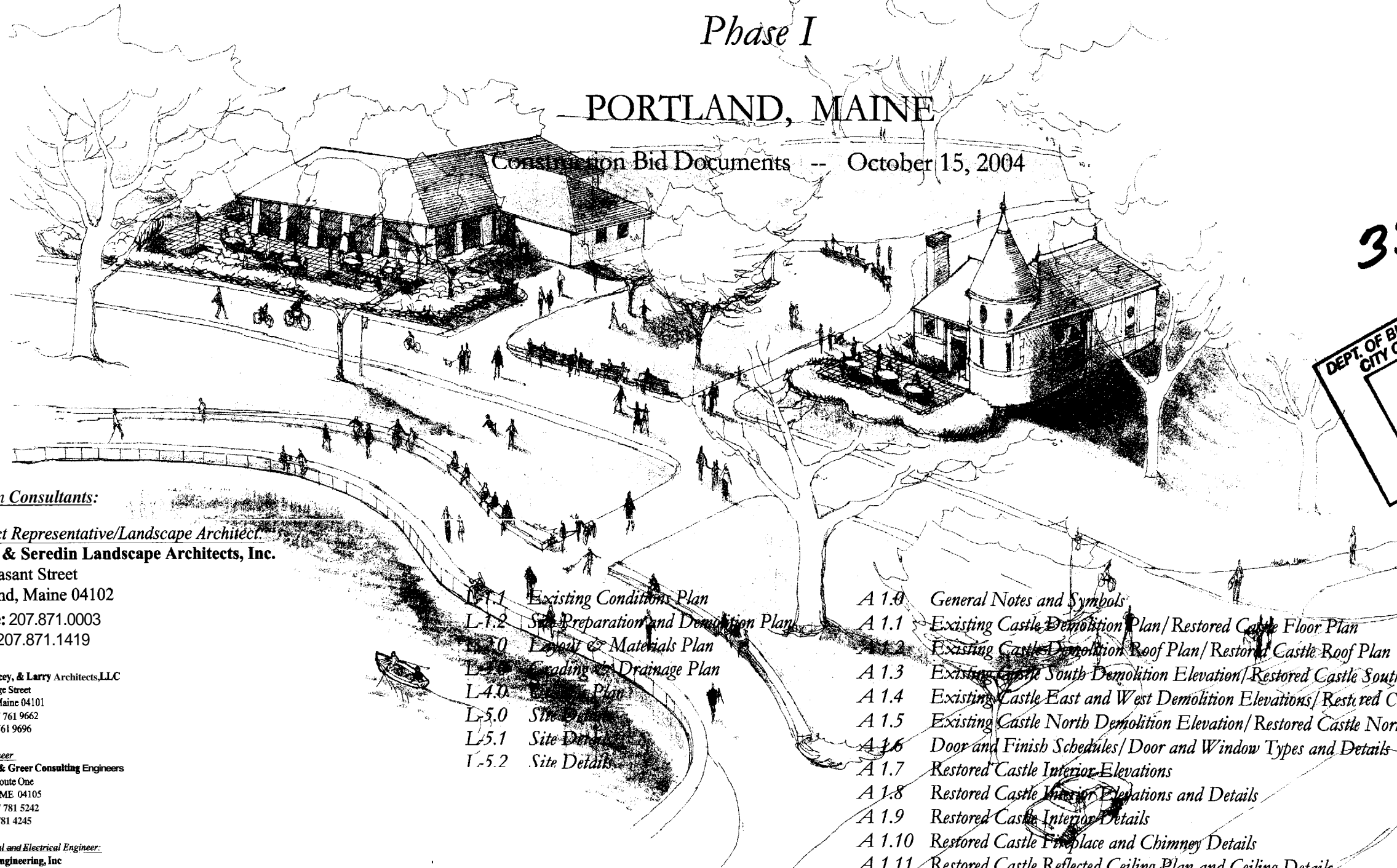


# Deering Oaks Rehabilitation CASTLE AND SURROUNDING GROUNDS

Phase I

PORTLAND, MAINE

Construction Bid Documents -- October 15, 2004



Design Consultants:

Project Representative/Landscape Architect:

**Mohr & Seredin Landscape Architects, Inc.**  
18 Pleasant Street  
Portland, Maine 04102  
Phone: 207.871.0003  
Fax: 207.871.1419

Architect:

**Turk, Tracey, & Larry Architects, LLC**  
92 Exchange Street  
Portland, Maine 04101  
Phone 207.761.9662  
Fax 207.761.9696

Civil Engineer

**Pinkham & Greer Consulting Engineers**  
170 U.S. Route One  
Falmouth, ME 04105  
Phone 207.781.5242  
Fax 207.781.4245

Mechanical and Electrical Engineer:

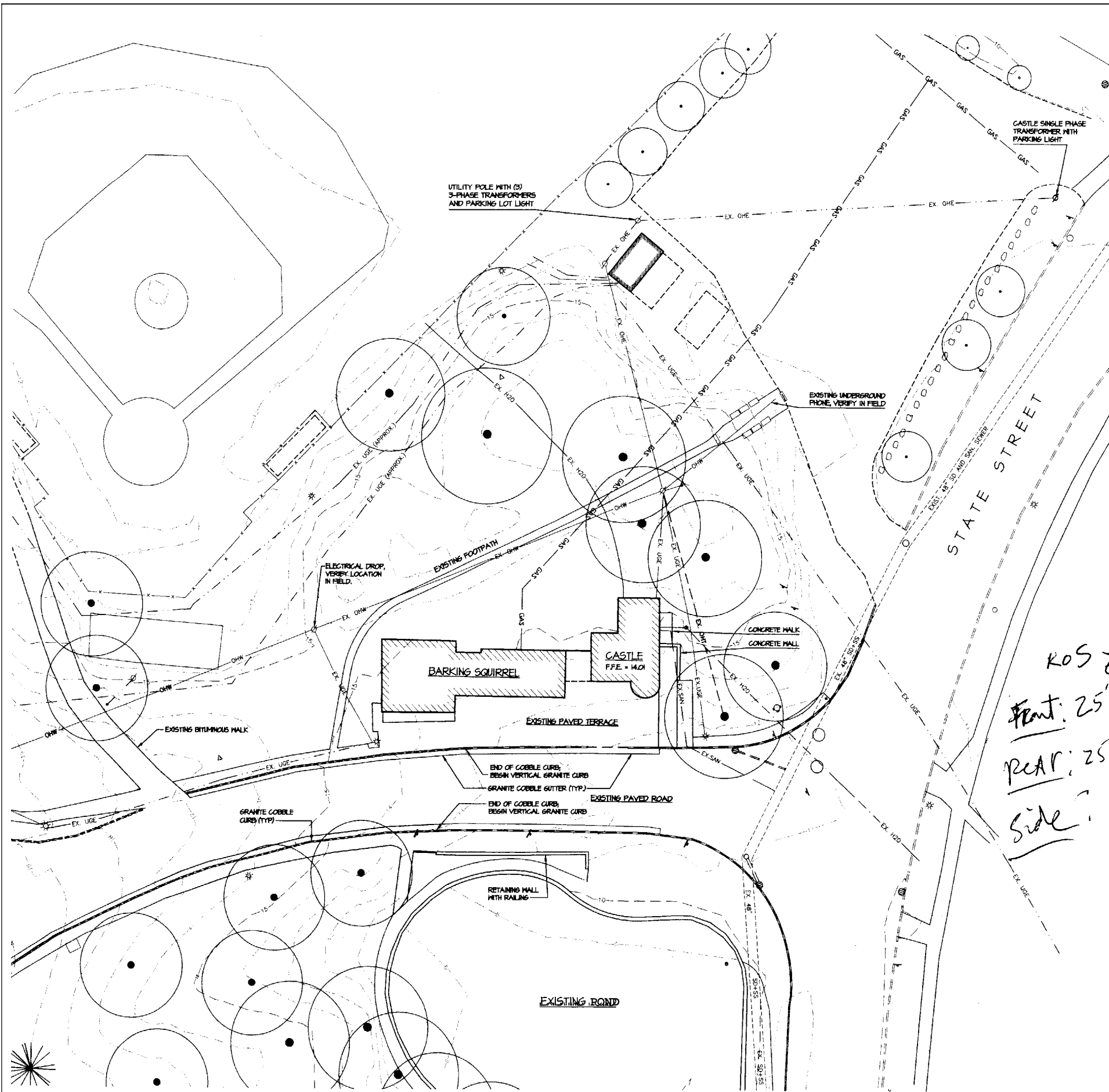
**Bennett Engineering, Inc**  
Bennett Road  
Freeport, ME 04032  
Phone 207.865.9415

Structural Engineer

**Ocmulgee Associates**  
317 High Street  
Ipswich, MA  
Phone 978.356.7833

- L-1.1 Existing Conditions Plan
- L-1.2 Site Preparation and Demolition Plans
- L-2.0 Layout & Materials Plan
- L-3.0 Grading & Drainage Plan
- L-4.0 Foundation Plan
- L-5.0 Site Details
- L-5.1 Site Details
- L-5.2 Site Details

- A 1.0 General Notes and Symbols
- A 1.1 Existing Castle Demolition Plan/ Restored Castle Floor Plan
- A 1.2 Existing Castle Demolition Roof Plan/ Restored Castle Roof Plan
- A 1.3 Existing Castle South Demolition Elevation/ Restored Castle South Elevations
- A 1.4 Existing Castle East and West Demolition Elevations/ Restored Castle East and West Elevations
- A 1.5 Existing Castle North Demolition Elevation/ Restored Castle North Elevations
- A 1.6 Door and Finish Schedules/ Door and Window Types and Details
- A 1.7 Restored Castle Interior Elevations
- A 1.8 Restored Castle Interior Elevations and Details
- A 1.9 Restored Castle Interior Details
- A 1.10 Restored Castle Fireplace and Chimney Details
- A 1.11 Restored Castle Reflected Ceiling Plan and Ceiling Details
- S 1.1 Castle Foundation Plan/ Castle Framing Plan and Structural Details
- M 1.1 Mechanical and Plumbing Plans
- M 2.1 Mechanical and Plumbing Schedules and Details
- E1 Electrical Plan



**PLAN REFERENCES**

- FROM A COMPILATION OF INFORMATION PROVIDED TO MOHR & SEREDIN INCLUDING BUT NOT LIMITED TO:
  - A PLAN ENTITLED "EXISTING CONDITIONS PLAN ON DEERING OAKS PARK", PREPARED FOR MOHR & SEREDIN, DATED 2001, BY OMEN HASKELL, PORTLAND, MAINE;
  - A PLAN ENTITLED "EXISTING CONDITIONS PLAN ON DEERING OAKS PARK", PREPARED FOR THE CITY OF PORTLAND, DATED 10-2-3-2 AND REVISED THROUGH 11-01-01, PREPARED BY OMEN HASKELL, PORTLAND, MAINE;
  - MISCELLANEOUS ADDITIONAL SURVEY INFORMATION RECEIVED IN ACAD FORMAT VIA EMAIL FROM OMEN HASKELL, APRIL-NOVEMBER 2001.

2. THE SITE IS LOCATED WITHIN THE ROS (RECREATION OPEN SPACE) ZONE

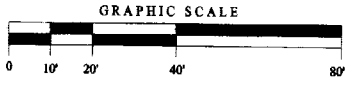
**GENERAL NOTES:**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG SAFE" AND LOCAL UTILITY COMPANIES AT LEAST THREE (3) BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, IN ACCORDANCE WITH MAINE STATE LAW. "DIG SAFE" TELEPHONE NUMBER IS 1-800-344-1233.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL AND ANY MEANS, METHODS AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THE PLANS.
- ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS INCLUDING ALL SAFETY REGULATIONS (OSHA).
- ALL WORK SHALL BE IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES, (MOST RECENT EDITION), AND ALL UTILITY COMPANIES STANDARDS.
- THE CONTRACTOR SHALL SECURE ALL NECESSARY BUILDING PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
- ALL PAVEMENT CUTS SHALL BE SAW CUT TO RESULT IN CLEAN EDGES. A TACK COAT SHALL BE APPLIED ALONG THE CUT EDGES AND THE NEW PAVEMENT BUTTED TO IT, UNLESS OTHERWISE DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
- ALL DISTURBED AREAS ON SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY THE EROSION CONTROL PLAN.
- EXISTING VEGETATION SHALL BE CONSERVED IN AREAS WHERE SHOWN ON THE PLANS. PRIOR TO CONSTRUCTION, FENCING OR OTHER PROTECTIVE MEASURES SHALL BE ERRECTED OUTSIDE THE DRIP-LINE OF INDIVIDUAL GROUPS OR TREES DESIGNATED FOR PRESERVATION. REGRADING SHALL NOT TAKE PLACE WITHIN THE DRIP-LINE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OF CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRIP-LINE OF TREES TO BE PRESERVED. NO VEHICLES MAY DRIVE OR PARK IN THE DRIP-LINE OF TREES TO BE PRESERVED.
- THE SITE IS ON THE NATIONAL REGISTER OF HISTORIC PLACES. IF ANY UNUSUAL ITEMS OR ARTIFACTS ARE DISCOVERED DURING CONSTRUCTION, NOTIFY THE LANDSCAPE ARCHITECT AND CITY IMMEDIATELY FOR DECISION. ANY ITEMS DISCOVERED REMAIN THE PROPERTY OF THE CITY.
- ALL WORK SHALL COMPLY WITH THE ENVIRONMENTAL PROTECTION AGENCY NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (EPA-NPDES) REGULATIONS FOR CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH A "NOTICE OF INTENT" (NOI) TO EPA PRIOR TO DISTURBANCE OF SOIL AND COMPLYING WITH THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE PROJECT.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS SHOWN ON THE DRAWINGS. IF ANY DISCREPANCIES ARE FOUND, THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IMMEDIATELY.

*KOS Zone property line for new bldgs  
Front: 25' from existing of  
REAR: 25' from property lines - 25' + Show  
Side: 12' + 12' + Show*

**LEGEND**

	EXISTING
PROPERTY LINE	---
UTILITY POLE W/GUY	○
DRAINAGE MANHOLE	⊙
CATCH BASIN/FIELD INLET	⊕
STORM DRAIN	---
FENCE	—x—x—
WATER	—EX. H2O—
UNDERGROUND ELECTRIC	—EX. USE—
OVERHEAD ELECTRIC/TELEPHONE	—EX. OHE—
SANITARY SEWER	—EX. SAN—
GAS LINE	—GAS—
SITE LIGHTING	☆
BOLLARD	•



18 Pleasant Street, Portland, Maine 04101  
ph: 1.207.871.0003  
fax: 1.207.871.1419

Architect:  
TURK TRACEY & LARRY  
ARCHITECTS, LLC  
92 EXCHANGE STREET  
PORTLAND, MAINE 04101  
TEL: 207.761.9662  
FAX: 207.761.9696

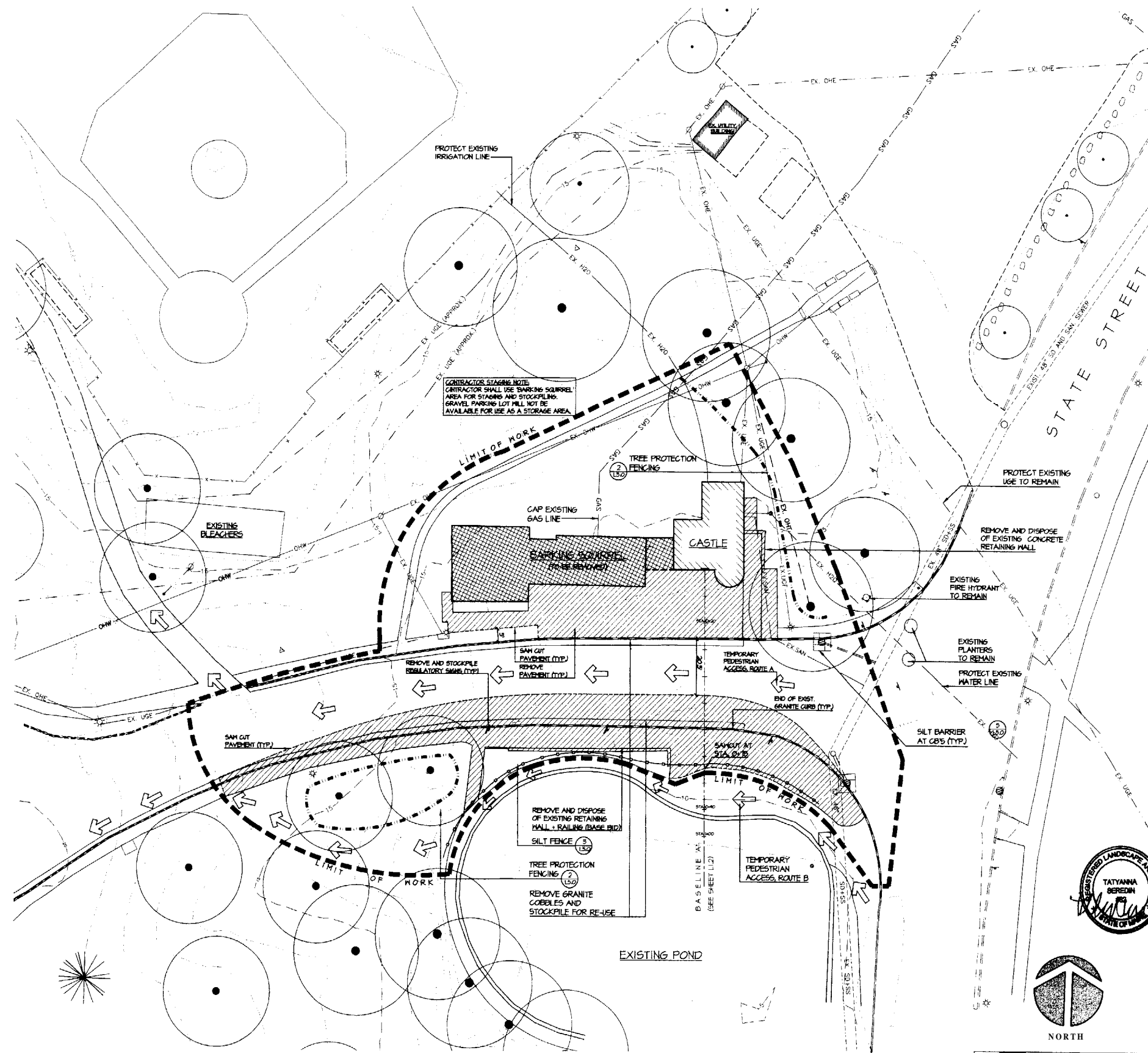
Deering Oaks Rehabilitation  
 CASTLE AND SURROUNDING GROUNDS  
 CITY OF PORTLAND  
 PORTLAND, MAINE

SCALE: 1"=10' OCTOBER 2004  
DRAWN BY: TS/MK  
REVISIONS:

FILE:  
EXISTING  
CONDITIONS

HEET:  
L-1.1

BID SET: 15 OCTOBER 2004

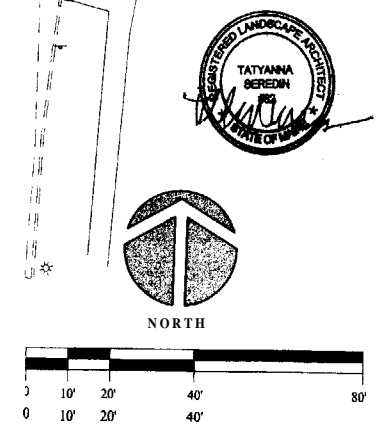


- GENERAL NOTES:**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING DIG SAFE AND LOCAL UTILITY COMPANIES AT LEAST THREE (3) BUSINESS DAYS BUT NOT MORE THAN 30 CALMDAY DAYS PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION IN ACCORDANCE WITH MAINE STATE LAW "DIG SAFE" TELEPHONE NUMBER IS 1-888-344-1233
  2. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL AND ANY MEANS METHODS AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THE PLANS
  3. ALL WORK SHALL COMPLY WITH ALL LOCAL STATE AND FEDERAL REGULATIONS INCLUDING ALL SAFETY REGULATIONS (OSHA)
  4. ALL WORK SHALL BE IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES (MOST RECENT EDITION) AND ALL UTILITY COMPANIES STANDARDS
  5. THE CONTRACTOR SHALL SECURE ALL NECESSARY BUILDING PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION
  6. ALL PAVEMENT CUTS SHALL BE SAW CUT TO RESULT IN CLEAN EDGES. A TACK WAT SHALL BE APPLIED ALONG THE CUT EDGES AND THE NEW PAVEMENT BUTTED TO IT UNLESS OTHERWISE DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE
  7. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING
  8. ALL DISTURBED AREAS ON SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY THE EROSION CONTROL PLAN
  9. EXISTING VEGETATION SHALL BE CONSERVED. IN AREAS WHERE SHOWN ON THE PLANS PRIOR TO CONSTRUCTION FENCING OR OTHER PROTECTIVE MEASURES SHALL BE ERECTED OUTSIDE THE DRIP-LINE OF INDIVIDUAL GROUPS OR TREES DESIGNATED FOR PRESERVATION. REGRADING SHALL NOT TAKE PLACE WITHIN THE DRIP-LINE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OF CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRIP-LINE OF TREES TO BE PRESERVED. NO VEHICLES MAY DRIVE OR PARK IN THE DRIP-LINE OF TREES TO BE PRESERVED
  10. THE SITE IS ON THE NATIONAL REGISTER OF HISTORIC PLACES. IF ANY UNUSUAL ITEMS OR ARTIFACTS ARE DISCOVERED DURING CONSTRUCTION NOTIFY THE LANDSCAPE ARCHITECT AND CITY IMMEDIATELY FOR DECISION. ANY ITEMS DISCOVERED REMAIN THE PROPERTY OF THE CITY
  11. ALL WORK SHALL COMPLY WITH THE ENVIRONMENTAL PROTECTION AGENCY NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (EPA NPDES) REGULATIONS FOR CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH A NOTICE OF INTENT (NOI) TO EPA PRIOR TO DISTURBANCE OF MILL AND COMPLYING WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE PROJECT
  12. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS SHOWN ON THE DRAWINGS. IF ANY DISCREPANCIES ARE FOUND THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IMMEDIATELY

- DEMOLITION NOTES:**
1. ALL DEMOLITION AND REMOVALS SHALL CONFORM TO LOCAL STATE AND FEDERAL STANDARDS
  2. CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING UTILITIES WITH DIG SAFE PRIOR TO THE START OF CONSTRUCTION. ALL EXISTING UNDERGROUND UTILITIES THAT ARE DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT NO ADDITIONAL COST TO OWNER(S)
  3. ALL UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE ONLY. NO WARRANTY IS MADE TO THEIR EXACT LOCATION
  4. TOPSOIL TO BE STOCKPILED, SCREENED AND RE-USED ON THE SITE. ALL TOPSOIL TO REMAIN ON THE PROPERTY OF THE OWNER AND SHALL NOT BE REMOVED FROM THE SITE

**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE	---	---
LIMIT OF WORK	---	-----
CONTOURS	-95-	
SPOT GRADE		
UTILITY POLE W/GUY	○	
DRAINAGE MANHOLE	⊙	
CATCH BASIN/FIELD INLET	⊞	
STORM DRAIN	---	
FENCE	-X-X-	
WATER	-EX H2O-	
UNDERGROUND ELECTRIC	-EX USE-	
OVERHEAD ELECTRIC/TELEPHONE	-EOHE-	
SANITARY SEWER	-SAN-	
GAS LINE	-GAS-	
EROSION CONTROL FENCING		---
TREE PROTECTION FENCING		---
CATCH BASIN/FIELD INLET PROTECTION		⊞
NOT IN CONTRACT		○
DETAIL NUMBER		○
SHEET NUMBER		○
BITUMINOUS PAVEMENT TO BE REMOVED		///
EXISTING LIGHTING		○
PEDESTRIAN ACCESS ROUTE		←



**M O D I N**  
Landscape Architects, Inc.  
18 Pleasant Street, Portland, Maine 04101  
ph: 1.207.871.0003  
fax: 1.207.871.3459

Architect:  
**TURK TRACEY & LARRY**  
ARCHITECTS, LLC  
92 EXCHANGE STREET  
PORTLAND, MAINE 04101  
TEL: 207.761.9662  
FAX: 207.761.9696

*Deering Oaks Rehabilitation*  
**CASTLE AND SURROUNDING GROUNDS**  
CITY OF PORTLAND  
PORTLAND, MAINE

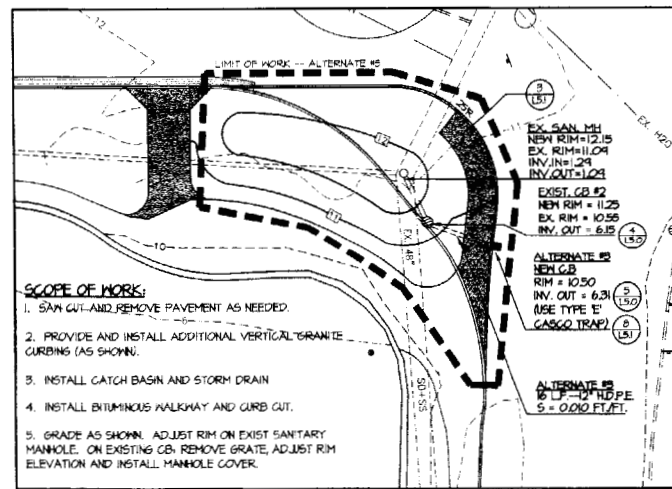
DATE: 15 OCTOBER 2004  
SCALE: 1" = 20'  
DATE: 15 OCTOBER 2004  
DRAWN BY: JDS/MK  
DIVISIONS:  
DESIGNATIONS:

FILE:  
**TE PREPARATION  
AND DEMOLITION  
PLAN**

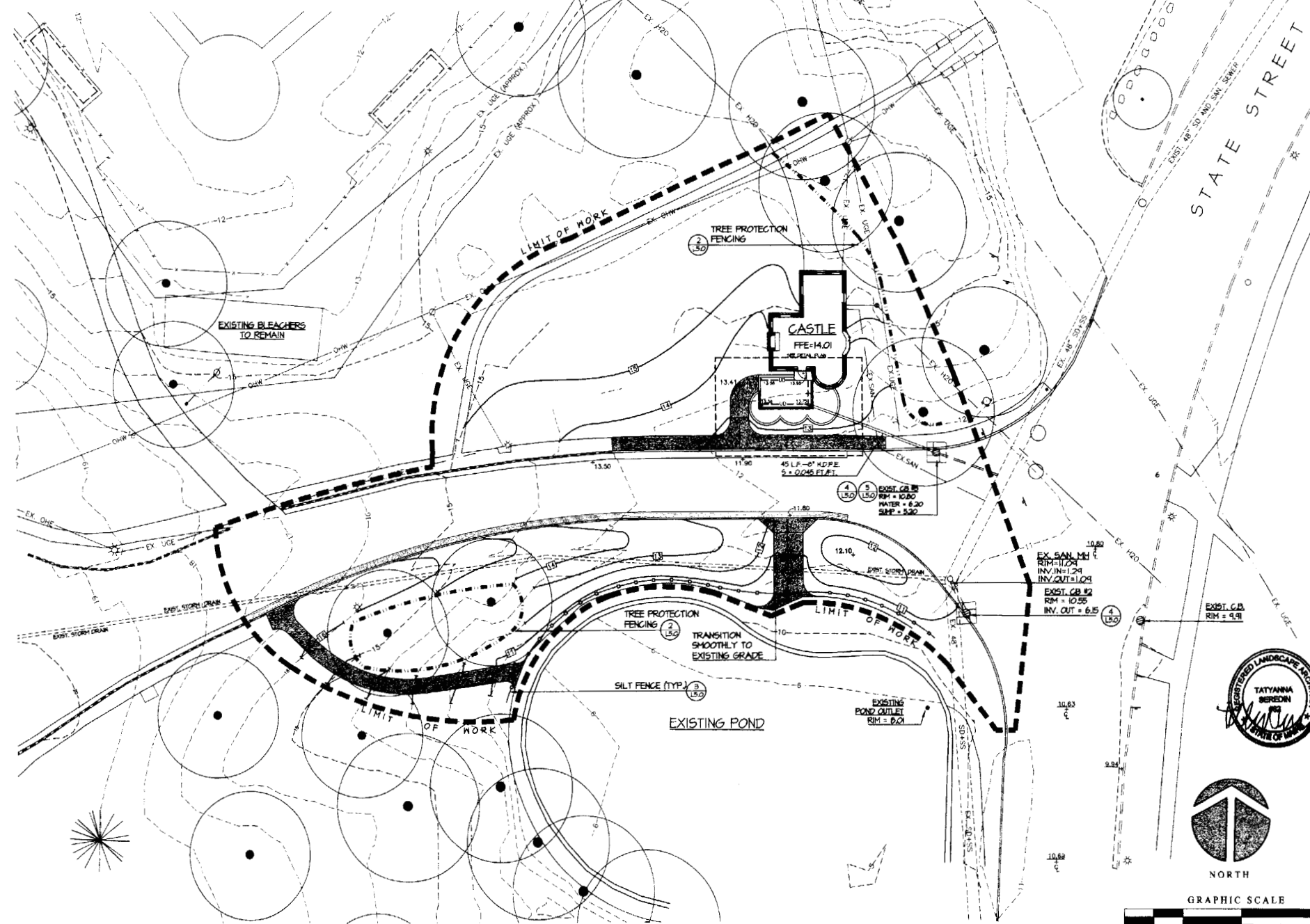
SHEET:  
**L-1.2**

**BID SEE 15 OCTOBER 2004**





ALTERNATE FIVE

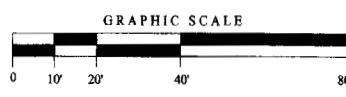


- GRADING AND UTILITIES NOTES:**
1. REFER TO SHEET L-2.0 FOR GENERAL NOTES
  2. PRIOR TO ANY CONSTRUCTION ACTIVITIES CONTRACTOR SHALL VERIFY ALL AFFECTED GRADES. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE
  3. ALL AREAS NOT REQUIRING GRADING SHALL BE LEFT UNDISTURBED. CONTRACTOR SHALL NOT DISRUPT THESE AREAS AND SHALL PRESERVE EXISTING VEGETATION
  4. GRADE ALL NEW WORK FOR POSITIVE DRAINAGE AND NO PUDDLING. MATCH EXISTING GRADES SMOOTHLY AND CONTINUOUSLY
  5. EROSION CONTROL MEASURES AT OUTLETS OF ALL STORM DRAINS SHALL REMAIN IN PLACE FOR
  6. ALL SANITARY SEWER CLEANOUT LOCATIONS, WORK, AND MATERIALS SHALL BE IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDE LINES (MOST RECENT EDITION)

- EROSION CONTROL:**
1. THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE EROSION CONTROL PLAN AS SHOWN ON DRAWINGS AND AS SPECIFIED PRIOR TO CONSTRUCTION
  2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE EROSION CONTROL PLAN AS OUTLINE IN THE PROJECT MANUAL
  3. THE CONTRACTOR SHALL COMPLY WITH THE MAINE EROSION AND SEDIMENT CONTROL BMPs MANUAL AS PUBLISHED BY THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION 2003 OR LATEST EDITION
  4. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING. ALL DISTURBED AREAS ON SITE NOT COVERED BY BUILDINGS OR PAVED AREA SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY THE EROSION CONTROL PLAN
  5. PERMANENT SEEDING OR STABILIZATION SHALL BE CARRIED OUT IMMEDIATELY AFTER FINAL GRADING IS COMPLETED OR TEMPORARY MEASURES SHALL BE APPLIED SUCH AS MULCHING OR SEEDING UNTIL PERMANENT MEASURES ARE IN PLACE
  6. CONTRACTOR SHALL STABILIZE ANY SOIL STOCKPILES WHICH WILL REMAIN UNUSED FOR MORE THAN 1 DAYS, OR PRIOR TO A STORM EVENT
  7. ALL EROSION CONTROL SHALL BE ROUTINELY INSPECTED AND REPAIRED IN ACCORDANCE WITH THE EROSION CONTROL PLAN FOR THE DURATION OF THE PROJECT UNTIL ALL AREAS ARE STABILIZED. REMOVE ACCUMULATED SILT AND SEDIMENT AS SPECIFIED AND MAINTAIN SILT FENCE IN GOOD CONDITION

**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE	---	---
LIMIT OF WORK	---	---
CONTOURS	---45---	---117.5---
SPOT GRADE		• 117.5
UTILITY POLE/WGUY	○	○
DRAINAGE MANHOLE	⊙	● SD MH #1
CATCH BASIN/FIELD INLET	■	■ CB #1
STORM DRAIN	---	---SD---
UNDERDRAIN	---	---UD---
FENCE	---	---
WATER	---EX H2O---	---
UNDERGROUND ELECTRIC	---EX E---	---UG E---
OVERHEAD ELECTRIC/TELEPHONE	---FOHE---	---
SANITARY SEWER	---ESAN---	---SAN---
6 A S LINE	---GAS---	---GAS---
CLEANOUT		• C.O.
EROSION CONTROL FENCING	---	---
TREE PROTECTION FENCING	---	---
CATCH BASIN/FIELD INLET PROTECTION		■
REGULATORY SIGNAGE		+
NOT IN CONTACT		N.C.
DETAIL NUMBER		⊙
SHEET NUMBER		⊙
BITUMINOUS PAVEMENT -- NALK		■
COBBLE STOVE CUTTER		■
SITE LIGHTING		☆



Architect:  
 TURK TRACY & LARRY  
 ARCHITECTS, LLC  
 92 EXCHANGE STREET  
 PORTLAND, MAINE 04101  
 TEL. 207.761.9662  
 FAX. 207.761.9666

Deering Oaks Rehabilitation  
**CASTLE AND SURROUNDING GROUNDS**  
 CITY OF PORTLAND  
 PORTLAND, MAINE

DATE: 15 OCTOBER 2004  
 DRAWN BY: JTS/MK

REVISIONS:

TITLE:  
**GRADING AND DRAINAGE PLAN**

HEET:  
**L-3.0**

BID SET: 15 OCTOBER 2004





MORDIN  
Landscape Architects, Inc.  
18 Pleasant Street, Portland, Maine 04101  
ph. 1.207.871.0003  
fax. 1.207.871.1419

Architect:  
TURK TRACEY & LARRY  
ARCHITECTS, LLC  
90 EXCHANGE STREET  
PORTLAND, MAINE 04101  
TEL. 207.761.9662  
FAX. 207.761.9696

Deering Oaks Rehabilitation  
**CASTLE AND SURROUNDING GROUNDS**  
 CITY OF PORTLAND  
 PORTLAND, MAINE

DATE: 15 OCTOBER 2004  
SCALE: 1" = 20'  
DRAWN BY: TS/MK

REVISIONS:

TITLE:  
UTILITIES PLAN

SHEET:  
**L-4.0**

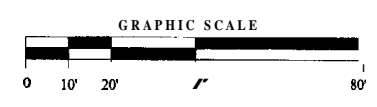
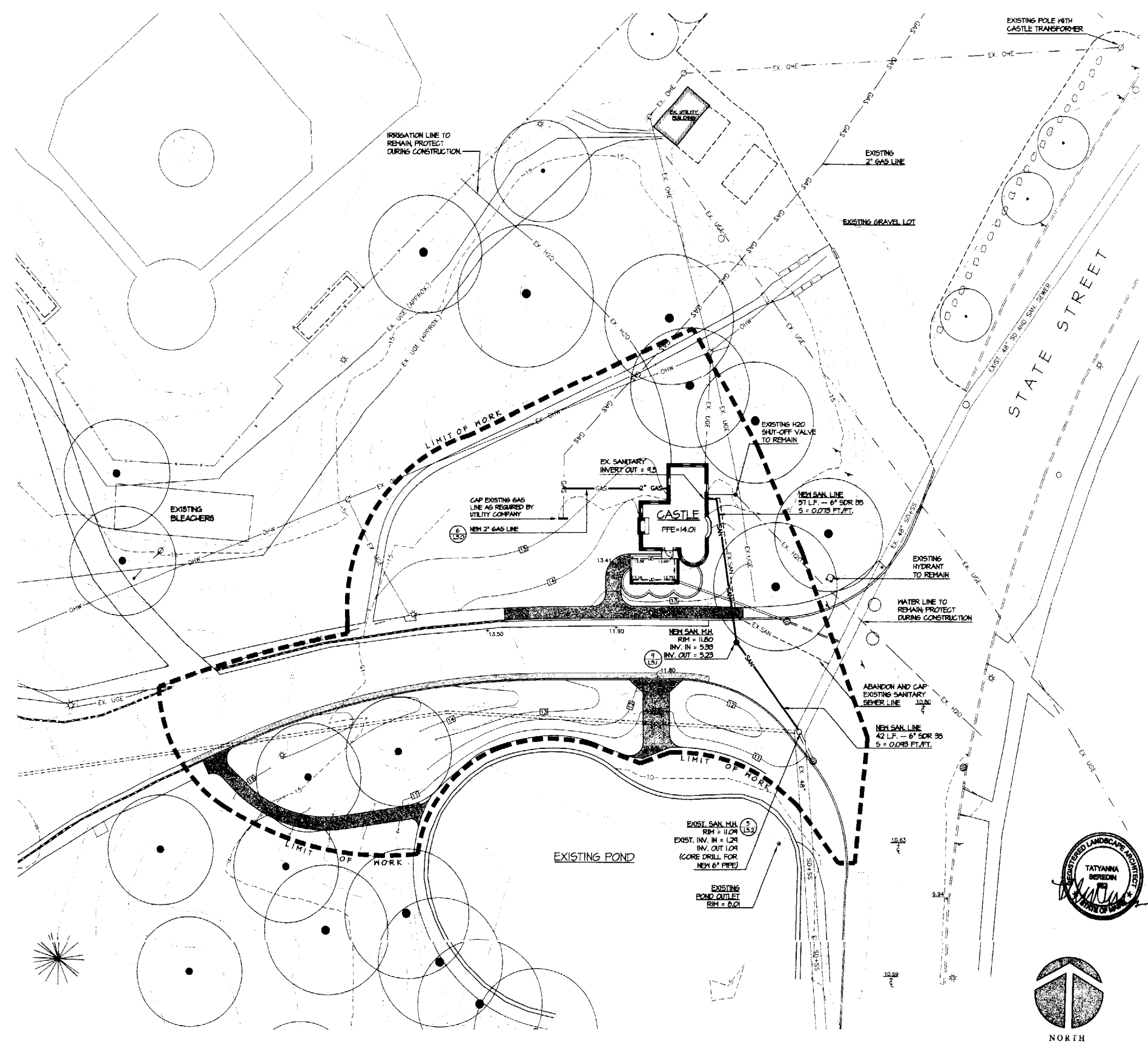
- 1 GRADING AND UTILITIES NOTES**
- PRIOR TO ANY CONSTRUCTION ACTIVITIES CONTRACTOR SHALL VERIFY ALL AFFECTED GRADES. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE.
  - ALL AREAS NOT REQUIRING GRADING SHALL BE LEFT UNDISTURBED. CONTRACTOR SHALL NOT DISTURB THESE AREAS AND SHALL PRESERVE EXISTING VEGETATION.
  - GRADE ALL NEW WORK FOR POSITIVE DRAINAGE AND NO PUDDLING. WATCH EXISTING GRADES SMOOTHLY AND CONTINUOUSLY.
  - EROSION CONTROL MEASURES AT OUTLETS OF ALL STORM DRAINS SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT.
  - ALL SANITARY SEWER CLEAN OUT LOCATIONS WORK AND MATERIALS SHALL BE IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL (AM) DESIGN STANDARDS AND GUIDELINES (MOST RECENT EDITION).

**EROSION CONTROL:**

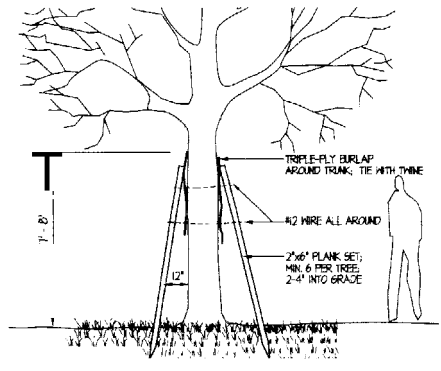
- THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH THE EROSION CONTROL PLAN AS SHOWN ON DRAWINGS AND AS SPECIFIED PRIOR TO CONSTRUCTION.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE EROSION CONTROL PLAN AS OUTLINE IN THE PROJECT MANUAL.
- THE CONTRACTOR SHALL COMPLY WITH THE MAINE EROSION AND SEDIMENT CONTROL BYES MANUAL AS PUBLISHED BY THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION 2003 OR LATEST EDITION.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING. ALL DISTURBED AREAS ON SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR O.W.R. METHODS AS REQUIRED BY THE EROSION CONTROL PLAN.
- PERMANENT SEEDING OR STABILIZATION SHALL BE CARRIED OUT IMMEDIATELY AFTER FINAL GRADING IS COMPLETED OR TEMPORARY MEASURES SHALL BE APPLIED SUCH AS MULCHING OR SEEDING UNTIL PERMANENT MEASURES ARE IN PLACE.
- CONTRACTOR SHALL STABILIZE ANY SOIL STOCKPILES WHICH WILL REMAIN UNUSED FOR MORE THAN 7 DAYS, OR PRIOR TO A STORM EVENT.
- ALL EROSION CONTROL SHALL BE ROUTINELY INSPECTED AND REPAIRED IN ACCORDANCE WITH THE EROSION CONTROL PLAN FOR THE DURATION OF THE PROJECT UNTIL ALL AREAS ARE STABILIZED. REMOVE ACCUMULATED SILT AND SEDIMENT AS SPECIFIED AND MAINTAIN SILT FENCE IN GOOD CONDITION.

**LEGEND**

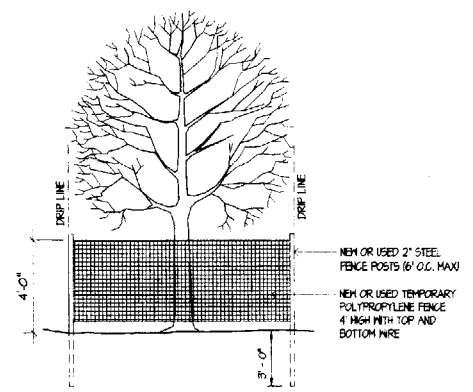
	EXISTING	PROPOSED
PROPERTY LINE	---	---
LIMIT OF WORK	---	-----
CONTOURS	○	○
SPOT GRADE	+	+ 117.3
UTILITY POLE W/ GUY	○	○
DRAINAGE MANHOLE	⊙	● SD MHP
CATCH BASIN/FIELD INLET	⊞	⊞
STORM DRAIN	---	---
UNDERDRAIN	---	---
FENCE	---	---
WATER	---	---
UNDERGROUND ELECTRIC	---	---
OVERHEAD ELECTRIC/TELEPHONE	---	---
SANITARY SEWER	---	---
GAS LINE	---	---
CLEANOUT	○	○
EROSION CONTROL FENCING	---	---
TREE PROTECTION FENCING	---	---
CATCH BASIN/FIELD INLET PROTECTION	⊞	⊞
NOT IN CONTRACT	N.I.C.	N.I.C.
DETAIL NUMBER	○	○
SHEET NUMBER	○	○
BITUMINOUS PAVEMENT WALK	---	---
COBBLE STONE GUTTER	---	---
SITE LIGHTING	☆	☆



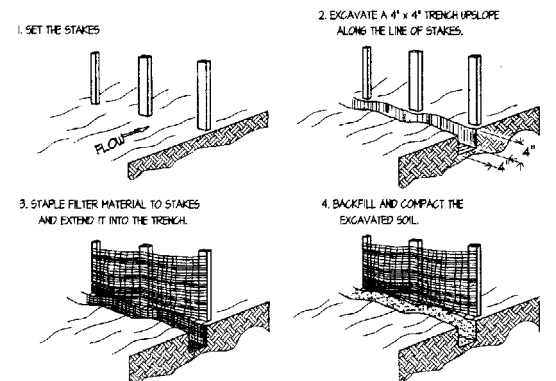
BID SEE 15 OCTOBER 2004



1 TREE PROTECTIVE PLANKING  
L.S.O NOT TO SCALE

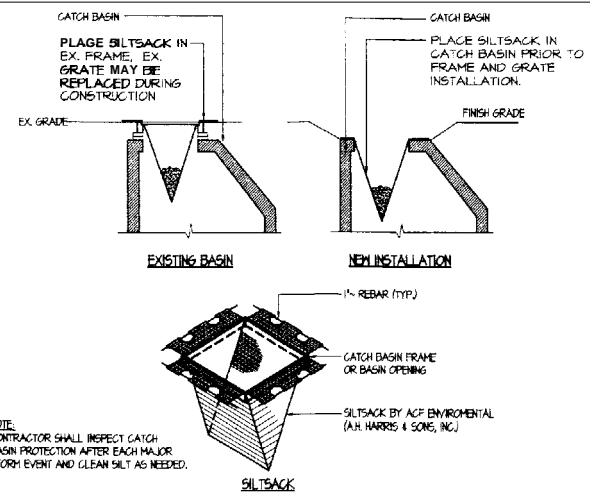


2 TREE PROTECTION FENCING  
L.S.O NOT TO SCALE



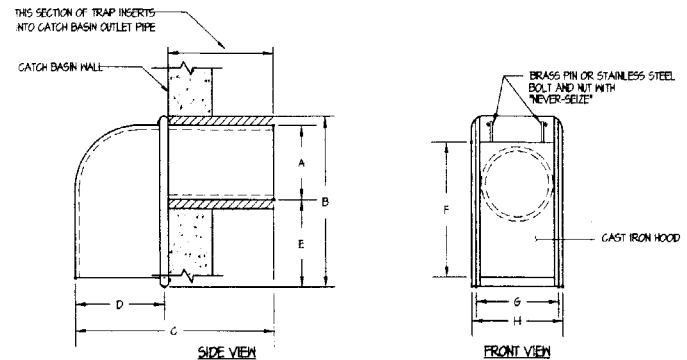
NOTES:  
1 USE 4 TO 4 1/2" STAKES EMBEDDED TO A MINIMUM OF 1 FOOT  
2 EXTRA-STRENGTH FILTER FABRIC REQUIRED  
3 PREFABRICATED SILTATION FENCING MAY BE SUBSTITUTED WHERE APPROVED AND INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS AND INSTALLATION INSTRUCTIONS.

3 SILT FENCE INSTALLATION  
L.S.O NOT TO SCALE



NOTE: CONTRACTOR SHALL INSPECT CATCH BASIN PROTECTION AFTER EACH MAJOR STORM EVENT AND CLEAN SILT AS NEEDED.

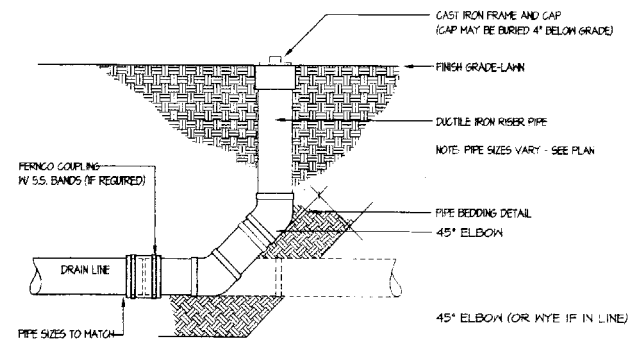
4 CATCH BASIN PROTECTION  
L.S.O NOT TO SCALE



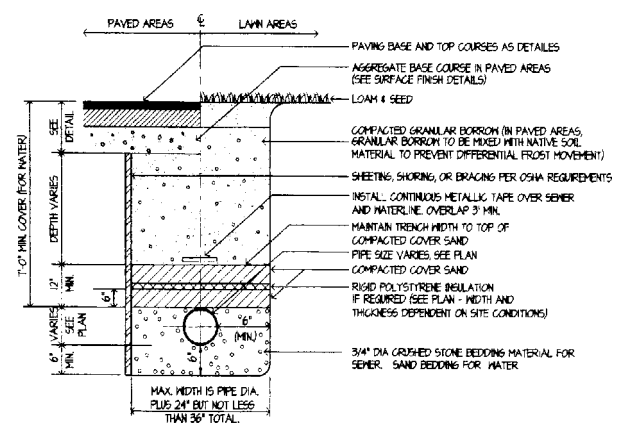
SIZE	A	B	C	D	E	F	G	H
6 in.	5 1/2"	13 3/8"	13 3/4"	5 3/8"	5 7/8"	11 5/8"	6 1/2"	7 1/4"
8 in.	7 1/2"	15"	15 3/8"	5 1/2"	5 3/8"	13 3/4"	8 3/4"	9 3/8"
10 in.	9 1/2"	16"	16 1/4"	6"	4 1/2"	14 1/8"	11 1/2"	12 3/8"
12 in.	11 1/2"	17"	22"	8"	3 1/2"	17"	12 1/2"	15 3/8"

(AS MANUFACTURED BY THE ETHERIDGE FOUNDRY IN PORTLAND, ME)  
NOTE: CONTRACTOR UTILIZE THE "CASCO TRAP" AS MANUFACTURED BY THE ETHERIDGE FOUNDRY. APPROVED EQUIVALENT AS SUPPLIED BY THE LEBARON FOUNDRY, MODEL # L 202 "STANDARD CATCH BASIN TRAP"

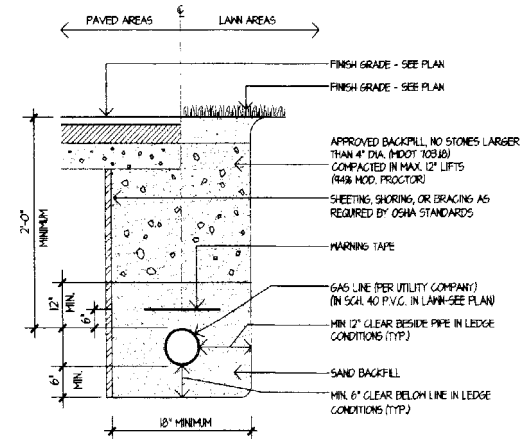
5 CITY OF PORTLAND CASCO TRAP  
L.S.O NOT TO SCALE



7 PIPE CLEANOUT  
L.S.O NOT TO SCALE



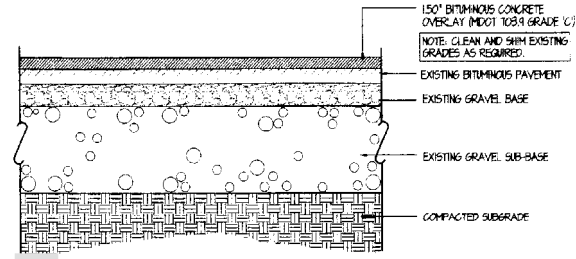
8 PIPE BEDDING  
L.S.O NOT TO SCALE



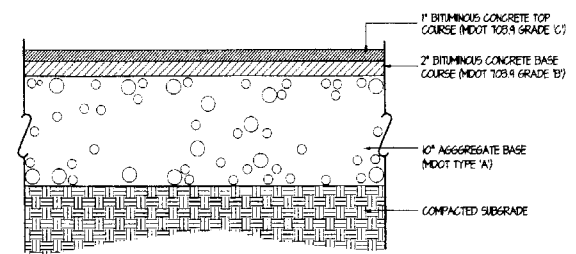
6 GAS LINE TRENCH  
L.S.O NOT TO SCALE

Deering Oaks Rehabilitation  
CASTLE AND SURROUNDING GROUNDS  
CITY OF PORTLAND  
PORTLAND, MAINE

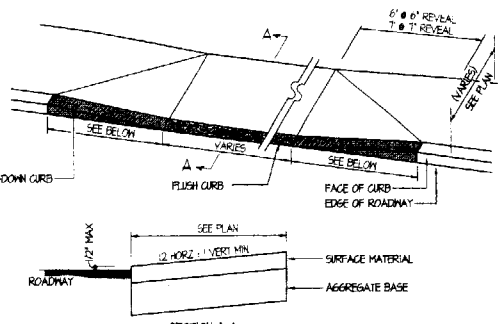




1 ALTERNATE NO. TWO: BITUMINOUS CONCRETE PAVEMENT OVERLAY  
L.S.1 NOT TO SCALE

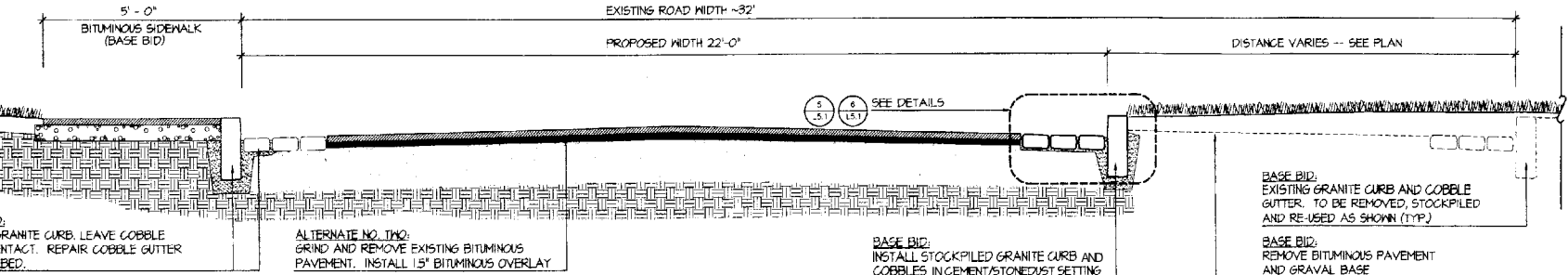


2 BITUMINOUS CONCRETE WALKWAY PAVEMENT  
L.S.1 NOT TO SCALE

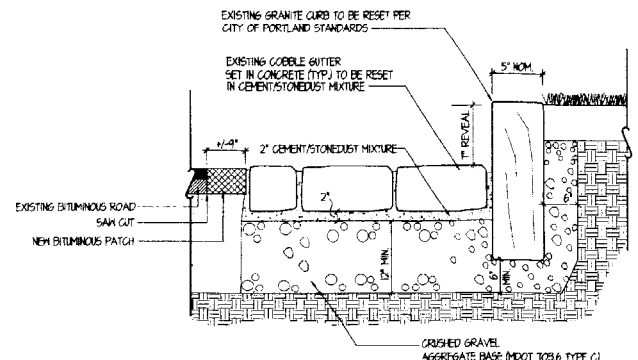


NOTES:  
1. THE DIMENSIONS SHOWN AT ROADWAY EDGE ARE FIXED DISTANCES.  
2. RAMP CROSS SECTION TO BE SAME AS ADJACENT SIDEWALK, LEADERSHIP OF SURFACE MATERIAL AND GRAVEL BASE.  
3. TIP-DOWN CURB LENGTHS: 7' LENGTH FOR 6" REVEAL, 6' LENGTH FOR 4" REVEAL.

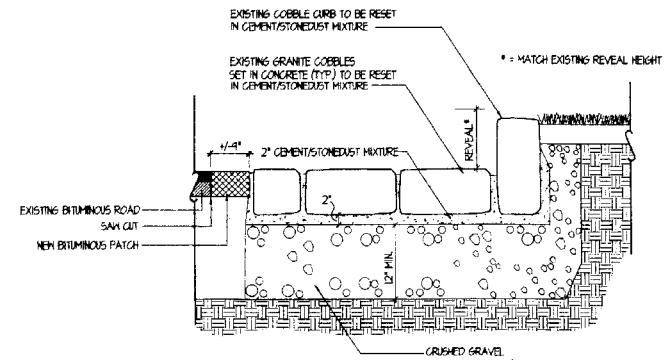
3 ACCESSIBLE RAMP AND TIP-DOWN CURB  
L.S.1 NOT TO SCALE



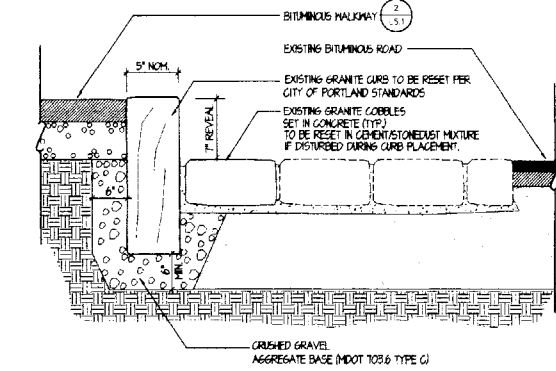
4 ROAD SECTION  
L.S.1 SCALE: 1/2" = 1'-0"



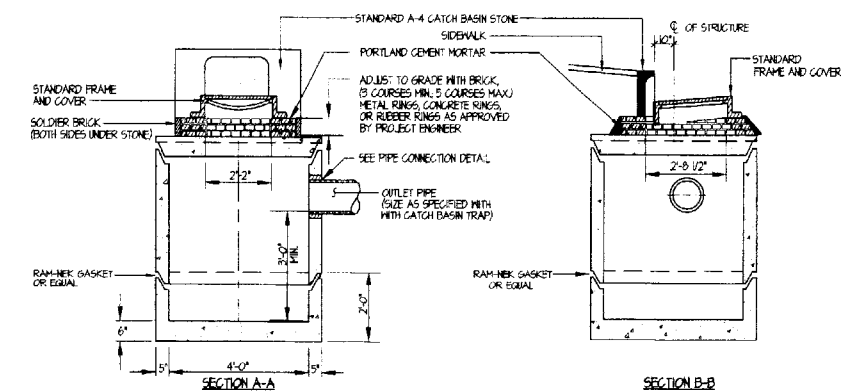
5 GRANITE CURB/COBBLE GUTTER -- EAST  
L.S.1 NOT TO SCALE



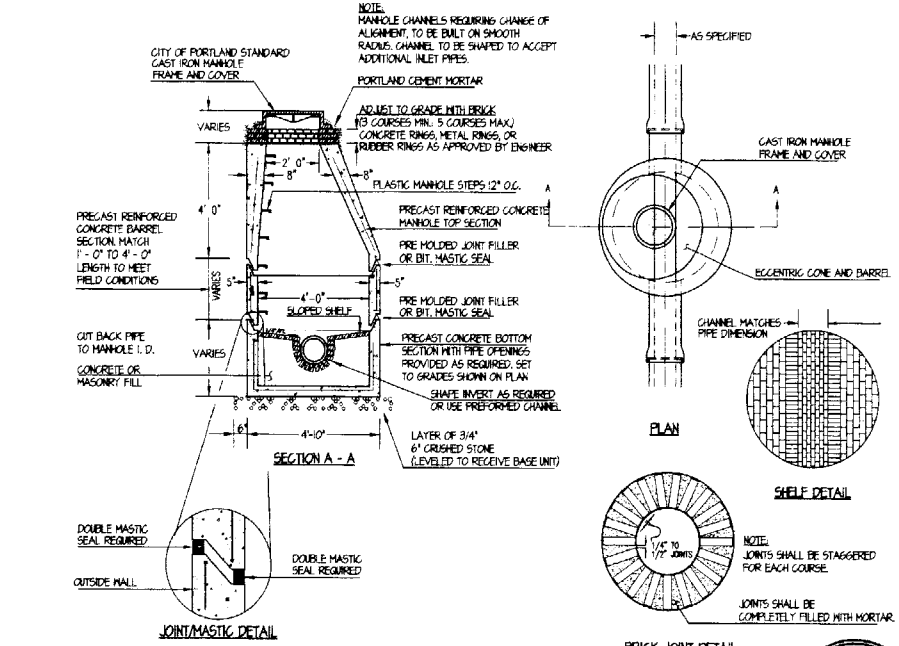
6 COBBLE CURB/COBBLE GUTTER -- EAST  
L.S.1 NOT TO SCALE



7 GRANITE CURB RESET -- WEST  
L.S.1 NOT TO SCALE



8 PRECAST CONCRETE CATCH BASIN - TYPE "E" (ALTERNATE #5)  
L.S.1 NOT TO SCALE



9 SANITARY SEWER MANHOLE  
L.S.1 NOT TO SCALE

**GENERAL NOTES FOR CATCHBASINS AND MANHOLES:**

- ALL CONCRETE SHALL BE A CLASS "A" AND HAVE A MINIMUM ULTIMATE STRENGTH OF 4000 PSI PER SQ. INCH AT THE END OF 28 DAYS, UNLESS OTHERWISE NOTED.
- PRE CAST REINFORCED CONE BARREL MANUFACTURE PER ASTM SPEC. G-476-67.
- SEWER BRICK TO CONFORM TO ASTM SPEC. DESIGNATE ON G-32-63, GRADE MA AND SA.
- ALL MANHOLES SHALL HAVE A BITUMINOUS WATERPROOFING APPLIED TO THE EXTERIOR SURFACE. IF CONSTRUCTION OF BRICK MASONRY, THE SMOOTH MORTAR SURFACE SHALL BE PLASTERED WITH A SMOOTH FINISH 3/8" THICK. AFTER THE MORTAR HAS SET, THE SURFACE SHALL BE WATERPROOFED AS REQUIRED BY SUPPLEMENTAL SPECIFICATIONS SECTION 604.
- CASTINGS SHALL CONFORM TO ASTM DESIGNATION A48-CLASS 35. ALL PARTS OF CASTINGS, EXCEPT FINISHED SURFACE, SHALL RECEIVE A COAT OF COAL TAR PITCH VARNISH OR ASPHALTUM PAINT WHICH SHALL BE SMOOTH AND TOUGH BUT NOT BRITTLE.
- MANHOLES MAY BE CONSTRUCTED OF MASONRY, PRE CAST REINFORCED CONCRETE, OR CAST IN PLACE.
- ALL PRE CAST MANHOLES AND CATCH BASINS SHALL BE IDENTIFIED BY BRISTLE MARK AND NUMBERED, PAINTED ON THE SIDE OF THE STRUCTURE BY THE MANUFACTURER.
- STORM AND SEWER MANHOLES SHALL HAVE SOLID COVERS WITH ONE DRILLED HOLE.
- EXISTING MANHOLES AND CATCH BASINS FRAMES AND COVERS SHALL BE SALVAGED BY THE CONTRACTOR, AND REMAIN THE PROPERTY OF THE CITY OF PORTLAND.



M O D I N  
Landscape Architects, Inc.  
18 Pleasant Street, Portland, Maine 04101  
ph: 1.207.871.0003  
fax: 1.207.871.1419

Architect:  
TURK TRACY & LARRY  
ARCHITECTS, LLC  
92 EXCHANGE STREET  
PORTLAND, MAINE 04101  
TEL: 207.681.9662  
FAX: 207.681.9696

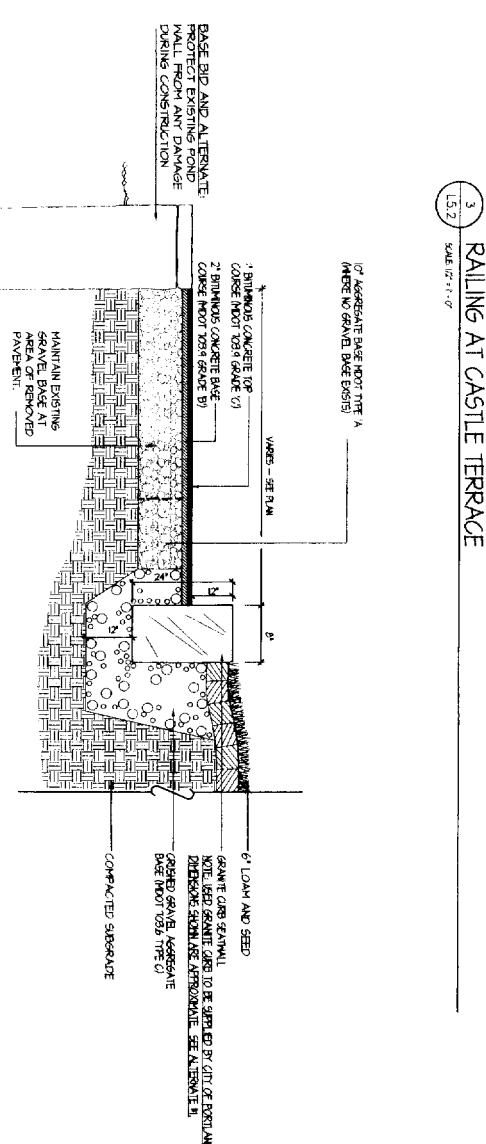
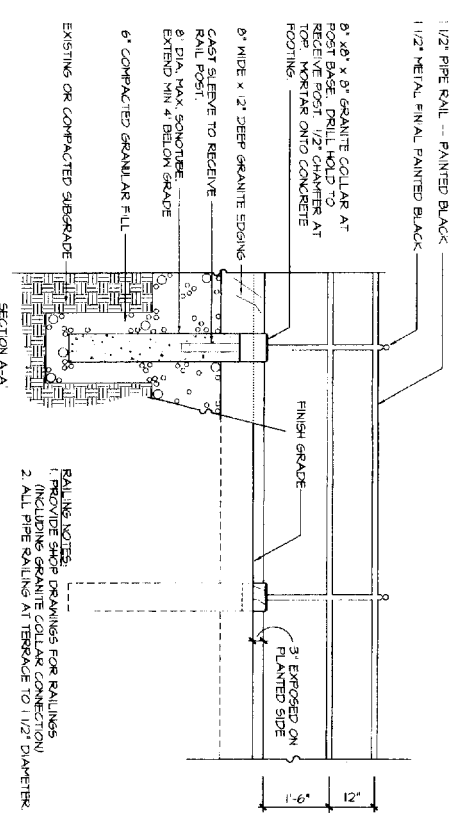
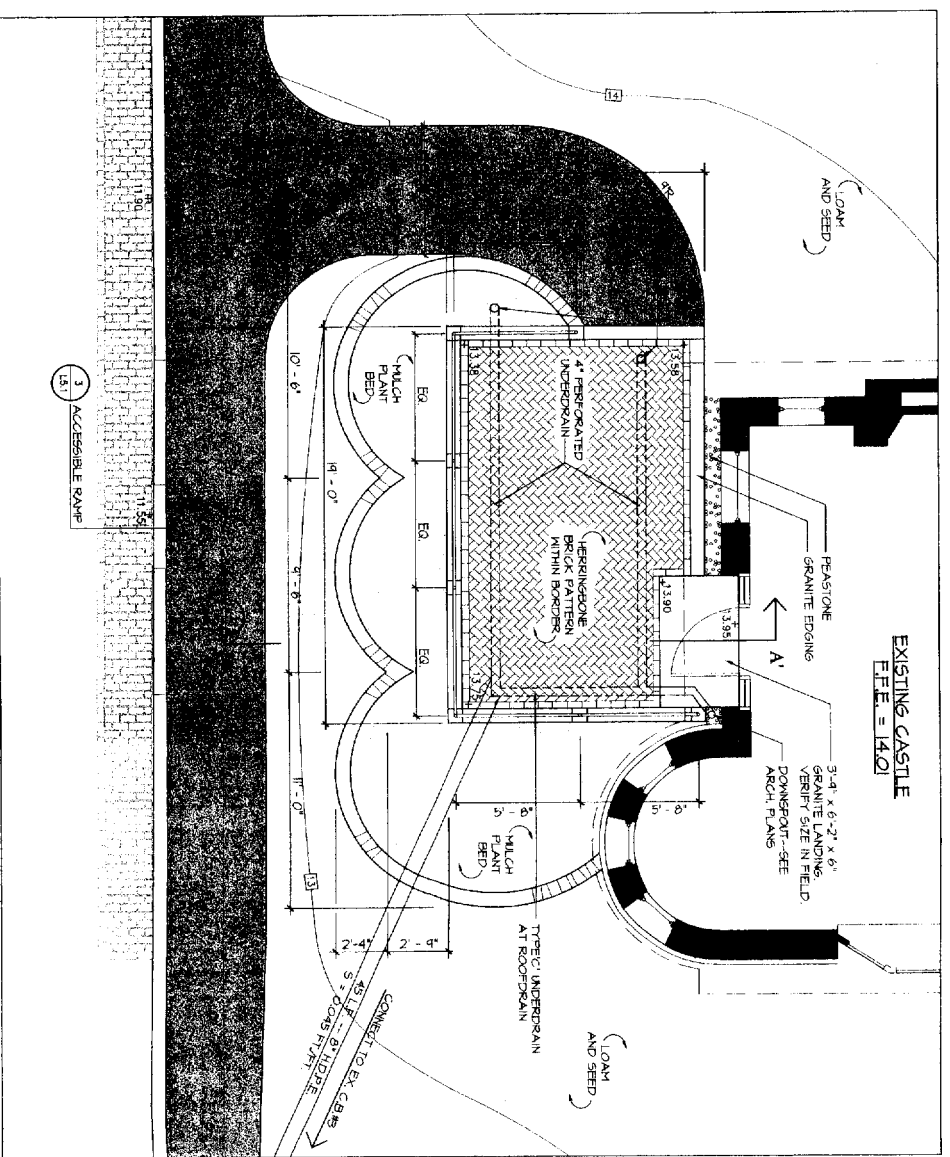
Deering Oaks Rehabilitation  
 CASTLE AND SURROUNDING GROUNDS  
 CITY OF PORTLAND  
 PORTLAND, MAINE

DATE: 15 OCTOBER 2004  
SCALE: AS SHOWN  
DRAWN BY: TS/MK

REVISIONS:

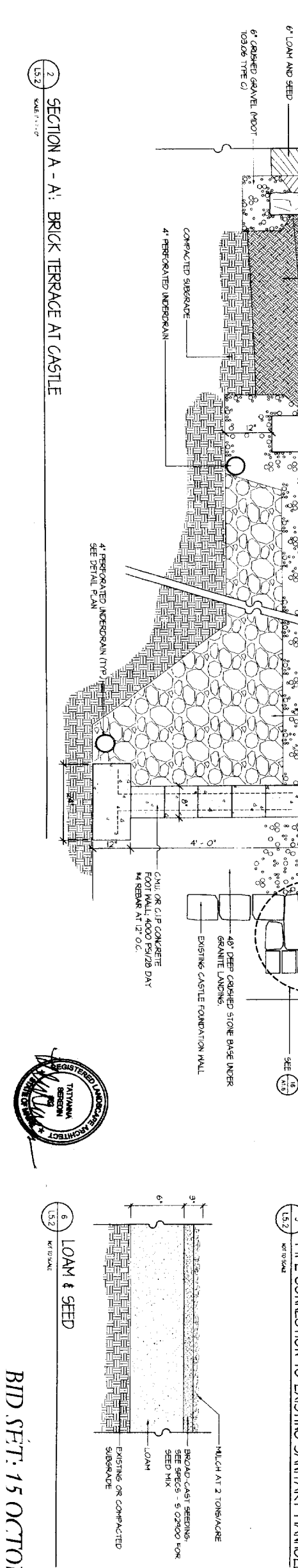
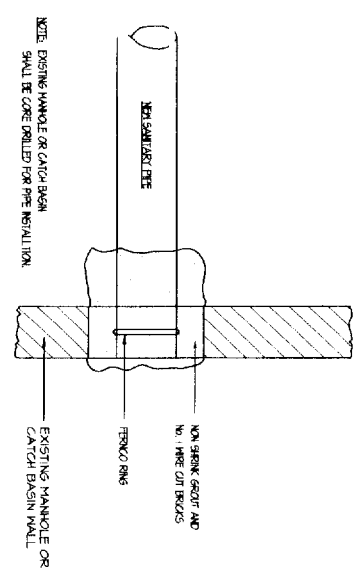
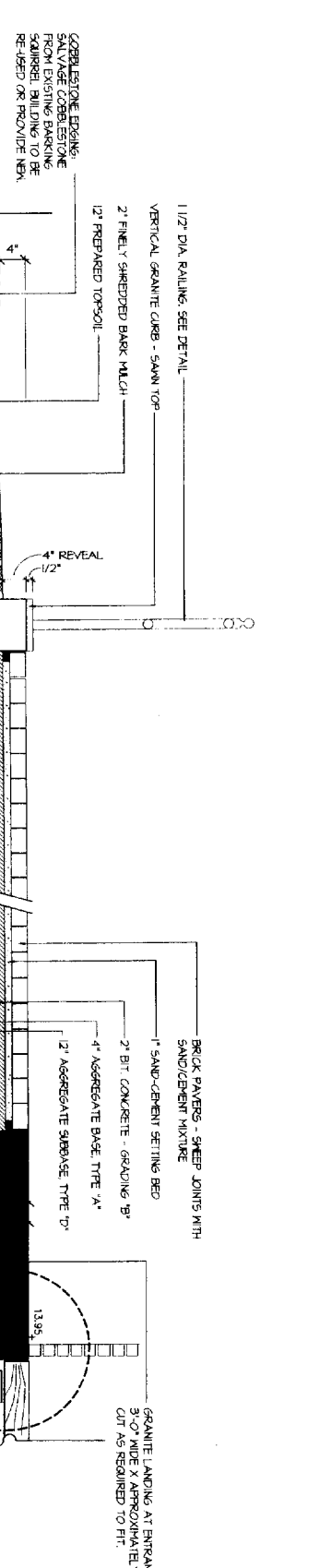
TITLE:  
SITE DETAILS  
SHEET:  
L-5.1





**1 DETAIL PLAN: TERRACE AT CASTLE**  
SCALE 1/4" = 1'-0"

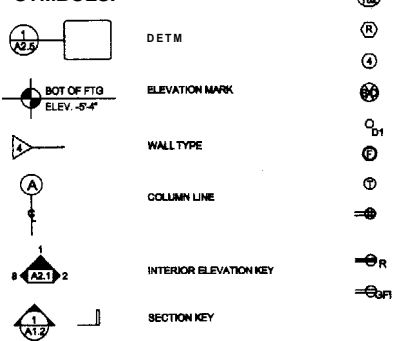
**5 PIPE CONNECTION TO EXISTING SANITARY MANHOLE**  
SCALE 1/2" = 1'-0"



**GENERAL NOTES:**

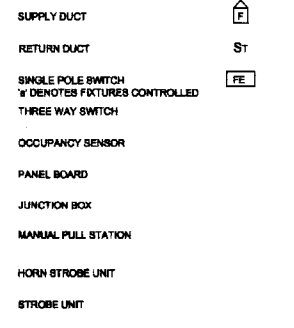
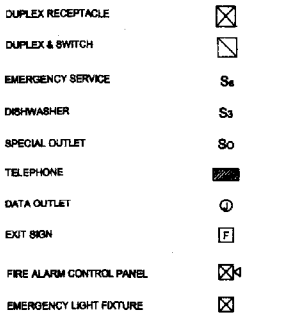
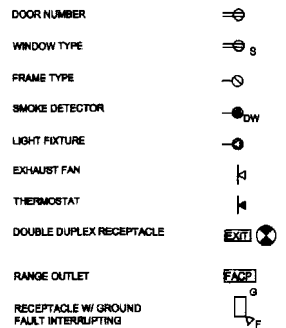
- IT IS THE INTENT OF THE DRAWINGS AND SPECIFICATIONS TO HAVE THE CONTRACTOR PROVIDE A COMPLETE BUILDING. THE DRAWINGS SHOW THE DESIGN AND LAYOUT. DESCRIBE THE QUALITY LEVEL AND CONSTRUCTION TECHNIQUES IN A GENERAL SENSE ONLY. ALL DETAILS ARE TYPICAL. WHAT IS SHOWN IN ONE CONDITION IS APPLICABLE TO ALL OTHER SIMILAR CONDITIONS.
- THE GENERAL CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY WORK.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- THE GENERAL CONTRACTOR SHALL VERIFY THE SIZE AND LOCATION OF ALL UTILITIES AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- THE GENERAL CONTRACTOR SHALL WORK FROM GIVEN DIMENSIONS AND LARGE SCALE DETAILS ONLY. DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS ARE TO FACE OF STUD U.N.O.
- INSTALL SOLID 2X8 BLOCKING BEHIND ALL SURFACE-APPLIED FIXTURES, TRIM, HANDRAILS, AND MISCELLANEOUS ACCESSORIES WHERE MOUNTED ON STUD WALL.
- ALL HANDRAILS SHALL SUPPORT A DEAD WEIGHT OF 250 POUNDS AT ANY POINT.
- TAKE PARTICULAR CARE TO INSURE THAT EXISTING MATERIALS, COMPONENTS, OR FABRIC OF THE BUILDING TO REMAIN IN PLACE, TO BE REUSED, OR TO BE RESTORED ARE NOT DAMAGED OR DETERIORATED IN ANY WAY BY SELECTIVE DEMOLITION AND RESTORATION OPERATIONS. ALL WORKMEN SHALL ACCORD THE AGE AND HISTORIC SIGNIFICANCE OF THE BUILDING THE SAME RESPECT NORMALLY GIVEN TO A NEWLY COMPLETED STRUCTURE.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS COMPONENTS.
- ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL NATIONAL, STATE AND LOCAL CODES, ORDINANCES AND AGENCY REQUIREMENTS.
- ADD & DEDUCT ALTERNATES ARE DESCRIBED IN THE PROJECT MANUAL.
- THE CONTRACTOR SHALL SECURELY ATTACH TO MASONRY STRUCTURE ALL BLOCKING BEHIND SURFACE APPLIED FIXTURES, CABINETRY, TRIM, AND MISCELLANEOUS ACCESSORIES WHERE MOUNTED ON MASONRY WALL.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS, SHOWING ANY SUBSTANTIVE CHANGES TO THE ARCHITECT'S ATTENTION.

**SYMBOLS:**



**ABBREVIATIONS LIST:**

AB	Anchor Bolt	DR	Door	GALV	Galvanized	MH	Manhole	OR	Quarter Round	SPIC	Specification	V	Ventish
ADOL	Additional	DTL	Detail	GB	Grab Bar	MIN	Minimum	R	Radius	SPKR	Speaker	VB	Vapor Barrier
ADJ	Adjustable	DWG	Drawing	GR	Ground Fault Interrupter	MISC	Miscellaneous	RD	Round	SQ	Square	VCT	Vinyl Composition Tile
AFF	Above Finish Floor	E	East	GL	Glass, Clearing	MDO	Molding, Moulding	RESNF	Reinforce (S, (ing))	SS	Stainless Steel	VERT	Vertical
ALT	Alternate	EA	Each	GWB	Gypsum Wall Board	MO	Masonry Opening	RE	Reference (Regarding)	STD	Standard	VF	Verify in Field
APPROX	Approximate	EL	Elevation	HC	Handicapped	MR	Moldure Resistant	REQD	Required	STL	Steel	WVC	Vinyl Wall Covering
ARCH	Architectural	ELEC	Electrical	HD	Head	MROR	Moldure Resistant Gypsum Board	REV	Revelation (s), (Revised)	STOR	Storage	W	West
BD	Board	EMER	Emergency	HD	High Density Overlay	REV	Right Hand	STOR	Structure	STRUC	Structure	WB	White Board
BF	Bentley-Free	EQ	Equal	HDWR	Hardware	RH	Room	STUR	Support	RM	Room	WC	Water Closet
BIT	Bituminous	EQMP	Equipment	HR	Horizontal	RO	Rough Opening	SUSP	Suspend (ed)	RD	Rough Opening	WD	Wood
BOLG	Bolting	EXST	Existing	HR	Hand Rail	S	South	SUP	Support	SV	Sheet Vinyl	WGL	Wire Glass
BOLG	Bolting	EXT	Exterior	HT	Height	NA	Not Applicable	SAT	Supported Acoustical Tile	TB	Towel Bar	WID	Without
BOT	Bottom	FBO	Furnished by Owner	ID	Inside Diameter	NIC	Not in Contract	SBO	Number	TBD	To Be Determined	WIM	Welded Wire Mesh
BRK	Brick	FE	Finish	IN	Inch (es)	NTS	Not To Scale	SC	Solid Core	T&G	Tongue & Groove	YD	Yard
CC	Center to Center	FEE	Finished Floor Elevation	IN	Include (S), (ing)	OC	On Center	SCHED	Schedule	TGL	Tempered Glass		
CL	Centerline	FIN	Finish	INFO	Information	OD	Outside Diameter	SD	Storm Drain	TRK	Track (truss)		
CLG	Ceiling	FIN GR	Finish Grade	INT	Interior	OPH	Opposite Hand	SECT	Section	TO	Top Of		
CLR	Clear	FLR	Floor (ing)	JOINT	Joint	OPN	Opening	SF	Square Foot	TPD	Toilet Paper Dispenser		
CONC	Concrete	FO	Face of	JT	Joint	OPP	Opposite	SGL	Safety Glass	TV	Television		
CONT	Continuous or Continue	FRMG	Frame (ing)	LAV	Litral Foot	P or PTD	Paint	SH	Shower	TYP	Typical		
DEMO	Demolish	FT	Foot (Feet)	LH	Left Hand	PERM	Perimeter	SHT	Sheet	UNC	Unless Noted Otherwise		
DIAM	Diameter	FTG	Footing	MATL	Material	PRKG	Parking	SHTHG	Sheeting	UV	Unit Ventilator		
DN	Down			MAX	Maximum	PL	Plate	SHR	Shriner				
				MECH	Mechanical (ed)	PLYWD	Plywood	SLNT	Slanted				
				MFR	Manufacturer	PART	Partition	SND	Sanitary Napkin Dispenser				



WINDOW #	TYPE	MAT	FRAME	SASH	HEAD	JAMB	SILL	REMARKS
101	E	WD	EXIST	NEW	4/A1.8	8/A1.8	14/A1.8	
102	B	WD	EXIST	NEW	4/A1.8	8/A1.8	7/A1.8	
103	B	WD	EXIST	NEW	4/A1.8	8/A1.8	7/A1.8	
104	E	WD	EXIST	NEW	4/A1.8	8/A1.8	14/A1.8	
105	C	WD	EXIST	NEW	4/A1.8	8/A1.8	14/A1.8	
106	C	WD	EXIST	NEW	4/A1.8	8/A1.8	14/A1.8	
107	C	WD	EXIST	NEW	4/A1.8	8/A1.8	14/A1.8	
108	D	WD	NEW	NEW	4/A1.8	8/A1.8	14/A1.8	
109	F	WD	NEW	NEW	1/A1.8	1/A1.8	1/A1.8	
110	F	WD	NEW	NEW	1/A1.8	1/A1.8	1/A1.8	
111	F	WD	NEW	NEW	1/A1.8	1/A1.8	1/A1.8	
112	B	WD	EXIST	NEW	8/A1.8	WAL.8	8/A1.8	
113	B	WD	EXIST	NEW	8/A1.8	8/A1.8	8/A1.8	
114	E	WD	EXIST	NEW	8/A1.8	8/A1.8	8/A1.8	
115	A	WD	NEW	NEW	8/A1.8	8/A1.8	8/A1.8	
116	A	WD	NEW	NEW	8/A1.8	8/A1.8	8/A1.8	
117	A	WD	NEW	NEW	8/A1.8	8/A1.8	8/A1.8	

**WINDOW SCHEDULE** NTS



18 Pleasant Street, Portland, Maine 04101  
(207)761-0003

Architect:  
TURK TRACEY & LARRY  
ARCHITECTS, LLC  
92 EXCHANGE STREET  
PORTLAND, MAINE 04101  
TEL: 207.761.9662  
FAX: 207.761.9696

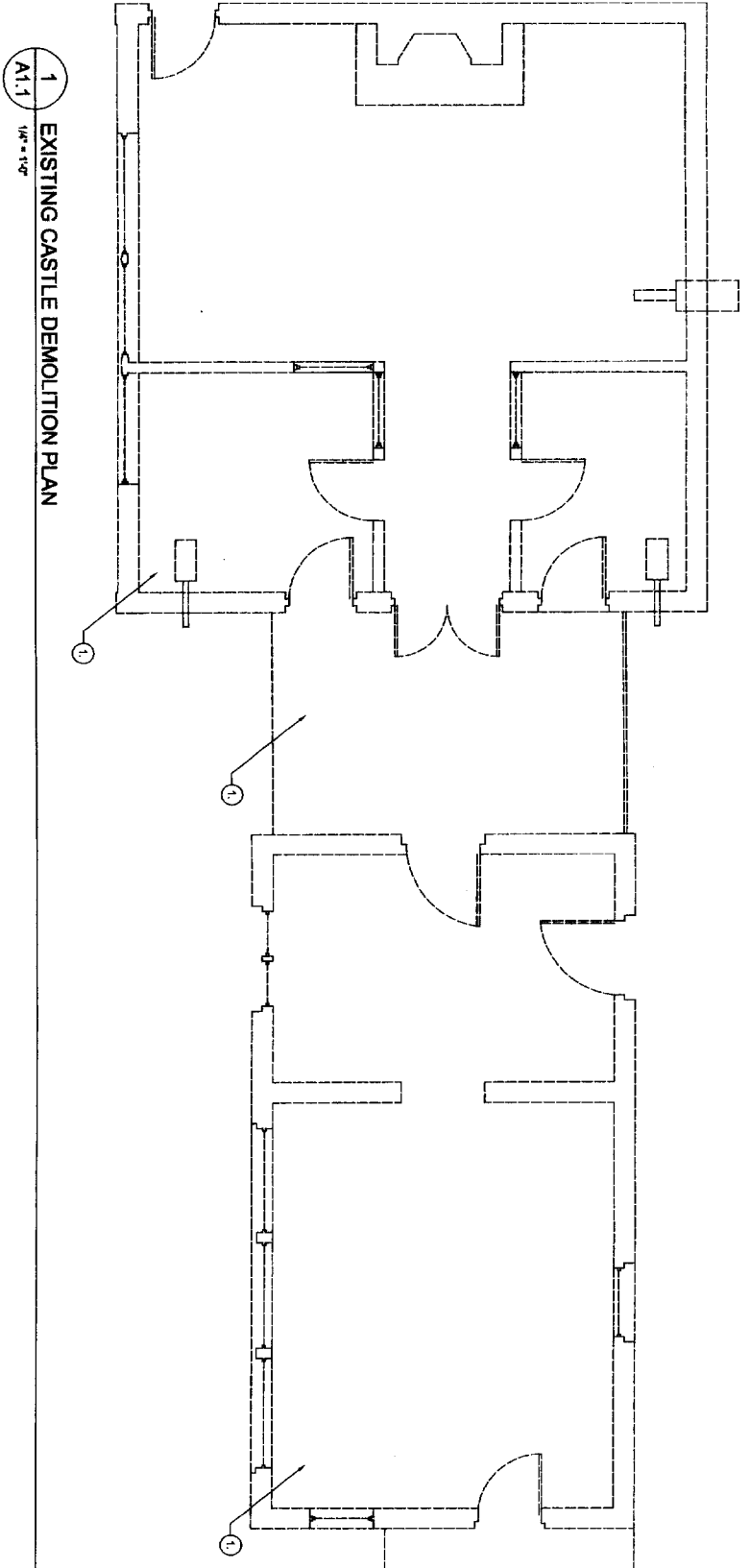


Deering Oaks Rehabilitation  
**CASTLE AND SURROUNDING GROUNDS**  
 CITY OF PORTLAND  
 PORTLAND, MAINE

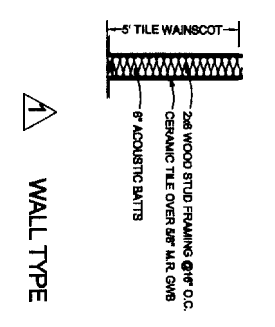
SCALE: 2 August 2004

DRAWN BY: JAL

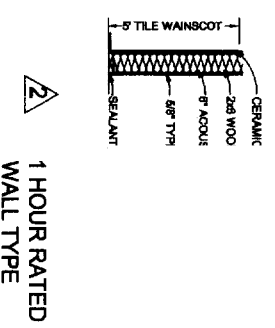
TITLE:  
GENERAL NOTES  
& SYMBOLS



1 EXISTING CASTLE DEMOLITION PLAN  
1/4" = 1'-0"



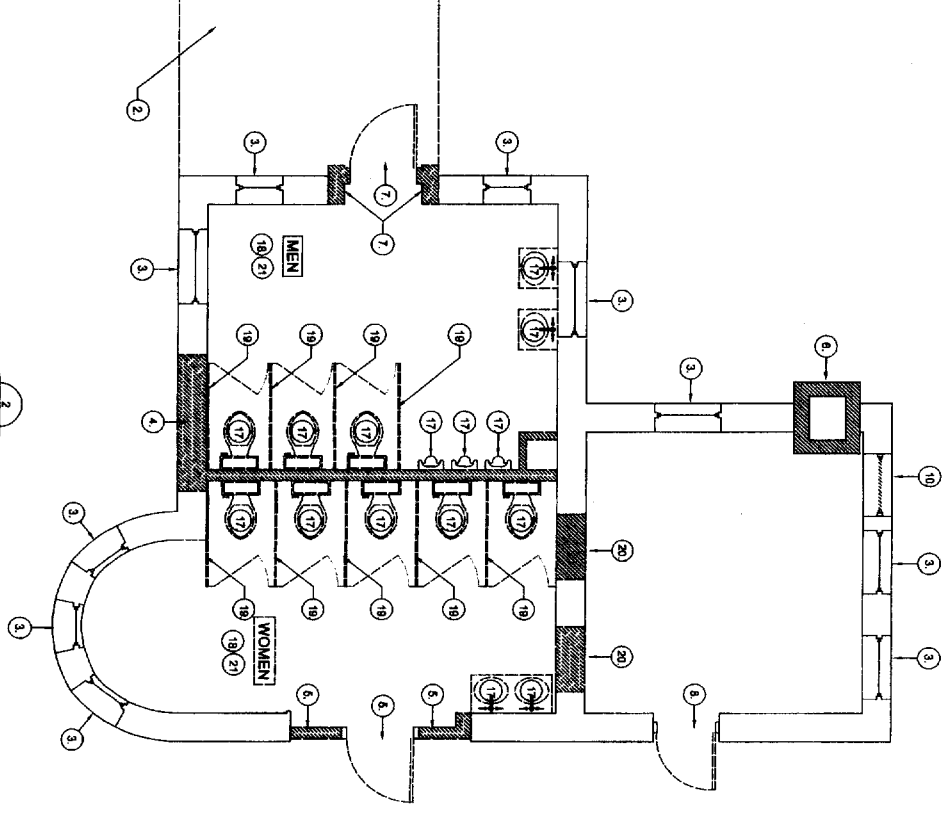
1 WALL TYPE



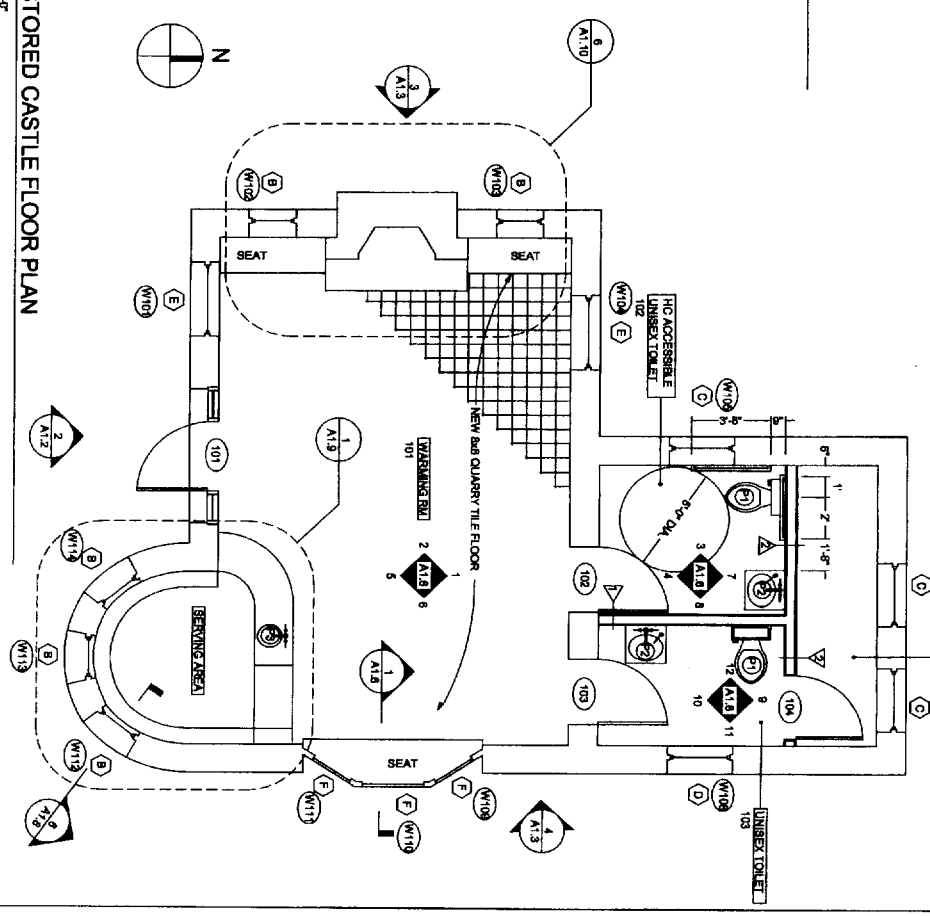
2 1 HOUR RATED WALL TYPE

DEMOLITION KEY NOTES

- 1 REMOVE EXISTING BUILDING ADDITION IN ITS ENTIRETY. CAP UTILITIES AND REMOVE EXISTING FLOOR SLAB. REMOVE EXISTING FOUNDATION STITCHES TO MINIMUM 18 INCHES BELOW FINISH GRADE. NOTE: GO TO SALVAGE ALL APPROPRIATELY SIZED DRAINING GRANITE CORBEL STONES IN A QUANTITY SUFFICIENT FOR RESTORATION WORK AS SHOWN. SALVAGE EXIST BRICK IN QUANTITY SUFFICIENT FOR RESTORATION WORK AS SHOWN AND TURN OVER TO OTHER ALL REMAINING SALVAGED ROOFING MATERIALS AS SPECIFIED
- 2 REMOVE EXISTING PORTICO UP TO EXISTING HP ROOF OF CASTLE TO REMAIN.
- 3 REMOVE EXISTING WOOD WINDOW BASH AND PROTECTIVE GRILLE. PREP FOR NEW RESTORATION WINDOWS.
- 4 REMOVE EXISTING BRICK INFILL OPENING AND INTERIOR BACK-UP WALL. PREP FOR NEW RESTORATION DOOR AND SILLIGHT.
- 5 REMOVE EXISTING BRICK INFILL OPENING AND INTERIOR BACK-UP WALL AND METAL DOOR AND FRAME. PREP FOR NEW RESTORATION BAY WINDOW AND MASONRY INFILL.
- 6 REMOVE EXISTING STONE CHIMNEY TO 1'-0" BELOW NEW GRADE. SALVAGE STONE FOR REUSE IN NEW CHIMNEY AND PREP FOR NEW INTERIOR FINISHES, EAVE AND GUTTER. ROOF AND ROOFING, BRICK AND MASONRY WALL AND MASONRY TO MATCH EXISTING.
- 7 REMOVE EXISTING ROOF AND ROOFING, BRICK AND MASONRY WALL AND INTERIOR BACK-UP METAL DOOR AND FRAME AND SOLLS AS REQUIRED TO MAKE WAY FOR NEW RESTORATION FIREPLACE AND CHIMNEY.
- 8 REMOVE EXISTING METAL DOOR, FRAME AND THRESHOLD TO MAKE WAY FOR NEW RESTORATION WINDOW AND MASONRY INFILL AND INTERIOR BACK-UP TO MATCH EXISTING.
- 9 REMOVE EXISTING SOLLS AS PER LANDSCAPE DRAWINGS. CLEAN MASONRY SURFACE AS REQUIRED.
- 10 REMOVE EXISTING LOUVER AND PREP FOR BRICK AND STONE INFILL TO MATCH SURROUNDING.
- 11 REMOVE EXISTING ONE-WAY WINDOW IN ITS ENTIRETY. PREP FOR NEW FIXED RESTORATION ONE-WAY WINDOW.
- 12 REMOVE SWATH OF EXISTING SLATES TO ALLOW FOR TOOTHING IN OF NEW SLATES. PREP FOR NEW HP FLASHING.
- 13 REMOVE EXISTING OIL FILL, VENT AND INFILL CORBEL. PREP FOR NEW FULL SIZED DRAINING GRANITE CORBEL.
- 14 REMOVE EXISTING HOSE BIB AND CORBEL. PREP FOR NEW RESTORATION CORBEL.
- 15 REMOVE EXISTING LIGHT FIXTURE AND WIRING. CAP ELECTRICAL AS REQUIRED.
- 16 REMOVE EXIST PLUMBING FIXTURE, SUPPLY & WASTE LINES.
- 17 REMOVE EXISTING FINISH FLOORING & WALL FINISHES. REMOVE EXIST DROPP CEILING TO EXPOSE HISTORIC COVE CEILING. PREP FOR NEW FINISHES.
- 18 REMOVE EXISTING TOILET PARTITIONS. PATCH WALL AT REMOVED SUPPORTS.
- 19 REMOVE EXIST BRICK INFILL OPENING. PREP FOR NEW RESTORATION DOOR.
- 20 REMOVE EXIST CONC SLAB. PREP FOR NEW CONC SLAB & FINISH FIA.



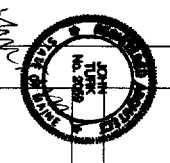
2 RESTORED CASTLE FLOOR PLAN  
1/4" = 1'-0"



*Deering Oaks Rehabilitation*  
**CASTLE AND SURROUNDING GROUNDS**  
CITY OF PORTLAND  
PORTLAND, MAINE

DATE: 25 August 2004  
SCALE: AS NOTED  
DRAWN BY: JAL  
REVISIONS:  
15 October 2004

TITLE:  
EXISTING CASTLE  
DEMOLITION PLAN  
RESTORED CASTLE  
FLOOR PLAN  
SHEET:  
**A111**



Architect:  
TRIG TRACY & LARRY  
ARCHITECTS, L.L.C.  
92 EXCHANGE STREET  
PORTLAND, MAINE 04101  
TEL: 207/761-9662  
FAX: 207/761-9996

M.O.  
DIN  
Landscape Architects, Inc.  
18 Fremont Street, Portland, Maine 04101  
(207)771-0003



M O S D I N  
Landscape Architects, Inc.  
18 Pleasant Street, Portland, Maine 04101  
(207) 761-0803

Architect:  
TURK TRACY & LARRY  
ARCHITECTS, LLC  
92 EXCHANGE STREET  
PORTLAND, MAINE 04101  
TEL: 207.761.9662  
FAX: 207.761.9696



Deering Oaks Rehabilitation  
CITY OF PORTLAND  
PORTLAND, MAINE  
CASTLE AND SURROUNDING GROUNDS

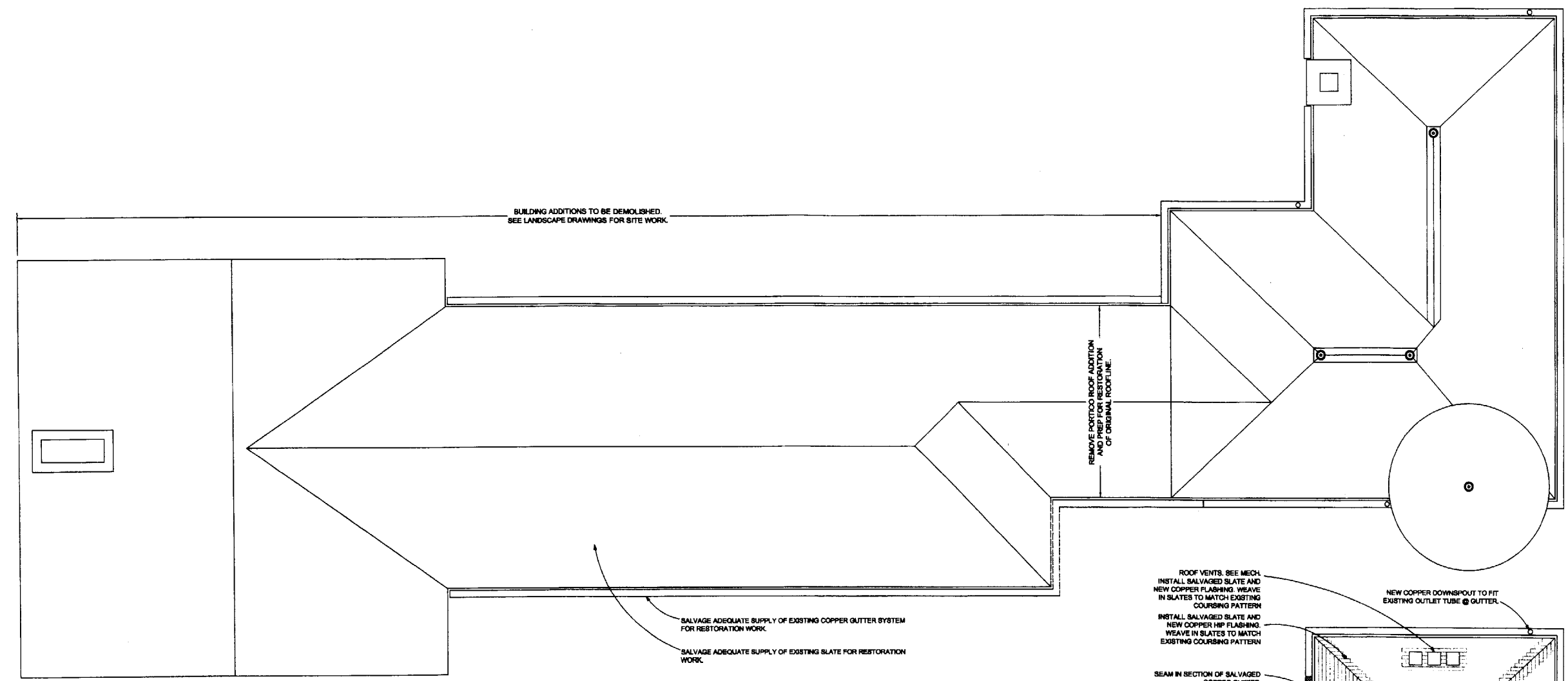
DATE: 2/23/04

DRAWN BY: JT

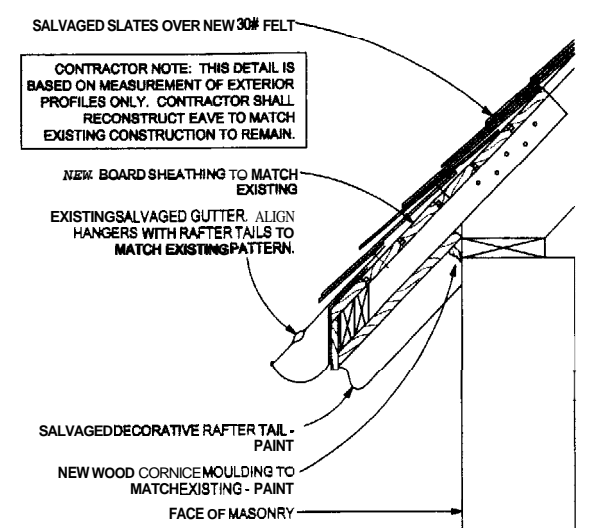
REVISIONS:  
15 October 2004

TITLE:  
EXISTING CASTLE  
DEMOLITION ROOF PLAN  
RESTORED CASTLE  
ROOF PLAN

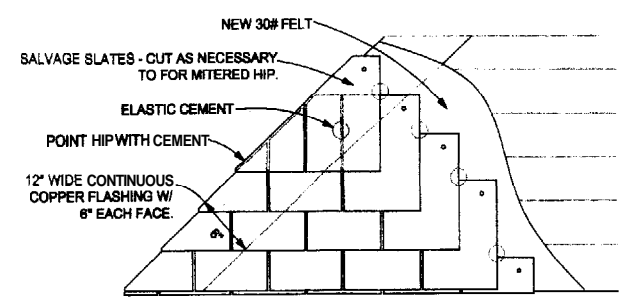
SHEET: **A 1.2**



**1** EXISTING CASTLE DEMOLITION ROOF PLAN  
A1.2 1/4" = 1'-0"

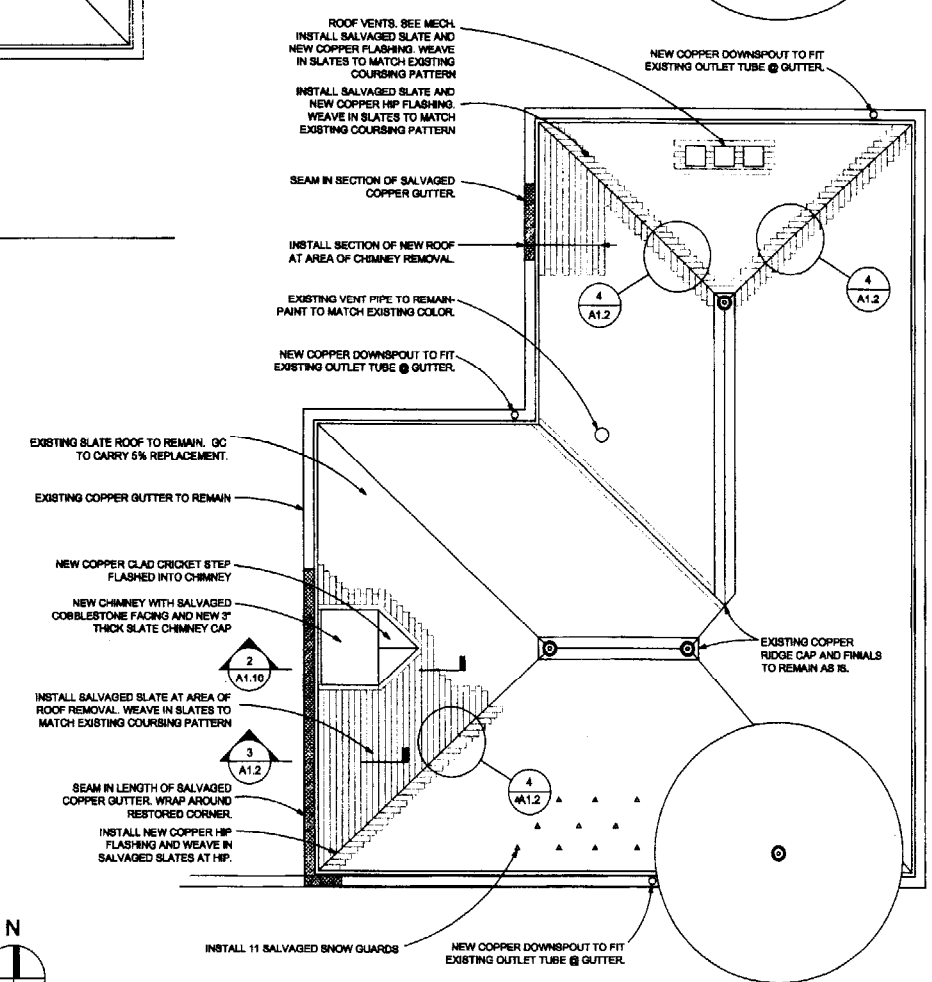


**3** SECTION DETAIL @ EAVE RESTORATION  
A1.2 1 1/2" = 1'-0"

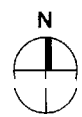


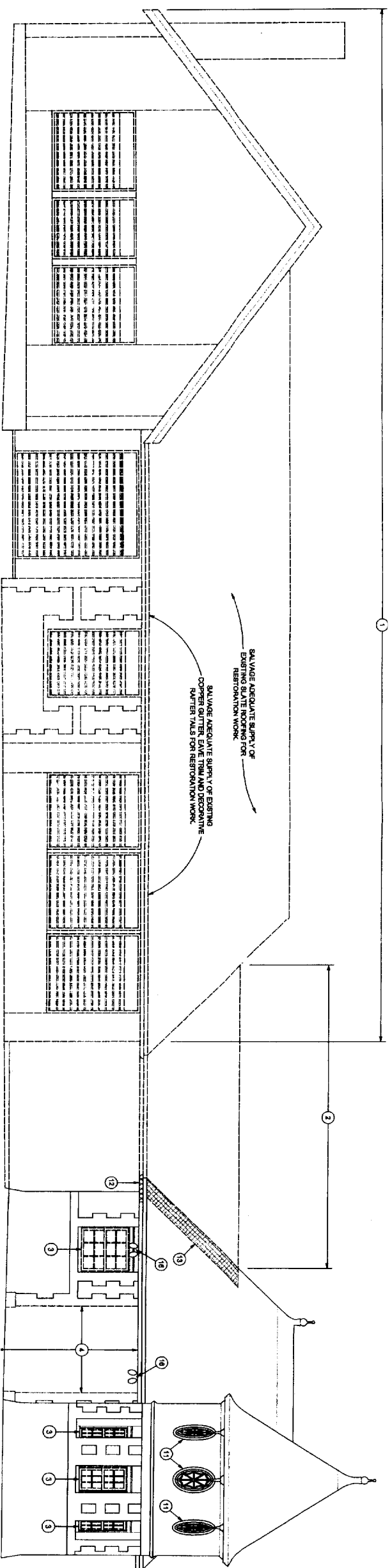
**4** SECTION DETAIL @ EAVE RESTORATION  
A1.2 1 1/2" = 1'-0"

**5** SECTION DETAIL @ EAVE RESTORATION  
A1.2 1 1/2" = 1'-0"

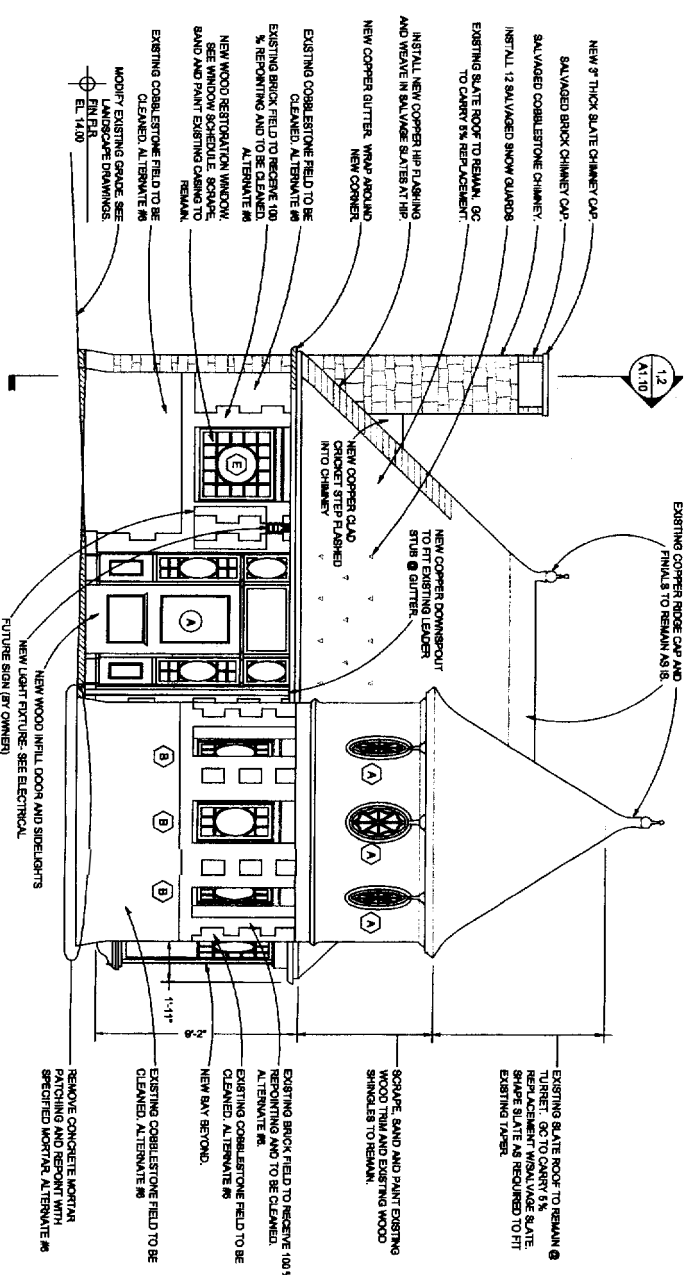


**2** RESTORED CASTLE ROOF PLAN  
A1.2 1/4" = 1'-0"





4 EXISTING CASTLE SOUTH ELEVATION

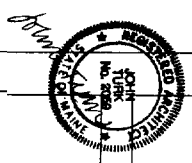


2 RESTORED CASTLE SOUTH ELEVATION

GEN. NOTE: SEE WINDOW SCHEDULE FOR SPECIFIC WINDOW ROUGH OPENING DIMENSIONS. ALL WINDOWS ARE TO BE CUSTOM BUILT TO FIT INTO EXISTING CONDITIONS. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATING WINDOWS.



Architect:  
 TUCK TRASKY & LARRY  
 ARCHITECTS, LLC  
 2000 BROADWAY  
 PORTLAND, MAINE 04101  
 TEL: 207.761.9662  
 FAX: 207.761.9666



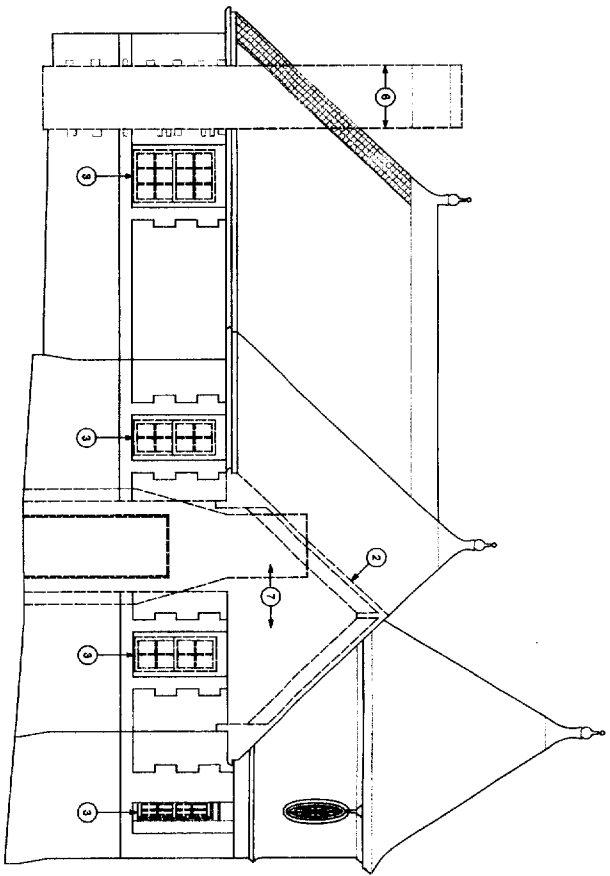
*Deering Oaks Rehabilitation*  
**CASTLE AND SURROUNDING GROUNDS**  
 CITY OF PORTLAND  
 PORTLAND, MAINE

DATE: 25 August 2004  
 SCALE: AS NOTED  
 DRAWN BY: JT  
 REVISIONS:  
 15 October 2004

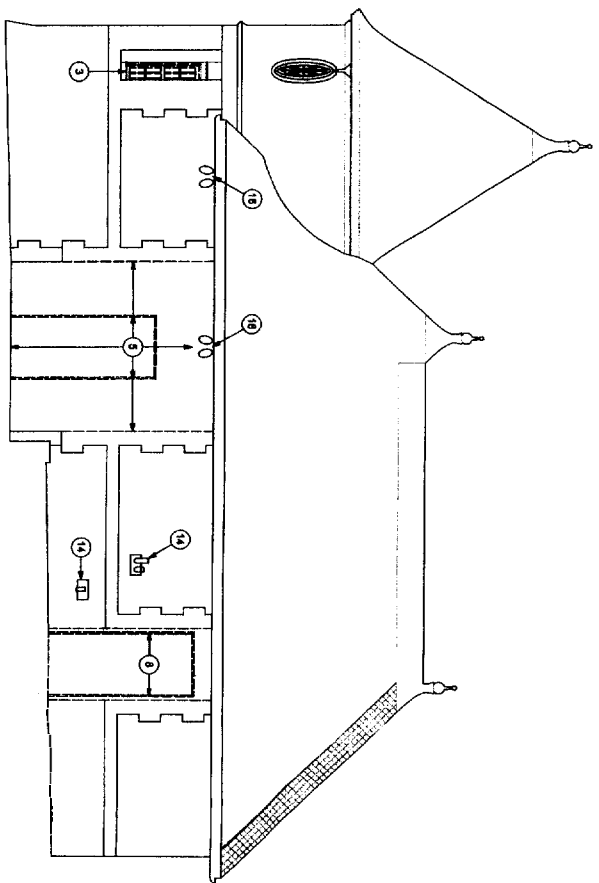
TITLE:  
 EXISTING CASTLE SOUTH  
 DEMOLITION ELEVATION  
 RESTORED CASTLE  
 SOUTH ELEVATION

SHEET:  
**A 12**  
 13

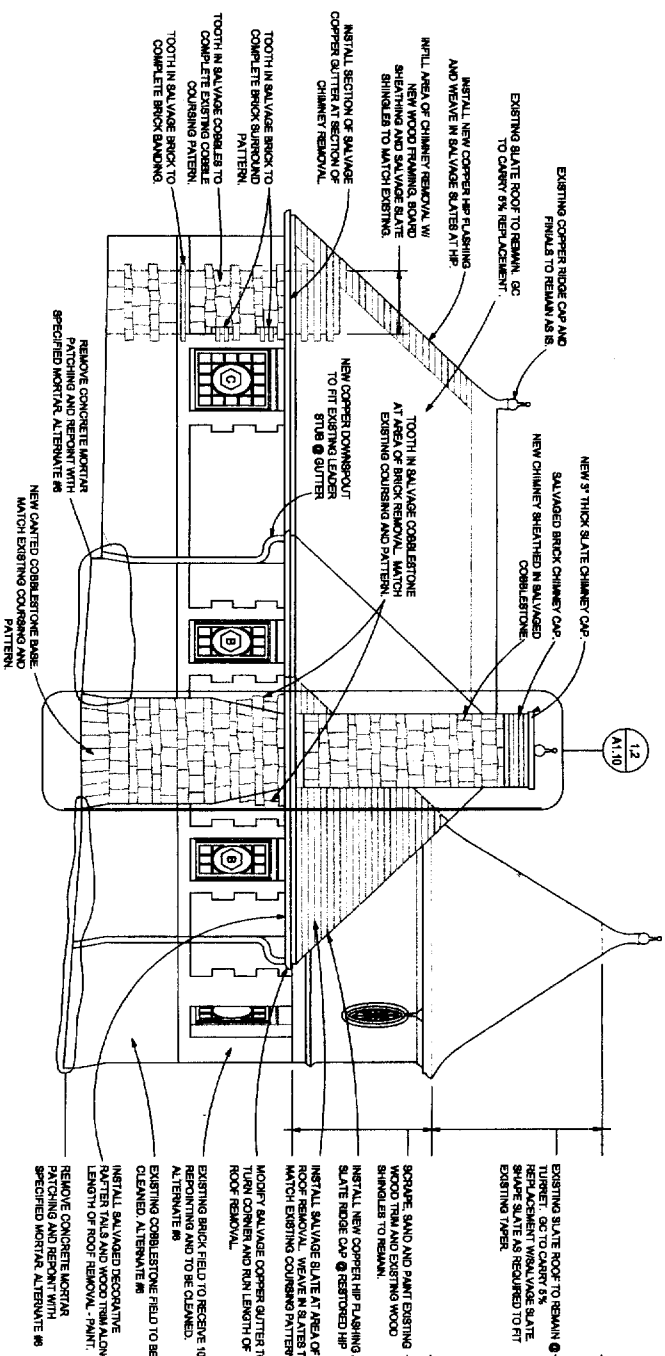




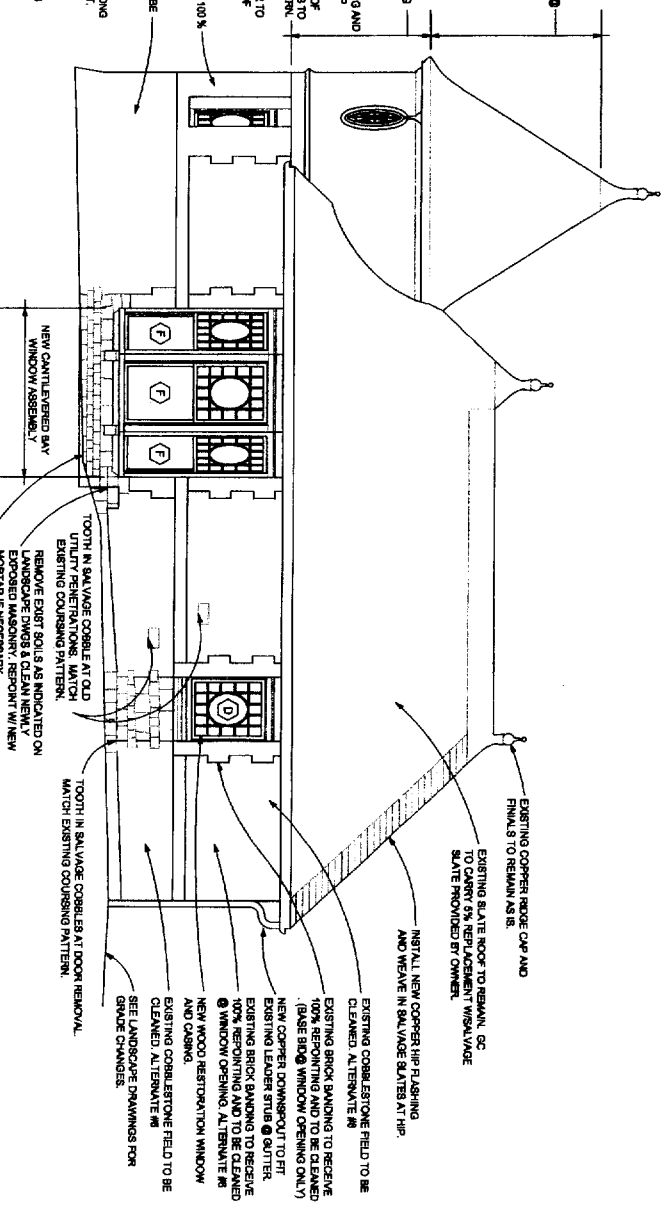
1 EXISTING WEST ELEVATION  
1/4" = 1'-0"



2 EXISTING EAST ELEVATION  
1/4" = 1'-0"



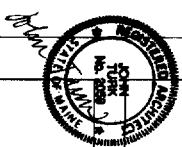
3 RESTORED WEST ELEVATION  
1/4" = 1'-0"



4 RESTORED EAST ELEVATION  
1/4" = 1'-0"

M.O. DIN  
Landscape Architects, Inc.  
18 Pleasant Street, Portland, Maine 04103  
(207) 771-5000

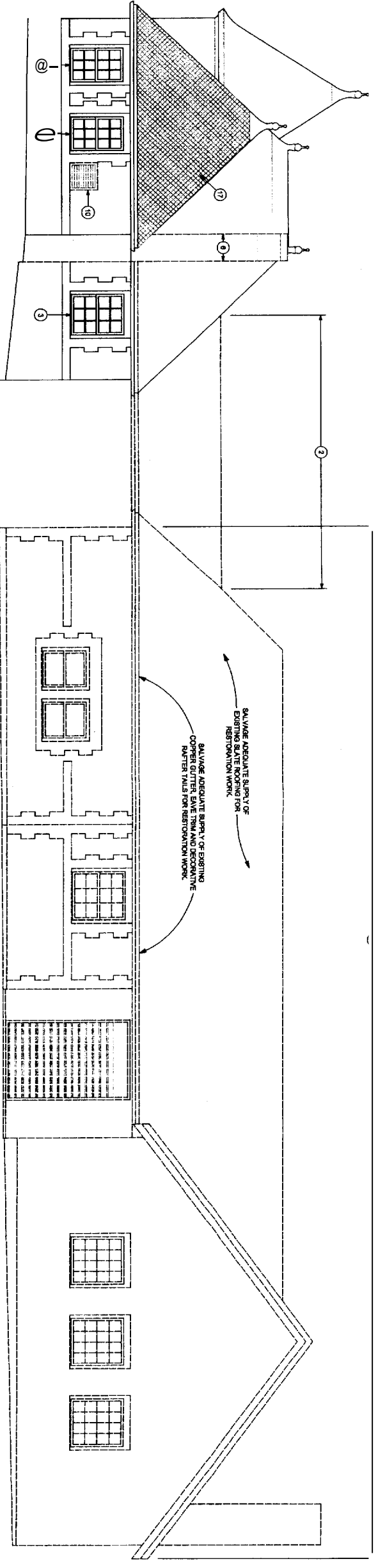
Architect:  
TUCK BRADY & LABARY  
ARCHITECTS, LLC  
92 EXCHANGE STREET  
PORTLAND, MAINE 04103  
TEL: 207.771.5000  
FAX: 207.771.5006



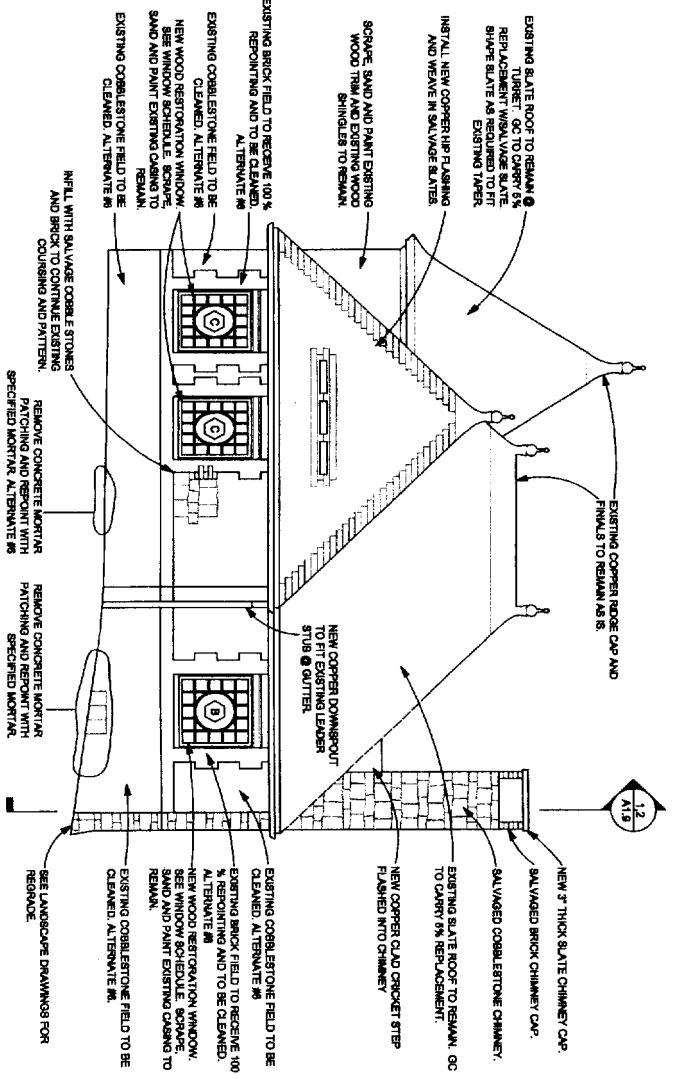
Deering Oaks Rehabilitation  
**CASTLE AND SURROUNDING GROUNDS**  
CITY OF PORTLAND  
PORTLAND, MAINE

DATE: 25 August 2004  
SCALE: AS NOTED  
DRAWN BY: JT  
REVISIONS:  
15 October 2004

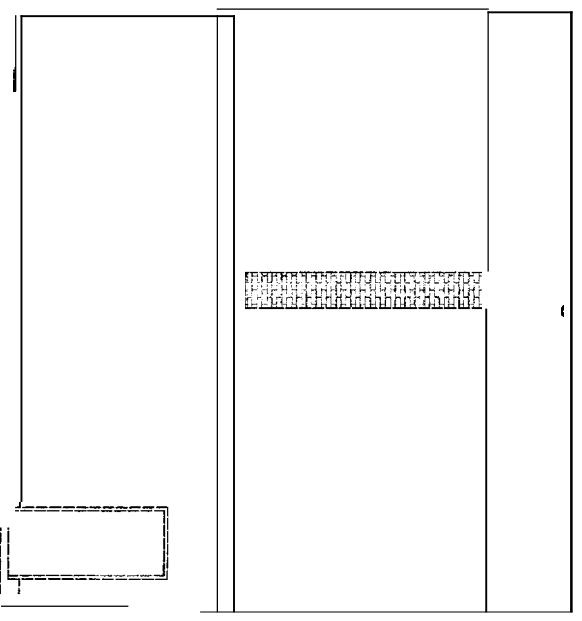
TITLE:  
EXISTING CASTLE EAST  
& WEST DEMOLITION  
ELEVATIONS  
RESTORED CASTLE EAST  
& WEST ELEVATIONS  
SHEET:  
**A 1.4**



1 EXISTING NORTH ELEVATION  
1/4" = 1'-0"



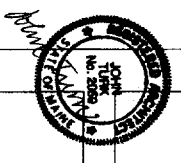
2 RESTORED NORTH ELEVATION  
1/4" = 1'-0"



3 EXISTING WEST ELEVATION  
1/4" = 1'-0"

M O  
JIN  
Landscape Architects, Inc.  
18 Fremont Street, Portland, Maine 04101  
(207)971-3003

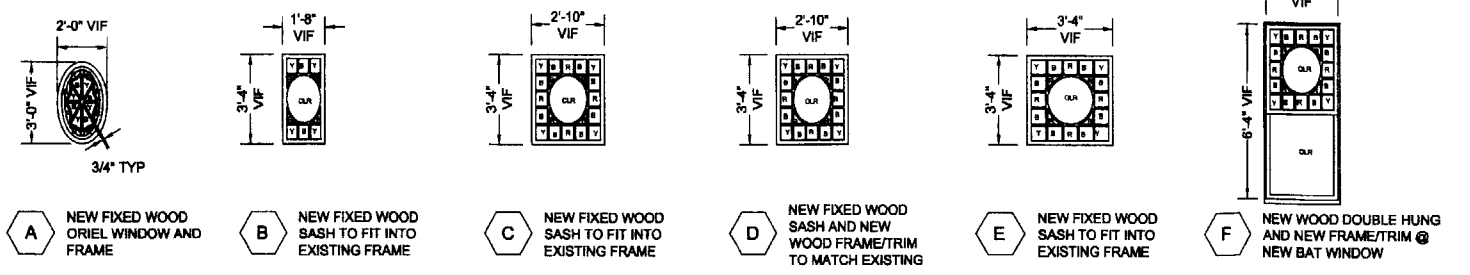
Architect:  
TERRI TRANEY & LARRY  
ARCHITECTS, LLC  
97 EXCHANGE STREET  
PORTLAND, MAINE 04101  
TEL. 207.561.5662  
FAX. 207.561.5666



Deering Oaks Rehabilitation  
**CASTLE AND SURROUNDING GROUNDS**  
CITY OF PORTLAND  
PORTLAND, MAINE

DATE: 25 August 2004  
SCALE: AS NOTED  
DRAWN BY: JJ  
REVISIONS:  
15 October 2004

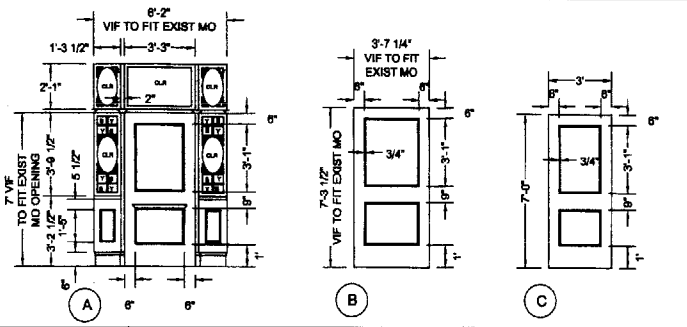
TITLE:  
EXISTING CASTLE NORTH  
DEMOLITION ELEVATION  
RESTORED CASTLE  
NORTH ELEVATION  
SHEET:  
**A1.4**  
1 of 5



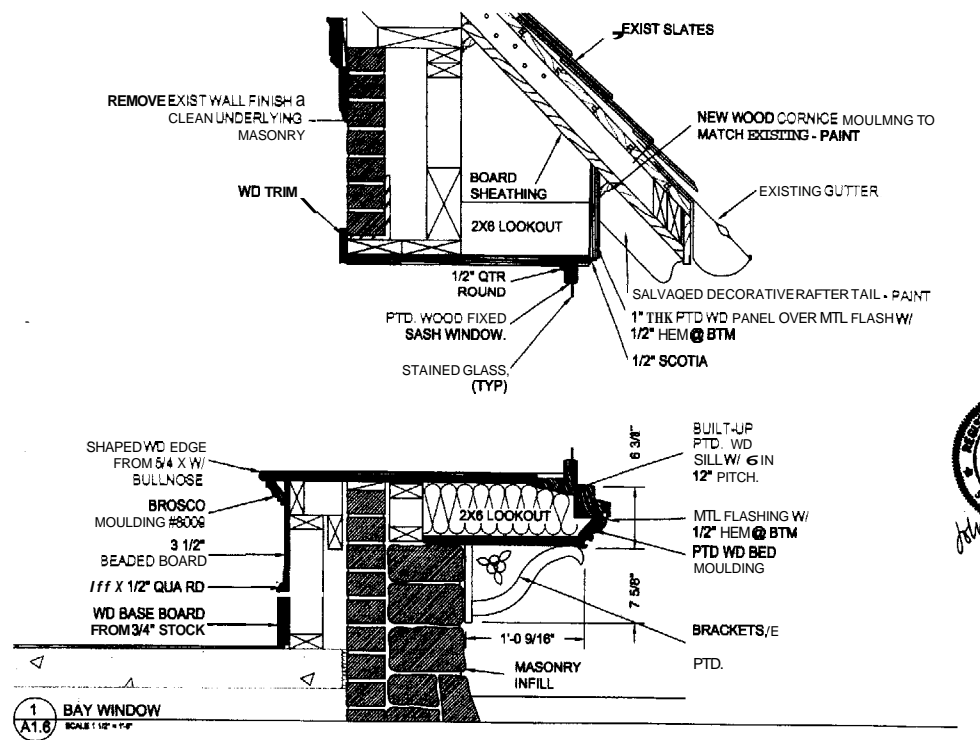
**WINDOW TYPES** SCALE: 1/4" = 1'-0" NOTE: GLAZING COLOR KEY = Y= YELLOW, R=RED, B=BLUE, CLR=CLEAR

DOOR #	TYPE	SIZE	MAT	FRAME	HEAD	JAMB	THRESH	HDWE	RATE	REMARKS
C101	A	3'-0" X 7'-0" X 2"	WD	WD	8	11	16	A	NA	SIDE LIGHTS & TRANSOM
C102	B	3'-0" X 7'-0" X 1 1/2"	WD	WD	7	12	17	B	20	
C103	B	3'-0" X 7'-0" X 1 1/2"	WD	WD	7	12	17	B	20	
C104	C	3'-0" X 7'-0" X 1 1/2"	WD	WD	8	13	18	C	80	

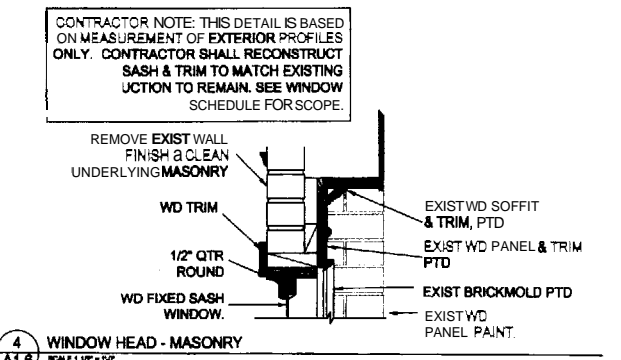
**DOOR SCHEDULE** NTB



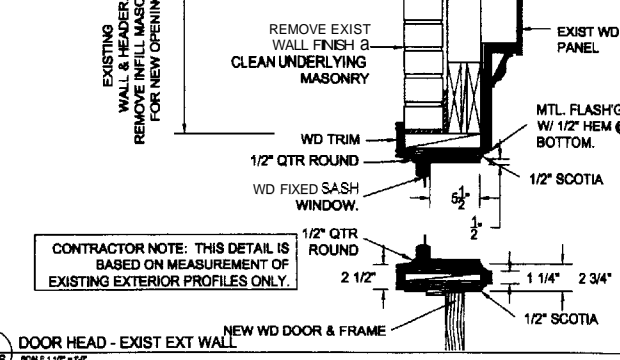
**DOOR TYPES** SCALE: 1/4" = 1'-0"



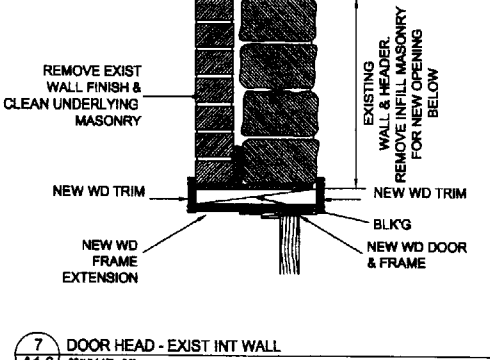
**1 BAY WINDOW** SCALE: 1/2" = 1'-0"



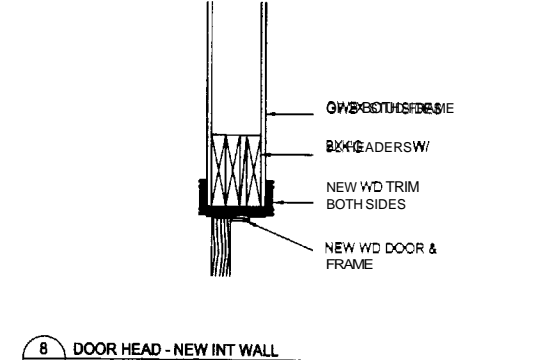
**4 WINDOW HEAD - MASONRY** SCALE: 1/2" = 1'-0"



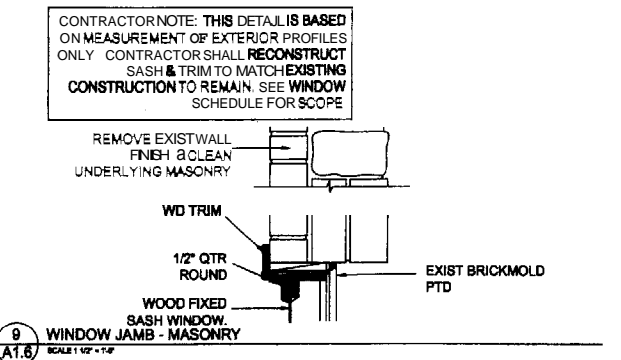
**6 DOOR HEAD - EXIST EXT WALL** SCALE: 1/2" = 1'-0"



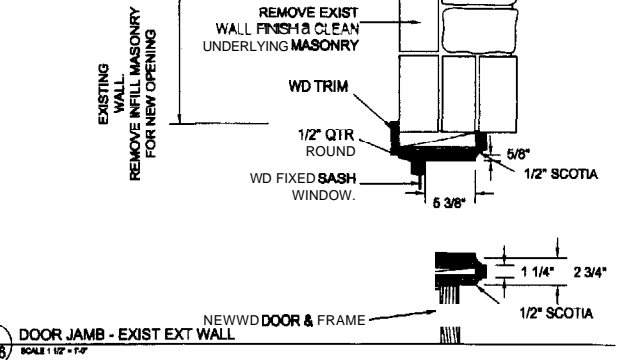
**7 DOOR HEAD - EXIST INT WALL** SCALE: 1/2" = 1'-0"



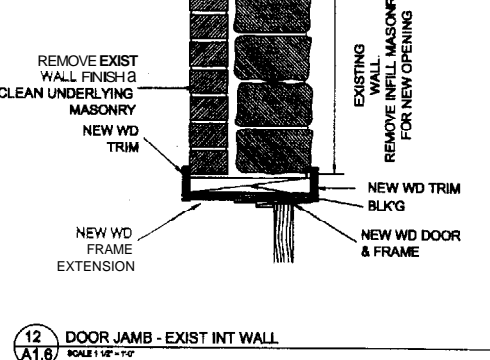
**8 DOOR HEAD - NEW INT WALL** SCALE: 1/2" = 1'-0"



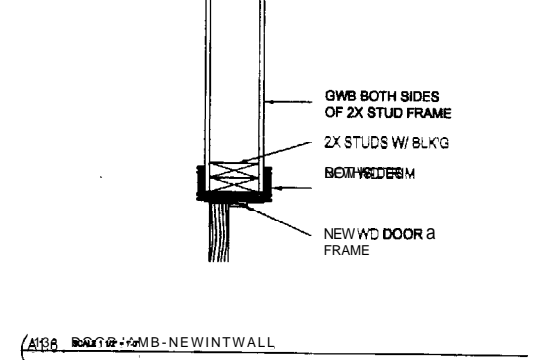
**9 WINDOW JAMB - MASONRY** SCALE: 1/2" = 1'-0"



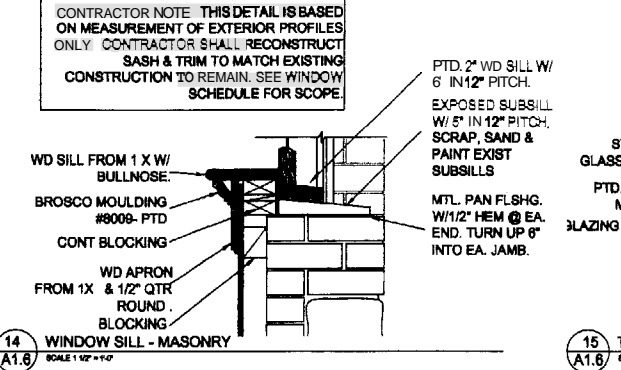
**11 DOOR JAMB - EXIST EXT WALL** SCALE: 1/2" = 1'-0"



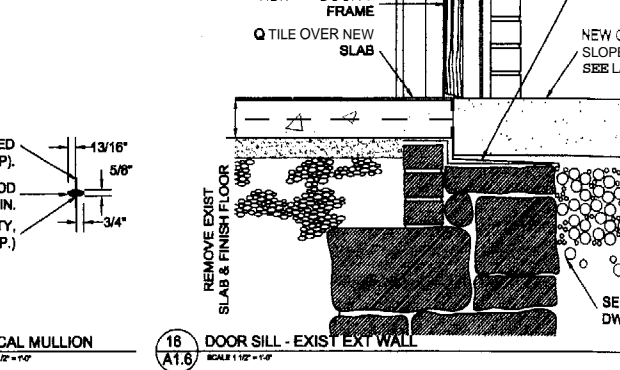
**12 DOOR JAMB - EXIST INT WALL** SCALE: 1/2" = 1'-0"



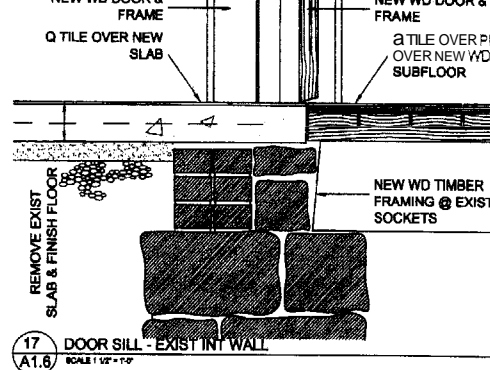
**13 DOOR JAMB - NEW INT WALL** SCALE: 1/2" = 1'-0"



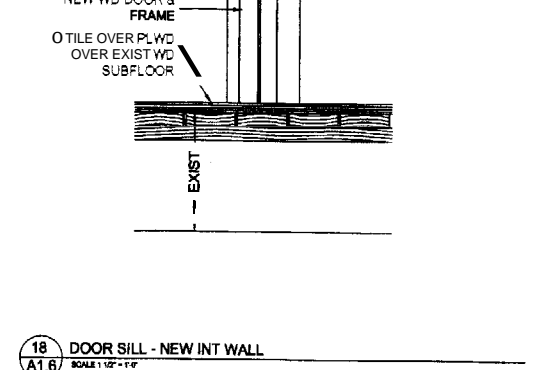
**14 WINDOW SILL - MASONRY** SCALE: 1/2" = 1'-0"



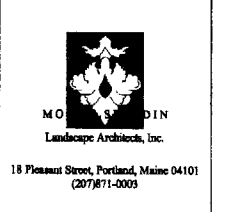
**16 DOOR SILL - EXIST EXT WALL** SCALE: 1/2" = 1'-0"



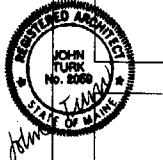
**17 DOOR SILL - EXIST INT WALL** SCALE: 1/2" = 1'-0"



**18 DOOR SILL - NEW INT WALL** SCALE: 1/2" = 1'-0"



Architect:  
TURK TRACEY & LARRY  
ARCHITECTS, LLC  
92 EXCHANGE STREET  
PORTLAND, MAINE 04101  
TEL. 207.761.9662  
FAX. 207.761.9696



Deering Oaks Rehabilitation  
 CASTLE AND SURROUNDING GROUNDS  
 CITY OF PORTLAND  
 PORTLAND, MAINE

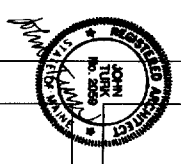
DATE: 25 August 2004  
 REVISIONS:  
 7 September 2004  
 15 October 2004

TITLE:  
 DOOR & FINISH  
 SCHEDULES  
 DOOR & WINDOW  
 TYPES & DETAILS  
 SHEET: **A 1.6**



M.O. Design  
Landscape Architecture, Inc.  
18 Fremont Street, Portland, Maine 04101  
(207)771-0093

Architect:  
TIBB, TRACY & LARRY  
ARCHITECTS, LLC  
92 BUCHANAN STREET  
PORTLAND, MAINE 04101  
TEL: 207.761.5662  
FAX: 207.761.5668

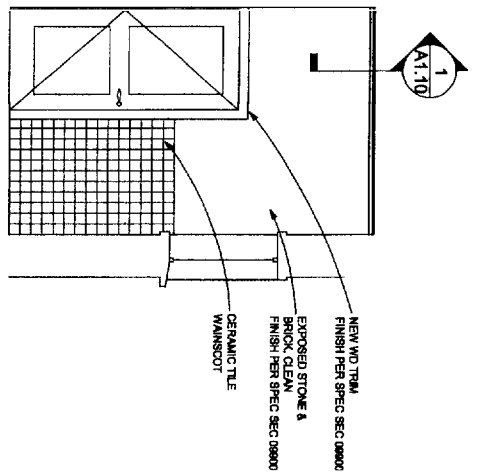
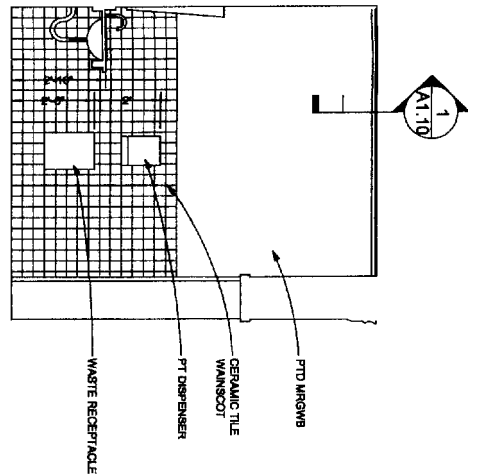
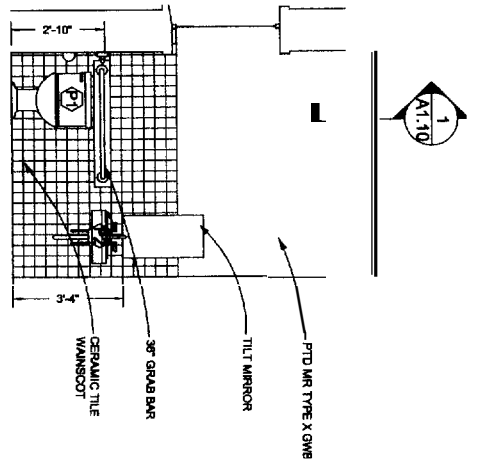
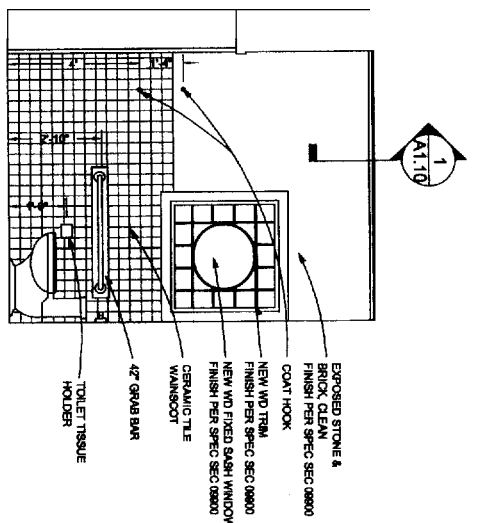


Deering Oaks Rehabilitation  
**CASTLE AND SURROUNDING GROUNDS**  
CITY OF PORTLAND  
PORTLAND, MAINE

DATE: 25 August 2004  
SCALE: AS NOTED  
DRAWN BY: JAL  
REVISIONS:  
7 September 2004  
15 October 2004

TITLE:  
RESTORED CASTLE  
INTERIOR ELEVATIONS

SHEET:  
**A1.7**

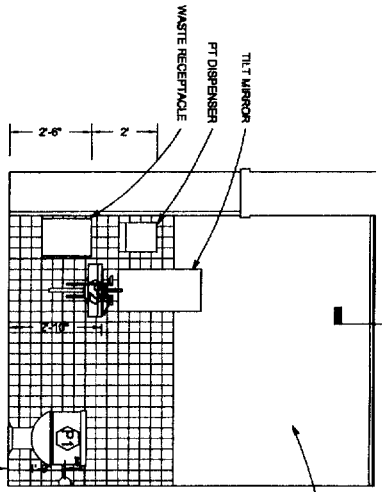
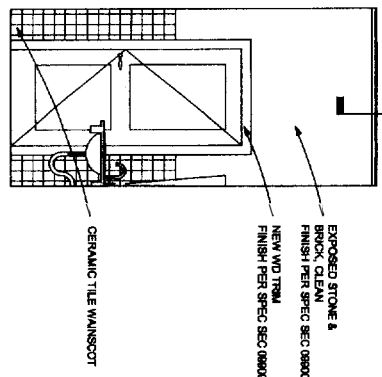
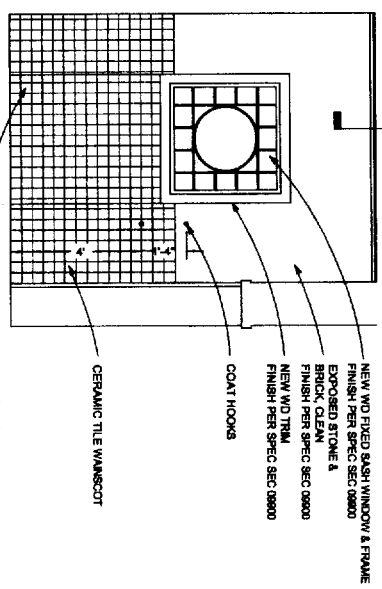
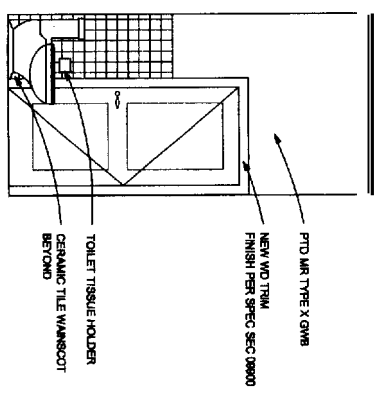


1 WEST  
A1.7 SCALE: 1/4" = 1'-0"

2 NORTH ELEVATION 102  
A1.7 SCALE: 1/4" = 1'-0"

3 EAST  
A1.7 SCALE: 1/4" = 1'-0"

4 SOUTH ELEVATION 102  
A1.7 SCALE: 1/4" = 1'-0"

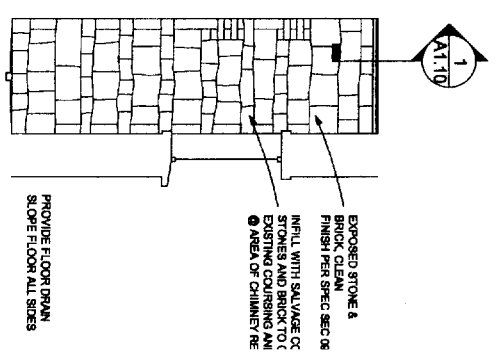
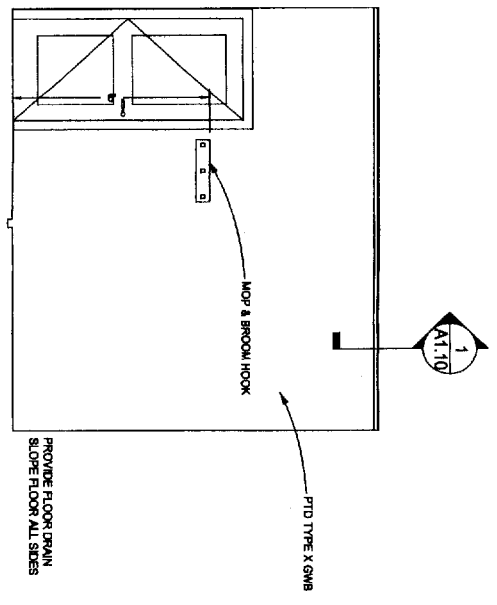
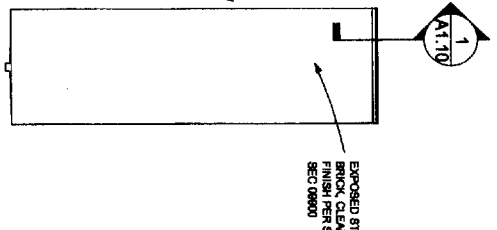
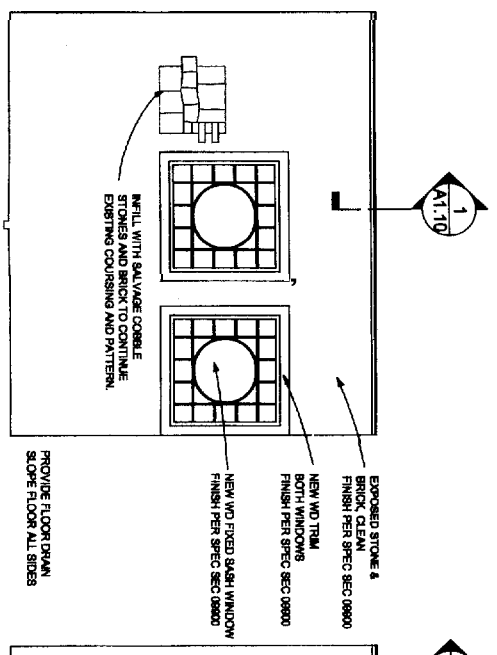


5 NORTH ELEVATION 103  
A1.7 SCALE: 1/4" = 1'-0"

6 EAST ELEVATION 103  
A1.7 SCALE: 1/4" = 1'-0"

7 SOUTH ELEVATION 103  
A1.7 SCALE: 1/4" = 1'-0"

8 WEST ELEVATION 103  
A1.7 SCALE: 1/4" = 1'-0"



9 NORTH ELEVATION 104  
A1.7 SCALE: 1/4" = 1'-0"

10 EAST  
A1.7 SCALE: 1/4" = 1'-0"

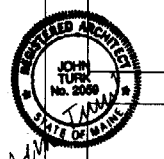
11 SOUTH ELEVATION 104  
A1.7 SCALE: 1/4" = 1'-0"

12 WEST ELEVATION 104  
A1.7 SCALE: 1/4" = 1'-0"

FEATURE	APPLICATION	DESCRIPTION
P1	TOILET	KOHLER (414.461.4459) MODEL # S-2851 (48")
P2	WALL MOUNTED TOILET	KOHLER (414.461.4459) MODEL # S-2851 (48")
P3	KITCHEN SINK	KOHLER (414.461.4459) MODEL # SEE MESH SPEC
	TILT MIRROR	BOBRICK (803.421.9081) MODEL # B-2285 (80")
	TOILET TISSUE DISPENSER	BOBRICK (803.421.9081) MODEL # B-2285 (80")
	BRASS TOWEL DISPENSER	BOBRICK (803.421.9081) MODEL # B-2285 (80")
	COAT HOOK	BOBRICK (803.421.9081) MODEL # B-2215
	PTD MIRROR	BOBRICK (803.421.9081) MODEL # B-2215
	SOAP DISPENSER	BOBRICK (803.421.9081) MODEL # B-2285 (80")
	MOP & BROOM HOOK	BOBRICK (803.421.9081) MODEL # B-2285 (80")
	4" GRAB BAR	BOBRICK (803.421.9081) MODEL # B-2285 (80")
	WASTE RECEPTACLE	BOBRICK (803.421.9081) MODEL # B-279



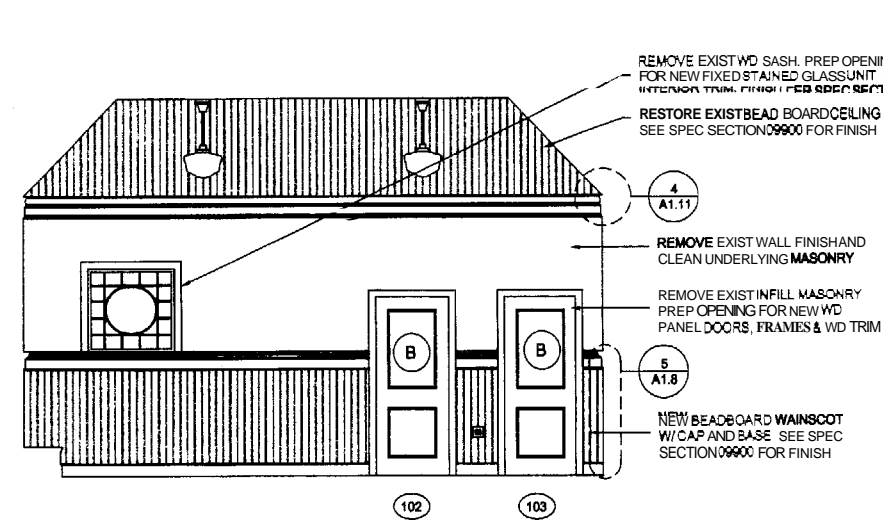
Architect:  
 TURK TRACEY & LARRY  
 ARCHITECTS, LLC  
 92 EXCHANGE STREET  
 PORTLAND, MAINE 04101  
 TEL. 207.761.9662  
 FAX. 207.761.9666



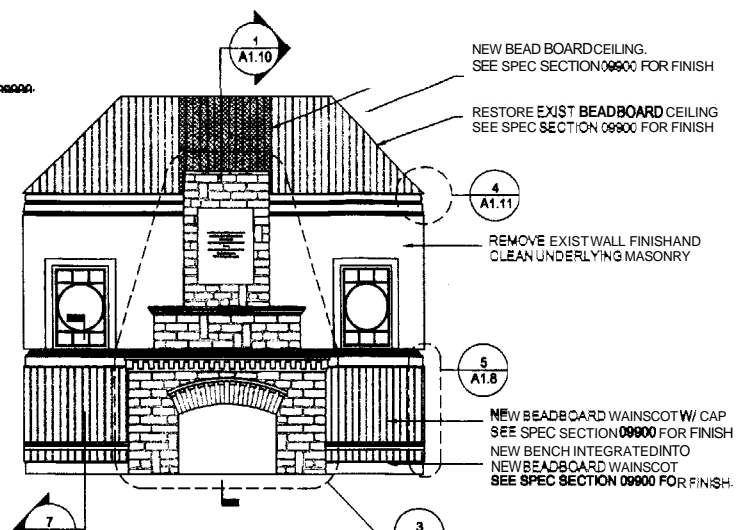
Deering Oaks Rehabilitation  
 CASTLE AND SURROUNDING GROUNDS  
 CITY OF PORTLAND  
 PORTLAND, MAINE

DATE: 25 August 2004  
 SCALE: AS NOTED  
 DRAWN BY: JAL  
 REVISIONS  
 15 October 2004

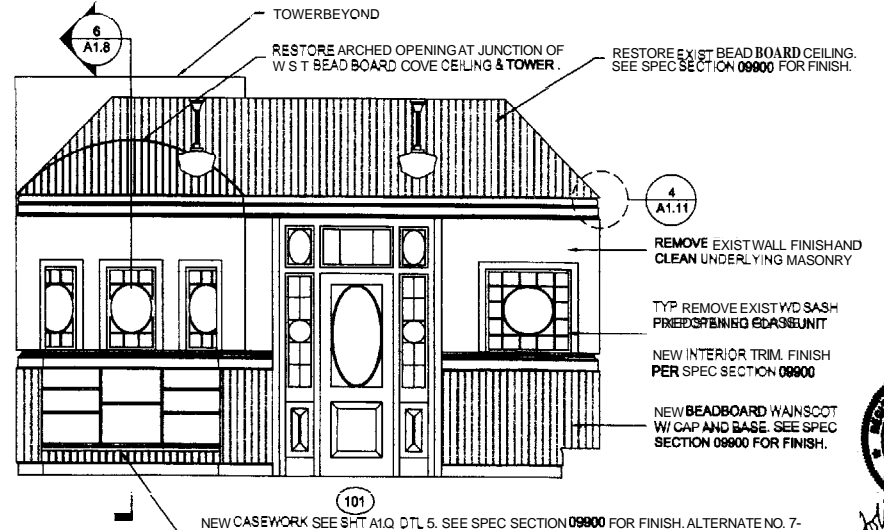
TITLE:  
 RESTORED CASTLE  
 INTERIOR ELEVATIONS



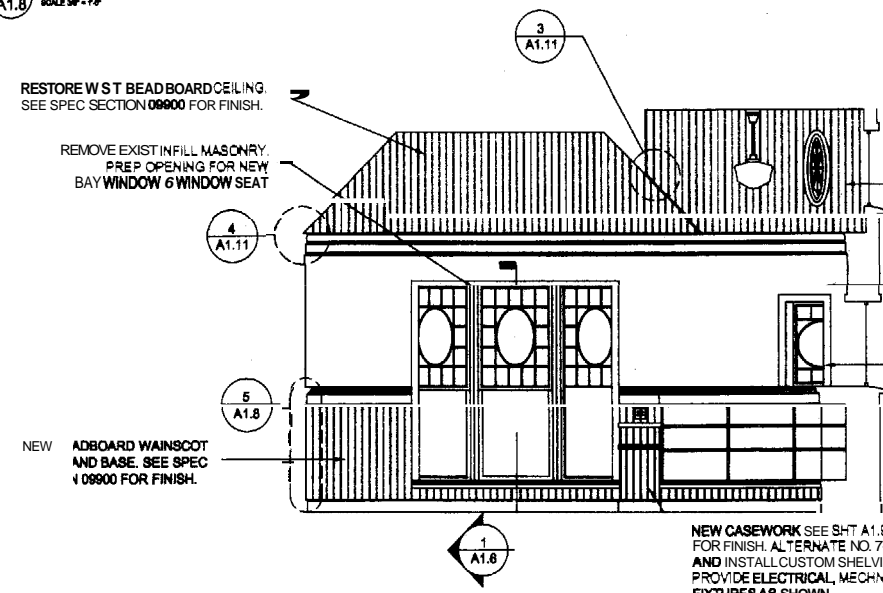
**1 NORTH ELEVATION**  
 SCALE: 3/4" = 1'-0"



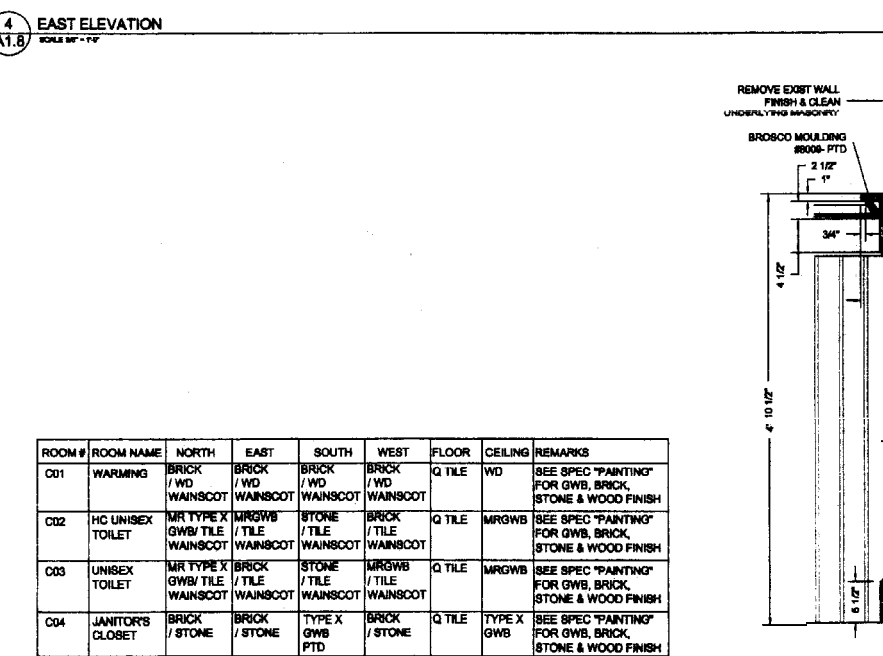
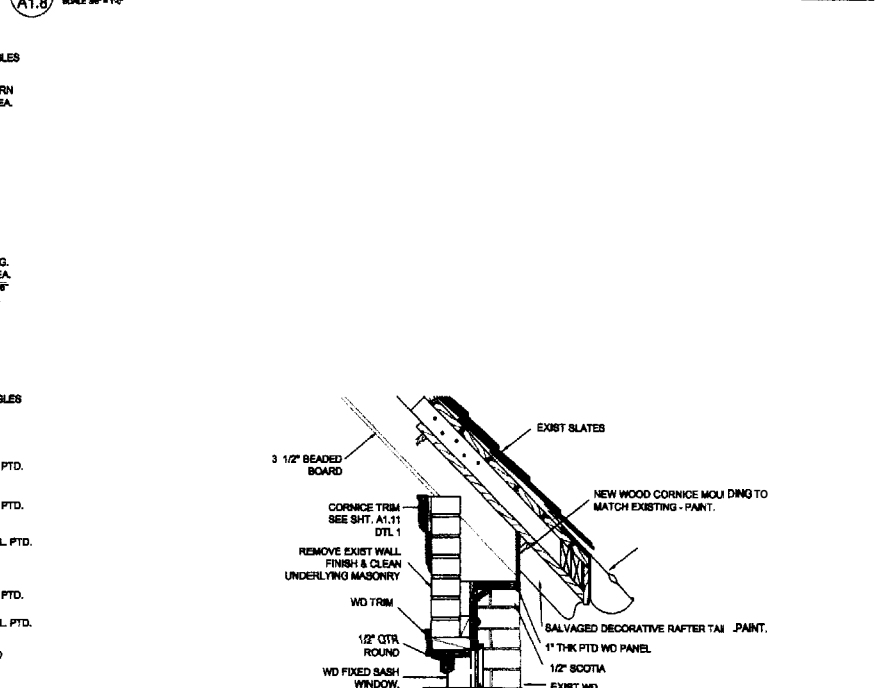
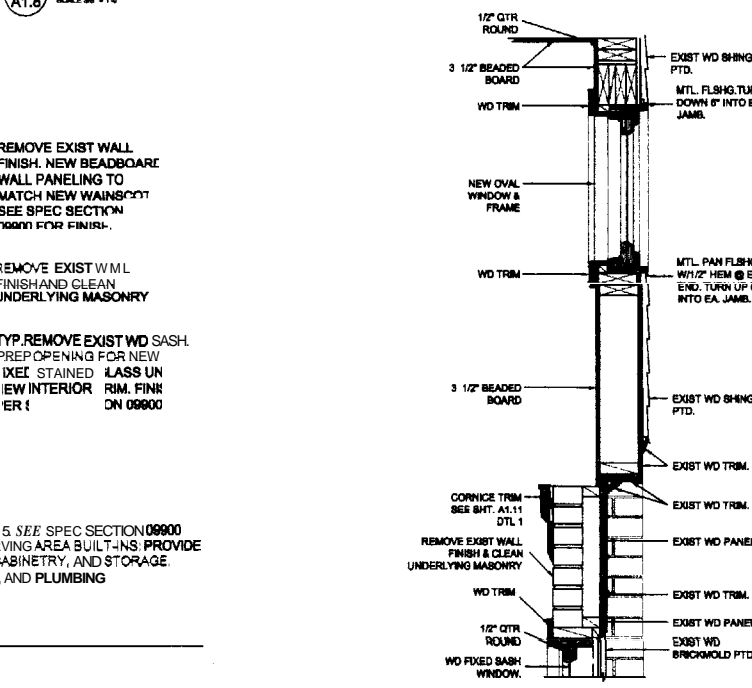
**2 WEST ELEVATION**  
 SCALE: 3/4" = 1'-0"



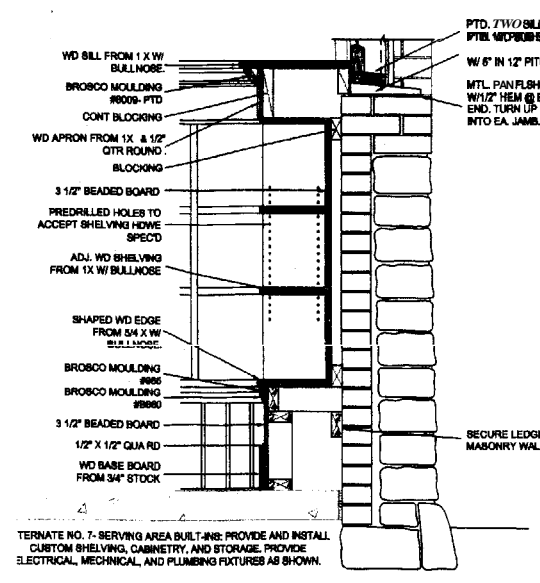
**3 SOUTH ELEVATION**  
 SCALE: 3/4" = 1'-0"



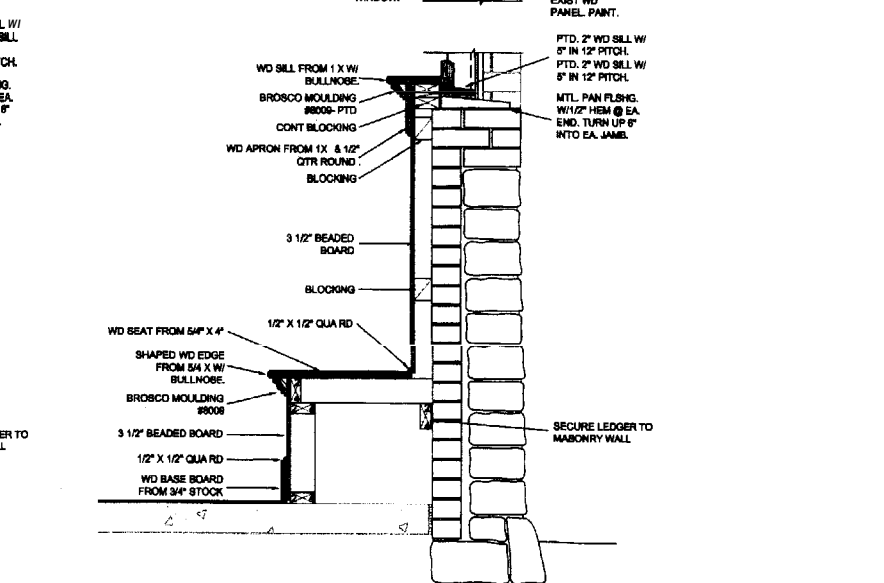
**4 EAST ELEVATION**  
 SCALE: 3/4" = 1'-0"



**5 WAINSCOTING DETAIL**  
 SCALE: 1/2" = 1'-0"



**6 SHELVING WAINSCOTING DETAIL @ TOWER WINDOWS**  
 SCALE: 1/2" = 1'-0"



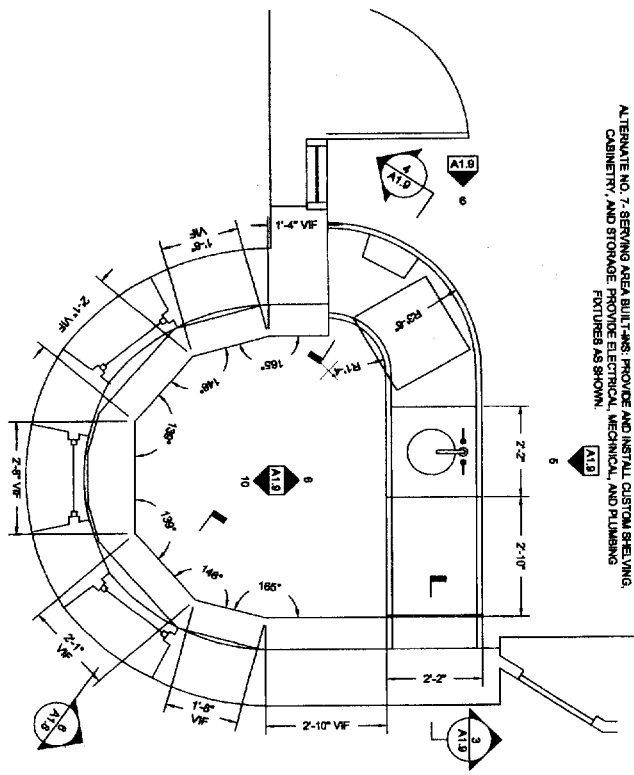
**7 BENCH WAINSCOTING DETAIL**  
 SCALE: 1/2" = 1'-0"

ROOM #	ROOM NAME	NORTH	EAST	SOUTH	WEST	FLOOR	CEILING	REMARKS
001	WARMING	BRICK / WD WAINSCOT	BRICK / WD WAINSCOT	BRICK / WD WAINSCOT	BRICK / WD WAINSCOT	Q TILE	WD	SEE SPEC "PAINTING" FOR GWB, BRICK, STONE & WOOD FINISH
002	HC UNISEX TOILET	MR TYPE X / GWB / TILE WAINSCOT	MRGWB / TILE WAINSCOT	STONE / TILE WAINSCOT	BRICK / TILE WAINSCOT	Q TILE	MRGWB	SEE SPEC "PAINTING" FOR GWB, BRICK, STONE & WOOD FINISH
003	UNISEX TOILET	MR TYPE X / GWB / TILE WAINSCOT	BRICK / TILE WAINSCOT	STONE / TILE WAINSCOT	MRGWB / TILE WAINSCOT	Q TILE	MRGWB	SEE SPEC "PAINTING" FOR GWB, BRICK, STONE & WOOD FINISH
004	JANITOR'S CLOSET	BRICK / STONE	BRICK / STONE	BRICK / STONE	Q TILE	Q TILE	TYPE X / GWB	SEE SPEC "PAINTING" FOR GWB, BRICK, STONE & WOOD FINISH

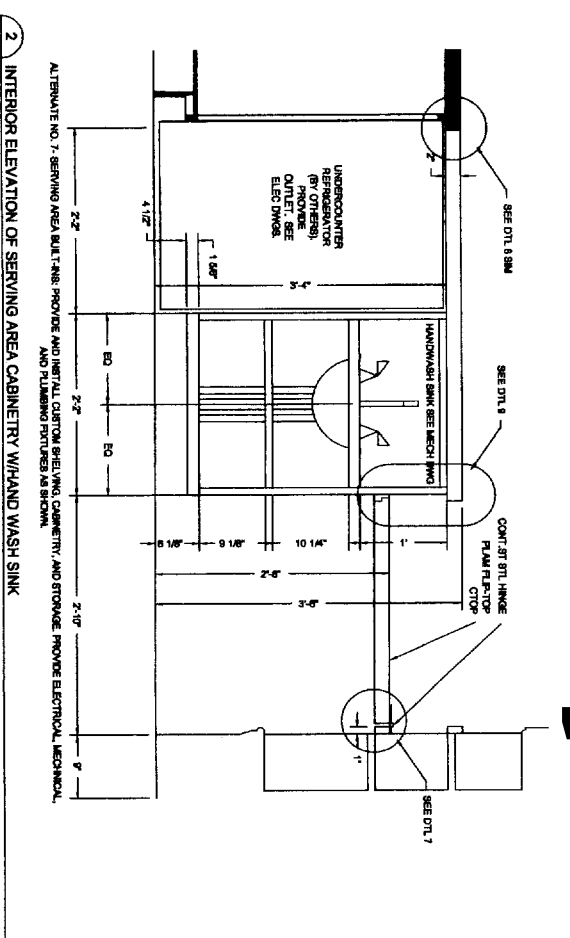
ROOM FINISH SCHEDULE



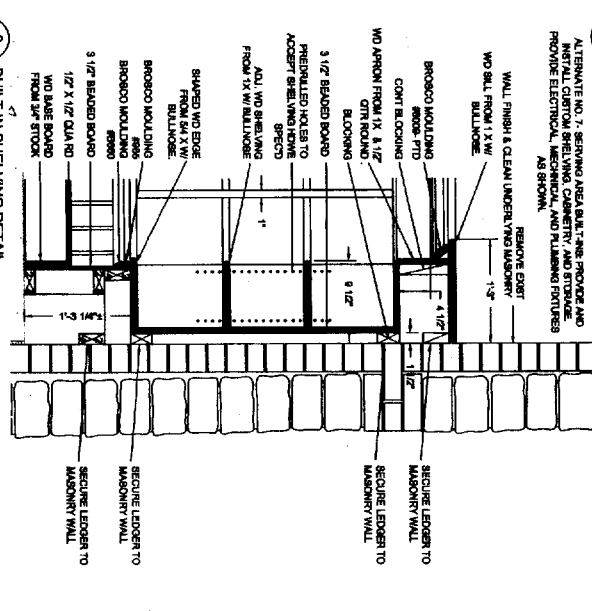
ALTERNATE NO. 7: SERVING AREA BUILT-FINISH PROVIDE AND INSTALL CUSTOM SHELVING CABINETRY, AND STORAGE. PROVIDE ELECTRICAL, MECHANICAL, AND PLUMBING AS SHOWN.



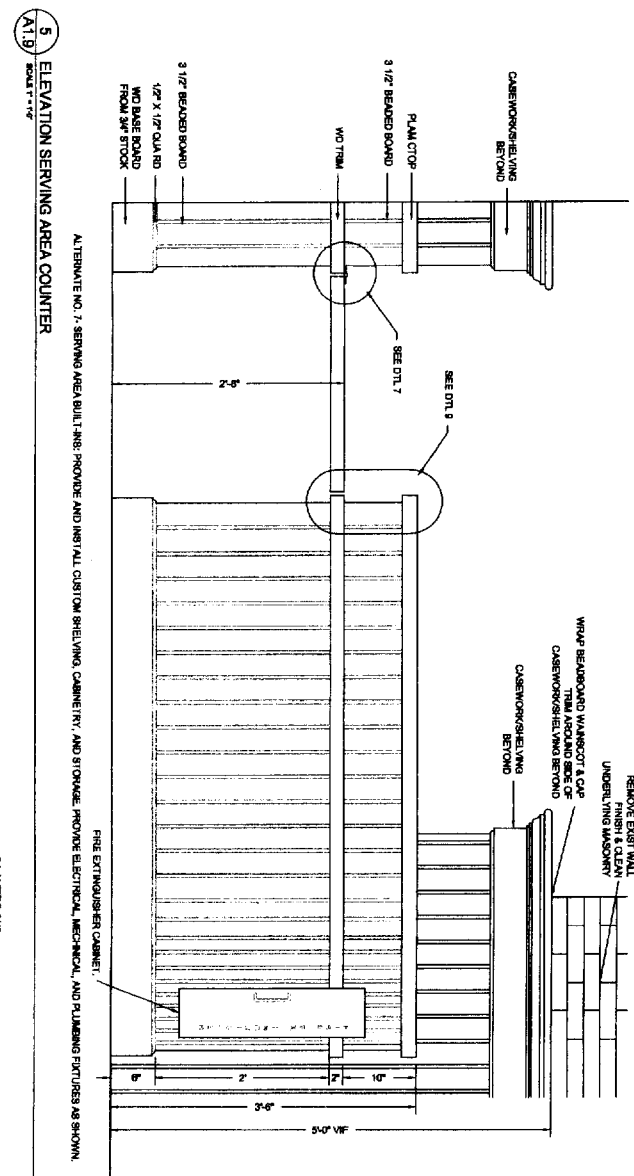
1 DETAIL PLAN SERVING AREA  
SCALE: 1/8" = 1'-0"



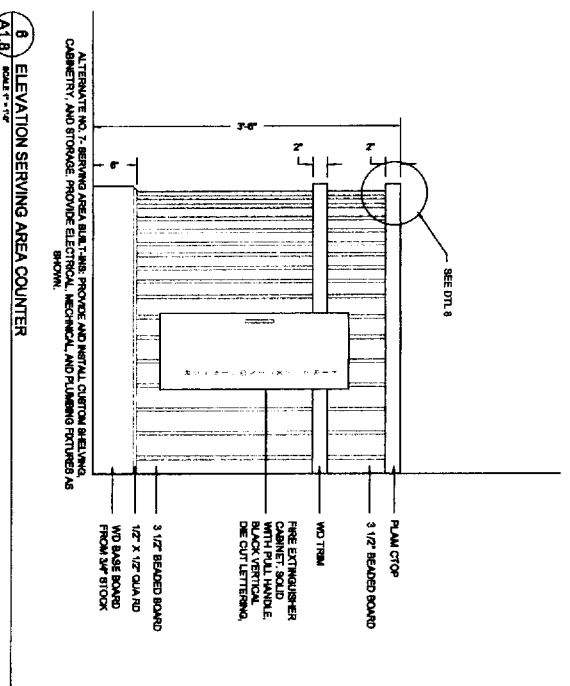
2 INTERIOR ELEVATION OF SERVING AREA CABINETRY W/ WASH SINK  
SCALE: 1/8" = 1'-0"



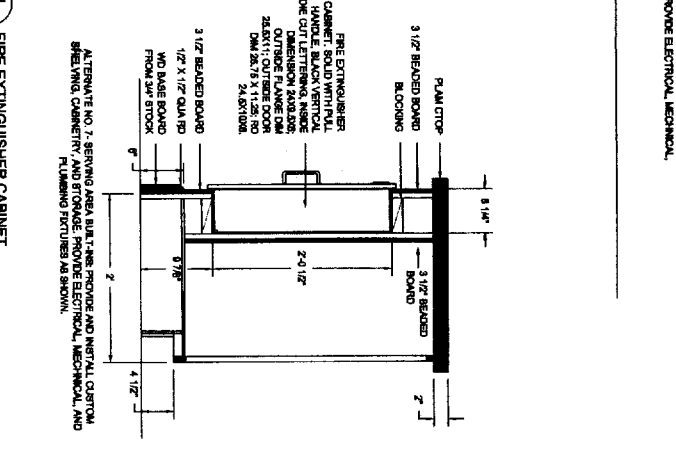
3 BUILT-IN SHELVING DETAIL  
SCALE: 1/8" = 1'-0"



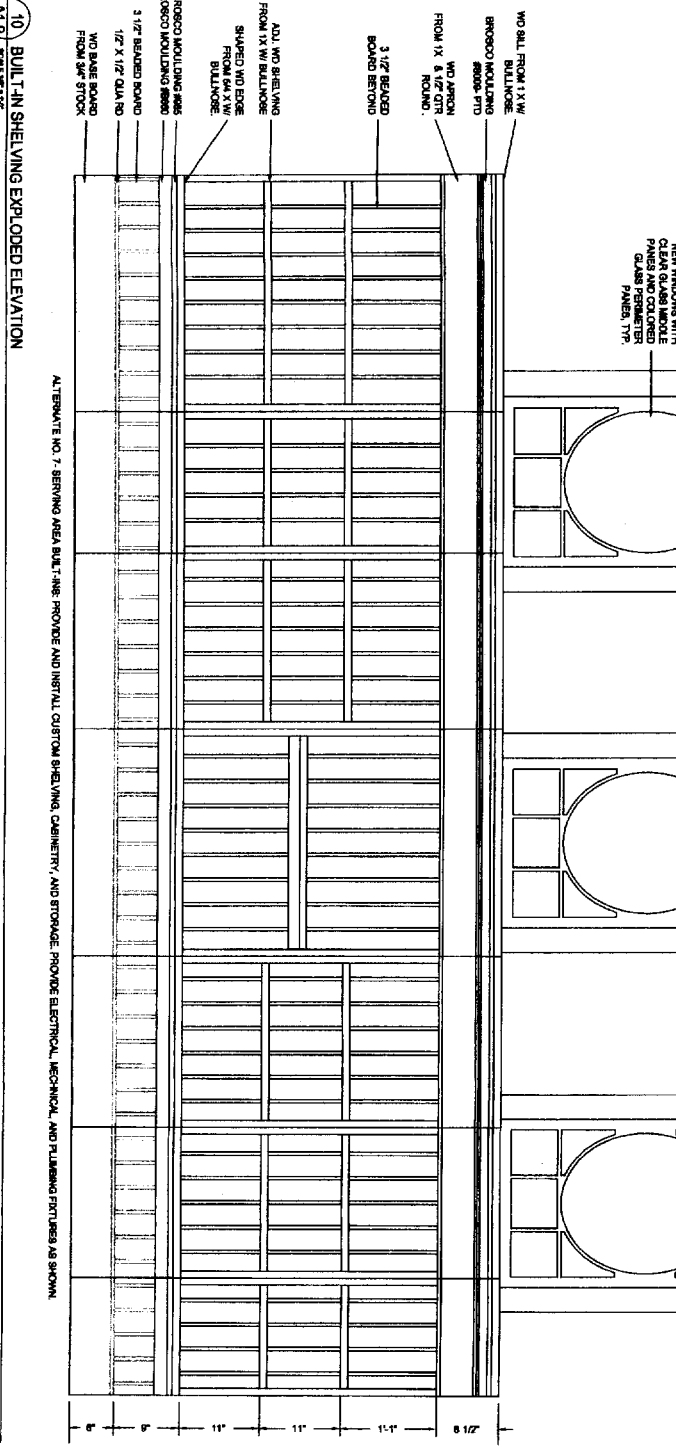
5 ELEVATION SERVING AREA COUNTER  
SCALE: 1/8" = 1'-0"



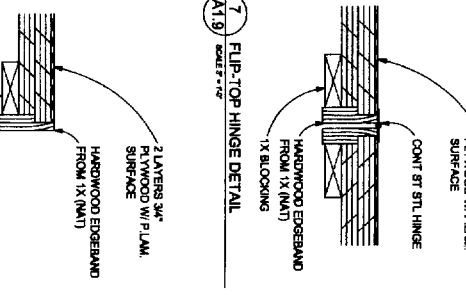
8 ELEVATION SERVING AREA COUNTER  
SCALE: 1/8" = 1'-0"



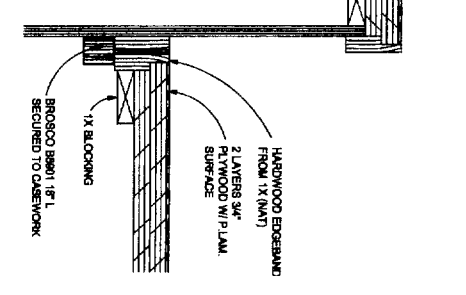
4 FIRE EXTINGUISHER CABINET  
SCALE: 1/8" = 1'-0"



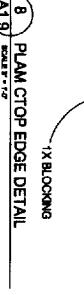
10 BUILT-IN SHELVING EXPLODED ELEVATION  
SCALE: 1/8" = 1'-0"



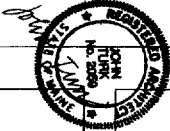
7 FLIP-TOP HINGE DETAIL  
SCALE: 1/8" = 1'-0"



9 FLIP-TOP STOP DETAIL  
SCALE: 1/8" = 1'-0"



8 PLUM TOP EDGE DETAIL  
SCALE: 1/8" = 1'-0"



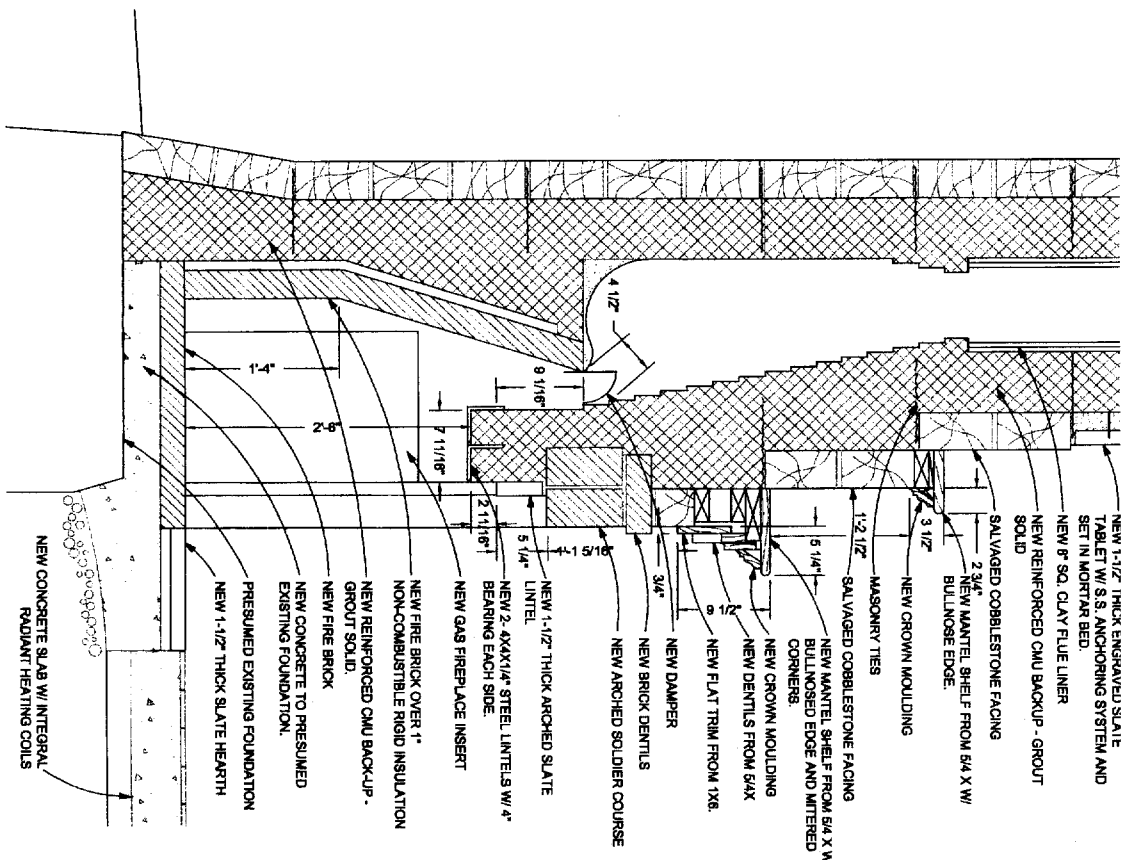
Architect:  
TUSK TRACEY & LARRY  
ARCHITECTS, L.L.C.  
2081 AND MAINE ST.  
PORTLAND, MAINE 04101  
TEL: 207/851-8668  
FAX: 207/851-8666

M O  
Landmark Architects, Inc.  
P L N  
18 Pleasant Street, Portland, Maine 04101  
(207) 771-3003

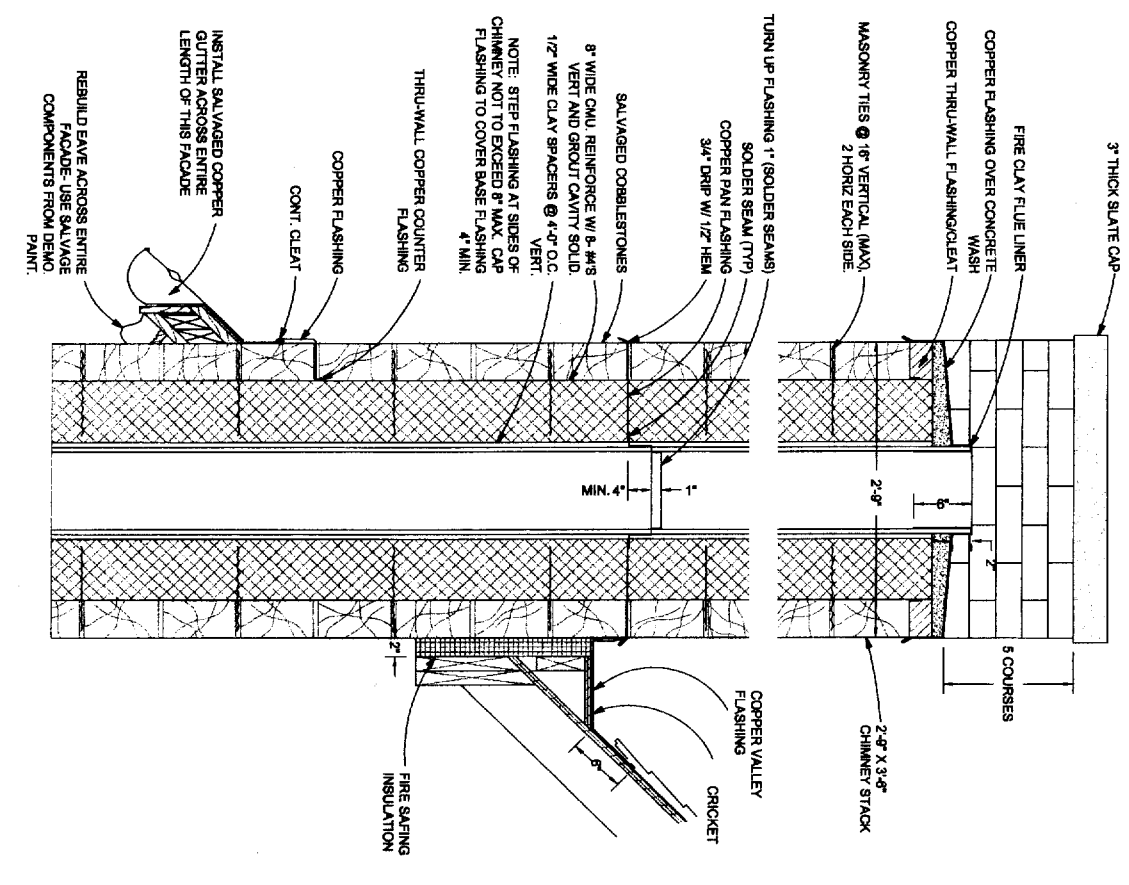
Deering Oaks Rehabilitation  
**CASTLE AND SURROUNDING GROUNDS**  
CITY OF PORTLAND  
PORTLAND, MAINE

DATE: 25 August 2004  
SCALE: AS NOTED  
DRAWN BY: JAL  
REVISIONS:  
15 October 2004

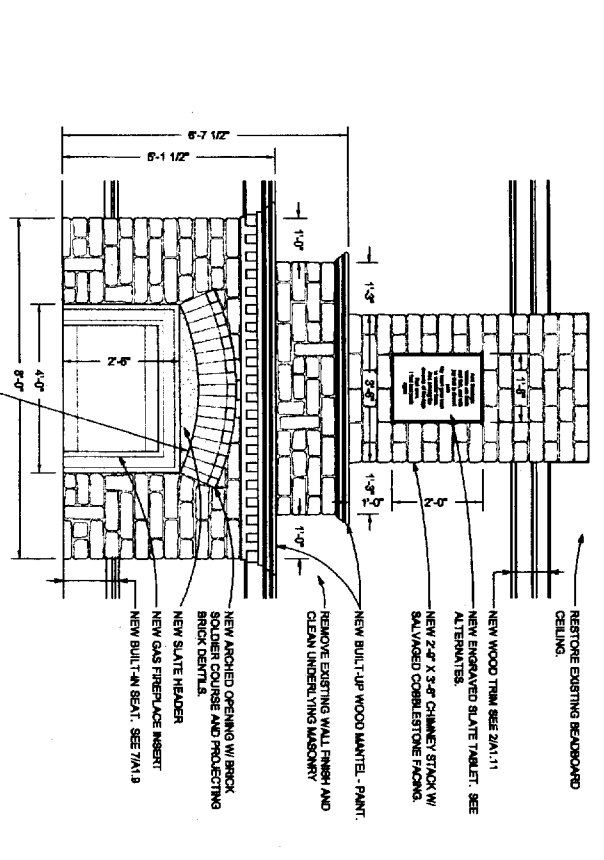
TITLE:  
RESTORED CASTLE  
INTERIOR DETAILS  
SHEET:  
**A 1.9**



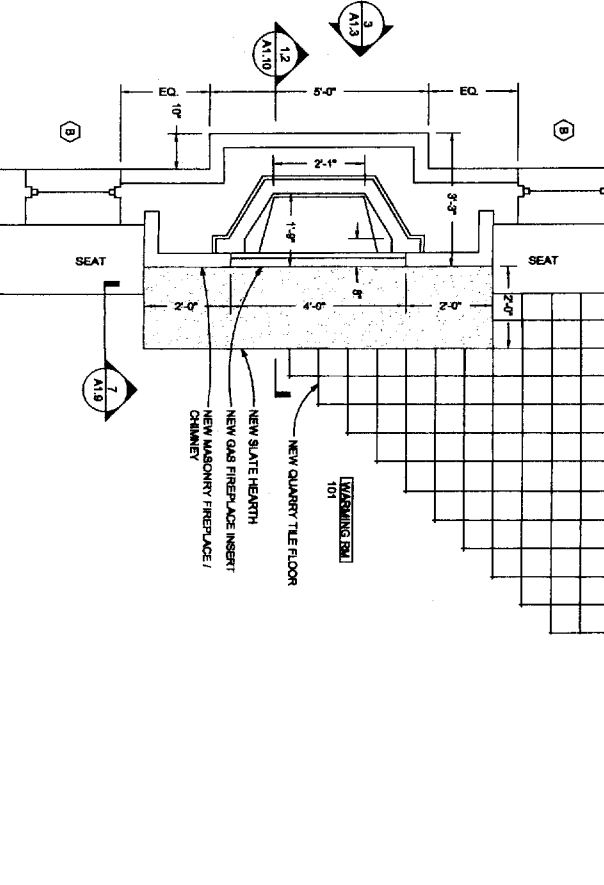
1 SECTION @ FIREBOX  
 A1.10 SCALE 1/8" = 1'-0"  
 NOTE: SEE DET. 1 - FIREPLACE LINING WOOD AND GLASS PANELS FOR NEW GAS FIREPLACE INSERT. SEE DET. 11 - HEARTH.



2 SECTION @ CHIMNEY CAP  
 A1.10 SCALE 1/8" = 1'-0"  
 REBUILD EAVE ACROSS ENTIRE FACADE - USE SALVAGE COMPONENTS FROM DEMO PAINT.



3 NEW FIREPLACE INTERIOR ELEVATION  
 A1.10 SCALE 3/8" = 1'-0"



PLAN @ FIREPLACE  
 A1.10 SCALE 3/8" = 1'-0"

M.O.  
 DTN  
 Landscape Architects, Inc.  
 18 Federal Street, Portland, Maine 04101  
 (207) 871-0000

Architect:  
 TRINK TRACY & LARRY  
 ARCHITECTS, LLC  
 92 EXCHANGER STREET  
 PORTLAND, MAINE 04101  
 TEL: 207.761.9662  
 FAX: 207.761.9666

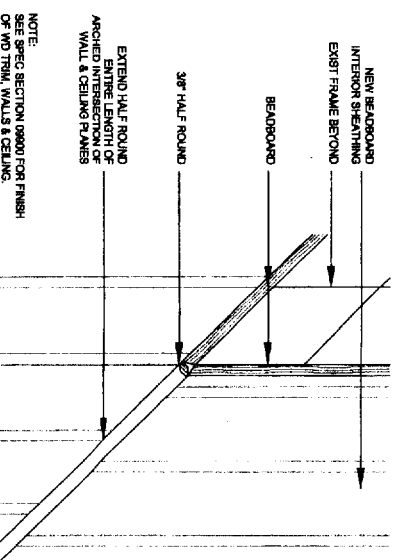
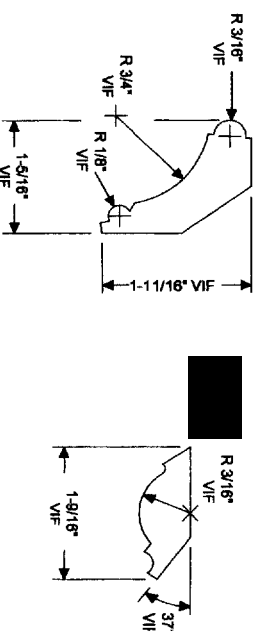


Deering Oaks Rehabilitation  
**CASTLE AND SURROUNDING GROUNDS**  
 CITY OF PORTLAND  
 PORTLAND, MAINE

DATE: 25 August 2004  
 SCALE: AS NOTED  
 DRAWN BY: JT  
 REVISIONS:  
 13 October 2004

TITLE:  
 RESTORED CASTLE  
 FIREPLACE & CHIMNEY  
 DETAILS

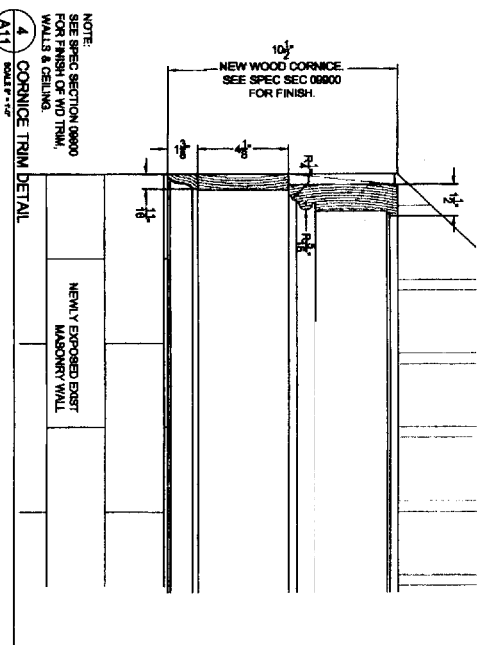
SHEET:  
**A 1.10**



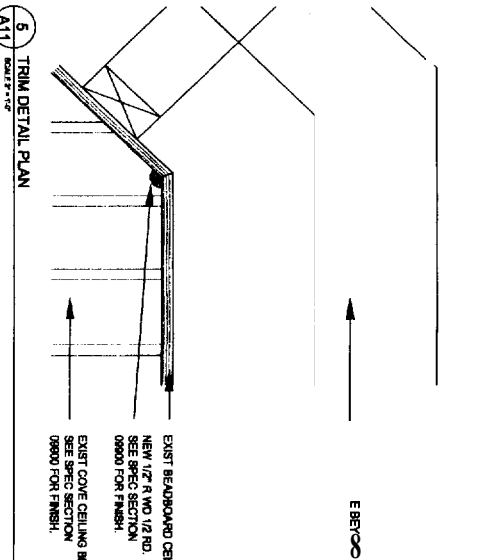
1 EXIST SAMPLE PROFILE  
A111

2 EXIST SAMPLE PROFILE  
A111

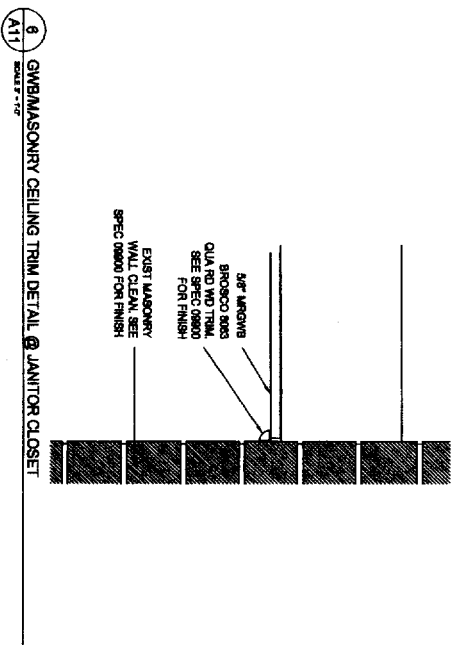
3 TRIM DETAIL  
A111



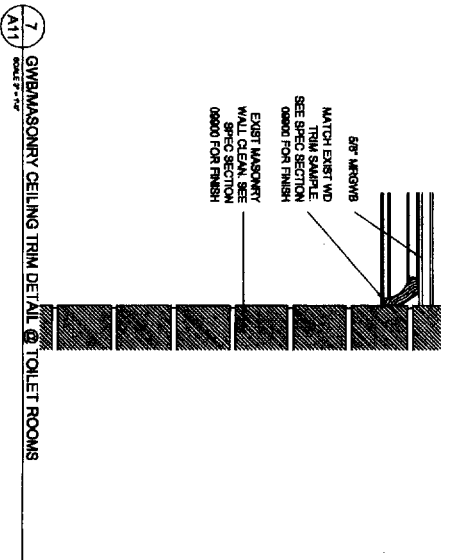
4 CORNICE TRIM DETAIL  
A111



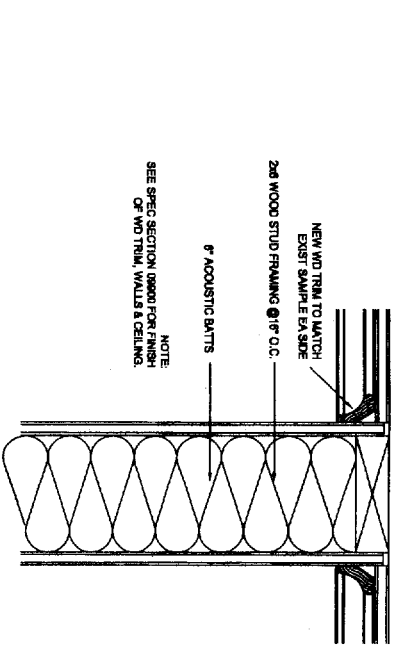
5 TRIM DETAIL PLAN  
A111



6 GYPSUM MASONRY CEILING TRIM DETAIL @ JANITOR CLOSET  
A111



7 GYPSUM MASONRY CEILING TRIM DETAIL @ TOILET ROOMS  
A111

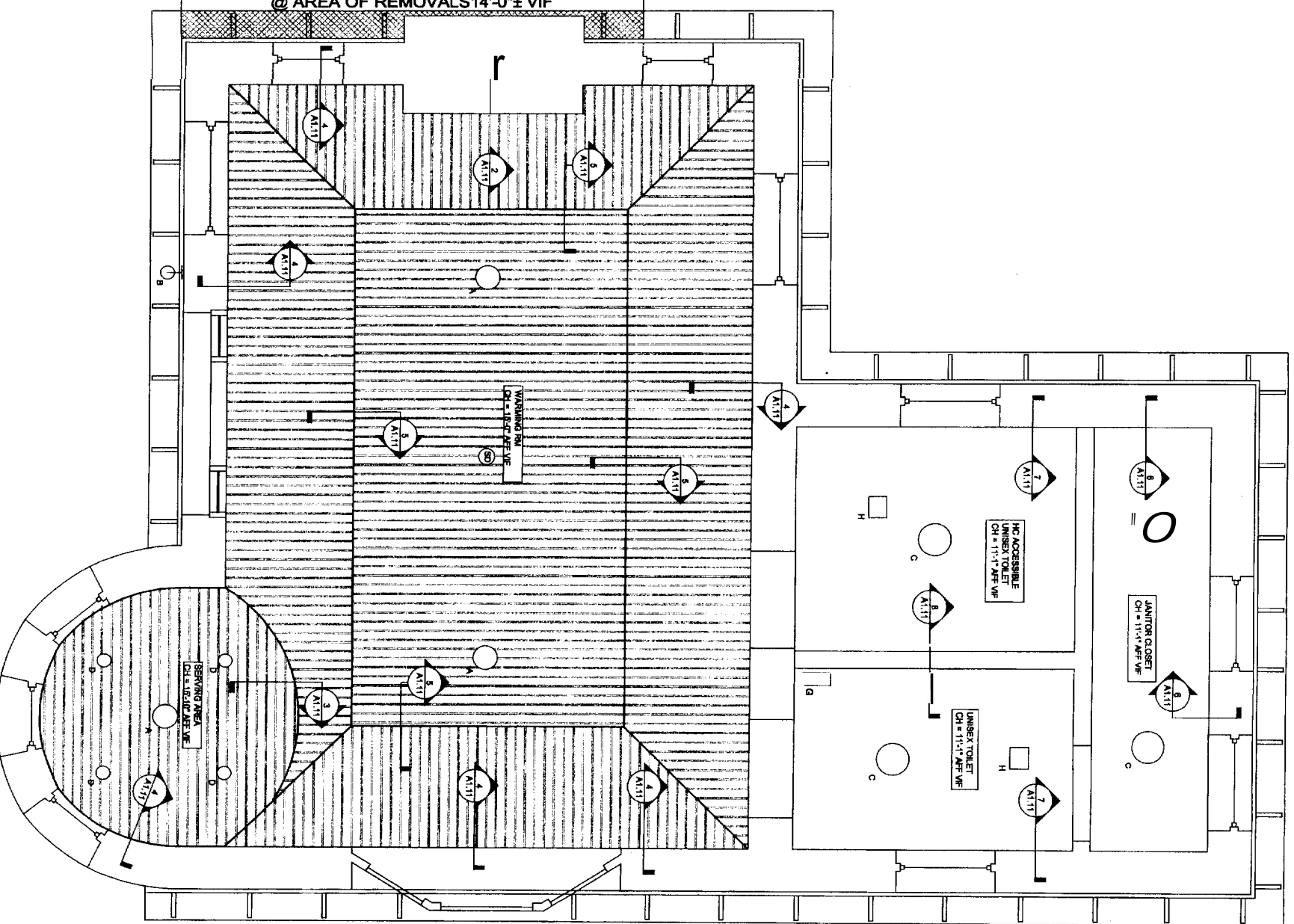


8 GYPSUM MASONRY CEILING TRIM DETAIL @ ADJ TOILET ROOM WALL  
A111

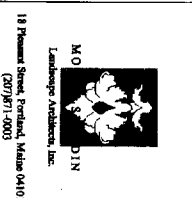
FIXTURE	APPLICATION	MOUNTING	DESCRIPTION
A	PENDANT	CEILING MTD	BRASS LIGHT GALLERY (800.243.8896) MODEL# CN-411-DR-AR, 42\"/>
B	EXT ENTRY	WALL MTD	BRASS LIGHT GALLERY (800.243.8896) MODEL# EK-6396-A-10-HB-VG-CA
C	FLUSH HUNG	CEILING MTD	BRASS LIGHT GALLERY (800.243.8896) MODEL# CN-400-DI-AR
D	TASK LIGHT	RECESSED	LIGHTOLIER (207.839.8980) MODEL# A1705530-4400
E	EXIT SIGN	WALL MTD	ALYCON (847.481.0700) MODEL# SLD10LEDTX-P401A-RC-MB-X
F	EMER EGRESS LIGHT	WALL MTD	PRESCOLITE (510.862.3800) MODEL# PEM-H1208
G	POWER PACK	WALL MTD	PRESCOLITE (510.862.3800) MODEL# MEB97-12V-4B-AH
H	EXHAUST FAN	CEILING MTD	SEE MECH DWG

9 FIXTURE PLAN  
A111

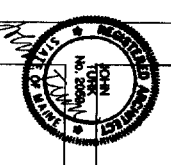
NEW EAVE AND DECORATIVE RAFTER TAILS TO MATCH EXIST DETAILS @ AREA OF REMOVALS 14'-0\"/>



10 FIXTURE PLAN  
A111



Architect:  
TINK TRACY & LARRY  
ARCHITECTS, LLC  
92 EXCHANGE STREET  
PORTLAND, ME 04101  
TEL: 207.751.9662  
FAX: 207.751.9696



Deering Oaks Rehabilitation  
**CASTLE AND SURROUNDING GROUNDS**  
CITY OF PORTLAND  
PORTLAND, MAINE

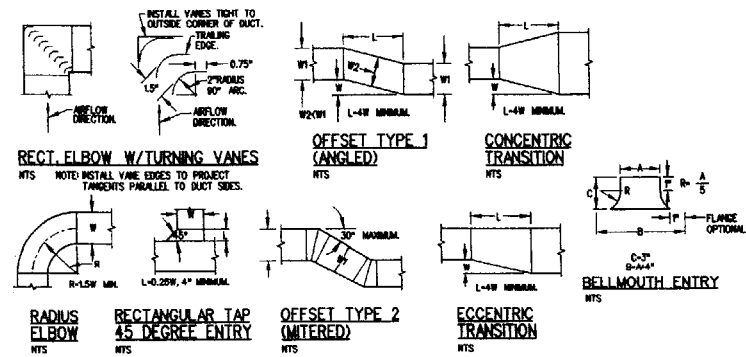
DATE: 25 August 2004  
SCALE: AS NOTED  
DRAWN BY: JAL  
REVISIONS:  
15 October 2004

TITLE:  
CASTLE REFLECTED  
CEILING PLAN  
CEILING  
DETAILS  
SHEET:  
**A.1.11**

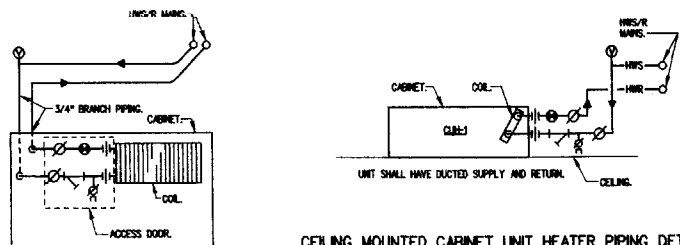
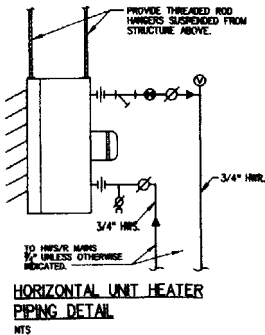








**LOW PRESSURE DUCT CONSTRUCTION DETAILS - TYPICAL**  
NTS



**KICKSPACE HEATER PIPING DETAIL**  
NTS

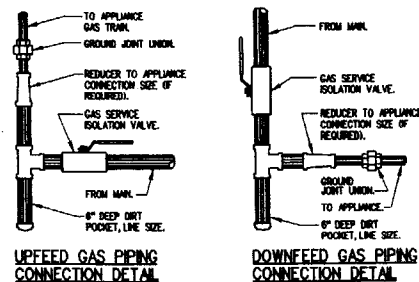
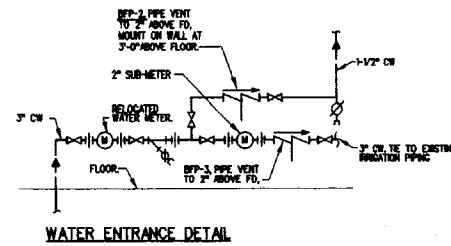
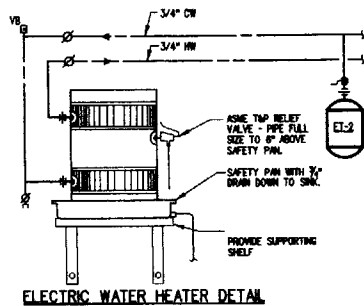
**PLUMBING FIXTURE CONNECTION SCHEDULE**

TAG	DESCRIPTION	SAN	VENT	CW	HW
P-1	FLR MNTD FV WC	3"	2"	1"	-
P-1A	ADA FLR MNTD FV WC	3"	2"	1"	-
P-2	WALL HUNG LAV	1-1/2"	1-1/2"	1/2"	1/2"
P-2A	ADA WALL HUNG LAV	1-1/2"	1-1/2"	1/2"	1/2"
P-3	HAND SINK	1-1/2"	1-1/2"	1/2"	1/2"
P-4	SERVICE FAUCET	-	-	3/4"	3/4"
FD	FLOOR DRAIN	3"	2"	-	-

MINIMUM SIZE OF BELOW SLAB SANITARY & VENT PIPING SHALL BE 2".  
P-2, P-2A AND P-4 FAUCETS SHALL BE PART OF THE TRAP PRIMER SYSTEM.  
ALL FLOOR DRAINS SHALL HAVE TRAP PRIMERS.

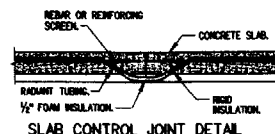
**ELECTRIC WATER HEATER PERFORMANCE SCHEDULE**

TAG	STORAGE (GALS)	RECOVERY (GAL/H)	ELECTRICAL REQUIREMENTS	BASIS OF DESIGN A.O. SMITH
			HP WATTS V/PH/Hz	SERVICE MODEL
WH-1	10.0	-	150 120/1/60	DOM HW ELSF-10

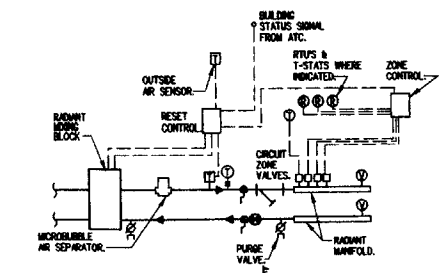
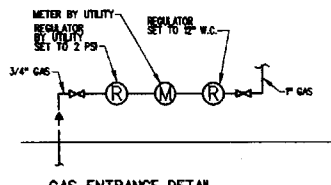
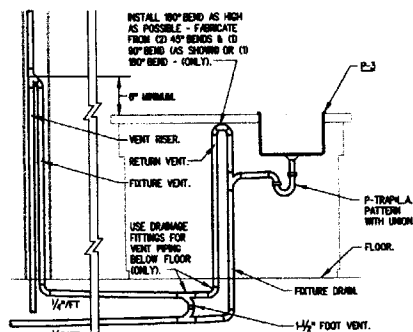


NOTE: APPLIANCES WITH REGULATORS LOCATE PIPING SHOWN HEREIN UPSTREAM OF THE APPLIANCE REGULATOR. PROVIDE A TEST FLUID DOWNSTREAM OF THE APPLIANCE REGULATOR.

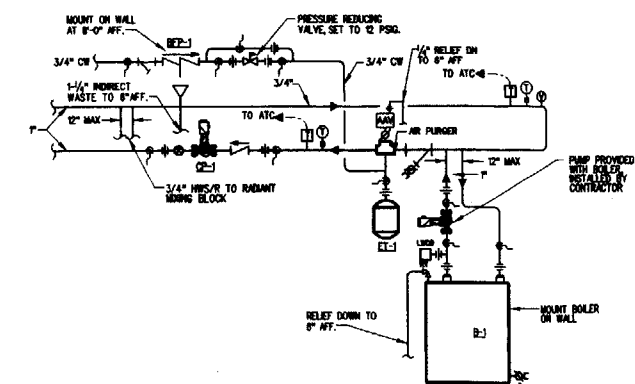
NOTE: APPLIANCES WITH REGULATORS LOCATE PIPING SHOWN HEREIN UPSTREAM OF THE APPLIANCE REGULATOR. PROVIDE A TEST FLUID DOWNSTREAM OF THE APPLIANCE REGULATOR.



NOTE: THIS DETAIL APPLIES ONLY FOR SEPARATE FLOOR CONTROL JOINTS. DO NOT USE FOR SHF CUT JOINTS.



**RADIANT FLOOR PIPING & CONTROL SCHEMATIC**  
NTS



**BOILER PIPING SCHEMATIC**  
NTS

**PUMP PERFORMANCE SCHEDULE**

TAG	FLOW RATE (GPM)	HEAD (FT.WG)	IMPELLER SIZE	RPM	EFF. %	ELECTRICAL REQUIREMENTS				BASIS OF DESIGN TACO			
						HP	BHP	WATTS	AMPS	V/PH/Hz	SERVICE	ARRANGEMENT	MODEL
CP-1	5.0	20.0	-	3250	-	1/8	-	-	1.40	120/1/60	HWS/R	CARTIDGE	009

**AIR DEVICE PERFORMANCE SCHEDULE**

TAG	PANEL SIZE (IN)	NECK SIZE (IN)	AIRFLOW (CFM)	SPLOSS (IN.WG)	THROW (IN)	THROW (FT)	Nc	BASIS OF DESIGN METALABE				
								DUCT CONN (IN)	PATTERN	SERVICE	ARRANGEMENT	MODEL
(A)	12x12	6x6	80	0.02	2-4	-	-	6x6	4-WAY	5006SD	-	-
(B)	42x4	42x4	550	0.10	17-25	-	25	42x4	15'	216HPD	-	-
(C)	48x4	48x4	870	0.10	-	-	30	48x4	15'	216HPD	-	-

PROVIDE ALL REGISTERS, GRILLES AND DIFFUSERS WITH OPPOSED BLADE DAMPERS.

**CABINET UNIT HEATER PERFORMANCE SCHEDULE**

TAG	OUTPUT (MBH)	FLOW RATE (GPM)	W.P.D. (FT.WG)	AIRFLOW (CFM)	ELECTRICAL REQUIREMENTS	BASIS OF DESIGN TRANE
					MCA WATTS V/PH/Hz	SERVICE ARRANGEMENT MODEL
CUH-1	32.0	2.5	2.48	660	4.25 220.0 15/1/60	WARMING DUCTED HORIZONTAL CONCEALED FORCEFLD-060

**KICKSPACE HEATER PERFORMANCE SCHEDULE**

TAG	OUTPUT (MBH)	FLOW RATE (GPM)	W.P.D. (FT.WG)	AIRFLOW (CFM)	ENTERING WATER TEMP (DEG. F)	ELECTRICAL REQUIREMENTS	BASIS OF DESIGN VSV PRODUCTS
						AMPS V/PH/Hz	SERVICE MODEL
KSH-1	3.6	1.0	0.06	50	180	2.0 115/1/60	SERVING COUNTER KSS004

**UNIT HEATER PERFORMANCE SCHEDULE**

TAG	OUTPUT (MBH)	FLOW RATE (GPM)	W.P.D. (FT.WG)	AIRFLOW (CFM)	THROW (FEET)	ELECTRICAL REQUIREMENTS	BASIS OF DESIGN STERLING		
						HP WATTS V/PH/Hz	SERVICE	ARRANGEMENT	MODEL
UH-1	11.1	1.5	0.01	385	20	0 0 115/1/60	MECHANICAL	HORIZONTAL	HS-10

**EXPANSION TANK PERFORMANCE SCHEDULE**

TAG	TANK VOLUME (GALS)	ACCEPTANCE VOLUME (GALS)	MIN. RECD. ACCEPT. VOL. (GALS)	MAX. WORK'G. TEMPERATURE (DEG. F)	MAX. WORK'G. PRESSURE (PSI)	WEIGHT (LBS)	BASIS OF DESIGN ANTRON		
							MOUNTING	SERVICE	MODEL
ET-1	4.4	2.5	-	240	150	14	MLINE	HWS/R	10-P-7
ET-2	2.0	-	-	200	150	21	MLINE	WH-1	ST-S-C

\* - COMBINATION PACKAGE WITH FILL VALVE AND AIR SEPARATOR.

**BFP PERFORMANCE SCHEDULE**

TAG	SIZE	FLOW RATE (GPM)	W.P.D. (PSI)	MAX. WORK'G. TEMPERATURE (DEGREES F)	MAX. WORK'G. PRESSURE (PSI)	TESTABLE (Y) OR (N)	BASIS OF DESIGN WILKINS		
							BODY STYLE	SERVICE	MODEL
BFP-1	3/4"	-	-	180	175	Y	RPZ	BOILER FILL	975XL
BFP-2	1"	42.0	15.0	180	175	Y	RPZ	DOMESTIC WATER	975XL
BFP-3	2-1/2"	225.0	15.0	180	175	Y	RPZ	IRRIGATION SYSTEM	375

\*\* BODY STYLE DESIGNATIONS REFERENCED ARE AS FOLLOWS (OO) - DOUBLE CHECK; (OOO) - DOUBLE DETECTION CHECK; (OOO) - DOUBLE CHECK WITH ATMOSPHERIC VENT; (RPZ) - DOUBLE CHECK W. REDUCED PRESSURE ZONE RELIEF VALVE.

**GAS BOILER PERFORMANCE SCHEDULE**

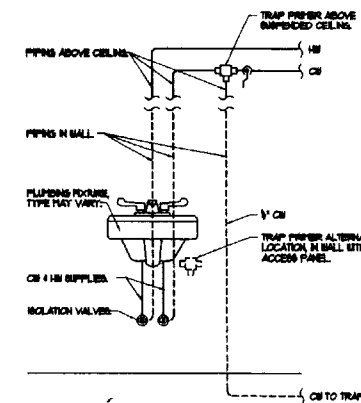
TAG	A.G.A. INPUT (MBH)	HEATING CAPACITY (MBH)	NET I-B-R RATING (MBH)	FUEL	A.F.U.E. (%)	BOILER SECTIONS	FLUE DIA. (IN)	ELECTRICAL REQUIREMENTS		BASIS OF DESIGN WEIL-MCLAIN	
								AMP WATTS	V/PH/Hz	SERVICE	MODEL
B-1	45.0	38.0	33.0	NAT GAS	85.3	-	-	5.0	-	120/1/60	HWS/R AHE-45

\* - BASED ON D.O.E. (DEPT. OF ENERGY) TEST PROCEDURE

**FAN PERFORMANCE SCHEDULE**

TAG	AIRFLOW (CFM)	T.S.P. (IN.WG)	NOISE (SONES)	RPM	DRIVE	ELECTRICAL REQUIREMENTS				BASIS OF DESIGN NUTONE			
						HP	BHP	WATTS	AMPS	V/PH/Hz	SERVICE	ARRANGEMENT	MODEL
EF-1	94	0.25	-	-	DIRECT	-	-	-	0.65	120/1/60	TOILET	CEILING	QTHO
EF-2	94	0.25	-	-	DIRECT	-	-	-	0.65	120/1/60	TOILET	CEILING	QTHO
EF-3	94	0.25	-	-	DIRECT	-	-	-	0.65	120/1/60	MECH ROOM	CEILING	QTHO

PROVIDE ALL FANS WITH NUTONE MODEL 841-BL ROOF CAP WITH BAKED ENAMEL FINISH (COLOR BY ARCHITECT)



**TRAP PRIMER CONNECTION DETAIL**  
NTS

NOTE: P-2, P-3A AND P-4 REQUIRED SHALL HAVE TRAP PRIMERS.

**RADIANT FLOOR HEATING SCHEDULE**

ROOM	LOAD (MBH)	TUBE SPACING (INCHES)	MANIFOLD	ZONE
WARMING ROOM AND TOILETS	13.1	12"	RM1	Ⓢ



Architect:  
TURK TRACEY & LARRY  
ARCHITECTS, P.L.L.C.  
92 EXCHANGE STREET  
PORTLAND, MAINE 04101  
TEL. 207.761.9662  
FAX. 207.761.9696

Deering Oaks Rehabilitation  
 CASTLE AND SURROUNDING GROUNDS  
 CITY OF PORTLAND  
 PORTLAND, MAINE

DATE: 25 AUGUST 2004  
SCALE: AS NOTED  
DRAWN BY: JMV

REVISIONS:

TITLE:  
MECHANICAL AND  
PLUMBING SCHEDULES  
AND DETAILS

SHEET: **M2.1**

