

34-H-4

2001-0273

71-77 Hanover Street
2 Storage Structures
City of Portland

add to spreadsheet

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2001-0273
Application I. D. Number

10/04/2001
Application Date

77 Hanover Street
Project Name/Description

City Of Portland
Applicant
389 Congress St, Portland, ME 04101
Applicant's Mailing Address
Lombardo, Anthony
Consultant/Agent
Agent Ph: (207)874-3800 Agent Fax: (207) 874-8848
Applicant or Agent Daytime Telephone, Fax

71 - 77 Hanover St, Portland, Maine
Address of Proposed Site
034 H004001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) 2 storage structures
3,584 sq. ft. .35 B-5
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan \$400.00 Subdivision _____ Engineer Review _____ Date 10/04/2001

DRC Approval Status:

Reviewer jim seymour

- Approved Approved w/Conditions See Attached Denied

Approval Date 10/15/2001 Approval Expiration 10/15/2002 Extension to _____ Additional Sheets Attached

Condition Compliance Kandi Talbot 10/15/2001
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Planning Copy**

2001-0273
Application I. D. Number

10/04/2001
Application Date

77 Hanover Street
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City Of Portland
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71 - 77 Hanover St, Portland, Maine
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034 H004001
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Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan \$400.00 Subdivision _____ Engineer Review _____ Date 10/04/2001

Planning Approval Status:

Reviewer Kandi Talbot

- Approved Approved w/Conditions See Attached Denied

Approval Date 10/15/2001 Approval Expiration 10/15/2002 Extension to _____ Additional Sheets Attached
 OK to Issue Building Permit Kandi Talbot 10/15/2001
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2001-0273

Application I. D. Number

10/04/2001

Application Date

77 Hanover Street

Project Name/Description

City Of Portland

Applicant

389 Congress St, Portland, ME 04101

Applicant's Mailing Address

Lombardo, Anthony

Consultant/Agent

Agent Ph: (207) 874-3800

Agent Fax: 2078748848

Applicant or Agent Daytime Telephone, Fax

71 - 77 Hanover St, Portland, Maine

Address of Proposed Site

034 H004001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of Planning

- 1 Because this is a temporary salt shed site until a permanent site is located, sidewalk and granite curb should be reinstalled once the salt shed use is removed from the site.
-



CITY OF PORTLAND

October 15, 2001

Mr. Anthony Lombardo
City of Portland
389 Congress Street
Portland, ME 04101

RE: Salt Shed Structures, 71 Hanover Street (Job #2001-0273, CBL #34-H-4)

Dear Tony:

On October 15, 2001, the Portland Planning Authority granted minor site plan approval to construct two (2) salt shed structures to be located at 71 Hanover Street. The approval is subject to the following condition:


1. Because this is a temporary salt shed site until a permanent site is located, sidewalk and granite curb shall be reinstalled once the salt shed use is removed from the site.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. A one-year extension may be granted by this department if requested by the applicant in writing prior to the expiration date of the site plan. If there are any questions, please contact the Planning Staff.

Sincerely,


Alexander Jaegerman
Chief Planner

Site Review Pre-Application
Multi-Family/Attached Single Family Dwellings/Two-Family Dwelling
or Commercial Structures and Additions Thereto

In the interest of processing your application in the quickest possible manner, please complete the Information below for Site Plan Review

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

CITY OF PORTLAND - PUBLIC WORKS
 Applicant

10/3/01
 Application Date

55 PORTLAND STREET
 Applicant's Mailing Address

SALT SHED
 Project Name/Description

WILLIAM BRAY OR TONY LOMBARDO
 Consultant/Agent

71-77 HANOVER STREET
 Address Of Proposed Site

874-3880 OR 874-8845 FAX: 874-8852
 Applicant/Agent Daytime telephone and FAX

34 - H - 4, 5
 Assessor's Reference, Chart#, Block, Lot#

Proposed Development (Check all that apply) New Building Building Addition Change of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other(Specify) _____

3,584 S.F.
 Proposed Building Square Footage and /or # of Units

0.35 AC.
 Acreage of Site

B-5 URBAN COMMERCIAL MIXED USE
 Zoning

Major Site Plan _____

Minor Site Plan

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) 9 sets of Site Plan packages containing the information found in the attached sample plans and checklist.

(Section 14-522 of the Zoning Ordinance outlines the process, copies are available for review at the counter, photocopies are \$ 0.25 per page)

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if an approval for the proposed project or use described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this approval at any reasonable hour to enforce the provisions of the codes applicable to this approval.

Signature of applicant: <u>Anthony W. Lombardo</u>	Date: <u>10-3-01</u>
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Site Review Fee: Major \$500.00 Minor 400.00

This application is for site review ONLY, a Building Permit application and associated fees will be required prior to construction.



Public Works Engineering Memorandum

Date: 10/02/01

To: Alex Jaegerman, Chief Planner

From: Anthony Lombardo, P.E., Project Engineer *AWK*

Cc: William Bray, P.E., Public Works Director

RE: Salt Shed on Hanover Street ...Temporary Building Proposal

On behalf of Bill Bray and Public Works, I am submitting a proposal to build two (2) salt/sand storage structures on the City owned property located at 71-77 Hanover Street. I am submitting this application for review under **minor site plan**.

The following information represents an itemized response to the written site plan application requirements listed in Chapter 14, Section 14-525 of the Portland Code of Ordinances:

Item 1.

The entire site is surfaced with pavement and is currently used as parking lot for Public Works vehicles. Our proposal includes the erection of two (2)-tension fabric covered, steel arch truss buildings manufactured by *COVER-ALL*. Each building will be 32 feet wide and 56 feet long. The purpose of these buildings will be to provide support for "winter operations" and response to the initial snowfall resulting from each winter event. Each building will store either sand or a sand/salt mixture. Plans and details of these building have been included with this submittal.

The entire site will be stripped of pavement and the first ten (10) inches of gravel. The site will then be regarded and paved as specified on the plans.

A loading ramp will be constructed to support loading of salt and sand into winter maintenance vehicles. Construction details have been included as part of the plans.

When "winter operations" has concluded, the site will be utilized for Public Works fleet parking.

Item 2.

The total area of the property is 15,455 square feet. Each building covers 1,792 square feet for a total building area of 3,584 square feet.

Item 3.

An existing “public” easement exists along the southerly boundary of the site. The easement is fifteen (15) feet wide and runs parallel to the southerly property line. No building construction, with the exception of new pavement, is proposed within this easement.

Item 4.

This operation will not generation waste.

Item 5.

No sewer or water is proposed for this site. The property is bounded westerly by Hanover Street which will provide access to the site. All existing curb will be removed along the Hanover Street frontage to provide more appropriate maintenance vehicle access to the site.

Item 6.

The site is 15,544 square feet in area. The entire is surfaced with pavement of varying degrees of condition. Currently the site is surfaced drain in a westerly direction towards an existing catch basin structure located near the access drive to the site. This catch basin connects into the combined sanitary sewer located in Hanover Street and flowing northwest to Kennebec Street. Only a small portion of the site drains easterly down a public easement towards the storm drain system in Alder Street.

Our proposal does not change the impervious nature of the site. Our plan is to regrade and resurface the entire site with new pavement. We will attempt to match the existing drainage patterns. Some runoff will continue to drain easterly towards Alder Street. The remainder of the site will be directed toward a new catch basin proposed near the northerly site boundary. This new catch basin will connect into the combined sanitary sewer in Hanover Street. The existing catch basin will be removed and its outlet sealed.

The existing site is currently covered with an impervious surface and our proposal does nothing to change this fact. As a result, our proposed site development will not increase peak rates of runoff and will not impact the existing system in Hanover Street or Alder Street.

The City will control sediment during and after construction in the following manner:

- A stabilized construction entrance will be built to minimize the tracking of materials on to Hanover Street (see detail sheet)
- Downstream catch basins, on Hanover Street, will be protected utilizing “storm drain inlet protection” (see detail sheet)
- Silt fence will be installed adjacent to all down slope areas
- The proposed catch basin will be plated over during construction and after construction fitted with a “casco trap”. In addition the catch basin sump will be cleaned each spring after completing winter operations.

Item 7.

Public Works has to complete this project prior to the first snowfall and we have established November 30th as our self-imposed deadline. As a result, the following represents a tentative schedule:

- Installation of temporary erosion and sediment control
- Removal of existing pavement
- Site grading

- Installation of concrete block building foundation
- Installation of catch basin and storm drain outlet
- Loading ramp construction
- Site paving and trench repair
- Building erection
- Misc. site work

Item 8.

Any new sand/salt storage area after October 1, 1999 must comply with Chapter 574 of the DEP regulations. There exist registration, siting and operational requirements, sited within this chapter, that Public Works must comply with. Included with this application is a copy of the "MDEP Sand and Salt Pile Storage Area Registration and Site Evaluation Form".

Item 9.

This project will be funded with CIP funds and proceeds from the sale of the "former" salt/sand storage facility, which was located on the corner of Marginal Way and Preble Street Extension.

Item 10.

The book and page of the deed that recognizes the City as owner of this property is identified on the "standard boundary plan". A copy of the original deed is attached to this application.

Item 11.

We are not aware of unusual natural areas, wildlife, fisheries or archeological sites on or near the property.

Item 12.

An electronic file can be supplied on request.

Item 13.

N/A

We appreciate your cooperation and efforts in providing Public Works with your rapid review. We look forward to receiving your comments.

From: Marge Schmuckal
To: Anthony Lombardo
Date: Tue, May 29, 2001 11:51 AM
Subject: Re: Potential Salt Shed Site

Tony,

Thanks, the c-b-l's helped alot. Those lots are in a B-5 zone which does allow "governmental buildings and uses". The Municipal government does fall under that, for all their uses (salt shed included).

Min. lot size: none required

Front setback: none required

side setback: none required

rear setback: none required

max. lot coverage: 100%

max. building height: 65 feet

An air-framed construction would be allowed if it can meet the BOCA bldg code standards for a structure.

Sam Hoffses would probably require an engineer's seal stating that it meets the BOCA standards.

Let me know if you need any more. Marge

>>> Anthony Lombardo 05/29 7:08 AM >>>

Marge,

I am working with Bill Bray to find a location near the Public Works Facility for a salt/sand shed. We have identified a potential City parcel. It is located at the corner of Hanover St. and the Lancaster St. right of way. We currently use this land for vehicle parking. This parcel is directly behind the Skillful Vending building on Alder St. I need your guidance in the following way:

1. What uses are permitted in the zone ? Would a salt/sand building or use be permitted ?
2. The building we are proposing to install is similar to the fabric buildings used by P.D. Merrill off West Commercial St. Is this acceptable ?
3. What are the front, side and rear yard setbacks for a building in this zone ?

Thanks for your help !

From: Larry Mead
To: Lombardo, Anthony
Date: Tue, Oct 2, 2001 2:06 PM
Subject: Re: Salt Shed Site Plan Fees

To: Anthony Lombardo
From: Larry Mead, Assistant City Manager

Date: October 2, 2001

RE: Salt Shed Site Plan Fees

As is the practice with municipal projects, all fees associated with the City's site plan application for the salt shed project on Hanover Street should be waived.

CC: William Bray

LANCASTER

231 | 233 | 235 | 237 | 239

150897 ± 105 ± (d) 105 ± (d)

William W. Mason
to
City of Portland
988-166 Warr. 1917

Ezra Russell
to
City of Portland
1849 Q.C. 213/449

16,812 ± sq. ft.

The deed, from Ezra Russell
to City of Portland; included
all the Land 100' more or less each
side of Hanover St., from a point
near Lancaster St., to the
U.S. Government Channel in
Back Cove.

STREET

HANOVER

KENNEBEC

Deed 530
See Sheet 66 382

Iron

Cumberland Co. June 25. 1849. Personally appeared the above named
said Stockman & acknowledged the above assignment to be his free act
and deed. Before me, William Ross, Justice of the Peace.

Received June 25. 1849 at 11.20 A.M. I received from the original
T. J. William Ross Regr

It now all more by their parents, that Ezra Russell
of Portland, in the County of Cumberland and State of Maine, Guardian
of Robert Ford Dyer of said Portland, a minor having obtained R. F. Dyer
License from the Honorable Josiah Pierce, Judge of Probate for said County
to sell and convey the real estate of the said Robert F. Dyer, and
having assented to the directions of the said Court, given due notice of
said sale, did, on the twenty third day of April instant pursuant to the City of Port
license and notice aforesaid, sell at private sale to the City of Portland,
the estate hereafter described for the sum of eleven hundred Dollars - \$1100
being the highest offer therefor viz: a certain parcel of land and flats
situate at the foot of Hanover Street in said Portland, and on each side
thereof, described as follows viz: Beginning at a stake on the easterly
side line of Hanover Street, forty feet from the highwater mark of
Back Cove, thence running Easterly at right angles with Hanover
Street about one hundred feet to Polly Green's land & Westerly at
right angles with the same Street about one hundred feet from
the westerly side of said Street to Benjamin Sarabee's land, and
from these bounds to extend Northwesterly between the land of said Green
and Sarabee to the Channel of Back Cove, subject to a conveyance
from Emma Ford to James Deering of right to dig and open a creek or
channel across said flats a particularly described in a deed from said
Emma Ford & Polly & Henry Green dated June 13. 1836, & recorded in Cumb-
land Registry to which reference is hereby made for a more particular
description. The premises hereby conveyed being part of the estate assigned to said
Robert in the division of Emma Ford's estate made in 1845, a record of
which may be found in the Probate Office, Book 49, Page 172 & is hereby
referred to. Therefore I the said Ezra Russell, do by virtue
of the power and authority with which I am as aforesaid vested
and in consideration of the aforesaid sum of eleven hundred dollars
to me paid by the City of Portland, the receipt whereof I do hereby
acknowledge, have given, granted, and sold, and by these presents
do give, grant, sell and convey to the said City of Portland's heirs
& assigns forever, the above described premises with all the privileges

J. Green
to
Sarah
Bill

and appurtenances to the same belonging. To have and to hold
the same in manner as aforesaid, to the said city and their assigns
forever. And I the said Ezra Russell in my said capacity
do covenant to and with the said city and their assigns that
I have in all things observed the rules and directions of the law
in advertising and selling said estate, and have good right and
lawful authority to sell and convey the same in manner as aforesaid.

In witness whereof I have hereunto set my hand and
seal, in my said capacity, this twenty third day of April in the year
of our Lord one thousand eight hundred and forty nine.
Signed, sealed & delivered in presence of Mrs. Willis
Ezra Russell T.S.

Lumberton N.C. April 24. 1849. Then personally appeared the above
named Ezra Russell and in his capacity of Guardian aforesaid acknow-
ledged the foregoing instrument to be his free act & deed.

Received April 26. 1849 at 35 minutes P.M. & recorded from the original
137 William Ross Regr

This Indenture made September 11th 1847 between
John Sloan & Caroline Sloan of New Albany, Boya County
Indiana of the first part, and Sarah Hunt of Westbrook, Maine,
of the second part Witnesseth, That the parties of the first part
in consideration of their natural love & affection for the party of the
second part, hereby give, bargain & sell to the party of the second
part all their right, title & interest in & to any and all of the personal
estate of Jacob Hunt, deceased, late of said Westbrook, husband
of said Sarah & father of said Caroline. To have and hold all
of said personal estate to the sole and only use of said Sarah
and her assigns forever.

In testimony whereof the parties of the first
part have hereunto set their hands and seals the day & year first
written.
John Sloan T.S.
Caroline Sloan T.S.

State of Indiana, Boya County, before me the undersigned a Justice of the Peace
in and for said County aforesaid, personally appeared John Sloan & Caroline
Sloan the signed and sealed of the above instrument and acknowledged
that they signed, sealed and delivered the same as, and for their
free act & deed, for the purposes & considerations therein specified.

Sand and Salt Pile Storage Area Registration and Site Evaluation Form

Please complete the entire registration form for each sand and salt pile which you own or operate.
Make additional copies of this form if you own or operate more than one sand and salt pile and
complete one for each separate pile location.

Section 1: Sand and Salt Pile Storage Area Location and Contact Information

Town: PORTLAND County: CUMBERLAND

Physical Location of Sand and Salt Pile Storage Area (Please provide a DeLorme or USGS Topographic map if one has not been provided):

Contact Person for Sand and Salt Pile Storage Area

Contact Name: ANTHONY LOMBARDO Title: PROJECT ENGINEER

Mailing Address: PORTLAND PUBLIC WORKS
55 PORTLAND ; PORTLAND, ME 04101

Contact's Daytime Telephone: 374-8848 Email: awl@ci.portland.me.us

Please indicate [X, ✓ or name] who owns each of the following elements of the sand and salt pile storage area:

	Who owns the sand?	Who owns the salt?	Who owns the land on which the sand and salt pile is located?
Person or Company, listed above			
Town or County Government	CITY OF PORTLAND	CITY OF PORTLAND	CITY OF PORTLAND
Other (please specify)			

Section 2: Site Evaluation

Do you already have a sand/salt storage building? Yes No
If Yes, when was it constructed? _____

Describe the sand and salt pile storage operation, including size of piles.

Pure salt: Year established on this site: 2001

Size: 100 TONS
Cubic Yards or Tons

Sand/salt: Year established on this site: 2001

Size: 100 TONS
Cubic Yards or Tons

Where (location) is the sand mixed with the salt? AT THE NEW LOCATION ; 71-77 HANOVER ST
IN PORTLAND.

Is the area in which the sand and salt pile is located served by a public water supply? Yes No

If No, how far (in feet) is the nearest drinking water well from the sand and salt pile? _____ feet
For existing sites, have you ever received complaints from nearby well owners about salty-tasting water? Yes No

Is the sand and salt pile located in an area legally zoned by the municipality for commercial, industrial or similar use? Yes No Don't Know

Is it likely that new houses (with wells) will be built in the area? Yes No Don't Know

Is the sand and salt pile located on a significant sand and gravel aquifer (mapped by the Maine Geological Survey)? Yes No Don't Know

For existing sites, is there tree or other vegetation damage from salt apparent at the site?
 Yes No If Yes, please describe:

Section 3: Sand and Salt Pile Storage Area History

Did you register a sand and salt pile storage area with the Department of Environmental Protection in 1986 or 1999? Yes No Don't Know

If Yes, is the storage site you are registering now at the same location as the one registered in 1986?
 Yes No Don't Know

If Yes, is the storage site you are registering now at the same location as the one registered in 1999?
 Yes No Don't Know

Notes/Comments:

Completed by: Anthony W. Furbush, P.E. Date: 10/3/01

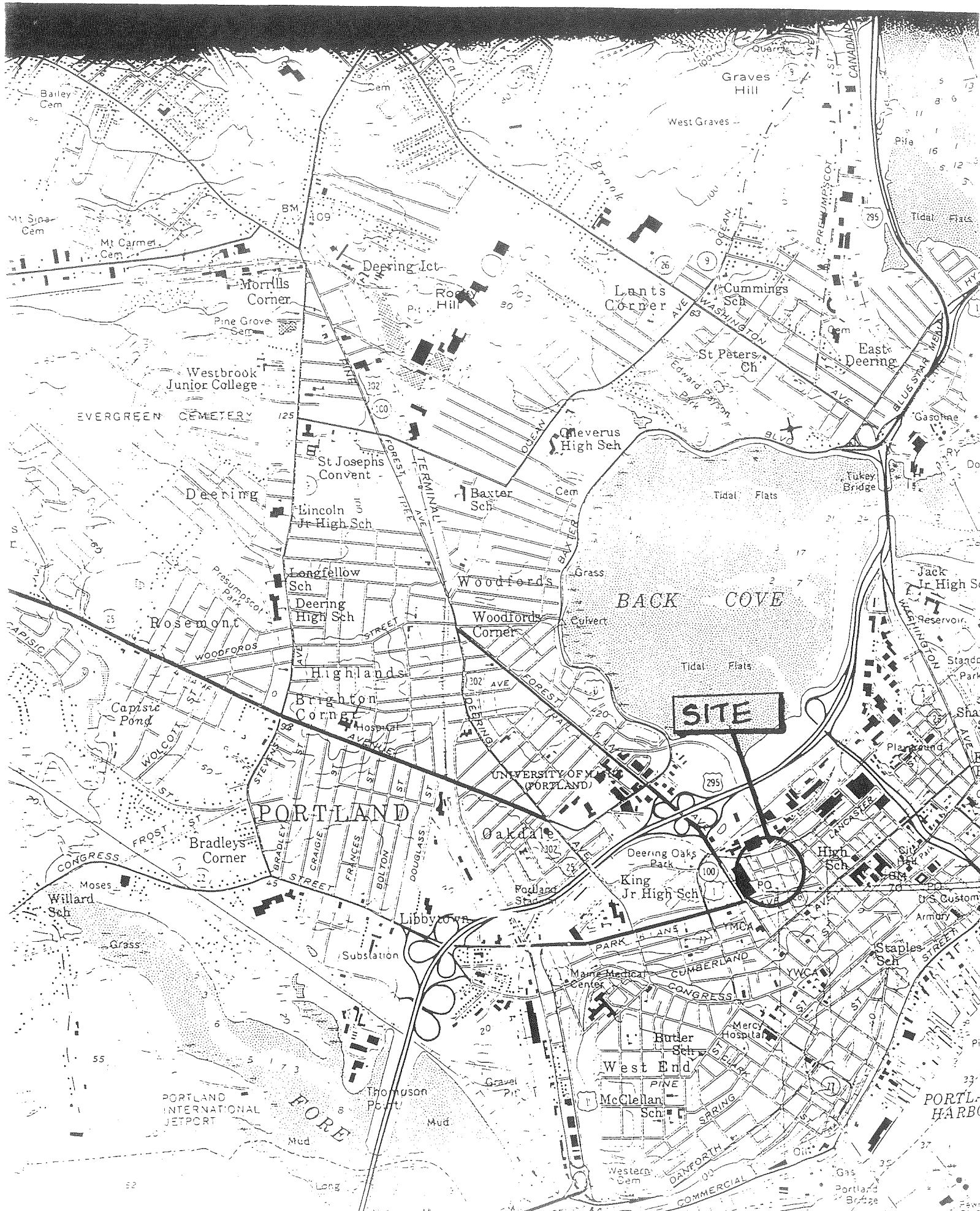
Thank you for your participation. Please return this form to:

Maine Department of Environmental Protection, Sand and Salt Pile Program
17 State House Station
Augusta, ME 04333-0017

Fax: 207-287-7191

FOR DEP USE New Site Existing Site Proposed Site

DEP ID _____ GW ID _____ Need Site Visit GPS Follow-up Letter





COVER-ALL™

The choice is

natural!™

The Industrial Building

natural light

Cover-All™ is the natural choice for superior industrial structures. Natural light illuminates every corner of an Arch™ building, reducing or eliminating dependence on the utility grid and creating a safer, more pleasant atmosphere for those working around equipment. Inventory, quality control and production management are all made easier by the wide-open brightness of a Cover-All™.

natural space

Single-Arch and Truss-Arch buildings are available in widths from 18 to 72 feet, to any length. The clear-span design allows unhindered equipment maneuverability and maximum storage conditions. Engineered for permanence but designed to be relocatable, an Arch™ building can be installed over existing facilities and moved from site to site.

natural ventilation

Cover-All's clear-span design provides a larger, unobstructed space for maximum airflow. Air quality and ventilation are further enhanced with design options such as ridge-vents, large sidewall openings and adjustable curtains.

natural choice

Cover-All™ offers the best framework assembly in the business. Our frames are constructed of ViperSteel™, which is 10% stronger than competitive steel and clad with triple-coated Gatorshield® corrosion barrier. Unsurpassed cover and fastening strength is achieved by combining DuraWeave® II fabric, with its double-stack weave and protective coating, with the patented WinchLoc™ fastening system.



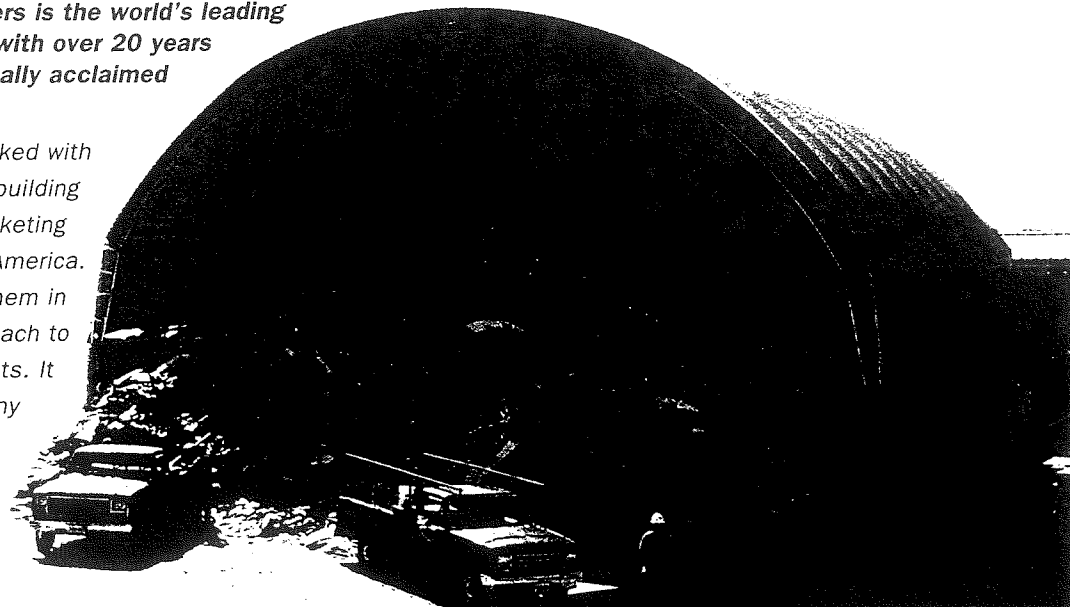


olution

FTL Happold Architects & Engineers is the world's leading tensile-structure consulting firm, with over 20 years experience in creating internationally acclaimed projects across the globe.

"Over the last 20 years we have worked with most of the leading fabric covered building system manufacturers who are marketing and distributing products in North America. Cover-All stands out among all of them in its aggressive and innovative approach to the manufacture of superior products. It is a privilege to work with a company as dedicated and committed to excellence as Cover-All is."

Todd Dalland, FAI
Principal
FTL Happold Architects & Engineers



COVER-ALL

ViperSteel Framework

The strongest there is

Buy with confidence

Your building's framework is constructed of ViperSteel™, which is clad with triple-coated Gatorshield® corrosion barrier. This unique combination provides a service life three times longer than conventional galvanized steel tubing.

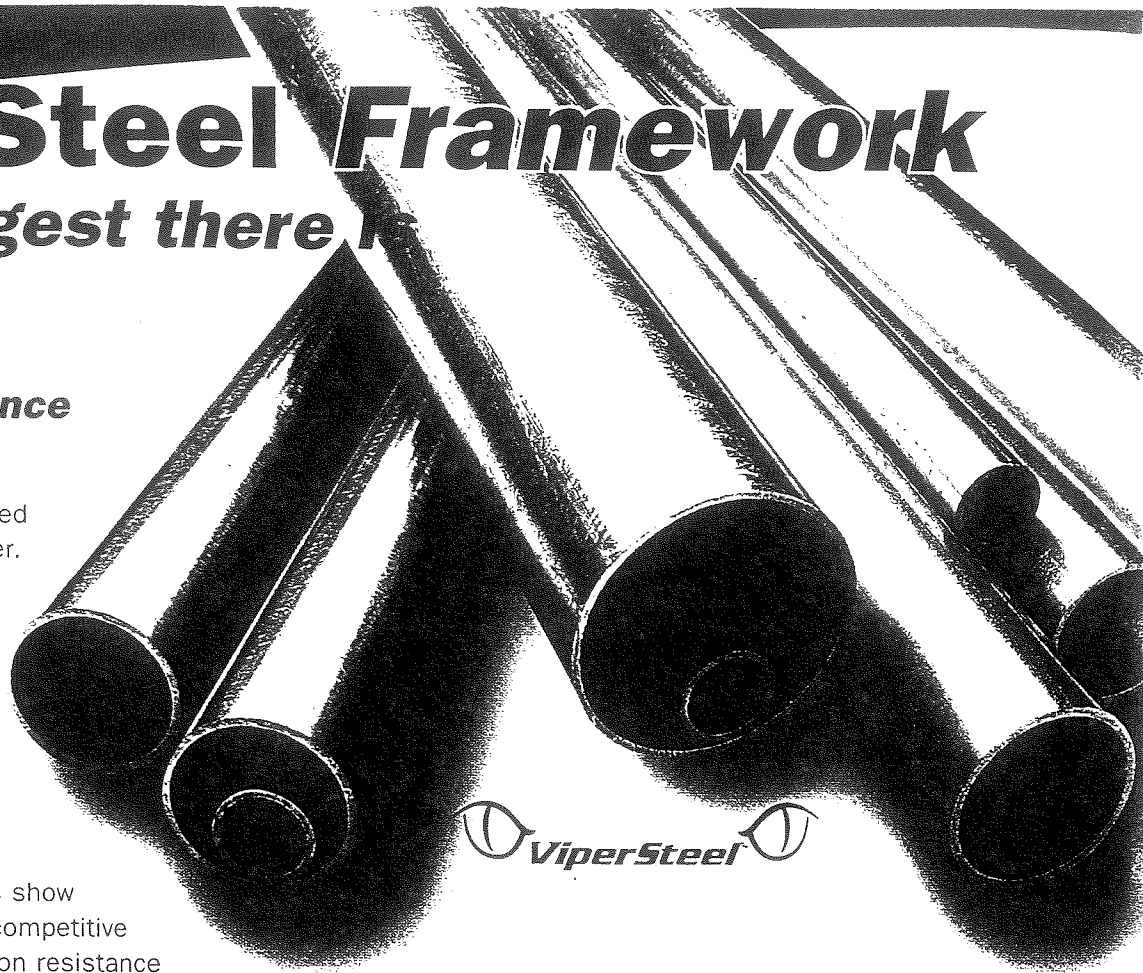
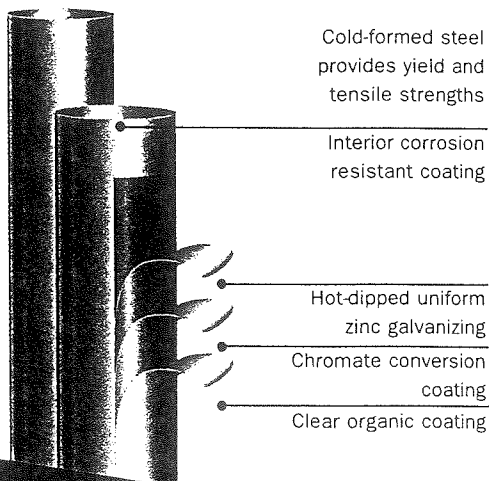
Outperforms the competition

Independent salt-spray tests show Gatorshield® outperformed competitive products in rust and corrosion resistance three to one!

Precise manufacturing details


Cover-All Building Systems focuses on quality manufacturing details. Robotically precise welds are sandblasted, then finished with a unique molten-zinc corrosion protection process. This fully restores the corrosion resistance of the weld zones to the original service life of the steel tubing.

The Gatorshield® Process



Allied Tube and Conduit – a leading producer of galvanized and commercial quality steel components for over 40 years.

“Allied found Cover-All Building Systems, as a company, driven to a business philosophy and strategy mirroring our own, including a strong commitment to research and development with on-going product improvement. The strength and dynamics of the Cover-All/Allied Tube team are providing the best structures in the marketplace.”

 Mike Engdall
Vice President –
Mechanical Tube Division
Allied Tube & Conduit



DuraWeave® II Covers

Developed exclusively for Cover-All™

Unmatched cover strength

Our DuraWeave® II covers are impressively strong and require minimal maintenance. The patented double stack 16 x 22 weave has unmatched strength to weight ratios. A special coating provides superior ultraviolet protection, water proofing and scuff resistance and preserves the building's appearance by shedding dust and dirt.

Backed by a superior warranty

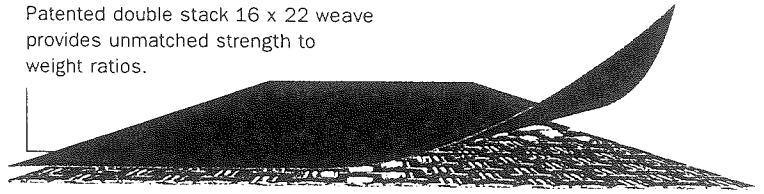
DuraWeave® II covers come with a 15-year pro rata warranty, and are available in seven colors; green, blue, yellow, sandstone, white, grey and translucent. DuraWeave® II FR meets special fire-retardant specifications, carries a 10-year pro rata warranty and is available in green, white and sandstone.

Secured by WinchLoc™ technology

The patented WinchLoc™ fastening system provides unparalleled cover-fastening strength. With a series of 10,000 lb. winches and zero-stretch belting, our covers stay tight and secure, for a longer life and a cleaner look.

DuraWeave® II Covers

Patented double stack 16 x 22 weave provides unmatched strength to weight ratios.



All DuraWeave® II covers feature a bright white underside that allows for maximum interior light.

Intertape Polymer Group Inc. utilizes the latest technology and equipment possible in our partnership to deliver the finest heavy-weight covers on the market today.

"DuraWeave II offers the best combination of weight, strength and performance available in today's marketplace. As we look back to the beginning of our relationship, your challenge of building a better product for this application has led to this cutting edge fabric."



William A. Barnes

Director of Sales and Marketing – Woven Products
Intertape Polymer Group Inc.

COVER-ALL™

Design Options

Pre-engineered across North America

Cover-All™ Arch™ buildings are available in widths up to 72 feet and to any length, providing maximum strength in a clear-span design. Our Truss-Arch buildings are pre-engineered for use across North America to withstand rated snow and wind loads, even under unbalanced load conditions. All design elements are researched, developed and rigorously tested to ensure they meet the stringent requirements necessary to maintain the quality and structural integrity of every building.

Single-Arch Series (SAS)

The Single-Arch Cover-All™ is a high quality, easy-to-assemble building available in 20 to 30 foot widths. The framework is assembled using fitted couplers and requires no special skills or tools to erect, allowing installation within several days.

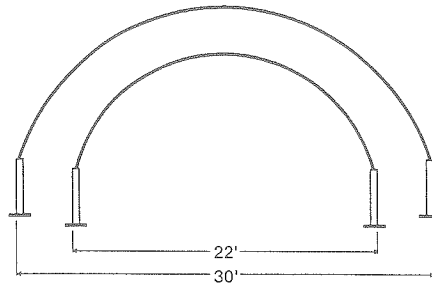
Truss-Arch Series (TAS)

The Truss-Arch Cover-All™, constructed using our patented continuous web design, is available in widths from 18 to 72 feet with high-profile models for additional side-wall clearance when required. Delivered in a complete, ready-to-install package, your building can take from just a couple of days to several weeks to construct, depending on the scope of the project.

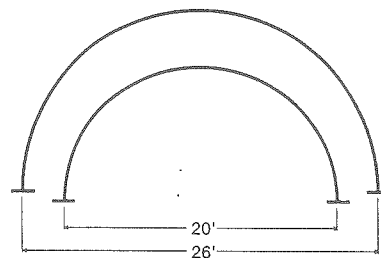
Finishing touches

A variety of end wall, door and foundation options may be used in the construction of your building. With the addition of ridge-vents, skylights, side curtains and our innovative DuraTrac doors, we can create just the right interior for your industrial needs.

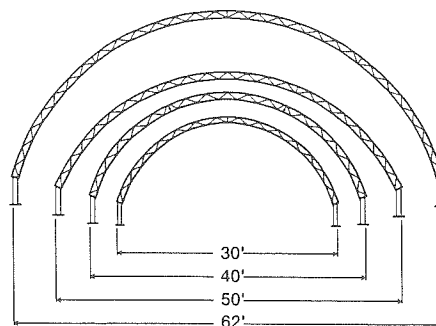
LOW PROFILE WALL MOUNT (SAS)



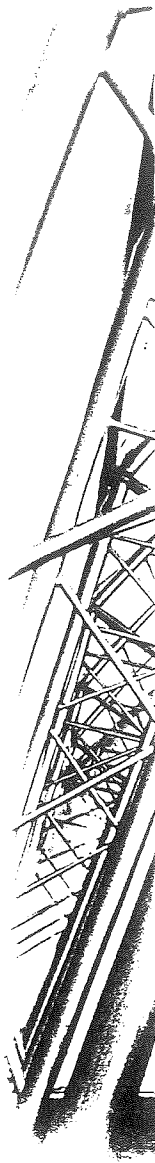
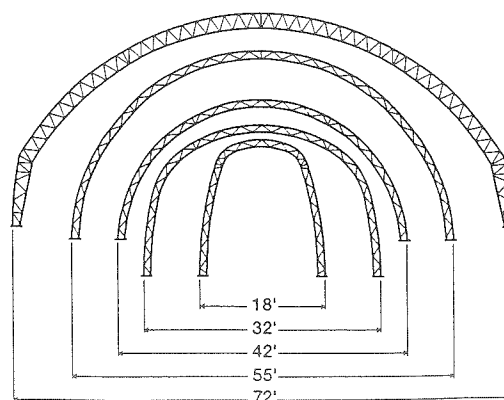
HIGH PROFILE GROUND MOUNT (SAS)



LOW PROFILE WALL MOUNT (TAS)



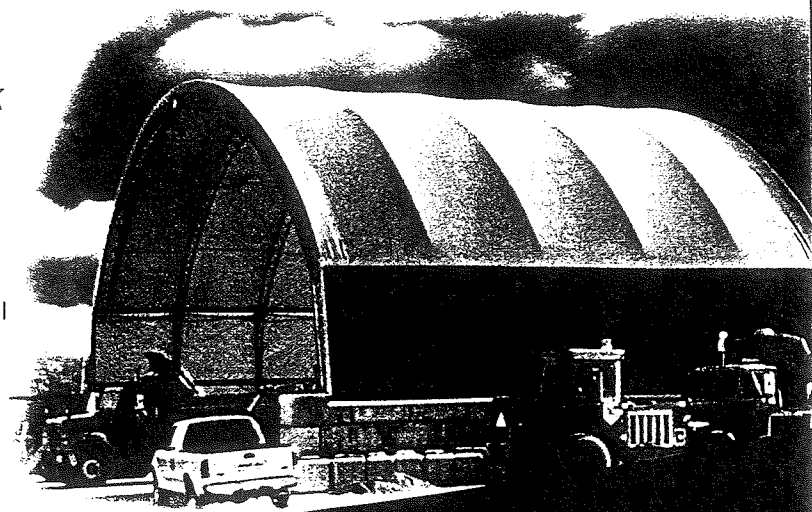
HIGH PROFILE GROUND MOUNT (TAS)





North America wide Dealer network

We want to ensure you are completely satisfied with the value of your purchase and the service you receive. As the largest fabric-covered building manufacturer on the continent, Cover-All Building Systems has a North America wide Dealer network committed to 100% enthusiastically satisfied customers. Your local Dealer will assist with site-engineering, permit applications and installation co-ordination, and will continue to provide service long after your building is installed.



COVER-ALL™