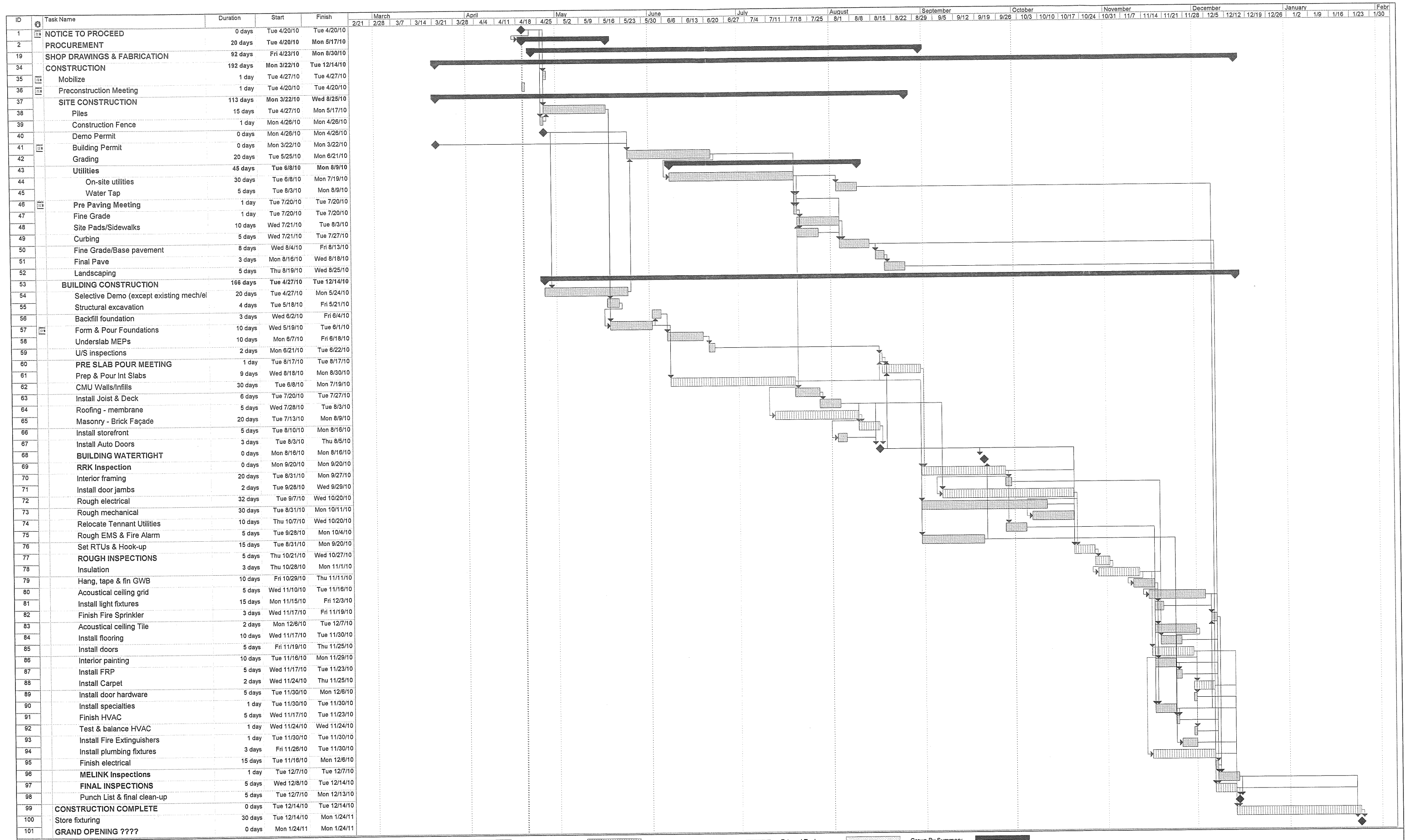
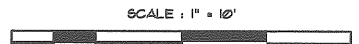
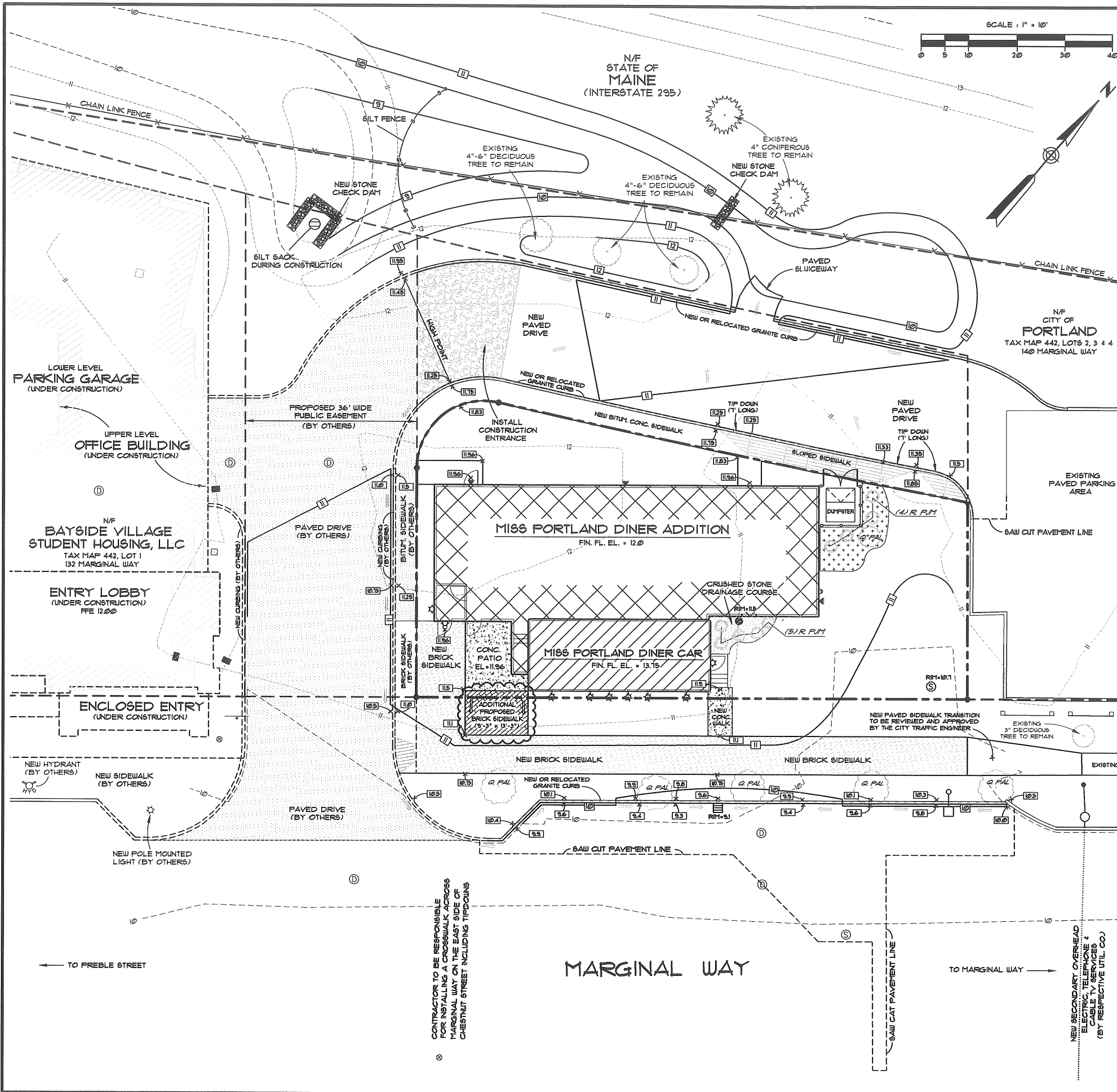


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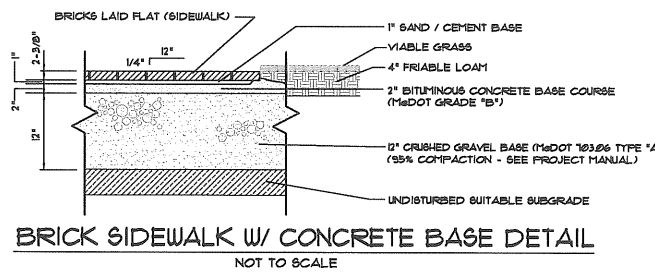
marginal way
Miss Portland Diner
Tomaks, LLC.





NOTES

- 1) SEE SHEET 1 FOR SITE NOTES.
- 2) TEMPORARY BENCHMARK - PK NAIL IN UTILITY POLE #3 ON THE NORTHWEST SIDE OF MARGINAL WAY, ELEVATION = 10.62.
- 3) LANDSCAPING SHALL MEET THE "ARBOICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- 4) ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION, BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2003, OR LATEST EDITION. NOTE: THE SITE PLAN SPECIFIES THE EROSION CONTROL DEVICE TO BE EMPLOYED (SILT FENCE, HAY BALE, ETC.) AS WELL AS THEIR LOCATIONS. OTHER DEVICES MAY BE APPLICABLE DEPENDING ON SITE CONSTRUCTION TECHNIQUES.
- 5) ALL PERIMETER EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
- 6) ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
- 7) EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THIS SITE. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE ERRECTED OUTSIDE THE DRIP-LINE OF INDIVIDUAL GROUPINGS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. REGRADING SHALL NOT TAKE PLACE WITHIN THE DRIP-LINE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRIP-LINE OF TREES TO BE PRESERVED.
- 8) THE LIGHT POLE IS TO BE HOLOPHANE ESPLANADE SERIES WITH SILVER-METALLIC ALUMINUM (F264H) BRACKET AND FIXTURE. THE LIGHT FIXTURE IS TO BE SUPPLIED BY CENTRAL MAINE POWER. THE CONTRACTOR IS RESPONSIBLE FOR PURCHASING AND INSTALLING THE LIGHT BASE, LIGHT POLE AND BRACKET INCLUDING THE WIRING AND DECORATIVE BASE. CONTRACTOR SHALL COORDINATE INSTALLATION OF LIGHT FIXTURE WITH CMP.
- 9) WORK WITHIN THE ROW SUCH AS UTILITIES, CURB, SIDEWALK, AND DRIVEWAY CONSTRUCTION SHALL REQUIRE A STREET OPENING PERMIT FROM THE CITY OF PORTLAND. ONLY EXCAVATORS LICENSED BY THE CITY OF PORTLAND ARE ELIGIBLE.
- 10) THE DEVELOPMENT REVIEW COORDINATOR MUST BE NOTIFIED 5 WORKING DAYS PRIOR TO DATE REQUIRED FOR FINAL SITE INSPECTION. ALL SITE IMPROVEMENTS MUST BE COMPLETED AND APPROVED BY THE DEVELOPMENT REVIEW COORDINATOR PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- 11) CONTRACTOR SHALL FURNISH AND PLACE 12" LOAM IN ALL SHRUB BEDS, 30" LOAM IN ALL TREE PITS, AND 6" UNDER ALL TURF AREAS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLANTING LOAM.
- 12) ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- 13) ALL SHRUB BEDS AND TREE PITS SHALL BE MULCHED WITH 4" CLEAN SHREDDED BLACK BARK MULCH.
- 14) ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
- 15) WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8".
- 16) THE CLOSEST PUBLIC FIRE HYDRANT IS LOCATED AT 121 MARGINAL WAY. IT IS LABELLED ON CITY RECORDS AS HYDRANT #40 WITH A PRESSURE RATING OF 92 PSI.
- 17) THE CONTRACTOR SHALL CONSULT WITH THE CITY ARBORIST PRIOR TO CONSTRUCTION TO DETERMINE IF ANY OF THE EXISTING TREES ALONG MARGINAL WAY CAN BE TRANSLATED.

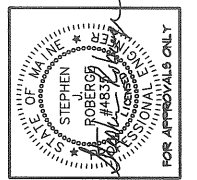


LEGEND

- IRON ROD TO BE SET
- BOUNDARY LINE (SUBJECT PARCEL)
- - - BOUNDARY LINE (OTHER)
- EXISTING SEWER MANHOLE
- PROPOSED SEWER MANHOLE
- EXISTING DRAINAGE MANHOLE
- PROPOSED DRAINAGE MANHOLE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- x- [ELEVATION] PROPOSED SPOT GRADE
- NF NOW OR FORMERLY
- NEW WALL MOUNTED LIGHT (3 TYPES)
- NEW POLE MOUNTED LIGHT (2 TYPES)
- ▨ EXISTING BUILDING
- ▨ PROPOSED BUILDING
- ▨ EXISTING PAVEMENT
- ▨ PROPOSED PAVEMENT
- DIRECTION OF PROPOSED DRAINAGE FLOW

LANDSCAPING LEGEND

SYMBOL	KEY	BOTANICAL NAME (COMMON NAME)	SIZE
○	(R) R.P.M.	RHODODENDRON 'PUM COMPACTA' (COMPACT PUM RHODODENDRON)	18"-24"
○	(L) Q.PAL.	QUERCUS PALUSTRIS (PIN OAK)	2 1/2"-3" CAL
○		NEW PLANTING BED W/ 4" SHREDDED BLACK BARK MULCH	



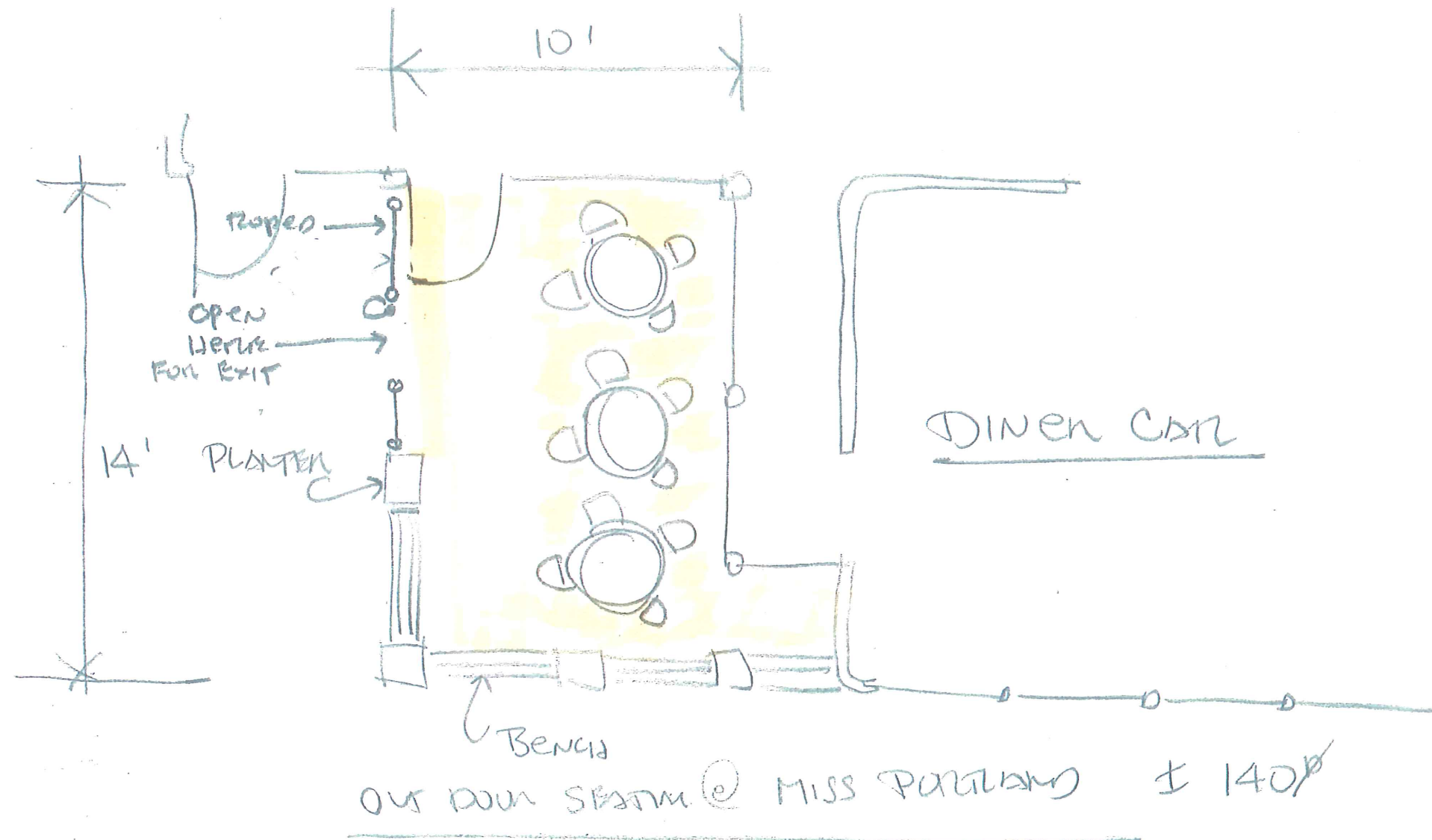
REV.	DATE	BY	DESCRIPTION
1	12-14-07		SUBMITTED TO ARCHITECT FOR REVIEW
2	12-19-07		REVISED LANDSCAPING LIGHT POLES PER ARCH. REVIEW
3	12-19-07		REVISED PER CITY REVIEW
4	12-31-07		ADD DRAINAGE FLOW ARROWS, LANDSCAPING QUANTITIES
5	03-12-08		REVISIONS PER REVIEW COMMENTS
6	03-12-08		MAKE LOOP DRIVEWAY 24' WIDE

SJR ENGINEERING, INC.
 21 MATFLOUER ROAD
 AUGUSTA, MAINE 04330
 (207) 622-1616 tel & fax
 sjr@sjr-engineering.com

TOPOGRAPHIC & LANDSCAPING PLAN
MISS PORTLAND DINER
 MARGINAL WAY - PORTLAND, MAINE

PREPARED FOR
TOMIACS, LLC
 16 AYOUE DRIVE, MAHAUAH, NJ 07430

DATE	PROJECT
DEC. 2007	SJR #
DRAWN BY	SCALE
PLANIT	1" = 10'



$1/4" = 1' \text{ } \phi$

Site Areas:
 Back Cove Company before conveyance = 52,886 sf = 1.21 ac
 Five Liver Company before conveyance = 19,133 sf = 0.44 ac
 Back Cove Company after conveyance = 72,019 sf = 1.65 ac

Building Data:
 Zoning District B-7
 Area: _____ Sq. Ft.
 Existing Building Footprint area = 25,078
 Proposed Building Area to be demolished <411>
 Proposed New Building Addition areas = 3059
 Net Area of New Building Footprint = 27,726

Space and Bulk Requirements:
 Setbacks = none required.
 Maximum Lot Coverage = 100%.

Off Street Parking and Loading = none required

Parking & Loading Notes:
 Typical Parking Dimensions unless noted otherwise:
 Stall depth = 19 ft
 Handicap accessible stall width = 8 ft
 Handicap Accessible Aisle width = 8 ft
 Drive aisle width = 24 ft. (min.)

Parking required by zoning code = 0
 Parking stalls shown (including HC stalls) = 88
 Three receiving areas shown

Bicycle parking required by code = 0.
 Bicycle parking shown = 10.

GENERAL NOTES

- New landscaping shall meet the "Arboricultural Specifications and Standards of Practice and Landscaping Guidelines" of the City of Portland Technical and Design Standards and Guidelines.
- The entire site shall be developed and/or maintained as depicted on the site plan. Approval of the Planning Authority or Planning Board shall be required for any alteration or deviation from the approved site plan, including, without limitation, topography, drainage, landscaping, retention of woods or lawn areas, access, size, location, surfacing of paving areas and location and size of buildings.
- Sidewalks and curbing shall be designed and built with tip down ramps at all street corner, crosswalks and driveways in conformance with the City of Portland Technical and Design Standards and Guidelines.
- All erosion and sediment control measures shall be designed in accordance with Maine Erosion and Sediment Control Handbook for Construction: Best Management Practices published by the Cumberland County Soil and Water Conservation District and the Maine Department of Environmental Protection, March 1991 or latest edition.
- All erosion control measures shall be installed prior to any site excavation or regrading.
- All disturbed areas on the site not covered by building or paved area shall be stabilized with loam and seed or other methods as required by Best Management and Practices (see above).
- Prior to construction a preconstruction meeting shall be held at the project site with the contractor, development review coordinator, Public Works representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide (3) copies of a detailed construction schedule to the City representative. It shall be the contractor's responsibility to arrange a mutually agreeable time for the preconstruction meeting.
- Survey data on this plan taken from Tilcomb Associates survey for Back Cove Company dated July 2008. Refer to survey for additional information.
- Refer to Grading and Drainage Plans for finish floor elevations and additional information.
- Refer to Planting Plan Plan for additional information.
- New CMP/City standard street light and pole to match existing poles on north side of Marginal Way. New pole to be installed in ROW and staggered midway +/- between existing poles on north side of Marginal way. Exact location TBD to avoid existing utilities and new curb cut.
- Except for proposed new street light in Marginal Way ROW, any new site lighting fixtures will be a "cut off" type fixture. The exact locations and specifications of any new fixtures will be submitted to the planning staff for their review and approval before any new fixtures are installed.
- Record Owners: Back Cove Company; Bk 7300 Pg 235
 Five Liver Company; Bk 11185 Pg 258

SITE PLAN NOTES

- PERIMETER OF ALL ASPHALT TO RECEIVE CONCRETE CURB.(NOT USED)
- 65 FOOT TRUCK TURNING RADIUS DEPICTED AS PER SHEET C4.5
- PRIVACY FENCE.(NOT USED)
- IDENTIFY USE AND LOCATE ALL STRUCTURES ADJACENT TO WALGREENS SITE. INDICATE NUMBER OF STORIES AND DISTANCE FROM PROPERTY LINE.
- SPOT ELEVATION AT FLOW LINE OF PROPOSED ENTRANCE ON GRADING PLAN (NOT USED).
- BITUMINOUS APRON TO D.O.T. SPECIFICATIONS. CURB OUT DIMENSION MUST ACCOMMODATE 65 FOOT TRACTOR/TRAILER WITHOUT ROLLING ONTO CURB. DIVIDE DRIVEWAY INTO LANES WITH STRIPING.
- LIMIT OF HEAVY DUTY ASPHALT PAVING.
- 50'L X 4"W YELLOW PAINT STRIPE (TYPICAL) LANE DIVIDER. (NOT USED)
- LINE OF CANOPY ABOVE.
- 12" X 18" "DO NOT BLOCK ENTRANCE" SIGN. ORIENT FACE OF SIGN ADJACENT TO ON COMING TRAFFIC. (NOT USED)
- 36" FLEXIBLE DELINEATOR POST. FASTEN TO CONCRETE WITH BOLTS. (NO ADHESIVE FASTENING)(NOT USED)
- GAS METER WITH BOLLARDS.
- COMPACTORS. (NOT USED)
- LINE OF CONCRETE PAD.(NOT USED)
- LIGHT POLE (TYPICAL). QUANTITY AND LOCATION OF POLES TO BE DETERMINED BY APPROVED PHOTOMETRICS.
- CONCRETE DRIVE-UP LANE AND CANOPY ABOVE. (DRIVE-UP NOT USED)
- PROVIDED LANE DIVIDERS AND DIRECTIONAL ARROWS AT ALL DRIVES AND END OF DRIVE AISLES.
- MINIMUM 24" OCTAGONAL REFLECTIVE STEEL STOP SIGN (SET BACK CLEAR OF TRAFFIC) AT DRIVE - THRU; ALIGN EDGE OF STOP SIGN WITH EDGE OF 1'-0" CURB AT DRIVE-THRU.(NOT APPLICABLE)
- CONCRETE SIDEWALK (TYP.). PAD MOUNTED TRANSFORMER WITH BOLLARDS. (COORDINATE W/ P.A. ANY OTHER LOCATIONS). (NOT USED)
- ENTRY BOLLARDS W/ POLYETHYLENE COVERS 5'4" CLEAR MAX
- ACCESSIBLE PARKING SIGN. SEE ACCESSIBILITY SHEET FOR DETAIL
- ACCESSIBLE RAMP W/ DETECTABLE WARNING ALONG ACCESSIBLE ROUTES (TYP.). WHEN SLOPE IS LESS THAN 5%, ONLY 36" OF DETECTABLE WARNING SURFACE IS REQUIRED.
- ASPHALT PAVING.
- YELLOW PAINT STRIPING (TYPICAL). BLACK OUTLINE ON CONCRETE PAVEMENT
- ACCESSIBLE PARKING DESIGN TO MEET ALL GOVERNING CODES. QUANTITY AS REQUIRED BY A.D.A. - ACCESSIBLE PARKING SPACES AND THEIR ACCESS AISLES SHALL BE 1 1/2% WHERE POSSIBLE (2% MAX.) SLOPE IN ALL DIRECTIONS (TYP.).
- TOP OF SIGN FOUNDATION TO BE AT TOP OF STREET CURB HEIGHT (MIN.)(USING EXISTING SIGN CONDITION)
- PLACE SIGN WITH MINIMUM SETBACKS. COORDINATE WITH ZONING AND DIMENSION ACCORDINGLY.(USING EXISTING SIGN)
- INDICATE ALL EXISTING OR PROPOSED TRAFFIC CONTROL ELEMENTS.
- SPOT ELEVATION AT STREET INTERSECTION. (NOT USED)
- READERBOARD PYLON SIGN. BASE FOR SIGN TO BE INSTALLED AS SOON AS POSSIBLE. ORIENT PERPENDICULAR TO MAJOR TRAFFIC STREET. INSTALL CONCRETE PAVERS AT PYLON SIGN WITH MANUAL READERBOARDS. (USING EXISTING SIGN CONDITION-NOT APPLICABLE)
- INDICATE ALL OFF-SITE IMPROVEMENTS. DENOTE EXISTING OR PROPOSED.
- ALL END ISLANDS TO BE 4'-0" LESS THAN STALL DEPTH. WHERE FULL DEPTH ISLAND IS REQUIRED DETAIL ROLLOVER CURB AND CONCRETE FILL END OF ISLAND 4'-0".
- RETURN SIDEWALK TO EXIT DOOR. (ADA ACCESSIBLE EXIT ROUTE REQUIRED). (NOT USED)
- WALKS WITHOUT COLUMNS CAN BE 7'-0" W. WALKS WITH COLUMNS SHALL PROVIDE 5'-0" CLEAR TO BUILDING AND 2'-6" CLEAR TO EDGE OF CURB. SOUTHERN PROTOTYPE WALK TO BE 10'-0" W MIN.
- TOTE ENCLOSURE (NOT USED)
- DETECTABLE WARNING SURFACE, 36" DEEP.
- STORM CATCH BASINS AND GRATED MANHOLES TO BE 40" MINIMUM AWAY FROM 2% ACCESSIBLE PARKING ZONE AND ACCESSIBLE ROUTES.
- LIGHT POLES, LANDSCAPING, AND OTHER SITE EQUIPMENT SHALL NOT OBSCURE SIGHT LINES TO PYLON.-USING EXISTING CONDITION-NON CONFORMING
- SEVEN-BIKE TUBULAR STEEL BIKE RACK (SEE SPECS) WITH THICKENED CONC. SLAB ALLOW FOR 5' ACCESS AISLE BEYOND BIKE PARKING AREA, BOTH SIDES OF RACK. (CITY OF PORTLAND - SIX-BIKE RACK USED)
- ISLAND WITH 6" CURB (NOT APPLICABLE).
- 7'-3" X 8'-8" MIN. ALLOWABLE AREA FOR SEVEN-BIKE PARKING.(SIX-BIKE RACK PARKING USED-NON CONFORMING)

SITE PLAN CRITERIA NOTES

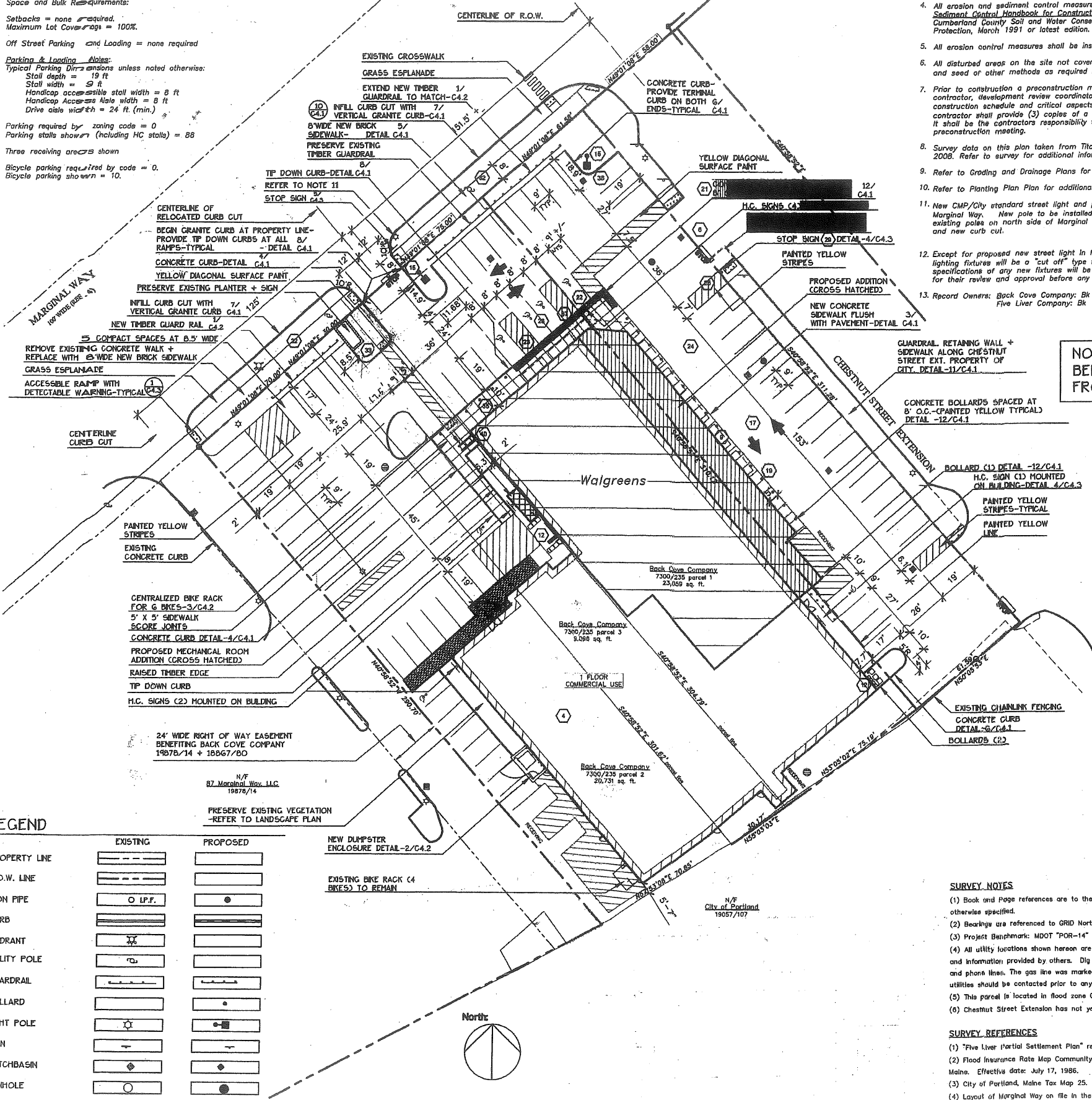
- PARKING**
 PROVIDE CONTINUOUS CONCRETE WALK IF PARKING STALLS ARE ADJACENT TO BUILDING. PROVIDE PARKING DESIGN TO SATISFY ALL ACCESSIBLE PARKING REQUIREMENTS AS PER GOVERNING CODES.
- TRASH ENCLOSURE**
 A. IF POSSIBLE, WALGREENS WILL HAVE DUAL COMPACTORS.
 B. FOR LOCATIONS WHERE TRASH COMPACTOR CAN NOT BE ACCOMMODATED, A DUMPSTER SHALL BE PROVIDED. SEE SHEET C4.5.(NOT APPLICABLE)
- PYLON AND DIRECTIONAL SIGNS**
 SIGNS TO BE LOCATED AS SHOWN ON SITE PLAN. VERIFY AND DEFINE SIZE, QUANTITY, SETBACK AND REQUIREMENTS, AND PERSON TO CONTACT AT GOVERNING SIGN AUTHORITY.
- UTILITIES**
 SITE SHALL HAVE ADEQUATE WATER SERVICE TO SUPPORT FIRE SUPPRESSION SYSTEM IN WALGREENS BUILDING. ALL SITE UTILITIES, BOTH EXISTING OR NEW, MUST BE UNDERGROUND OR RE-ROUTED OFF SITE.
- TRUCK EGRESS**
 ROLLER CURBS TO ACCOMMODATE 65 FOOT DELIVERY TRUCK SHOULD BE CONSIDERED IF ANY OF THE FOLLOWING OCCURS:
 1. MAX CURB WIDTH ALLOWED IS LESS THAN 40 FEET.
 2. STREET CURB CUT IS LESS THAN 4 LANES WIDE.
 3. ALLOWABLE RADIUS AT CURB ENTRANCE IS LESS THAN 20 FEET.
- MAIL BOX**
 IN AREAS WHERE THE U.S. POST OFFICE REQUIRES A FREESTANDING MAIL BOX, GENERAL CONTRACTOR SHALL PROVIDE HEAVY DUTY DIE CAST ALUMINUM RURAL MAIL BOX EQUAL TO MODEL #4850 BY SALSURBY INDUSTRIES, LOS ANGELES, CALIFORNIA, WITH MATCHING POST #4895 ON 18" DIA. CONCRETE FOUNDATION.
- EXPOSED EQUIPMENT**
 WALGREENS PREFERS TO HAVE ALL EQUIPMENT INSIDE. WHEN EQUIPMENT IS REQUIRED TO BE OUTSIDE, IT IS TO BE HOUSED IN A SECURE, LOCKABLE ENCLOSURE.
- FINISHED FLOOR ELEVATION**
 FINISHED FLOOR ELEVATION TO BE ABOVE 100 YEAR FLOOD ELEVATION. DO NOT TRAP STORM WATER ON SITE. DESIGN STORM OVERFLOW BELOW FLOOR ELEVATION.
- LOADING AREA**
 A 65' TRUCK MUST BACK INTO RECEIVING AREA-(NOT APPLICABLE)

SURVEY NOTES

- Book and Page references are to the Cumberland County Registry of Deeds, unless otherwise specified.
- Bearings are referenced to GRID North Maine West Zone NAD83.
- Project Benchmark: MDOT "POR-14" Elevation= 9.936' City Datum (mean tide).
- All utility locations shown hereon are approximate, based on location of visible features and information provided by others. Dig Smart of Maine located the underground water, electric, catv, and phone lines. The gas line was marked on the ground by an unknown source. The appropriate utilities should be contacted prior to any construction.
- This parcel is located in flood zone C (areas of minimal flooding). See plan reference 2.
- Chestnut Street Extension has not yet been formally accepted (per City Engineer).

SURVEY REFERENCES

- "Five Liver Partial Settlement Plan" recorded in Plan Book 205, Page 40.
- Flood Insurance Rate Map Community Panel Number 230051 0013 B City of Portland, Maine. Effective date: July 17, 1986.
- City of Portland, Maine Tax Map 25.
- Layout of Marginal Way on file in the City Street Records in Volume 1, Page 125.



NOTE: CONSULT WITH OWNER BEFORE REMOVING ANY SOIL FROM SITE

PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:
 WALGREENS
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREENS CONTRACTOR
 LANDLORD'S CONTRACTOR (TURKEY CONSTRUCTION)

STORE	BUILDING
NEW <input checked="" type="checkbox"/>	NEW <input type="checkbox"/>
REMODELING <input type="checkbox"/>	EXISTING <input checked="" type="checkbox"/>
RELOCATION <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS <input type="checkbox"/>	

NO.	DATE	BY	DESCRIPTION	CONST
1	7/27/07	DK	REVISED DRIVEWAY/BIKE RACK (PER PLANNING DEPT.)	
2	6-22-08		REVIEW	

CERTIFICATION AND SEAL

PROJECT NAME
WALGREENS
 127 MARGINAL WAY
 PORTLAND, MAINE

DRAWING TITLE
GENERAL PROJECT DATA & SITE PLAN

CADD PLOT: SCALE: 1"=25' DRAWING NO. _____

VOID PLOT: DRAWN BY: _____

SUPERSEDES PLAN DATED: DATE: 5-22-08 REVIEWED BY: _____

C1.1
 OF DWGS.

EROSION AND SEDIMENTATION CONTROL PLAN

THIS PLAN HAS BEEN DEVELOPED AS A STRATEGY TO CONTROL SOIL EROSION AND SEDIMENTATION DURING AND AFTER THE RECONSTRUCTION OF A PARKING LOT AND BUILDING WITH ADDITION LOCATED AT 127 MARGINAL WAY IN PORTLAND, MAINE. THIS PLAN IS BASED ON THE STORMWATER MANAGEMENT FOR MAINE VOLUME II BMPs TECHNICAL DESIGN MANUAL DATED JANUARY 2006.

A. PROPOSED DEVELOPMENT

THE PROJECT CONSISTS OF THE RECONSTRUCTION OF A PARKING LOT AND THE RENOVATION AND AN ADDITION TO THE EXISTING BUILDING. THE LIMIT OF EARTH MOVEMENT IS WITHIN THE PROPERTY LINES TO THE NORTHEAST OF THE EXISTING BUILDING.

B. EROSION CONTROL PRACTICES/TEMPORARY MEASURES

THE FOLLOWING TEMPORARY MEASURES TO CONTROL EROSION AND SEDIMENTATION SHALL BE UTILIZED:

EACH GROUND AREA OPENED OR EXPOSED, WHETHER DIRECTLY OR INDIRECTLY DUE TO THE DEVELOPMENT, SHALL BE MULCHED AND SHALL BE STABILIZED WITHIN 15 DAYS OF INITIAL DISTURBANCE OF SOIL AND SHALL BE PERMANENTLY STABILIZED WITHIN SEVEN DAYS OF FINAL GRADING. THIS STABILIZATION APPLIED TO DISTURBED AREAS BEYOND THE LIMITS OF THE PROPOSED BUILDING. EXPOSED AREAS SHALL BE STABILIZED PRIOR TO A RAIN EVENT.

TEMPORARY SOIL STABILIZATION SHALL BE EITHER BY TEMPORARY MULCHING, TEMPORARY SEEDING, PERMANENT BASE GRAVEL, OR ASPHALT BINDER COURSE AS FOLLOWS:

TEMPORARY SEEDING: SEED SHALL BE ARDOOSTOCK RYE APPLIED AT 2.60#/1000 SF. LIME SHALL BE AGRICULTURAL GROUND LIMESTONE APPLIED AT 13.8#/1000 SF. FERTILIZER SHALL BE 10-10-10 CLASSIFICATION APPLIED AT 13.8#/1000 SF. MULCH SHALL CONSIST OF HAY AND STRAW MULCH AND SPREAD EVENLY AT A RATE OF 70-90#/1000 SF. TEMPORARY SEEDING SHALL ONLY BE MADE BETWEEN APRIL 15 AND OCTOBER 1, AND SHALL NOT BE PLACED OVER SNOW.

TEMPORARY MULCHING: MULCH SHALL CONSIST OF CHOPPED HAY OR STRAW MULCH AND SPREAD BY MECHANICAL BLOWER EVENLY AT A RATE OF 150-200#/1000 SF. TEMPORARY MULCH SHALL BE REMOVED PRIOR TO PERMANENT SOIL STABILIZATION. MULCH MUST NOT BE PLACED OVER SNOW. SNOW SHALL BE REMOVED PRIOR TO MULCHING.

PERMANENT BASE GRAVEL: BASE GRAVEL UNDER PAVEMENT SHALL BE SUITABLE AS TEMPORARY SOIL STABILIZATION UNDER THE FOLLOWING CONDITIONS:

- a) SLOPES SHALL BE LESS THAN EIGHT PERCENT.
- b) GRAVEL SHALL MEET THE SPECIFICATIONS FOR BASE OR SUBBASE GRAVEL FOR THE PROPOSED COMPLETED PAVEMENT.

ASPHALT BINDER COURSE: ASPHALT BINDER SHALL MEET THE SPECIFICATIONS FOR THE ASPHALT BINDER COURSE FOR THE PROPOSED COMPLETED PAVEMENT.

C. EROSION CONTROL PRACTICES/PERMANENT MEASURES

THE FOLLOWING PERMANENT MEASURES TO CONTROL EROSION AND SEDIMENTATION SHALL BE UTILIZED:

1. PERMANENT SEEDING SHALL BE PERFORMED DURING CONSTRUCTION OPERATIONS AS EACH DISTURBED AREA HAS BEEN BROUGHT TO FINISH GRADE. PERMANENT SEEDING SHALL BE MADE AS DORMANT SEEDING AFTER THE FIRST KILLING FROST. DORMANT SEEDING AND MULCH SHALL BE USED AT TWO TIMES THE PERMANENT SEEDING AND MULCHING RATE SHOWN BELOW FOR BOTH LAWN AS WELL AS EMBANKMENTS. SEED, LOAM, LIME, FERTILIZER AND MULCH ARE TO BE AS FOLLOWS:

SEED: THE SEED MIXTURE SHALL CONSIST OF SEED PROPORTIONED BY WEIGHT. ALL SEED SHALL BE FRESH, CLEAN, "NEW CROP" SEED, HARMLESS NERT MATTER AND WEED SEEDS SHALL BE PERMITTED UP TO ONE PERCENT OF THE GROSS WEIGHT OF EACH VARIETY OF SEED. ALL SEED SUPPLIED SHALL BE PACKED IN APPROVED CONTAINERS BEARING THE MANUFACTURER'S NAME AND ANALYSIS OF CONTENTS. THE FOLLOWING MATERIALS AND APPLICATION RATES SHALL BE REQUIRED FOR PERMANENT SEEDING:

LAWN	
CREeping RED FESCUE	0.6#/1000 SF
KENTUCKY BLUEGRASS	0.37#/1000 SF
PERENNIAL RYEGRASS	0.46#/1000 SF
REDTOP	0.12#/1000 SF
TOTAL	1.64#/1000 SF

LOAM SHALL BE FREE OF GRASSES, ROOTS, LARGE STONE AND INORGANIC DEBRIS. PLACE LOAM AT SIX INCHES MINIMUM DEPTH OVER ALL DISTURBED AREAS. FINAL GRADING OF ALL LAWN AREAS TO BE APPROVED BY LANDSCAPE ARCHITECT BEFORE SEEDING.

LIME: LIME SHALL BE AGRICULTURAL GROUND LIMESTONE AND APPLIED AS PER RECOMMENDATION OF A STATE COMMERCIAL SOIL TESTING LABORATORY.

FERTILIZER: FERTILIZER SHALL BE 10-20-20 CLASSIFICATION AND APPLIED AS PER RECOMMENDATION OF A STATE COMMERCIAL SOIL TESTING LABORATORY.

MULCH: MULCH SHALL CONSIST OF HAY OR STRAW MULCH. MULCH SHALL BE SPREAD EVENLY AT A RATE OF TWO AND ONE HALF TONS PER ACRE OVER ALL SEEDING. AFTER APPLICATION, THE MULCH SHALL BE THOROUGHLY WETTED IN STEEP AREAS (>3:1 SLOPES). THE MULCH SHALL BE HELD IN PLACE BY THE USE OF JUTE EROSION CONTROL NETTING OR APPROVED ALTERNATIVE NETTING MATERIAL. NOTE: ALL EXPOSED SOIL MUST BE COVERED REGARDLESS OF MULCHING RATES APPLIED. NOTE: AN EROSION CONTROL BLANKET SHALL BE PLACED IN ALL NEWLY CREATED OR DISTURBED DITCHES.

THE CONTRACTOR SHALL MAINTAIN THE SEEDING AND MULCHED AREAS UNTIL FINAL ACCEPTANCE OF THE WORK. MAINTENANCE SHALL CONSIST OF PROVIDING PROPER WATERING, PROTECTION AGAINST TRAFFIC AND REPAIRING ANY AREAS DAMAGED DUE TO WIND, WATER, EROSION, FIRE OR OTHER CAUSES. SUCH DAMAGED AREAS SHALL BE REPAIRED TO RE-ESTABLISH THE CONDITION AND GRADE OF THE SOIL PRIOR TO SEEDING AND SHALL THEN BE RESEEDING, RESEEDING AND REMULCHED.

D. WINTER CONSTRUCTION

THE WINTER CONSTRUCTION PERIOD IS FROM NOVEMBER 1 THROUGH APRIL 15. WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME. LIMIT THE EXPOSED AREA TO THOSE AREAS IN WHICH WORK IS EXPECTED TO BE UNDERTAKEN DURING THE PROCEEDING 15 DAYS AND THAT CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. HAY AND STRAW MULCH RATE SHALL BE A MINIMUM OF 150 LBS./1000 SF. (3 TONS/ACRE) AND SHALL BE PROPERLY ANCHORED. THE CONTRACTOR SHALL INSTALL ANY ADDED MEASURES WHICH MAY BE NECESSARY TO CONTROL EROSION/SEDIMENTATION FROM THE SITE, DEPENDENT UPON THE ACTUAL SITE AND WEATHER CONDITIONS. CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED, IN ORDER TO MINIMIZE AREAS WITHOUT EROSION CONTROL PROTECTION.

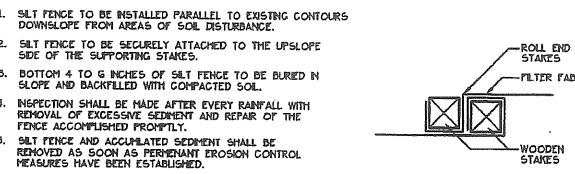
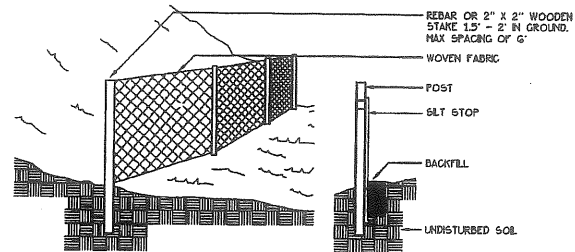
E. CONSTRUCTION SEQUENCE

THE GENERAL SEQUENCE OF WORK SHALL BE AS FOLLOWS:

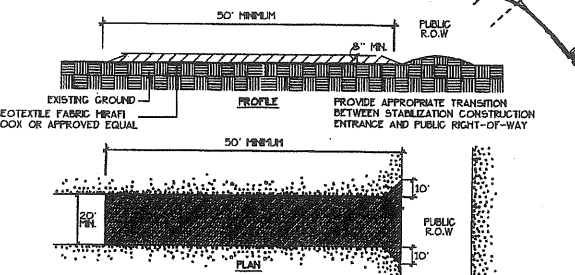
1. INSTALL EROSION CONTROL DEVICES, (SILT FENCE, STABILIZED CONSTRUCTION ENTRANCE AND OR SEDIMENT BARRIER.)
2. TEMPORARILY STABILIZE DISTURBED AREAS BY MULCHING ALL EXPOSED SOIL WITHIN 15 DAYS OF INITIAL DISTURBANCE.
3. INSTALL STORMWATER SYSTEM.
4. COMPLETE SITE CONSTRUCTION WORK.
5. CONSTRUCT PAVED ACCESS AND PARKING AREA.
6. INSTALL PERMANENT VEGETATION ON ALL EXPOSED AREAS WITHIN 15 DAYS OF FINAL GRADING.
7. PERFORM CONTINUING MAINTENANCE ON ALL EROSION AND SEDIMENTATION CONTROL DEVICES AND MEASURES.

F. SITE INSPECTION + MAINTENANCE

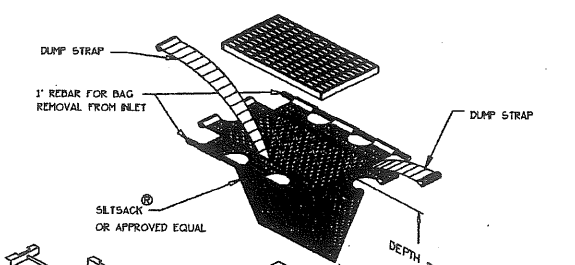
WEEKLY INSPECTIONS, AS WELL AS ROUTINE INSPECTIONS FOLLOWING RAINFALLS OF 1/2" OVER A CONSECUTIVE 24-HOUR PERIOD, SHALL BE CONDUCTED BY THE SITE CONTRACTOR OF ALL TEMPORARY AND PERMANENT EROSION CONTROL DEVICES UNTIL FINAL ACCEPTANCE OF THE PROJECT. NECESSARY REPAIRS SHALL BE MADE TO CORRECT UNDERMINING OR DETERIORATION. FINAL ACCEPTANCE SHALL INCLUDE A SITE INSPECTION TO VERIFY THE STABILITY OF ALL DISTURBED AREAS AND SLOPES, UNTIL FINAL INSPECTION ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL IMMEDIATELY BE CLEANED, AND REPAIRED BY THE SITE CONTRACTOR AFTER STORM EVENTS. DISPOSAL OF ALL TEMPORARY EROSION CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR. CONTINUED TEMPORARY MAINTENANCE AND LONG TERM PROVISIONS FOR PERMANENT MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL FACILITIES AFTER ACCEPTANCE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF BACK COVE COMPANY, OR ASSIGNS.



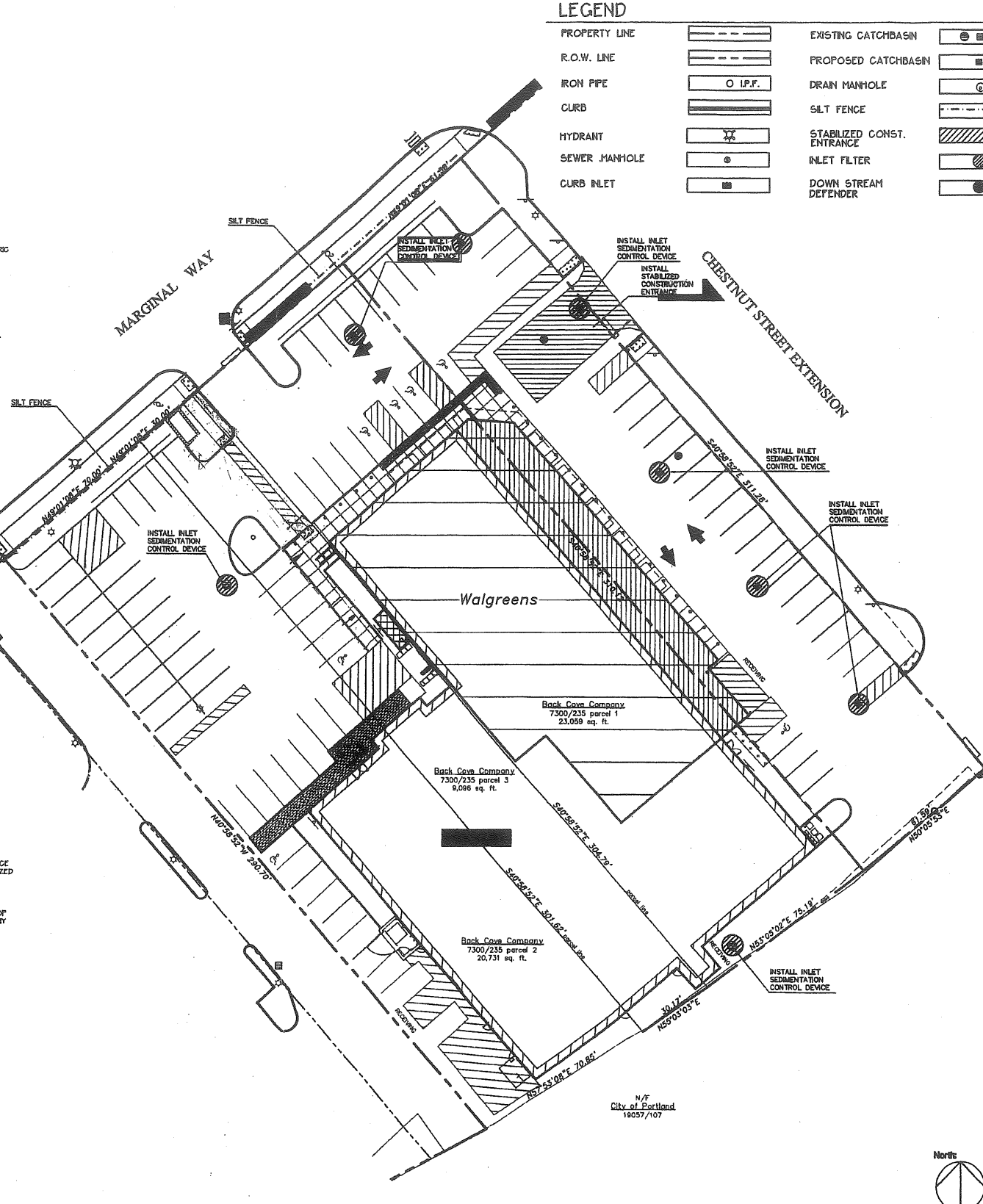
1 SILT FENCE
NOT TO SCALE



2 STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



3 INLET SEDIMENT CONTROL DEVICE
NOT TO SCALE



4 EROSION CONTROL PLAN
SCALE: 1" = 25'

LEGEND

PROPERTY LINE	---	EXISTING CATCHBASIN	○
R.O.W. LINE	---	PROPOSED CATCHBASIN	□
IRON PIPE	○ I.P.F.	DRAIN MANHOLE	⊙
CURB	---	SILT FENCE	---
HYDRANT	⊕	STABILIZED CONST. ENTRANCE	▨
SEWER MANHOLE	⊙	INLET FILTER	⊙
CURB INLET	⊕	DOWN STREAM DEFENDER	⊙

PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:

- WALGREENS
- LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:

- WALGREENS' CONTRACTOR
- LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW <input checked="" type="checkbox"/>	NEW <input type="checkbox"/>
REMODELING <input type="checkbox"/>	EXISTING <input type="checkbox"/>
RELOCATION <input type="checkbox"/>	NEW SHELL ONLY <input checked="" type="checkbox"/>
OTHERS <input type="checkbox"/>	

NO.	DATE	BY	DESCRIPTION	CONST
1	7/27/09	BK	REVISED DRIVEWAY/CORNER (PER PLANNING DEPT.)	
	6-22-09		REVIEW	

REVISIONS

CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF MAINE AS SIGNIFIED BY MY HAND AND SEAL.

PROJECT NAME: **WALGREENS**
127 MARGINAL WAY
PORTLAND, MAINE

DRAWING TITLE: **EROSION & SEDIMENTATION CONTROL PLAN**

CADD PLOT: SCALE: AS SHOWN DRAWING NO. _____

VOID PLOT: DRAWN BY: _____

SUPERSEDES PLAN DATED: DATE: 5/22/2009

REVIEWED BY: _____

C2.3

OF ___ DWGS.

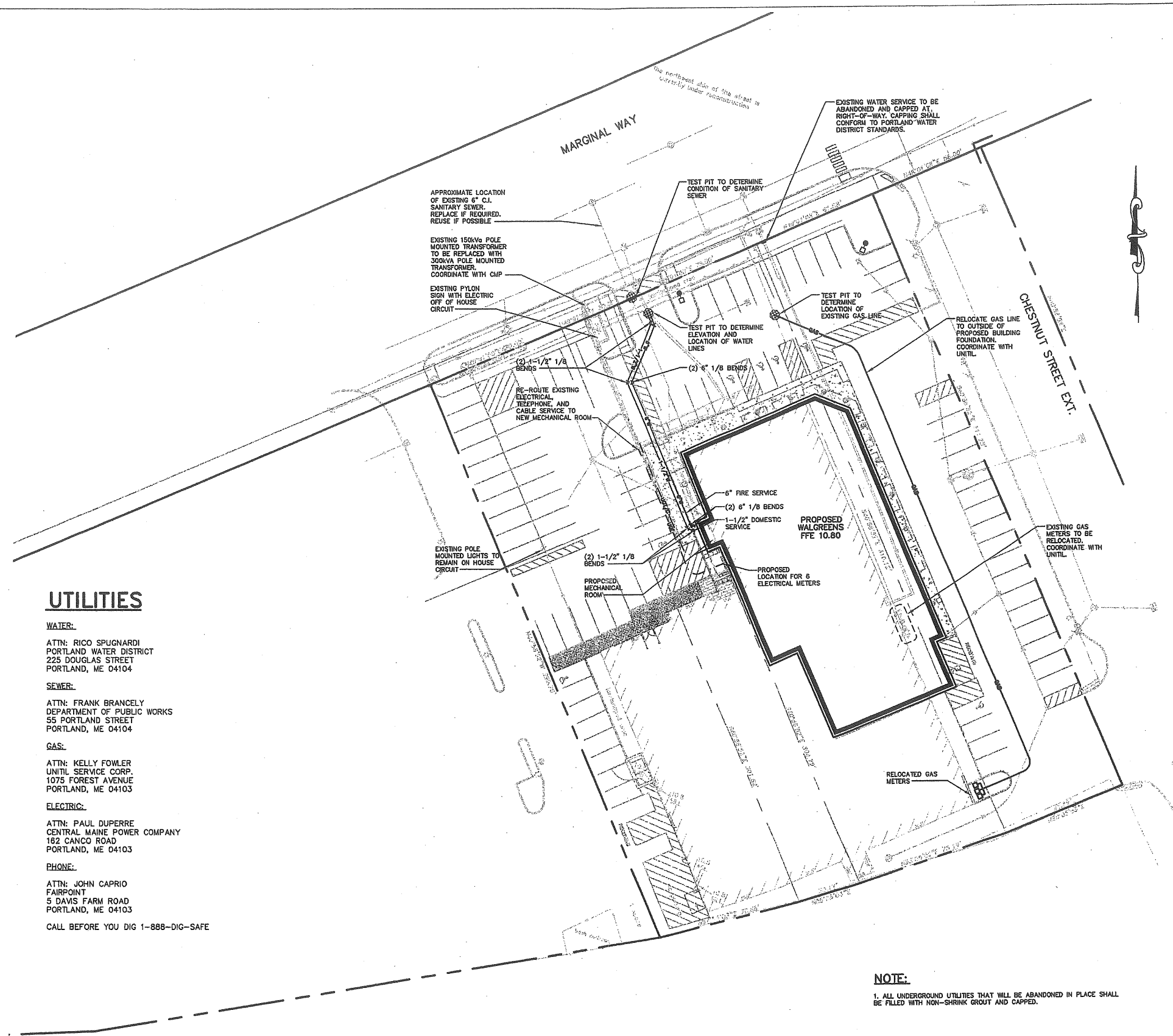
Prepared By:
Mitchell & Associates
LANDSCAPE ARCHITECTS

The Staples School
70 Center Street
Portland, Maine 04101
Tel: (207) 774-4427

DRAWINGS/SPECIFICATIONS BY:
 WALGREENS
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREENS' CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE		BUILDING	
NEW	<input checked="" type="checkbox"/>	NEW	<input type="checkbox"/>
REMODELING	<input type="checkbox"/>	EXISTING	<input checked="" type="checkbox"/>
RELOCATION	<input type="checkbox"/>	NEW SHELL ONLY	<input type="checkbox"/>
OTHERS	<input type="checkbox"/>		



UTILITIES

WATER:

ATTN: RICO SPUGNARDI
 PORTLAND WATER DISTRICT
 225 DOUGLAS STREET
 PORTLAND, ME 04104

SEWER:

ATTN: FRANK BRANCELY
 DEPARTMENT OF PUBLIC WORKS
 55 PORTLAND STREET
 PORTLAND, ME 04104

GAS:

ATTN: KELLY FOWLER
 UNILIT SERVICE CORP.
 1075 FOREST AVENUE
 PORTLAND, ME 04103

ELECTRIC:

ATTN: PAUL DUPERRE
 CENTRAL MAINE POWER COMPANY
 182 CANCO ROAD
 PORTLAND, ME 04103

PHONE:

ATTN: JOHN CAPRIO
 FAIRPOINT
 5 DAVIS FARM ROAD
 PORTLAND, ME 04103

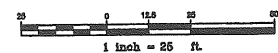
CALL BEFORE YOU DIG 1-888-DIG-SAFE

NOTE:

1. ALL UNDERGROUND UTILITIES THAT WILL BE ABANDONED IN PLACE SHALL BE FILLED WITH NON-SHRINK GROUT AND CAPPED.

GP Gorrill-Palmer Consulting Engineers, Inc.
 PO Box 1237 Engineering Excellence since 1998 207-657-6910
 15 Shaker Road 15 Shaker Road FAX: 207-657-6912
 Gray, ME 04039 E-Mail: mailbox@gorrillpalmer.com

CALL BEFORE YOU DIG
 1-888-DIG-SAFE

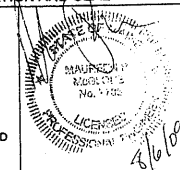


NOTE: THIS PLAN SET IS ISSUED FOR CONSTRUCTION.

NO.	DATE	BY	DESCRIPTION	CONST
1	08/05/09	MPM	REVISED PER CITY COMMENTS	
0	06/30/09	MPM	ISSUED FOR CONSTRUCTION	

REVISIONS

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF MAINE AS SIGNIFIED BY MY HAND AND SEAL.



STORE NUMBER 11886
 PROJECT NAME
WALGREENS - STORE #11886
 SOUTHWEST CORNER OF MARGINAL WAY
 AND CHESTNUT STREET EXTENSION
 PORTLAND, MAINE

DRAWING TITLE
 UTILITY PLAN

CADD PLOT: SCALE: DRAWING NO. _____
 VOID PLOT: DRAWN BY: CG
 SUPERSEDES PLAN DATED: DATE: 5/28/09
 REVIEWED BY: MPM OF DWGS.

C3.1

1. THE BEARING SURFACE OF THE THRUST BLOCK SHALL BE THE SURFACE AREA OF THE THRUST BLOCK WHICH IS CAST AGAINST THE TRENCH WALL. THE BEARING SURFACE SHALL NOT EXCEED THE FOLLOWING LOADINGS:

IN-SITU CONDITION	ALLOWABLE
BEDROCK	3,000 psf
SAND OR OUTWASH DEPOSITS	1,500 psf
OTHER SOILS	1,000 psf

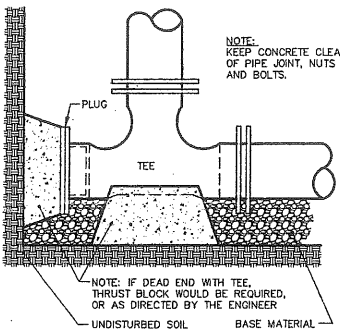
THE THRUST SHALL BE COMPUTED ON THE BASIS OF 150 psf X THE CROSS SECTIONAL AREA OF THE PIPE. FOR EXAMPLE, A THRUST BLOCK FOR A 1/4 BEND ON AN 8" WATER MAIN BEARING AGAINST CLAY WOULD REQUIRE A BEARING SURFACE OF 7.5 s.f.

$$150 \text{ psf} \times 50 \text{ sq. in.} = 7.5 \text{ s.f.}$$

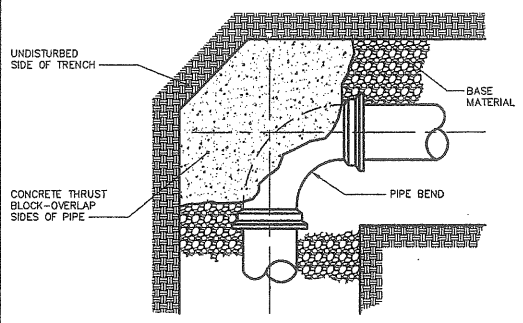
2. INSTALL POLY BARRIER BETWEEN PIPE AND ALL THRUST BLOCKS.

3. ANY WORK RELATED TO WATER PIPING OR DETAILS SHALL BE IN ACCORDANCE WITH THE BELFAST WATER DISTRICT SPECIFICATIONS.

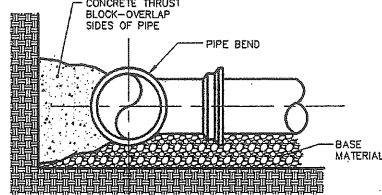
THRUST BLOCK NOTES



STANDARD TEE BLOCKING



PLAN VIEW



SECTION

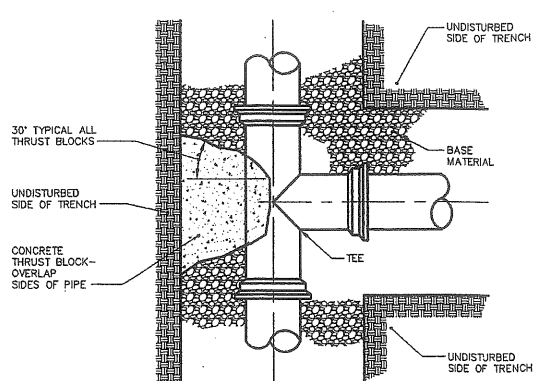
THRUST/RETAINER GLAND SCHEDULE

BEND	ANGLE	USE
1/4 BEND	90°	USE POURED IN-PLACE THRUST BLOCK WITH RETAINERS
1/8 BEND	45°	THRUST BLOCK WITH RETAINERS
1/16 BEND	22 1/2°	THRUST BLOCK
1/32 BEND	11 1/4°	THRUST BLOCK

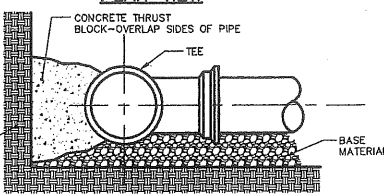
THE ABOVE SCHEDULE IS SUBJECT TO THE APPROVAL OF THE ON-SITE INSPECTOR DUE TO SOILS AND WORKING PRESSURES IN THE AREA.

THRUST BLOCK PLACEMENT ON BENDS

NOT TO SCALE



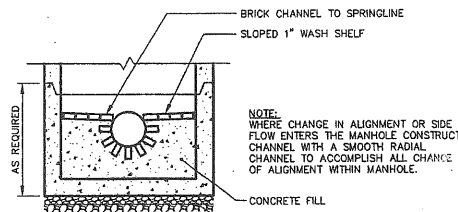
PLAN VIEW



SECTION VIEW

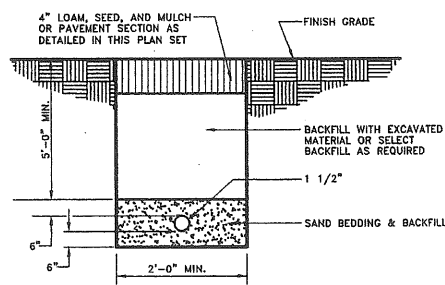
THRUST BLOCK PLACEMENT ON TEES

NOT TO SCALE



SANITARY SEWER MANHOLE BRICK CHANNEL INSTALLATION

NOT TO SCALE

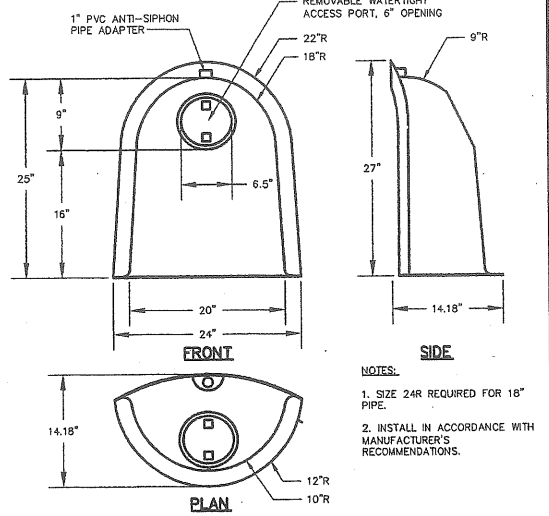


DOMESTIC WATER SERVICE TRENCH SECTION

NOT TO SCALE

NOTES:

- REFER TO TRENCH SECTION THIS SHEET FOR 6" FIRE SERVICE.
- ALL WATER SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH PORTLAND WATER DISTRICT STANDARDS. A PORTLAND WATER DISTRICT REPRESENTATIVE MUST INSPECT INSTALLATION PRIOR TO BACKFILL. PORTLAND WATER DISTRICT SHALL BE NOTIFIED A MINIMUM AT 5 WORKING DAYS PRIOR TO CONSTRUCTION.

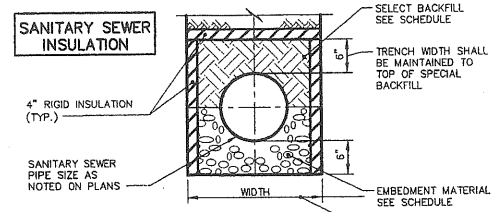


"THE SNOOT"

NOT TO SCALE

- NOTES:
- SIZE 2AR REQUIRED FOR 18" PIPE.
 - INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

SANITARY SEWER INSULATION



SCHEDULE OF TRENCH BACKFILL

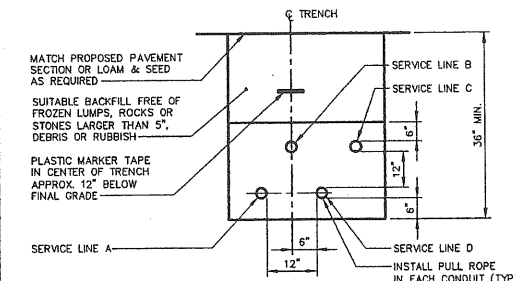
TYPE OF PIPE	EMBEDMENT MATERIAL	SELECT BACKFILL
CMP DUCTILE IRON RCP	MDOT 703.22 TYPE B UD BACKFILL	MDOT 703.22 TYPE B UD BACKFILL
PVC-SDR 35 HDPE	MDOT 703.22 TYPE C 3/4" CRUSHED STONE	MDOT 703.22 TYPE B UD BACKFILL

NOTE:

- BRACING AND SHEETING OR OTHER TRENCH PROTECTION TO BE PROVIDED TO MEET APPLICABLE STATE AND O.S.H.A. SAFETY STANDARDS. ALL SUCH TRENCH PROTECTION TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
- MINIMUM COVER
- | PIPE | COVER |
|-------|-------|
| 2'-0" | 2'-0" |
| 3'-0" | 3'-0" |
| 4'-0" | 4'-0" |
- (1) COVER BETWEEN 2' AND 3' SHALL INCLUDE 4" RIGID INSULATION. COVER BETWEEN 3' AND 4' SHALL INCLUDE 2" RIGID INSULATION.

TRENCH SECTION

NOT TO SCALE



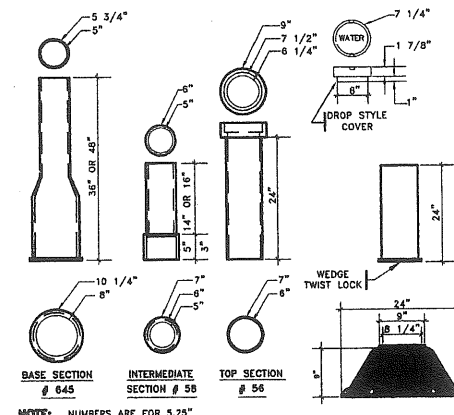
CONDUIT TYPE SCHEDULE

SERVICE	CONDUIT SIZE	GRASS & PAVED AREAS	UTILITY	REMARKS
A	2-5"	SCHEDULE 40 PVC ELECTRICAL GRADE	PRIMARY POWER	SEE NOTE
B	2-4"	SCHEDULE 40	TELEPHONE	SEE NOTE
C	2-4"	SCHEDULE 40	CABLE	SEE NOTE
D	2-4"	SCHEDULE 40 PVC ELECTRICAL GRADE	SPARES	SEE NOTE

NOTE: ONE CONDUIT CAPPED FOR SPARE. PROVIDE GALVANIZED STEEL LONG SWEEP AT RISER POLE AND EXTEND GALVANIZED CONDUIT TO 10" ABOVE GRADE AT POLE WITH STAND-OFF BRACKETS.

UTILITY TRENCH - PRIMARY AND SECONDARY POWER, TELEPHONE, AND CABLE

NOT TO SCALE



SEE NOTE 3 IN THRUST BLOCK NOTES DETAIL

VALVE BOXES

NOT TO SCALE

NOTE: THIS PLAN SET IS ISSUED FOR CONSTRUCTION.

Walgreens

The Pharmacy America Trusts • Since 1901™

CONSULTANT PROJECT NO. 1363

PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:

- WALGREENS'
- LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:

- WALGREENS' CONTRACTOR
- LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE

BUILDING

NEW

REMODELING

RELOCATION

OTHERS

NEW

EXISTING

NEW SHELL ONLY

NO.	DATE	BY	ISSUED FOR CONSTRUCTION	CONST
0	08/30/09	MPM	ISSUED FOR CONSTRUCTION	

REVISIONS

CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF MAINE AS SIGNIFIED BY MY HAND AND SEAL.

STORE NUMBER 11886

PROJECT NAME

WALGREENS - STORE #11886
SOUTHWEST CORNER OF MARGINAL WAY AND CHESTNUT STREET EXTENSION
PORTLAND, MAINE

DRAWING TITLE

UTILITY AND DRAINAGE DETAILS

CADD PLOT: SCALE: DRAWING NO. _____

VOID PLOT: DRAWN BY: CG

SUPERSEDES PLAN DATED: DATE: 5/26/09

REVIEWED BY: MPM OF DWGS.

C4.3



Gorrill-Palmer Consulting Engineers, Inc.

PO Box 1237 Engineering Excellence since 1998 207-657-6910
15 Shaker Road FAX: 207-657-6912
Gray, ME 04039 E-Mail: mailbox@gorrillpalmer.com

PLANT LIST

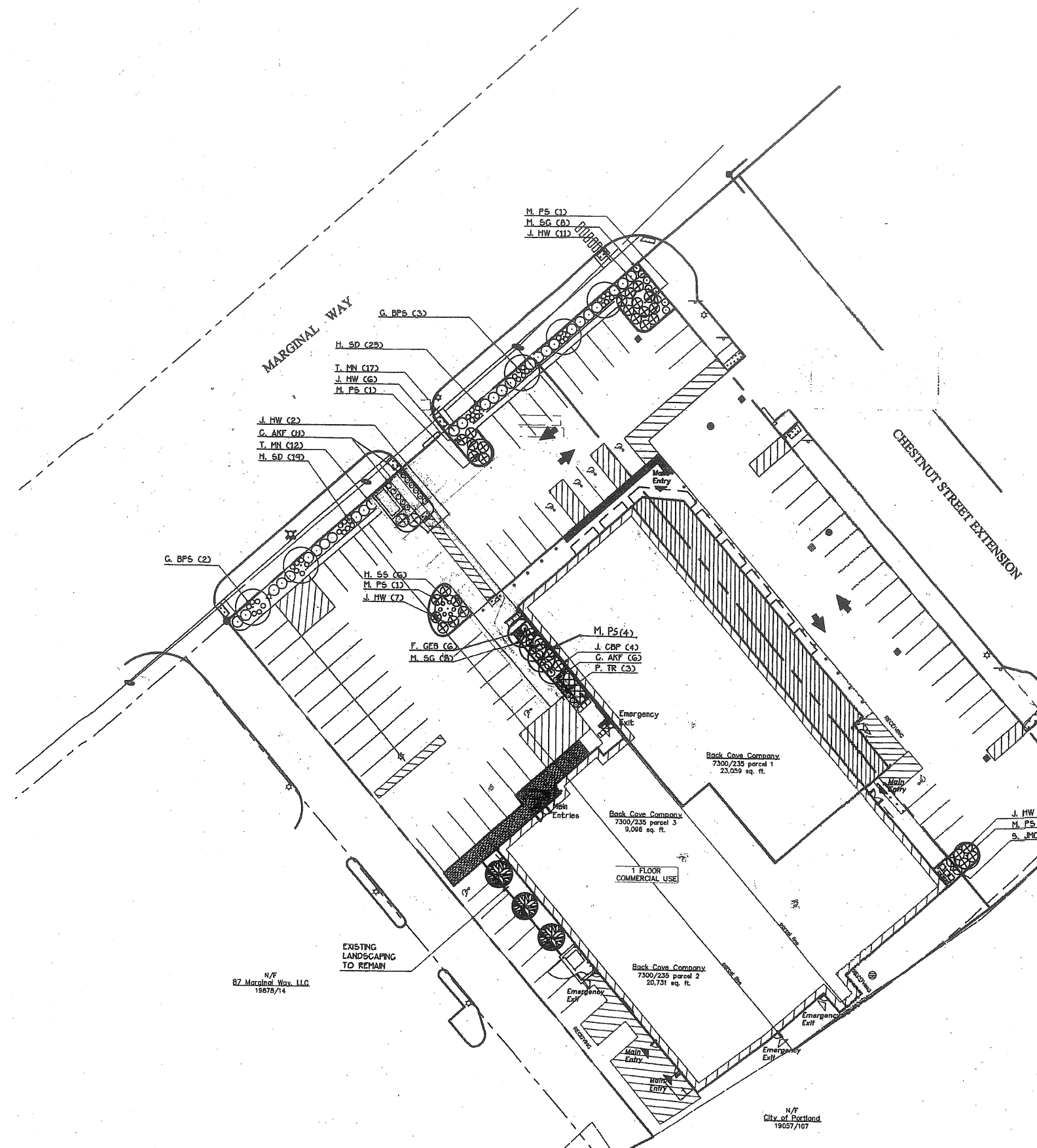
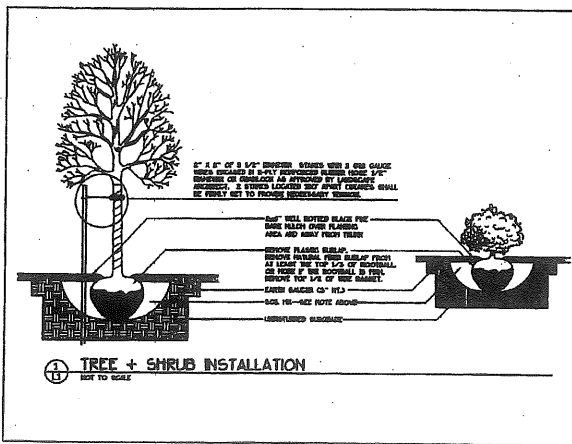
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
G. BPS	5	GINKGO BLOBA 'PRINCETON SENTRY'	MAIDENHAIR TREE	2.5"-3" CAL
M. PS	8	MALUS 'PINK SPICE'	PINK SPICE CRAB	2" CAL
SHRUBS				
J. HW	30	JUNIPERUS HORIZONTALIS 'WILTON'	BLUE RUG JUNIPER	#2
J. CBP	4	JUNIPERUS CHINENSIS 'BLUE POINT'	BLUE POINT JUNIPER	#5
S. JMC	2	SPREA JAPONICA 'MAGIC CARPET'	MAGIC CARPET SPirea	#3
T. MN	30	TAXUS X MEDIA NGRA	DARK SPREADING YEW	#3
GRASSES/PERENNIALS				
C. AKF	17	CALAMAGROSTIS ACUTIFLORA KARL FOERSTER	FEATHER REED GRASS	1 QT
F. GEB	6	FESTUCA GLAUCA 'ELIJAH BLUE'	BLUE FESCUE	1 QT
N. SS	6	HELICTOTRICHON SEMPERVIRENS 'SAPPHIRE'	BLUE OAT GRASS	1 QT
N. SD	44	HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY	1 QT
M. SG	13	MISCANTHUS SINENSIS 'GRACILLIUS'	GRACILLIUS MAIDEN GRASS	1 QT
P. TR	3	PARTHENOCISSUS TRICUSPIDATA	BOSTON IVY	1 QT

GENERAL PLANTING NOTES

- CALL DIG-SAFE (1-888-344-7233) PRIOR TO BEGINNING WORK. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES PAVING, WALKS, CURBING, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING.
- DO NOT SCALE FROM DRAWINGS. ANY OMISSIONS IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES AND SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR FURTHER DIRECTION AND RESOLUTION BEFORE ANY ADDITIONAL WORK PROCEEDS.
- PROVIDE SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
- CONTRACTOR SHALL FURNISH AND PLACE 12 INCHES OF LOAM IN ALL SHRUB BEDS, 30 INCHES IN ALL TREE FITS, AND 6 INCHES UNDER ALL TURF AREAS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
- ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARDS FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSEYMEN".
- ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE FIT PREPARATION, PRUNING STAKING OR CUTTING WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM THE OWNER.
- ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- EXISTING TREES TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ALL SHRUB BEDS AND TREE FITS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BLACK MULCH.
- ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY, OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT AND MUNICIPAL AUTHORITY, IF APPLICABLE PRIOR TO INSTALLATION ON SITE.
- WHERE INDICATED ON PLAN PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTEL BEDS TO A DEPTH OF 8 INCHES.
- DAMAGE TO EXISTING SITE IMPROVEMENTS DURING INSTALLATION OF LANDSCAPE MATERIAL SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL COORDINATE INSPECTION OF PLANT MATERIAL AND LOCATIONS WITH PROJECT LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. A MINIMUM OF 48 HOUR NOTIFICATION SHALL BE REQUIRED.
- ALL LAWN AREAS SHALL BE SODDED WITH STRONGLY ROOTED DROUGHT RESISTANCE SOD, NOT LESS THAN 2 YEARS OLD, AND FREE OF WEEDS AND UNDESIRABLE NATIVE GRASSES. MACHINE CUT TO PAD THICKNESS OF 3/4"x1/4".

LEGEND

PROPERTY LINE	
SITE LIGHTING	
UTILITY POLE	
SIGN	
HYDRANT	
PROPOSED DECIDUOUS TREE OR SHRUB	
PROPOSED EVERGREEN TREE OR SHRUB	
EXISTING DECIDUOUS TREE	



PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:

WALGREENS

LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:

WALGREENS' CONTRACTOR

LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW <input checked="" type="checkbox"/>	NEW <input type="checkbox"/>
REMODELING <input type="checkbox"/>	EXISTING <input checked="" type="checkbox"/>
RELOCATION <input type="checkbox"/>	NEW SHELL ONLY... <input type="checkbox"/>
OTHERS <input type="checkbox"/>	

NO.	DATE	BY	DESCRIPTION	CONST
1	7-27-09	BE	ADDED PLANTING AT M.I. ENTRY & ON WEST SIDE OF BUILDING (SEE PLANTING DEPT)	
	5-22-09		REVIEW	

REVISIONS

CERTIFICATION AND SEAL

PROJECT NAME
WALGREENS
127 MARGINAL WAY
PORTLAND, MAINE

DRAWING TITLE
LANDSCAPE PLAN

GADD PLOT: SCALE: 1"=25' DRAWING NO. _____

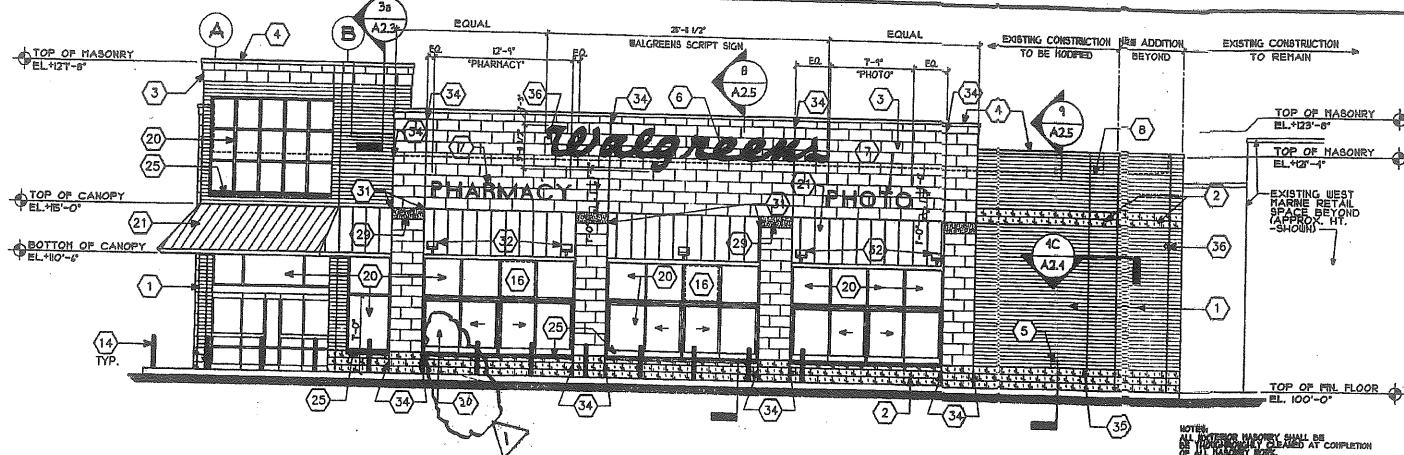
VOID PLOT: DRAWN BY: _____

SUPERSEDES DATE: 5/22/2009

PLAN DATED: REVIEWED BY: _____

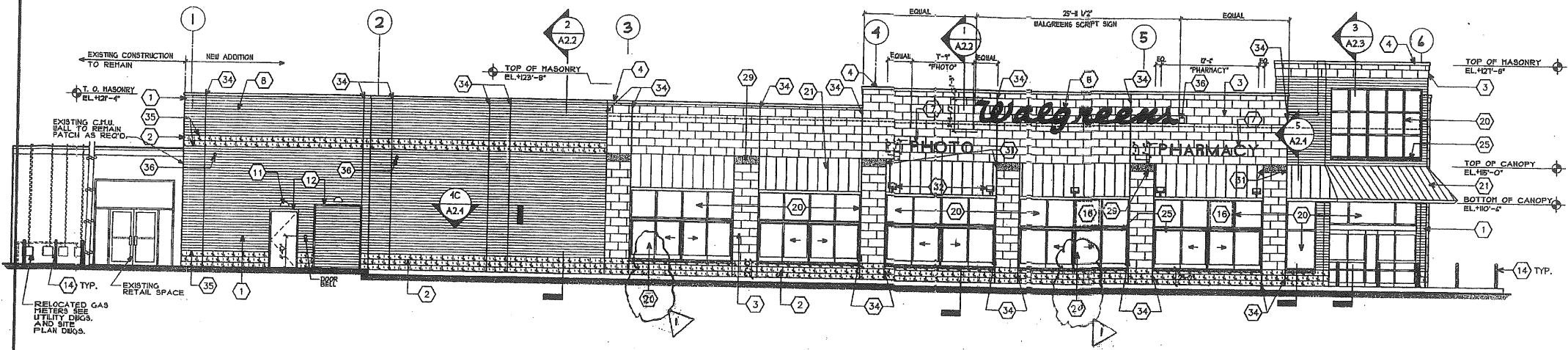
L1

OF ___ DWGS.

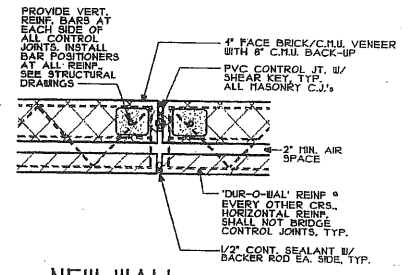


1 NORTH ELEVATION
A2.1 FRONT ELEVATION - FACES MARGINAL WAY
SCALE: 1/8"=1'-0"

1a PART. ELEV.
A2.1 SCALE: 1/8"=1'-0"



2 EAST ELEVATION
A2.1 LEFT SIDE ELEVATION - FACES CHESTNUT STREET EXTENSION
SCALE: 1/8"=1'-0"



A MASONRY CONTROL JOINTS
A2.1 SEE EXTERIOR ELEVATIONS FOR LOCATIONS OF MASONRY CONTROL JOINTS (C.J.) SCALE: 3/4"=1'-0"

EXTERIOR ELEVATIONS KEYED NOTES

- DESCRIPTION**
- UTILITY SIZE FACE BRICK, NO MITERED CORNERS AT ENTRANCE. BRICK SHALL BE SPECIAL BRICK SHAPE. PROVIDE UNITS THAT COMPLY WITH ASTM C-90. STANDARD SIZE UTILITY 1 1/2" x 3 5/8" x 2 1/4" GRADE 80 TYPE FBS. BRICK TO BE CAROLINA NATIONAL ACCOUNT "WALGREENS HERITAGE" BRICK. RAINING BOND TOOL ALL EXPOSED JOINTS SLIGHTLY CONCAVE. SEE SPEC'S FOR ADDITIONAL INFORMATION.
 - SPLIT-FACE MASONRY UNITS TO BE 16" LONG x 8" HIGH HOLLOW LOAD BEARING BLOCK ASTM C-90. NORTH B.T. WITH INTERIOR WATER REPELLANT ADHESURE BY "GRACE HANCOCK" TO BE "NORTHFIELD BLOCK COATANT" - STANDARD # 1200. "GENESEE" FABR GSF 402 OR WALGREENS APPROVED EQUAL.
 - SMOOTH-FACED MANUFACTURED LESTONE BY RENASCANCE MASONRY UNITS MANUFACTURED BY "ARRISCRAFT INTERNATIONAL, INC. CALCPH" SELECT UNITS ASTM C-13 GRADE 80 SOLID UNITS. PRESSURE FORMED AND AUTOGLAZED. 3 5/8" x 4 1/2" x 2 1/4" UNITS. UNITS TO BE "FOREST GREEN" (AS INDICATED) ON EXPOSED FACES AND ENDS. COLOR "WITTED" OR "OYSTERS" PARAGATE TO A TOLERANCE OF 1/16" BROAD AND HEIGHT AND 1/4" BEED WITH 1/4" DEVIATION FROM SQUARE PLUS OR MINUS.
 - PREFINISHED SHEET METAL COPING, GUTTERS, AND DOWNSPUTS. INTERIOR ROOF DRAINS ARE PREFERRED IN NORTHERN CLIMATES. (SEE PLUMBING DRAWINGS)
 - BALL HYDRANT.
 - RED "WALGREENS" SCRIPT SIGN, INTERNALLY ILLUMINATED. SEE DETAIL A2.3 ON SHEET A5.2.
 - INDIVIDUAL LETTER SIGN.
 - ROOF LINE.
 - TOTE ROOF. SEE SHEET C4.2.
 - BOX SIGN. SEE SHEET A5.2.
 - WALL-MOUNTED LIGHT. SEE ELECTRICAL DRAWINGS. TRASH COMPACTOR CONDITIONS WHERE THERE IS A SECOND SEPARATE ENCLOSURE, PROVIDE A SECOND PICTURE. IF REQUIRED COORD. W/ SITE DRGS.
 - RAIN SHIELD.
 - TRASH COMPACTOR AND TOTE ENCLOSURES. SEE DETAILS ON SHEET C4.2. (WHERE SHOWN)
 - PIPE BOLLARD. SEE CIVIL DRAWING C4J
 - N/A.
 - WINDOW SIGN. SEE SHEET A5.2.
 - N/A.
 - N/A.
 - N/A.
 - WALGREEN GRAPHIC BEYOND. SEE DETAIL ON SHEET A2.2 AND A5.3.
 - FRAMELESS GLAZING SYSTEM TO BE CLEAR ANODIZED ALUMINUM CLASS I ANODIC COATING. SEE SYSTEMS FOR SPECIFIC GLAZING AND FRAMING SYSTEMS.
 - STANDING SEAM METAL ROOF BY "ATAS" OR APPROVED EQUAL 1/4" x 1/2" WIDE G-90, GRADE "C" ALL HOT DIPPED OR GALV. COATED WITH MINIMUM 1" HIGH STANDING SEAMS. PANELS SHALL BE 24 GA. MIN. WITH KYNAR 500 FINISH COLOR. "FOREST GREEN" TOTAL DRY FILM COATING THICKNESS WITH PRIMER TO BE 10 TO 15 MILS. PROVIDE STOPPABLE FILM. PROVIDE REVERSE SIDE BACKER COATING WITH 0.25 MIL DRY FILM THICKNESS.
 - 26GA. GALVANIZED "M" PANEL WITH END CLOSURES. PREFINISHED IN STANDARD COLOR THAT MOST APPROXIMATES THE ADJACENT BRICK.
 - AWNING DASHED IN FOR CLARITY.
 - BOTTOM OF LOWER CASE LETTERS TO BE MINIMUM OF 1/4" BELOW ROOF LINE OR SIGN TO BE MOUNTED ON RACEWAY TO AVOID ROOF PENETRATION. PAINT RACEWAY TO MATCH BRICK.
 - 3/4" x 2" x 3" PRE-CAST STONE SILL (TYP.). FINISH COLOR TO MATCH (1)
 - N/A.
 - N/A.
 - N/A.
 - ROUGH-FACED MANUFACTURED LESTONE. SEE MATERIAL NOTE (3)
 - ROUGH-FACED END (MANUFACTURED LESTONE). SEE MATERIAL NOTE (3)
 - SMOOTH-FACED END TO RECEIVE AWNING BRACKET. SEE MATERIAL NOTE (3)
 - FACADE ACCENT LIGHT. SEE ELEC. DRAWINGS
 - STEP FLASHING W/ CAP FLASHING.
 - CONTROL JOINT W/BACKER ROD AND SEALANT.
 - 30" O.C. RAK - COLOR TO MATCH ADJACENT MATERIAL. (SEE DETAIL A/A2.1)
 - ALL PORTALS TO HAVE SLIGHTLY CONCAVE TOOLED JOINTS AND NATURAL COLOR. (WITH DRYBLOCK ADDITIVE) (SEE SPECIFICATIONS)
 - JUNCTION BOX.
 - N/A.

Walgreens
FACILITIES PLANNING, DESIGN, & ENGINEERING
108 WILMOT ROAD
DEERFIELD, IL 60015-5105
PROJECT ARCHITECT

Landry ARCHITECTS
300 Main Street, Portland, ME
Tel: 603.883.0414 Fax: 603.883.0290
PROJECT ENGINEER

CONSULTANT PROJECT NO. 0736
PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:
 WALGREENS
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREENS CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW <input checked="" type="checkbox"/>	NEW <input type="checkbox"/>
REMODELING <input type="checkbox"/>	EXISTING <input checked="" type="checkbox"/>
RELOCATION <input type="checkbox"/>	EXISTING + NEW <input type="checkbox"/>
OTHERS <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>

NO.	DATE	BY	DESCRIPTION	CONST
1	7/26/09	JK	EXTERIOR ELEVATIONS REVISIONS	

REVISIONS

CERTIFICATION AND SEAL

ARCHITECT	ENGINEER
-----------	----------

STORE NUMBER 11886
PROJECT NAME
Walgreens Store (SWC) Marginal & Chestnut Portland, ME

DRAWING TITLE
EXTERIOR ELEVATIONS, DETAILS, AND SIGN DATA

CADD PLOT:	SCALE: AS NOTED	DRAWING NO.
VOID PLOT:	DRAWN BY:	A2.1
SUPERSEDES PLAN DATED:	DATE ISSUED:	
	1/25/09	
	REVIEWED BY:	
	P.S.	OF DWGS.

SITE LEGEND

PROF LINE BEARING	S 23 -02'-00" E 179.26'	NEW CONTOUR	12	FRENCH DRAIN		NEW PAVED AREA		PERIMETER FDN. DRAIN	FD
EASEMENT LINE	-----	EXISTING CONTOUR	12	WATER SHUT-OFF VALVE		OVERHEAD ELEC LINE	OHE	UNDERDRAIN	UD
EXIST. EDGE OF VEGETATION		BENCH MARK	EL. 0.00	TRANSFORMER PAD		OVERHEAD TELEPHONE	OTEL	UNDERGD. ELECTRIC POWER IN 1" PVC CONDUIT	C
SILT/HAYBALE BARRIER	S S	SOIL BORING LOCATION	B-302	DECIDUOUS TREE		UNDERGROUND ELEC.	UE	SANITARY SEWER FORCE MAIN	FM
SWALE		CONCRETE MONUMENT FOUND		CONIFEROUS TREE		UNDERGROUND CATV	UCATV	(E) EXISTING COMPONENT TO REMAIN	
CULVERT		IRON PIPE FOUND		NEW CONCRETE SURFACE		UNDERGROUND TEL	UTEL	(R) COMPONENT TO BE REMOVED	
EXISTING GRANITE CURBING TO BE REMOVED		UTILITY POLE		NEW PLANTING BED W/ 4" SHREDDED BLACK BARK MULCH		STORM SEWER	SD	(N) NEW COMPONENT OR DEVICE	
NEW GRANITE CURBING		EXISTING MANHOLE		ROUNDED STONE BED		SANITARY SEWER	SS		
VERTICAL GRANITE CURBING	VGC	NEW MANHOLE				HOUSE SANITARY SEWER	HSS		
SLOPED GRANITE CURBING	SGC	HYDRANT				KITCHEN SANITARY SEWER	KSS		
FLUSH GRANITE CURBING	FGC	EXISTING CATCH BASIN				WATER SERVICE	W		
EXISTING SPOT ELEVATION		NEW CATCH BASIN							
NEW SPOT ELEVATION		CATCH BASIN [SOIL DISPERSION TYPE]							

SITE CONSTRUCTION AND EROSION CONTROL NOTES

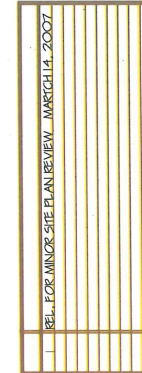
- THESE DRAWINGS DEPICT REQUIRED SOIL EROSION CONTROL MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SITE IN SUCH A MANNER THAT:
 - SOIL EROSION IS KEPT TO A MINIMUM
 - NO CONSTRUCTION SEDIMENT LEAVES THE CONSTRUCTION SITE PROPER.
 - ALL POSSIBLE MEASURES ARE EMPLOYED TO PREVENT SEDIMENT FROM ENTERING DRAINAGE COURSES AND WETLANDS EVEN BEYOND THE DETAILS SHOWN ON THESE DRAWINGS.
 - GENERAL CONTR. SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES BY CONTACTING "DIG-SAFE" (1-888-344-7233) PRIOR TO BEGINNING ANY EXCAVATION PROCEDURES.
 - PROVIDE SILT FENCING AROUND ALL EARTH MOVING OR DISTURBANCE ACTIVITIES. PROVIDE SILT SACKS IN ALL ON AND OFF-SITE CATCH BASINS DURING EARTH MOVING PROCEDURES. SEE SITE PLAN FOR PROPOSED SILT FENCE LOCATIONS.
 - GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO COMMENCING CONSTRUCTION.
 - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AN EARTH MOVING PERMIT FROM THE CITY OF PORTLAND, MAINE.
 - SILTATION AND HAY BALE BARRIERS SHALL BE INSTALLED AROUND ANY EARTH MOVING OR DISTURBANCE ACTIVITY TO PREVENT MOVEMENT OF SILT INTO STREAMS, BROOKS, DRAINAGE AND ROAD DITCHES, DETENTION AND SEDIMENTATION PONDS, AND ON & OFF-SITE MUNICIPAL AND PRIVATE CATCH BASINS.
 - GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL PEDESTRIAN AND VEHICULAR TRAFFIC CONTROL DEVICES DURING CONSTRUCTION, DELIVERIES, LOADING, AND ROAD OPENING PROCEDURES.
 - NOTIFY ARCHITECT IMMEDIATELY IF FIELD CONDITIONS ENCOUNTERED DIFFER FROM THOSE SHOWN ON THESE DRAWINGS.
 - PROVIDE SECONDARY PIPE SLEEVES OF SIMILAR MATERIAL WHERE PIPING, AND CONDUIT PASS THRU FOUNDATION WALLS AND SLABS.
 - GENERAL CONTRACTOR SHALL PERFORM ALL SITE WORK ACCORDING TO THE NHPA PERMIT BY RULE STANDARDS AND THE STATE OF MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES - LATEST EDITION.
 - NEW UNDERGROUND ELECTRICAL SERVICE CABLING TO BE INSTALLED IN 3/4" MIN. SCHEDULE 80 PVC AT 2" BELOW ROUGH GRADE ELEVATION. PROVIDE CAUTION TAPE AT 6 INCHES DIRECTLY ABOVE ELECTRICAL SERVICE CONDUIT, TYP.
 - ALL UNDERGROUND SITE LIGHTING OR CIRCUITRY TO BE INSTALLED IN 1" MIN. SCHEDULE 40 PVC AT 12" BELOW ROUGH GRADE ELEVATION. PROVIDE CAUTION TAPE AT 6 INCHES DIRECTLY ABOVE ELECTRICAL SERVICE CONDUIT, TYP.
 - PLANTING BEDS SHALL BE PREPARED WITH 4" SHREDDED BLACK BARK MULCH OVER LANDSCAPING FABRIC AND 12" MIN. FRIABLE LOAM PLANTING MIXTURE. SEE PROJECT MANUAL AND LANDSCAPING PLAN.
 - USE PERMANENT SEED MIXTURES AND RATES BETWEEN MAY 15 AND SEPTEMBER 30.
 - USE TEMPORARY SEED MIXTURES FOR PERIODS LESS THAN 12 MONTHS. IF USING TEMPORARY SEED MIXTURES AND RATES BETWEEN 10/1 AND 5/14, RE-SEED WITH PERMANENT SEED MIXTURES AFTER 6/15.
- | PERMANENT SEED MIXTURE | APPLICATION RATE |
|------------------------|------------------|
| KENTUCKY BLUEGRASS | 20 LBS. PER ACRE |
| CREeping RED FESCUE | 20 LBS. PER ACRE |
| PERENNIAL RYEGRASS | 5 LBS. PER ACRE |
| TOTAL SEED RATE | 45 LBS. PER ACRE |
- | TEMPORARY SEED MIXTURE | APPLICATION RATE |
|---------------------------------------|------------------------------|
| OATS | 80 LBS. PER ACRE 401 - 514 |
| ANNUAL RYEGRASS | 40 LBS. PER ACRE |
| SUDANGRASS | 40 LBS. PER ACRE 515 - 814 |
| ANNUAL RYEGRASS | 80 LBS. PER ACRE 515 - 814 |
| WINTER RYE | 112 LBS. PER ACRE 915 - 930 |
| WINTER RYE (PROTECT WITH MULCH COVER) | 112 LBS. PER ACRE 1001 - 331 |
- LIME AND FERTILIZER:**
LIMING AND FERTILIZER RATES SHALL BE BASED ON FIELD SOIL TESTING OF ON-SITE TOPSOILS BY A CERTIFIED LABORATORY. SUBMIT TEST RESULTS TO ARCHITECT FOR DIRECTION.
 - MULCH:**

STRAW OR HAY (ANCHORED)	70 - 90 LBS (PROTECTED AREAS)
STRAW OR HAY (ANCHORED)	185 - 275 LBS (WINDY AREAS)
SHREDDED OR CHOPPED	185 - 275 LBS
JUTE MESH	AS REQUIRED (MODERATE TO HIGH VELOCITY AS REQUIRED AREAS & STEEP SLOPES)
EXCELSIOR MAT	
 - MULCH ANCHORING:**

PEG & TWINE	LIQUID ASPHALT
MULCH NETTING	WOOD CELLULOSE FIBER
ASPHALT EMULSION	CHEMICAL TACK
 - INSTALL NEW STRAW MULCH ON ALL NEW SEEDING TO PREVENT SOIL COMPACTION, LIMIT RUNOFF, CONTROL WEEDS AND CONSERVE MOISTURE.
 - THE GENERAL CONTRACTOR SHALL NOT UNLOAD OR STORE HEAVY EQUIPMENT OR BUILDING SUPPLIES ON EXISTING PAVED SURFACES. ALL DAMAGES TO THE OWNERS OR ADJACENT PROPERTY SHALL BE IMMEDIATELY REPAIRED AND RETURNED TO THE ORIGINAL CONDITION AS DIRECTED BY THE ARCHITECT.
 - WASH CONSTRUCTION VEHICLES WHEELS TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC ROADS. PERFORM WASHING ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. PREVENT ALL SEDIMENT FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS, OR OTHER APPROVED METHODS. SEE SITE PLAN FOR PROPOSED LOCATION.
 - MAINTAIN THE CONSTRUCTION ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL CRUSHED STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT ANY MEASURED USES TO TRAP SEDIMENT. ALL SEDIMENT, SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS OF WAY MUST BE REMOVED IMMEDIATELY.
 - STONE SIZE: AASHTO DESIGNATION #43, SIZE (2-1/2" - 1-1/2") USE CRUSHED STONE
 - LENGTH: AS EFFECTIVE BUT NOT LESS THAN 50 FT.
 - THICKNESS: NOT LESS THAN 8"
 - WIDTH: NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS
 - ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND THE DEPARTMENT OF ENVIRONMENTAL PROTECTION - MARCH 1991; REV. 2007.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL FINES RESULTING FROM EROSION OR SEDIMENTATION FROM THE SITE ONTO SURROUNDING PROPERTIES, WATERBODIES, OR WETLANDS AS A RESULT OF CONSTRUCTION ACTIVITY AT THIS PROJECT SITE.
 - LOAM AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER DISTURBANCE, BUT NO LONGER THAN 7 DAYS. USE WINTER SEED RATES AND SPECIFICATIONS IF APPROPRIATE.
 - INSPECT SOIL EROSION MEASURES WEEKLY AND DIRECTLY AFTER STORM STORM EVENTS WITH RAINFALL GREATER THAN 1/2 INCH. MAKE ALL REPAIRS TO FACILITIES AND SEDIMENT CONTROL STRUCTURES AS SOON AS POSSIBLE, BUT NO LONGER THAN 3 DAYS. CLEAN AND RESET FILTER BERMS, SILT FENCES, AND STONE CHECK DAMS, WHICH ACCUMULATE SEDIMENT AND DEBRIS.
 - PROTECT AND STABILIZE, OR RECONSTRUCT ALL AREAS NOT SCHEDULED FOR EROSION PROTECTION OR STABILIZATION BUT SHOWING SIGNS OF EROSION. NOTIFY OWNER AND ARCHITECT OF ANY SIGNIFICANT EROSION PROBLEM.
 - TEMPORARILY SEED WITHIN 7 DAYS AND AREA WHICH WILL BE LEFT DISTURBED AND UNWORKED FOR MORE THAN 14 DAYS WITH A TEMPORARY SEED MIX. LISTED BELOW. DO NOT USE PERMANENT SEED MIX AFTER SEPTEMBER 15.
 - MULCH ALL AREAS SEEDED SO THAT SOIL IS NOT VISIBLE THROUGH THE MULCH REGARDLESS OF THE APPLICATION RATE. DURING THE GROWING SEASON (APRIL 15 - SEPT. 30) USE MATS (OR MULCH AND NETTING) OR:
 - THE BASE OF GRASSED WATERWAYS
 - SLOPES STEEPER THAN 15%
 - WITHIN 100 FT. OF STREAMS AND OR WETLANDS.
 - BETWEEN OCTOBER 1 AND APRIL 14, USE MATS (OR MULCH NETTING) ON:
 - SIDES OF SLOPES ON GRASSED WATERWAYS
 - SLOPES STEEPER THAN 15%
 INSTALL MATS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - INSTALL EROSION CONTROL MESH IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS. MESH TO BE NORTH AMERICAN GREEN PRODUCT C1258R OR APPROVED EQUAL. SEE SITE PLAN FOR REQUIRED LOCATIONS.
 - FOLLOW SILT FENCE MANUFACTURER'S WRITTEN INSTRUCTIONS FOR INSTALLATION OF SILT FENCE. SECURE ENTIRE BOTTOM OF FENCE TO EARTH EITHER BY BURYING BOTTOM OF FENCE IN A TRENCH OR BERMING WITH SOIL OR CHIPPED GRUBBINGS. SEE SILT FENCE DETAILS.
 - PROVIDE AND MAINTAIN DUST CONTROL MEASURES AS NECESSARY TO PREVENT DUST FROM BLOWING ONTO NEIGHBORING PROPERTY OR BEING TRACKED ONTO ADJACENT ROADS AND STREETS. GRADE AND SHAPE ROADS TO ALLOW DRAINAGE AND TO PREVENT PONDING. APPLY A 30% SOLUTION OF CALCIUM CHLORIDE AT A RATE NOT TO EXCEED 0.27 GALLONS PER SQUARE YARD (4.51 POUNDS OF DRY PRODUCT PER GALLON, OR 1.5 POUNDS PER SQUARE YARD).

GENERAL NOTES

- THESE SITE DRAINS ARE DERIVED FROM A PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY" PREPARED BY OWEN HASKELL, INC., 16 CASCO STREET PORTLAND, MAINE 04101, DATED JANUARY 03, 2006.
- THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVEGROUND STRUCTURES, RECORD DRAWINGS, AND MARKS PROVIDED TO THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES AND STRUCTURES MAY VARY FROM THE LOCATIONS DEPICTED HEREON. UNLESS SPECIFICALLY NOTED, NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THE SURVEY. UNDER MAINE LAW, "DIG SAFE" MUST BE NOTIFIED PRIOR TO ANY EXCAVATION.
- OWNER OF RECORD IS THE CITY OF PORTLAND, MAINE, 389 CONGRESS STREET, PORTLAND, MAINE 04101.
- BENCHMARKS ARE P/NAIL IN UP#13 ON THE WESTERN AVENUE SIDE OF MARGINAL WAY WITH AN ELEVATION OF 10.82 AND NORTHERN MOST BONNET BOLT ON FIRE HYDRANT ON EASTERN SIDE OF MARGINAL WAY WITH AN ELEVATION OF 12.22.
- TOPOGRAPHICAL ELEVATIONS ARE BASED ON NGVD 1929.
- PARCEL IS SHOWN ON THE CITY OF PORTLAND ASSESSORS' TAX MAP 34 A AS LOT 2, BLOCK B.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG SAFE" (1-800-344-7233) AND LOCAL UTILITY COMPANIES AT LEAST 3 BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, AS IN ACCORDANCE WITH MAINE STATE LAW.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SPECIFIED ON THESE DESIGN DRAWINGS.
- ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL SAFETY REGULATIONS.
- ALL WORK SHALL BE PERFORMED IN STRICT CONFORMANCE WITH THE CITY OF PORTLAND, MAINE TECHNICAL DESIGN STANDARDS - LATEST EDITION AND THE CITY'S PUBLIC WORKS DEPARTMENT ALONG WITH THE RESPECTIVE UTILITY COMPANY'S REQUIREMENTS.
- THE OWNER SHALL SECURE AND PAY FOR ALL PERFORMANCE GUARANTEES SPECIFIED BY THE CITY OF PORTLAND PRIOR TO COMMENCING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES WITH THE RESPECTIVE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. IF ANY DISCREPANCIES OR CONFLICTS ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND OWNER PRIOR TO PROCEEDING.
- THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO COMMENCING CONSTRUCTION.
- NO BLASTING WILL BE ALLOWED WITHIN 500 FT OF ANY UTILITY WITHOUT THE NOTIFICATION AND APPROVAL OF THE APPROPRIATE UTILITY COMPANY. NO LEDGE BLASTING WILL BE PERMITTED WITHIN A UTILITY COMPANY EASEMENT UNTIL WRITTEN APPROVAL FROM THE UTILITY IS GIVEN.
- ALL PAVEMENT CUTS SHALL BE SAW CUT TO RESULT IN CLEAN EDGES. A SHIPPLAPPED JOINT SHALL BE PREPARED AS DETAILED ON THE SITE DRAWINGS. A TACK COAT SHALL BE APPLIED ALONG THE SHIPPLAPPED CUT EDGES AND NEW PAVEMENT APPLIED IN A SHIPPLAPPED FASHION TO THE EXISTING CUT PAVEMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO RECLAIM OR PROPERLY DISPOSE OF ALL REMOVED BITUMINOUS MATERIALS.
- INLETS AND OUTLETS OF ALL CULVERTS SHALL BE RIP-RAPPED UNLESS OTHERWISE NOTED ON THE PLANS OR DIRECTED BY THE ENGINEER.
- CONDUIT SHALL BE PROVIDED FOR ALL ELECTRIC, TELEPHONE AND CATV CABLING IN ACCORDANCE WITH THE SPECIFICATIONS AND THE RESPECTIVE UTILITY COMPANY'S WRITTEN REQUIREMENTS.
- THE APPLICANT AGREES TO MAINTAIN THE EXISTING VEGETATION IN ITS NATURAL STATE BEYOND THE "LIMIT OF WORK" AREA.

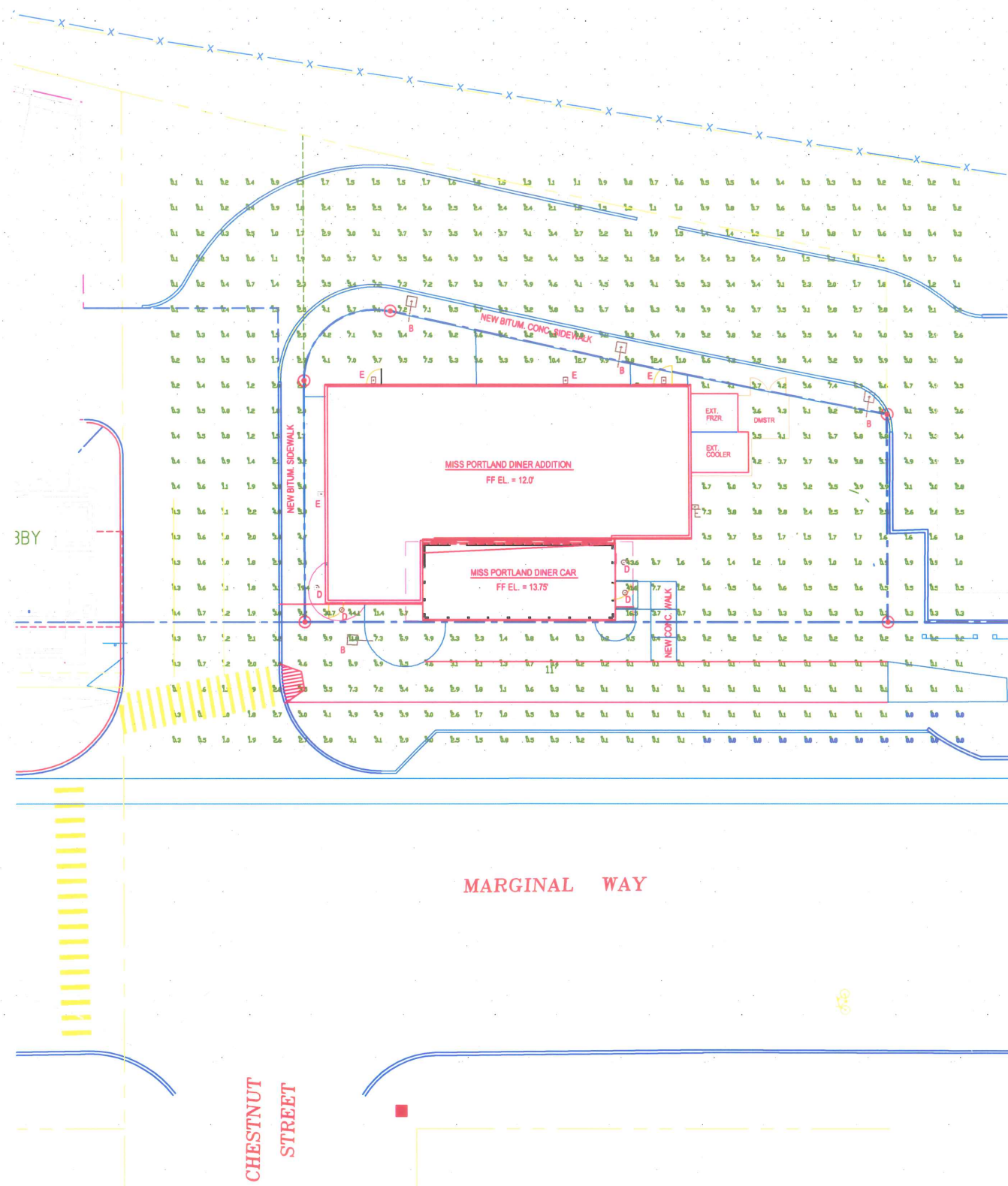


DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 1344 WASHINGTON AVENUE PORTLAND, MAINE
 PH. (207) 797-8661 FAX (207) 797-8533
 PROJECT NO: 040306 PROJECT TITLE: MISS PORTLAND DINER PROJECT
 SCALE: NO SCALE SHEET TITLE: SITE NOTES AND LEGENDS

REL. FOR MINOR SITE PLAN REVIEW - MARCH 14, 2007
NOT FOR CONSTRUCTION

MISS PORTLAND DINER PROJECT FOR
TOMAK, LLC
MARGINAL WAY
PORTLAND, MAINE

C-100



SITE PHOTOMETRIC PLAN

1" = 10'-0"



Luminaire Schedule							
Label	Symbol	Qty	Lumens	LLF	Description	Filename	Mtg Ht
B	□	4	21000	0.720	PFM-H25-V5-F	L5200PEX.ies	
D	○	4	5200	0.720	pl4906 - 70WATT	Pl4906.ies	
E	+	5	3400	0.720	695-WP-DB-MH1_50	Type E.IES	

Numeric Summary									
Label	# Pts	Avg	Max	Min	Avg/Min	Max/Min	CV	UG	Grid Spacing
Grid1	593	2.85	44.1	0.0	N.A.	N.A.	1.29	58.34	

1	RET. FOR MINOR SITE PLAN REVIEW - APRIL 24, 2007
2	RET. FOR MINOR SITE PLAN REVIEW - APRIL 24, 2007

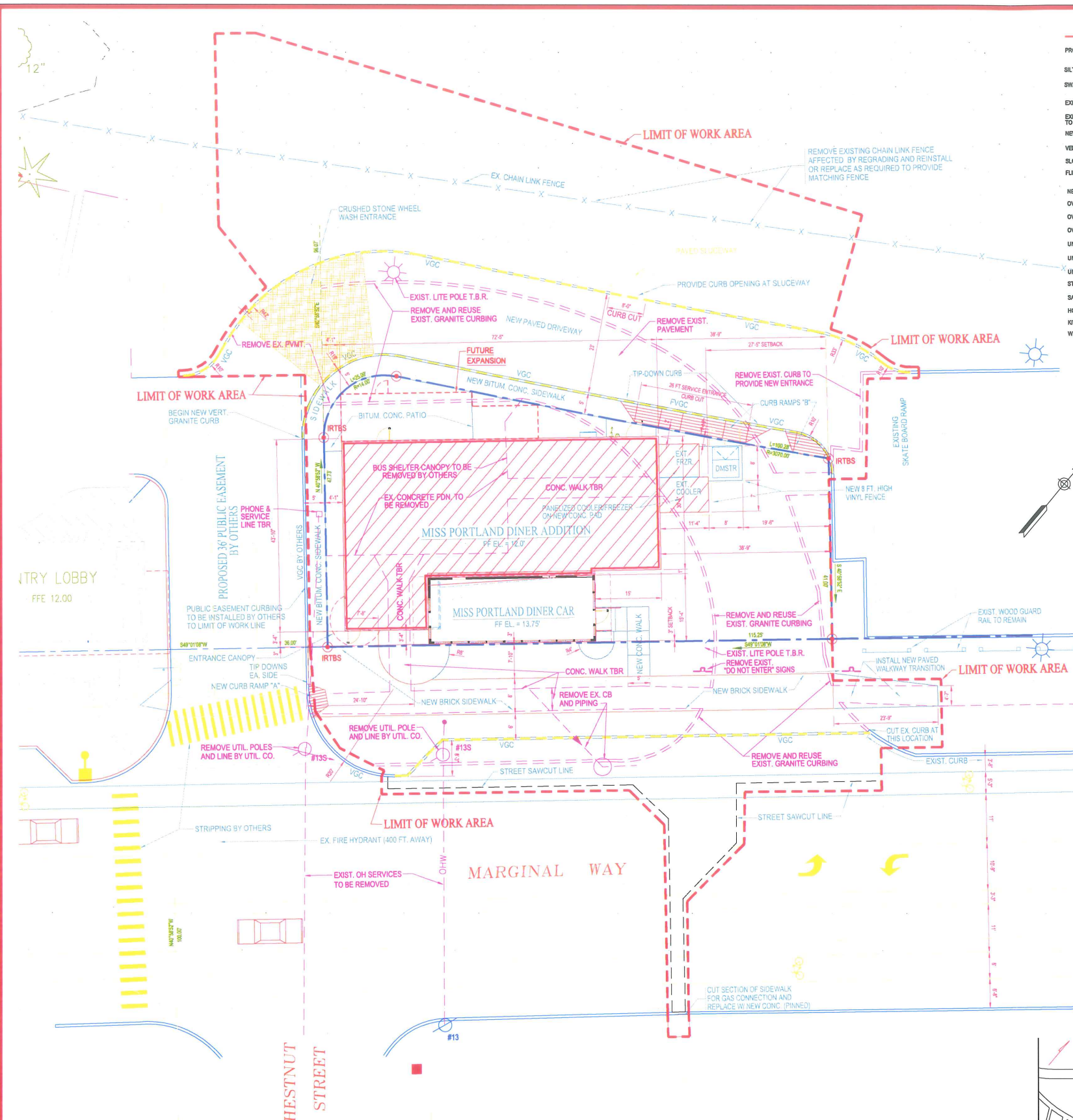
DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533
 PROJECT NO.: 040306 PROJECT TITLE: MISS PORTLAND DINER PROJECT
 SCALE: 1" = 10'-0" SHEET TITLE: SITE PHOTOMETRIC PLAN

RESUBMITTED FOR MINOR SITE PLAN REVIEW - APRIL 24, 2007
 NOT FOR CONSTRUCTION

MISS PORTLAND DINER PROJECT FOR
 TOMAKS, LLC
 MARGINAL WAY
 PORTLAND, MAINE

C-000

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PROF LINE BEARING S 23 -02'-00" E
179.26'

SILTHY/BALE BARRIER	S
SWALE	S
EXISTING GRANITE CURBING	---
EXISTING GRANITE CURBING TO BE REMOVED	---
NEW GRANITE CURBING	---
VERTICAL GRANITE CURBING	VGC
SLOPED GRANITE CURBING	SGC
FLUSH GRANITE CURBING	FGC
NEW SPOT ELEVATION	12.5'
OVERHEAD ELEC LINE	OHE
OVERHEAD TELEPHONE	OTEL
OVERHEAD CATV	OCATV
UNDERGROUND ELEC.	UE
UNDERGROUND TEL.	UTEL
UNDERGROUND CATV	UCATV
STORM SEWER	SS
SANITARY SEWER	SS
HOUSE SANITARY SEWER	HSS
KITCHEN SANITARY SEWER	KSS
WATER SERVICE	W

SITE LEGEND

WATER SHUT-OFF VALVE	⊗
TRANSFORMER PAD	⊕
NEW CONCRETE SURFACE	▨
NEW PLANTING BED W/ 4" SHREDED BLACK BARK MULCH	▨
ROUNDED STONE BED	▨
NEW PAVED AREA	▨
PERIMETER FDN DRAIN	FD
UNDERDRAN	UD
UNDERGR. ELECTRIC POWER IN 1" PVC CONDUIT	⊖
SANITARY SEWER FORCE MAIN	FM
NEW CONTOUR	— 12
EXISTING CONTOUR	— 12
SOIL BORING LOCATION	⊕ 8-302
UTILITY POLE	⊕
EXISTING MANHOLE	⊙
NEW MANHOLE	⊙
HYDRANT	⊙
EXISTING CATCH BASIN	⊙
NEW CATCH BASIN	⊙

GENERAL NOTES

- TOTAL SITE AREA: 6,010 SF (0.138 ACRES)
- ZONING DISTRICT: B-7 MIXED DEVELOPMENT DISTRICT ZONE
- SPACE AND BULK REQUIREMENTS:

MINIMUM LOT SIZE:	NONE	PROPOSED
MINIMUM FRONTAGE:	NONE	0.138 ACRES
MINIMUM FRONT SETBACK:	NONE	0 FEET
MINIMUM SIDE SETBACK:	NONE	4 FEET (SW) AND 27 FEET 6 INCHES (NE)
MINIMUM REAR SETBACK:	NONE	1 FEET TO INCHES
MINIMUM STREET SETBACK:	NONE	10 FEET
MINIMUM LOT COVERAGE:	NONE	N/A
MINIMUM RESIDENTIAL DENSITY:	NONE	85 FEET 13 FEET 6 INCHES
MINIMUM BUILDING HEIGHT:	NONE	4 FLOORS
- OWNER OF PROPERTY: CITY OF PORTLAND
135 CONGRESS STREET, PORTLAND, MAINE 04101
OPTION TO PURCHASE BY: TOMAKS, LLC
116 ARBOUR DRIVE, MAHWAH, NEW JERSEY 07430
- PARKING REQUIRED: 0 SPACES
PROPOSED: 0 SPACES - SHARED PARKING ON STATE OF MAINE PARCEL
- BUILDING SUMMARY:
TOTAL BUILDING SQUARE FOOTAGE: 3,965 SF
MISS PORTLAND DINER CAR: 577 SF
NEW ADDITION: 2,488 SF
LOT COVERAGE (BUILDING): 51%
- BOUNDARY LINE AND TOPOGRAPHIC INFORMATION BASED ON SURVEYS PREPARED BY OWEN HADSELL, INC. FROM PLANS DATED JANUARY 2, 2006
- BENCHMARKS ARE PIN NAIL IN UP#13 ON THE WESTERN SIDE OF MARGINAL WAY WITH AN ELEVATION OF 10.62 AND NORTHERN MOST BONNET BOLT ON FIRE HYDRANT ON EASTERN SIDE OF MARGINAL WAY WITH AN ELEVATION OF 12.22
- ALL MATERIALS AND INSTALLATION DETAILS SHALL MEET M.D.O.T. AND/OR CITY OF PORTLAND STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND KEEPING STREETS CLEAN DURING CONSTRUCTION. A MAINTENANCE PLAN SHALL BE PREPARED AND APPROVED BY THE CITY AND OWNERS REPRESENTATIVE.
- DIMENSIONS ARE FROM FACE OF CURB.

CITY OF PORTLAND NOTES

- LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OF PLANNING BOARD REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODS OR LAWN AREAS, ACCESS, SIZE, LOCATION AND SURFACING OF PARKING AREAS, AND LOCATION AND SIZE OF BUILDINGS.
- ALL POWERLINE UTILITIES SERVING THE BUILDING SHALL BE UNDERGROUND.
- SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TIP DOWN RAMPS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2003, OR LATEST EDITION. [NOTE: THE SITE PLAN SHOULD SPECIFY THE EROSION CONTROL DEVICE TO BE EMPLOYED (SILT FENCE, HAY BALE, ETC.) AS WELL AS THEIR LOCATION.]
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
- ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES [SEE ABOVE].
- PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
- EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THIS SITE. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE ERRECTED OUTSIDE THE DRIP-LINE OF INDIVIDUAL GROUPINGS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. REGRADING SHALL NOT TAKE PLACE WITHIN THE DRIP-LINE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRIP-LINE OF TREES TO BE PRESERVED.



1	REVISION: MINOR SITE PLAN REVIEW - MARCH 14, 2007
2	REV. & RESUB FOR MINOR SITE PLAN REVIEW - APRIL 24, 2007

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
1344 WASHINGTON AVENUE PORTLAND, MAINE
PH: (207) 797-8661 FAX: (207) 797-8533
PROJECT NO: 040306 PROJECT TITLE: MISS PORTLAND DINER PROJECT
SCALE: 1" = 10'-0" SHEET TITLE: SITE LAYOUT PLAN

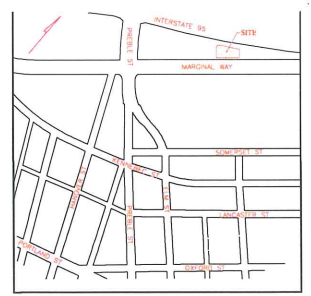
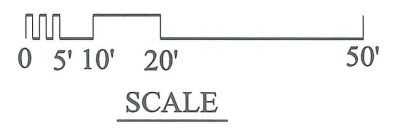
RESUBMITTED FOR MINOR SITE PLAN REVIEW - APRIL 24, 2007
NOT FOR CONSTRUCTION

MISS PORTLAND DINER PROJECT FOR
TOMAKS, LLC
MARGINAL WAY
PORTLAND, MAINE

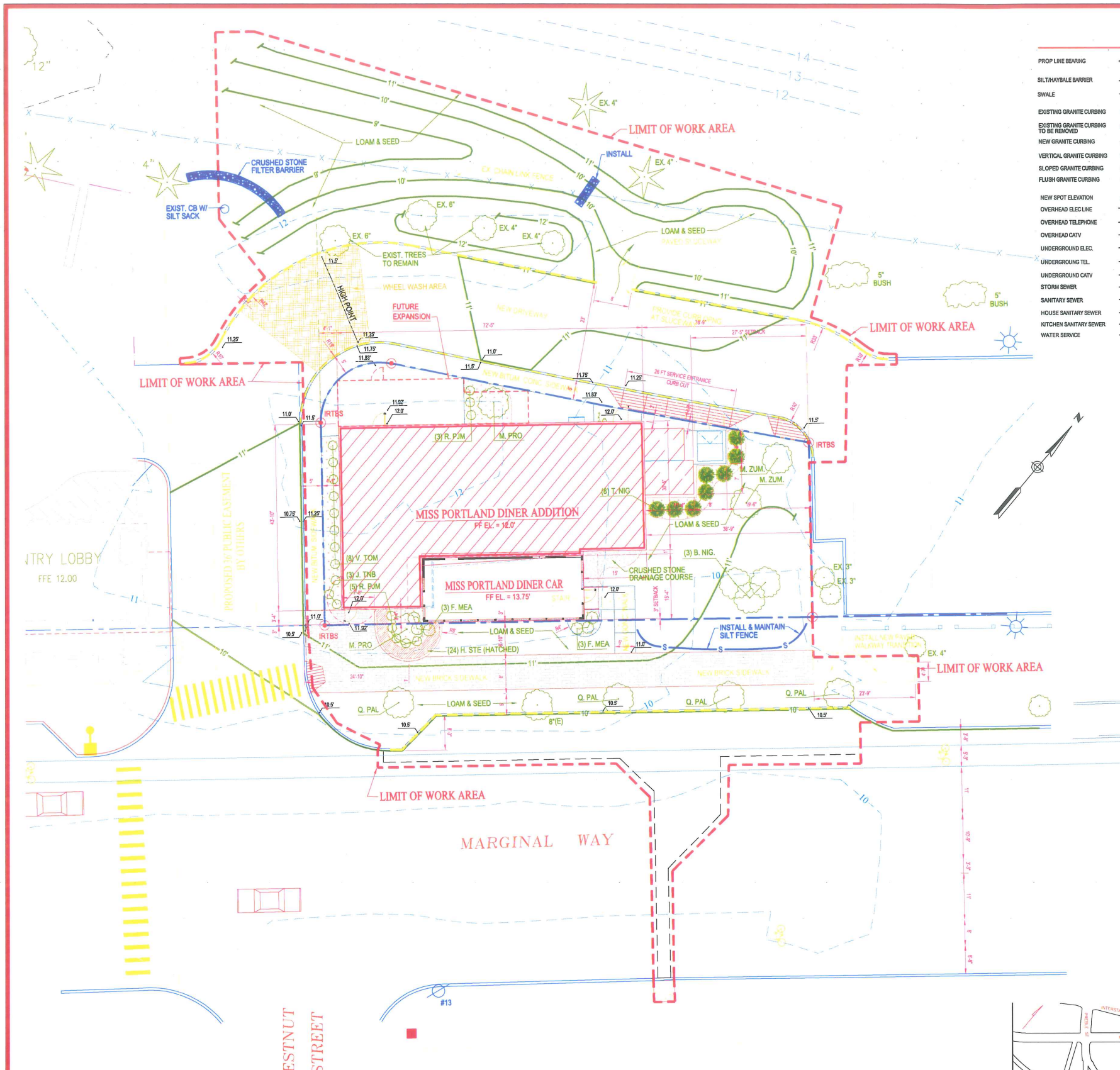
C-200

SITE LAYOUT & DEMOLITION PLAN

1" = 10'-0"



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PROP LINE BEARING S 23-02'-00" E
179.26'

SILT/STYRENE BARRIER S S

SWALE [Symbol]

EXISTING GRANITE CURBING TO BE REMOVED [Symbol]

NEW GRANITE CURBING [Symbol]

VERTICAL GRANITE CURBING VGC

SLOPED GRANITE CURBING SGC

FLUSH GRANITE CURBING FGC

NEW SPOT ELEVATION [Symbol]

OVERHEAD ELEC LINE OHE

OVERHEAD TELEPHONE OTEL

OVERHEAD CATV OCATV

UNDERGROUND ELEC. UE

UNDERGROUND TEL. UTEL

UNDERGROUND CATV UCATV

STORM SEWER SD

SANITARY SEWER SS

HOUSE SANITARY SEWER HSS

KITCHEN SANITARY SEWER KSS

WATER SERVICE W

SITE LEGEND

WATER SHUT-OFF VALVE [Symbol]

TRANSFORMER PAD [Symbol]

NEW CONCRETE SURFACE [Symbol]

NEW PLANTING BED W/ 4" SHREDDED BLACK BARK MULCH [Symbol]

ROUNDED STONE BED [Symbol]

NEW PAVED AREA [Symbol]

PERIMETER FDN DRAIN [Symbol]

UNDERDRAN [Symbol]

UNDERGRD. ELECTRIC POWER IN 1" PVC CONDUIT [Symbol]

SANITARY SEWER FORCE MAIN [Symbol]

EXISTING COMPONENT TO REMAIN (R)

COMPONENT TO BE REMOVED (R)

NEW COMPONENT OR DEVICE (N)

PLANT LIST - GROUND LEVEL

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
B. NIG	3	BETULA NIGRA	RIVER BIRCH	10'-12" CLUMP
M. ZUM	2	MALUS x ZUMI 'CALOCARPA'	DARK AMERICAN FLOWERING CRAB	2 1/2"-3" CAL
Q. PAL	4	QUERCUS PALUSTRIS	PIN OAK	2 1/2"-3" CAL
M. PRG	5	MALUS 'PROFUSION'	PROFUSION FLOWERING CRAB	1 1/2" CAL
SHRUBS				
F. MEA	6	FORSYTHIA 'MEADOWLARK'	MEADOWLARK FORSYTHIA	#5
T. NIG	8	ARBOREAE TAUGA 'NIGRA'	DARK AMERICAN ARBOREAE	6"-7" HT
J. NIG	3	JUNIPERUS SABINA 'TAM NEW BLUE'	TAM NEW BLUE JUNIPER	#5
R. P.M	8	RHOODODENDRON 'PUM COMPACTA'	COMPACT PUM RHOODODENDRON	18"-24"
V. TOM	8	VIBURNUM PULCATUM VAR. TOMENTOSUM	TOMENTOSUM VIBURNUM	4'-5" HT
PERENNIALS				
H. STE	24	HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY	6" POT

GENERAL PLANTING NOTES

- CALL DIG-SAFE (1-888-344-7233) PRIOR TO BEGINNING WORK. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING ANY DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES DAMAGED DURING CONSTRUCTION. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ANY DAMAGE TO UTILITIES AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING.
- DO NOT SCALE FROM DRAWINGS. ANY OMISSIONS IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE PROJECT ARCHITECT. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES AND SPECS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR FURTHER DIRECTION AND RESOLUTION BEFORE ANY ADDITIONAL WORK PROCEEDS.
- PROVIDE SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
- CONTRACTOR SHALL FURNISH AND PLACE 12" INCHES OF LOAM IN ALL SHRUB BEDS, 30 INCHES IN ALL TREE PITS AND 8 INCHES UNDER ALL TURF AREAS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
- ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARDS FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERMEN".
- ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING, STAKING OR GUYING WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM THE OWNER. SEE PROJECT MANUAL.
- ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- EXISTING TREES TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ALL SHRUB BEDS AND TREE PITS SHALL BE MULCHED WITH 4" CLEAN SHREDDED BLACK BARK MULCH.
- ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY, OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER, ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
- WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
- DAMAGE TO EXISTING SITE IMPROVEMENT DURING INSTALLATION OF LANDSCAPE MATERIAL SHALL BE THE RESPONSIBILITY OF THE LANDSCAPING CONTRACTOR.



1. REV. FOR MINOR SITE PLAN REVIEW - MARCH 14, 2007
2. REV. & RESUB. FOR MINOR SITE PLAN REVIEW - APRIL 25, 2007

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
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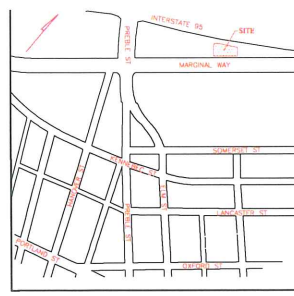
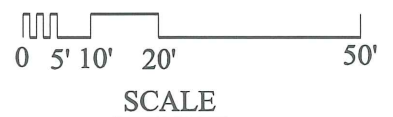
PROJECT TITLE: MISS PORTLAND DINER PROJECT
SHEET TITLE: SITE GRADING AND LANDSCAPING PLAN
SCALE: 1" = 10'-0"

RESUBMITTED FOR MINOR SITE PLAN REVIEW - APRIL 24, 2007
NOT FOR CONSTRUCTION

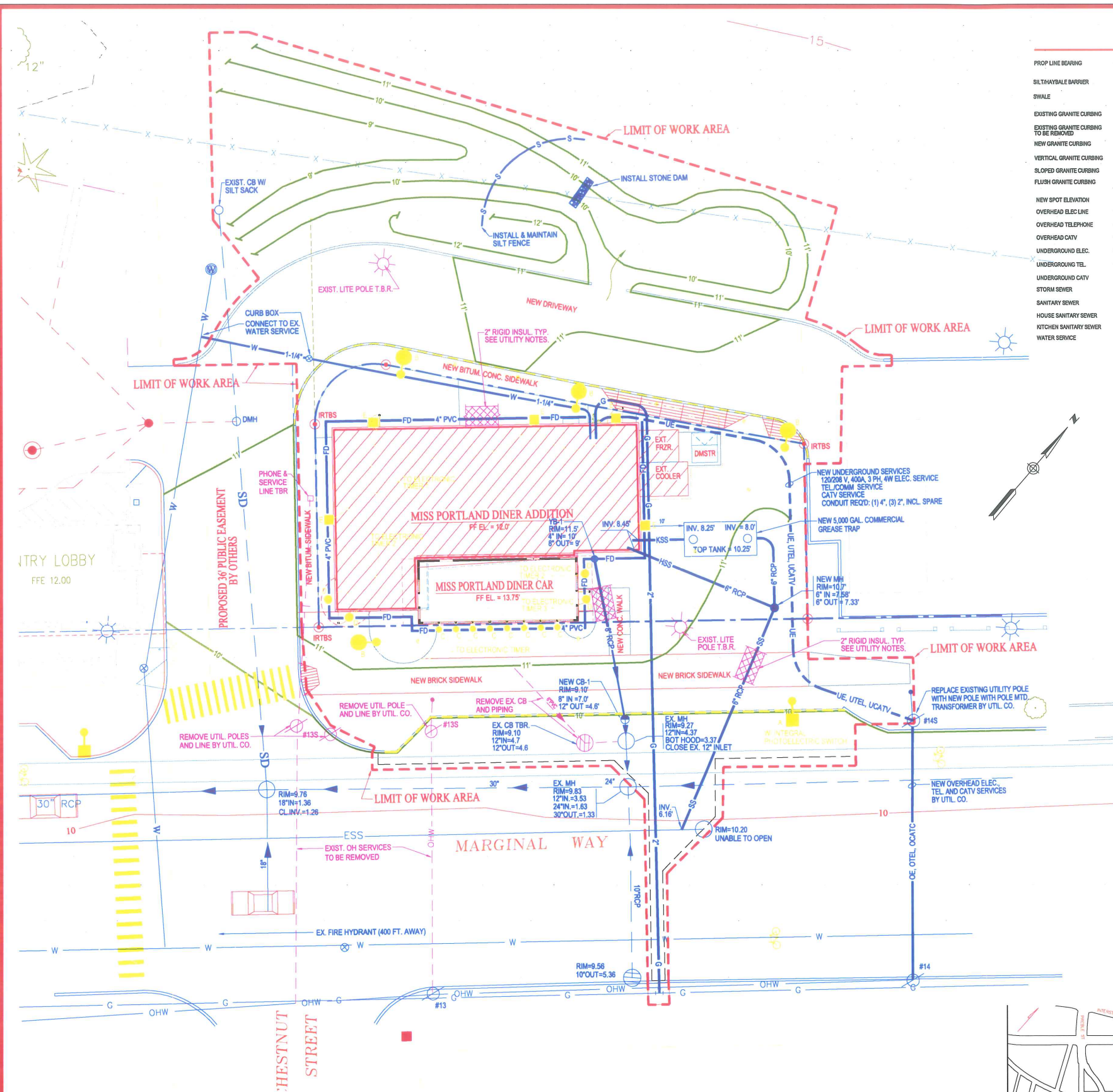
MISS PORTLAND DINER PROJECT FOR
TOMAKS, LLC
MARGINAL WAY
PORTLAND, MAINE

C-201

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SITE LOCATION MAP
N.T.S.



SITE LEGEND

PROP LINE BEARING	S 23 -02'-00" E	WATER SHUT-OFF VALVE		NEW CONTOUR	
SILT/BAYLE BARRIER	179.26'	TRANSFORMER PAD		EXISTING CONTOUR	
SWALE		NEW CONCRETE SURFACE		SOIL BORING LOCATION	
EXISTING GRANITE CURBING TO BE REMOVED		NEW PLANTING BED W/ 4" SHREDED BLACK BARK MULCH		UTILITY POLE	
NEW GRANITE CURBING		ROUNDED STONE BED		EXISTING MANHOLE	
VERTICAL GRANITE CURBING	VGC	NEW PAVED AREA		HYDRANT	
SLOPED GRANITE CURBING	SGC	PERIMETER FDN DRAIN		EXISTING CATCH BASIN	
FLUSH GRANITE CURBING	FGC	UNDERDRAIN		NEW CATCH BASIN	
NEW SPOT ELEVATION	12.2'	UNDERGRD. ELECTRIC POWER IN 1" PVC CONDUIT			
OVERHEAD ELEC LINE	OHE	SANITARY SEWER FORCE MAIN			
OVERHEAD TELEPHONE	OTEL				
OVERHEAD CATV	OCATV				
UNDERGROUND ELEC.	UE				
UNDERGROUND TEL.	UTEL				
UNDERGROUND CATV	UCATV				
STORM SEWER	SS				
SANITARY SEWER	SS				
HOUSE SANITARY SEWER	HSS				
KITCHEN SANITARY SEWER	KSS				
WATER SERVICE	W				

SITE LIGHTING FIXTURE LEGEND

- A** HOLOPHANE "ESPLANADE" SERIES AREA LIGHT W/ TAPERED STEEL POLE DEC SERIES BRACKET ARM 24" NOMINAL HEIGHT. COLOR: OLD NAVY SILVER. GC SHALL BE RESPONSIBLE FOR CONG. BASE AND MOUNTING BOLTS. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR POLE ARM BRACKET, MOUNTING FIXTURE SUPPLIED BY THE CITY OF PORTLAND. ALL POWER WIRING AND CONDUIT PROVIDED AND INSTALL INTEGRAL PHOTOELECTRIC SWITCH FOR THIS FIXTURE.
- B** SPALLING SQUARE "PERFORMER B" AREA LIGHT. 100 W METAL HALIDE CUT OFF FORWARD THROW FIXTURE. NOMINAL MOUNTING HEIGHT = 12 FT. CAT. NO. PPH-16-PM-5100-V5-MT-FG W/ DIRECT ARM MOUNT ON 4" X 4" X 12 FT. STEEL POLES. INCLUDE ALL LAMPS AND ACCESSORIES. MOUNT POLE ON PRECAST CONCRETE POLE BASE WITH TOP FLUSH WITH GRADE. SEE DRAWING C-204.
- C** PROGRESS CAST BATH ALUMINUM 4-1/2" X 10" HT. WALL FIXTURE W/ (2) 100 W LAMPS. CAT. NO. P982-86. MOUNT VERTICALLY AT 7 FT. ABV GRADE TO CENTER OF FIXTURE. PROVIDE AND INSTALL ALL LAMPS.
- D** COOPER PORTFOLIO RECESSED 70W MH ED-T7 METAL HALIDE DOWNLIGHT FIXTURE WITH 6" APERTURE. PROVIDE AND INSTALL LAMP. MOUNTING HEIGHT = 7 FT. 70 W METAL HALIDE CAT. NO. M06-73N-67B-H WITH TRIM-F WHITE METAL TRIM.
- E** SHAPER BUILDING MOUNTED WALL LIGHT. CAT. NO. 695-WP-DB WITH 50 W METAL HALID LAMP. MOUNTING HEIGHT = 10'-0"

UTILITY PLAN NOTES:

1. NEAREST FIRE HYDRANT IS 400 FT. (SOUTHWEST) DOWN MARGINAL WAY.
2. CONNECT ROOF DRAINS TO PERIMETER FOUNDATION DRAIN OUTFALL PIPING.
3. INSTALL 2" RIGID EXTRUDED POLYSTYRENE INSULATION BOARD UNDER ALL BRICK CONCRETE AND PAVED SURFACES. SEE DETAIL ON DWG. C-203. EXTEND RIGID INSULATION 3 FEET MIN. IN ALL DIRECTIONS BEYOND LIMITS OF THESE SURFACES.
4. INSTALL 2" RIGID EXTRUDED POLYSTYRENE INSULATION 2 FEET WIDE MIN. OVER ALL SANITARY, STORM WATER, PERIMETER DRAIN AND DOMESTIC WATER SUPPLY PIPING. SEE DETAIL ON DWG. C-203.
5. STREETSIDE RIGHT-OF-WAY LIGHTING SHALL BE HOLOPHANE ESPLANADE SERIES LUMINAIRE WITH TAPERED STEEL POLE, DEC SERIES BRACKET ARM, 24"-3" NOMINAL HEIGHT, COLOR: OLD NAVY SILVER. THIS LIGHTING IS STANDARD FOR THE BAYSIDE NEIGHBORHOOD. ELEC. CONTR. IS RESPONSIBLE FOR INSTALLATION OF CONG. BASE AND POLE ONLY. OWNER SHALL LEASE FIXTURE FROM THE CITY OF PORTLAND, ME.
6. BUILDING MOUNTED AND SITE POLE MOUNTED LIGHTING TO BE MANUFACTURED BY SHAPER. BUILDING MOUNTED LIGHTING TO BE 695-WP-DB, 50 WATT METAL HALIDE. SITE POLE MOUNTED LIGHTING TO BE 995-PT SERIES, 70 WATT METAL HALIDE, 12'-6" FEET HIGH.
7. SITE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL LIGHT POLE BASES (INCLUDING THE PUBLIC ROW) AND TRENCHING FOR CONDUIT.
8. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONDUIT FOR ON-SITE AND OFF-SITE ELECTRIC SERVICE FOR POLE MOUNTED FIXTURES. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ON-SITE POLE MOUNTED LIGHT FIXTURES AND POLES. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR OFF-SITE LIGHT POLES. OFF-SITE POLE MOUNTED FIXTURES TO BE LEASED BY THE CITY OF PORTLAND FROM CENTRAL MAINE POWER. OFF-SITE POLE MOUNTED FIXTURES TO BE INSTALLED BY CENTRAL MAINE POWER.



1	REVISIONS	DATE	DESCRIPTION
2	REVISIONS	DATE	DESCRIPTION
3	REVISIONS	DATE	DESCRIPTION

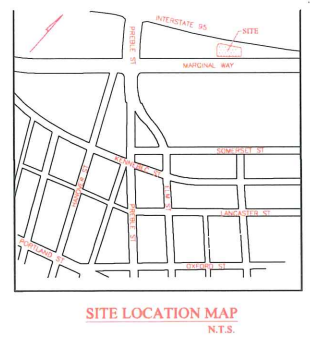
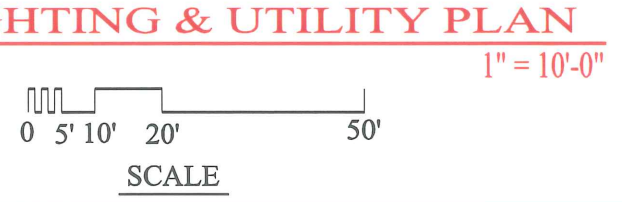
DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533
 PROJECT NO. 040306 PROJECT TITLE: MISS PORTLAND DINER PROJECT
 SCALE: 1" = 10'-0" SHEET TITLE: SITE UTILITY PLAN

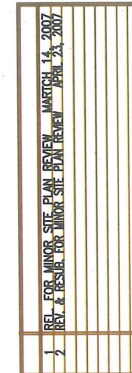
RESUBMITTED FOR MINOR SITE PLAN REVIEW - APRIL 24, 2007
 NOT FOR CONSTRUCTION

MISS PORTLAND DINER PROJECT FOR
 TOMAKS, LLC
 MARGINAL WAY
 PORTLAND, MAINE

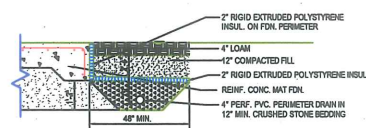
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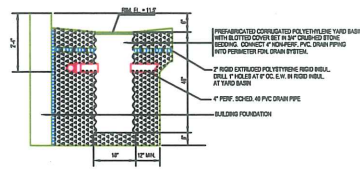




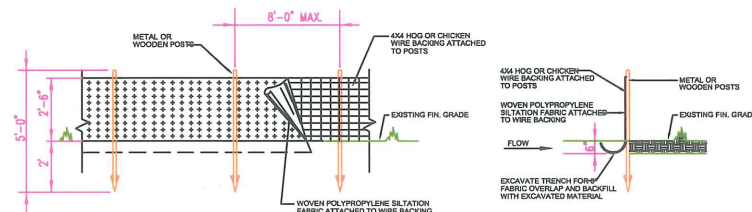
DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 1344 WASHINGTON AVENUE PORTLAND, MAINE
 PH. (207) 797-8661 FAX (207) 797-8533
 PROJECT NO. 040306 PROJECT TITLE: MISS PORTLAND DINER PROJECT
 SCALE: NO SCALE SHEET TITLE: SITE DETAILS



TYPICAL FOUNDATION DRAIN
NOT TO SCALE

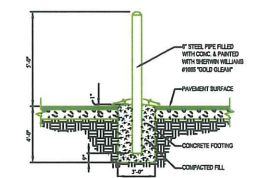


YARD DRAIN DETAIL
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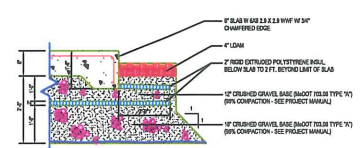


SILTATION FENCE DETAIL

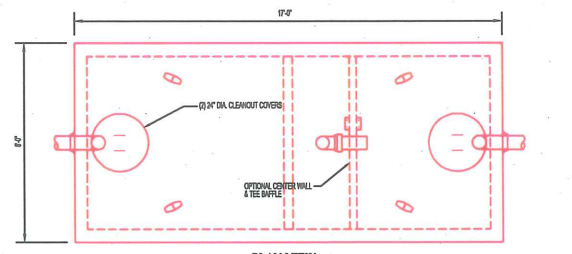
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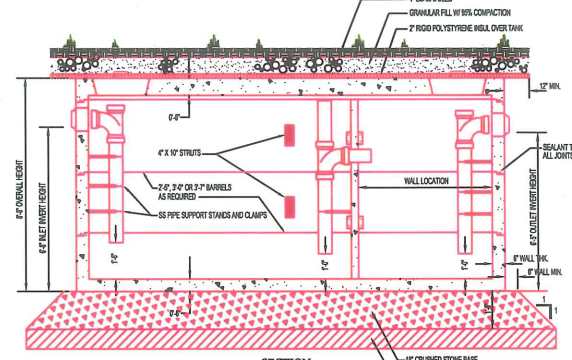
TYPICAL GUARD BOLLARD
NOT TO SCALE



COOLER / DUMPSTER SLAB DETAIL
NOT TO SCALE



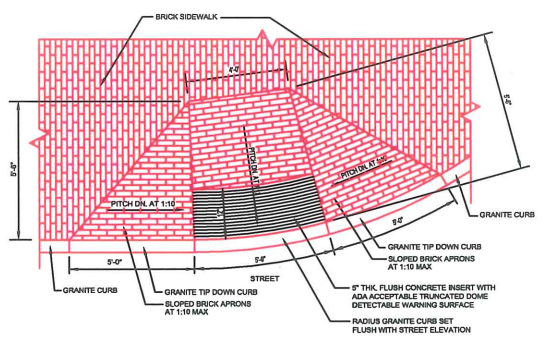
PLAN VIEW



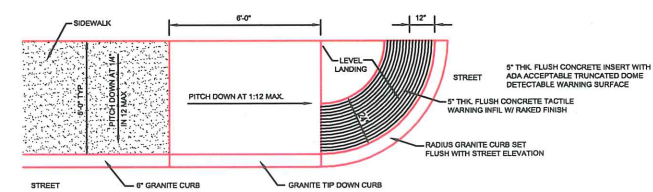
SECTION

COMMERCIAL GREASE TRAP DETAIL
5000 GALLON
NOT TO SCALE

- DESIGN NOTES:**
1. ALL TANKS SHALL BE FOUND ON A LEVEL, UNIFORMLY COMPACTED BED OF SAVINGE SOIL OR CRUSHED STONE AS INDICATED.
 2. CONCRETE MAX DESIGN SHALL BE 5000 PSI @ 28 DAYS, TYPE 3 CEMENT.
 3. REINFORCING STEEL SHALL BE ASTM A 616 GRADE OR PLACED TO MIN DESIGN.
 4. ALL SHIP LAP JOINTS SHALL BE SEALED WATER TIGHT WITH BUTYL SEALANT.
 5. PROVIDE 3 EACH PENNA. 800 HANGERS OR LIFT LOOPS ON ALL TANK COVERS.
 6. PROVIDE INTEGRAL 4\"/>



CURB RAMP "A" DETAIL
NOT TO SCALE



CURB RAMP "B" DETAIL
NOT TO SCALE

SITE DETAILS
AS NOTED

RESUBMITTED FOR MINOR SITE PLAN REVIEW - APRIL 24, 2007
NOT FOR CONSTRUCTION

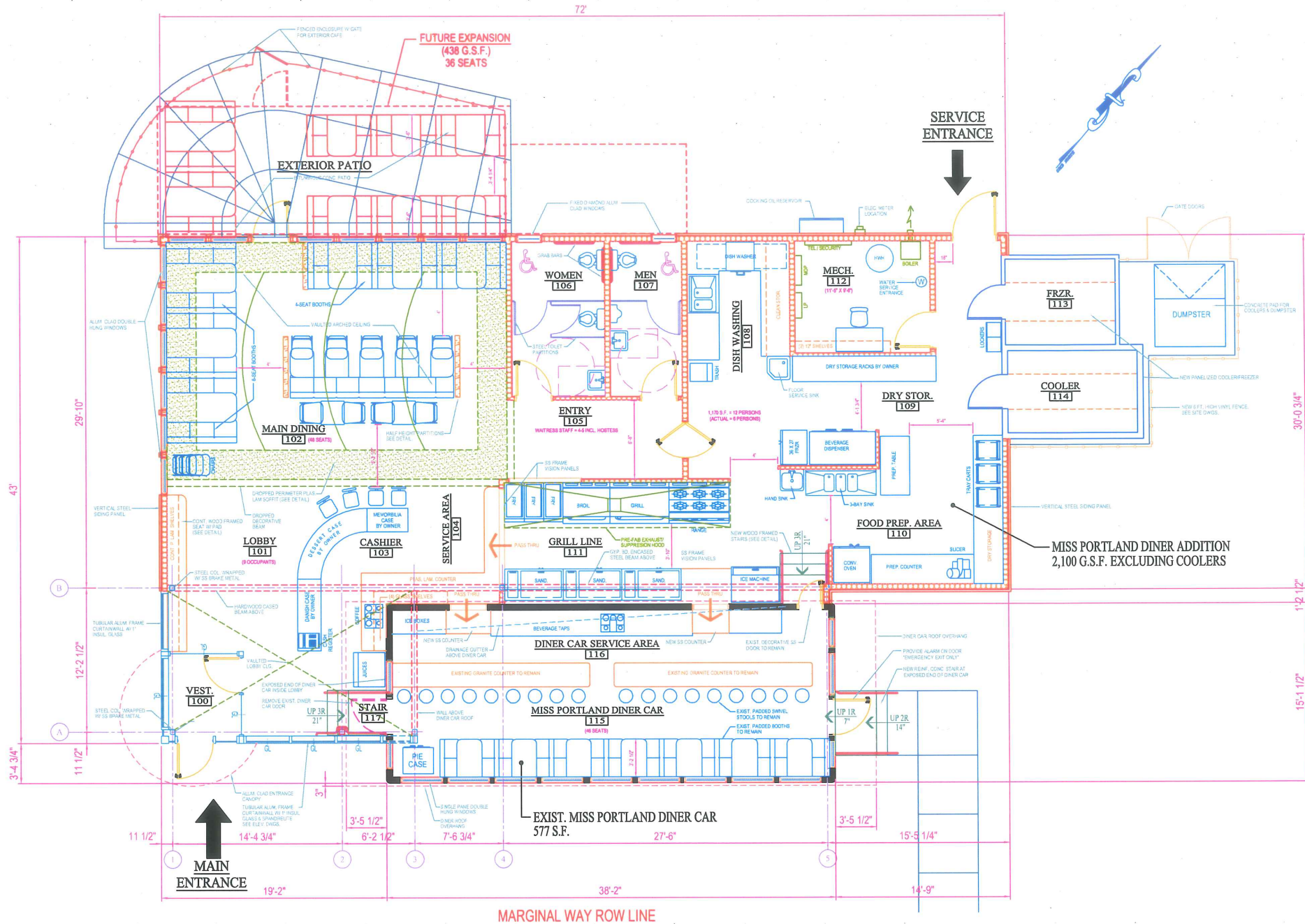
MISS PORTLAND DINER PROJECT FOR
TOMAKS, LLC
MARGINAL WAY
PORTLAND, MAINE

C-204

THIS DRAWING HAS BEEN DEVELOPED BY DAVID D. LEASURE ARCHITECTURAL ASSOCIATES INC. (D.L.A.A.) FOR THE FIRM OF TOMAKS, LLC. IT IS THE PROPERTY OF D.L.A.A. AND NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF D.L.A.A. COPYRIGHT © 2007, DAVID D. LEASURE ARCHITECTURAL ASSOCIATES INC. ALL RIGHTS RESERVED.



1	REL FOR MINOR SITE PLAN REVIEW - MARCH 14, 2007
2	REVISED FOR MINOR SITE PLAN REVIEW - APRIL 26, 2007
3	40% PROGRESS SET - APRIL 26, 2007



FLOOR PLAN

1/4" = 1'-0"



SCALE

PLAN LEGEND

- EXISTING WALL TO REMAIN
- NEW WOOD STUD WALL
- EXISTING WALL TO BE REMOVED

OCCUPANCY LOAD

DINER CAR	46 PERSONS
MAIN DINING	48 PERSONS
WAITING	9 PERSONS
WAITRESS STAFF	5 PERSONS
KITCHEN STAFF	6 PERSONS
TOTAL OCCUPANCY LOAD	114 PERSONS

BUILDING DATA

MISS PORTLAND DINER CAR	577 G.S.F.
MISS PORTLAND DINER ADDITION	2,379 G.S.F.
TOTAL BUILDING AREA	2,956 G.S.F.

40% PROGRESS SET - APRIL 26, 2007
NOT FOR CONSTRUCTION

MISS PORTLAND DINER PROJECT FOR
TOMAKS, LLC
MARGINAL WAY
PORTLAND, MAINE

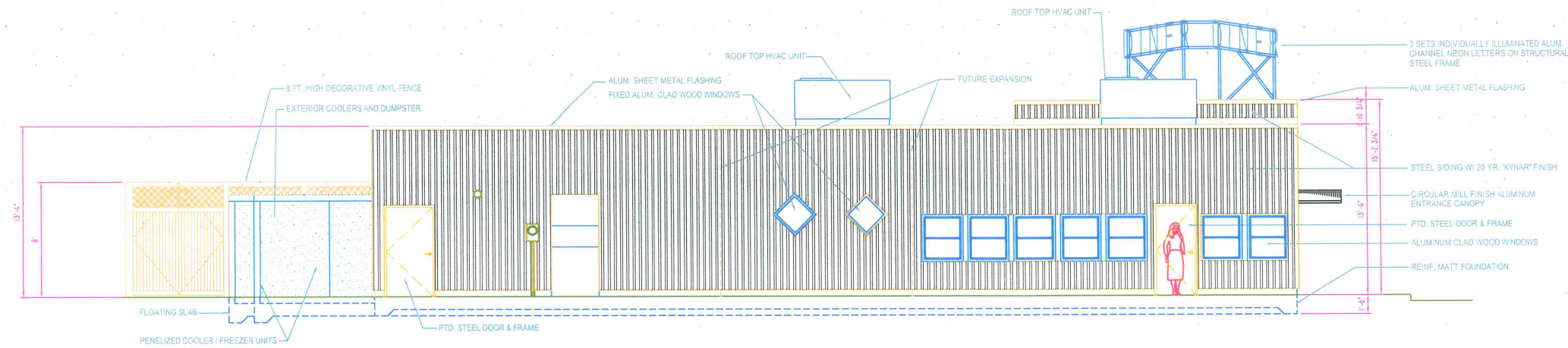
DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 1344 WASHINGTON AVENUE PORTLAND, MAINE
 PH. (207) 797-8661 FAX (207) 797-8533
 PROJECT NO. 040306 PROJECT TITLE: MISS PORTLAND DINER PROJECT
 SCALE: 1/4" = 1'-0" SHEET TITLE: FLOOR PLAN

A-200

THIS DRAWING HAS BEEN DEVELOPED BY DAVID D. LEASURE ARCHITECTURAL ASSOCIATES INC. FOR THE USE OF THE CLIENT ONLY. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN CONSENT OF DAVID D. LEASURE ARCHITECTURAL ASSOCIATES INC. ALL RIGHTS RESERVED.

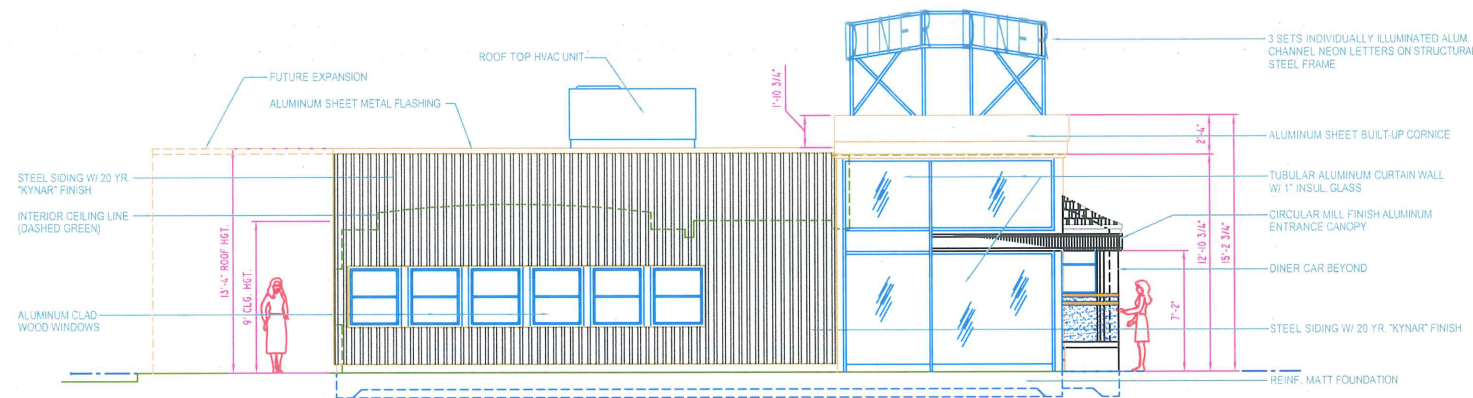


1	REVISION	REVISION
2	REV. FOR MINOR SITE PLAN REVIEW - MARCH 14, 2007	REV. FOR MINOR SITE PLAN REVIEW - APRIL 23, 2007



NORTHWEST (RT. 295) ELEVATION

1/4" = 1'-0"



SOUTHWEST ELEVATION

1/4" = 1'-0"

GENERAL NOTES

THESE DRAWINGS ARE CONCEPTUAL IN NATURE. FURTHER DEVELOPMENT, INFORMATION AND DETAIL IS NECESSARY FOR THESE DRAWINGS TO FULLY DEFINE CONSTRUCTION DIRECTIVES AND COMPLIANCE STRATEGIES TO ALL GOVERNING CODES AND REGULATIONS. THE CLIENT AND OR GENERAL CONTRACTOR ASSUME SOLE RESPONSIBILITY FOR CONFORMANCE TO ALL GOVERNING CODES AND REGULATIONS IF THESE DRAWINGS ARE USED FOR ANY PURPOSE BEYOND WHICH THEY ARE INTENDED AT THIS TIME. THESE DRAWINGS ARE NOT INTENDED FOR USE IN BIDDING, CONSTRUCTION, OR OBTAINING GOVERNING AUTHORITY APPROVALS AND PERMITS.

FOR SIGNATURE AND APPROVAL:

OWNER _____ DATE _____

OWNER _____ DATE _____

COMMENTS:

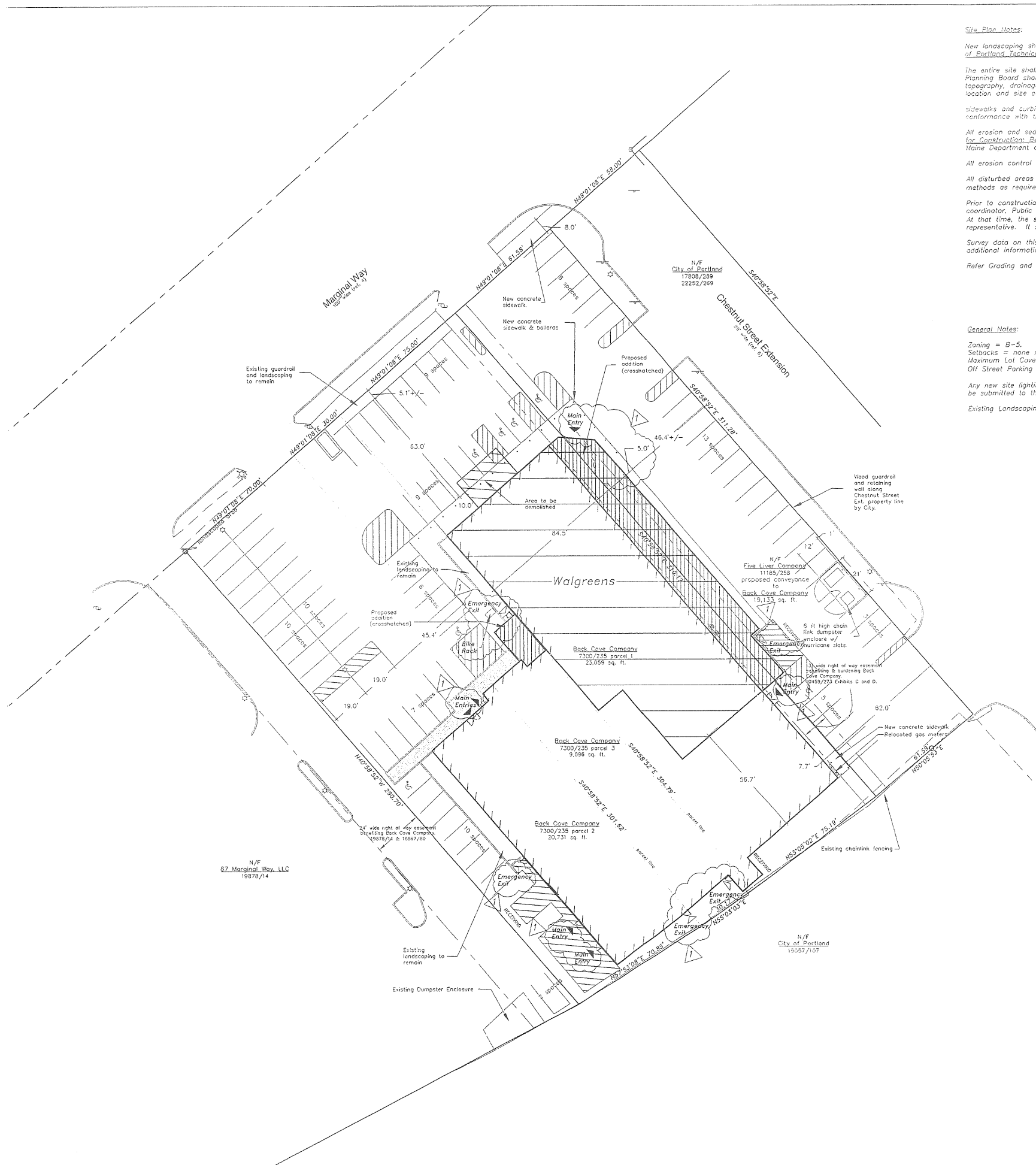
DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533
 PROJECT NO: 040306 PROJECT TITLE: MISS PORTLAND DINER PROJECT
 SCALE: 1/4" = 1'-0" SHEET TITLE: EXTERIOR BUILDING ELEVATIONS

RESUBMITTED FOR MINOR SITE PLAN REVIEW - APRIL 24, 2007
 NOT FOR CONSTRUCTION

MISS PORTLAND DINER PROJECT FOR
 TOMAKS, LLC
 MARGINAL WAY
 PORTLAND, MAINE

A-400 CP27

THIS DRAWING HAS BEEN DEVELOPED BY DAVID D. LEASURE, ARCHITECTURAL ASSOCIATES INC. FOR THE USE OF THE CLIENT. THE CLIENT ASSUMES ALL LIABILITY FOR THE USE OF THIS DRAWING. THE CLIENT AND OR GENERAL CONTRACTOR ASSUME SOLE RESPONSIBILITY FOR CONFORMANCE TO ALL GOVERNING CODES AND REGULATIONS IF THESE DRAWINGS ARE USED FOR ANY PURPOSE BEYOND WHICH THEY ARE INTENDED AT THIS TIME. THESE DRAWINGS ARE NOT INTENDED FOR USE IN BIDDING, CONSTRUCTION, OR OBTAINING GOVERNING AUTHORITY APPROVALS AND PERMITS.



Site Plan Notes:

New landscaping shall meet the "Arboricultural Specifications and Standards of Practice and Landscaping Guidelines" of the City of Portland Technical and Design Standards and Guidelines.

The entire site shall be developed and/or maintained as depicted on the site plan. Approval of the Planning Authority or Planning Board shall be required for any alteration or deviation from the approved site plan, including, without limitation, topography, drainage, landscaping, retention of woods or lawn areas, access, size, location surfacing of paving areas and location and size of buildings.

sidewalks and curbing shall be designed and built with tip down ramps at all street corner, crosswalks and driveways in conformance with the City of Portland Technical and Design Standards and Guidelines.

All erosion and sediment control measures shall be designed in accordance with Maine Erosion and Sediment Control Handbook for Construction Best Management Practices published by the Cumberland County Soil and Water Conservation District and the Maine Department of Environmental Protection, March 1991 or latest edition.

All erosion control measures shall be installed prior to any site excavation or regrading.

All disturbed areas on the site not covered by building or paved area shall be stabilized with loam and seed or other methods as required by Best Management and Practices (see above).

Prior to construction a preconstruction meeting shall be held at the project site with the contractor, development review coordinator, Public Works representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide (3) copies of a detailed construction schedule to the City representative. It shall be the contractor's responsibility to arrange a mutually agreeable time for the preconstruction meeting.

Survey data on this plan taken from Tilcomb Associates survey for Back Cove Company dated July 2008. Refer to survey for additional information.

Refer Grading and Drainage Plans for finish floor elevations and additional information.

General Notes:

Zoning = B-5.
 Setbacks = none required.
 Maximum Lot Coverage = 100%.
 Off Street Parking and Loading = none required (see Parking & Loading Data below).

Any new site lighting fixtures will be a "cut off" type fixture. The exact locations and specifications of any new fixtures will be submitted to the planning staff for their review and approval before any new fixtures are installed.

Existing Landscaping to remain and no new landscaping is planned.

SURVEY NOTES

- (1) Book and Page references are to the Cumberland County Registry of Deeds, unless otherwise specified.
- (2) Bearings are referenced to GRID North Maine West Zone NAD83.
- (3) Project Benchmark: MDOT "PQR-14" Elevation= 9.936' City Datum (mean tide).
- (4) All utility locations shown hereon are approximate, based on location of visible features and information provided by others. Dig Smart of Maine located the underground water, electric, catv, and phone lines. The gas line was marked on the ground by an unknown source. The appropriate utilities should be contacted prior to any construction.
- (5) This parcel is located in Flood zone C (areas of minimal flooding). See plan reference 2.
- (6) Chestnut Street Extension has not yet been formally accepted (per City Engineer).

SURVEY REFERENCES

- (1) "Five Liver Partial Settlement Plan" recorded in Plan Book 205, Page 40.
- (2) Flood Insurance Rate Map Community Panel Number 230051 0013 B City of Portland, Maine. Effective date: July 17, 1986.
- (3) City of Portland, Maine Tax Map 25.
- (4) Layout of Marginal Way on file in the City Street Records in Volume 1, Page 125.

Site Areas:

Back Cove Company before conveyance = 52,886 sf = 1.21 ac
 Five Liver Company before conveyance = 19,133 sf = 0.44 ac
 Back Cove Company after conveyance = 72,019 sf = 1.65 ac

Building Data:

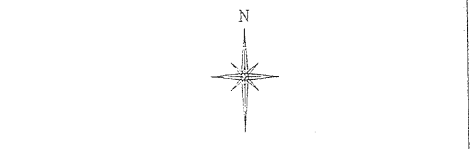
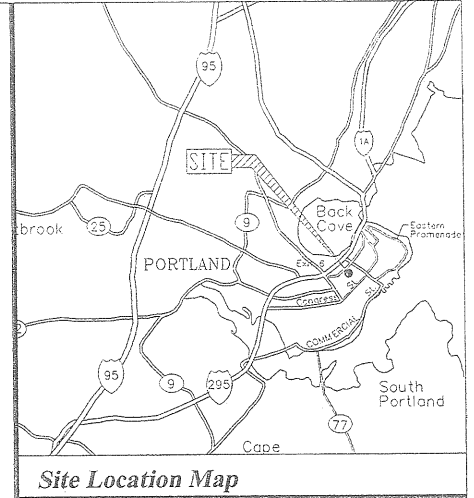
Area	Sq Ft
Existing Building Footprint area	= 25,078
Proposed Building area to be demolished	= <411>
Proposed New Building Addition areas	= 30,529
Net Area of New Building Footprint	= 27,726

Parking & Loading Notes:

Typical Parking Dimensions:
 Stall depth = 19 ft
 Stall width = 9 ft
 Handicap accessible stall width = 8 ft
 Handicap Access Aisle width = 8 ft
 Drive aisle width = 24 ft (min.)

Parking required by zoning code = no requirement
 Parking stalls shown (including HC stalls) = 85

Three receiving areas shown
 Existing curb cuts to remain.

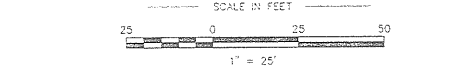


LEGEND

□	Monument - found
○	iron marker - found
○	iron marker - set (#5 rebar)
---	Property line (locus)
---	Property line (couter)
---	Right of way line
---	Easement line
---	Chain link fence
---	Stone sign base
---	Guard rail
---	Edge of pavement
---	Edge of gravel
---	Curb
---	Sign
---	Lamp or light pole
---	Utility pole
---	Ruy wire
---	Gas valve
---	Water valve
---	Fire hydrant
---	Sewer manhole
---	Curb inlet
---	Catch basin (round)
---	Catch basin (square)
---	Drain manhole
---	Basilar
---	Overhead utility line
---	Sewer line
---	Storm drain
---	Underground water line
---	Underground gas line
---	Underground electric line
---	Underground telephone line

Owners of Record:

Back Cove Company; Bk 7300 Pg 235
 Five Liver Company; Bk 11185 Pg 258

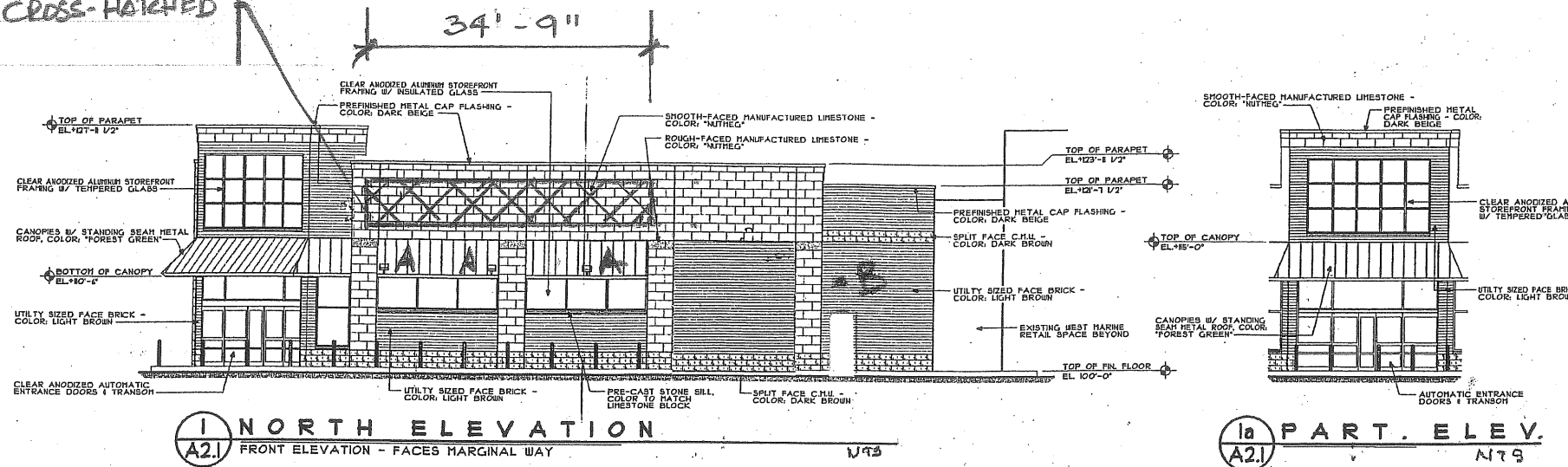


►	Bike Rack and Entry locations	9/18/08
	REVISIONS	DATE
SITE & LANDSCAPING PLAN 127 MARGINAL WAY Back Cove Company		A-0 9/18/08

Walgreens Exterior Light Fixture Schedule

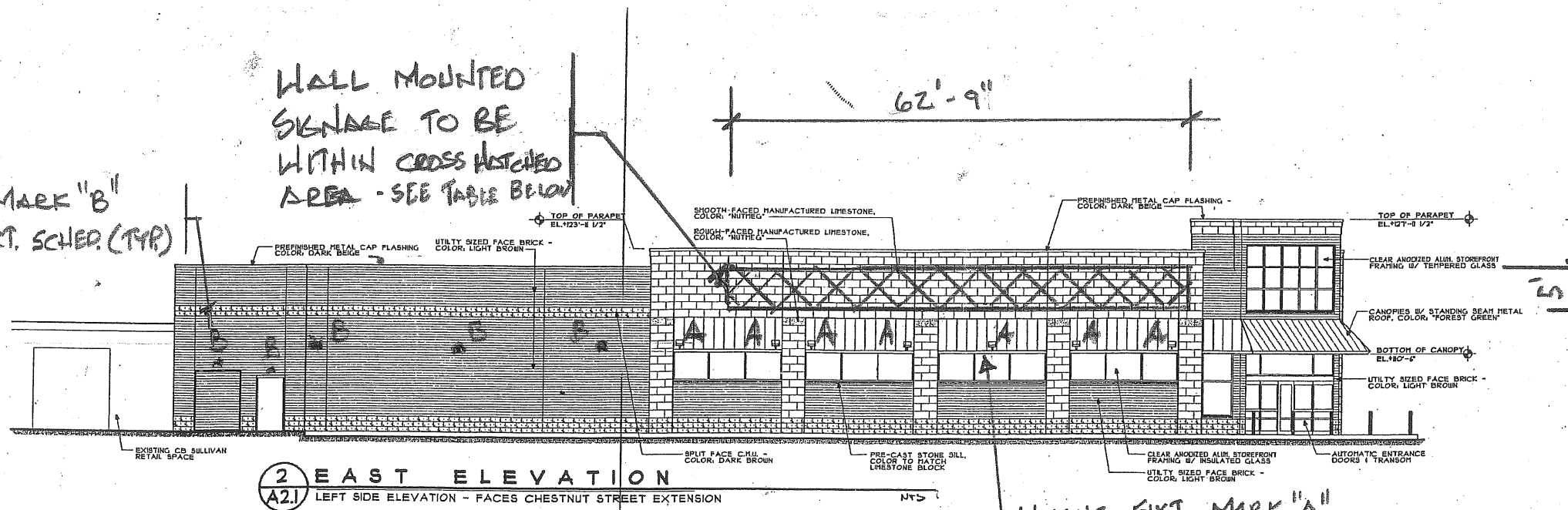
Mark	Manufacture	Fixture Name	Description	Quantity	Mounting	Notes
A	Cooper Lighting	SF Falcon	100 W - MH Floodlight	10	on canopy	light to be directed back towards bldg to illuminate façade above awning
B	Lumark	IP Impact Wedge	150W MH downlight	6	wall	Full cut off fixture

WALL MOUNTED SIGNAGE TO BE WITHIN CROSS-HATCHED AREA



WALL MOUNTED SIGNAGE TO BE WITHIN CROSS HATCHED AREA - SEE TABLE BELOW

LIGHT FIXT. MARK "B" REF. LT FIXT. SCHED. (TYP)



Walgreens Signage Areas Table

Façade	Linear ft of tenant's frontage	Allowable wall mounted sign area ratio	allowable signage area (sf)	Area of signage area shown (sf)
Marginal Way	84.5	2 sq ft of sign per lin ft of frontage	169	168.75
Chestnut St. Extension	157	2 sq ft of sign per lin ft of frontage	314	313.75

NOTE: TENANT TO INSTALL NEW PANELS IN EXIST. CABINETS ON SIGN Pylon.

LIGHT FIXT. MARK "A" REF. LT FIXT. SCHED. (TYP.)

WALGREENS
EXTERIOR LIGHTING & SIGNAGE
BACK COVE COMPANY
127 MARGINAL WAY - 9/18/08

Walgreens
FACILITIES PLANNING, DESIGN, & ENGINEERING
108 WILMOT ROAD
DEERFIELD, IL 60015-5105
PROJECT ARCHITECT

Landry
ARCHITECTS
PROJECT ENGINEER

CONSULTANT PROJECT NO. 0737

PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:
 WALGREENS
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREENS CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW <input checked="" type="checkbox"/>	NEW <input type="checkbox"/>
REMODELING <input type="checkbox"/>	EXISTING <input checked="" type="checkbox"/>
RELOCATION <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS <input type="checkbox"/>	

NO.	DATE	BY	DESCRIPTION	CONST

REVISIONS

CERTIFICATION AND SEAL

ARCHITECT: _____ ENGINEER: _____

STORE NUMBER 11888
PROJECT NAME
Walgreens Store (SWC) Marginal & Chestnut Portland, ME

DRAWING TITLE
PRELIMINARY EXTERIOR ELEVATIONS

CADD PLOT: _____ SCALE: AS NOTED DRAWING NO. _____
 VOID PLOT: _____ DRAWN BY: B.S.H.
 SUPERSEDES PLAN DATED: _____ DATE ISSUED: 4/11/08 P2.1
 REVIEWED BY: _____ OF DWGS.

Site Plan Notes:

New landscaping shall meet the "Arboricultural Specifications and Standards of Practice and Landscaping Guidelines" of the City of Portland Technical and Design Standards and Guidelines.

The entire site shall be developed and/or maintained as depicted on the site plan. Approval of the Planning Authority or Planning Board shall be required for any alteration or deviation from the approved site plan, including, without limitation, topography, drainage, landscaping, retention of woods or lawn areas, access, size, location surfacing of paving areas and location and size of buildings.

sidewalks and curbing shall be designed and built with tip down ramps at all street corner, crosswalks and driveways in conformance with the City of Portland Technical and Design Standards and Guidelines.

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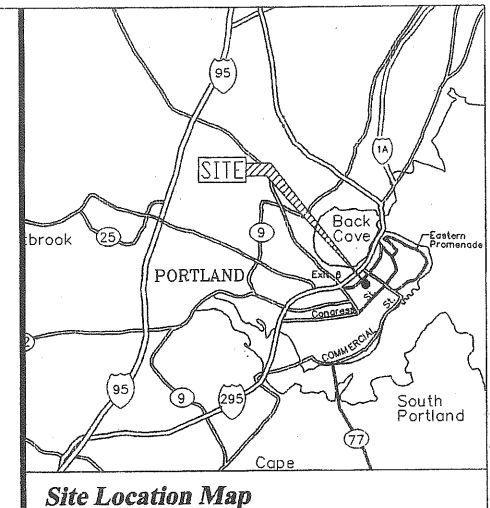
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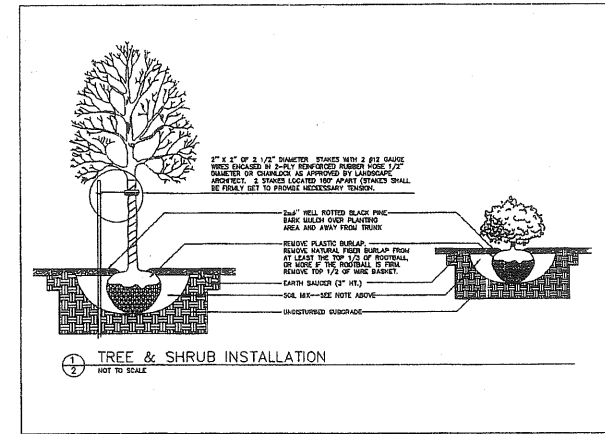
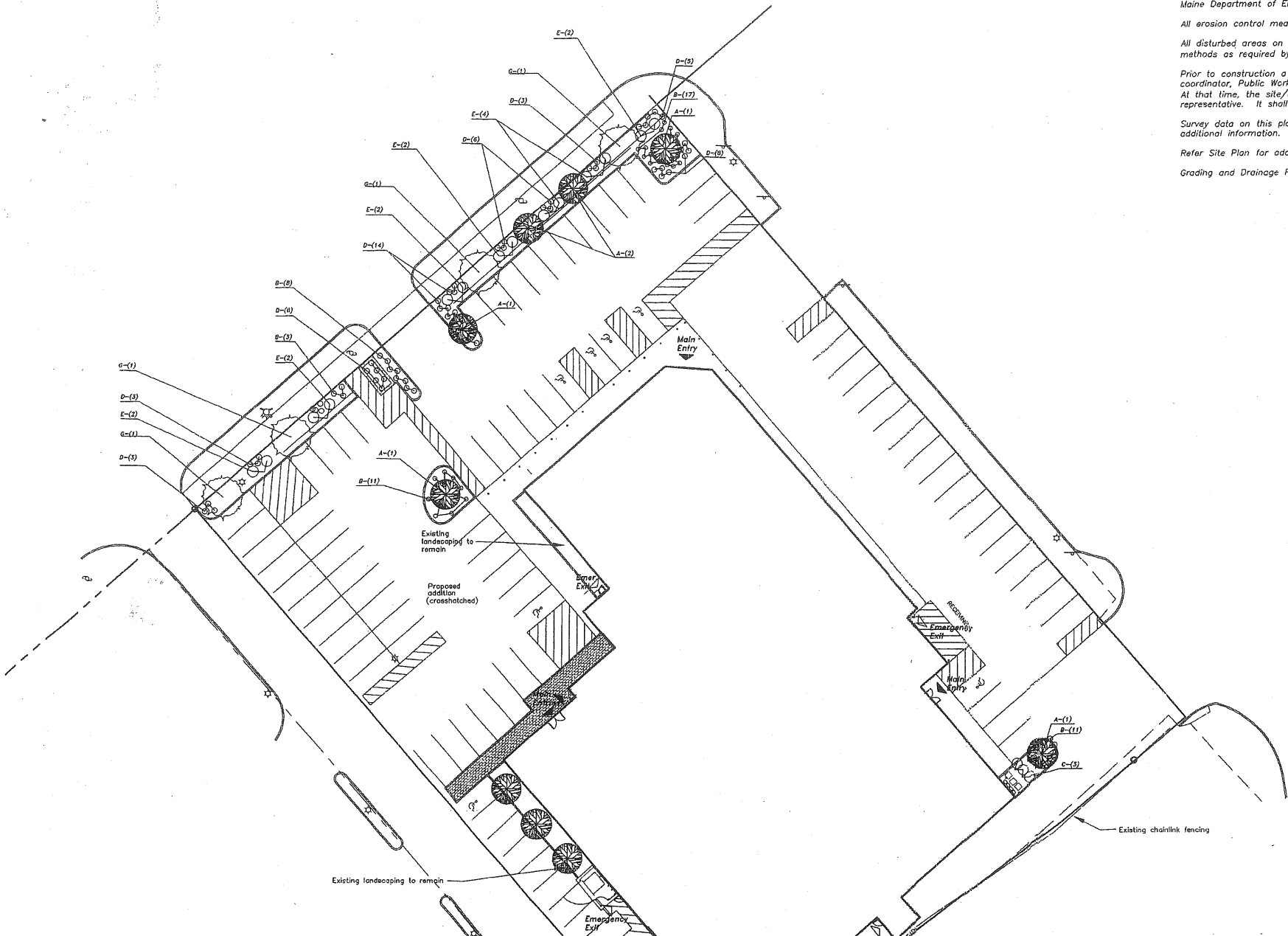
Survey data on this plan taken from Titcomb Associates survey for Back Cove Company dated July 2008. Refer to survey for additional information.

Refer Site Plan for additional notes and data.

Grading and Drainage Plans for finish floor elevations and additional information.

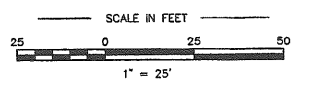


Site Location Map



- LEGEND**
- Monument - found
 - Iron marker - found
 - Iron marker - set (#5 rebar)
 - Property line (locus)
 - - - Property line (abutter)
 - - - Right of way line
 - - - Easement line
 - - - Chain link fence
 - Stone sign base
 - - - Guard rail
 - - - Edge of pavement
 - - - Edge of gravel
 - - - Curb
 - Sign
 - ★ Lamp or light pole
 - Utility pole
 - Guy wire
 - Gas valve
 - Water valve
 - Fire hydrant
 - Sewer manhole
 - Curb inlet
 - Catch basin (round)
 - Catch basin (square)
 - Drain manhole
 - Bollard
 - Overhead utility line
 - Sewer line
 - Storm drain
 - Underground water line
 - Underground gas line
 - Underground electric line
 - Underground telephone line
- N/F Now of Formerly
7300/235 Deed reference (Book/Page)
Shrubby Shrubby
AGE Existing building
AGE Adjacent Ground Elevation
FFE Finish Floor Elevation

Owners of Record:
Back Cove Company: Bk 7300 Pg 235
Five Liver Company: Bk 11185 Pg 258



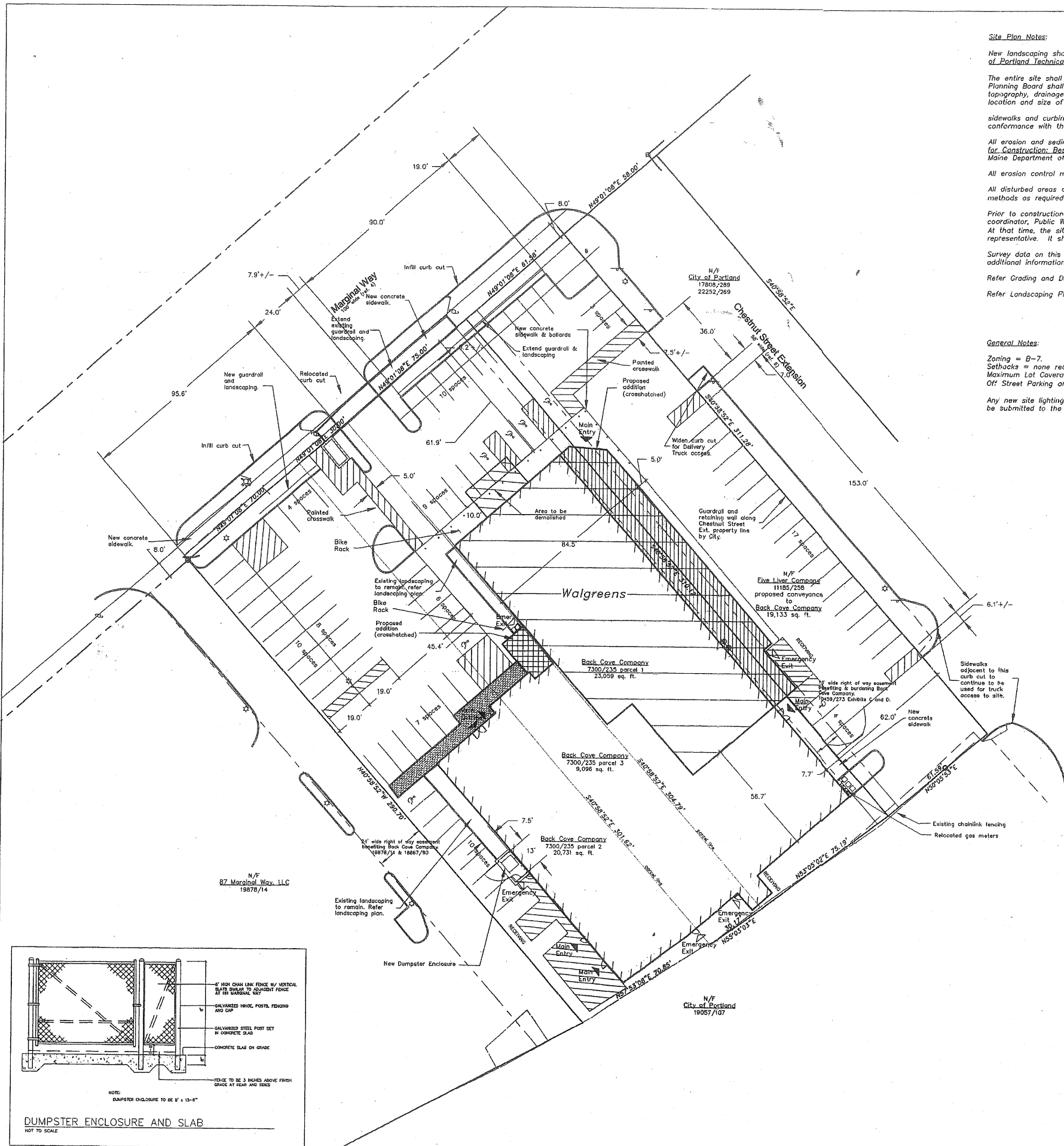
Plant List:

Key	Qty	Name	Size
A	6	Pinkspire Crab	1.5" - 2" cal.
B	50	Blue Rug Juniper	1 Qt.
C	3	Japanese Yew (transplant)	Existing on MW
D	48	Stella de Oro Daylily	15"-18" Spd
E	14	Japanese Yew	2.5'-3'
G	4	Ginkgo Tree	2.5" - 3"

REVISIONS	DATE

LANDSCAPING PLAN
127 MARGINAL WAY
Back Cove Company

A-1
12/5/08



Site Plan Notes:

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Survey data on this plan taken from Titcomb Associates survey for Back Cove Company dated July 2008. Refer to survey for additional information.

Refer Grading and Drainage Plans for finish floor elevations and additional information.

Refer Landscaping Plan for additional information.

General Notes:

Zoning = B-7.

Setbacks = none required.

Maximum Lot Coverage = 100%.

Off Street Parking and Loading = none required (see Parking & Loading Data below).

Any new site lighting fixtures will be a "cut off" type fixture. The exact locations and specifications of any new fixtures will be submitted to the planning staff for their review and approval before any new fixtures are installed.

- SURVEY NOTES**
- Book and Page references are to the Cumberland County Registry of Deeds, unless otherwise specified.
 - Bearings are referenced to GRID North Maine West Zone NAD83.
 - Project Benchmark: MDOT "POR-14" Elevation= 9.936' City Datum (mean tide).
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 - This parcel is located in flood zone C (areas of minimal flooding). See plan reference 2.
 - Chestnut Street Extension has not yet been formally accepted (per City Engineer).
- SURVEY REFERENCES**
- "Five Liver Partial Settlement Plan" recorded in Plan Book 205, Page 40.
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Site Areas:

Back Cove Company before conveyance = 52,886 sf = 1.21 ac
 Five Liver Company before conveyance = 19,133 sf = 0.44 ac
 Back Cove Company after conveyance = 72,019 sf = 1.65 ac

Building Data:

Area	Sq Ft
Existing Building Footprint area	= 25,078
Proposed Building area to be demolished	= <411>
Proposed New Building Addition	= 3059
Net Area of New Building Footprint	= 27,726

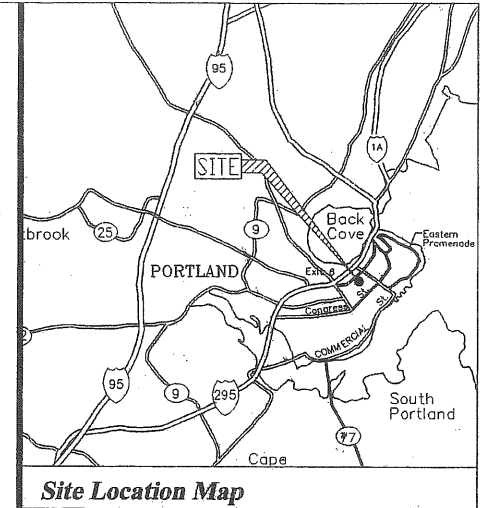
Parking & Loading Notes:

Typical Parking Dimensions:
 Stall depth = 19 ft
 Stall width = 9 ft
 Handicap accessible stall width = 8 ft
 Handicap Access Aisle width = 8 ft
 Drive aisle width = 24 ft (min.)

Parking required by zoning code = no requirement
 Parking stalls shown (including HC stalls) = 88

Three receiving areas shown

Bicycle parking required by code = 2.
 Bicycle parking shown = 4

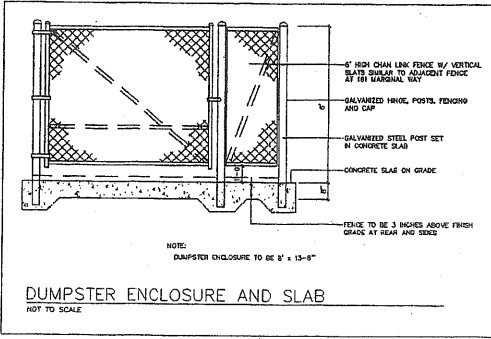
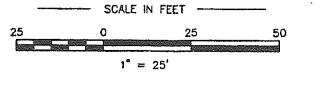


LEGEND

○	Monument - Young
●	Iron marker - Young
○	Iron marker - 3/4" (3/8" rebar)
—	Property line (buffer)
—	Property line (subter)
—	Right of way line
—	Easement line
—	Chain link fence
—	Stone sign base
—	Guard roll
—	Edge of pavement
—	Edge of gravel
—	Curb
—	Sign
—	Lamp of light pole
—	Utility pole
—	Gas valve
—	Water valve
—	Fire hydrant
—	Sewer manhole
—	Curb inlet
—	Detch basin (round)
—	Catch basin (square)
—	Drain manhole
—	Ballard
—	Overhead utility line
—	Sewer line
—	Storm drain
—	Underground water line
—	Underground gas line
—	Underground electric line
—	Underground telephone line

N/F
 7300/235
 Shrubbery
 Existing building
 AGE
 FFE

N of Formerly
 Deed reference (Book/Page)
 Shrubbery
 Existing building
 Adjacent Ground Elevation
 Finish Floor Elevation



REVISIONS	DATE
Ⓛ Marginal Way curb cut relocated, Chestnut St curb cut widened, Landscaping plan moved to new sheet.	12/5/08
Ⓛ Landscaping & plant list, dumpsters removed, curb cut infills, new sidewalks, bike racks and data table	10/6/08
Ⓛ Bike Rack and Entry locations	9/18/08

SITE PLAN
 127 MARGINAL WAY
 Back Cove Company

A-0
 8/18/08