

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING DEPARTMENT

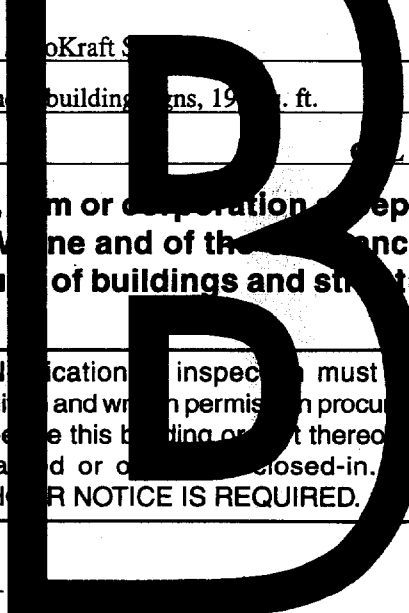
PERMIT

Permit Number: 020285

Please Read Application And Notes, If Any, Attached

This is to certify that Atlantic Bayside Square Llc Kraft S
has permission to Erect 2 freestanding signs and building signs, 19 ft.
AT 66 Marginal Way 034A A002001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work on permit must be completed before this building or part thereof is occupied or enclosed-in. **HEAVY NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____

Department Name


Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED

Permit No: 02-0285	Issue Date: MAY 17 2007	CBL: 034A A002001
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Location of Construction: 66 Marginal Way	Owner Name: Atlantic Bayside Square Llc	Owner Address: 50 Portland Pier	Phone: 207-828-1080
Business Name: n/a	Contractor Name: NeoKraft Signs	Contractor Address: 686 Main St. Lewiston	Phone: 2077829654
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Signs - Permanent	Zone: B-5

Past Use: Commercial / New Building	Proposed Use: Office / Retail: Erect 7 Signs, two 2' x 8' freestanding, five building signs four 3' x 5'3" and one 2' x 4'6".	Permit Fee:	Cost of Work: \$0.00	CEO District: 2
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Proposed Project Description: Erect 2 freestanding signs and 5 building signs, 193 sq. ft. <i>per 5/14/02 Planning Board Approval - plans dated 5/15/02</i>	FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied Signature: <i>[Signature]</i>	INSPECTION: Use Group: U Type: Signs BOCA 1999 Signature: <i>[Signature]</i>
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Permit Taken By: gg	Date Applied For: 04/01/2002	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Denied Date: <i>5/15/07</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

THIS IS NOT A PERMIT/CONSTRUCTION MAY NOT COMMENCE UNTIL THE PERMIT IS ISSUED

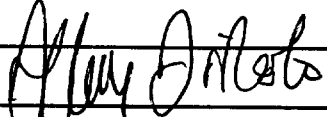
Signage Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>68 marginal way</u>		
Total Square Footage of Proposed Structure <u>52,224</u>	Square Footage of Lot <u>33,332</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>34A</u> - Block# <u>A</u> - Lot# <u>2</u>	Owner: <u>Atlantic Bayside Square LLC</u>	Telephone: <u>828-1080</u>
Lessee/Buyer's Name (If Applicable) <u>AAA Northern New England</u>	Applicant name, address & telephone: <u>Neokraft signs</u> <u>686 main st. Lewiston</u> <u>ME 04240</u> <u>800-339-2258</u>	Total s.f. of signage <u>93</u> x 1.00 per s.f. \$ <u>193</u> - , plus \$30.00 base fee Fee: \$ <u>223</u> -
Current use: <u>New building</u>		
If the location is currently vacant, what was prior use: <u>City of Portland D.P.W. salt shed</u>		
Approximately how long has it been vacant: <u>Unknown / Not Applicable</u>		
Proposed use: <u>Office / Retail</u>		
Project description: <u>new office/retail building with multiple tenants</u> <u>2 free standing building signs 4 four 3' x 5' 3" + one 2' x 4' 6"</u>		
Contractor's name, address & telephone: <u>Neokraft signs</u> , <u>686 main st. Lewiston ME</u> <u>800-339-2258</u> + + <u>Call</u> <u>04240</u>		
Who should we contact when the permit is ready: <u>Jeff DiPaolo</u>		
Mailing address: <u>686 main st. Lewiston, ME 04240</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$50.00 fee if any work starts before the permit is picked up. Phone: <u>800-339-2258</u> <u>X 225</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>3/28/02</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

SIGNAGE PRE-APPLICATION

PLEASE ANSWER ALL QUESTIONS

ADDRESS: 68 marginal way ZONE: B5

OWNER: Atlantic Bayside Square LLC

APPLICANT: Neokraft signs

ASSESSOR NO. _____

PLEASE CIRCLE APPROPRIATE ANSWER

SINGLE TENANT LOT? YES NO MULTI-TENANT LOT? YES NO

FREESTANDING SIGN? (ex. Pole Sign) YES NO -- DIMENSIONS 2' x 8' HEIGHT 6'

MORE THAN ONE SIGN? YES NO DIMENSIONS 2' x 8' HEIGHT 6'

SIGN ATTACHED TO BLDG.? YES NO DIMENSIONS 2' x 3 7'

MORE THAN ONE SIGN? YES NO DIMENSIONS 3' x 8'

AWNING: YES NO IS AWNING BACKLIT? YES NO HEIGHT OFF SIDEWALK

IS THERE ANY MESSAGE, TRADEMARK OR SYMBOL ON IT?

LIST ALL EXISTING SIGNAGE AND THEIR DIMENSIONS:

~~1~~ - ~~REAR~~ ~~10' x 8'~~ none

*** TENANT BLDG. FRONTAGE (IN FEET): 112' x 2 street frontages

*** REQUIRED INFORMATION

AREA FOR COMPUTATION

YOU SHALL PROVIDE:

A SITE SKETCH AND BUILDING SKETCH SHOWING EXACTLY WHERE EXISTING AND NEW SIGNAGE IS LOCATED MUST BE PROVIDED. SKETCHES AND/OR PICTURES OF PROPOSED ARE ALSO REQUIRED.

SIGNATURE OF APPLICANT: [Signature] DATE: _____

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

Footing/Building Location Inspection: Prior to pouring concrete

Re-Bar Schedule Inspection: Prior to pouring concrete

Foundation Inspection: Prior to placing ANY backfill

Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Schedule final when done

NO CERTIFICATE REQUIRED

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

[Signature]

Signature of applicant/designee

5/21/02

Date

[Signature]

Signature of Inspections Official

5/21/02

Date

CBL: *34AA000* Building Permit #: *022-0285*

electrical permit must be issued before any electrical is started

Application ID Number: 2-0285

Department: Zoning

Status: Approved with Conditions

Reviewer: Marge Schmuckal

Comments: 66 Marginal Way

Approval Date: 05/15/2002

Saved By Date: 04/08/2002

OK to Issue Permit

Name: Marge Schmuckal

Date: 05/15/2002

Date 2:

Conditions Section:

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. This approval is based upon the plans approved at the Portland Planning Board on May 14, 2002 with copies given to this office on 5/15/02.

Create Date: 04/03/2002 By: gg

Update Date: 05/15/2002 By: mes



Neokraft

Neokraft Signs Inc.
686 Main Street
Lewiston, Maine 04240
Telephone: 207.782.9654
Facsimile: 207.782.0009
1.800.339.2258
<http://www.neokraft.com>

LANDLORD CONSENT AGREEMENT

Written consent and agreement relating to a certain sign proposed to be erected on the premises at: 68 Marginal way
in Portland Maine

Atlantic Bay side^{Square} LLC being the owner of the premises at 68 Marginal way in Portland Maine

hereby gives consent to the erection of (a) certain sign(s):

2 freestanding signs and 6 building signs

owned by: AAA Northern New England (the tenant) as described in the attached application for a permit submitted to the inspection division of the building department of Portland Maine to cover the erection of said signs.

Signed by the owner of said premises, or his authorized agent, on this 28th day of March 2002

Steven A. Jones (SIGNED)

Owner Representative (TITLE)



CITY OF PORTLAND

5-15-02

MARGE,

ATTACHED ARE THE UPDATED
SIGNS FOR THE BAYSIDE OFFICE
BUILDING (76 MARGINAL WAY)
THAT HAVE BEEN OK'D BY
EITHER THE PLANNING BOARD OR
STAFF. THE "ABC TENANT" IS
A FUTURE TENANT WHICH WILL
NEED TO BE REVIEWED WHEN THEY
KNOW WHO THE TENANT IS.

THANKS

RIK

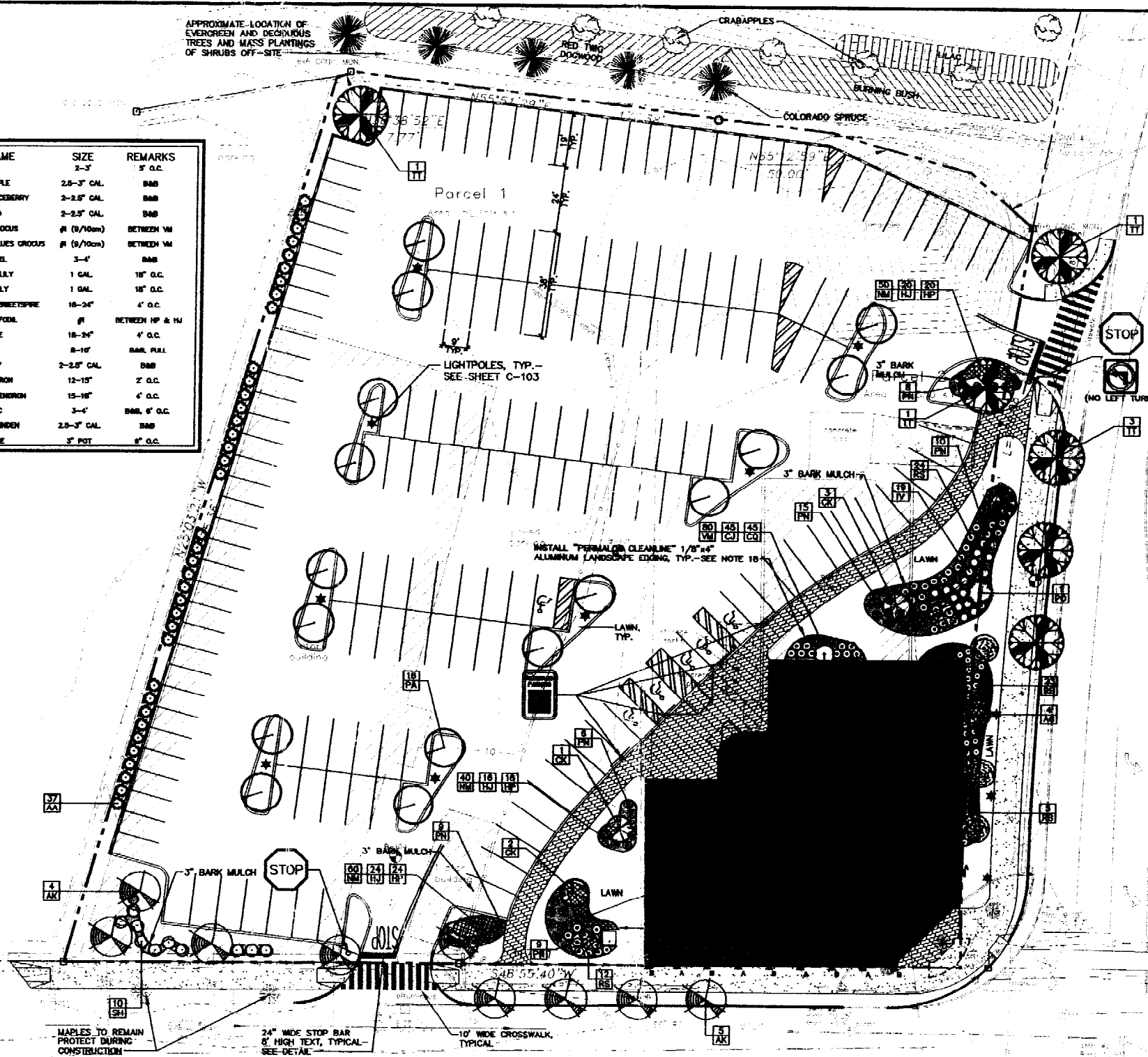


NORTH

PLANTING SCHEDULE

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
AA	37	ARDISIA AMBLYOPHYLLA 'WILLIAMSII'	RED CHOKEBERRY	2-3'	5' O.C.
AK	9	ACER RUBRUM 'KARPOK'	KARPOK RED MAPLE	2.5-3' CAL.	B&B
AL	4	AMELANCHIER X GRANDIFLORA 'ROBIN HILL'	ROBIN HILL SERVICEBERRY	2-2.5' CAL.	B&B
OK	6	COENICEA KODIA	KOREAN DOORWOOD	2-2.5' CAL.	B&B
OJ	295	OROCYDUS VERNAIS 'JEANNE D'ARC'	JEANNE D'ARC CROCUS	# (9/10cm)	BETWEEN VM
OQ	295	OROCYDUS VERNAIS 'QUEEN OF THE BLUES'	QUEEN OF THE BLUES CROCUS	# (9/10cm)	BETWEEN VM
HE	1	HAMAMELIS X INTERMEDIA 'JELENA'	JELENA WITCHHAZEL	3-4'	B&B
HJ	92	HEMEROCALLIS 'JOAN SENIOR'	JOAN SENIOR DAYLILY	1 CAL.	18" O.C.
HP	92	HEMEROCALLIS 'PARDON ME'	PARDON ME DAYLILY	1 CAL.	18" O.C.
IV	19	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE	18-24"	4' O.C.
HM	230	MANDARIN X 'MOUNT HOOD'	MOUNT HOOD DAFFODIL	#	BETWEEN HP & HJ
PH	57	PICEA ABIES 'INDIFORMIS'	BIRDWING SPRUCE	18-24"	4' O.C.
PO	1	PICEA OMORICA	SURNAME SPRUCE	8-10'	B&B, R&L
PA	16	PRUNUS X 'ACCOLADE'	ACCOLADE CHERRY	2-2.5' CAL.	B&B
RB	28	RHOODODENDRON X FLORENTINENSIS 'BOBBY'	BOBBY RHOODODENDRON	12-15'	2' O.C.
RS	46	RHOODODENDRON X 'SKODORAM'	SKODORAM RHOODODENDRON	15-18'	4' O.C.
SH	10	SYRINGA X HYACINTHIFLORA 'POCAHONTAS'	POCAHONTAS LILAC	3-4'	B&B, 6' O.C.
TT	9	TILIA TOMENTOSA 'STERLING'	STERLING SILVER LINDEN	2.5-3' CAL.	B&B
VM	505	VIRCA MINOR	POSSIBLE MYRTLE	3" POT	6' O.C.

N/F
U. S. Postal Service
Book 589 Page 231
Tax Map 51A A-1



PLANTING NOTES

1. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE EXISTENCE OF UNDERGROUND UTILITIES. THE LANDSCAPE CONTRACTOR SHALL VERIFY UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
2. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY UTILITIES, WALKS, PAVING, CURBING, ETC. DAMAGED IN THE PERFORMANCE OF THIS JOB AT NO COST TO THE OWNER.
3. PLANTING OF TREES AND SHRUBS SHALL NOT OCCUR UNTIL ALL GRADING AND PAVING IS COMPLETE.
4. ALL PLANTS SHALL HAVE A NORMAL HABIT OF GROWTH FOR THE SPECIES AND SHALL BE SOUND, HEALTHY AND FREE OF DISEASE AND INSECTS. THEY SHALL CONFORM TO THE MEASUREMENTS ON THE PLANT LIST AND SHALL CONFORM TO ANSI Z60.1-NURSERY STOCK, LATEST REVISION.
5. ALL PLANTS SHALL HAVE ALL NONBIODEGRADABLE MATERIALS (STRING, WIRE, POTS, ETC.) REMOVED AT THE TIME OF PLANTING. CIRCLING ROOTS OR ROOTS THAT WOULD LATER GIRDLE THE PLANT SHALL BE STRAIGHTENED, CUT OR THE ROOT BALL SHALL BE CUT UTILIZING THE "BUTTERFLY METHOD." TOP 1/3 OF WIRE BASKETS AND BURLAP ON TREES SHALL BE CUT AND REMOVED.
6. THE LANDSCAPED BERM SHALL BE COMPOSED OF A 75% TOPSOIL, 25% ORGANIC MATERIAL (WELL ROTTED MANURE OR LEAF LITTER) MIX AND SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER. THE BERM SHALL BE CONSTRUCTED TO THE GRADES SHOWN.
7. PLANTING PITS SHALL BE EXCAVATED TO THREE TIMES THE DIAMETER AND TO THE SAME DEPTH OF THE PLANT ROOT BALL. BACKFILL 1/2 OF THE PIT AT A TIME, AND COMPACT. SEE NOTE 6 AND INSTALL "SLOW RELEASE" FERTILIZER AFTER FIRST BACKFILL LEFT. SETTING THE TREE. EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE ROOT FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
8. ALL PLANTINGS SHALL HAVE SLOW RELEASE FERTILIZER TABLETS INSTALLED. TABLETS SHALL BE "ACRIFORM" 21 GRAM 20-10-5 PLANTING TABLETS OR AN APPROVED EQUAL. APPLICATION RATE: PERENNIALS-1 TABLET/PLANT, WOODY SHRUBS TO 3'-0"-2 TABLETS/PLANT, SHRUBS AND TREES 3'-0" TO 6'-0"-3 TABLETS/PLANT, AND TREES 6'-0" AND ABOVE-4 TABLETS/PLANT. AFTER PLANTS ARE INSTALLED, LIQUID FEED ALL PLANTS WITH "TROUS" OR AN APPROVED EQUAL MIX ACCORDING TO MANUFACTURERS INSTRUCTIONS. APPLICATION RATE: PERENNIALS-2 QTS./PLANT, WOODY SHRUBS TO 4'-0"-1.5 GAL./PLANT, TREES AND SHRUBS 4'-0" TO 10'-0"-3.0 GAL./PLANT AND TREES 10' AND ABOVE-4.0 GAL./PLANT.
9. TREES WILL NOT BE STAKED UNLESS IN THE OPINION OF THE LANDSCAPE CONTRACTOR THAT IT IS REQUIRED. IN THOSE CASES THE PARTICULAR TREES SHOULD BE REPORTED TO THE LANDSCAPE ARCHITECT OR OWNER FOR THEIR APPROVAL. IN NO CASES SHALL A TREE BE STAKED BECAUSE THE ROOT BALL CRUMBED. IN THOSE CASES THE TREE SHALL BE REMOVED AND REPLACED WITH A TREE OF THE SAME SPECIES AND SIZE WITH A SOLID AND INTACT ROOT BALL.
10. ALL SHRUB PLANTINGS ARE IN MULCHED BEDS. ALL PLANTING BEDS SHALL BE FREE OF WEEDS OR GRASS PRIOR TO INSTALLATION OF MULCH. IF VEGETATION EXISTS, TREAT WITH HERBICIDE. MULCH TO BE INSTALLED TO A DEPTH OF 3" AFTER NORMAL SETTLING. MULCH SHALL BE MEDIUM SHREDDED HEMLOCK BARK. DO NOT PLACE MULCH IN CONTACT WITH THE TREE OR SHRUB TRUNK.
11. ALL AREAS NOT IDENTIFIED WITH OTHER SURFACE TREATMENTS SHALL BE LAWN. THE LAWN AREA SHALL BE SEED WITH (LOFTS "TRI-PLEX GENERAL" OR APPROVED EQUAL) AND STRAW MULCHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAWN MAINTENANCE. MAINTENANCE SHALL COMMENCE AT THE TIME OF PLANTING AND LAST UNTIL A GOOD FULL CATCH OF GRASS IS ESTABLISHED.
12. ALL PLANTS SHALL HAVE THEIR LOCATIONS STAKED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANT INSTALLATION. ALL PLANTS SHALL BE ORIENTED FOR BEST APPEARANCE.
13. PLANT SPECIES SUBSTITUTIONS WILL NOT BE ALLOWED UNLESS FIRST APPROVED BY THE LANDSCAPE ARCHITECT.
14. ALL PLANTS SHALL BE GUARANTEED FOR ONE GROWING SEASON. ANY PLANTS THAT DIE DURING THE GUARANTEE, SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER.
15. ALLOW DECIDUOUS AND EVERGREEN SHRUBS TO GROW TOGETHER TO FORM A NATURAL LOOKING PLANT MASS.
16. IF QUANTITIES OF PLANTS LISTED IN THE PLANT SPECIES LIST DO NOT CORRELATE WITH THE PLANTINGS INDICATED ON THE PLAN, THE QUANTITIES ON THE PLAN SHALL GOVERN.
17. BROADLEAF EVERGREEN SHRUBS SHALL NOT BE PLANTED AFTER SEPTEMBER 15 UNLESS FIRST APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER. IN SUCH CASES A PLANTING SCHEDULE SHALL BE ESTABLISHED BY THE CONTRACTOR AND SUBMITTED FOR APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNER. ALL SPRING FLOWERING BULBS SHALL BE PLANTED BETWEEN OCTOBER 1 AND NOVEMBER 15.
18. THE ALUMINUM LANDSCAPE EDGING SHALL BE "PERMALOC CLEANLINE" 1/8"x4" EDGING INSTALLED ACCORDING TO MANUFACTURERS INSTRUCTIONS. THE EDGING SHALL BE INSTALLED IN LOCATIONS SHOWN ON THE DRAWING.

SCALE

SCALE: HORIZ. = 20'



REV.	BY	DATE	STATUS	CAD NO.
D	SJB	08/05/01	ISSUED FOR: RESPONSE TO CONDITIONS OF APPROVAL	628_d_C104
C	SJB	04/24/01	ISSUED FOR: PLANNING BOARD REVIEW	628_c_C104
B	SJB	03/27/01	ISSUED FOR: PLANNING BOARD WORKSHOP	628_b_C104
A	SJB	01/22/01	ISSUED FOR: PLANNING STAFF REVIEW	628_a_C105

ATLANTIC NATIONAL TRUST BAYSIDE SITE DEVELOPMENT

SITE LANDSCAPING, STRIPING AND SIGNAGE PLAN

EER
Environmental
Engineering &
Architecture, Inc.
222 St. John Street, Suite 914 Portland, Maine 04102

Barry J. Hoemar, ASLA
Landscape Architect
100 Mainway Avenue, Portland, Maine 04102

DESIGN BY: BAH
DRAWN BY: JAH
CHECKED BY: SJB
DATE: 01/06/01
JOB NO.: 628
SCALE: 1" = 20'
C-104
SHEET 7 OF 9



Neokraft

34A-A-2

Neokraft Signs Inc.
686 Main Street
Lewiston, Maine 04240
Telephone: 207.782.9654
Facsimile: 207.782.0009
1.800.339.2258
<http://www.neokraft.com>

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permission of Neokraft Signs Inc.

**AAA Travel &
Insurance**

02NK8428

received 5/15/02

Location: Portland, ME
Drawing No: 6 of 7
Drawn by: JF
Date: 03.06.2002
Revised: 03.28.2002
Gen Ref:



LIGHTED WALL LETTERS ON
RACEWAYS:

3/16 WHITE SG ACRYLIC
FACES, BRONZE 1" TRIM,
BRONZE RETURNS, GL 6500
DESIGNER WHITE NEON
TUBING, 30 mA
TRANSFORMERS, U.L. LISTED,
RACEWAYS PAINTED TO MATCH
BRICK

SEE ALSO SOUTH ELEVATION
(PARKING LOT) FOR ALTERNATE
INSTALLATION LOCATION FOR
THIS LETTER SET

WEST ELEVATION (1-295)
SCALE: 3/32" = 1'-0"

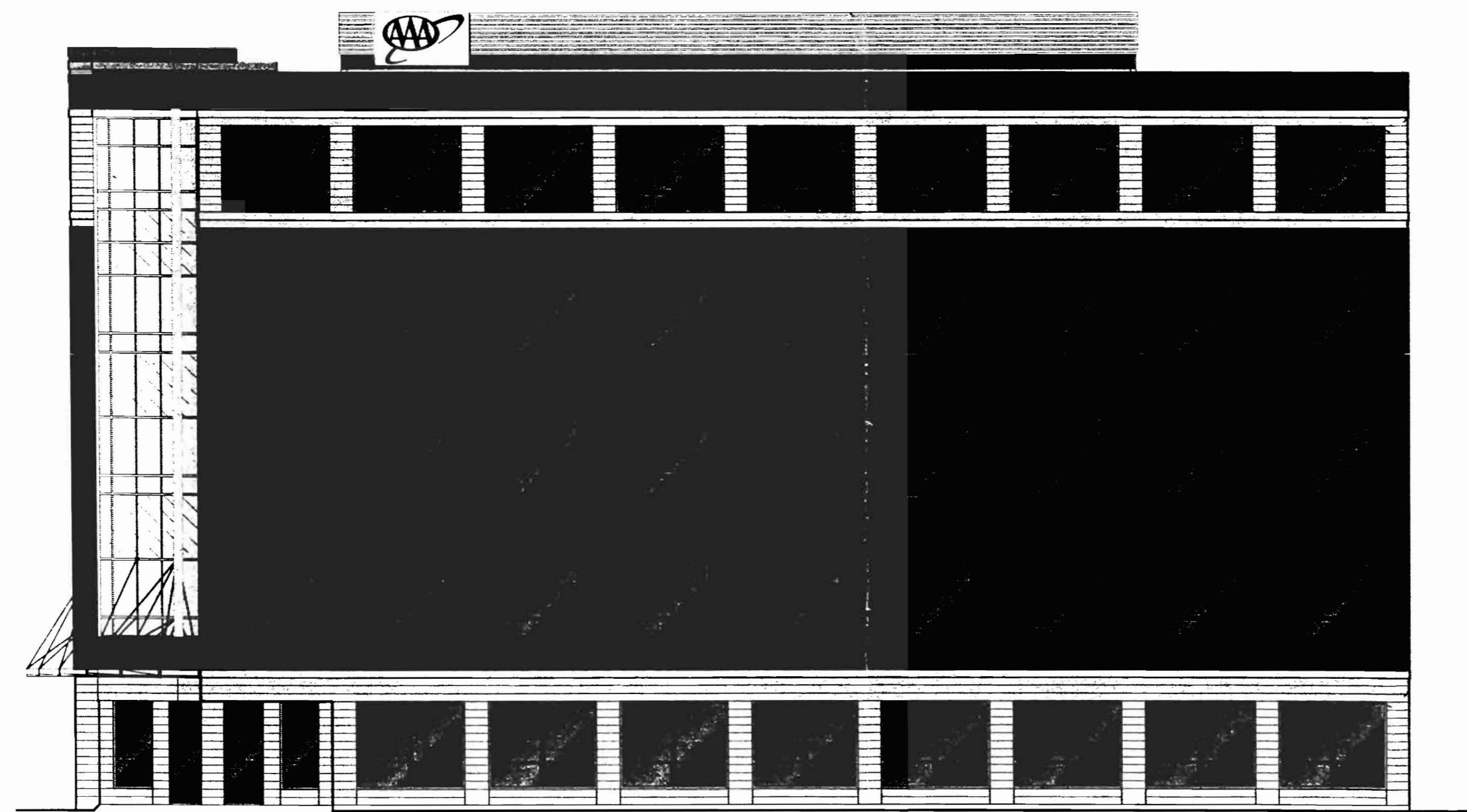


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AAA Travel & Insurance

02NK8428

Received 5/15/02

Location: Portland, ME
Drawing No.: 5 of 7
Drawn by: JF
Date: 03.06.2002
Revised: 03.28.2002
Gen Ref:

NORTH ELEVATION (PREBLE STREET)
SCALE: 3/32" = 1'-0"



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Custom Sign Fabrication

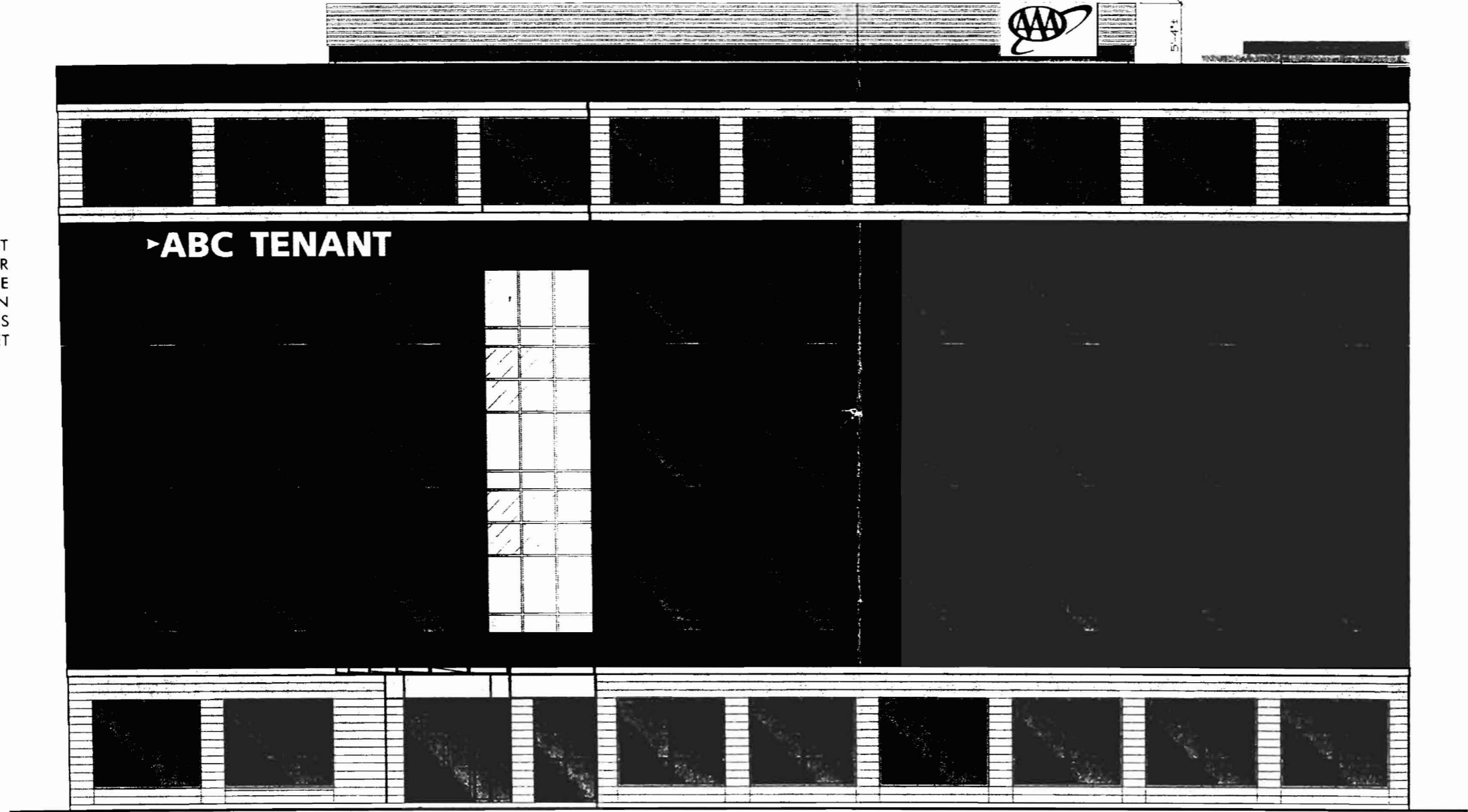
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AAA Travel & Insurance

02NK8428

Received 5/15/02

Location: Portland, ME
Drawing No.: 4 of 7
Drawn by: JF
Date: 03.06.2002
Revised: 03.28.2002
Gen Ref.:



SEE ALSO WEST ELEVATION (I-295) FOR ALTERNATE INSTALLATION LOCATION FOR THIS LETTER SET

SOUTH ELEVATION (PARKING LOT)
SCALE: 3/32" = 1'-0"



Neokraft

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686 Main Street
Lewiston, Maine 04240
Telephone: 207.782.9654
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Custom Sign Fabrication

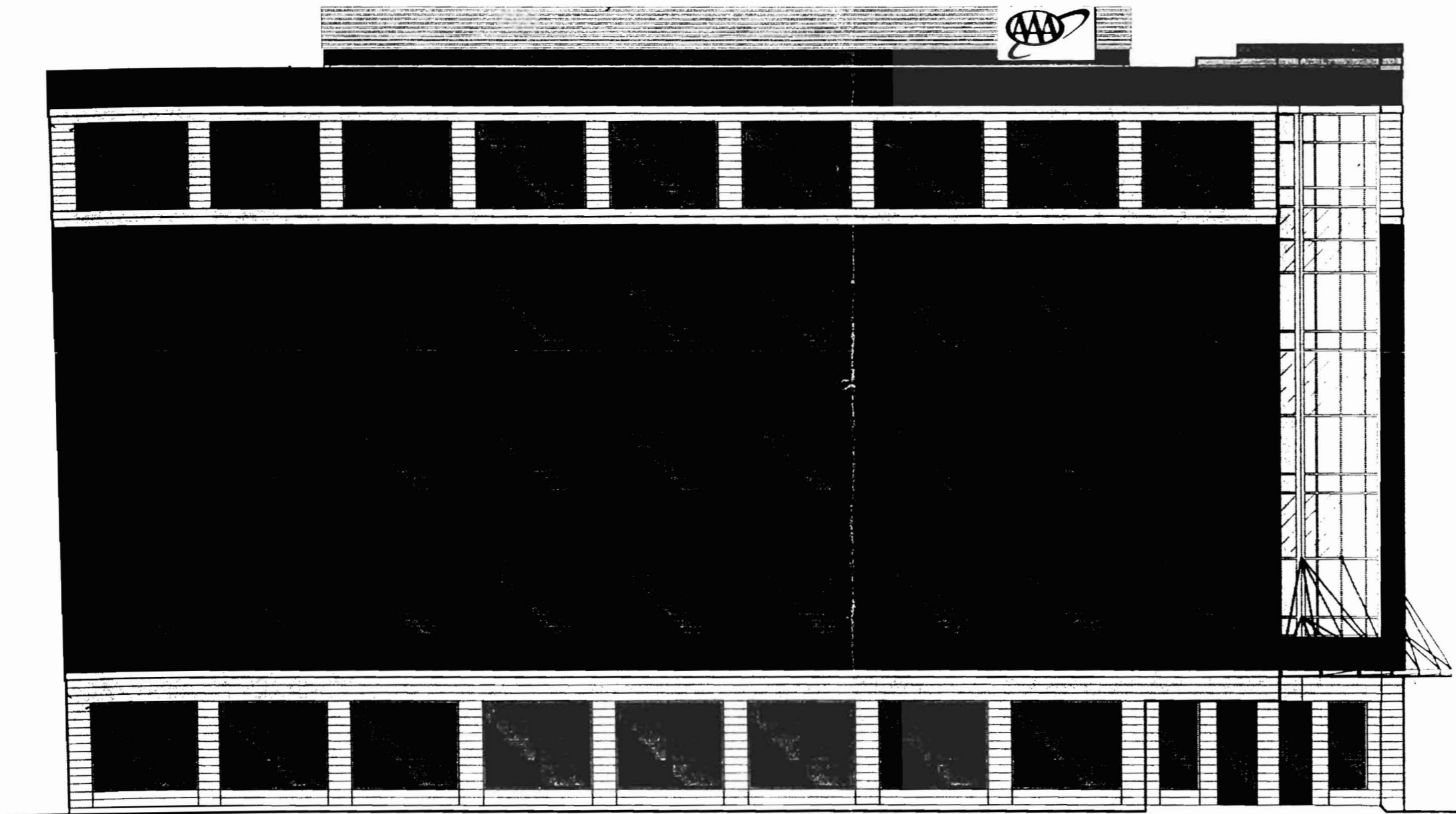
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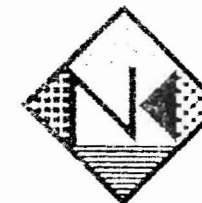
Received 5/15/07

Location: Portland, ME
Drawing No.: 3 of 7
Drawn by: JF
Date: 03/06/2002
Revised: 03/28/2002
Gen Ref:



EAST ELEVATION (MARGINAL WAY)
SCALE: 3/32" = 1'-0"

A-5



Neokraft

Neokraft Signs Inc.
686 Main Street
Lewiston, Maine 04240
Telephone: 207.782.9654
Facsimile: 207.782.0009
1.800.339.2258
<http://www.neokraft.com>

Custom Sign Fabrication

Except for designs supplied by the client, all ideas, plans or arrangements indicated on this drawing are copyrighted and owned by Neokraft Signs Inc. and shall not be reproduced, used by or disclosed to any person, firm or corporation without written permission of Neokraft Signs Inc.

AAA Travel & Insurance

02NK8428

Received 5/15/02

Location: Portland, ME
Drawing No.: 2 of 7
Drawn by: JF
Date: 03/06/2002
Revised: 03/08/2002
Scale: 1/4"

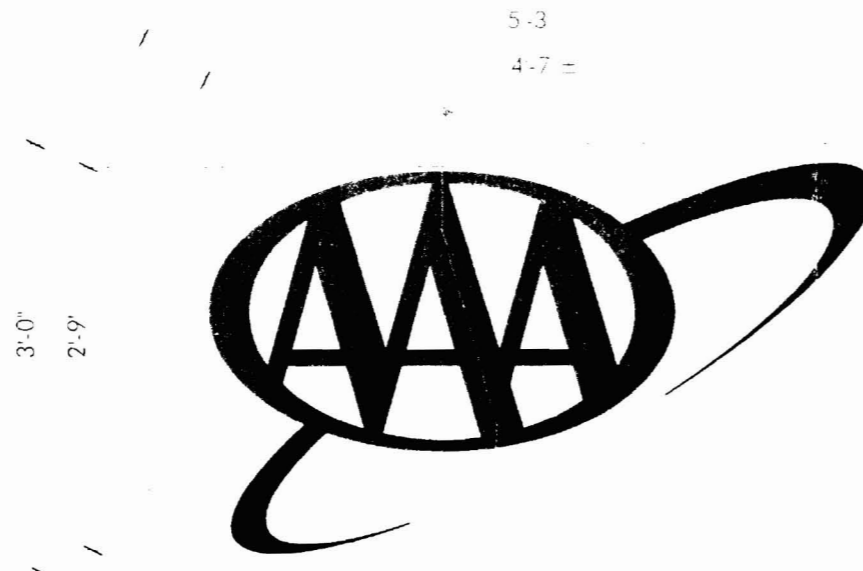
"AAA": RED (MATCH PMS 485) TRIM AND RETURNS, LIGHTED WHITE ACRYLIC FACE WITH APPLIED GSP RED TRANSL VINYL

CLEAR LEXAN ON BACK TO CREATE HALO LIGHTING

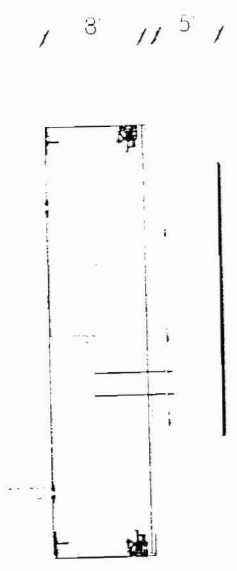
SWOOSH: BLUE (MATCH PMS 287) TRIM AND RETURNS, LIGHTED WHITE ACRYLIC FACE WITH APPLIED GSP COBALT BLUE TRANSL VINYL

CLEAR LEXAN ON BACK TO CREATE HALO LIGHTING

INSTALL ON WHITE ALUMINUM BACKGROUND



FACE LIT AND HALO LIT LIGHTED WALL GRAPHIC
SCALE: 3/4" = 1'-0" (4) REQUIRED



HINGED CABINET

SECTION



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ALUMINUM EXTRUDED CABINET
PAINTED WHITE WITH BLUE BOTTOM
PORTION (MATCH PMS 287) GSP RED
WARM RED VINYL STRIPE

ROUTED AND PUSH THRU WHITE
ACRYLIC COPY AND LOGO APPLIED
VINYL GRAPHICS GSP RED TRANSL
[230-33] AND GSP COBALT BLUE
TRANSL [230-157] AS SHOWN

ALUMINUM REVEAL AND CLADDING
PAINTED TO MATCH PMS 287 BLUE

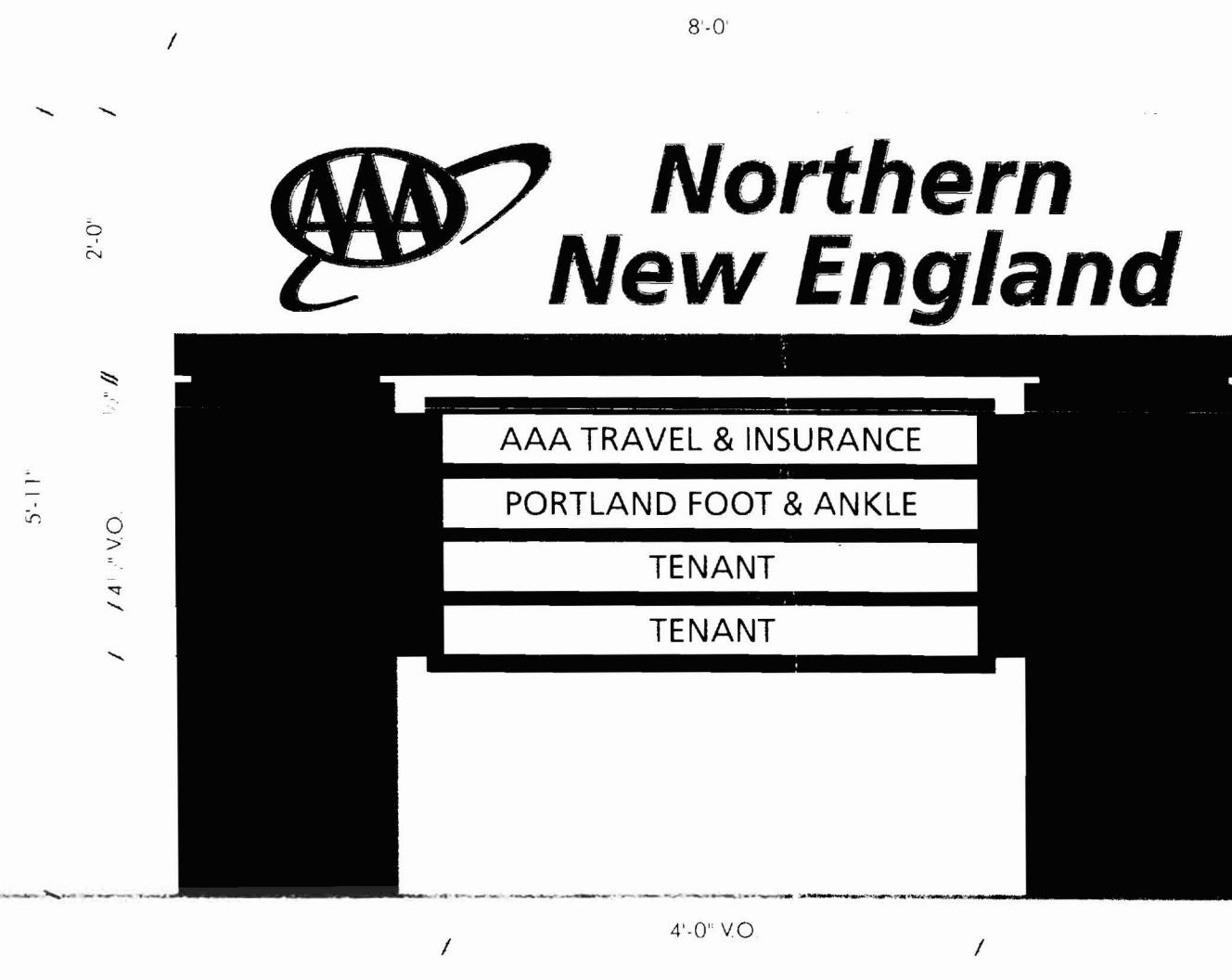
SIGNCOMP SERIES 12 TENANT SIGN
WITH SLIDE RETAINERS AND 1 1/4"
DIVIDER BARS, MATCH PMS 287 BLUE

WHITE LEXAN FACES WITH BLACK
VINYL COPY

BRICK COLUMNS BY MASON



AAA TRAVEL & INSURANCE
PORTLAND FOOT & ANKLE
TENANT
TENANT



END VIEW

DOUBLE FACE INTERNALLY ILLUMINATED PYLON
SCALE: 3/4"=1'-0" (2) REQUIRED

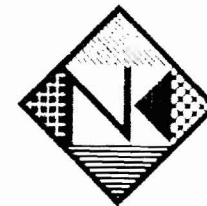
AAA Travel & Insurance

02NK8428

*Received
5/15/02*

Location: Portland, ME
Drawing No: 1 of 7
Drawn by: JF/DS
Date: 03.06.2002
Revised: 03.28.2002
04.10.2002

Gen Ref:



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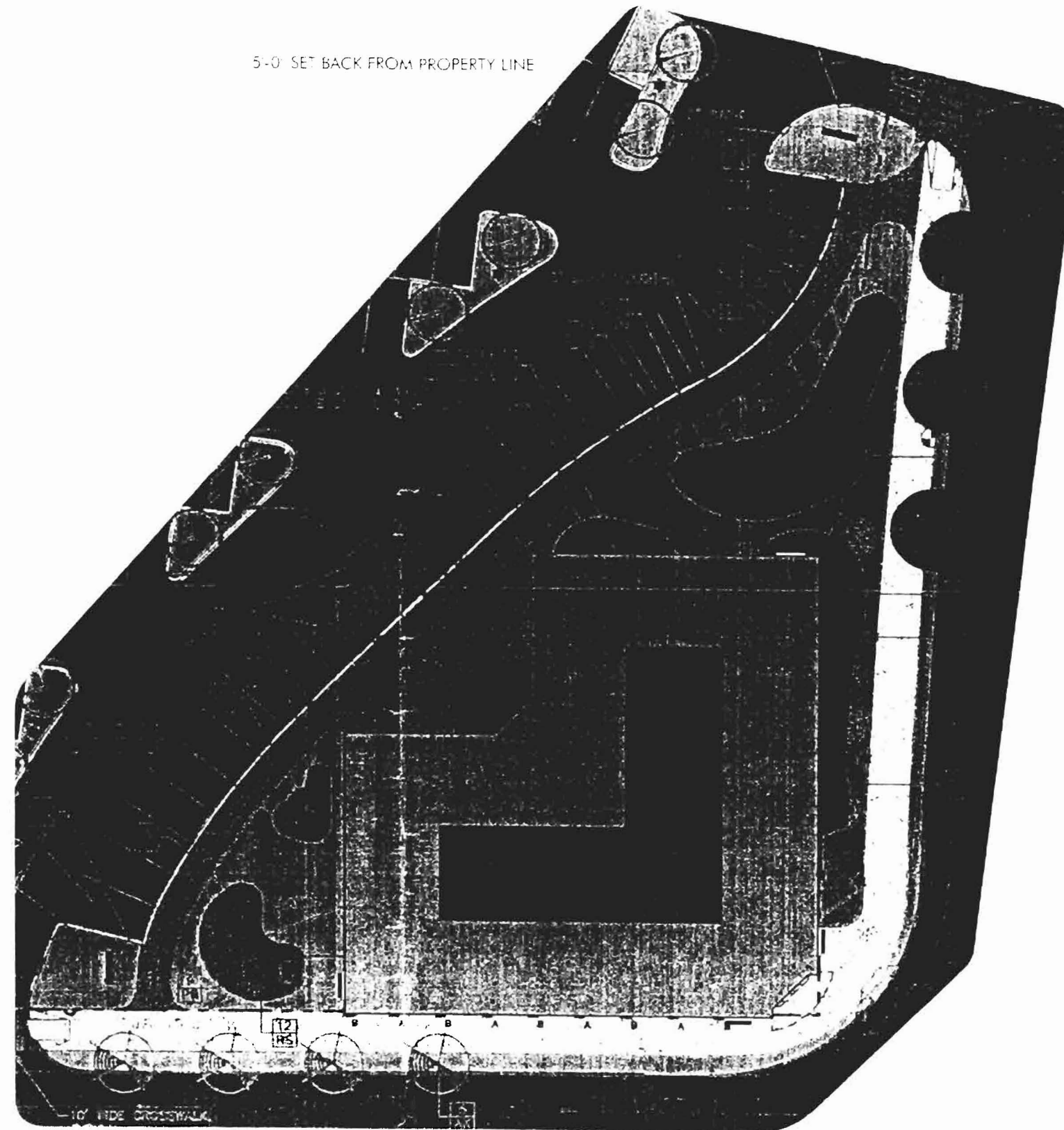
AAA Travel & Insurance

02NK8428

Received 5/15/02

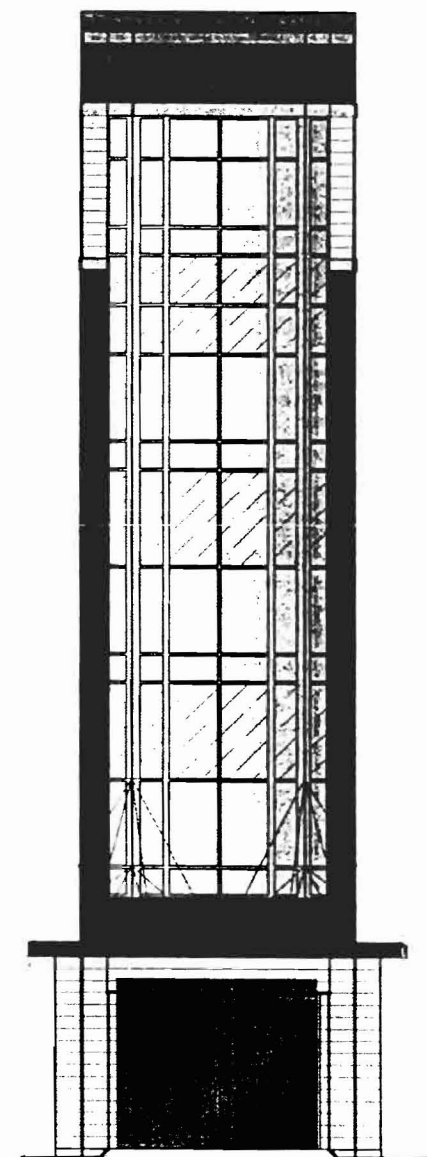
Location: Portland, ME
Drawing No: 7 of 7
Drawn by: JF
Date: 03/06/2002
Revised: 03/26/2002
Client:

5'-0" SET BACK FROM PROPERTY LINE



5'-0" SET BACK FROM PROPERTY LINE

PLAN VIEW
SCALE: 1/32" = 1'-0"



S.W. ENTRY PARTIAL ELEVATION
SCALE: 3/32" = 1'-0"



CITY OF PORTLAND, MAINE

Department of Building Inspections

_____ 20 _____

Received from _____

Location of Work _____

Cost of Construction \$ _____

Permit Fee \$ _____

Building (I1) _____ Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: _____

Check #: _____

Total Collected \$ _____

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy