

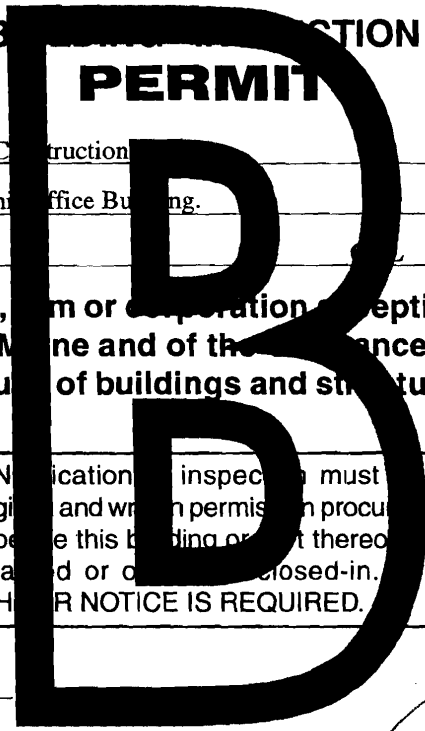
# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT

## PERMIT

Permit Number: 020140



This is to certify that Atlantic Aaa Llc /Opechee Construction

has permission to Build New 5 Story Multi Unit Office Building.

AT 52 Marginal Way Portland, Oregon 97204 034A A004001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file with this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or enclosed-in. **HEAVY NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. *[Signature]*

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_  
Department Name

*[Signature]* 4/9/02  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 01-1313	Issue Date:	CBL: 2002 034A A004001
-----------------------	-------------	---------------------------

Location of Construction: 52 Marginal Way	Owner Name: Atlantic Aaa Llc	Owner Address: 50 Portland Pier	Phone: 207-828-1080
Business Name:	Contractor Name: Opechee Construction Corp	Contractor Address: 11 Corporate Drive Belmont	Phone: 6035279090
Lessee/Buyer's Name	Phone:	Permit Type: Commercial	Zone: B-5

Past Use: parcel 1 vacant land, parcel 2 sand/salt shed  electronic drawings given	Proposed Use: multi tenant office building  call Tom @603-527-9090 when ready	Permit Fee: \$20,314.00	Cost of Work: \$3,338,177.00	CEO District: 2
---	--	----------------------------	---------------------------------	--------------------

Proposed Project Description: erect a 10,785 s.f. Office building	FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: B Type: 2B 2/16/01
	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>

Permit Taken By: jodinea	Date Applied For: 10/25/2001	<b>Zoning Approval</b>
-----------------------------	---------------------------------	------------------------

<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 13 Zone C</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i># 2001-0011</i> Maj <input checked="" type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK with conditions</i> Date: <i>10/25/01</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
---	---	---	---

## CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

DATE

PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

DATE

PHONE

1/8/01 Pre Con On Site w/ Ernie gave copy of Statement of  
Special Inspector as confirmed Job Details Plans DC

vi section 1 fee to be determined per mn.

02 0140

Amendment: 01-1313

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: Marginal Way @ Peble Street Extension		
Total Square Footage of Proposed Structure Footprint - 10,785 SF. Total Gross 52,260 SF		Square Footage of Lot 86,500 SF.
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 34A-A-4	Owner: Ted West Atlantic National Trust, LLC	Telephone:
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: Atlantic National Trust 50 Portland Place Suite 400 Portland, Maine	Cost Of Work: \$ Fee: \$
Current use: Panel 1 under construction <span style="float: right;">Amendment to permit 01-1313</span>		
If the location is currently vacant, what was prior use: Paper Warehouse / Sand Salt Shed		
Approximately how long has it been vacant: N/A		
Proposed use: Mult. Tenant office Building <span style="float: right;">alteration &amp; Commercial</span>		
Project description: New construction 5-story office Building - Structural Steel w/ Masonry Veneer		
Contractor's name, address & telephone: Capelee Construction Corporation 11 Corporate Drive Burlington, N.H. 03220 (603)527-9090		
Who should we contact when the permit is ready: Tom Daignault		
Mailing address: Same <span style="float: right;">CAD drawings given on disc</span>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. <b>PHONE:</b>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 13 Feb 02 <span style="float: right;">FEB 13</span>
---	---

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

2001-0011

01-1313

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: Marginal Way @ Preble Street Extension

Total Square Footage of Proposed Structure Footprint - 10,785 S.F. Total Gross - 52,260 S.F.	Square Footage of Lot 86,500 S.F.
---	--------------------------------------

Tax Assessor's Chart, Block & Lot Chart# 34A-A-4 Block# and <del>24A-A-2</del> Lot#	Owner: Ted West Atlantic National Trust, L.L.C.	Telephone: 207-828-1090
--	--	----------------------------

Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: Atlantic National Trust 50 Portland Pier, Suite 400 Portland, Maine	Cost Of Work: \$ 3,381,771 - Fee: \$ 20,314 -
-------------------------------------	---	--

Current use: Parcel 1 Vacant, Parcel 2 Sand/Salt shed

If the location is currently vacant, what was prior use: Paper Warehouse

Approximately how long has it been vacant: N/A

Proposed use: Multi Tenant office Building

Project description: New construction 5 story office building.  
Structural steel Framing w/ Masonry Veneer

Contractor's name, address & telephone: Opechee Construction Corporation  
11 Corporate Drive  
Belmont, New Hampshire 03220 (603)527-9090

Who should we contact when the permit is ready: Tom Daignault

Mailing address: Same as Contractor

Phone:

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>11 Oct 01</u>
--	------------------------

This is not a permit, you may not commence ANY work until the permit is issued

OCT 21 2001

10/21/01  
Ganf

Applicant: ~~TeD West~~ - Atlantic National Trust Date: 3/22/01

Address: 76-76 Marginal Way C-B-L: 34A-A-002-4

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - B-5

Interior or corner lot -

Proposed Use/Work - New office Bldg -

Sewage Disposal - City

Lot Street Frontage - None req

Front Yard - None req

Rear Yard - None req

Side Yard - None req

Projections -

Width of Lot -

Height - 65' max - 64' shown in 5 stories shown

3/22/01 requested Bill Nemmers give me the scale or height of the proposed Bldg.

Lot Area - No min req -

Lot Coverage Impervious Surface - 100% Allowed

Area per Family - N/A

Off-street Parking - No off street parking req.

Loading Bays -

Site Plan - map # 2001-0011

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - panel B - zone C

3/26/01 Bill

Nemmers stated that his measurement was 64' from the grade to the top of the parapet -

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM**

20010011

I. D. Number

Fire Department Copy

**Ted West, Atlantic National Tr**

1/26/01

Applicant

Application Date

**50 Portland Pier, Portland, ME 04101**

**Bayside Office Building**

Applicant's Mailing Address

Project Name/Description

**William Nemmers**

**76 - 76 Marginal Way, Preble Street**

Consultant/Agent

Address of Proposed Site

**774-3683**

**034- AA-002-004**

Applicant or Agent Daytime Telephone, Fax

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  
 Office  Retail  Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) **New office building**

**50,000 sf**

**85,000 sf**

**B-1**

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

**Check Review Required:**

- Site Plan (major/minor)
- Subdivision # of lots \_\_\_\_\_
- PAD Review
- 14-403 Streets Review
- Flood Hazard
- Shoreland
- Historic Preservation
- DEP Local Certification
- Zoning Conditional Use (ZBA/PB)
- Zoning Variance
- Other \_\_\_\_\_

Fees Paid: Site Plan **\$500.00** Subdivision \_\_\_\_\_ Engineer Review \_\_\_\_\_ Date: **1/26/01**

**Fire Approval Status:**

Reviewer \_\_\_\_\_

- Approved** *HW*
- Approved w/Conditions see attache
- Denied

Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached

Condition Compliance \_\_\_\_\_ signature \_\_\_\_\_ date \_\_\_\_\_

**Performance Guarantee**  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

File - Mr. Deane



*State of Maine*  
*Department of Public Safety*  
**Construction Permit**



Reviewed  
 for Barrier  
 Free

# 11929

**Sprinkled**  
**Sprinkler Supervised**

**BAYSIDE SQUARE**

Located at: MARGINAL WAY  
**PORTLAND**  
 Occupancy/Use: BUSINESS

**Permission is hereby given to:**

ATLANTIC BAYSIDE SQUARE L.L.C.

50 PORTLAND PIER 4TH FLOOR  
 PORTLAND, ME 04102

to construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner and now approved. no departure from application form/plans shall be madewithout prior approval in writing. This permit is issued under the provision of Title 25, Chapter 317, Section 2448 and the provisions of Title 5, Section 4594 - F.

Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

*This permit will expire at midnight on the 20th of March 2002*

Dated the 21 st day of September A.D. 2001

Commissioner

Fee: \$250.00  
 \$250.00

**Copy-3 Code Enforcement Officer**

Comments:

Code Enforcement Officer  
 PORTLAND, ME



**JSN**  
Associates, Inc.  
One Autumn Street  
Portsmouth, NH 03801  
(603)433-8639  
Fax (603)431-2811  
Web Site: JSNENG.COM

July 30, 2002

Mike Nugent  
Building Inspector  
City of Portland  
389 Congress Street  
Portland, ME 04101

**Re: *Atlantic Bayside Square Final Affidavit  
68 Marginal Way***

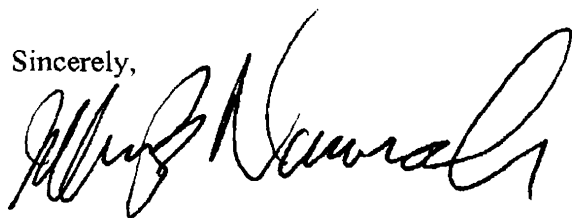
Dear Mr. Nugent,

This letter is to serve as a final affidavit for the structural work performed on the Bayside project. I have made periodic site visits to observe the construction, and have reviewed all other inspection and testing reports generated by S.W. Cole Engineering, Inc. and Price Engineers. Any deficiencies that were reported during construction have been satisfactorily addressed.

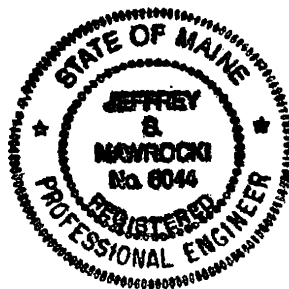
To the best of my knowledge and belief, the Structural work has been completed in accordance with the plans provided by our office, all provisions of the code have been complied with and the work meets all necessary requirements for the proposed use and occupancy.

Please let me know if you have any questions.

Sincerely,



Jeffrey S. Nawrocki, P.E.  
President *JSN Associates, Inc.*



Copy: Tom Daigneault/Opechec

Application ID Number: 1-1313

Department: Zoning

Status: Approved with Conditions

Reviewer: Marge Schmuckal

Comments: 52-76 Marginal Way  
10/25/01 - Passed permit on to Lt. Mac for approvals

Approval Date: 10/25/2001

Given On Date: 10/25/2001

OK to Issue Permit Name: Marge Schmuckal Date: 10/25/2001 Date 2:

Conditions Section:

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Separate permits shall be required for any new signage.

Create Date: 10/25/2001 By: jodinea Update Date: 10/25/2001 By: mes

Application ID Number: 2-0140

Department: Zoning Status: Approved with Conditions Reviewer: Marge Schmuckal

Comments: originally approved under #01-1313 on 10/25/01 Approval Date: 02/19/2002

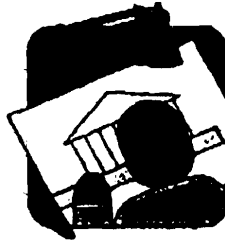
Given On Date: 02/15/2002

OK to Issue Permit Name: Marge Schmuckal Date: 02/19/2002 Date 2:

Conditions Section:

All original conditions and requirements are still in force.

Create Date: 02/15/2002 By: gg Update Date: 02/19/2002 By: mes



### CITY OF PORTLAND MAINE

389 Congress St., Rm 315

Portland, ME 04101

Tel. - 207-874-8704

Fax - 207-874-8716

**TO:** Inspector of Buildings City of Portland, Maine  
Planning & Urban Development  
Division of Housing & Community Services

**FROM DESIGNER:** Keith P Hemingway  
Plymouth N.H.

**DATE:** 4/3/02

**Job Name:** Atlantic Bayside Spare

**Address of Construction:** 52 Marginal Way

#### THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION

Construction project was designed according to the building code criteria listed below:

**Building Code and Year** BOCA 1999 **Use Group Classification(s)** 2 B

**Type of Construction** Steel /Masonry Bldg. Height 62'± **Bldg. Sq. Footage** 52,262

**Seismic Zone** 1 **Group Class** 1

**Roof Snow Load Per Sq. Ft.** 42 PSF **Dead Load Per Sq. Ft.** 23 PSF

**Basic Wind Speed (mph)** 85 **Effective Velocity Pressure Per Sq. Ft.** 18.5

**Floor Live Load Per Sq. Ft.** 80

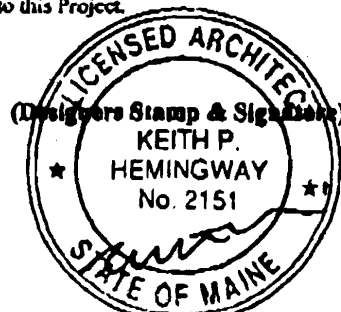
Structure has full sprinkler system? Yes  No  Alarm System? Yes  No   
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building: Yes  No

If mixed use, what subsection of 313 is being considered \_\_\_\_\_

List Occupant loading for each room or space, designed into this Project.

PSH 6/07/2K



*[Handwritten signature]*



**FAX COVER SHEET**

**DATE:** 4 April 2002

**TO:** Mike Nugent

**FAX#:** (207) 874-8716

**FROM:** Doug Bartlett

**RE:** Atlantic Bayside Square

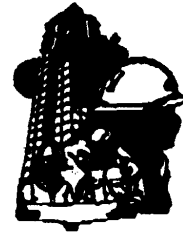
**Number of pages including cover sheet:** 4

Mike,

Copies of certificates for Building Permit as discussed. Originals will be mailed.

Thanks,

11 CORPORATE DRIVE, BELMONT, NH 03220  
PHONE (603) 527-9090 FAX (603) 527-9191



CITY OF PORTLAND  
BUILDING CODE CERTIFICATE  
389 Congress St., Rm 315  
Portland, ME 04101

TO: Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Service

FROM: Keith P Hemingway

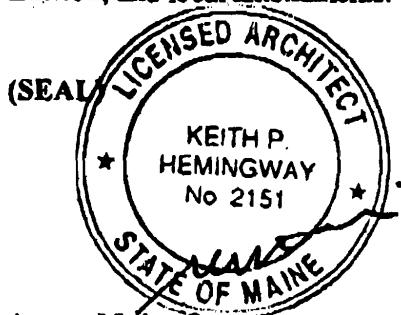
RE: Certificate of Design

DATE: 4/3/02

These plans and/or specifications covering construction work on:

Atlantic Bayside Square, Marginal Way

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and local amendments.



Signature [Handwritten Signature]

Title PRINCIPAL

Firm KEITH P. HEMINGWAY

Address P.O. BOX 359  
PLYMOUTH, NH 03264

As per Maine State Law:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

PSH 6/20/2k



### City of Portland, Maine

389 Congress St., Rm 315  
Portland, ME 04101

## ACCESSIBILITY CERTIFICATE

**TO:** Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Services

**FROM:** Keith P Hemingway

**RE:** Certificate of Design, HANDICAP ACCESSIBILITY

**DATE:** 4/3/02

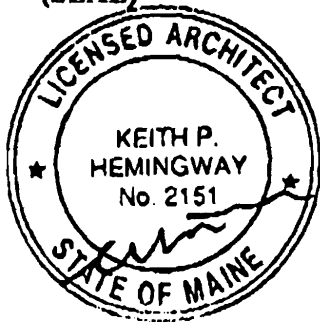
These plans and/or specifications covering construction work on:

Atlantic Bayside Square

Marginal Way

Have been designed and drawn up by the undersigned, a Maine registered engineer/architect according to State Regulations as adopted by the State of Maine on Handicapped Accessibility.

(SEAL)



Signature [Handwritten Signature]

Title PRINCIPAL

Firm KEITH P. HEMINGWAY, ARCH.

Address P.O. Box 399  
Plymouth, ME 03264



April 03, 2002

VIA: USPS and Facsimile

Mike Nugent, Building Inspector  
City of Portland, Maine  
389 Congress Street  
Portland, ME 04101

RE: Atlantic Bayside Square, LLC; Portland, Maine

Dear Mr. Nugent,

In response to your faxed request for additional information required for the building permit for the above referenced building, please review the following:

1. Copies of the (3) required certification forms. The originals will be sent via USPS.
2. As per your follow-up phone call, the faxed cover sheet incorrectly states that the plans previously provided were not stamped. The submitted plans are acceptable.
3. PDF files of the submitted plans were provided on a CD-Rom at the time of submission.
4. Although multiple tenants will occupy the building the Use Group B remains consistent. The 3<sup>rd</sup> floor tenant will be utilizing their space as an administrative field office. There are no provisions for extended suspect detention. The 4<sup>th</sup> floor tenant business occupancy (Clinic, outpatient and or Physician) is listed under table 304.2 of BOCA 1999.

Please feel free to contact me if I may be of further assistance.

Sincerely,

A handwritten signature in black ink, appearing to read "Douglas R. Bartlett", is written over a faint, circular stamp or watermark.

Douglas R. Bartlett  
Project Manager

Enclosure  
DRB

---

11 CORPORATE DRIVE, BELMONT, NH 03220  
PHONE (603) 527-9090 FAX (603) 527-9191

---





### City of Portland, Maine

389 Congress St, Rm 315  
Portland, ME 04101

### ACCESSIBILITY CERTIFICATE

TO: Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Services

FROM: OPECHEE CONSTRUCTION CORP.

RE: Certificate of Design, HANDICAP ACCESSIBILITY

DATE: 10/17/01

These plans and/or specifications covering construction work on:

Bayside Office Building

Marginal Way e. Preble St. Extension

Have been designed and drawn up by the undersigned, a Maine registered engineer/architect according to State Regulations as adopted by the State of Maine on Handicapped Accessibility.

(SEAL)

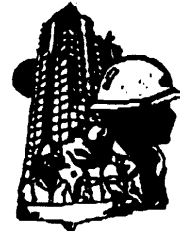


Signature [Handwritten Signature]

Title Project Architect

Firm OPECHEE CONST. CORP.

Address 11 CORPORATE DR., BELMONT, NH



**CITY OF PORTLAND  
BUILDING CODE CERTIFICATE**  
389 Congress St., Rm 315  
Portland, ME 04101

**TO:** Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Service

**FROM:** OPECHEE CONSTRUCTION CORP.

**RE:** Certificate of Design

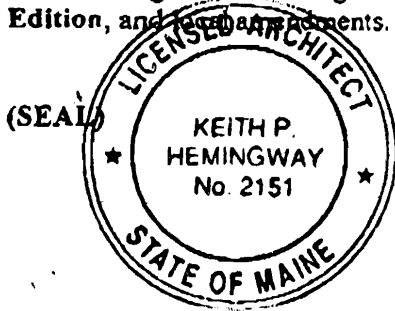
**DATE:** 10/17/01

These plans and/or specifications covering construction work on:

Bayside Office Building

Marginal Way @ Preble St. Extension

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and related amendments.



Signature [Handwritten Signature]

Title Project Architect

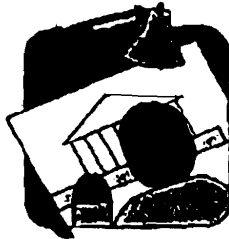
Firm OPECHEE CONST. CORP.

Address 11 CORPORATE DR., BELMONT, NH

**As per Maine State Law:**

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

PSH 6/20/01



### CITY OF PORTLAND MAINE

389 Congress St., Rm 315  
Portland, ME 04101  
Tel. - 207-874-8704  
Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine  
Planning & Urban Development  
Division of Housing & Community Services

FROM DESIGNER: KEITH P. HEMINGWAY, ARCHITECT  
OPELHEE CONST. CORP., 11 CORPORATE DR., BEAUMONT, NH

DATE: 10/17/01

Job Name: Bayside Office Building

Address of Construction: Marginal Way e Peble St. Extension

#### THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION

Construction project was designed according to the building code criteria listed below:

Building Code and Year 1999 Use Group Classification(s) Business

Type of Construction 2B Bldg. Height 62' av Bldg. Sq. Footage 52,262

Seismic Zone 1 Group Class 1

Roof Snow Load Per Sq. Ft. 42 PSF Dead Load Per Sq. Ft. 25 PSF

Basic Wind Speed (mph) 85 Effective Velocity Pressure Per Sq. Ft. 18.5

Floor Live Load Per Sq. Ft. 80 PSF

Structure has full sprinkler system? Yes  No  Alarm System? Yes  No   
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

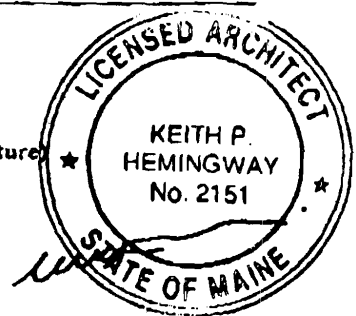
Is structure being considered unlimited area building: Yes  No

If mixed use, what subsection of 313 is being considered \_\_\_\_\_

List Occupant loading for each room or space, designed into this Project.

PSH 6/07/2K

(Designers Stamp & Signature)



Planning & Urban Development  
April 2, 2002

Alexander Jaegerman  
Planning Director



## CITY OF PORTLAND

Mr. Steven Shaw  
Atlantic Bayside Square, LLC  
50 Portland Pier  
Suite 400  
Portland, ME 04101

RE: Bayside Office Building, 76 Marginal Way

Dear Mr. Shaw:

This letter is intended to give you an update on staff comments regarding proposed revisions to the Bayside Office Building site plan. Most of the site changes were highlighted in a letter from you dated 3-12-02.

- Parking lot lighting plan . . . The light fixtures should not exceed 250 watts. There are a number of hotspots in the vicinity of the light poles. These are significantly higher than the original plan. This needs to be addressed.
- Signs . . . The proposed building and freestanding signs are in the process of being reviewed. Neokraft formally applied for the sign permits on Monday.
- Generator . . . I am assuming that the generator will be shifted to the far corner of the parking lot on a subsequent site plan. The landscaping/screening plan will need to be revised accordingly. Has there been any discussion of painting the bright orange generator casing with a more subdued color such as green? Given its appearance, this should be seriously considered.
- Preble Street Light Poles . . . As requested, three street light poles in front of the building along Preble Street may be deleted. In lieu of this change, the site plan should be revised reflecting additional wall mounted light fixtures along the Preble Street façade. The type and spacing of the light fixtures should mirror the light fixtures found on the Marginal Way façade.

Should you have any questions concerning this letter, please call me.

Sincerely,

Richard Knowland  
Senior Planner

389 Congress St.Rm 315  
Portland, ME 04101  
Phone: (207)874-8700  
Fax: (207)874-8716

facsimile transmittal

To: Doug Bartlett From: Mike Nugent  
Fax: 603-527-9191 Date: April 8, 2002  
Phone: 527-9090 Pages:  
Re: Bayside Office CC:

- Urgent  For Review  Please Comment  Please Reply  Please Recycle

Notes: I've almost completed the review of the tenant fit up portion of the project. I have two concern areas. The holding area for the law enforcement agency, emergency hardware etc. ( what happens if someone is incarcerated and a disaster happens)

The fourth floor, what is it? The use group faxed over shows 2B, which is a type of construction not a use group classification, I need to know if this use fits the "I" use groups which have separate review criteria.



## FAX MEMO

**Date:** 3-29-02

**To:** City of Portland, ME - Building Dept  
Mike Nugent  
Phone: 207-874-8700  
Fax: 207-874-8716

**CC:** Atlantic Bayside Square, LLC  
Steve Shaw  
Fax: 207-828-1048

**From:** Tom Daigneault

**RE:** Atlantic Bayside Square, LLC – Permit

Mike:

I apologize for any confusion I may have caused regarding the building permit. As discussed on the phone this AM our original application construction amount of \$3,381,771.00 was for all hard construction cost and labor. This did not include architectural, engineering or construction management numbers. This number does have a reversal in it and should be \$3,831,771.00. The difference is \$450,000.00. This adds \$2,700.00 to the permit fee ( $450,000/1,000 = 450 \times \$6.00 = \$2,700.00$ ). I will bring this check to you early next week if you are in agreement with this. Please advise.

Thank You

Tom



**FAX COVER SHEET**

**DATE:** 06 November 2001

**TO:** Mike Nugent

**FAX#:** (207) 874-8716

**FROM:** Doug Bartlett

**RE:** Bayside Office Building

**Number of pages including cover sheet:** 3

Mike,

Pursuant to our conversation regarding the discharge of stair-1 into the lobby area, I am including copies of the BOCA 1999 and NFPA 101 codes referenced in our November 01, 2001 letter. I also contacted the BOCA Northeast Regional office for clarification of section 1020.4 relating to required opening protectives. Marty Contant of the BOCA office reviewed the code and commentary and confirmed that the opening protective is only required in the exit stairway tower.

Please call with any questions.

Thank you,

A handwritten signature in black ink, appearing to read "D. Bartlett".

---

11 CORPORATE DRIVE, BELMONT, NH 03220  
PHONE (603) 527-9090 FAX (603) 527-9191

---

389 Congress St.Rm 315  
Portland, ME 04101  
Phone: (207)874-8700  
Fax: (207)874-8716

.....  
**facsimile transmittal**

**To:** Doug Bartlett **From:** Mike Nugent

**Fax:** 603-527-9191 **Date:** April 2, 2002

**Phone:** **Pages:** 7

**Re:** 52 Marginal Way 034A A004 **CC:**

Urgent     For Review     Please Comment     Please Reply     Please Recycle

.....  
**Notes:** Please find attached certifications for the above project. Please complete them and return them. Also the construction documents are not stamped by a licensed design professional, these must be provided.. We also need .PDF format drawings. The original building was reviewed as a "B" use group. There appears to be some different uses.

**THE PLAN REVIEW CANNOT OCCUR UNTIL THE SUBMISSIONS ARE COMPLETE,  
CONSEQUENTLY THE PERMIT CANNOT BE ISSUED.**

.....





October 11, 2001

VIA: Hand Delivery

Mike Nugent, Building Inspector  
City of Portland, Maine  
389 Congress Street  
Portland, ME 04101

RE: Atlantic Bayside Square, LLC; Portland, Maine

Dear Mr. Nugent,

The Bayside office building is to be located at Bayside Square on the corner of Marginal Way and Preble Street in Portland. The building lot consists of two land parcels combined to create approximately 86,500 square feet. An existing single story shed of approximately 4,400 square feet, located on Parcel 2, lies within the new building footprint and is to be demolished and removed at the outset of construction. Two additional single story buildings located on Parcel 1 are to be demolished and removed during the site work process to allow for construction of a new parking area and entrance from Marginal Way. One of the existing buildings is an abandoned warehouse of approximately 20,000 square feet and the other is a storage building of approximately 1,000 square feet.

The Bayside building is a five-story office complex comprised of a concrete foundation / slab on grade, structural steel frame with an architectural masonry and brick veneer exterior. The overall building footprint is 10,785 square feet with an average height of 62' above grade. The first floor has a gross area calculation of 10,514 square feet while floors 2 thru 5 have a gross area calculation of 10,437 square feet each. This totals a combined area of 52,262 square feet.

The building has a construction classification of 2B and a use group of Business per BOCA 1999. Construction type per NFPA is Type II (111). The building will be fully sprinklered and have a fire alarm system installed per code. The wall types will have fire-resistance ratings as listed on Table 602 of BOCA 1999 under type 2B construction and will utilize applicable U.L. Designs.

Soil conditions require the building foundation to be supported by piles. Concrete filled steel pipe piles will be utilized to support a reinforced concrete perimeter grade beam / foundation and reinforced concrete pile caps at interior column locations.

Substantial completion of this project is expected within (12) twelve months from the commencement of construction.

Sincerely,

A handwritten signature in black ink, appearing to read "Douglas R. Bartlett", is written over a circular stamp or mark.

Douglas R. Bartlett  
Project Manager

Enclosure

DRB/smk

5-6.2\* The travel distance to an exit shall be measured on the floor or other walking surface along the centerline of the natural path of travel starting from the most remote point subject to occupancy, curving around any corners or obstructions with a 1-ft (0.3-m) clearance therefrom, and ending at the center of the doorway or other point at which the exit begins. Where measurement includes stairs, the measurement shall be taken in the plane of the tread nosing.

Exception: Travel distance measurement shall be permitted to terminate at a smoke barrier as provided in Chapter 15.

5-6.3\* Where open stairways or ramps are permitted as a path of travel to required exits, the distance shall include the travel on the stairway or ramp and the travel from the end of the stairway or ramp to an outside door or other exit in addition to the distance traveled to reach the stairway or ramp.

5-6.4 Travel distance limitations shall be as provided in Chapters 8 through 32 and for high hazard areas in accordance with Section 5-11.

5-6.5 Where any part of an exterior exit is within 10 ft (3 m) horizontal distance of any unprotected building opening, as permitted in the Exceptions to 5-2.2 6.4 for outside stairs, the travel distance to the exit shall include the length of travel to ground level.

SECTION 5-7 DISCHARGE FROM EXITS

5-7.1\* All exits shall terminate directly at a public way or at an exterior exit discharge. Yards, courts, open spaces, or other portions of the exit discharge shall be of required width and size to provide all occupants with a safe access to a public way.

Exception No. 1: Interior exit discharge as permitted in 5-7.2

Exception No. 2: Rooftop exit discharge as permitted in 5-7.6.

Exception No. 3: Means of egress shall be permitted to terminate in an exterior area of refuge as provided in Chapters 14 and 15.

5-7.2 Not more than 50 percent of the required number of exits, and not more than 50 percent of the required egress capacity, shall be permitted to discharge through areas on the level of exit discharge, provided:

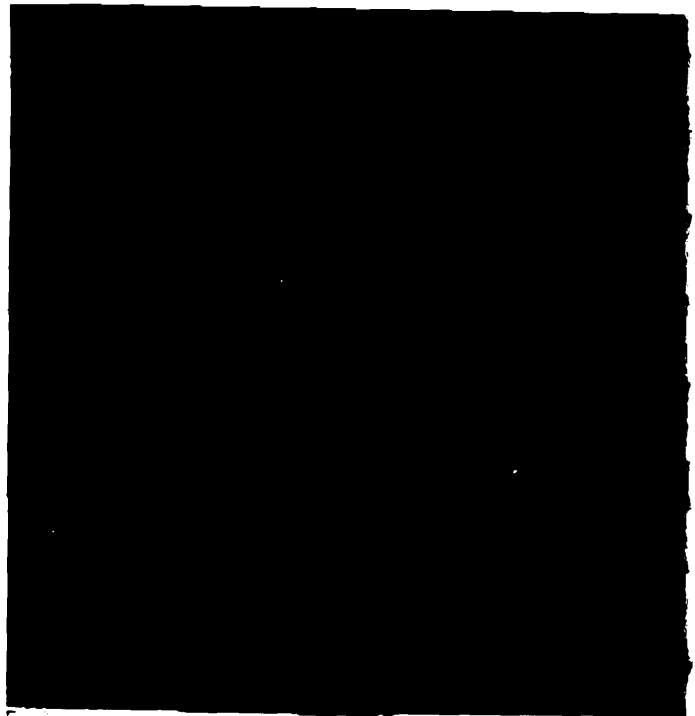
Exception: One hundred percent of the exits shall be permitted to discharge through areas on the level of exit discharge as provided in Chapters 14 and 15.

(a) Such discharge leads to a free and unobstructed way to the exterior of the building, and such way is readily visible and identifiable from the point of discharge from the exit; and

(b) The level of discharge is protected throughout by an approved, automatic sprinkler system installed in accordance with Section 7-7, or the portion of the level of discharge used for this purpose is protected by an approved, automatic sprinkler system installed in accordance with Section 7-7 and separated from the nonsprinklered portion of the floor by a fire resistance rating meeting the requirements for the enclosure of exits (see 5-1.3.2.1); and

Exception to (b): If the discharge area is a vestibule or foyer meeting all of the following:

1. The depth from the exterior of the building shall not be more than 10 ft (3 m) and the length shall not be more than 30 ft (9.1 m), and



2. The foyer shall be separated from the remainder of the level of discharge by construction providing protection at least the equivalent of wired glass in steel frames, and

3. The foyer serves only as means of egress and includes an exit directly to the outside.

(c) The entire area on the level of discharge shall be separated from areas below by construction having a fire resistance rating at least that required for the exit enclosure.

Exception to (c): Levels below the level of discharge shall be permitted to be open to the level of discharge in an atrium in accordance with 6-2.4.6.

5-7.3 The exit discharge shall be arranged and marked to make clear the direction of egress to a public way. Stairs shall be arranged so as to make clear the direction of egress to a public way. Stairs that continue beyond the level of exit discharge shall be interrupted at the level of exit discharge by partitions, doors, or other effective means.

Exception: Stairs that continue one-half story beyond the level of exit discharge shall not be required to be so interrupted where the exit discharge is obvious.

5-7.4 Doors, stairs, ramps, corridors, exit passageways, bridges, balconies, escalators, moving walks, and other components of an exit discharge shall comply with the detailed requirements of this chapter for such components.

5-7.5 Signs. (See 5-2.2.5.4 and 5-2.2.5.5.)

5-7.6 Where approved by the authority having jurisdiction, exits shall be permitted to be accepted, provided that

(a) They discharge to the roof or other sections of the building or adjoining buildings, and

(b) The roof has a fire resistance rating at least the equivalent of that required for the exit enclosure, and

(c) There is a continuous and safe means of egress from the roof, and

(d) All other applicable requirements for life safety are maintained.

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**Exception:** Horizontal sliding doors complying with Section 1017.4.4.

**1019.3 Area of refuge:** The discharge area of a *horizontal exit* shall be either public areas or spaces occupied by the same tenant, and each such area of refuge shall be adequate to hold the total occupant load of both connected areas. The capacity of areas of refuge shall be computed on a minimum *net floor area* allowance for each occupant to be accommodated therein, not including areas of *stairways*, elevators and other *shafts* or *courts*, as follows:

1. 30 square feet (3 m<sup>2</sup>) per patient for hospitals and nursing homes.
2. 6 square feet (0.56 m<sup>2</sup>) per occupant on stories not housing patients confined to a bed or litter in an occupancy in Use Group I-2.
3. 6 square feet (0.56 m<sup>2</sup>) per occupant in an occupancy in Use Group I-3.
4. 3 square feet (0.28 m<sup>2</sup>) in all other cases.

**1019.4 Egress from area of refuge:** The path of egress travel from the *horizontal exit* through the area of refuge to another *exit* shall be continuously available. In other than occupancies in Use Group I-3, there shall be at least one *exit* on each side of the *horizontal exit* which is not a *horizontal exit*. Any area of refuge not having access to an *exit*, other than a *horizontal exit*, shall be considered as part of an adjoining area of refuge with such *exit*. In the area(s) served by the *horizontal exit*, the length of *exit access* travel distance to the *horizontal exit* or another *exit* shall not exceed the requirements of Section 1006.5. Occupancies in Use Group I-3 shall conform to Section 410.3.3.

#### SECTION 1020.0 DISCHARGE FROM EXIT STAIRWAYS

**1020.1 Discharge from exits:** *Exit stairways* that do not discharge directly to the exterior in accordance with Section 1006.3 shall discharge into an exit passageway or an *interior exit discharge element* located at the level of exit discharge which complies with this section.

**1020.2 Exit passageways:** Exit passageways shall be separated from other parts of the building by construction having a fire-resistance rating of at least 1 hour and in accordance with the requirements for the enclosure of *exits*. Where an *exit stairway* discharges into an exit passageway, the exit passageway shall be constructed in accordance with the requirements for the enclosure of the *exit* it serves. Building areas below the level of exit discharge shall be separated from the passageway in accordance with the requirements for the enclosures of *exits*.

**1020.3 Exit discharge vestibule:** Where an *exit stairway* discharges into an interior exit discharge vestibule, the exit discharge vestibule shall be used for ingress and means of egress only, and the exit discharge vestibule shall comply with Sections 1020.3.1 and 1020.3.2.

**1020.3.1 Depth and width:** The depth of the exit discharge vestibule, as measured from the exterior of the building, shall not be greater than 10 feet (3048 mm) and the width shall not be greater than 20 feet (6096 mm).

**1020.3.2 Separation:** The exit discharge vestibule shall be separated from the remainder of the level of exit discharge by

self-closing doors and the equivalent of 1/4-inch-thick wired glass in steel frames.

**\*1020.4 Exit discharge lobby:** Where an *exit stairway* discharges into an interior exit discharge lobby located at the level of exit discharge, the story containing the exit discharge lobby shall be equipped throughout with an automatic sprinkler system installed in accordance with Section 906.2.1 or 906.2.2. Opening protectives shall be required in accordance with Table 717.1 where an enclosed *exit stairway* discharges into an exit discharge lobby.

**Exception:** An automatic sprinkler system is not required in portions of the story that are separated from the exit discharge lobby by fire separation assemblies (see Section 709.0) having a fire-resistance rating of not less than that required for the *exit stairways* that discharge into the exit discharge lobby.

**1020.5 Width and height:** The clear width of exit passageways, exit discharge vestibules and exit discharge lobbies shall not be less than the width required for the capacity of the *exit stairway* leading thereto and all required *exit* doorways opening into the exit passageway, exit discharge vestibule or exit discharge lobby. Exit passageways, exit discharge vestibules, and exit discharge lobbies shall have a minimum width of 44 inches (1118 mm) and a minimum clear ceiling height of 8 feet (2438 mm).

**1020.6 Limitations:** Not more than 50 percent of the required number of *exits*, nor more than 50 percent of the required exit capacity, shall discharge through arcas on the level of exit discharge.

#### SECTION 1021.0 GUARDS

**1021.1 Design and construction:** Where required by the provisions of Sections 406.5, 408.3.2, 1005.5, 1014.7, 1016.5 and 1825.5, guards shall be designed and constructed in accordance with the requirements of this section and Section 1606.4.

**1021.2 Height:** The guards shall be at least 42 inches (1067 mm) in height measured vertically above the leading edge of the tread or adjacent walking surface.

**Exception:** Guards along open-sided floor areas and along stairs located less than 30 inches (762 mm) above the floor or grade below shall not be less than 36 inches (914 mm) in height.

**1021.3 Opening limitations:** In occupancies in Use Groups A, B, E, H-4, I-1, I-2, M and R, and in *public garages* and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4 inches (102 mm) cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.

#### Exceptions

1. The triangular openings formed by the riser, tread and bottom rail at the open side of a *stairway* shall be of a maximum size such that a sphere 6 inches (152 mm) in diameter cannot pass through the opening.
2. At elevated walking surfaces for access to and utilization of electrical, mechanical, or plumbing systems or equipment, guards shall have balusters or be of solid

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Application ID Number: 1-1313

Delete Save Close

Department: Building Status: Approved with Conditions Reviewer: Mike Nugent

Comments: This permit is for the "shell" of the building only. Separate permits are required for tenant fit-up and Mechanical installations. Approval Date: 11/06/2001

Given On Date: 10/25/2001

OK to Issue Permit Name: Mike Nugent Date: 11/06/2001 Date 2:

Conditions Section: Add New Condition From Add New Condition Delete Condition

Separate plans for electrical, plumbing and HVAC must be submitted for approval prior to installation.

This permit is for the "shell" of the building only. Separate permits are required for tenant fit-up and Mechanical installations.

Must comply with all applicable State, Local and Federal Laws. Any variations from the approved plans must be submitted for review and approval prior to implementation.

Create Date: 10/25/2001 By: Jodinea Update Date: 11/06/2001 By: [Signature]



**FAX COVER SHEET**

**DATE:** 02 November 2001

**TO:** Mike Nugent

**FAX#:** (207) 874-8716

**FROM:** Doug Bartlett

**RE:** Bayside Office Building

**Number of pages including cover sheet:** 3

Mike,

Pursuant to our conversation regarding the discharge of stair-1 into the lobby area, I am including copies of the BOCA 1999 and NFPA 101 codes referenced in our November 01, 2001 letter. I also contacted the BOCA Northeast Regional office for clarification of section 1020.4 relating to required opening protectives. Marty Contant of the BOCA office reviewed the code and commentary and confirmed that the opening protective is only required in the exit stairway tower.

Please call with any questions.

Thank you,

A handwritten signature in black ink, appearing to read "Doug Bartlett", is written over a horizontal line.

---

11 CORPORATE DRIVE, BELMONT, NH 03220  
PHONE (603) 527-9090 FAX (603) 527-9191

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NOTES: N.R. — Not required  
N.A. — Not applicable

# DAYSIDE OFFICE ADMINISTRATION (Chapter 1)

YES Complete construction documents  
(107.5, 107.6, 107.7)

YES Signed/sealed construction documents  
(107.7, 114.1)

## BUILDING PLANNING (Chapters 3, 4, 5, 6)

### USE OR OCCUPANCY CLASSIFICATION (302.0-313.0)

Single Use Group  Specific occupancy areas (302.1.1)  
 Mixed Use Groups  Accessory areas (302.1.2)

### GENERAL BUILDING LIMITATIONS (Chapters 5 & 6)

Apply Case 1 to determine the allowable height and area and permitted types of construction for a building containing a single use group or nonseparated mixed use groups. Apply Case 2 to determine the allowable height and area and permitted types of construction for a building containing separated mixed use groups.

#### AREA MODIFICATIONS TO TABLE 503

% of Allowable tabular area (Table 503)	<u>100%</u>
% Reduction for height (Table 506.4)	<u>- 30%</u>
% Increase for open perimeter (506.2)	<u>+ 50%</u>
% Increase for automatic sprinklers (506.3)	<u>+ 100%</u>
Total percentage factor	<u>= 220%</u>
Conversion factor	<u><math>\frac{220\%}{100\%} = 2.2</math></u> (Total percentage factor/100%)

Open perimeter (506.2)	<u>110</u>	<u>110</u>	<u>110</u>	<u>110</u>	
	North	East	South	West	
Open perim.	<u>220</u> ft.		Perimeter <u>440</u> ft.		
% Open perimeter =	$\frac{0.5 \times 100}{(\text{Open perim./perim.}) \times 100\%}$				
% Tab. area increase = (506.2)	$\frac{50\%}{2 \times (\% \text{ Open perim. } - 25\%)}$				

#### CASE 1 — SINGLE USE OR NONSEPARATED MIXED USE GROUPS (313.1.1, 503.0)

Using Table 503, identify the allowable height and area of the single use group or the most restrictive of the nonseparated mixed use groups. Construction types that provide an allowable tabular area equal to or greater than the adjusted floor area and allowable heights (as modified by Section 504.0) equal to or greater than the actual building height are permitted.

Actual floor area <u>10,514</u> ft. <sup>2</sup>		Actual building height <u>68</u> feet <u>5</u> stories
Adjusted floor area* <u>49,500</u> ft. <sup>2</sup>		Allowable building height <u>85</u> feet <u>6</u> stories

\*Adjusted floor area = actual floor area/conversion factor

Permitted types of construction 2A, 2B, 4, 1, Type of construction assumed for review (602.3) 2B

**ATRIUMS**

- Automatic sprinkler system (404.2)
- Occupancy (404.3)
- Smoke control (404.4)
- Enclosure (404.5)
- Fire alarm system (404.6)
- Travel distance (404.7)

**OTHER SPECIAL USE AND OCCUPANCY**

- Underground structures (405.0)
- Open parking structures (406.0)

- Private garages (407.0)
- Public garages (408.0)
- Use Group I-2 (409.0)
- Use Group I-3 (410.0)
- Stages and platforms (412.0)
- Special amusement buildings (413.0)
- HPM facilities (416.0)
- Hazardous materials (307.8, 417.0)
- Use Groups H-1, H-2, H-3 and H-4 (418.0)
- Swimming pools (421.0)

**FIRE PROTECTION (Chapters 6, 7, 8, 9)**

**FIRERESISTANT MATERIALS AND CONSTRUCTION (Chapter 7 and Table 602)**

Note: Entry in  indicates required rating in hours. NC indicates noncombustible construction required.

**COMBUSTIBILITY (603.0, 604.0, 605.0, 606.0)**

- 1 Exterior walls
- ~~1 or 2~~ Interior elements
- 1 Roof

**CONSTRUCTION DOCUMENTS (703.0)**

YES. Fire tests (704.0)

**EXTERIOR WALLS (507.2, 705.0, 716.5)**

	North	East	South	West
Fire separation distance	<u>30+</u>	<u>30+</u>	<u>30+</u>	<u>30+</u>
Loadbearing	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Nonloadbearing	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

NR Exterior opening protectives (705.3, 706.0)

NR Parapet walls (705.6)

**FIRE SEPARATION ASSEMBLIES**

2HR Exit enclosures (709.0, 710.0, 1014.11)

2HR Other shafts (709.0, 710.0)

NA/NA Mixed use and fire area separations (313.1.2)

FOR THE COMMON Other separation assemblies (302.1.1, Table 602)

~~FIRE DOORS?~~ HVAC

**FIRE PARTITIONS**

- N/A Exit access corridors (711.0, 1011.4)
- N/A Tenant separations (711.0)
- N/A Dwelling unit separations (711.0)
- N/A Guestroom separations (711.0)

**OTHER FIRERESISTANT CONSTRUCTION**

- N/A Fire and party walls (707.0 and Table 707.1)
- N/A Smoke barriers (712.0)
- 1HR Nonloadbearing partitions (Table 602)
- 1HR Interior loadbearing walls, columns, girders, trusses (716.0)
- 1 Supporting construction (716.0)
- 1 Floor construction (713.0, 1006.3.1)
- 1 Roof construction (713.0, 715.0)
- Penetrations (714.0)
- Opening protectives (717.0, 719.0, 720.0)
- Fire dampers (718.0)
- Fireblocking/draftstopping (721.0)
- R19 Thermal and sound-insulating materials (723.0)

*DUES RATING EXPAND TO THE UNDERSIDE OF FLOOR ABOVE?*

*FIRE DOORS?*

*NOT REQUIRE*

STANDPIPE SYSTEMS

- 68 Building height (915.2.1)
- \_\_\_\_\_ Building area (915.2.2)
- \_\_\_\_\_ Malls (915.2.3)
- \_\_\_\_\_ Stages (915.2.4)
- \_\_\_\_\_ Approved system (915.3, 915.3.1)
- \_\_\_\_\_ Piping design (915.4)
- \_\_\_\_\_ Water supply (915.5)
- \_\_\_\_\_ Control valves (915.6)
- \_\_\_\_\_ Hose connection (915.7)

FIRE DEPARTMENT CONNECTIONS

- \_\_\_\_\_ Required (916.1)
- \_\_\_\_\_ Connections (916.2)

YARD HYDRANTS

- \_\_\_\_\_ Fire hydrants (917.1)

FIRE ALARM SYSTEMS

- \_\_\_\_\_ Approval (918.3)
- \_\_\_\_\_ Assembly (A-4), Educational (E) (918.4.1)
- \_\_\_\_\_ Business (B) (918.4.2)
- \_\_\_\_\_ High-hazard (H) (918.4.3)
- \_\_\_\_\_ Institutional (I) (918.4.4)
- \_\_\_\_\_ Residential (R-1) (918.4.5)
- \_\_\_\_\_ Residential (R-2) (918.4.6)
- \_\_\_\_\_ Location/details (918.5)
- \_\_\_\_\_ Power supply/wiring (918.6, 918.7)
- \_\_\_\_\_ Alarm-notification appliances (918.8)
- \_\_\_\_\_ Voice/alarm signaling system (918.9)

AUTOMATIC FIRE DETECTION SYSTEMS

- \_\_\_\_\_ Approval (919.3)
- \_\_\_\_\_ Institutional (I) (919.4.1, 919.4.2, 919.4.3)
- \_\_\_\_\_ Residential (R-1) (919.4.4)
- \_\_\_\_\_ Sprinklered buildings exception (919.5)
- \_\_\_\_\_ Zones (919.6)

SINGLE- AND MULTIPLE-STATION SMOKE DETECTORS

- \_\_\_\_\_ Residential (R-1) (920.3.1)
- \_\_\_\_\_ Residential (R-2, R-3) (920.3.2)
- \_\_\_\_\_ Institutional (I-1) (920.3.3)
- \_\_\_\_\_ Interconnection (920.4)
- \_\_\_\_\_ Battery backup (920.5)

FIRE EXTINGUISHERS

- \_\_\_\_\_ Approval (921.1)
- \_\_\_\_\_ Required (921.2)

SMOKE CONTROL SYSTEMS

- \_\_\_\_\_ Passive system (922.2.1)
- \_\_\_\_\_ Mechanical system (922.2.2)
- \_\_\_\_\_ Smoke removal (922.3)
- \_\_\_\_\_ Activation (922.4)
- \_\_\_\_\_ Standby power (922.5)

SMOKE AND HEAT VENTS

- \_\_\_\_\_ Size and spacing (923.2)

SUPERVISION

- \_\_\_\_\_ Fire suppression systems (924.1)
- \_\_\_\_\_ Fire alarm systems (924.2)



## ROOFS AND ROOF STRUCTURES (Chapter 15)

Performance requirements (1505.0)		Low-slope roof coverings (1507.5)
Fire classification (1506.0)	<i>Noted Detail</i>	Flashing (1508.0)
Steep-slope roof coverings (1507.4)		Roof structures (1510.0)

## STRUCTURAL SYSTEMS (Chapters 16, 17, 18)

### STRUCTURAL LOADS (Chapter 16)

#### DESIGN LOADS ON CONSTRUCTION DOCUMENTS (1603.1)

Uniformly distributed floor live loads (1603.2, 1606.0)

Floor Area Use	Loads Shown
<i>All Areas</i>	<i>80 LBS/S.F.</i>

*None* - Live load reduction (1603.2, 1606.7)

*420 LBS/S.F.* Roof live loads (1603.3, 1607.0)

Roof snow loads (1603.4, 1608.0)

*150 LBS/S.F.* Ground snow load,  $P_g$  (1608.3)

If  $P_g > 10$  psf, flat-roof snow load,  $P_f$  (1608.4)

If  $P_g > 10$  psf, snow exposure factor,  $C_e$  (Table 1608.4)

Sloped roof snowload,  $P_s$  (1608.5)

If  $P_g > 10$  psf, snow load importance factor,  $I$  (Table 1609.5)

Wind loads (1603.5, 1609.0)

*85 mph* Basic wind speed (1609.3)

*A* Wind exposure category (1609.4)

*1.1* Wind importance factor,  $I$  (Table 1609.5)

*8.5 LBS/S.F.* Wind design pressure,  $P$  (1609.7)

Earthquake loads (1603.6, 1610.0)

*0.10* Peak velocity-related acceleration,  $A_v$  (1610.1.3)

*0.10* Peak acceleration,  $A_a$  (1610.1.3)

*1* Seismic hazard exposure group (1610.1.5)

*C* Seismic performance category (1610.1.7)

*S4* Soil-profile type (Table 1610.3.1)

*2* Basic structural system and seismic-resisting system (Table 1610.3.3)

*R<sub>2</sub> & Cd = 4* Response modification factor,  $R$ , and deflection amplification factor,  $C_d$  (Table 1610.3.3)

*1610.4* Analysis procedure (1610.4, 1610.5)

Other loads

*N/A* Attic load (1606.2.2, 1606.2.3)

*Not shown* Partition loads (1606.2.4) ?

*None specified* Concentrated loads (1606.3) ?

*Not shown* Impact loads (1606.6) ?

*N/A* Misc. loads (1606.4, 1606.8, 1606.9, 1607.5, 1612.0)

#### STRUCTURAL DESIGN CALCULATIONS

*YES* Submitted for all structural members (107.7)

*YES* Signed/sealed (107.7, 114.1)

Deflection limits considered (1604.5)

## STEEL (Chapter 22)

_____	Structural steel design/construction standard specified (2203.1, 2203.2)	_____	Formed steel design/construction standard specified (2206.1)
_____	Shop drawing preparation specified (2203.4)	_____	Formed steel member identification (2206.6)
_____	Open-web steel joist design/construction standard specified (2205.1)		

## WOOD (Chapter 23)

_____	<i>N/A</i> Installation inspections (2301.2)	_____	Seismic bracing (2305.8)
_____	<i>N/A</i> Design/construction standard specified (2303.1)	_____	Foundation anchorage (2305.17)
_____	Grade mark specified (2303.1.1)	_____	Wood structural panels (2307.0)
_____		_____	Particleboard (2308.0)
_____		_____	Fiberboard (2309.0)
_____		_____	Fireretardant-treated wood (2310.0)
_____		_____	Decay and termite protection (2311.0)
_____		_____	Joist hangers (2312.0)
_____		_____	Prefabricated components (2313.1, 2313.3.1)
_____		_____	Metal-plate-connected trusses (2313.3.1, 2313.3.2)

### HEAVY TIMBER CONSTRUCTION

_____	<i>N/A</i> Minimum dimensions (605.1, 2304.0)
_____	Design/construction standard specified (2304.1)

### WOOD FRAME CONSTRUCTION

_____	<i>N/A</i> Fastening and construction details (2305.0, Table 2305.2)
_____	Wind bracing design required (2305.7)

## NONSTRUCTURAL MATERIALS (Chapters 24, 25, 26)

### GLASS AND GLAZING (Chapter 24)

_____	<i>None shown</i> Skylights (2404.0)	_____	<i>N/A</i> Safety glazing (2405.0, 2406.0, 2407.0)
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### GYPSUM BOARD AND PLASTER (Chapter 25)

_____	<i>5/8" APPL</i> <i>MRGB in BATHS.</i> Gypsum board materials (2503.0, Table 2503.2, Table 2503.3)	_____	Plaster (2504.0, 2505.0, 2506.0)
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### PLASTIC (Chapter 26)

*NOT SHOWN*

_____	Approved materials (2601.2)	_____	FOAM PLASTIC (2603.0)
_____	Identification (2601.4)	_____	Labeling (2603.2)
_____	Interior trim (2603.7)	_____	Surface-burning characteristics (2603.3)
_____	Alternative approval (2603.8)	_____	Thermal barrier (2603.4)
		_____	Exterior walls (2603.5, 2603.6)

LIGHT TRANSMITTING PLASTIC (2603.5, 2604.0) \_\_\_\_\_

Unprotected openings (2606.0)

\_\_\_\_\_ Diffusing systems (2604.5)

\_\_\_\_\_ Roof panels (2607.0)

\_\_\_\_\_ Wall panels (2605.0)

\_\_\_\_\_ Skylight glazing (2608.0)

## BUILDING SERVICES (Chapters 28, 30)

### MECHANICAL SYSTEMS (Chapter 28)

\_\_\_\_\_ Waste- and linen-handling systems (2807.0)

\_\_\_\_\_ Refuse vaults (2808.0)

### ELEVATORS AND CONVEYING SYSTEMS (Chapter 30)

\_\_\_\_\_ Construction standard specified (3001.2)

\_\_\_\_\_ Venting (3007.3 - 3007.6)

\_\_\_\_\_ Elevator emergency operation (3006.2)

\_\_\_\_\_ Opening protectives (3008.2)

\_\_\_\_\_ Hoistway enclosure (3007.1)

\_\_\_\_\_ Conveyors and escalators (3010.0, 3011.0)

## SPECIAL DEVICES AND CONDITIONS (Chapters 31, 34)

### SPECIAL CONSTRUCTION (Chapter 31)

\_\_\_\_\_ Membrane structures (3103.0)

PEDESTRIAN WALKWAYS (3106.0)

\_\_\_\_\_ Flood-resistant construction (3107.0)

\_\_\_\_\_ Construction and use (3106.1 - 3106.3)

\_\_\_\_\_ Towers (3108.0)

\_\_\_\_\_ Separation (3106.4)

\_\_\_\_\_ Local approval (3106.5)

\_\_\_\_\_ Egress and size (3106.6 - 3106.8)

### EXISTING STRUCTURES (Chapter 34)

#### ADDITIONS, ALTERATIONS OR CHANGE OF OCCUPANCY

\_\_\_\_\_ General requirements (3402.0)

\_\_\_\_\_ Additions/alterations (3403.0, 3404.0)

\_\_\_\_\_ Structural loads (1614.0, 3402.5)

\_\_\_\_\_ Change of occupancy (1110.3, 3405.0)

\_\_\_\_\_ Accessibility (1110.0, 3402.7)

\_\_\_\_\_ Compliance alternative evaluation (3408.0)

#### BUILDING EVALUATION SUMMARY (Table 3408.7)

Existing use group _____	Proposed use group _____
Year building was constructed _____	Number of stories _____ Height in feet _____
Type of construction _____	Area per floor _____
Percentage of open perimeter _____ %	Percentage of height reduction _____ %
Completely suppressed: Yes _____ No _____	Corridor wall rating _____
Compartmentation: Yes _____ No _____	Required door closers: Yes _____ No _____
Fire-resistance rating of vertical opening enclosures _____	
Type of HVAC system _____, serving number of floors _____	

**DOOR SCHEDULE**

DOOR #	DOOR		FRAME							HARDWARE							LOCATION	REMARKS							
	ELEVATION TYPE	SIZE	MATERIAL	FINISH	CORE TYPE	GLAZING	FIRE LABEL	MATERIAL	THROAT	ANCHORS	HEAD DEPTH	SIDELIGHT	CONSTRUCTION	FUNCTION	CLOSER	ELECTRIC STRIKE			FINISH	W-STRIP	US32D NRP BUTTS	THRESHOLD	LOUVER	INACTIVE LEAF BOLTS	SWING
FIRST FLOOR																									
100 E1	A	2 @ 30"X70"	MEDIUM STILE ALUM.	ALUM	AT	FULL		ALUM	4-1/2"	-	2"	SF	AT	PUSH/PULL-LOCK W/ EGRESS PADDLE	X	X		X	X				PR	SOUTH WEST MAIN ENTRY	OUTSWING
100 E2	A	2 @ 30"X70"	MEDIUM STILE ALUM.	ALUM	AT	FULL		ALUM	4-1/2"	-	2"	SF	AT	PUSH/PULL-LOCK W/ EGRESS PADDLE	X	X		X	X				PR	NORTH EAST MAIN ENTRY	OUTSWING
100 ST1	B	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	5X20	2HR	18 GA	6-1/8"	MS	2"	NO	W	PASSAGE-F75	X		US26D						RH	STAIR - 1	
100 ST2	B	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	5X20	2HR	18 GA	4-1/2"	MS	2"	NO	W	PASSAGE-F75	X		US26D						RH	STAIR - 2	
101 A	A	3'0"X6'8"	MEDIUM STILE ALUM.	ALUM	AT	FULL		ALUM	4-1/2"	MS	2"	SF	AT	PUSH/PULL-LOCK W/ EGRESS PADDLE	X				X				LH	MEMBER SERVICES TO LOBBY	OUTSWING
101 B	A	3'0"X6'8"	MEDIUM STILE ALUM.	ALUM	AT	FULL		ALUM	4-1/2"	MS	2"	SF	AT	PUSH/PULL-LOCK W/ EGRESS PADDLE	X				X				RH	MEMBER SERVICES TO LOBBY	OUTSWING
102 A	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE	1HR	18 GA	4-7/8"	MS	2"	NO	W	OFFICE LOCK - F81	X		US26D						LH	INSURANCE TO ELEV. LOBBY	
103	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE	1HR	18GA	4-7/8"	MS	2"	NO	W	STORE ROOM - F86			US26D						RH	CORRIDOR TO ELEC.	
104	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	NO	W	PASSAGE-F75			US26D						LH	CONFERENCE 104	
105	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	PASSAGE-F75			US26D						RH	CONFERENCE 105	
106	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81			US26D						LH	OFFICE 106	
107	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	18"	W	STORE ROOM - F86			US26D						RH	STORAGE 107	
108	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	STORE ROOM - F86			US26D						LH	UTILITY 108	
109	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	STORE ROOM - F86			US26D						RH	TEL / COM 109	
110	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	NO	W	STORE ROOM - F86			US26D						LH	STORAGE 110	
111	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	PASSAGE-F75			US26D						LH	CONFERENCE 111	
112	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	STORE ROOM - F86			US26D						RH	H20 / SPRINKLER 112	
113A	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE	2HR	18 GA	4-7/8"	MS	2"	NO	W	OFFICE LOCK - F81	X		US26D						RH	VESTIBULE 113	
114	D	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	24x30		18GA	4-7/8"	MS	2"	NO	W	PASSAGE-F75			US26D						LH	BREAK 114	
115	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	PUSH / PULL	X		US26D						LH	MEN 115	
116	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	NO	W	PUSH / PULL	X		US26D						RH	WOMEN 116	
117	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	PRIVACY - F76			US26D						RH	REST ROOM 117	

**DOOR SCHEDULE**

DOOR #	DOOR							FRAME					HARDWARE										LOCATION	REMARKS		
	ELEVATION TYPE	SIZE	MATERIAL	FINISH	CORE TYPE	GLAZING	FIRE LABEL	MATERIAL	THROAT	ANCHORS	HEAD DEPTH	SIDELIGHT	CONSTRUCTION	FUNCTION	CLOSER	ELECTRIC STRIKE	FINISH	W-STRIP	US32D NRP BUTTS	THRESHOLD	LOUVER	INACTIVE LEAF BOLTS			SWING	
SECOND FLOOR																										
200 ST1	B	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	5X20	2HR	18GA	6-1/8"	MS	2"	NO	W	PASSAGE-F75	X		US26D							LH	STAIR - 1	
200 ST2	B	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	5X20	2HR	18 GA	6-1/8"	MS	2"	NO	W	PASSAGE-F75	X		US26D							RH	STAIR - 2	
201	D	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	24X30		18GA	4-7/8"	MS	2"	18"	W	PASSAGE-F75			US26D							RH	CONFERENCE 201	
202	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	OFFICE LOCK - F81			US26D							RH	TRAINING 202	
203	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81			US26D							RH	OFFICE 203	
204	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81			US26D							RH	TRAINING 204	
205	D	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	24X30		18GA	4-7/8"	MS	2"	NO	W	PASSAGE-F75			US26D							LH	BREAK 205	
206	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81			US26D							RH	OFFICE 206	
207	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81			US26D							RH	OFFICE 207	
208	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81			US26D							LH	OFFICE 208	
209	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	PASSAGE-F75			US26D							LH	CONFERENCE 209	
210	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	STORE ROOM - F86			US26D							RH	TEL / COM 210	
211	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	NO	W	STORE ROOM - F86			US26D							LH	JANITOR 211	
212	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	PRIVACY - F76			US26D							LH	RESTROOM 212	
213	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	PRIVACY - F76			US26D							RH	RESTROOM 213	
214	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	NO	W	PUSH / PULL	X		US26D							RH	MEN 214	
215	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	PUSH / PULL	X		US26D							LH	WOMEN 215	

**DOOR SCHEDULE**

DOOR #	DOOR							FRAME					HARDWARE			LOCATION							REMARKS	
	ELEVATION TYPE	SIZE	MATERIAL	FINISH	CORE TYPE	GLAZING	FIRE LABEL	MATERIAL	THROAT	ANCHORS	HEAD DEPTH	SIDELIGHT	CONSTRUCTION	FUNCTION	CLOSER	ELECTRIC STRIKE	FINISH	W-STRIP	US32D NRP BUTTS	THRESHOLD	LOUVER	INACTIVE LEAF BOLTS		SWING
THIRD FLOOR																								
300 ST1	B	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	5X20	2HR	18GA	6-1/8"	MS	2"	NO	W	PASSAGE-F75	X		US26D						LH	STAIR - 1
300 ST2A	B	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	5X20	2HR	18 GA	6-1/8"	MS	2"	NO	W	PASSAGE-F75	X		US26D						RH	STAIR - 2
300 ST2B	B	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE	2HR	18GA	8-1/2"	MS	2"	NO	W	PASSAGE-F75	X		US26D						LH	STAIR - 2
301 A	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	OFFICE LOCK - F81	X	X	US26D						RH	CORRIDOR TO LOBBY 301
301 B	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	NO	W	OFFICE LOCK - F81	X	X	US26D						RH	INTERVIEW TO LOBBY 301
301C	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	NO	W	OFFICE LOCK - F81	X	X	US26D						LH	CORRIDOR TO LOBBY 301
301D	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	NO	W	OFFICE LOCK - F81	X	X	US26D						RH	SECURE ENTRY TO LOBBY 301
302	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81			US26D						RH	OFFICE 302
303	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81			US26D						RH	OFFICE 303
304	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	8-1/2"	MS	2"	NO	W	STORE ROOM - F86			US26D						LH	STORAGE 304
305	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	OFFICE LOCK - F81			US26D						LH	COMPUTER 305
306	D	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	24x30		18GA	4-7/8"	MS	2"	NO	W	PASSAGE-F75			US26D						RH	BREAK 306
307	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	PASSAGE-F75			US26D						LH	CONFERENCE 307
308	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	NO	W	PUSH / PULL	X		US26D						LH	MEN 308
309	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	PUSH / PULL	X		US26D						RH	WOMEN 309
310	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	OFFICE LOCK - F81	X	X	US26D						LH	SECURE ENTRY 310
311	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	OFFICE LOCK - F81	X	X	US26D						RH	INTERVIEW 311
312	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	NO	W	OFFICE LOCK - F81	X	X	US26D						RH	PROCESSING 312
313	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	PASSAGE-F75			US26D						RH	CONFERENCE 313
314	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	STORE ROOM - F86			US26D						RH	SECURE STORAGE 314
315	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	STORE ROOM - F86			US26D						RH	GENERAL STORAGE 315
316	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	NO	W	OFFICE LOCK - F81			US26D						RH	RAC 316
317	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	OFFICE LOCK - F81			US26D						LH	SECURE FILE 317
318	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	OFFICE LOCK - F81			US26D						LH	LAN 318
319	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	STORE ROOM - F86			US26D						LH	UTILITY 319
320	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	PUSH / PULL	X		US26D						LH	WOMEN 320
321	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	PUSH / PULL	X		US26D						RH	MEN 321

**DOOR SCHEDULE**

DOOR #	DOOR							FRAME						HARDWARE										LOCATION	REMARKS	
	ELEVATION TYPE	SIZE	MATERIAL	FINISH	CORE TYPE	GLAZING	FIRE LABEL	MATERIAL	THROAT	ANCHORS	HEAD DEPTH	SIDELIGHT	CONSTRUCTION	FUNCTION	CLOSER	ELECTRIC STRIKE	FINISH	W-STRIP	US32D NRP BUTTS	THRESHOLD	LOUVER	INACTIVE LEAF BOLTS	SWING			
FOURTH FLOOR																										
400 ST1	B	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	5X20	2HR	18GA	6-1/8"	MS	2"	NO	W	PASSAGE-F75	X	US26D								LH	STAIR - 1	
400 ST2A	B	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	5X20	2HR	18 GA	6-1/8"	MS	2"	NO	W	PASSAGE-F75	X	US26D								LH	STAIR - 2	
400 ST2B	B	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	5X20	2HR	18 GA	6-1/8"	MS	2"	NO	W	PASSAGE-F75	X	US26D								RH	STAIR - 2	
401A	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	OFFICE LOCK - F81		US26D								RH	LOBBY 401	
401B	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	OFFICE LOCK - F81		US26D								RH	LOBBY 401	
402	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE	2HR	18GA	6-1/8"	MS	2"	NO	W	STORE ROOM - F86		US26D								RH	ELEVATOR MACHINE 402	
403	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	NO	W	OFFICE LOCK - F81		US26D								RH	OFFICE 403	
404	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	OFFICE LOCK - F81		US26D								LH	OFFICE 404	
405	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	PASSAGE-F75		US26D								RH	TREATMENT 405	
406	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	NO	W	PASSAGE-F75		US26D								LH	TREATMENT 406	
407	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	PASSAGE-F75		US26D								RH	TREATMENT 407	
408	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	OFFICE LOCK - F81		US26D								LH	OFFICE 408	
409	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	OFFICE LOCK - F81		US26D								LH	BILLING 409	
410	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	STORE ROOM - F86		US26D								RH	STORAGE 410	
411	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	NO	W	OFFICE LOCK - F81		US26D								LH	X-RAY 411	
412	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	8-1/2"	MS	2"	NO	W	STORE ROOM - F86		US26D								LH	STORAGE 412	
413	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	PASSAGE-F75		US26D								LH	TREATMENT 413	
414	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	PASSAGE-F75		US26D								LH	TREATMENT 414	
415	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	w	PASSAGE-F75		US26D								LH	TREATMENT 415	
416	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	NO	W	PASSAGE-F75		US26D								RH	TREATMENT 416	
417	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	PASSAGE-F75		US26D								LH	TREATMENT 417	
418	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	PASSAGE-F75		US26D								RH	TREATMENT 418	
419	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	NO	W	PASSAGE-F75		US26D								LH	TREATMENT 419	
420	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	OFFICE LOCK - F81		US26D								LH	OFFICE 420	
421	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	STORE ROOM - F86		US26D								LH	UTILITY 421	
422	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	PRIVACY - F76		US26D								RH	RESTROOM 422	
423	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	PRIVACY - F76		US26D								LH	RESTROOM 423	
424	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	NO	W	OFFICE LOCK - F81		US26D								RH	OFFICE 424	
425	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	OFFICE LOCK - F81		US26D								LH	OFFICE 425	
426	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	STORE ROOM - F86		US26D								RH	NETWORK 426	
427	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	OFFICE LOCK - F81		US26D								RH	OFFICE 427	

**DOOR SCHEDULE**

DOOR #	ELEVATION TYPE	SIZE	DOOR					FRAME					HARDWARE					LOCATION	REMARKS				
			MATERIAL	FINISH	CORE TYPE	GLAZING	FIRE LABEL	MATERIAL	THROAT	ANCHORS	HEAD DEPTH	SIDELIGHT	CONSTRUCTION	FUNCTION	CLOSER	ELECTRIC STRIKE	FINISH			W-STRIP	US32D NRP BUTTS	THRESHOLD	LOUVER
428	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE	18GA	4-7/8"	MS	2"	NO	W	OFFICE LOCK - F81		US26D						LH	OFFICE 428	
429	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE	18 GA	4-7/8"	MS	2"	NO	W	OFFICE LOCK - F81		US26D						LH	OFFICE 429	
430	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE	18GA	4-7/8"	MS	2"	NO	W	OFFICE LOCK - F81		US26D						RH	OFFICE 430	
431	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE	18GA	4-7/8"	MS	2"	NO	W	OFFICE LOCK - F81		US26D						LH	OFFICE 431	
432	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE	18GA	4-7/8"	MS	2"	NO	W	OFFICE LOCK - F81		US26D						RH	OFFICE 432	
433	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE	18GA	4-7/8"	MS	2"	NO	W	OFFICE LOCK - F81		US26D						LH	OFFICE 433	
434	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE	18GA	4-7/8"	MS	2"	NO	W	OFFICE LOCK - F81		US26D						RH	OFFICE 434	
435	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE	18GA	4-7/8"	MS	2"	NO	W	PASSAGE-F75		US26D						LH	CONFERENCE 435	
436	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE	18GA	4-7/8"	MS	2"	NO	W	PASSAGE-F75		US26D						LH	CONFERENCE 436	
437A	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE	18GA	4-7/8"	MS	2"	NO	W	PASSAGE-F75		US26D						RH	CONFERENCE 437	
437B	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE	18GA	4-7/8"	MS	2"	NO	W	PASSAGE-F75		US26D						LH	CONFERENCE 437	
438	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE	18GA	4-7/8"	MS	2"	NO	W	PUSH / PULL	X	US26D						LH	WOMEN 438	
439	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE	18GA	4-7/8"	MS	2"	NO	W	PUSH / PULL	X	US26D						RH	MEN 439	
440	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE	18GA	4-7/8"	MS	2"	NO	W	PRIVACY - F76		US26D						LH	SHOWER 440	



**DOOR SCHEDULE**

DOOR #	ELEVATION TYPE	SIZE	DOOR					FRAME						HARDWARE		CLOSER	ELECTRIC STRIKE	FINISH	W-STRIP	US2D NRP BUTTS	THRESHOLD	LOUVER	INACTIVE LEAF BOLTS	SWING	LOCATION	REMARKS		
			MATERIAL	FINISH	CORE TYPE	GLAZING	FIRE LABEL	MATERIAL	THROAT	ANCHORS	HEAD DEPTH	SIDELIGHT	CONSTRUCTION	FUNCTION														
FIFTH FLOOR																												
500 ST1	B	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	5X20	2HR	18GA	6-1/8"	MS	2"	NO	W	PASSAGE-F75	X	US26D										LH	STAIR - 1	
500 ST2	B	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	5X20	2HR	18 GA	6-1/8"	MS	2"	NO	W	PASSAGE-F75	X	US26D										RH	STAIR - 2	
501	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	PASSAGE-F75	X	US26D										RH	LOBBY 501	
502	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	STORE ROOM - F86		US26D										RH	STORAGE 502	
503	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81		US26D										RH	H.R. MANAGER 503	
504	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81		US26D										RH	OFFICE 504	
505	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81		US26D										LH	OFFICE 505	
506	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81		US26D										RH	OFFICE 506	
507	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	18"	W	PASSAGE-F75		US26D										RH	CONFERENCE 507	
508	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	PP	W	OFFICE LOCK - F81		US26D										LH	V.P. ACCOUNTING 508	
509	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81		US26D										RH	BOARDROOM 509	
510	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	PASSAGE-F75		US26D										RH	KITCHEN 510	
511	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81		US26D										RH	PRESIDENT 511	
512	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81		US26D										RH	EXEC. VICE PRESIDENT 512	
513	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	PASSAGE-F75		US26D										LH	CONFERENCE 513	
514	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81		US26D										RH	OFFICE 514	
515	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81		US26D										LH	OFFICE 515	
516	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	PASSAGE-F75		US26D										RH	COPY / STORAGE 516	
517	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	STORE ROOM - F86		US26D										RH	RADIO 517	
518	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	STORE ROOM - F86		US26D										RH	TELECOM 518	
519	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	STORE ROOM - F86		US26D										LH	JANITOR 519	
520	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	PUSH / PULL	X	US26D										LH	WOMEN 520	
521	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	PUSH / PULL	X	US26D										RH	MEN 521	
522	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	PRIVACY - F76		US26D										RH	RESTROOM 522	
523	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	W	PRIVACY - F76		US26D										LH	RESTROOM 523	

**DOOR SCHEDULE**

DOOR #	ELEVATION TYPE	SIZE	DOOR					FRAME					HARDWARE		LOCATION	REMARKS				
			MATERIAL	FINISH	CORE TYPE	GLAZING	FIRE LABEL	MATERIAL	THROAT	ANCHORS	HEAD DEPTH	SIDE LIGHT	CONSTRUCTION	FUNCTION			CLOSER	ELECTRIC STRIKE	FINISH	W-STRIP

**ABBREVIATIONS:**

- INSUL - INSULATED
- PRE-FIN - FACTORY STAINED PRE-FINISHED W/ CLEAR LACQUER OR VARNISH
- SC - SOLID CORE
- ALUM - ALUMINUM
- MS - METAL STUDWALL
- MA - MASONRY
- KD - KNOCK DOWN CONSTRUCTION
- W - WELDED CONSTRUCTION
- AT - ALUMINUM TUBE
- LH - LEFT HAND SWING
- RH - RIGHT HAND SWING
- PR - PAIR
- SF - STOREFRONT

**GENERAL DOOR NOTES:**

1. ALL HARDWARE TO BE COMMERCIAL GRADE.
2. INTERIOR HINGES TO 4-1/2" FULL MORTISE.
3. EXTERIOR HINGES TO BE 4-1/2" STAINLESS STEEL, FULL MORTISE W/ NON-REMOVABLE PINS.
4. RUBBER DOOR SILENCERS TO BE PLACED WITHIN STEEL DOOR FRAMES.
5. DOOR STOPS TO BE FLOOR MOUNTED DOME TYPE.
6. WEATHER STRIPPING TO BE RUBBER GASKET TYPE W/ ALUMINUM MILL FINISH MOUNTING SURFACE.
7. THRESHOLDS TO BE ADA APPROVED SADDLE TYPE W/ ALUMINUM MILL FINISH, DESIGNED TO ACCOMMODATE THE FLOORING WHICH THEY ABUT.

**KEYING NOTES:**

**ALUMINUM DOOR NOTES:**

1. DOORS TO BE MEDIUM STILE.
2. GLASS TO BE TEMPERED INSULATED GLASS.
3. HARDWARE TO BE COMMERCIAL DUTY.
4. LOCKING HARDWARE TO BE COMMERCIAL DUTY.
5. ALL ALUMINUM DOORS AND FRAMING TO BE FACTORY ANODIZED FINISH.



October 11, 2001

VIA: Hand Delivery

Mike Nugent, Building Inspector  
City of Portland, Maine  
389 Congress Street  
Portland, ME 04101

RE: Atlantic Bayside Square, LLC; Portland, Maine

Dear Mr. Nugent,

The Bayside office building is to be located at Bayside Square on the corner of Marginal Way and Preble Street in Portland. The building lot consists of two land parcels combined to create approximately 86,500 square feet. An existing single story shed of approximately 4,400 square feet, located on Parcel 2, lies within the new building footprint and is to be demolished and removed at the outset of construction. Two additional single story buildings located on Parcel 1 are to be demolished and removed during the site work process to allow for construction of a new parking area and entrance from Marginal Way. One of the existing buildings is an abandoned warehouse of approximately 20,000 square feet and the other is a storage building of approximately 1,000 square feet.

The Bayside building is a five-story office complex comprised of a concrete foundation / slab on grade, structural steel frame with an architectural masonry and brick veneer exterior. The overall building footprint is 10,785 square feet with an average height of 62' above grade. The first floor has a gross area calculation of 10,514 square feet while floors 2 thru 5 have a gross area calculation of 10,437 square feet each. This totals a combined area of 52,262 square feet.

The building has a construction classification of 2B and a use group of Business per BOCA 1999. Construction type per NFPA is Type II (111). The building will be fully sprinklered and have a fire alarm system installed per code. The wall types will have fire-resistance ratings as listed on Table 602 of BOCA 1999 under type 2B construction and will utilize applicable U.L. Designs.

Soil conditions require the building foundation to be supported by piles. Concrete filled steel pipe piles will be utilized to support a reinforced concrete perimeter grade beam / foundation and reinforced concrete pile caps at interior column locations.

Substantial completion of this project is expected within (12) twelve months from the commencement of construction.

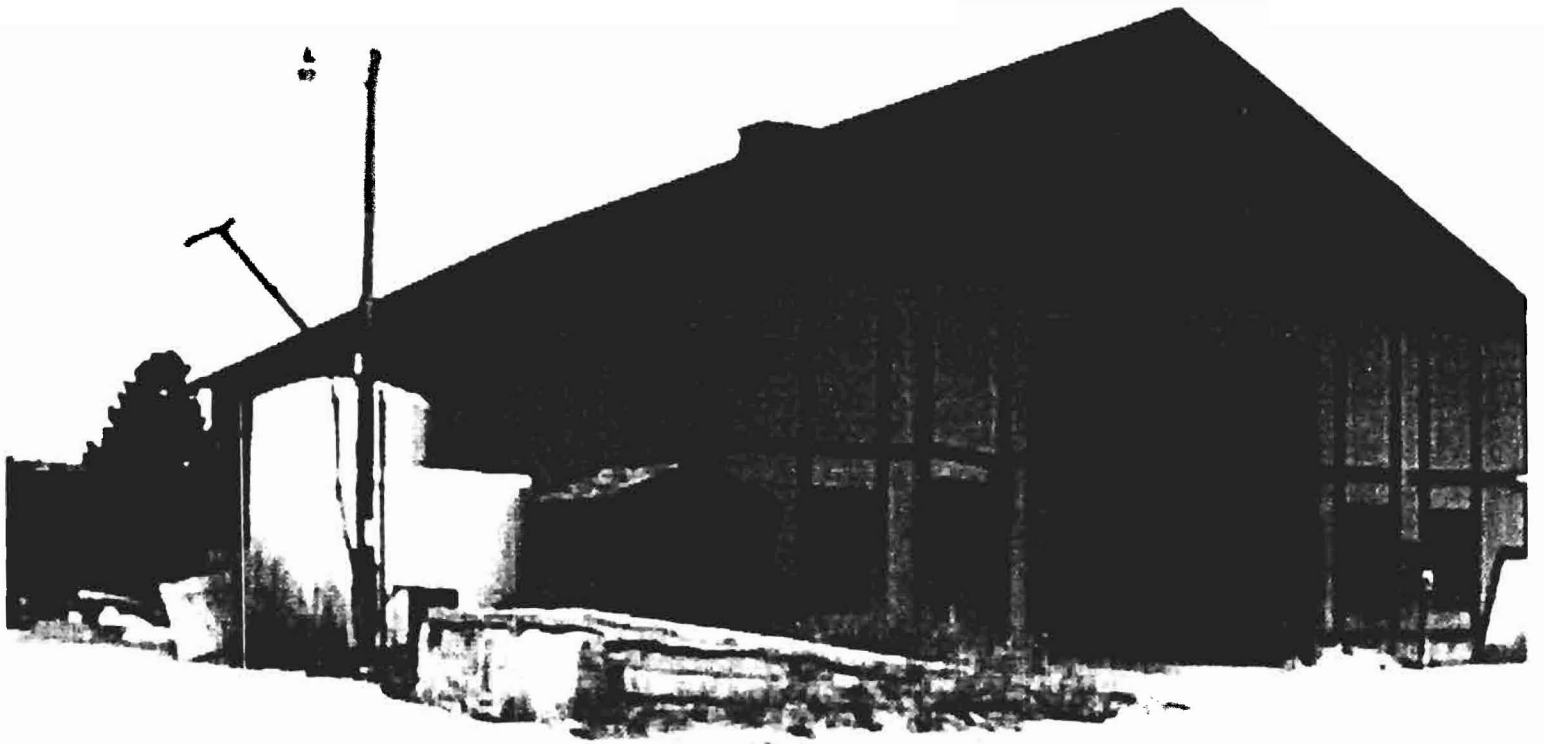
Sincerely,

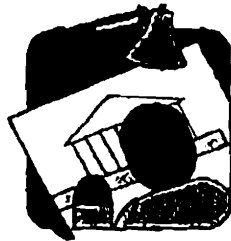
A handwritten signature in black ink, appearing to read "Douglas R. Bartlett", is written over a circular stamp or mark.

Douglas R. Bartlett  
Project Manager

Enclosure

DRB/smk





### CITY OF PORTLAND MAINE

389 Congress St., Rm 315

Portland, ME 04101

Tel. - 207-874-8704

Fax - 207-874-8716

**TO:** Inspector of Buildings City of Portland, Maine  
Planning & Urban Development  
Division of Housing & Community Services

**FROM DESIGNER:** KEITH P. HEMINGWAY, ARCHITECT  
OPECHEE CONST. CORP., 11 CORPORATE DR., BELMONT, NH

**DATE:** 10/17/01

**Job Name:** Bayside Office Building

**Address of Construction:** Marginal Way @ Freble St. Extension

#### THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION

Construction project was designed according to the building code criteria listed below:

**Building Code and Year** 1999 **Use Group Classification(s)** Business

**Type of Construction** 2B **Bldg. Height** 62' w **Bldg. Sq. Footage** 52,262

**Seismic Zone** 1 **Group Class** 1

**Roof Snow Load Per Sq. Ft.** 42 PSF **Dead Load Per Sq. Ft.** 28 PSF

**Basic Wind Speed (mph)** 35 **Effective Velocity Pressure Per Sq. Ft.** 18.5

**Floor Live Load Per Sq. Ft.** 80 PSF

Structure has full sprinkler system? Yes  No  Alarm System? Yes  No   
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

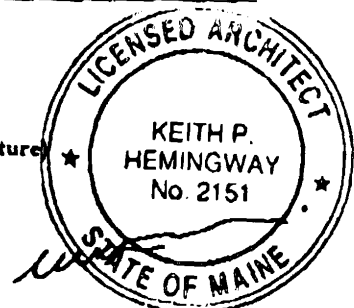
Is structure being considered unlimited area building: Yes  No

If mixed use, what subsection of 313 is being considered \_\_\_\_\_

List Occupant loading for each room or space, designed into this Project.

PSH 6/07/2K

(Designers Stamp & Signature)





**FAX TRANSMITTAL**

TO: Mike Nugent FAX: 207-874-8716  
COMPANY: City of Portland RE: Bayside Office Building  
FROM: Doug Bartlett DATE: 17 Oct 01

# OF PAGES INCLUDING COVER: 5

MESSAGE:

Mike

The following includes the demo call list and  
the completed forms from your 10/16 fax.

Please contact me if I can provide additional information  
or you have questions.

Thank you

DRB

11 CORPORATE DRIVE, BELMONT, NH 03220  
PHONE (603) 527-9090 FAX (603) 527-9191



### City of Portland, Maine

389 Congress St., Rm 315  
Portland, ME 04101

### ACCESSIBILITY CERTIFICATE

TO: Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Services

FROM: OPELHEE CONSTRUCTION CORP.

RE: Certificate of Design, HANDICAP ACCESSIBILITY

DATE: 10/17/01

These plans and/or specifications covering construction work on:

Bayside Office Building

Marginal Way e. Preble St. Extension

Have been designed and drawn up by the undersigned, a Maine registered engineer/architect according to State Regulations as adopted by the State of Maine on Handicapped Accessibility.

(SEAL)

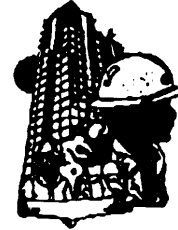


Signature [Handwritten Signature]

Title Project Architect

Firm OPELHEE CONST. CORP.

Address 11 CORPORATE DR., BELMONT, NH



**CITY OF PORTLAND  
BUILDING CODE CERTIFICATE  
389 Congress St., Rm 315  
Portland, ME 04101**

**TO:** Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Service

**FROM:** OPELEE CONSTRUCTION CORP.

**RE:** Certificate of Design

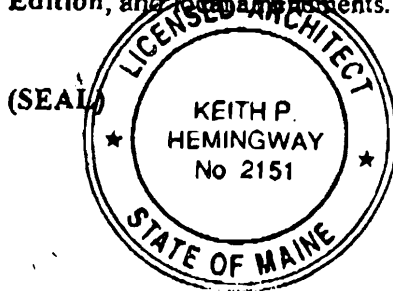
**DATE:** 10/17/01

These plans and/or specifications covering construction work on:

Bayside Office Building

Marginal Way @ Preble St. Extension

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and amendments.



Signature [Handwritten Signature]

Title Project Architect

Firm OPELEE CONST. CORP.

Address 11 CORPORATE DR., BELMONT, ME

As per Maine State Law:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

PSH 6/20/01



**16) General Information**

<p><i>property address:</i></p> <p>Prebble St./Marginal Way Portland, ME</p> <p><i>telephone:</i></p>	<p><i>asbestos survey performed by: (name &amp; address)</i></p> <p>Lee M. Danley PO Box 154 92 Scribner Rd. Fremont, NH 03044</p> <p><i>telephone:</i> 603-895-4900</p>
<p><i>property owner: (name &amp; address)</i></p> <p>Atlantic Bayside, LLC 50 Portland Pier 4th Floor Portland, ME</p> <p><i>telephone:</i></p>	<p><i>asbestos abatement contractor: (name &amp; address)</i></p> <p>n/a</p> <p><i>telephone:</i></p>
<p><i>demolition contractor: (name &amp; address)</i></p> <p>Danley Demolition Inc. PO Box 154 Fremont, NH 03044</p> <p>603-895-4900</p>	<p><i>demolition start date:</i></p> <p>November 1, 2001</p> <p><i>demolition end date:</i></p> <p>November 8, 2001</p> <p><i>building type: (commercial, residential, etc.)</i></p> <p>commercial</p>



## Maine Department of Environmental Protection

Asbestos/Lead Unit  
17 State House Station  
Augusta, Me 04333-0017

Tel (207) 287-2651 FAX (207) 287-7826

### Building Demolition Form (BDF)

#### A) Pre-Demolition Building Inspection and Abatement Information

#### *Important Notice: This Notification is Required by Law*

**Maine Law** requires that buildings be inspected for asbestos and that asbestos-containing materials be removed from any building prior to demolition. Demolition means the tearing down or intentional burning of a building or part of a building. This includes any institutional, commercial, public, industrial, or residential building. Inspection and/or removal of more than 3 square feet or 3 linear feet of asbestos-containing materials must be performed by an asbestos firm licensed by the ME DEP.

Municipalities are requested to have applicants for demolition permits complete this form prior to the issuance of a demolition permit. The Department also requests that a demolition permit **Not** be issued to an applicant for a "no" answer to any of the questions below. Please call (207) 287-2651 with any questions.

*Please answer all questions:*

1.  *yes*  *no* Has the building been inspected by a DEP licensed asbestos consultant?
2.  *yes*  *no* If asbestos was found, has a 10 day notification sent to DEP?
3.  *yes*  *no*  *n/a* Has the asbestos (if any) been removed by a DEP licensed asbestos contractor?

*Note:* This form constitutes notification to the Department when asbestos is not present in the building being demolished

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Insp Copy**

2001-0011

Application I. D. Number

01/26/2001

Application Date

**Bayside Office Building**

Project Name/Description

West, Ted - Atlantic National Trust

Applicant

50 Portland Pier, Portland, ME 04101

Applicant's Mailing Address

Wm. Nemmers

Consultant/Agent

Agent Ph: (207)775-6141

Agent Fax: (207) 773-0194

Applicant or Agent Daytime Telephone, Fax

68 - 76 Marginal Way, Preble Street

Address of Proposed Site

034A A002001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail

Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) New Office Building

50,000 sf

85,000 sf

B-5

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

**Check Review Required:**

- |  |   |  |  |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan<br>(major/minor) | <input type="checkbox"/> Subdivision<br># of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                          | <input type="checkbox"/> Shoreland                      | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional<br>Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance                | <input type="checkbox"/> Other _____           |  |

Fees Paid: Site Plan \$500.00 Subdivision \_\_\_\_\_ Engineer Review \$4,870.00 Date: 10/15/2001

**Insp Approval Status:**

Approved  Approved w/Conditions See Attached  Denied

Reviewer Marge Schmuckal

Approval Date 10/25/2001 Approval Expiration 10/25/2002 Extension to \_\_\_\_\_  Additional Sheets Attached

Condition Compliance Marge Schmuckal 10/25/2001  
signature date

Performance Guarantee  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issued	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

**West, Ted - Atlantic National Trust**

Applicant

**50 Portland Pier, Portland, ME 04101**

Applicant's Mailing Address

**Wm. Nemmers**

Consultant/Agent

**Agent Ph: (207) 775-6141**

**Agent Fax: 2077730194**

Applicant or Agent Daytime Telephone, Fax

**2001-0011**

Application I. D. Number

**01/26/2001**

Application Date

**Bayside Office Building**

Project Name/Description

**68 - 76 Marginal Way, Preble Street**

Address of Proposed Site

**034A A002001**

Assessor's Reference: Chart-Block-Lot

**Approval Conditions of Insp**

- 1 This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2 Separate permits shall be required for any new signage.



November 01, 2001

VIA: Hand Delivery

Mike Nugent, Building Inspector  
City of Portland, Maine  
389 Congress Street  
Portland, ME 04101

RE: Atlantic Bayside Square, LLC; Portland, Maine

Dear Mr. Nugent,

In response to your request for additional information required for the shell permit for the above referenced building we are providing you with the following:

- 1) Baluster design is shown on revised plan A13.
- 2) Area of refuge is not required for new buildings that have a supervised automatic sprinkler system with 24 hour monitoring as referenced by: Code of Federal Regulations 28 CFR Part 36, 4.1.3 (9) and NFPA 101, 5-2.12.1 (Exception to b)
- 3) Fire doors are shown on attached door schedule.
- 4) Fire rating for the floor / ceiling is to be UL Design G201 and for the roof / ceiling is to be UL Design P225. Both listings have been added to plan A1.
- 5) Roof access is via a roof hatch with ladder from the fifth floor janitor room and is shown on a revised A6 - Fifth floor plan as well as A21 - Roof plan.
- 6) There are no contemplated concentrated floor load areas.
- 7) The following is the formula used for the roof snow load design:  $P_f = 0.7(C_e)(C_t)(I)(P_g)$  where  $C_e = 1.0$ ;  $C_t = 1.0$ ;  $I = 1.0$ ;  $P_g = 60$  psf; therefore  $P_f = 42$  psf.
- 8) It is our feeling that Stair-1 discharges into an *exit discharge lobby* allowable under BOCA 1999 Section 1020.0 and NFPA 101 Section 5-7. Wall types in the discharge area of Stair-2 have been changed to the same fire rating as the Stair-2 walls and are shown on revised plan A2.
- 9) Seismic classification is as follows: Seismic Hazard Exposure of Group 1, Seismic Performance Category of C,  $A_v = 0.10$ ,  $A_a = 0.10$ , Site Coefficient is 2.0. Design certification per attached.
- 10) Window / Glazing notes are shown on plan A16. Glazing contractor is to provide shop drawings for review and approval with additional details and glass loads complying with BOCA 1999.
- 11) Masonry notes have been added to plan A7 and additional detail has been added to plans A9 and A10.
- 12) Roof drainage is shown on attached plan A21.

As discussed, plumbing, electrical and mechanical drawings are forthcoming. Please feel free to contact me if I may be of further assistance.

Sincerely,

A handwritten signature in black ink, appearing to read "Douglas R. Bartlett", is written over a horizontal line.

Douglas R. Bartlett  
Project Manager

Enclosure  
DRB/smk

Inspection Services  
Michael J. Nugent  
Manager

Housing & Neighborhood Services  
Mark B Adelson  
Director



## CITY OF PORTLAND

10/24/01  
Doug Bartlett  
Opechee Construction  
11 Corporate Dr.  
Belmont, NH 03220

RE: 68-76 Marginal Way (034A A002)

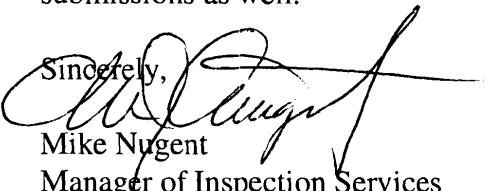
Dear Doug,

An preliminary evaluation of the construction documents for the shell of the proposed Bayside Office Complex has been performed and the following additional information is required:

- 1) Balluster design for the interior stairways,
- 2) Area of refuge
- 3) Firedoor Schedule
- 4) Fire rating on floor/ceiling/roof system
- 5) Roof access
- 6) Any contemplated concentrated floor load areas and the design compensation for them
- 7) Formula used for the roof snow load design.
- 8) Both first floor exit accesses lacks fire rating continuity
- 9) Seismic classification and design certification
- 10) Window/Glazing details, including loading pursuant to Section 24 of the 1999 BOCA Code.
- 11) Masonry installation details pursuant to Section 21 of the 1999 BOCA Code.
- 12) Roof Drainage detail

Pursuant to our conversation, it is understood that all plumbing, electrical, mechanical and HVAC plans are forthcoming. Rick Knowland, Senior Planner, advises that the performance guarantee issues have not been addressed, thus the project has not been approved by Planning. I am attaching Section 1705. of the Building Code. It is required that Special Inspection be provided as specified. Please address this section in your submissions as well.

Sincerely,

  
Mike Nugent

Manager of Inspection Services

**DOOR SCHEDULE**

DOOR #	DOOR							FRAME					HARDWARE										LOCATION	REMARKS	
	ELEVATION TYPE	SIZE	MATERIAL	FINISH	CORE TYPE	GLAZING	FIRE LABEL	MATERIAL	THROAT	ANCHORS	HEAD DEPTH	SIDELIGHT	CONSTRUCTION	FUNCTION	CLOSER	MASTER SECURITY #	FINISH	W-STRIP	US32D NRP BUTTS	THRESHOLD	LOUVER	INACTIVE LEAF BOLTS			SWING
FIRST FLOOR																									
100 E1	A	2 @ 3'0"X7'0"	MEDIUM STILE ALUM.	ALUM	AT	FULL		ALUM	4-1/2"	-	4"	SF	AT	PUSH/PULL-LOCK W/ EGRESS PADDLE	X			X	X				PR	SOUTH WEST MAIN ENTRY	OUTSWING
100 E2	A	2 @ 3'0"X7'0"	MEDIUM STILE ALUM.	ALUM	AT	FULL		ALUM	4-1/2"	-	4"	SF	AT	PUSH/PULL-LOCK W/ EGRESS PADDLE	X			X	X				PR	NORTH EAST MAIN ENTRY	OUTSWING
100 ST1	B	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	5X20	2HR	18 GA	6-1/8"	MS	2"	NO	KD	PASSAGE-F75	X	US26D							LH	STAIR - 1	
100 ST2	B	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	5X20	2HR	18 GA	6-1/8"	MS	2"	NO	KD	PASSAGE-F75	X	US26D							LH	STAIR - 2	
101 A	A	3'0"X6'8"	MEDIUM STILE ALUM.	ALUM	AT	FULL		ALUM	4-1/2"	MS	2"	SF	AT	PUSH/PULL-LOCK W/ EGRESS PADDLE	X	US26D			X				LH	OFFICE TO LOBBY	OUTSWING
101 B	A	3'0"X6'8"	MEDIUM STILE ALUM.	ALUM	AT	FULL		ALUM	4-1/2"	MS	2"	SF	AT	PUSH/PULL-LOCK W/ EGRESS PADDLE	X	US26D			X				RH	OFFICE TO LOBBY	OUTSWING
102 A	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	NO	KD	OFFICE LOCK - F81	X	US26D							LH	CORRIDOR TO LOBBY	
102 B	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	PASSAGE-F75		US26D							RH	OFFICE TO CORRIDOR	
103	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	STORE ROOM - F86		US26D							RH	CORRIDOR TO ELEC.	
104	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	NO	KD	PASSAGE-F75		US26D							LH	CONFERENCE 104	
105	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	PASSAGE-F75		US26D							RH	CONFERENCE 105	
106	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	STORE ROOM - F86		US26D							LH	STORAGE106	
107	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81		US26D							RH	MANAGER 107	
108	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81		US26D							LH	MANAGER 108	
109	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	PASSAGE-F75		US26D							RH	CONFERENCE 109	
110	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	NO	KD	STORE ROOM - F86		US26D							LH	STORAGE 110	
111	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81		US26D							RH	OFFICE 111	
112	D	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	24x30		18GA	4-7/8"	MS	2"	NO	KD	PASSAGE-F75		US26D							RH	BREAK 112	
113	C	2 @ 3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE	2HR	18 GA	4-7/8"	MS	2"	NO	KD	STORE ROOM - F86		US26D						X	LH	MECHANICAL 113	
114 A	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE	2HR	18GA	4-7/8"	MS	2"	NO	KD	OFFICE LOCK - F81	X	US26D							LH	OFFICE TO VESTIBULE	
115	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	PUSH / PULL	X	US26D							RH	WOMEN	
116	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	NO	KD	PUSH / PULL	X	US26D							LH	MEN	
117	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	PRIVACY - F76		US26D							RH	REST ROOM 117	
118	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	PRIVACY - F76		US26D							LH	REST ROOM 118	
119	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	STORE ROOM - F86		US26D							RH	UTILITY 119	

**DOOR SCHEDULE**

DOOR #	DOOR												FRAME		HARDWARE										LOCATION	REMARKS
	ELEVATION TYPE	SIZE	MATERIAL	FINISH	CORE TYPE	GLAZING	FIRE LABEL	MATERIAL	THROAT	ANCHORS	HEAD DEPTH	SIDELIGHT	CONSTRUCTION	FUNCTION	CLOSER	MASTER SECURITY #	FINISH	W-STRIP	US32D NRP BUTTS	THRESHOLD	LOUVER	INACTIVE LEAF BOLTS	SWING			
SECOND FLOOR																										
200 ST1	B	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	5X20	2HR	18GA	6-1/8"	MS	2"	NO	KD	PASSAGE-F75	X	US26D							LH	STAIR - 1		
200 ST2	B	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	5X20	2HR	18 GA	6-1/8"	MS	2"	NO	KD	PASSAGE-F75	X	US26D							RH	STAIR - 2		
201	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	PASSAGE-F75		US26D							RH	CONFERENCE 201		
202	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81		US26D							LH	TRAINING 202		
203	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81		US26D							RH	MANAGER 203		
204	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	OFFICE LOCK - F81		US26D							LH	MANAGING DIRECTOR 204		
205	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	PASSAGE-F75		US26D							RH	CONFERENCE 205		
206	D	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	24x30		18 GA	4-7/8"	MS	2"	NO	KD	PASSAGE-F75		US26D							LH	BREAK 206		
207	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81		US26D							LH	MANAGER 207		
208	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81		US26D							LH	MANAGER 208		
209	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81		US26D							RH	MANAGER 209		
210	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	STORE ROOM - F86		US26D							LH	JANITOR 210		
211	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	NO	KD	PUSH / PULL	X	US26D							LH	WOMEN 211		
212	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	PUSH / PULL	X	US26D							RH	MEN 212		
213	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	STORE ROOM - F86		US26D							LH	STORAGE 213		
214	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	NO	KD	PRIVACY - F76		US26D							RH	RESTROOM 214		
215	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	PRIVACY - F76		US26D							LH	RESTROOM 215		



**DOOR SCHEDULE**

DOOR #	DOOR										FRAME										HARDWARE										LOCATION	REMARKS
	ELEVATION TYPE	SIZE	MATERIAL	FINISH	CORE TYPE	GLAZING	FIRE LABEL	MATERIAL	THROAT	ANCHORS	HEAD DEPTH	SIDELIGHT	CONSTRUCTION	FUNCTION	CLOSER	MASTER SECURITY #	FINISH	W-STRIP	US32D NRP BUTTS	THRESHOLD	LOUVER	INACTIVE LEAF BOLTS	SWING									
THIRD FLOOR																																
300 ST1	B	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	5X20	2HR	18GA	6-1/8"	MS	2"	NO	KD	PASSAGE-F75	X		US26D							LH	STAIR - 1							
300 ST2A	B	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	5X20	2HR	18 GA	6-1/8"	MS	2"	NO	KD	PASSAGE-F75	X		US26D							RH	STAIR - 2							
300 ST2B	B	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE	2HR	18GA	6-1/8"	MS	2"	NO	KD	PASSAGE-F75	X		US26D							LH	STAIR - 2							
301 A	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	OFFICE LOCK - F81	X		US26D							LH	CORRIDOR TO LOBBY 301							
301 B	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81	X		US26D							RH	OFFICE TO LOBBY 301							
302	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE	2HR	18GA	4-7/8"	MS	2"	NO	KD	STORE ROOM - F86	X		US26D							RH	ELEVATOR MACHINE 302							
303	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	OFFICE LOCK - F81			US26D							RH	V. P. FINANCE 303							
304	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81			US26D							LH	ACCOUNTING MGR. 304							
305	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81			US26D							RH	V.P. INFO. SYSTEMS 305							
306 A	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	STORE ROOM - F86			US26D							RH	STORAGE 306							
306 B	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	STORE ROOM - F86			US26D							LH	STORAGE 306							
307	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	PASSAGE-F75			US26D							RH	CONFERENCE 307							
308	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	18"	W	PASSAGE-F75			US26D							LH	CONFERENCE 308							
309	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	OFFICE LOCK - F81			US26D							LH	COMPUTER 309							
310	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	STORE ROOM - F86			US26D							LH	ELECTRICAL 310							
311	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	PASSAGE-F75			US26D							LH	BREAK 311							
312	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	NO	KD	PRIVACY - F76			US26D							LH	RESTROOM 312							
313	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	PRIVACY - F76			US26D							RH	RESTROOM 313							
314	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	STORE ROOM - F86			US26D							LH	STORAGE 314							
315	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	PUSH / PULL	X		US26D							RH	WOMEN 315							
316	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	NO	KD	PUSH / PULL	X		US26D							LH	MEN 316							
317	C	2 @ 26"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	BI-PASS PULLS			US26D							BP	CLOSET 317							

**DOOR SCHEDULE**

DOOR #	DOOR										FRAME										HARDWARE										LOCATION	REMARKS
	ELEVATION TYPE	SIZE	MATERIAL	FINISH	CORE TYPE	GLAZING	FIRE LABEL	MATERIAL	THROAT	ANCHORS	HEAD DEPTH	SIDELIGHT	CONSTRUCTION	FUNCTION	CLOSER	MASTER SECURITY #	FINISH	W-STRIP	US32D NRP BUTTS	THRESHOLD	LOUVER	INACTIVE LEAF BOLTS	SWING									
FOURTH FLOOR																																
400 ST1	B	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	5X20	2HR	18GA	6-1/8"	MS	2"	NO	KD	PASSAGE-F75	X		US26D						LH	STAIR - 1								
400 ST2	B	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	5X20	2HR	18 GA	6-1/8"	MS	2"	NO	KD	PASSAGE-F75	X		US26D						LH	STAIR - 2								
401	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	PASSAGE-F75			US26D						RH	CONFERENCE 401								
402	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81			US26D						RH	OFFICE 402								
403	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81			US26D						LH	OFFICE 403								
404	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81			US26D						RH	OFFICE 404								
405	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	PASSAGE-F75			US26D						LH	CONFERENCE 405								
406	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81			US26D						LH	OFFICE 406								
407	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81			US26D						RH	OFFICE 407								
408	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81			US26D						LH	OFFICE 408								
409	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81			US26D						RH	OFFICE 409								
410	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81			US26D						LH	OFFICE 410								
411	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81			US26D						RH	OFFICE 411								
412	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81			US26D						RH	OFFICE 412								
413	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	PASSAGE-F75			US26D						LH	CONFERENCE 413								
414	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	STORE ROOM - F86			US26D						LH	STORAGE 414								
415	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	OFFICE LOCK - F81			US26D						LH	COMPUTER 415								
416	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81			US26D						LH	OFFICE 416								
417	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81			US26D						RH	OFFICE 417								
418	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81			US26D						LH	OFFICE 418								
419	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81			US26D						RH	OFFICE 419								
420	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81			US26D						LH	OFFICE 420								
421	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81			US26D						RH	OFFICE 421								
422	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81			US26D						LH	OFFICE 422								
423	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81			US26D						RH	OFFICE 423								
424	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81			US26D						LH	OFFICE 424								
425	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81			US26D						RH	OFFICE 425								
426	D	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	24x30		18GA	4-7/8"	MS	2"	NO	KD	PASSAGE-F75			US26D						RH	BREAK 426								
427	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	STORE ROOM - F86			US26D						RH	STORAGE 427								
428	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	PUSH / PULL	X		US26D						LH	WOMEN 428A								
429	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	NO	KD	PUSH / PULL	X		US26D						RH	MEN 429A								
430	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	STORE ROOM - F86			US26D						LH	JANITOR 430								
431	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	PRIVACY - F76			US26D						LH	RESTROOM 431								
432	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	PRIVACY - F76			US26D						RH	RESTROOM 432								

**DOOR SCHEDULE**

DOOR #	ELEVATION TYPE	SIZE	DOOR					FRAME						FUNCTION	CLOSER	MASTER SECURITY #	FINISH	W-STRIP	US32D NRP BUTTS	THRESHOLD	LOUVER	INACTIVE LEAF BOLTS	SWING	LOCATION	REMARKS		
			MATERIAL	FINISH	CORE TYPE	GLAZING	FIRE LABEL	MATERIAL	THROAT	ANCHORS	HEAD DEPTH	SIDELIGHT	CONSTRUCTION														
FIFTH FLOOR																											
500 ST1	B	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	5X20	2HR	18GA	6-1/8"	MS	2"	NO	KD	PASSAGE-F75	X	US26D									LH	STAIR - 1	
500 ST2	B	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	5X20	2HR	18 GA	6-1/8"	MS	2"	NO	KD	PASSAGE-F75	X	US26D									RH	STAIR - 2	
501	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	STORE ROOM - F86		US26D									RH	STORAGE 501	
502	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81		US26D									RH	H.R. MANAGER 502	
503	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	18"	W	PASSAGE-F75		US26D									RH	CONFERENCE 503	
504	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81		US26D									LH	MARKETING MGR. 504	
505	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81		US26D									RH	MANAGER 505	
506	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81		US26D									LH	V.P. TRAVEL 506	
507	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	PP	W	OFFICE LOCK - F81		US26D									LH	BOARDROOM 507	
508	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81		US26D									RH	PRESIDENT 508	
509	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	PASSAGE-F75		US26D									RH	CONFERENCE 509	
510	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	18"	W	OFFICE LOCK - F81		US26D									LH	EXEC. V.P. 510	
511	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18 GA	4-7/8"	MS	2"	NO	KD	STORE ROOM - F86		US26D									LH	JANITOR 511	
512	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	PUSH / PULL	X	US26D									LH	WOMEN 512	
513	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	PUSH / PULL	X	US26D									RH	MEN 513	
514	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	STORE ROOM - F86		US26D									RH	STORAGE 514	
515	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	PRIVACY - F76		US26D									LH	RESTROOM 515	
516	C	3'0"X6'8"	HARDWOOD VENEER	PRE-FIN	SC	NONE		18GA	4-7/8"	MS	2"	NO	KD	PRIVACY - F76		US26D									RH	RESTROOM 516	

**GENERAL DOOR NOTES:**

1. ALL HARDWARE TO BE COMMERCIAL GRADE.
2. INTERIOR HINGES TO 4-1/2" FULL MORTISE.
3. EXTERIOR HINGES TO BE 4-1/2" STAINLESS STEEL, FULL MORTISE W/ NON REMOVABLE PINS.
4. RUBBER DOOR SILENCERS TO BE PLACED WITHIN STEEL DOOR FRAMES.
5. DOOR STOPS TO BE FLOOR MOUNTED DOOME TYPE.
6. WEATHER STRIPPING TO BE RUBBER GASKET TYPE W/ ALUMINUM MILL FINISH MOUNTING SURFACE.
7. THRESHOLDS TO BE ADA APPROVED SADDLE TYPE W/ ALUMINUM MILL FINISH, DESIGNED TO ACCOMMODATE THE FLOORING WHICH THEY ABUT.

**KEYING NOTES:**

**ALUMINUM DOOR NOTES:**

1. DOORS TO BE MEDIUM STYLE.
2. GLASS TO BE TEMPERED INSULATED GLASS.
3. HARDWARE TO BE COMMERCIAL DUTY.
4. LOCKING HARDWARE TO BE COMMERCIAL DUTY.
5. ALL ALUMINUM DOORS AND FRAMING TO BE FACTORY ANODIZED FINISH.

**ABBREVIATIONS:**

INSUL - INSULATED  
PRE-FIN - FACTORY STAINED PRE-FINISHED W/ CLEAR LACQUER OR VARNISH  
SC - SOLID CORE  
ALUM - ALUMINUM  
MS - METAL STUDWALL  
MA - MASONRY  
KD - KNOCK DOWN CONSTRUCTION  
W - WELDED CONSTRUCTION  
AT - ALUMINUM TUBE  
LH - LEFT HAND SWING  
RH - RIGHT HAND SWING  
PR - PAIR  
SF - STOREFRONT

**Site Review Pre-Application  
Multi-Family/Attached Single Family Dwellings/Two-Family Dwelling  
or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for Site Plan Review

**NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

<p>Applicant <u>TED WEST, ATLANTIC NATIONAL TRUST</u> <u>50 PORTLAND PIEK,</u> <u>PORTLAND, ME. 04101- 828-1080</u></p> <p>Applicant's Mailing Address _____</p> <p>Consultant/Agent <u>WILLIAM NEMMERS</u> <u>924 FORE ST.</u> <u>PORTLAND ME 04101 774-3683</u></p> <p>Applicant/Agent Daytime telephone and FAX _____</p> <p>Proposed Development (Check all that apply) <input checked="" type="checkbox"/> New Building _____ Building Addition _____ Change of Use _____ Residential _____ <input checked="" type="checkbox"/> Office _____ Retail _____          _____ Manufacturing _____ Warehouse/Distribution _____ Other(Specify) _____</p> <p><u>50,000 SF</u> Proposed Building Square Footage and /or # of Units</p>	<p>Application Date <u>01-24-01</u></p> <p>Project Name/Description <u>BOYSIDE OFFICE BUILDING</u></p> <p>Address Of Proposed Site <u>6 MARGINAL WAY @ PRESLE ST.</u> <u>342 • Δ • 002 5 094</u></p> <p>Assessor's Reference, Chart#, Block, Lot# _____</p> <p>_____ Building Addition _____ Change of Use _____ Residential _____ <input checked="" type="checkbox"/> Office _____ Retail _____          _____ Manufacturing _____ Warehouse/Distribution _____ Other(Specify) _____</p> <p><u>85,000 SF</u> Acreage of Site</p> <p><u>P2-1</u> Zoning</p>
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You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) 9 sets of Site Plan packages containing the information found in the attached sample plans and checklist.

(Section 14-522 of the Zoning Ordinance outlines the process, copies are available for review at the counter, photocopies are \$ 0.25 per page)

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if an approval for the proposed project or use described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this approval at any reasonable hour to enforce the provisions of the codes applicable to this approval.

Signature of applicant: 	Date: <u>01-24-01</u>
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Site Review Fee: Major \$500.00 Minor 400.00

This application is for site review ONLY, a Building Permit application and associated fees will be required prior to construction.



WILLIAM NEMMERS ASSOCIATES ARCHITECTS  
424 FORE ST. PORTLAND, ME 04101 774-3683

January 17, 2001

Marge Schmuckal, Zoning Administrator  
City of Portland  
Portland, Maine 04101

Re SITE PLAN APPLICATION  
OFFICE BUILDING  
MARGINAL WAY @ PREBLE STREET

Dear Marge

With this letter I am submitting an Application for Site Plan Approval for the above project. The Application includes (9) copies of

- |   |                                   |
|---|-----------------------------------|
| a) the application                            |                                   |
| b) written statement                          |                                   |
| c) copy of deed                               |                                   |
| d) letter of financial capacity               | Foothill Bank                     |
| e) site plans including layout and grading    | E.E.R. Site Engineers             |
| f) landscape plans                            | Barry Hosmer, Landscape Architect |
| g) boundary survey                            | Titcomb Assoc. Surveyors          |
| h) building plans and elevations              | William Nemmers, Architect        |
| i) proposal for the re-design of Marginal Way | William Nemmers, Architect        |

We have reviewed the project with in the Portland Planning Office. The Project consists of a 50,000 square foot building with a footprint of 10,000 sq ft per floor. We have shown parking for 159 full size cars on the site. There is no Zoning requirement for any parking, but the building tenants need parking.

The Site consists of two parcels put together by the Developer. There is a 34,000 sf lot on the corner of Preble and Marginal Way ( the Salt Shed Lot) which has been acquired from the city for the purpose of constructing a project of this magnitude and there is the adjacent 52,000 sf abandoned paper warehouse lot.

There are no ordinance required setback requirements.

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**Office Building Project  
Marginal Way @ Preble Street  
WRITTEN STATEMENT for SITE PLAN REVIEW**

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**AUGUST 1999**

- 1) **OWNER:** Ted West, Atlantic National Trust, 50 Portland Pier  
Portland, ME 04101
  - 2) **DESCRIPTION OF USE:** The site presently consists of two parcels, one housing a warehouse, and one housing the City of Portland's salt shed. This Proposal would construct a 5-story, 50,000 square foot office building and approximately 160 parking spaces on the two parcels.
  - 3) **TOTAL AREA OF SITE:** The property has been surveyed and consists of approximately 85,000 square feet.
  - 4) **TOTAL AREA OF BUILDING GROUND COVER:** The proposed building has a ground cover area of 10,100 square feet.
  - 5) **EASEMENTS:** There are no easements on the property. The City of Portland has included several conditions-of-use in the sale agreement to the Applicant. These conditions have to do with the bulk and use of the property; a building of 50,000 square feet is required with a major use of office space required.
  - 6) **SOLID WASTE GENERATION:** Solid wastes, normal for office uses generated by the site's users will be contracted for private removal. An enclosed waste holding area will be included as part of the building design.
  - 7) **EVIDENCE OF SEWER AND WATER ACCESS:** The building is served by laterals from existing sanitary waste and water lines existing in Marginal Way. There appears to be enough capacity to accommodate this project, however, the development of this Bayside Area may require changes in the existing systems.
  - 8) **DRAINAGE SITUATION:** The current Storm Drain line is a 96" reinforced concrete pipe in Marginal Way, in the right-of-way on our side of the street. Water from our site will be discharged into this line after being run through a silt/oil separator.
  - 9) **CONSTRUCTION SCHEDULE:**  
The construction of the building would commence in the Spring of 2001.
  - 10) **COMMENT REGARDING FEDERAL OR STATE PERMITS:** No State or Federal Permits are required for the project at this time. If
-

The ordinance limits the building height to 65 feet, exclusive of rooftop appurtenances. Our design is shown as five stories and 65 feet high.

The plans of the city for the Bayside area are still being developed. This fact introduces several undetermined issues into the development of this project. Some of these issues can be resolved as this building gets developed and other issues are longer term ones that will have to be completed after this project is constructed. Examples of the former are the building design as relates to the area. Examples of the latter are the redesign of the Forest Avenue / 1296 interchange, the introduction of the Amtrak rail line, new sewer, water and electric utilities for the area, and the development of a new plan for Marginal Way. With regard to the last item, we have included a sketch of what a redesigned Marginal Way might be. This schematic plan includes input from the Planning Office and our ideas and includes parking, narrower travel lanes, sidewalks and planting philosophy, and the losing of Hanover Street. These improvements will in all probability be scheduled after our building is in place and therefore some phasing of the sitework may be necessary.

We would like to be put on the Planning Board Schedule for a workshop session. If you need additional information, please let me know.

Sincerely,



William Nemmers



**PURCHASE AND SALE AGREEMENT**

**THIS AGREEMENT** for the purchase and sale of real estate made as of the 28~~th~~ day of July, 2000 by and between the **CITY OF PORTLAND**, a body politic and corporate located in Cumberland County, Maine (hereinafter referred to as "**CITY**"), and **ATLANTIC NATIONAL TRUST, LLC** of 50 Portland Pier, Suite 400, Portland in Cumberland County, Maine (hereinafter referred to as "**BUYER**").

**WITNESSETH:**

**WHEREAS, CITY** did issue a Request for Proposals, RFP #7700, entitled "Sale and Re-Use of the "Salt Shed" Property (hereinafter "Property") and

**WHEREAS, BUYER** submitted a proposal dated June 15, 2000 in response to said Request for Proposals; and

**WHEREAS, CITY** has determined that **BUYER's** Proposal best suits the development of the Property;

**NOW, THEREFORE,** in consideration of the foregoing and for other good and valuable consideration, the parties intend to be legally bound as follows:

1. **SALE.**

**CITY** agrees to sell the Property as shown in Attachment 1 to Attachment A attached hereto and incorporated herein, to the **BUYER**, and **BUYER** agrees to purchase the Property in accordance with the provisions hereof.

2. **CONSIDERATION.**

The purchase price for the Property shall be One Hundred Ninety Five Thousand Dollars (\$195,000.00), which amount shall be paid at the closing set forth in Paragraph 6 hereof but subject to the terms of Paragraph 13 hereof.

3. **TITLE.**

Title to the Property shall be conveyed by Quitclaim Deed and shall be free of **CITY** liens.

4. **POSSESSION.**

Full possession of the Property will be given at the transfer of title.

5. **RISK OF LOSS.**

The risk of loss or damage to the Property by fire or otherwise, until transfer of title hereunder, is assumed by CITY. The Property is to be delivered in substantially the same condition as of the date of this Agreement, subject to the right of CITY to remove certain property as set forth in said Request for Proposal.

6. **CLOSING.**

The closing shall be held at City Hall, at a time mutually agreeable to the parties within thirty (30) days of the completion of all conditions to closing described in paragraph 7 of this Agreement, but in any event no later than Three Hundred and Sixty (360) days from the date of this Agreement.

7. **CONDITIONS TO CLOSING.**

- a. BUYER shall obtain all necessary federal, State and City approvals for the construction of an office and retail building of a minimum square footage amount of 50,000 square feet and accompanying site improvements as described in BUYER's aforesaid Proposal (hereinafter collectively, "Project") which is hereby incorporated and made part of this agreement (see Attachment B). Design of said building must comply with the Bayside Vision, CITY's Request for Proposal, BUYER's Proposal and all CITY and State land use and building/fire code regulations, all as determined by the Planning Board in the course of Site Plan Review;
- b. BUYER shall provide proof of financial commitments and/or financial information acceptable to CITY demonstrating BUYER's ability to construct the Project;
- c. BUYER shall provide proof of application for a building permit;
- d. BUYER shall secure office and retail tenants that shall occupy a minimum of Eighty-five percent (85%) of the Project.

8. **CONDITIONS WHICH SURVIVE THE CLOSING.**

- a. BUYER shall substantially commence construction of the Project by October 1, 2001 and BUYER shall substantially complete the project by December 31, 2002;
- b. This obligation shall be secured by a junior mortgage on the Property in substantially the same form attached hereto as Attachment C.

- c. **BUYER** shall provide to **CITY** a Letter of Credit acceptable to **CITY** in an amount equal to the amount secured by the senior mortgage on the Property as of the date **CITY** obtains a non-appealable judgement of foreclosure on its junior mortgage. This Letter of Credit shall only be called by the **CITY** in the event that **CITY** obtains such judgment of foreclosure. **CITY** shall utilize funds from the Letter of Credit to pay off and satisfy the senior mortgage on the Property.

**9. BINDING EFFECT.**

This Agreement shall be binding upon and inure to the benefit of the parties hereto and their respective heirs, administrators, successors and assigns.

**10. ENTIRE AGREEMENT.**

This Agreement represents the entire and complete Agreement and understanding between the parties and supersedes any prior Agreement or understanding, written or oral, between the parties with respect to the acquisition or exchange of the Property.

**11. HEADINGS AND CAPTIONS.**

The headings and captions appearing herein are for the convenience of reference only and shall not in any way affect the substantive provisions hereof.

**12. GOVERNING LAW.**

This Agreement shall be governed by and construed and enforced in accordance with the laws of the State of Maine.

**13. NOTICE.**

Any notice required or permitted under this Agreement shall be deemed sufficient if mailed with first class postage affixed or delivered in person to:

FOR THE CITY:	City of Portland ATTN: CITY MANAGER 389 Congress Street Portland, ME 04101
With a copy to:	Lee Urban, Director of Economic Development

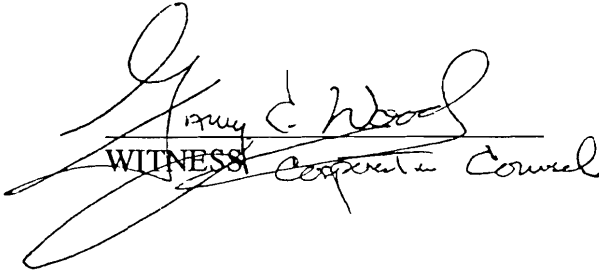
FOR THE BUYER:	Atlantic National Trust, LLC 50 Portland Pier, Suite 400 Portland, ME 04101 Attention: Dean Stilphen
----------------	---

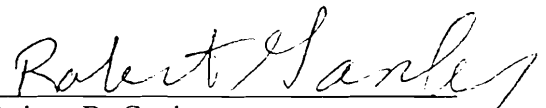
**14. DEPOSIT.**

**BUYER** has paid to **CITY** the sum of Five Thousand Dollars (\$5,000.00) as a deposit on said Property. This amount shall be credited toward the final purchase price. In the event that **BUYER** does not complete the purchase within thirty (30) days of the completion of the requirements described in Paragraph 7 of this Agreement, the deposit shall be retained by the **CITY** as liquidated damages.

IN WITNESS WHEREOF, the parties have hereunto set their hands and seals on the day and year first above written.

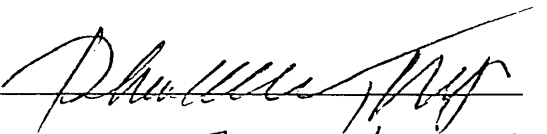
**CITY OF PORTLAND**

  
WITNESS *Corporate Counsel*

By:   
Robert B. Ganley  
Its City Manager

**ATLANTIC NATIONAL TRUST, LLC**

  
WITNESS

By:   
Printed name: *Theodore V. West*  
Its: *Manager*

# Foothill.

May 8, 2000

Benjamin C. Ceci, Vice President  
Peoples Heritage Bank  
One Portland Square  
PO Box 9540  
Portland, ME 04112-9540

Via Facsimile: (207) 761-8660

RE: Atlantic National Trust

Dear Mr. Ceci:

Atlantic National Trust has been a Foothill Capital account since 1996 and currently has a warehouse credit line of \$55 million and pre approved for \$65 million based upon Foothill acquiring a participant.

Atlantic National Trust is a 1 rated account on a scale of 1 -- 8 with 1 being the best. Since funding, the relationship has been and remains satisfactory.

Foothill is a Wells Fargo Bank company.

Please call if I can be of assistance.

Sincerely,



Todd Colpitts, Vice President

Foothill Capital Corporation  
617-624-1400 / Fax 617-722-9493  
60 State Street, Suite 1150, Boston, MA 02109

A **WELLS FARGO** Company

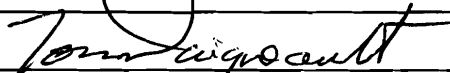
# All Purpose Building Permit Application for Demolition

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>66 Marginal Way</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot <u>333328F</u>
Tax Assessor's Chart, Block & Lot Chart#                  Block#                  Lot#	Owner: <u>Atlantic Bayside, LLC</u>	Telephone:
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone:	Cost Of Work: \$ _____  Fee: \$ _____
Current use: _____		
If the location is currently vacant, what was prior use: <u>City Salt Shed</u>		
Approximately how long has it been vacant: <u>?</u>		
Project description: <u>Demolish Salt Shed &amp; Fuel.</u>		
<b>DEMOLITION CALL LIST MUST BE SUBMITTED WITH THIS APPLICATION</b>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Ophee Construction Corp</u>		
Mailing address: <u>11 Corporate Drive Baltimore, N. H.</u>		
Phone: <u>603-527-9090</u>		

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: <u></u>	Date: <u>10-30-81</u>
--	-----------------------

**This is not a permit, you may not commence ANY work until the permit is issued. This is for residential demolition. Commercial demolition will require other types of permitting along with this permit, please inquire with support staff**



**CITY OF PORTLAND**

**The Demolition Call List must be submitted with a Building Permit Application**

**Property location: Marginal Way @ Peble St. Ext. Chart/Block/Lot 34 A - A - 2**

The call list below must be submitted with the building permit application. Please note any "commercial use" demolition will need additional approvals.

When making the submission please include a plot plan showing the location of the structure that is being removed along with a photograph. You may not remove or disconnect any type of lines (private or public) until you have received an *approved building permit*. If the building does not have one of the below utilities please put "does not apply". All Departments in bold must be notified under all circumstances.

**City Approvals**

<u>Department</u>	<u>Number</u>	<u>Contact</u>	<u>Date/Who you spoke with</u>
Public Works Sewer	874-8833	Todd Merkel	TM "Does not apply"
Public Works Traffic (if structure is being moved to another location)	874-8437	Gary Dobson	" " "Does not apply"
Public Works Sealed Drain Permit	874-8822	Carol Merritt	GD "Does not apply"
<b>Historical Preservation</b>	874-8726	Deb Andrews	CM "Does not apply" Deb Andrews 15 Oct 01
<b>Fire Dispatch</b>	874-8576	Dispatcher on Duty	Williams 15 Oct 01

**Utility Approvals**

<b>Dig Safe</b> (must receive 72 hours notice before digging can begin)	1-888-344-7233	Customer Service	Ref. # 2001 420 1539
Asbestos	1-207-287-2651	Ed Antz	Does not apply

I have contacted all the necessary companies and departments as indicated above

Signature [Signature] Date: 15 Oct 2001

city



Maine Department of Environmental Protection

Asbestos/Lead Unit  
 17 State House Station  
 Augusta, Me 04333-0017

Tel (207) 287-2651 FAX (207) 287-7826

Building Demolition Form (BDF)

A) Pre-Demolition Building Inspection and Abatement Information

**Important Notice: This Notification is Required by Law**

Maine Law requires that buildings be inspected for asbestos and that asbestos-containing materials be removed from any building prior to demolition. Demolition means the tearing down or intentional burning of a building or part of a building. This includes any institutional, commercial, public, industrial, or residential building. Inspection and/or removal of more than 3 square feet or 3 linear feet of asbestos-containing materials must be performed by an asbestos firm licensed by the ME DEP.

Municipalities are requested to have applicants for demolition permits complete this form prior to the issuance of a demolition permit. The Department also requests that a demolition permit Not be issued to an applicant for a "no" answer to any of the questions below. Please call (207) 287-2651 with any questions.

Please answer all questions:

1.  yes  no Has the building been inspected by a DEP licensed asbestos consultant?
2.  yes  no If asbestos was found, has a 10 day notification sent to DEP?
3.  yes  no  n/a Has the asbestos (if any) been removed by a DEP licensed asbestos contractor?

Note: This form constitutes notification to the Department when asbestos is not present in the building being demolished.

B) General Information

property address:  <b>Prebble St./Marginal Way                  Portland, ME</b>	asbestos survey performed by: (name & address)  <b>Lee M. Danley                  PO Box 154                  92 Scribner Rd.                  Fremont, NH 03044</b>
telephone:  	telephone: <b>603-895-4900</b>
property owner: (name & address)  <b>Atlantic Bayside, LLC                  50 Portland Pier                  4th Floor                  Portland, ME</b>	asbestos abatement contractor: (name & address)  <b>n/a</b>
demolition contractor: (name & address)  <b>Danley Demolition Inc.                  PO Box 154                  Fremont, NH 03044</b>	demolition start date:  <b>November 1, 2001</b>
telephone:  <b>603-895-4900</b>	demolition end date:  <b>November 8, 2001</b>
	building type: (commercial, residential, etc.)  <b>commercial</b>



01-1343  
034AAWZ

Asbestos Abatement  
Haz-Mat/Lead

**Environmental  
Compliance  
Specialist**

Selective Demolition  
Tank Closure

Phone: 603-642-9200

**Incorporated**  
**"Where Compliance Builds Confidence"**

Fax: 603-642-9223

# FAX

To:	<u>Mike Nuchent/ Code Enforcement</u>	From:	<u>Lauren</u>
Fax:	<u>207-874-8716</u>	Pages:	<u>5</u>
Phone:	<u></u>	Date:	<u>11/29/2001</u>
Re:	<u></u>	CC:	<u></u>

Urgent     
  For Review     
  Please Comment     
  Please Reply

## Comments

On December 7, 2001, ECSI will be at 295 Prebble Street doing some asbestos abatement. We will be there from 7am-3:30pm. If you have any questions or concerns please call me.

Thank you.

Contents of this Fax are **Confidential** and intended only for the person mentioned above

P.O. Box 1147

Atkinson, NH 03811

### NON-STANDARD VARIANCE REQUEST

(to be sent with notification and signed copy on-site at project)

A. Variance requested by (Name of Design Consultant):

Name: John D. Gill (DC 0041)

Company: Environmental Management, Inc.

Job Address: 295 Preble St. Portland ME.

B. Non-Standard Variance(s) Requested: Critical Barriers with Reduced Pressure and static clearances

C. Reason(s) for Non-Standard Variance including a description on how the asbestos project is distinctive (explain each non-standard variance requested)

The project is a demolition of a derelict structure. Flooring removal will open up the spaces beneath the floor. A negative pressure of 0.02" will be impossible to maintain without excessive action. By opening up the floor to the basement, dust from an area outside the scope of work will be drawn in by the negative air. Aggressive clearances will only further hinder the clearance process.

D. Signature:

 20041 11/19/01  
Design Consultant Date

ME DEP Approved  Disapproved  Date

**MAINE NOTIFICATION INFORMATION**

## 1. Notification limits and timing (state and federal):

## A. State: projects greater than 3 square or linear feet of acm.

Notification must be postmarked or hand delivered 10 calendar days prior to the start of the project. Projects beginning earlier than the start date on the original notification must be renotified (10 calendar days). **Changes** in start/completion dates must be received by the DEP no later than the day before the change. Calls, faxes, and letters acceptable.

## B. Federal: projects greater than 160 square or 260 linear feet or clean-ups (debris) greater than 3 cubic feet of acm. Notification must be postmarked, or hand delivered 10 working days prior to the start of the project.

2. Fees: State fee payable to Maine Environmental Protection Fund for all asbestos projects greater than 100 square or linear feet as all projects are regarded as potentially friable. **AMOUNTS:**

- a) 100 ft<sup>2</sup>/100 linear feet to 1000 ft<sup>2</sup>/5000 linear feet: \$100.00  
 b) greater than 1000 ft<sup>2</sup>/5000 linear feet: \$200.00

(NOTE: Notification is incomplete without fee and will not be accepted.)

Fee included?  yes  no – this project is a single family home and is exempt from fee

3. Phased project?  yes  no;

attached dates for each phase?  yes  no

4. Annual notification (only for industrial facilities which possess a written O&M plan)? no yes  no  
 (NOTE: quarterly reports, O&M plan, and individual project notification (24 hour) are required.)5. Project work hours 7 AM to 3:30 PM;  M  T  W  TH  F; weekends no yes  no6. Work practice variance(s) requested?  yes  no  
 (NOTE: Standard or non-standard variance request form must be submitted with notification.)7. Notification waiver requested?  yes  no  
 (NOTE: Waiver form must be submitted with notification.)

## 8. Notification addresses:

U.S. E.P.A. Region I  
 ATC  
 Attn: Demo/Reno Clerk  
 JFK Federal Building  
 Boston, MA 02203

Asbestos Coordinator  
 Maine DEP  
 17 State House Station  
 Augusta, Maine 04333-0017

**EXCEPT AS PROVIDED BY LAW OR REGULATION, THIS NOTIFICATION SHALL BE IN ADDITION TO AND NOT IN LIEU OF ANY NOTIFICATION REQUIRED BY OTHER FEDERAL, STATE, OR LOCAL LAW OR REGULATION.**



**S.W. COLE**  
ENGINEERING, INC.

• Geotechnical Engineering • Field & Lab Testing • Scientific & Environmental Consulting

OPECHEE Job

**DAILY CONSTRUCTION REPORT**

Project: BAYSIDE SQUARE OFFICE BUILDING Project No: 00-0929.3

Client: ATLANTIC-BAYSIDE SQUARE, L.L.C. Date: 12/7/01

Weather: mild Temp. Range: 30-40

Arrived at Site at: on site for pile driving

Work in Progress: Maletta placed pile caps G7, G8, F9, E9, D9, C9, B9, A9

Work Performed by SWC Rep.: rebar inspection, concrete testing (17 yards) 1 set of 4 6"x12" test cylinders formed

General Observations, Discussions, Etc.: pier only 5'x5'6"x2', corner 5'x5'x2', exterior line cap 4'6"x4'x2': top mat 5#5's EW, bottom mat 5#8's EW, 4 #6 vert with #3 ties set for column pilasters 3 #5's stubbed into caps to latch corresponding #5's in grade beam (not continuous through cap) cap at F9 pile out of line 11" +/-, cap at G8 pile out of line 4" +/- Opechee notified structural engineer - reply was that caps should be adjusted or enlarged as necessary to insure 6" +/- concrete coverage from edge of pile to edge of cap  
Rebar appears as per structural drawings

Recommendations to Contractor/Owner's Rep.: detail vague on print with respect to #5's in pile cap, however suggested that they be made continuous through caps for future placements (Opechee to verify, detail with engineer)

Left Site at: \_\_\_\_\_ SWC Rep.: Karl Gimpel

GRAY, ME OFFICE  
286 Portland Road, Gray, ME 04039, Tel (207) 657-2866, Fax (207) 657-2840, (E) [infogray@swcole.com](mailto:infogray@swcole.com), (I) [www.swcole.com](http://www.swcole.com)

Other offices in Augusta, Bangor and Caribou, Maine & in Somersworth, New Hampshire



**S.W. COLE**  
ENGINEERING, INC.

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**DAILY CONSTRUCTION REPORT**

Project: BAYSIDE SQUARE OFFICE BUILDING Project No: 00-0929.3

Client: ATLANTIC-BAYSIDE SQUARE, L.L.C. Date: 12/10/01

Weather: cool Temp. Range: 30's

Arrived at Site at: on site for pile driving

Work in Progress: Maietta placed pile caps A9, B9, C9

Work Performed by SWC Rep.: rebar inspection, observation of concrete placement  
(no cylinders formed small placement)

General Observations, Discussions, Etc.: rebar appears as per structural drawings  
winter concrete, blankets used

Recommendations to Contractor/Owner's Rep.:

Left Site at: \_\_\_\_\_

SWC Rep.: Karl Gimpel

GRAY, ME OFFICE

286 Portland Road, Gray, ME 04039, Tel (207) 657-2866, Fax (207) 657-2840, (E) [infogray@swcole.com](mailto:infogray@swcole.com), (I) [www.swcole.com](http://www.swcole.com)

Other offices in Augusta, Bangor and Caribou, Maine & in Somersworth, New Hampshire



**DAILY CONSTRUCTION REPORT**

Project: BAYSIDE SQUARE OFFICE BUILDING Project No: 00-0929.3

Client: ATLANTIC-BAYSIDE SQUARE, L.L.C. Date: 12/11/01

Weather: cool Temp. Range: 30's

Arrived at Site at: on site for pile driving

Work in Progress: Maretta placed pile caps G1, G2, G4, G5, G6 and grade beams G7 to A7

Work Performed by SWC Rep.: rebar inspection, concrete testing (16 yards) 1 set of 4 EA 12" test cylinders formed

General Observations, Discussions, Etc.: rebar appears as per structural drawings

3 #5's are now being made continuous through pile caps; grade beams: 3 #5's bricked up 3" from subgrade, 10' x 1'4" grade beam, #5 vert with 9" L" wet stuck 12" O.C.; pile caps: top mat 6 #5's 12" O.C. EW bottom mat 6 #8's 12" O.C. EW, 4 #6 vert with 12" L" and #3 ties 12" O.C. set for columns winter concrete blankets used

rebar appears as per structural drawings  
pile cap G2 appears out of line 6" +/- pile still appears to have 6" +/- concrete cover to edge of cap

Recommendations to Contractor/Owner's Rep.: \_\_\_\_\_

Left Site at: \_\_\_\_\_ SWC Rep.: Karl Gimpel

GRAY, ME OFFICE

286 Portland Road, Gray, ME 04039, Tel (207) 657-2866, Fax (207) 657-2840, (E) [infogray@swcole.com](mailto:infogray@swcole.com), (I) [www.swcole.com](http://www.swcole.com)

Other offices in Augusta, Bangor and Caribou, Maine & In Somersworth, New Hampshire



**S.W. COLE**  
ENGINEERING, INC.

• Geotechnical Engineering • Field & Lab Testing • Scientific & Environmental Consulting

**DAILY CONSTRUCTION REPORT**

Project: BAYSIDE SQUARE OFFICE BUILDING Project No: 00-0929.3

Client: ATLANTIC-BAYSIDE SQUARE, L.L.C. Date: 12/12/01

Weather: cool Temp. Range: 30's

Arrived at Site at: On site for pile driving

Work in Progress: Maretha placed grade beams 1G to 7G, 7G to E9, A4 to A9

Work Performed by SWC Rep.: rebar inspection, concrete testing (12 yards) 1 set of 4 6x12" test cylinders formed

General Observations, Discussions, Etc.: 3#5's bricked up 3" from subgrade spliced to 3#5's extending from pile caps already in place #5 verticles with 9"L hook wet stuck 12" O.C. - rebar appears as per structural drawings - winter concrete/blankets used

Recommendations to Contractor/Owner's Rep.:

Left Site at: \_\_\_\_\_ SWC Rep.: Karl Cinpel

GRAY, ME OFFICE  
286 Portland Road, Gray, ME 04039, Tel (207) 657-2866, Fax (207) 657-2840, (E) [infogray@swcole.com](mailto:infogray@swcole.com), (I) [www.swcole.com](http://www.swcole.com)

Other offices in Augusta, Bangor and Caribou, Maine & in Somersworth, New Hampshire

Connecticut Engineers in Private Practice  
Structural Engineers Coalition

Statement of Special Inspections

Project: Bayside Office Building  
Location: Portland, Maine  
Owner: Atlantic Bayside LLC  
Owner's Address: 50 Portland Pier, Suite 400, Portland, Maine  
Contractor: Opechee Construction, Belmont, NH  
Structural Engineer of Record: JSN Associates, Inc., Portsmouth, New Hampshire

This Statement of Special Inspections is submitted as a condition for permit issuance in accordance with the special inspection requirements of the BOCA National Building Code. It includes a Schedule of Special Inspections applicable to this project as well as the name of the Special Inspector, and the identity of other approved agencies intended to be retained for conducting these inspections.

The Special Inspector shall keep records of all inspections, and shall furnish inspection reports to the code official and to the structural engineer and architect of record. Discovered discrepancies shall be brought to the immediate attention of the contractor for correction. If such discrepancies are not corrected, the discrepancies shall be brought to the attention of the code official and the structural engineer and architect of record. The special inspection program does not relieve the contractor of his or her responsibilities.

Interim reports shall be submitted to the code official, owner, structural engineer and architect of record. A schedule of interim reports shall be approved by the Code Official prior to permit issuance.

A final report of inspections documenting completion of all required special inspections and correction of any discrepancies noted in the inspections shall be submitted prior to the issuance of a certificate of use and occupancy.

Prepared by Design Professional:

Jeffrey S. Nawrocki, PE  
(type or print name)

[Handwritten Signature]  
Signature Date



Owner's Authorization:

[Handwritten Signature] 10/30/01  
Signature Date

Building Official's Acceptance:

[Handwritten Signature] 11/6/01  
Signature Date



Connecticut Engineers in Private Practice  
Structural Engineers Coalition

Sheet 2 of 5

Project: Bayside – Portland, Maine

## Schedule of Special Inspection Services

The following sheets comprise the required schedule of special inspections for this project. The construction divisions which require special inspections for this project are as follows.

- |                                     |                        |
|-------------------------------------|------------------------|
| <input checked="" type="checkbox"/> | Piles                  |
| <input checked="" type="checkbox"/> | Soils and Foundations  |
| <input checked="" type="checkbox"/> | Cast-in place Concrete |
| <input type="checkbox"/>            | Masonry                |
| <input checked="" type="checkbox"/> | Structural Steel       |
| <input type="checkbox"/>            | Wood                   |
| <input type="checkbox"/>            | Special Cases          |

<u>Inspection Agents</u>	<u>Firm</u>	<u>Address</u>
1. Special Inspector	<i>S.W. Cole</i>	<i>Gray, Maine</i>
2. Engineer of Record	<i>JSN Associates, Inc.</i>	<i>One Autumn Street Portsmouth, NH 03801</i>
3. Other		

Note: The qualifications of all personnel performing Special Inspection activities are subject to the approval of the Building Official.

**Bayside - Portland, Maine****Schedule of Special Inspection Services**

Construction Division - Soils and Foundations

Sheet 3 of 5

Item	Agent Number	Scope
1. Controlled Structural Fill	1	<p>Observe compacted fill operations to document that fill material, lift thickness, and level of compaction are in conformance with the requirements of the Construction Documents and the recommendations of the Geotechnical Engineer.</p> <p>Perform in-place density (compaction) tests at interval of one test per 2,500 SF per lift within slab areas and one test per 50 lf of foundation backfill per lift. At least one laboratory grain size analysis and modified Proctor test will be performed on each fill type used.</p>
2. Piles	1	<p>Observe pile installation and prepare detailed pile records to include pile number, tip elevation, cutoff elevation, length, blows per foot during driving, blows per inch for final set, measurements for heave at completion of each pile cap and notes regarding plumbness during driving and deviation from horizontal location. Pile records shall also include hammer information and stroke during final set. Verify final set criteria is consistent with that developed by results of dynamic load test by Pile Driving Analyzer (PDA) and the recommendations of the Geotechnical Engineer-of-Record.</p>

**Bayside - Portland, Maine****Schedule of Special Inspection Services**

Construction Division - Cast-in Place Concrete

Sheet 4 of 5

<b>Item</b>	<b>Agent Number</b>	<b>Scope</b>
1. Mix Design	1	Review for compliance with the construction documents.
2. Material Certification	1	Review for compliance with the construction documents.
3. Reinforcement Installation	1, 2	(1) Review the installation of the reinforcing steel for compliance with the construction documents and the approved shop drawings. Review for 100% of pile caps, 100% of footings and grade beams. (2) Random review of construction procedures.
4. Post-Tensioning Operations		N/A
5. Batching Plant		N/A
6. Formwork Geometry	1	Review geometry for compliance with the structural construction documents. Conduct review when reinforcing steel installation is being reviewed.
7. Concrete Placement	1	Inspect the placement of concrete for conformance with the construction documents. Test slump and temperature of each batch. Test air content when compressive strength test specimens are molded.
8. Evaluation of Concrete Strength	1	Obtain one set of 4 standard cylinders for each compressive strength test. Test one specimen at 7 days, one each at 14 days and 28 days, and retain one in reserve for later testing if required. See specification for frequency of testing.
9. Curing and Protection	1	Verify that concrete is adequately cured and protected under hot and cold weather conditions as indicated in the concrete specifications.
10. Other		N/A

**Bayside - Portland, Maine****Schedule of Special Inspection Services**

Construction Division - Structural Steel

Sheet 5 of 5

<b>Item</b>	<b>Agent Number</b>	<b>Scope</b>
1. Fabrication Certification Quality Control Procedures	1	Verify that the fabricator maintains detailed fabrication and quality control procedures which conform to the requirements of the American Institute of Steel Construction's Quality Certification Program.
2. Material Certification	1, 2	(2) Review mill certificates for plates and shapes. Review bolt manufacturer's certificate of compliance for high-strength bolts. Review weld manufacturer's certificate of compliance for weld filler material. (1) Verify bolt identification markings.
3. Open Web Steel Joists		N/A
4. Bolting	1	Inspect installation of high-strength bolts for conformance with the "Specification for Structural Joints Using ASTM A325 or A490 Bolts" by the Research Council on Structural Bolts, and the Construction documents. Inspect 25% of bolted connections.
5. Welding	1	Perform visual inspection of all welds in accordance with AWS D1.1. Submit welder qualification statements.
6. Shear Connectors		N/A
7. Structural Details	1, 2	Verify that the general geometry of the erected steel frame conforms to the construction documents and the approved shop drawings.
8. Other	1	Perform visual inspection of welding of floor decking for conformance with the construction documents.

## NOTIFICATION OF DEMOLITION OR RENOVATION (Continued)

XI. DESCRIPTION OF WORK PRACTICES AND ENGINEERING CONTROLS TO BE USED TO PREVENT EMISSIONS OF ASBESTOS AT THE DEMOLITION AND RENOVATION SITE: <p style="text-align: center;">Full containment / wet method</p>			
XII. WASTE TRANSPORTER #1			
NAME: Service Transport			
ADDRESS: P.O. Box 2132			
CITY: Bristol		STATE: PA	ZIP: 19007
CONTACT PERSON: Randy Bridges			TELEPHONE: 877-999-9559
WASTE TRANSPORTER #2			
NAME:			
ADDRESS:			
CITY:		STATE:	ZIP:
CONTACT PERSON: :			TELEPHONE:
XIII. WASTE DISPOSAL SITE			
NAME: Greenridge Reclamation			
ADDRESS: R.D.#1, Box 716 Landfill Road			
CITY: Scottsdale		STATE: PA	ZIP: 15683
TELEPHONE: 724-887-9400			
XIV. IF DEMOLITION ORDERED BY A GOVERNMENT AGENCY, PLEASE IDENTIFY THE AGENCY BELOW:			
NAME:		TITLE:	
AUTHORITY:			
DATE OF ORDER (MM/DD/YY):		DATE ORDERED TO BEGIN (MM/DD/YY):	
XV. FOR EMERGENCY RENOVATIONS			
DATE AND HOUR OF EMERGENCY (MM/DD/YY):			
DESCRIPTION OF THE SUDDEN, UNEXPECTED EVENT:			
EXPLANATION OF HOW THE EVENT CAUSED UNSAFE CONDITIONS OR WOULD CAUSE EQUIPMENT DAMAGE OR AN UNREASONABLE FINANCIAL BURDEN:			
XVI. DESCRIPTION OF PROCEDURES TO BE FOLLOWED IN THE EVENT THAT UNEXPECTED ASBESTOS IS FOUND OR PREVIOUSLY NONFRIABLE ASBESTOS MATERIAL BECOMES CRUMBLLED, PULVERIZED, OR REDUCED TO POWER. <p style="text-align: center;">hepa vacuum / wet wipe</p>			
XVII. I CERTIFY THAT AN INDIVIDUAL TRAINED IN THE PROVISIONS OF 40 CFR PART 61, SUBPART M WILL BE ON-SITE DURING THE DEMOLITION OR RENOVATION AND EVIDENCE THAT THE REQUIRED TRAINING HAS BEEN ACCOMPLISHED BY THIS PERSON WILL BE AVAILABLE FOR INSPECTION DURING NORMAL BUSINESS HOURS. I CERTIFY THAT THE ABOVE INFORMATION IS CORRECT.			
(Date)	11/21/01	(Signature of Owner/Operator)	Lauren Russor

## NOTIFICATION OF DEMOLITION OR RENOVATION

OPERATOR PROJECT#	WAIVER(S) (DEP ONLY)	POSTMARK (DEP USE ONLY)	DATE RECEIVED	NOTIFICATION	
I. TYPE OF NOTIFICATION <input checked="" type="radio"/> ORIGINAL <input type="radio"/> REVISED, <input type="radio"/> CANCELLED): <input type="radio"/> WPR Notice?					
II. FACILITY INFORMATION (IDENTIFY OWNER, REMOVAL CONTRACTOR, AND OTHER OPERATOR)					
OWNER NAME: <u>Danley Demolition</u>					
ADDRESS: <u>P.O. Box 154</u>					
CITY: <u>Fremont</u>		STATE: <u>NH</u>	ZIP: <u>03044</u>		
CONTACT: <u>Lee Danley</u>			TEL: <u>(603)895-4900</u>		
REMOVAL CONTRACTOR: <u>Environmental Compliance Specialists, Inc.</u>					
ADDRESS: <u>111 Rt. 125</u>					
CITY: <u>Kingston</u>		STATE: <u>NH</u>	ZIP: <u>03848</u>		
CONTACT: <u>Frank Kasabian</u>			TEL: <u>(603)642-9200 x206</u>		
OTHER OPERATOR:					
ADDRESS:					
CITY:		STATE:	ZIP:		
CONTACT:			TEL:		
III. TYPE OF OPERATION <input checked="" type="radio"/> DEMO, <input type="radio"/> ORDERED DEMO, <input type="radio"/> RENOVATION, <input type="radio"/> EMER. RENOVATION): <input type="radio"/> D					
IV. IS ASBESTOS PRESENT? <input checked="" type="radio"/> YES <input type="radio"/> NO					
V. FACILITY DESCRIPTION (INCLUDE BUILDING NAME, NUMBER AND FLOOR OR ROOM NUMBER)					
BLDG. NAME: <u>Vacant Commercial building</u>					
ADDRESS: <u>295 Prebble St.</u>					
CITY: <u>Portland</u>		STATE: <u>ME</u>	COUNTY:		
SITE LOCATION: <u>Basement, 1<sup>st</sup> floor, + Exterior</u>					
BUILDING SIZE: <u>12,000 sqft.</u>		NUMBER OF FLOORS: <u>1</u>	AGE IN YEARS: <u>50+</u>		
PRESENT USE: <u>Vacant</u>			PRIOR USE: <u>Commercial</u>		
VI. PROCEDURE, INCLUDING ANALYTICAL METHOD, IF APPROPRIATE, USED TO DETECT THE PRESENCE OF ASBESTOS MATERIAL: <u>Survey provided by owner</u>					
VII. APPROXIMATE AMOUNT OF ASBESTOS INCLUDING:		RACM TO BE REMOVED	NONFRIABLE ASBESTOS MATERIAL NOT TO BE REMOVED		INDICATE UNIT OF MEASUREMENT BELOW
1. REGULATED ACM TO BE REMOVED					
2. CATEGORY I ACM NOT REMOVED					
3. CATEGORY II ACM NOT REMOVED					
			CAT I	CAT II	UNIT
<u>960 sqft. floor tile</u>					Ln Ft:      Ln m:
<u>40 lf. boiler gasket</u>					Sq Ft.      Sq m:
<u>1,760 sqft. Exterior siding</u>					Cu Ft:      Cu m:
VIII. SCHEDULED DATES ASBESTOS REMOVAL (MM/DD/YY)      START:      COMPLETE:					
IX. SCHEDULED DATES DEMO/RENOVATION (MM/DD/YY)      START: <u>12/7/01</u> COMPLETE: <u>12/11/01</u>					
X. DESCRIPTION OF PLANNED DEMOLITION OR RENOVATION WORK, AND METHOD(S) TO BE USED: <u>Demolition by Danley Demolition</u>					