

NO.	DATE	BY	FOR	DESCRIPTION
1	10-04	DR	DR	REVIEW PER CITY REVIEW COMMENTS
2	12-23-03	DR	DR	REVISION PER CITY REVIEW COMMENTS
3	01-27-03	DR	DR	SUBMIT TO CITY FOR MINOR SITE PLAN REVIEW
4	01-29-03	DR	DR	FINAL PLAN SUBMISSION TO CITY
5	01-29-03	DR	DR	STATUS

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Sebago Technics
 Engineering Expense You Can Build On
 One Sebago Street
 Lewiston, Maine 04240
 Phone (207) 956-9272
 FAX (207) 956-9272

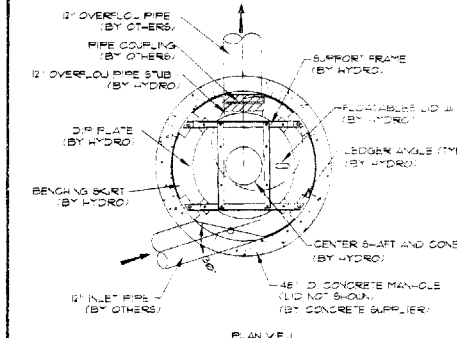
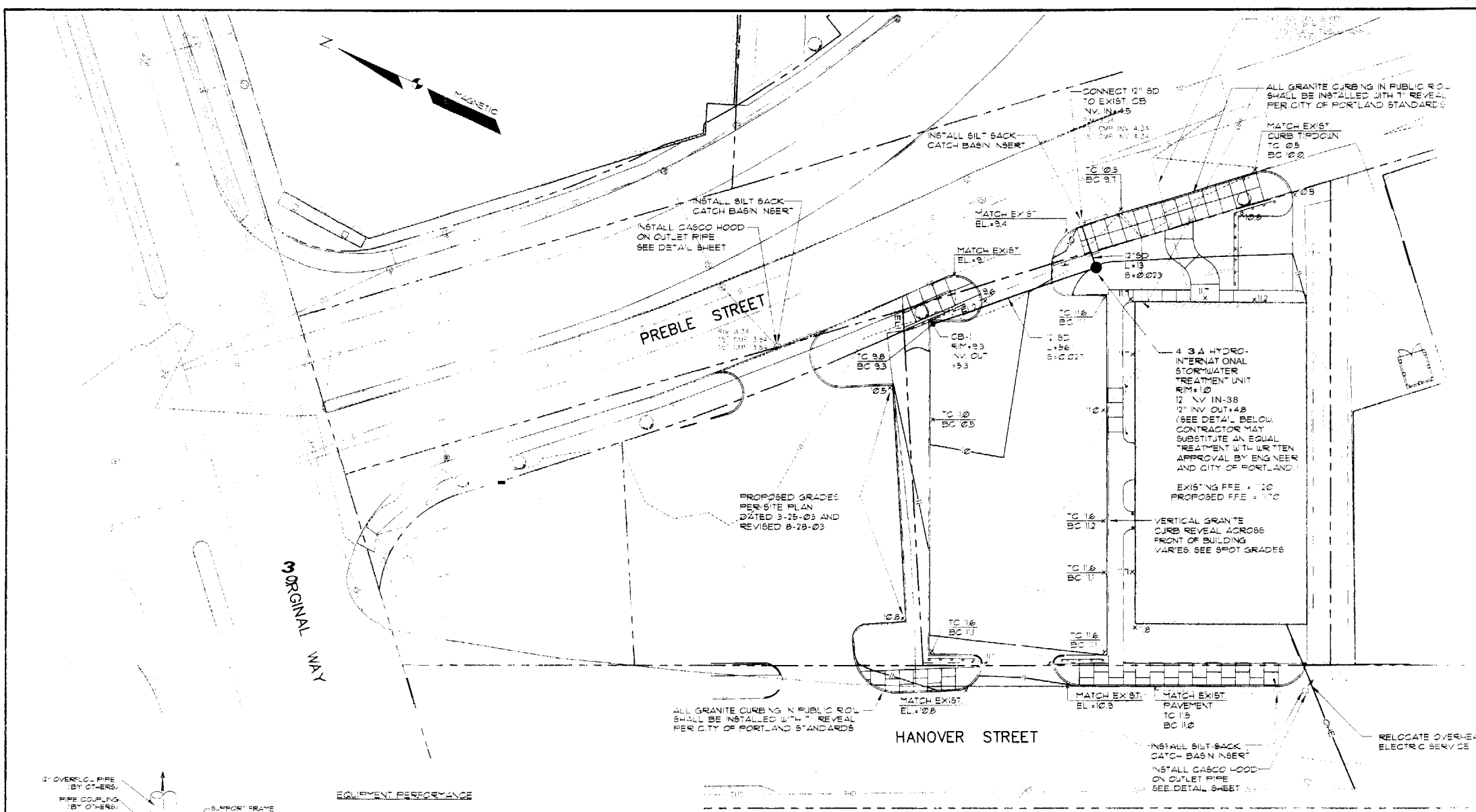
PROJECT NO. 02-01-003-01-001-001
 SHEET NO. 2 OF 5

DATE: 9-25-03
 SCALE: 1"=20'

OR: HOLLYWOOD VIDEO
 180 W. APPLE STREET
 LEWISTON, MAINE
 FOR: ALLIED COOK CONSTRUCTION
 P.O. BOX 148
 PORTLAND, MAINE 04104

SHEET 2 OF 5

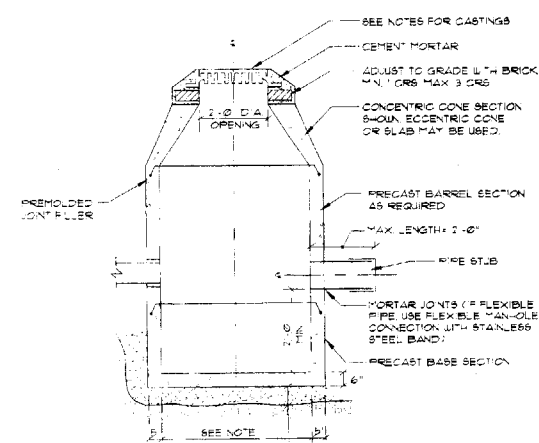
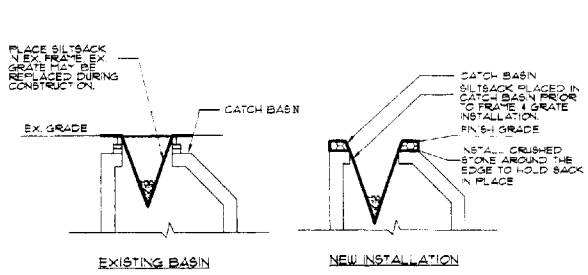
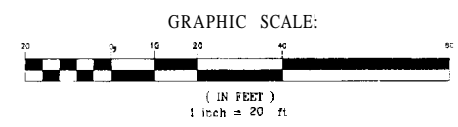
EX'G'ING	DESCRIPTION	PROPOSED
---	PROPERTY ROW	---
---	SETBACK	---
---	EASEMENT	---
---	IRON PIPE/ROD	---
---	MONUMENT	---
---	CURVE/LINE NO.	---
---	BUILDING	---
---	EDGE PAVEMENT	---
---	CURBLINE	---
---	SSN	---
---	CONTOURS	124
---	GAS	---
---	WATER	---
---	SEWER	---
---	STORM DRAIN	---
---	OVER-HEAD	---
---	ELEC. & TEL.	---
---	UNDERGROUND	---
---	ELEC. & TEL.	---
---	GATE VALVE	---
---	LIGHT POLE	---
---	UTILITY POLE	---
---	HYDRANT	---
---	CATCH BASIN	---
---	MAN-HOLE	---
---	SPOT GRADE	x 30.22
---	TOP OF CURB	TC
---	BOTTOM OF CURB	BC
---	DECIDUOUS TREE	---



EQUIPMENT PERFORMANCE

The stormwater treatment unit shall adhere to the hydraulic parameters given in the chart below and provide the removal efficiencies and storage capacities as follows:

1. Performance objectives: To remove at least 80% of OK10 grade silica sand at the dry storm event listed below per the Maine DEP Confirmation Tests
2. Dry storm flow: 130 cfs
3. Peak treatment flow: 300 cfs
4. Sediment storage capacity: 70 Cu. yd.
5. Oil storage capacity: 10 Gal.
6. Sediment shall be stored in a zone that is isolated from the main flow path and protected from reentrainment by a sanding skirt.



NOTES:

1. 4'-8" D TYPICAL. SOME STRUCTURES MAY REQUIRE LARGER ID. PROVIDE SHOP DRAWINGS.
2. DRAINAGE STRUCTURES TO BE DESIGNED FOR H-20 LOADING.
3. PIPE SIZES AND INVERTS AS NOTED ON PLANS.
4. CATCH-BASIN FRAME AND GRATE TO BE EITHER DGE FOUNDRY 84248 TYPE M OR C OR APPROVED EQUAL.
5. DRAINAGE MANHOLE FRAME AND COVER TO BE EITHER DGE FOUNDRY M2485 OR APPROVED EQUAL. COVER SHALL BE MARKED 'DRAIN'.

HYDRAULIC PARAMETERS

1. INLET PIPE: 12" IN-38
2. OVERFLOW PIPE SLOPE: +2.5%
3. MANHOLE COVER: ENT-2022
4. Q: 1-YEAR: 0.50 CFS

DEPTH OF FLOW IN OVERFLOW PIPE	1.33	INCHES
ESTIMATED HEADLOSS AT 0.50 CFS	0	INCHES
DOWNSTREAM DEFENDER WEIGHT		
EMPTY WEIGHT	0.000	LB.
OPERATIONAL WEIGHT	0.163	LB.

HEADLOSS IS DEFINED AS THE DIFFERENCE BETWEEN STATIC WATER LEVEL AT THE INLET OF THE DOWNSTREAM DEFENDER TO THE FREE WATER SURFACE IN THE OVERFLOW PIPE ASSUMING FREE DISCHARGE.

CONTRACTOR MAY SUBSTITUTE AN EQUAL TREATMENT WITH WRITTEN APPROVAL BY ENGINEER AND CITY OF PORTLAND.

4 FT. DIA. DOWNSTREAM DEFENDER
 (DESIGNED AND MANUFACTURED BY HYDRO INTERNATIONAL - PORTLAND, MAINE)
 NOT TO SCALE

CATCH BASIN PROTECTION DETAIL (FOR PAVED AREAS)
 NOT TO SCALE

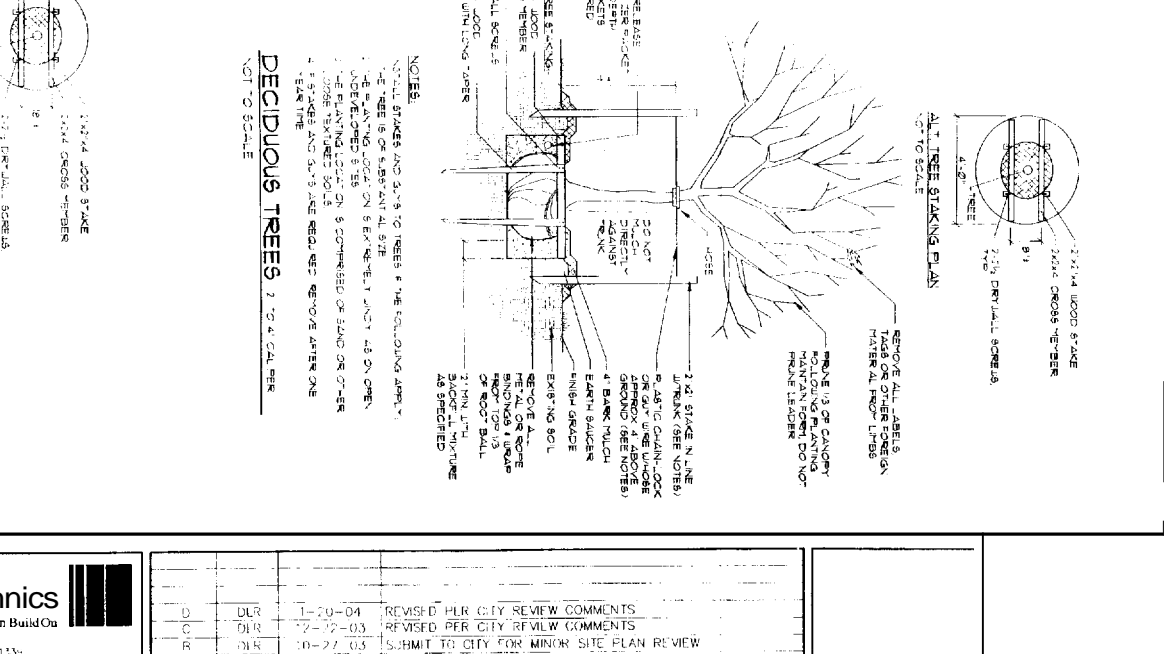
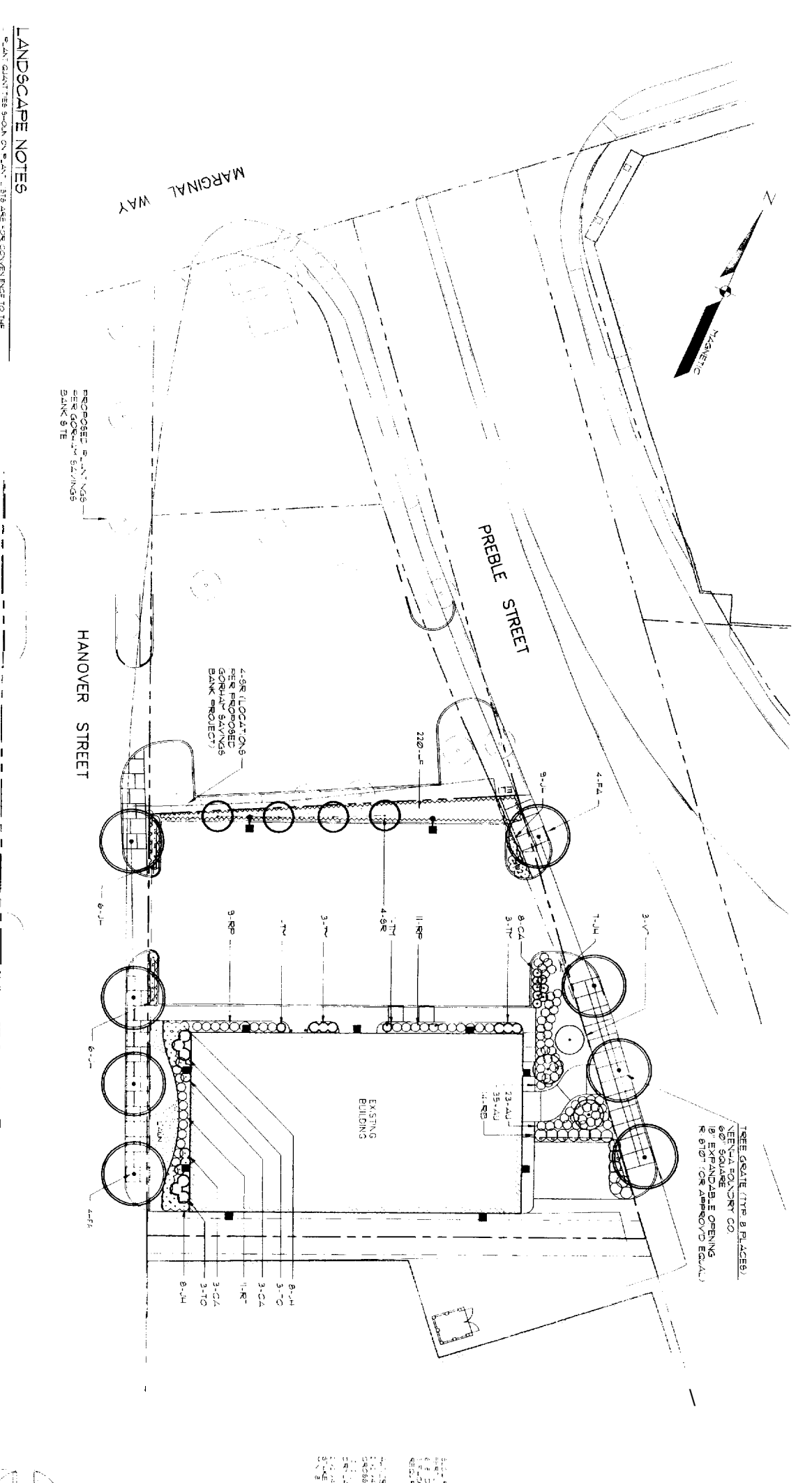
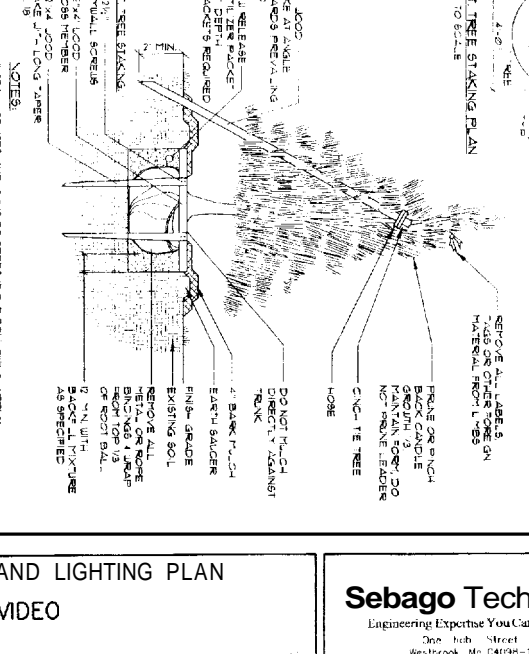
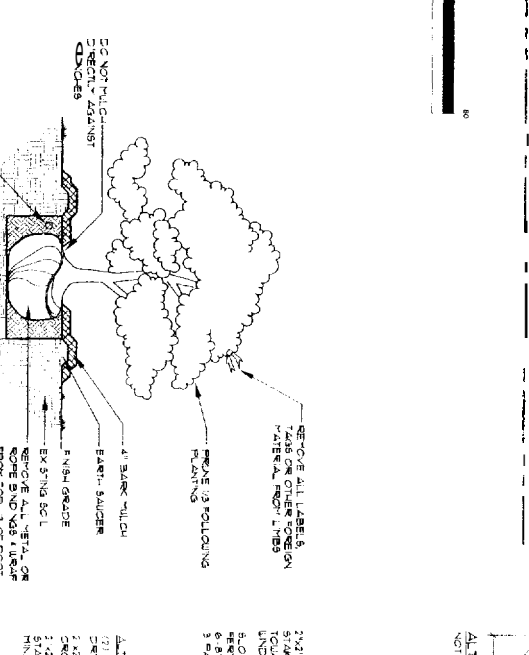
TYPICAL CATCH BASIN
 NOT TO SCALE

LANDSCAPE NOTES

1. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF PORTLAND'S LANDSCAPE STANDARDS AND SPECIFICATIONS.
2. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF PORTLAND'S LANDSCAPE STANDARDS AND SPECIFICATIONS.
3. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF PORTLAND'S LANDSCAPE STANDARDS AND SPECIFICATIONS.
4. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF PORTLAND'S LANDSCAPE STANDARDS AND SPECIFICATIONS.
5. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF PORTLAND'S LANDSCAPE STANDARDS AND SPECIFICATIONS.
6. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF PORTLAND'S LANDSCAPE STANDARDS AND SPECIFICATIONS.
7. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF PORTLAND'S LANDSCAPE STANDARDS AND SPECIFICATIONS.
8. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF PORTLAND'S LANDSCAPE STANDARDS AND SPECIFICATIONS.
9. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF PORTLAND'S LANDSCAPE STANDARDS AND SPECIFICATIONS.
10. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF PORTLAND'S LANDSCAPE STANDARDS AND SPECIFICATIONS.

PLANT LIST

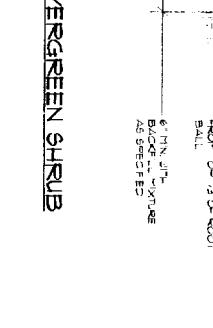
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AB	ART. AUCUBA	ART. AUCUBA	ART. AUCUBA	6" - 8" CAL
AC	ART. AUCUBA	ART. AUCUBA	ART. AUCUBA	6" - 8" CAL
AD	ART. AUCUBA	ART. AUCUBA	ART. AUCUBA	6" - 8" CAL
AE	ART. AUCUBA	ART. AUCUBA	ART. AUCUBA	6" - 8" CAL
AF	ART. AUCUBA	ART. AUCUBA	ART. AUCUBA	6" - 8" CAL
AG	ART. AUCUBA	ART. AUCUBA	ART. AUCUBA	6" - 8" CAL
AH	ART. AUCUBA	ART. AUCUBA	ART. AUCUBA	6" - 8" CAL
AI	ART. AUCUBA	ART. AUCUBA	ART. AUCUBA	6" - 8" CAL
AJ	ART. AUCUBA	ART. AUCUBA	ART. AUCUBA	6" - 8" CAL
AK	ART. AUCUBA	ART. AUCUBA	ART. AUCUBA	6" - 8" CAL
AL	ART. AUCUBA	ART. AUCUBA	ART. AUCUBA	6" - 8" CAL
AM	ART. AUCUBA	ART. AUCUBA	ART. AUCUBA	6" - 8" CAL
AN	ART. AUCUBA	ART. AUCUBA	ART. AUCUBA	6" - 8" CAL
AO	ART. AUCUBA	ART. AUCUBA	ART. AUCUBA	6" - 8" CAL
AP	ART. AUCUBA	ART. AUCUBA	ART. AUCUBA	6" - 8" CAL
AQ	ART. AUCUBA	ART. AUCUBA	ART. AUCUBA	6" - 8" CAL
AR	ART. AUCUBA	ART. AUCUBA	ART. AUCUBA	6" - 8" CAL
AS	ART. AUCUBA	ART. AUCUBA	ART. AUCUBA	6" - 8" CAL
AT	ART. AUCUBA	ART. AUCUBA	ART. AUCUBA	6" - 8" CAL
AU	ART. AUCUBA	ART. AUCUBA	ART. AUCUBA	6" - 8" CAL
AV	ART. AUCUBA	ART. AUCUBA	ART. AUCUBA	6" - 8" CAL



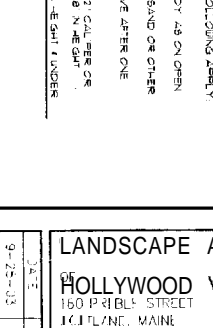
LIGHTING LEGEND

- POLE MOUNTED FIXTURE
- WALL MOUNTED FIXTURE

DECIDUOUS & EVERGREEN SHRUB



DECIDUOUS TREES



EVERGREEN TREES



LANDSCAPE AND LIGHTING PLAN

HOLLYWOOD VIDEO

100 PEBBLE STREET
PORTLAND, MAINE

FOR
ALLIED COOK CONSTRUCTION

P.O. BOX 1396
PORTLAND, MAINE 04104

Sebago Technics

Engineering Expertise You Can Build On

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Westbrook, ME 04090-1335
Tel: (207) 899-0077

PROJECT NO.	FIELD BOOK	DESIGN	CHECK	DRAWN
03021		JMI	ER	JML

DATE	BY	DESCRIPTION
1-20-04	DLR	REVISED PER CITY REVIEW COMMENTS
2-12-03	DLR	REVISED PER CITY REVIEW COMMENTS
10-27-03	DLR	SUBMIT TO CITY FOR MINOR SITE PLAN REVIEW
9-24-03	DLR	SUBMIT TO CITY FOR MINOR SITE PLAN REVIEW

STATUS: _____

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Sebago Technics
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One Central Street
Westport, ME 04091 1393
(207) 858-9277

PROJECT NO.	111111 BOOK	DESIGN	CHKD	DATE
DATE	03/02/01	DATE	03/02/01	DATE
BY	MAJ	BY	MAJ	BY

REV	BY	DATE	DESCRIPTION
A	MAJ	03/29/03	REVISION FOR SUBMISSION TO CITY
B	MAJ	10/27/03	REVISION FOR CITY REVIEW COMMENTS
C	MAJ	11/20/04	REVISION FOR CITY REVIEW COMMENTS

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PROJECT: All Projects	LLF	Description
Symbol	0.150	UCI-14-15-04-11 10% FOOT
1	0.150	0.150
2	0.150	0.150
3	0.150	0.150
4	0.150	0.150
5	0.150	0.150
6	0.150	0.150

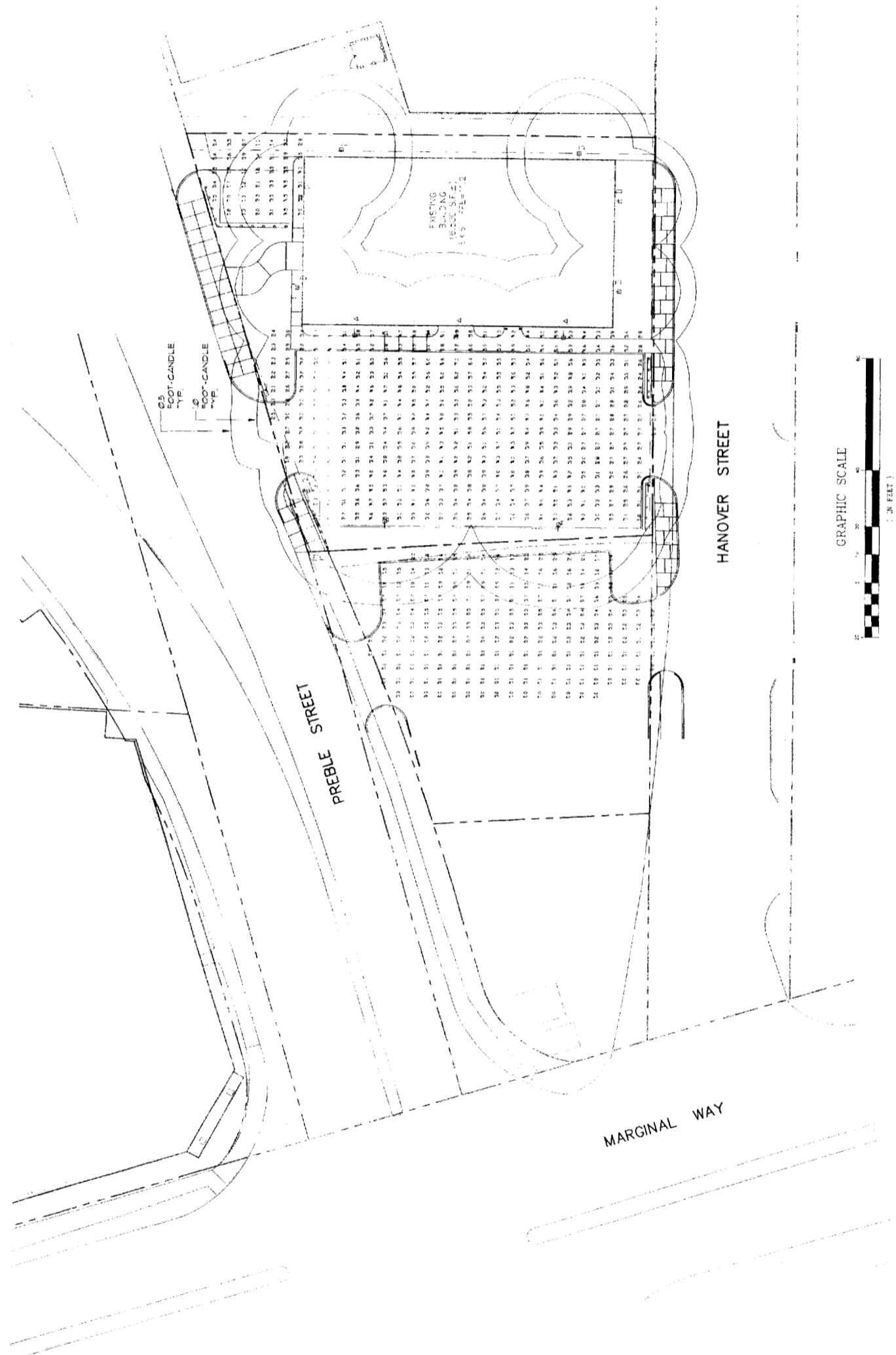
NOTE:
THIS PHOTOMETRIC PLAN AND SCHEDULE WAS PREPARED BY ARCHITECTURAL AREA LIGHTING CALCULATIONS AND TRANSMITTANCE SEBAGO TECHNICS, INC. FOR INCORPORATION INTO THE DESIGN DRAWINGS.

Project: All Projects

Symbol	LLF	Description
1	0.150	UCI-14-15-04-11 10% FOOT
2	0.150	0.150
3	0.150	0.150
4	0.150	0.150
5	0.150	0.150
6	0.150	0.150

Numeric Summary: BANC

Label	Calc	Units	Avg	Min	Max	Avg/Min	Max/Min
Footcandle	2.11	fc	2.11	0.4	5.78	7.2	4.60
Foot-candle	2.11	fc	2.11	0.4	5.78	7.2	4.60



1. **COORDINATION:** PRIOR TO ANY DEMOLITION ALL DEMOLITION WORK SHALL BE COORDINATED WITH ALL NEW CONSTRUCTION BY ALL TRADES. CONTRACTOR SHALL REVIEW ALL CONSTRUCTION DOCUMENTS FOR COMPLETE COORDINATION DURING ALL PHASES OF CONSTRUCTION. GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING OF ANY AND ALL FIELD CONDITIONS NOT SHOWN IN THE CONSTRUCTION DOCUMENTS PRIOR TO COMMENCEMENT OF DEMOLITION CONSTRUCTION. IN ABSENCE OF INFORMATION INDICATING OTHERWISE, CONTRACTOR SHALL BRING AREAS AND SURFACES UP TO STANDARDS OF NEW CONSTRUCTION IN THE AREAS CALLING FOR NEW CONSTRUCTION.

2. **DAMAGE:** EXISTING BUILDING, BUILDING SYSTEM OR SITE COMPONENTS AFFECTED BY NEW WORK, DEMOLITION OR WHICH MAY BE DAMAGED BY THE GENERAL CONTRACTOR OR SUBCONTRACTORS SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND COLOR BY METHODS DESCRIBED IN THESE DOCUMENTS, OR AS APPROVED BY THE ARCHITECT.

3. **EQUIPMENT AND FIXTURES:** NEW OR RELOCATED ITEMS SHALL BE VERIFIED BY CONTRACTOR AS APPROPRIATE TO THE ADJACENT AND CONTIGUOUS CONSTRUCTION PRIOR TO INSTALLATION OR REINSTALLATION. CONTRACTOR SHALL DETERMINE APPROPRIATE ANCHORING TYPES UNLESS OTHERWISE INDICATED.

4. **PATCHING:** AFTER ALL REMOVALS OF WALLS, DOORS, CEILING AND OTHER COMPONENTS, PATCH AND PREPARE THE REMAINING EXPOSED DAMAGED SURFACES TO PREPARE FOR NEW WORK AND NEW FINISH. INSTALL PIECED UNDERLAYMENT TO FLOORS AT WALL REMOVAL; INSTALL NEW WALLBOARD BY FIBING IN AND FINISHING FLUSH AND FRAMING OR FURRING AS NECESSARY; FIBCE IN NEW CEILING SUSPENSION SYSTEM.

5. **CONCEALED SPACES:** DAMAGED CONSTRUCTION IN CONCEALED SPACES IS NOT REQUIRED TO BE REPAIRED, EXCEPT AS REQUIRED TO MAINTAIN FIRE RATINGS, STRUCTURAL INTEGRITY, WATERPROOFING AND OR HEAT LOSS OR GAIN.

6. **PIPE REMOVALS:** AFTER REMOVALS OF PIPING, RADIATORS, AND OTHER EQUIPMENT, REPAIR THE PIPE PENETRATIONS TO MATCH ADJACENT EXISTING SURFACE AND TO MAINTAIN RATINGS; FILL MOUNTING HOLES AND REPAIR WALL SURFACES.

INSTRUCTIONS FOR REMOVALS:

1. LEVEL EXISTING FLOORS TO RECEIVE NEW FINISHES AS INDICATED IN THE DRAWINGS. SEE FINISH SCHEDULE, NOTES, AND SHALL BE CERTIFIED AS SUITABLE FOR THE NEW FINISHES BY THE INSTALLER PRIOR TO THE NEW WORK.

2. CUT TRENCHES IN EXISTING SLABS WITH MAXIMUM OF 1:3 SLOPE.

3. **METAL COVER PLATES:** PROVIDE METAL COVER PLATES OVER ABANDONED ELECTRICAL DEVICES, PAINT WITH WALL.

INSTRUCTIONS FOR REMOVALS:

1. SEE PHASING PLAN FOR COORDINATION AND TIMING. CONTRACTOR IS RESPONSIBLE FOR SECURITY AND PROTECTION FROM DAMAGE AND WEATHER OF ANY EXPOSED BUILDING COMPONENTS RESULTING FROM DEMOLITION, REMOVALS AND NEW WORK.

2. **PLANS:** SEE DEMOLITION PLANS FOR DEMOLITION WORK. SEE MECHANICAL, ELECTRICAL, PLUMBING AND SITE REMOVAL PLANS AS WELL.

3. VERIFY STRUCTURAL CONDITIONS WITH DRAWINGS AND ACTUAL CONDITIONS PRIOR TO WALL AND FLOOR REMOVALS. REPORT DISCREPANCIES TO ARCHITECT BEFORE PROCEEDING WITH WORK. CONTRACTOR IS RESPONSIBLE FOR SHORING AND OTHER TEMPORARY SUPPORT METHODS AS MAY BE NEEDED.

ANY MISCELLANEOUS ITEMS NOT REMOVED BY OWNER SHALL BE REMOVED BY CONTRACTOR UNDER REMOVAL AND/OR DISPOSAL. SEE BASIS OF EXISTING BUILDING.

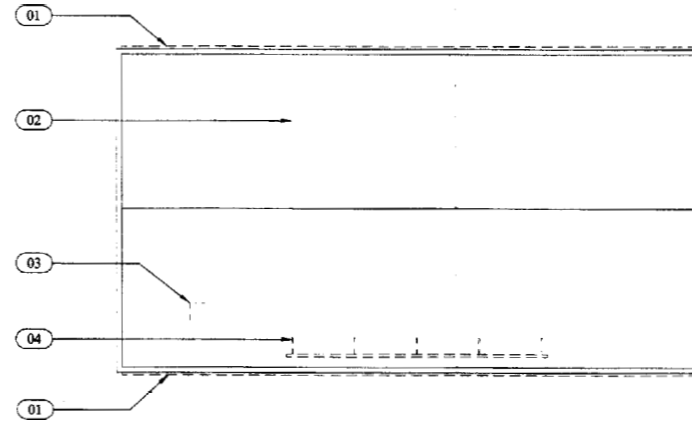
CONTRACTOR MAY REPLACE SALVAGED ITEMS WITH NEW AND IDENTICAL MATERIALS WITH OWNER'S APPROVAL.

4. **SALVAGE FOR OWNER:** PRIOR TO ANY AND ALL DEMOLITION, CONTRACTOR SHALL MEET WITH OWNERS REPRESENTATIVE TO DETERMINE REQUIRED SALVAGED ITEMS.

5. **CIVIL, MECHANICAL, ELECTRICAL AND STRUCTURAL:** REFER TO THOSE SPECIFIC DRAWINGS FOR INFORMATION.

H1 GENERAL DEMOLITION NOTES
NA

H10 DEMOLITION ROOF PLAN
1/16" = 1'-0"



DEMOLITION LEGEND

- 01 REMOVE GUTTER, DOWNSPOUTS, BOOTS, AND ASSOCIATED HARDWARE AS REQUIRED FOR NEW CONSTRUCTION - SALVAGE FOR REINSTALLATION.
- 02 REMOVE ROOFING SYSTEM DOWN TO ROOF DECK AS REQUIRED FOR INSTALLATION OF NEW ROOFING SYSTEM.
- 03 REMOVE CEMENT.
- 04 REMOVE SIGN AND ALL ASSOCIATED STRUCTURE AND CONNECTIONS AS REQUIRED FOR NEW CONSTRUCTION.
- 05 REMOVE WINDOW AND ALL ASSOCIATED HARDWARE AND RESIZE OPENING IF / AS REQUIRED FOR NEW CONSTRUCTION.
- 06 REMOVE OVERHEAD DOOR, TRACK AND ALL ASSOCIATED HARDWARE AS REQUIRED FOR NEW CONSTRUCTION.
- 07 REMOVE DOOR, FRAME AND ALL ASSOCIATED HARDWARE.
- 08 REMOVE WALL AS REQUIRED FOR NEW CONSTRUCTION.
- 09 REMOVE EXHAUST SERVICE LINE.
- 10 REMOVE STAIRS.
- 11 REMOVE MEZZANINE.
- 12 REMOVE PAVING AS REQUIRED FOR NEW CONSTRUCTION.
- 13 REMOVE PLUMBING FIXTURES, ALL ASSOCIATED SERVICES, AND CAP AS REQUIRED FOR NEW CONSTRUCTION.
- 14 REMOVE ALL CABINETS AND COUNTERTOPS AS REQUIRED FOR NEW CONSTRUCTION.
- 15 PLUMBING TRENCH - SAW CUT EXISTING CONCRETE SLAB AND REMOVE AS REQUIRED FOR NEW PLUMBING CONNECTIONS. CONTRACTOR TO VERIFY ROUTE AND EXTENT OF WORK IN BID.
- 16 EXISTING SERVICES ROOM - REWORK AS REQUIRED FOR NEW CONSTRUCTION.
- 17 REMOVE OIL TANK, PIPING & CONCRETE PAD.

GENERAL NOTES

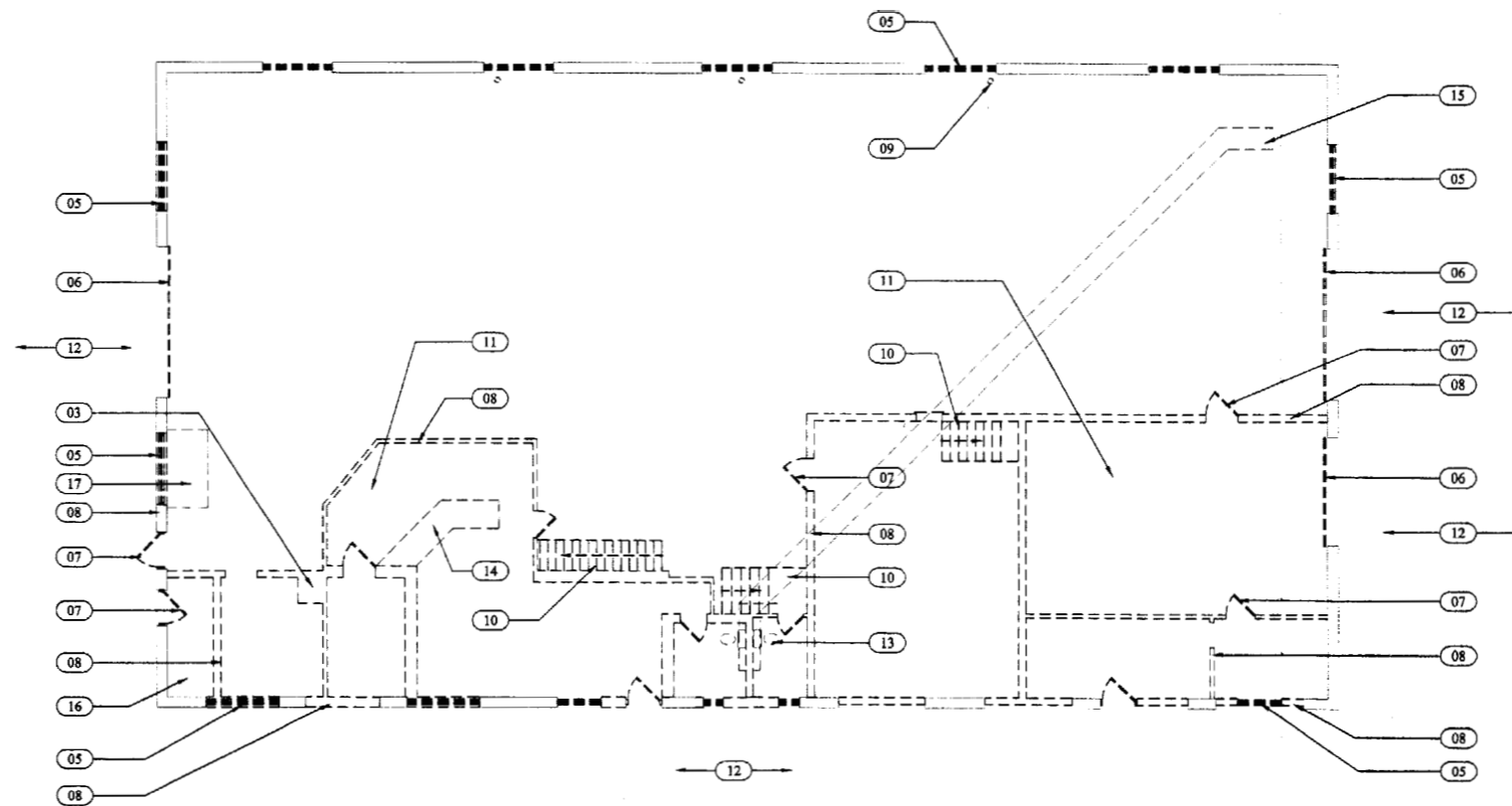
REFER TO ELECTRICAL DRAWINGS SUPPLIED BY ELECTRICAL DESIGN / BUILD CONTRACTOR FOR ELECTRICAL DEMOLITION - COORDINATE WITH ALL TRADES.

REFER TO MECHANICAL DRAWINGS SUPPLIED BY MECHANICAL DESIGN / BUILD CONTRACTOR FOR MECHANICAL DEMOLITION - COORDINATE WITH ALL TRADES.

REFER TO PLUMBING DRAWINGS SUPPLIED BY PLUMBING DESIGN / BUILD CONTRACTOR FOR PLUMBING DEMOLITION - COORDINATE WITH ALL TRADES.

1. REMOVE ALL CEILING GRIDS AND TILES AS REQUIRED FOR NEW CONSTRUCTION.
2. REMOVE ALL WALLCOVERINGS AND FINISHES AS REQUIRED FOR APPLICATION OF NEW FINISHES.
3. REMOVE ALL FLOOR COVERING, SOE AND DEBRIS AND PREPARE EXISTING CONCRETE AS REQUIRED FOR SMOOTH AND LEVEL APPLICATION OF NEW FLOORING.
4. REMOVE ALL PAVEMENT AND WALKS AS REQUIRED FOR NEW CONSTRUCTION.
5. REMOVE ALL LANDSCAPING AS REQUIRED FOR NEW CONSTRUCTION.
6. REMOVE ROOF AND ROOFING AS REQUIRED FOR NEW CONSTRUCTION.

A17 LEGEND
NA



A4 DEMOLITION FLOOR PLAN
1/8" = 1'-0"



JAWRON NREGEON ARCHITECTS

29 Black Point Road
Scarborough, ME 04074

Tel: 207 883 6307
Fax: 207 883 0361

Hillman Building - Renovation
PORTLAND, MAINE

REVISIONS

#	DATE	DESCRIPTION
1	5.23.03	NOT FOR CONSTRUCTION - ISSUED FOR REVIEW
2	12.19.03	ISSUED FOR TENANT APPROVAL

RECEIVED
DEC 22 2003
ALLIED CONSTRUCTION

DATE:	12-19-03
PROJECT #:	010903
DRAWN BY:	DMR
CHECKED BY:	DMR
DRAWING SCALE:	AS NOTED

SHEET TITLE

DEMOLITION PLAN

D100

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REVISIONS	DATE	DESCRIPTION
1	8/2/05	INITIAL CONSTRUCTION - ISSUED FOR REVIEW
2	11/19/05	REVISIONS FOR PERMITS APPROVAL

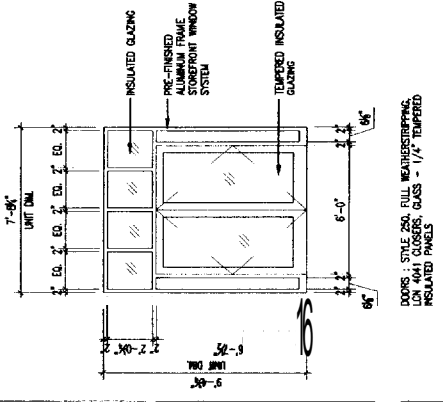
RECEIVED
 DEC 7 2003
 ALLIED CONSTRUCTION

DATE:	12-9-03
PROJECT #:	010903
DRAWN BY:	DMR
CHECKED BY:	DMR
DRAWING SCALE:	AS NOTED

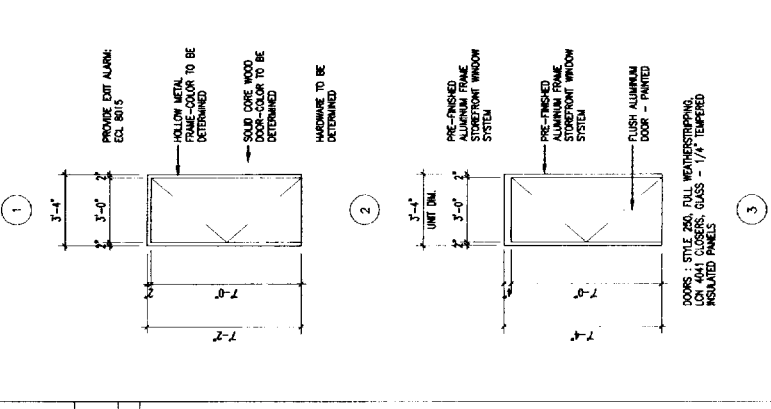
SHEET TITLE
 FLOOR PLAN

A100

CONSTRUCTION DOCUMENTS
 100% COMPLETE
 GAWRON TURGEON ARCHITECTS



LI WINDOW TYPES - FIELD VERIFY ALL OPENINGS PRIOR TO FABRICATION
 1/4" = 1'-0"

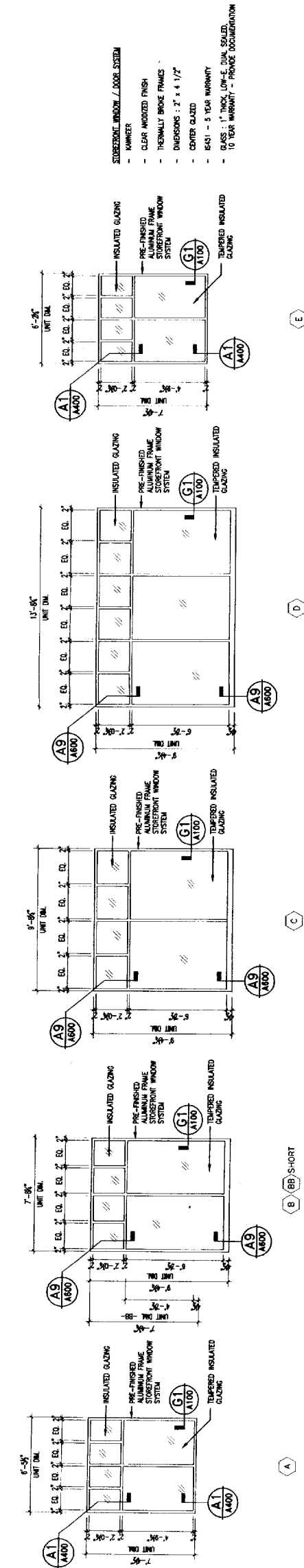


E17 DOOR TYPES
 1/4" = 1'-0"

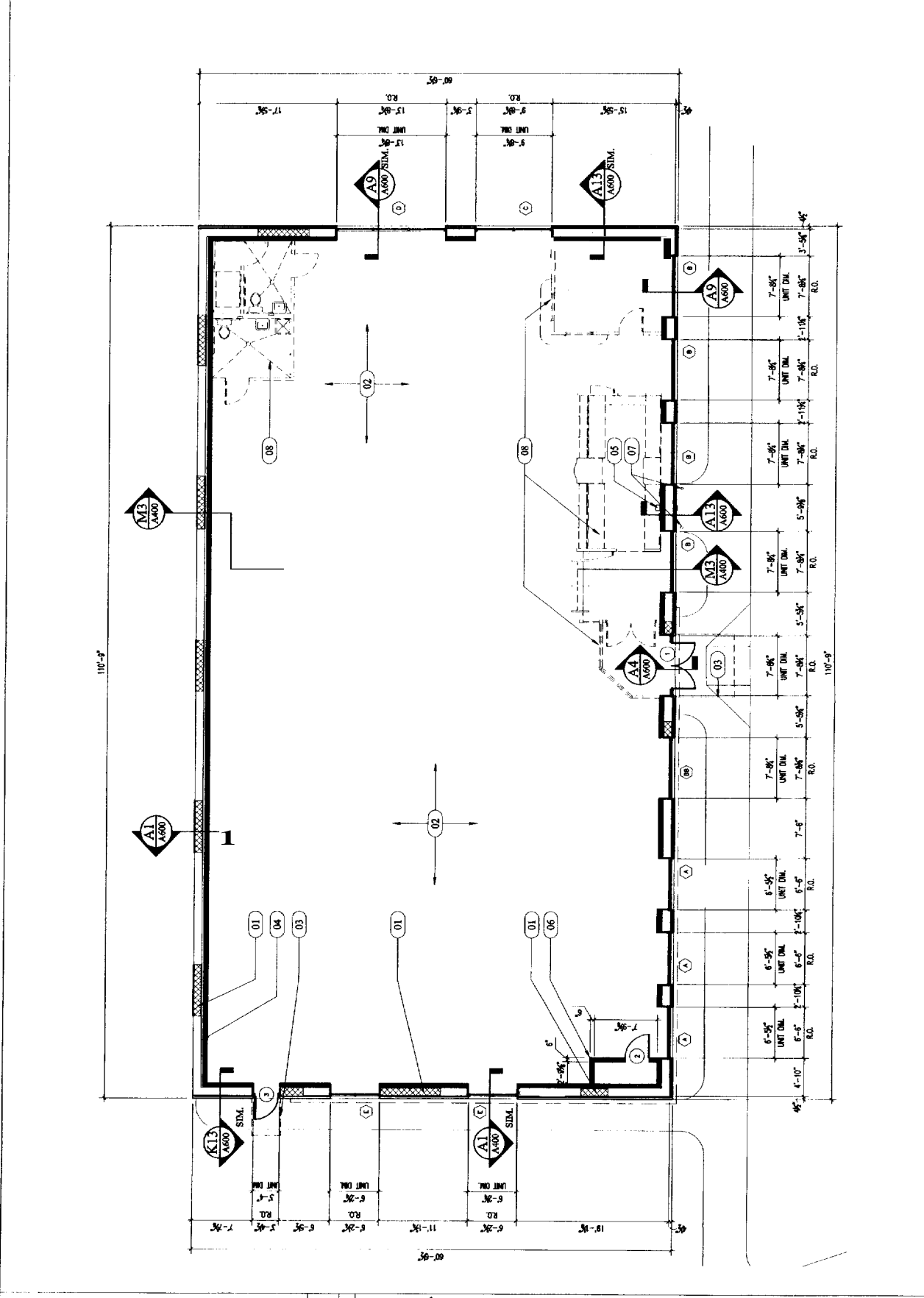
FLOOR PLAN LEGEND

- 01: DETAIL REFER TO MATCH EXISTING CONSTRUCTION - SEE L&A TO A1000
- 02: USE EXISTING GLASS PARTITIONS, CONSIDER GLASS REFER TO STRUCTURAL DRAWINGS AND WALL SECTIONS
- 03: CONCRETE FLOOR - REFER TO STRUCTURAL DRAWINGS
- 04: INTERIOR PARTITION WALL CONSTRUCTION - REFER TO WALL SECTIONS
- 05: DROP CEILING PER TENANT SPECIFICATION - CONTRACTOR SHALL PROVIDE DETAIL CONFORMANCE WITH OWNER, TENANT AND ALL TRADES AS REQUIRED
- 06: INTERIOR WALL PARTITION - SEE 05. USE 5/8" X 2" G-CLAD BOARD PER TENANT SPECIFICATION - CONTRACTOR SHALL PROVIDE DETAIL CONFORMANCE WITH OWNER, TENANT AND ALL TRADES AS REQUIRED
- 07: 4" X 8" BOLLARD - TOP @ 4" X 8" BOLLARD, 1/2" X 1/2" X 30" DEEP CONCRETE FOOTING - BOTTOM OF BOLLARD @ 4" X 8" BOLLARD - 1/2" X 1/2" X 30" DEEP CONCRETE FOOTING - TYPICAL
- 08: TENANT FIT-UP PERMITTED BY TENANT - DESIGN DOCUMENTS MUST BE SUBMITTED TO THE DESIGN PROFESSIONAL, TYPICAL DESIGN AND CODE CONFORMANCE. PROVIDE TENANT FIT-UP DESIGN TEAM PRINTS TO CONSTRUCTION.

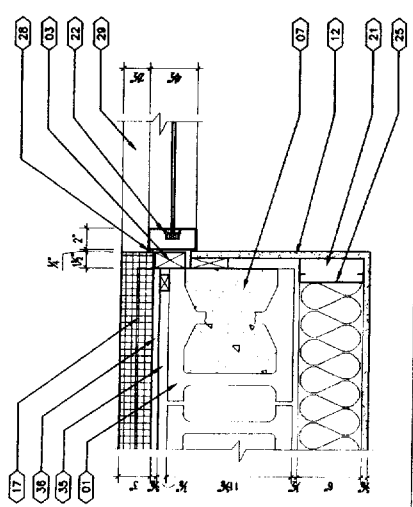
A1	CODE DATA
A4	FLOOR PLAN
A17	LEGEND
NA	



LI WINDOW TYPES - FIELD VERIFY ALL OPENINGS PRIOR TO FABRICATION
 1/4" = 1'-0"

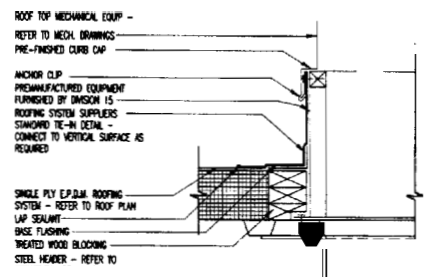


A4 FLOOR PLAN
 1/8" = 1'-0" NOTE: INTERIOR FIT-UP CONSTRUCTION DOCUMENTS BY OTHER



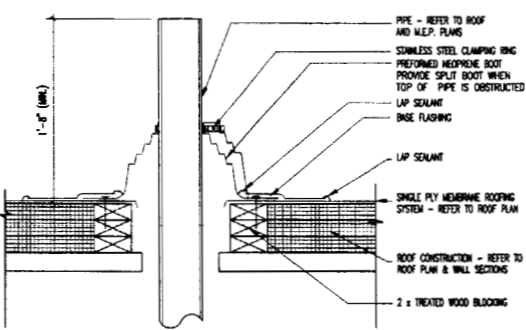
G1 WINDOW JAMB DETAIL
 1/2" = 1'-0" REFER TO SHEET A600 FOR LEGEND

SECTION	DESCRIPTION
NEFA 101 CODE DATA	NEFA 101 CODE DATA
BOCA 1993 CODE DATA	BOCA 1993 CODE DATA



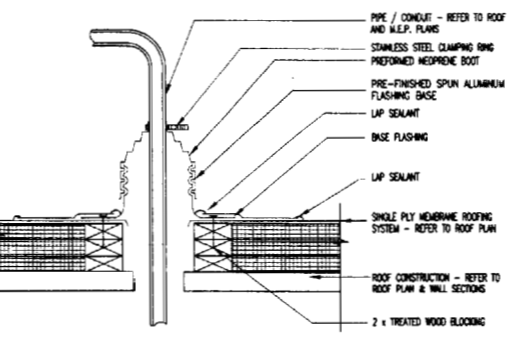
K1 BOX CURB DETAIL

1 1/2" = 1'-0"



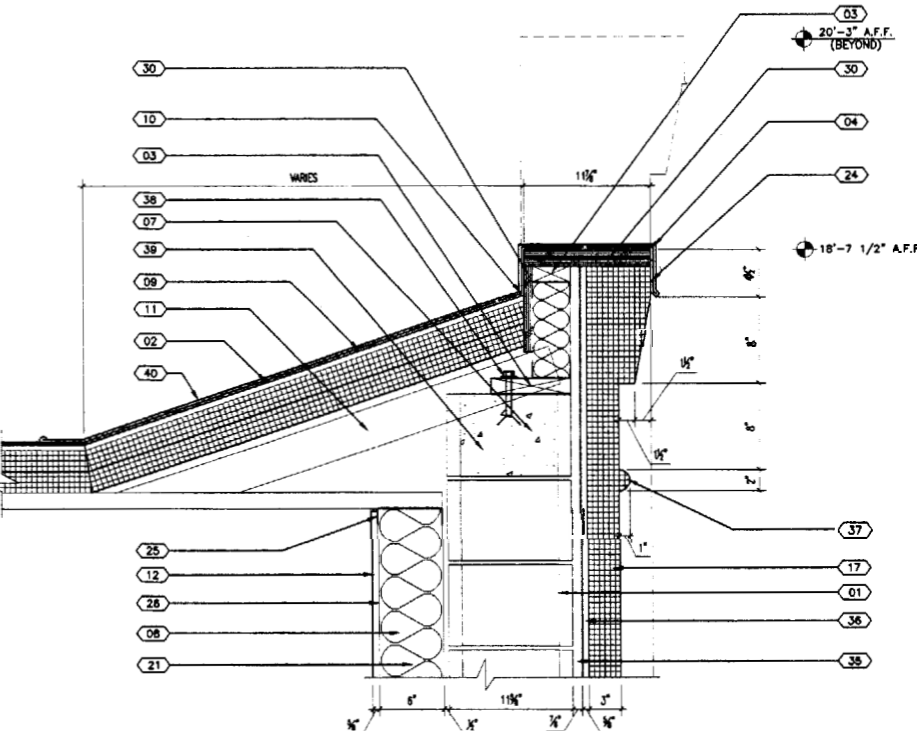
K5 PIPE PENETRATION

1 1/2" = 1'-0"



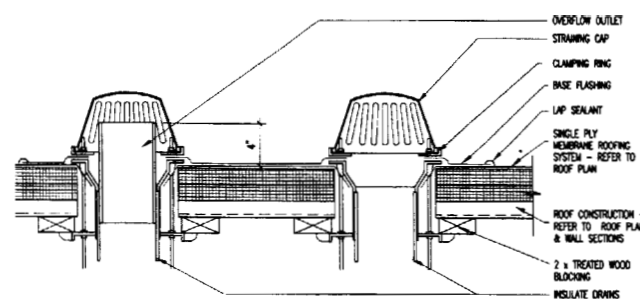
K9 CONDUIT PENETRATION

1 1/2" = 1'-0"



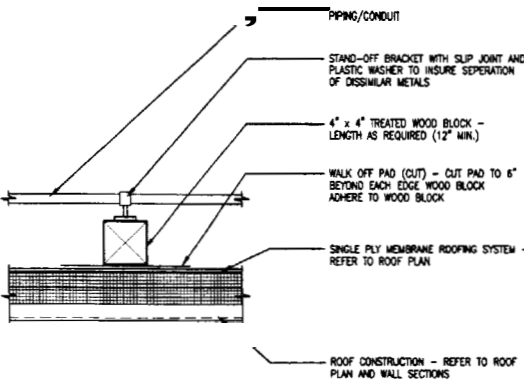
K13 PARAPET DETAIL

1 1/2" = 1'-0" REFER TO DRAWING A600 FOR LEGEM)



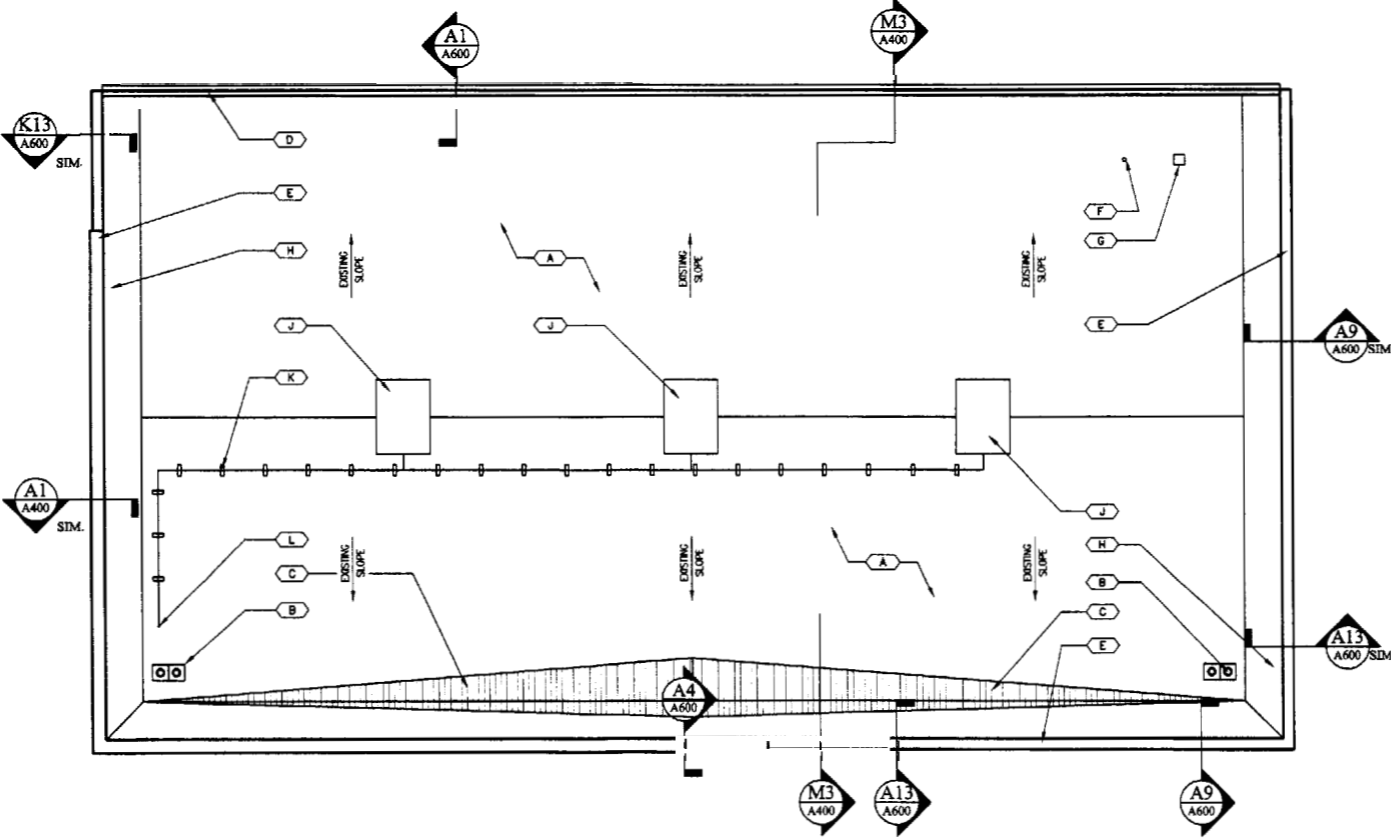
E1 ROOF DRAIN DETAIL

1 1/2" = 1'-0"



A1 PIPING ROOF STAND-OFF DETAIL

1 1/2" = 1'-0"



A5 ROOF PLAN

1/8" = 1'-0"

- ROOF PLAN LEGEND**
- A** ROOFING SYSTEM - FULLY ADHERED SINGLE PLY RUBBER POLYISOCYANURATE INSULATION w/ 1/2" ROOFING BOARD w/ 1/2" X 1/2" POLYISOCYANURATE INSULATION w/ METAL ROOF DECK - PROVIDE 10 YEAR TRANSFERABLE WARRANTY
 - B** ROOF DRAIN - REFER TO DETAIL E1/A200
 - C** CRACKKIT - MULTI-LAY INSULATION - SLOPE @ 1/4" PER FOOT MIN.
 - D** GRAVEL STOP - PRE-FINISHED ALUMINUM w/ GUTTER - REFER TO A1/A800
 - E** COPING - PRE-FINISHED ALUMINUM - REFER TO A1/A600
 - F** PLUMBING VENT
 - G** EXHAUST - SIMILAR TO E1/A200
 - H** SLOPED PARAPET BRACING - REFER TO K13/A200
 - J** ROOF TOP MECHANICAL EQUIPMENT - REFER TO K1/A200
 - K** PIPING ROOF STAND-OFF - REFER TO A1/A200
 - L** PIPE PENETRATION - REFER TO A1/A200
 - M** SATELLITE DISH - CONTRACTOR TO PROVIDE AND INSTALL TENANT APPROVED SATELLITE DISH w/ ALL CONNECTIONS, REQUIRED BLOCKING AND MOUNTING HARDWARE - LOCATION TO BE DETERMINED
- GENERAL NOTES:**
- REFER TO DESIGN BUILD M.E.P. DRAWINGS FOR ANY ROOF TOP EQUIPMENT, ASSOCIATED CURBS & PENETRATIONS - ALL REQUIRED ROOF PENETRATIONS ARE NOT SHOWN ON THESE DRAWINGS - ALL CONTRACTORS SHALL COORDINATE ALL WORK TO BE COMPLETED BY EACH TRADE PRIOR TO COMMENCEMENT OF CONSTRUCTION

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REVISIONS		
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1	9.23.03	NOT FOR CONSTRUCTION - ISSUED FOR REVIEW
2	12.19.03	ISSUED FOR TENANT APPROVAL

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SHEET TITLE
 ROOF PLAN AND DETAILS

A200



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SHEET TITLE

EXTERIOR ELEVATIONS

A400

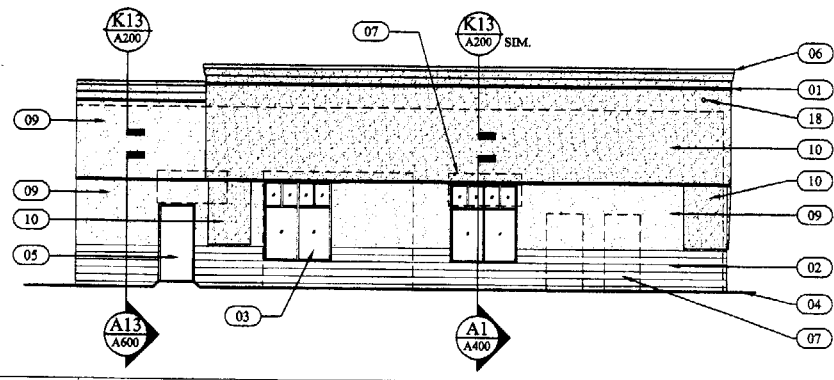
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ELEVATION LEGEND

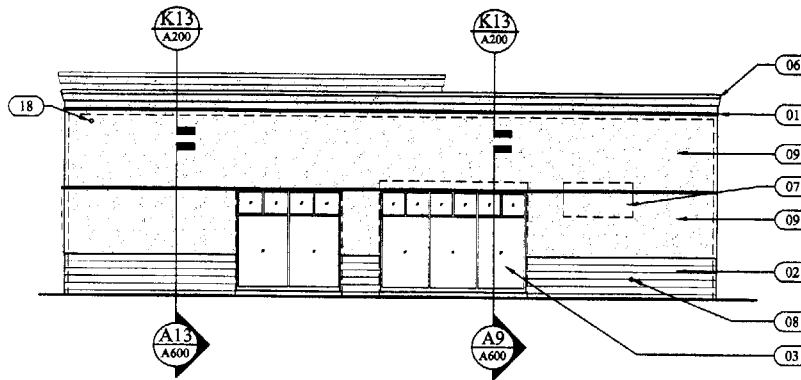
- 01 E.L.F.S. - HALF ROUND TRIM 2" DIAMETER - (STO - MOON/LIT SAND 1861-64)
- 02 4" SPLIT FACE C.M.U. VEXGER - (GAGNE & SON, 08-80)
- 03 PRE-FINISHED ALUMINUM STOREFRONT WINDOW SYSTEM - MILL FINISH
- 04 FINISH GRADE - REFER TO LANDSCAPE PLAN
- 05 PRE-FINISHED ALUMINUM STOREFRONT DOOR SYSTEM - MILL FINISH
- 06 PRE-FINISHED ALUMINUM COPING - KYNAR FINISH COLOR BY ARCHITECT
- 07 INFILL EXISTING MASONRY OPENINGS w/ (2) WYTHES OF 6" C.M.U. MATCH EXISTING COURSEING & BONDING
- 08 FROST FREE ROSE REEB - REFER TO DESIGN / BUILD PLUMBING DRAWINGS
- 09 E.L.F.S. - (STO - PEARL 1038-86)
- 10 E.L.F.S. - (STO - MOON/LIT SAND 1861-64)
- 11 NIGHT DROP BOX
- 12 EXTERIOR LIGHT FIXTURE - REFER TO DESIGN/BUILD ELECTRICAL DRAWINGS
- 13 PRE-FINISHED ALUMINUM GUTTER - COLOR BY ARCHITECT
- 14 EXISTING C.M.U. - FIX CRACKS PER STRUCTURAL DRAWINGS, REMOVE LOOSE PAINT AS REQUIRED FOR SMOOTH LEVEL APPLICATION OF PAINT - COLOR BY ARCHITECT
- 15 PRE-FINISHED ALUMINUM OPEN DOWNPOUT & FLASH BLOCK - COLOR BY ARCHITECT
- 16 PRE-FINISHED ALUMINUM COLLECTION BOX - PROVIDE BEAT TAPE
- 17 ROOF DRAIN PIPE PENETRATION
- 18 ROOF OVERFLOW OUTLET DRAIN PENETRATION
- 19 ROOF DRAIN PIPING - REFER TO DESIGN/BUILD PLUMBING DRAWINGS
- 20 TENANT SIGN LOCATION - VERIFY CODE COMPLIANCE AND DESIGN - PROVIDE BLOCKING & SEE NOTES AS REQUIRED - COORDINATE w/ OTHER TENANT AND ALL TRADES PRIOR TO CONSTRUCTION

A17
NA
LEGEND

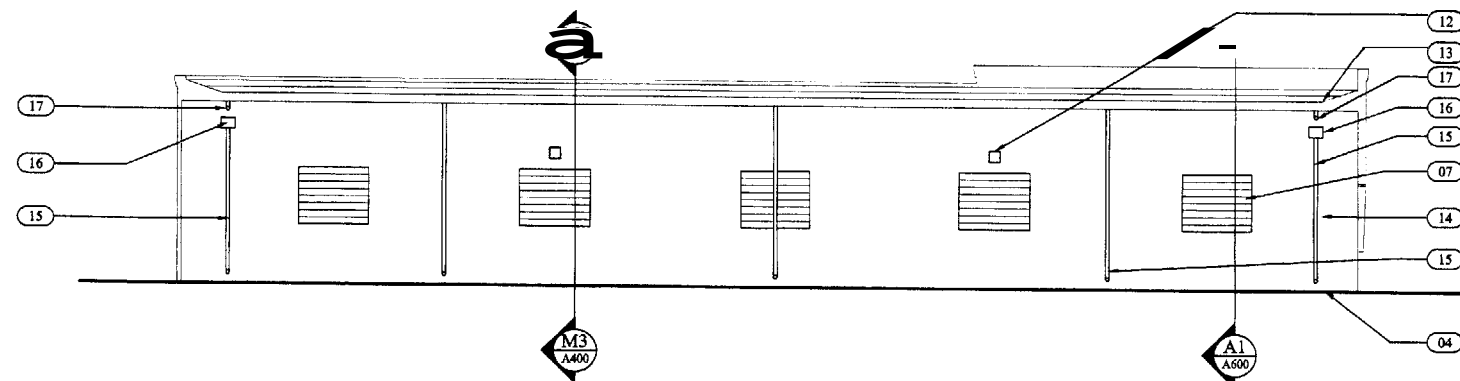
M1 1/8" = 1'-0" **SOUTH EXTERIOR ELEVATION**



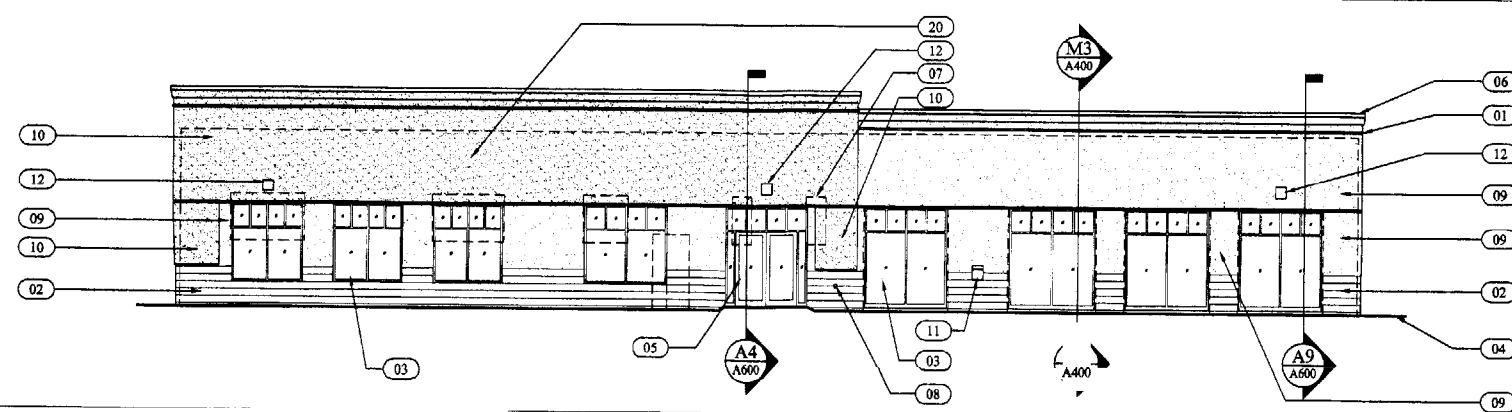
H11 1/8" = 1'-0" **SOUTH EXTERIOR ELEVATION**



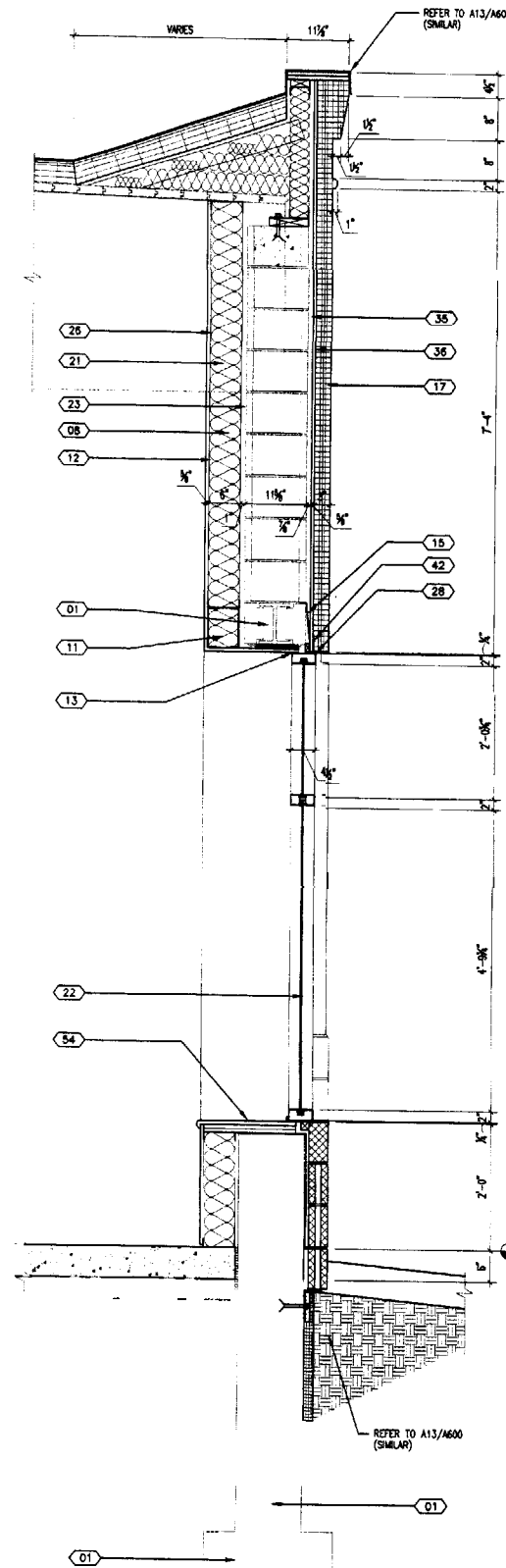
H4 1/8" = 1'-0" **NORTH EXTERIOR ELEVATION**



D4 1/8" = 1'-0" **EAST EXTERIOR ELEVATION**



A4 1/8" = 1'-0" **WEST EXTERIOR ELEVATION**



A1 1/4" = 1'-0" **WALL SECTION**
SECTION LEGEND ON A600

A4 1/8" = 1'-0" **WEST EXTERIOR ELEVATION**



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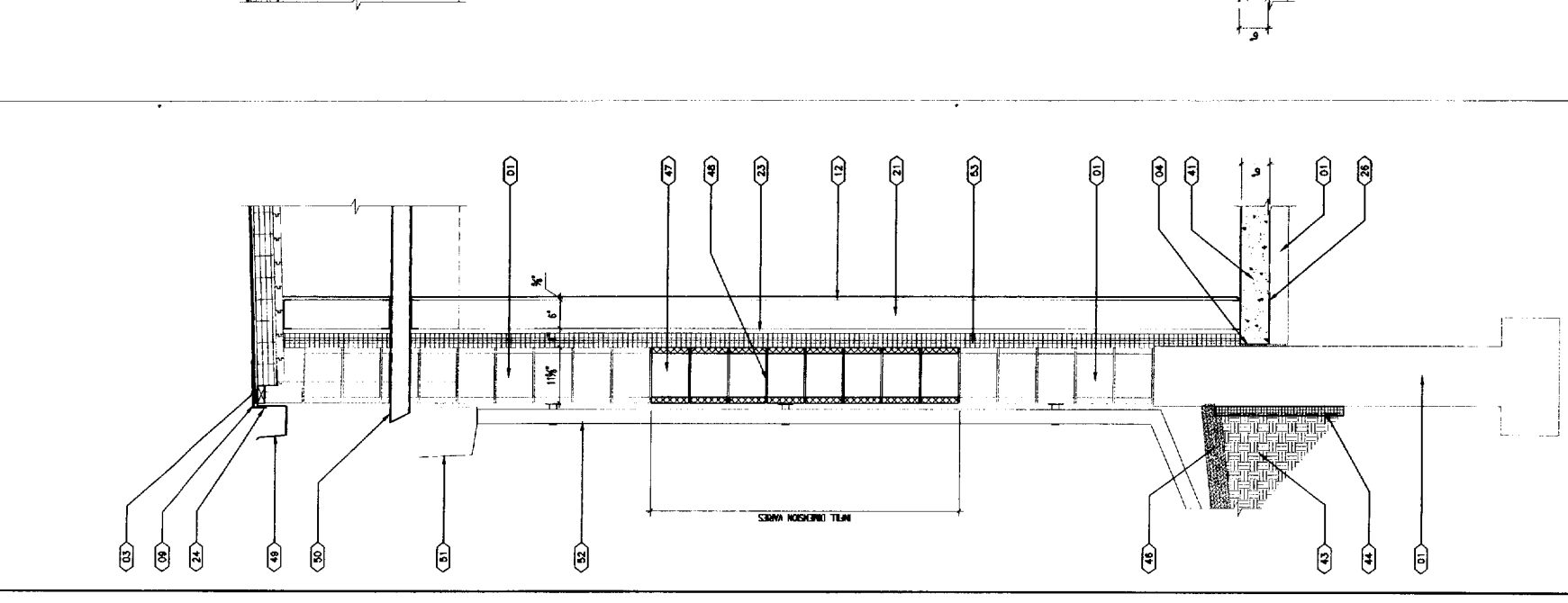
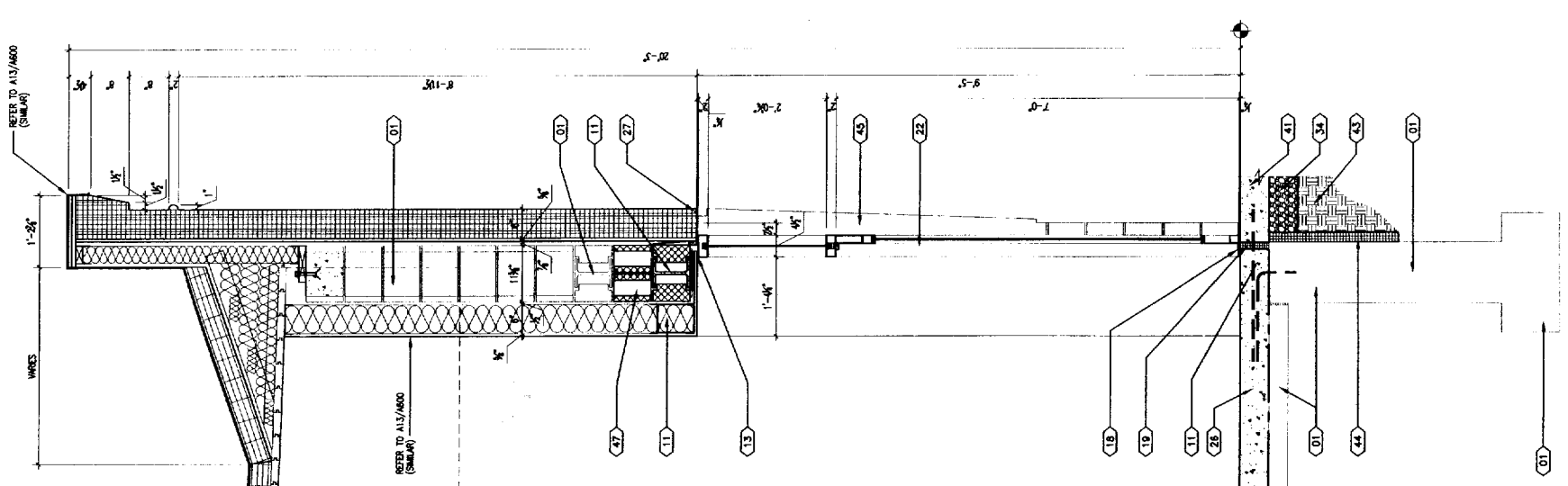
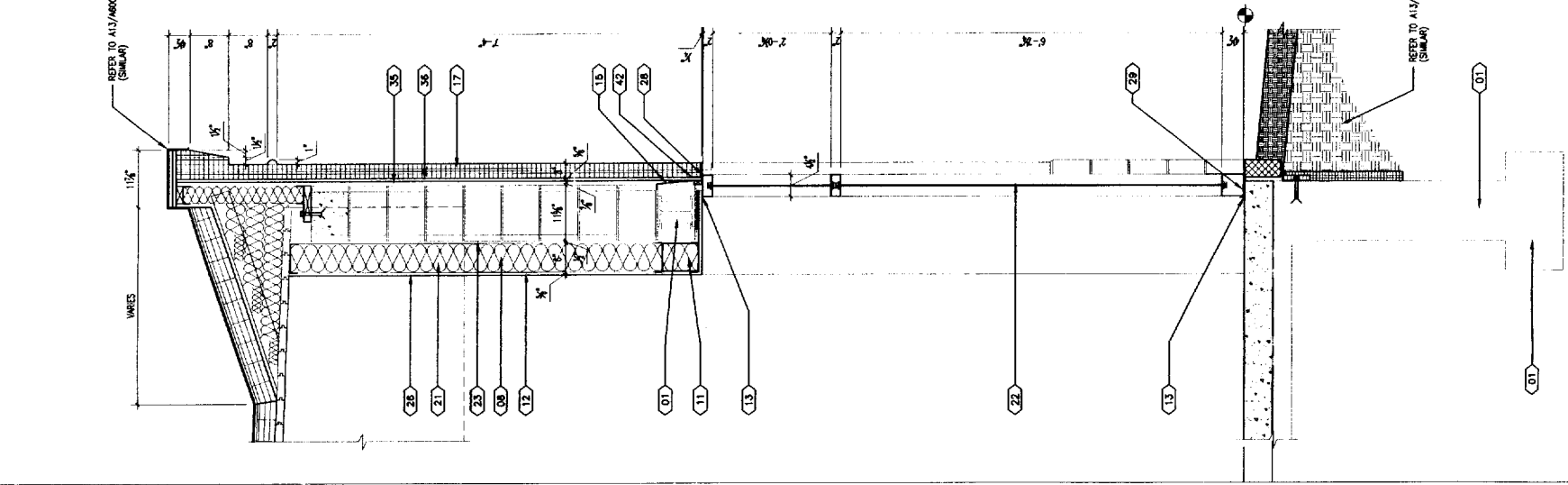
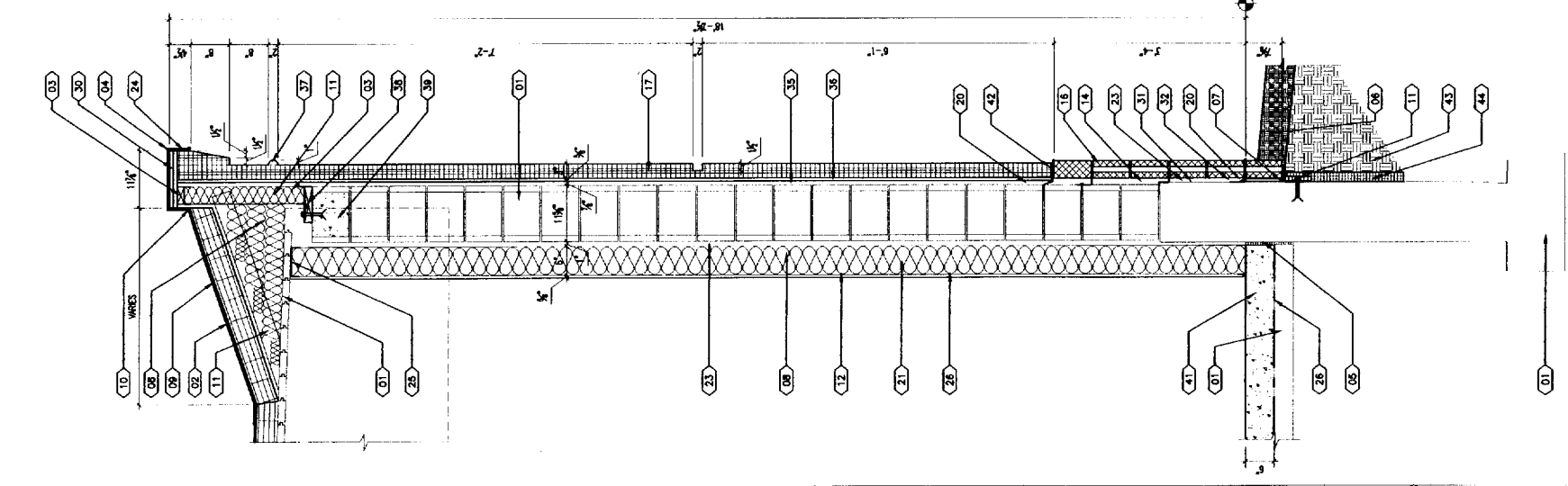
WALL SECTIONS

A600

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WALL SECTION LEGEND

- 01 EXISTING CONSTRUCTION
- 02 ROOFING SYSTEM - REFER TO ROOF PLAN
- 03 2" TREATED WOOD BLOCKING
- 04 PRE-FINISHED ALUMINUM COPING w/ SPRING CLIPS - COLOR BY ARCHITECT
- 05 1" EXPANSION MATERIAL w/ SEALANT @ TOP
- 06 BACKFILL @ 4" OF TOPSOIL w/ 6" CLAY OR LOAM CAP
- 07 GROUT SOLID
- 08 6" FIBERGLASS BATT INSULATION
- 09 BASE 1" ROOF BOSS FLASHING
- 10 ROOFING SYSTEM STANDARD EDGE TRIM DETAIL - ATTACH TO VERTICAL SURFACE
- 11 STRUCTURAL FRAMING - REFER TO STRUCTURAL DRAWINGS
- 12 1/2" TYPE X GYPS
- 13 SEALANT @ PERIMETER ALL EDGES
- 14 MARKING TIES @ 1/2" VERTICAL @ 4" HORIZONTAL - TAPCON TO EXISTING CALL
- 15 TYPICAL FLASHING SYSTEM w/ DEEP FLOES @ 1/4" (2 MIN) w/ DAM @ JOINTS & WINDOWS & DOORS
- 16 4" x 1/2" SPACER CALL
- 17 1/2" x 1/2" FIBERGLASS WATER MASTER STOOD W/ W/ P SET IN SEALANT BED
- 18 1" PER INSULATION THERMAL BREAK
- 19 SHEET METAL FLASHING w/ WEBS @ 1/2" x 1/2"
- 20 6" GYPS VERTICAL TIES @ 1/2" x 1/2" - REFER TO STRUCTURAL DRAWINGS - 2x GAUZE (MIN)
- 21 RE-FINISHED STAINLESS STEEL SYSTEM - REFER TO WINDOW AND DOOR TYPES
- 22 AIR SPACE
- 23 ROOFING MEMBRANE SHALL CONTINUE UP SURFACE & LOWER TOP SURFACE TO CONTINUE DOWN OPPOSITE SIDE 1" ABOVE CORNER/ JUMP
- 24 SLIP TRACK
- 25 VAPOR BARRIER - 4 MIL VIKERS
- 26 1" DEEP EDGE - 1/2" DEEP w/ 4" BRIDGE CUT
- 27 SEALANT @ PERIMETER WITH BACKER BUD
- 28 SETTING BED - SET IN (2) BEAMS OF SEALANT
- 29 3/4" TREATED PL W/ WOOD
- 30 RELATION BAR/BEAM LAY OVER FLASHING
- 31 CAVITY DRAINAGE MATERIAL
- 32 7" MIN WOOD - HOLD BACK 1/2" FROM EDGE OF ADJACENT MATERIAL w/ SEALANT @ PERIMETER
- 33 GRANULAR FILL - CONDUCTED TO H FIBROST
- 34 3/4" GALVANIZED METAL BATT CHANNELS AT 1/2" O.C.
- 35 1/2" x 1/2" TIE
- 36 EXPANSION ANCHOR - REFER TO STRUCTURAL DRAWING
- 37 FILL CORE SOLID WITH CONCRETE - REFER TO STRUCTURAL DRAWINGS
- 38 BASE FLASHING
- 39 POURED-IN-PLACE CONCRETE SLAB - REFER TO STRUCTURAL DRAWINGS
- 40 1/2" x 1/2" VERTICAL BASE TIE AND FLASHING
- 41 ENGINEERED BACK FILL CONDUCTED TO H FIBROST
- 42 2" THICK RIGID INSULATION @ DEEP - CONTIGUOUS AT BOLLING EDGE
- 43 1/2" x 1/2" CANTID RELATER
- 44 NEW TYPING - MATCH EXISTING - REFER TO CIVIL DRAWINGS
- 45 CALK DRESS - MATCH EXISTING MATERIAL, FINISH CORNERING AND BONDING
- 46 WELDED WIRE REINFORCING AT 1/2" O.C. VERTICAL - CONTIGUOUS
- 47 PRE-FINISHED ALUMINUM GUTTER - COLOR BY ARCHITECT
- 48 ROOF DRAIN OUTLET - HEAT TAP
- 49 PRE-FINISHED ALUMINUM COLLECTION PAIL - COLOR BY ARCHITECT - HEAT TAP
- 50 PRE-FINISHED ALUMINUM OPEN DOWNSPUT DOWN TO BLEASH BLOCK - COLOR BY ARCHITECT
- 51 3" RIGID INSULATION - TYPICAL 1/2" LAYERS FIBROSTED
- 52 TYPICAL STUD - CENTER LINE 1/2" @ BOLLING w/ 1/2" CAST REINFORCING @ 1/2" TYPICAL @ TYPICAL SUBSTRATE



A17 LEGEND

A13 WALL SECTION

3/4" = 1'-0"

A9 WALL SECTION

3/4" = 1'-0"

A4 WALL SECTION

3/4" = 1'-0"

A1 WALL SECTION

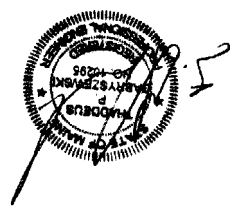
3/4" = 1'-0"

NA

DATE	DESCRIPTION

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DATE:	19 DEC 03
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DRAWING SCALE:	AS NOTED
SHEET TITLE:	GENERAL NOTES AND DETAILS

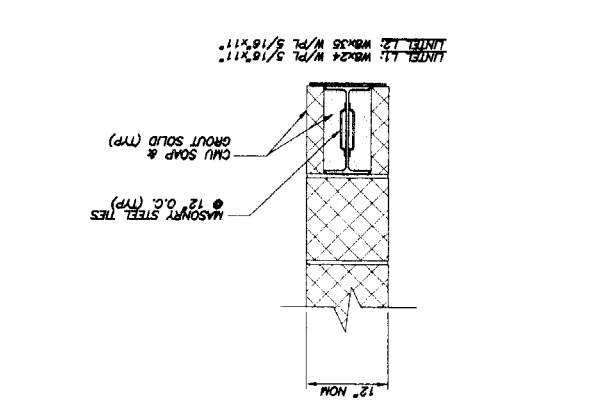


TYPICAL LINTEL BEARING DETAIL
1/2"=1'-0"

TYPICAL LINTEL DETAILS
1/2"=1'-0"

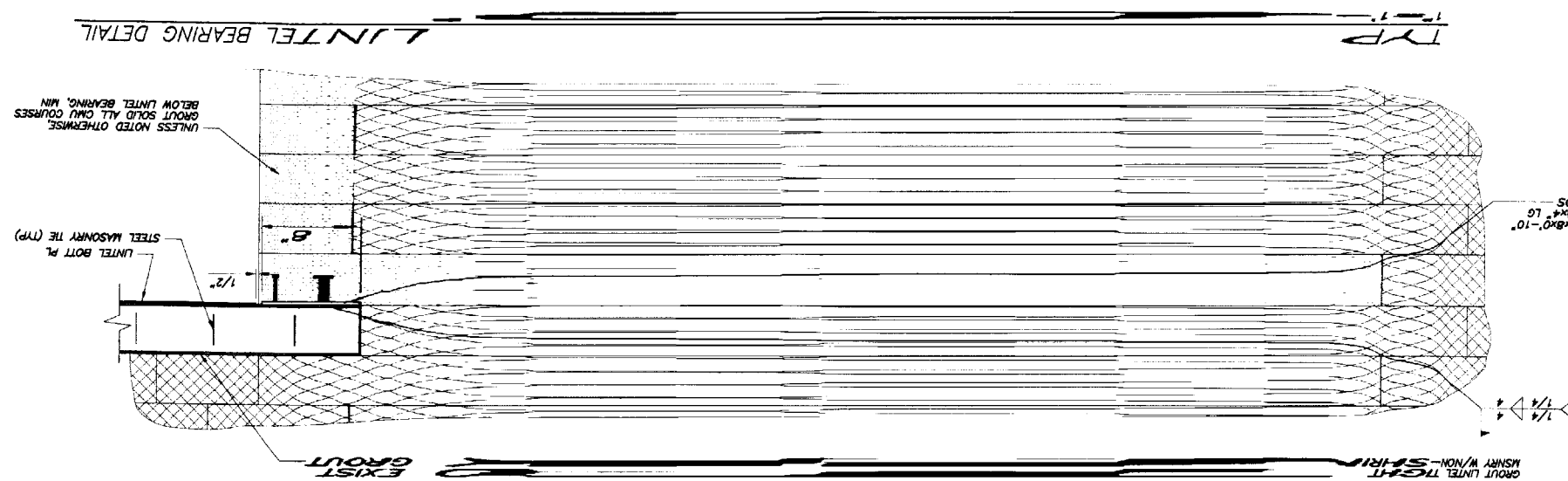
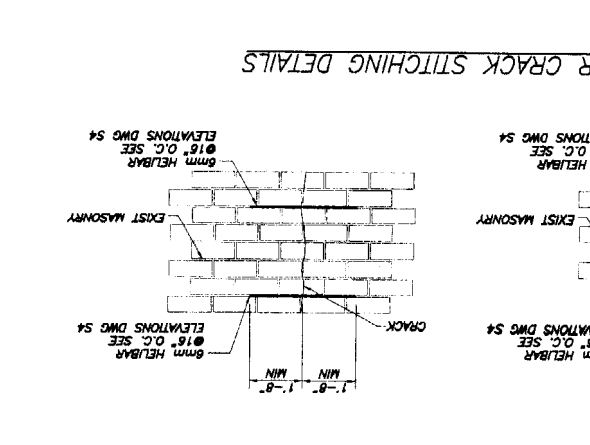
TYPICAL LINTEL BEARING DETAIL
1/2"=1'-0"

TYPICAL LINTEL BEARING DETAIL
1/2"=1'-0"



HELIPER CRACK STITCHING PROCEDURE:

1. ALL SPLIT AND CRACKED SECTIONS OF MULTI-WYTHE MASONRY SHOWN ON THE DRAWINGS ARE TO BE REINFORCED BY MEANS OF "CRACK STITCHING" TECHNIQUE UTILIZING THE HELIPER HELIPER STEEL HELIX ROD AS MANUFACTURED BY HELIFIX NORTH AMERICA, 110 MAPLECONCRETE ROAD, CONCORD, ONTARIO, CANADA, 888-992-9989.
2. TAKE OUT OR SAWCUT SLOTS IN THE HORIZONTAL MORTAR JOINTS A MINIMUM OF 20 INCHES EITHER SIDE OF THE CRACK TO THE DEPTH OF 1 1/2" - 2 INCHES.
3. CLEAN OUT THE JOINTS WITH COMPRESSED AIR OR WATER PRIOR TO THE INSTALLATION OF THE CEMENTIOUS GROUT.
4. INFLECT CEMENTIOUS GROUT INTO THE BACK OF THE JOINT WITH A GROUT GUN.
5. PUSH THE HELIPER INTO THE BACK OF THE JOINT, APPLY A BEAD OF GROUT OVER THE EXPOSED HELIPER AND "FRON" INTO THE JOINT WITH A FINGER TROWEL.
6. REPOINT THE JOINT AND FILL THE VERTICAL CRACK WITH NON-SHRINK GROUT.
7. WHERE THE DISTANCE FROM THE CRACK TO A TERMINATION POINT DOES NOT EXCEED 20 INCHES THE HELIPER IS TO BE BENT 90° AND INSERTED INTO A 6mm DRILLED HOLE TO A DEPTH OF 3" - 4 INCHES PRIOR TO GROUTING.
8. WHERE A CRACK IS LESS THAN 20 INCHES FROM THE END OF A WALL THE HELIPER SHOULD BE BENT AROUND THE CORNER AND BONDED INTO THE RETURN WALL AT LEAST 6 INCHES.



TYP LINTEL BEARING DETAIL
1/2"=1'-0"

TYP LINTEL BEARING DETAIL
1/2"=1'-0"

TYP LINTEL BEARING DETAIL
1/2"=1'-0"

TYP LINTEL BEARING DETAIL
1/2"=1'-0"





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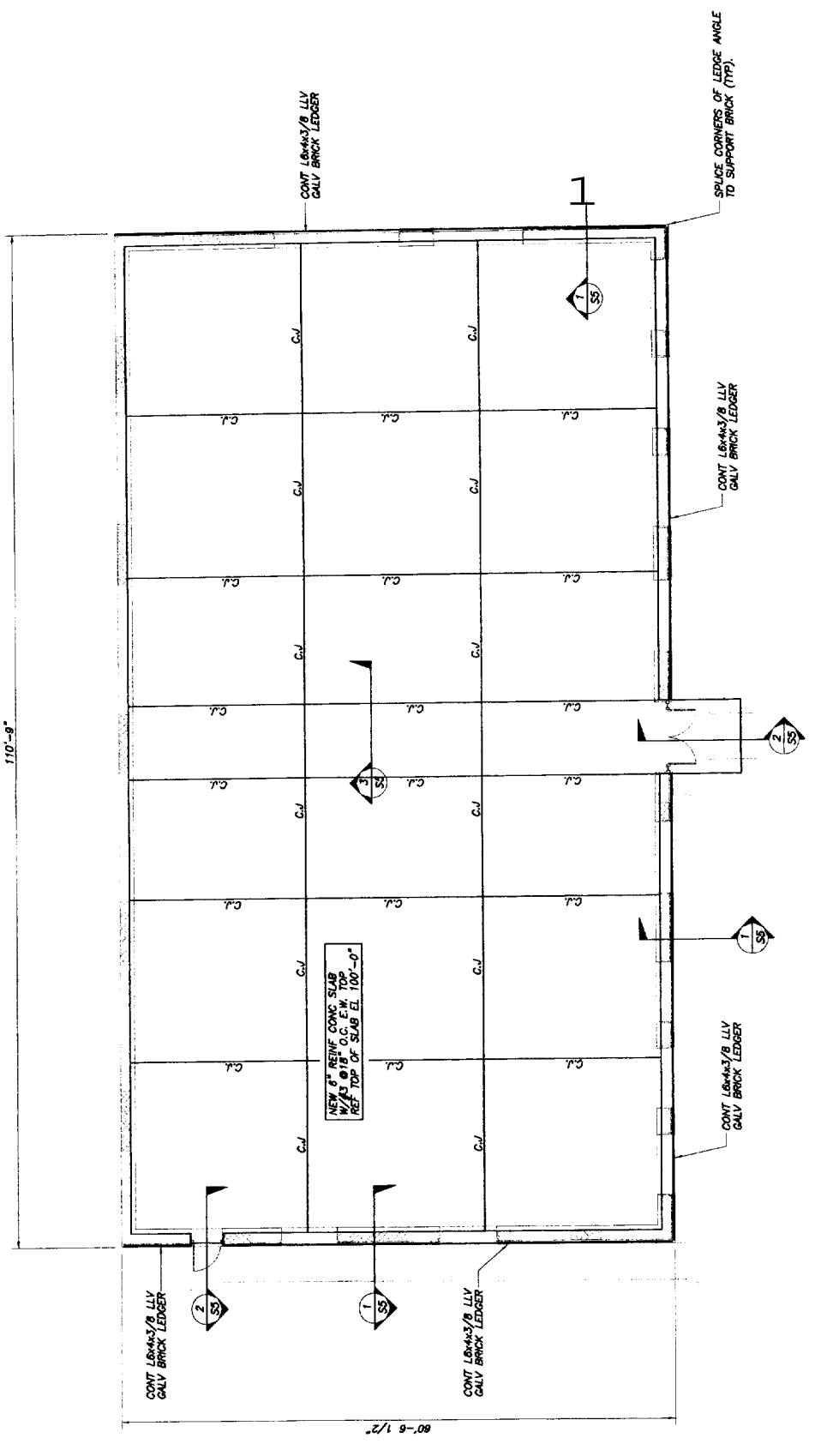
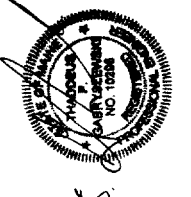
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1	19 DEC 03	RECEIVED
2	DEC 2 2003	ALLIED CONSTRUCTION

DATE:	19 DEC 03
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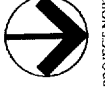
SHEET TITLE
 FIRST FLOOR PLAN

S2



FOUNDATION PLAN
 1/8"=1'-0"

- NOTES:
1. C.J. INDICATES SLAB CONTRACTION JOINT. SEE DETAIL 3 DWG S5.
 2. TOP OF FOUNDATION WALL EL. VARIES. G.C. VERIFY IN FIELD.



PROJECT NORTH

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NO.	DESCRIPTION

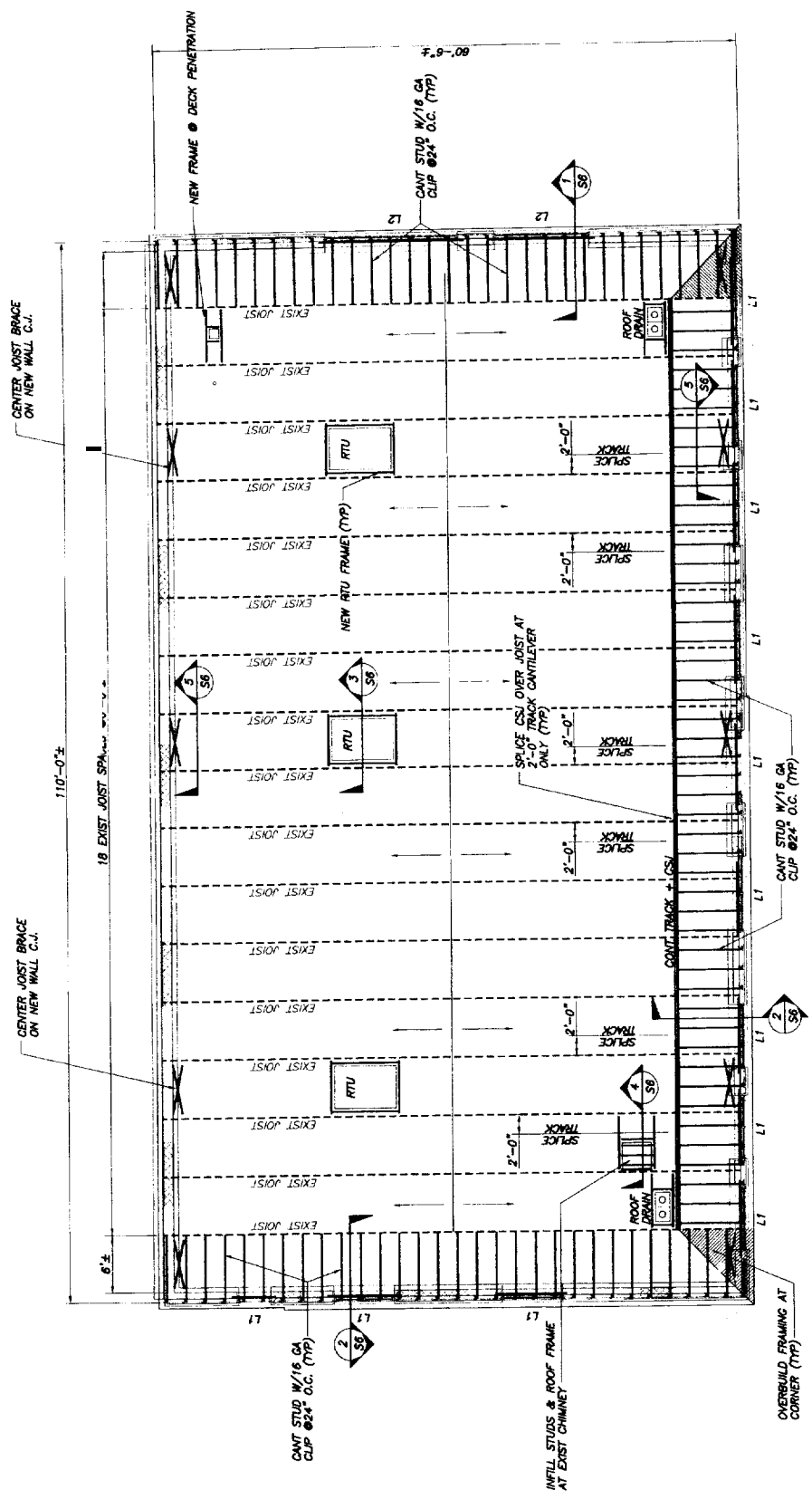
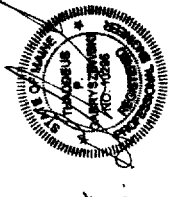
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SHEET TITLE
ROOF FRAMING PLAN

S3

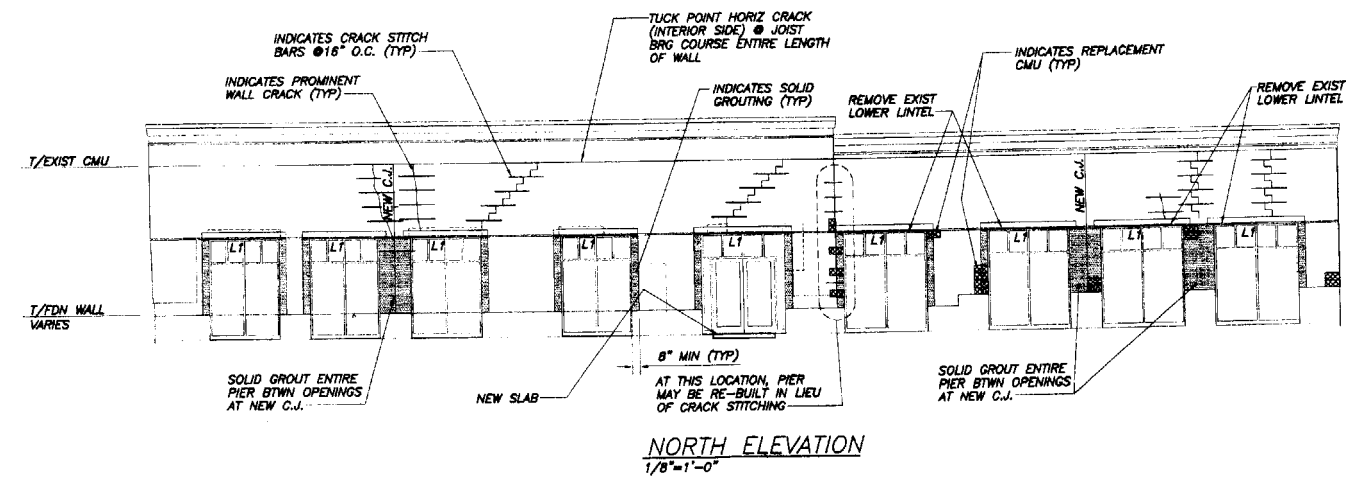
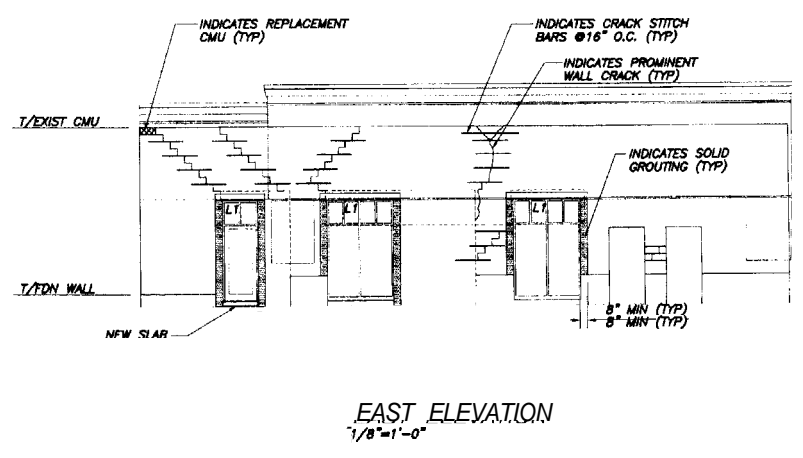
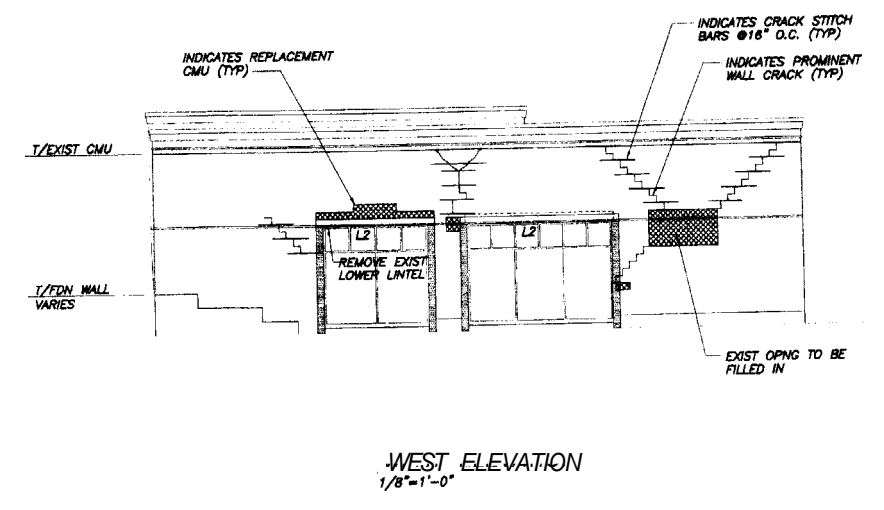
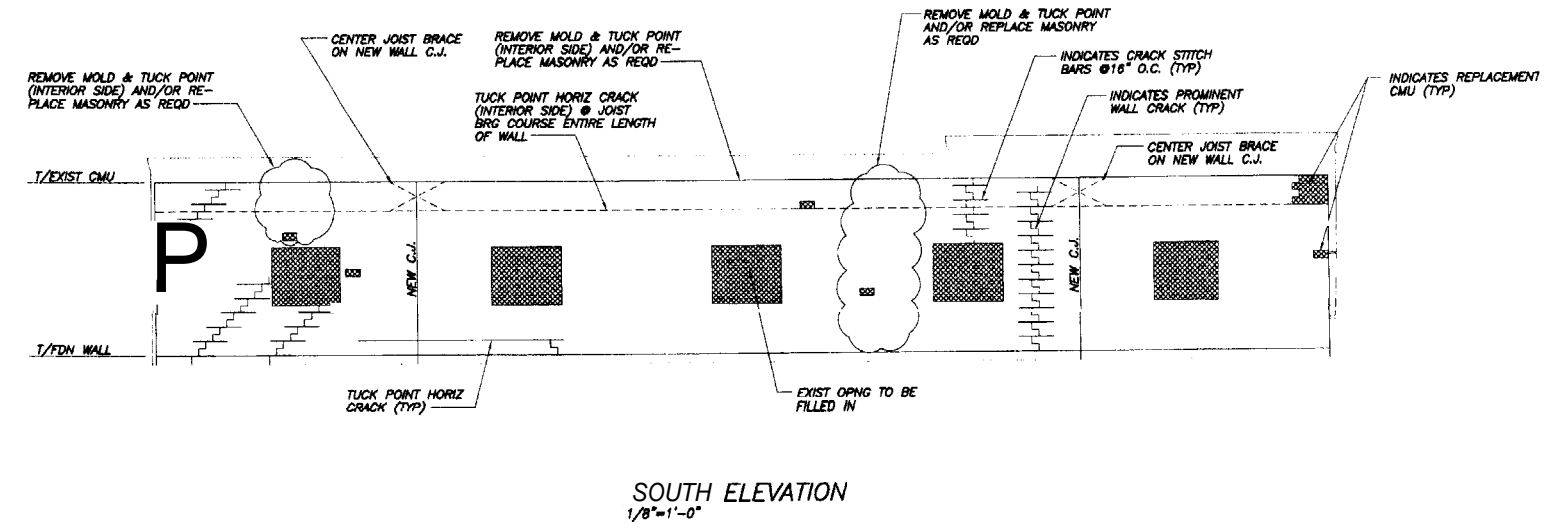
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ROOF FRAMING PLAN

- NOTES:
- COORDINATE ALL NEW EQUIPMENT W/MECH AND ARCH DWGS.
 - VERIFY ALL DIMENSIONS IN FIELD PRIOR TO FABRICATION & CONSTRUCTION.

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NOTES:
1. SEE TYP CRACK STITCHING DETAILS AND NOTES ON S1

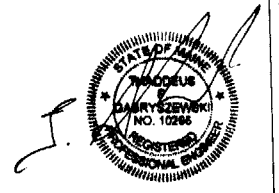
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SHEET TITLE
BUILDING ELEVATIONS

S4



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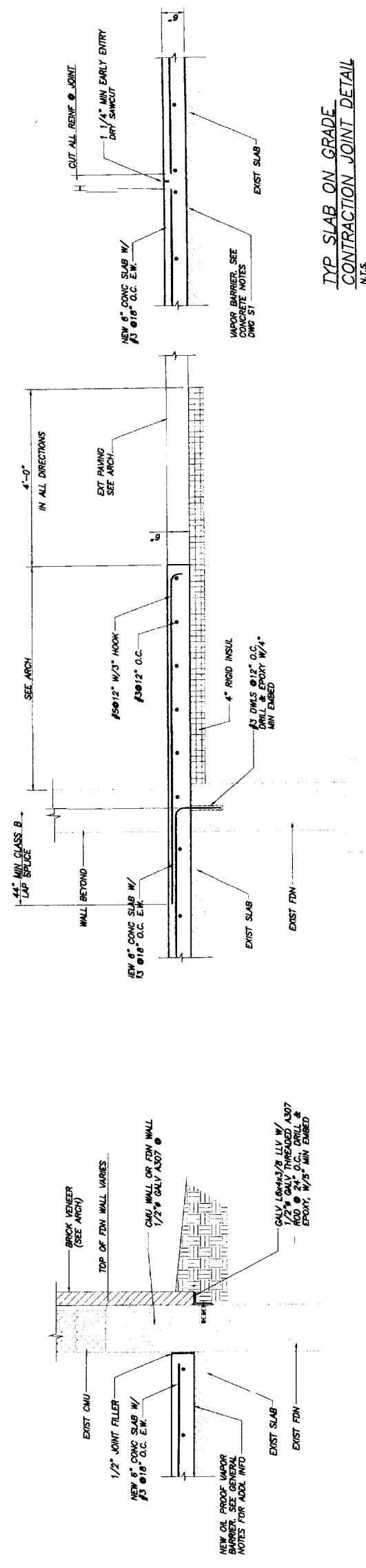
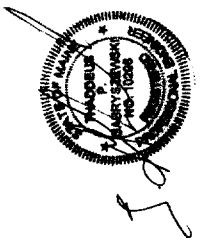
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SHEET TITLE

CONCRETE SECTIONS AND DETAILS

SS

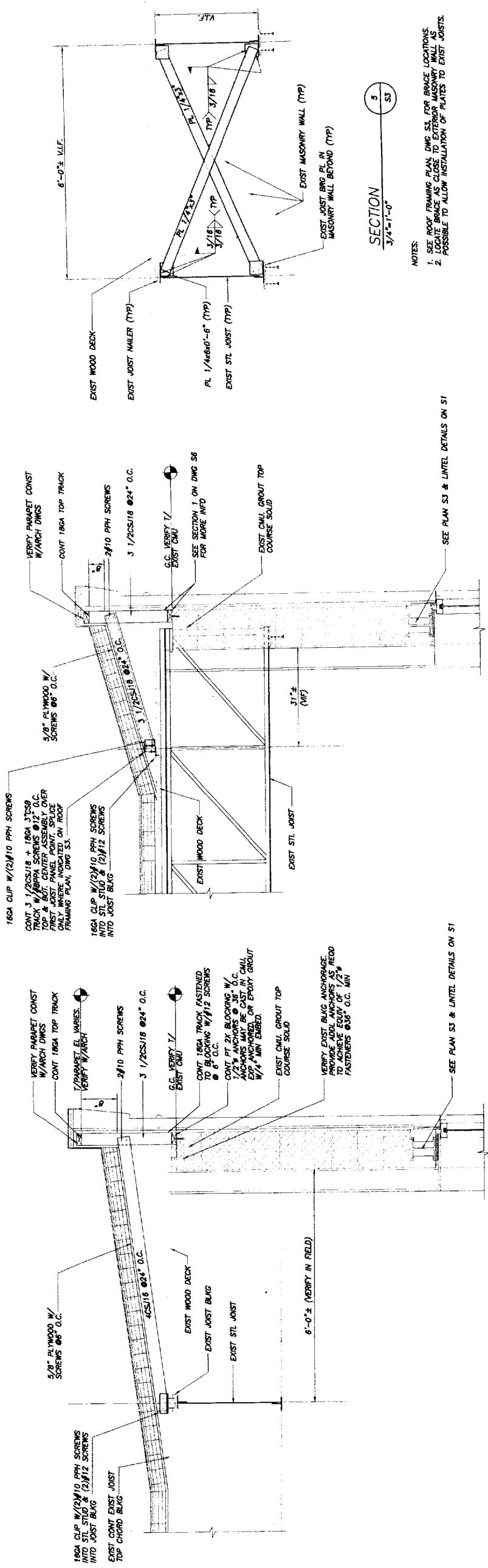
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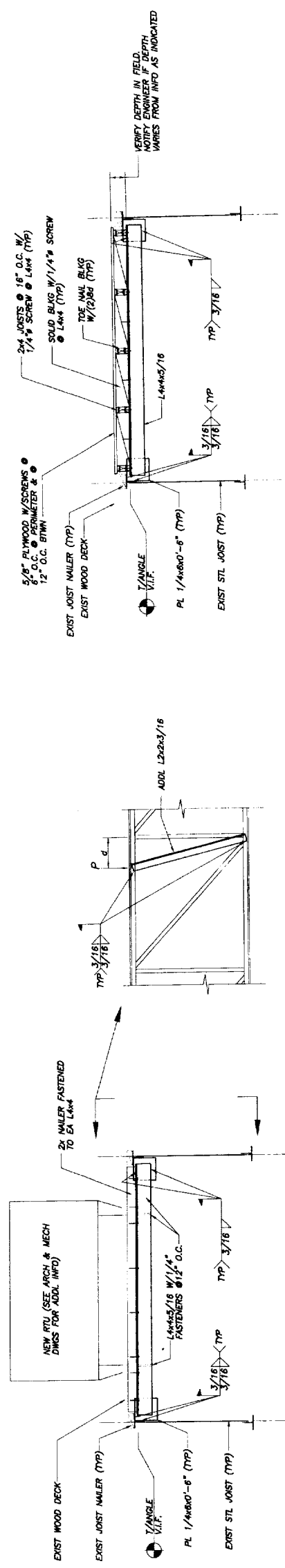
NO.	DATE	DESCRIPTION
1		
2		

DATE:	19 DEC 03
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CHECKED BY:	TG
DRAWING SCALE:	AS NOTED

SHEET TITLE	FRAMING SECTIONS AND DETAILS
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NOTES:
 1. SEE ROOF FRAMING PLAN, DWG S3, FOR BRACE LOCATIONS.
 2. SEE PLAN BRACE AS CLOSE TO EXTERIOR MASONRY WALL AS POSSIBLE TO ALLOW INSTALLATION OF PLATES TO EXIST JOISTS.



NOTE: FOR CONCENTRATED LOADS LOCATED A DISTANCE "L" FROM JOIST PANEL POINT, PROVIDE ADDITIONAL WEB MEMBERS AS SHOWN.

NOTE: LOCATE ROOF FRAME AT EXIST JOIST PANEL POINTS. SEE TYP JOIST REINF DETAIL IF LOCATION MUST BE ADJUSTED AWAY FROM JOIST PANEL POINT.

