

**34-H-1**  
**58 Alder Street**  
**Bayside Bowl Expansion**

**#2015-049**

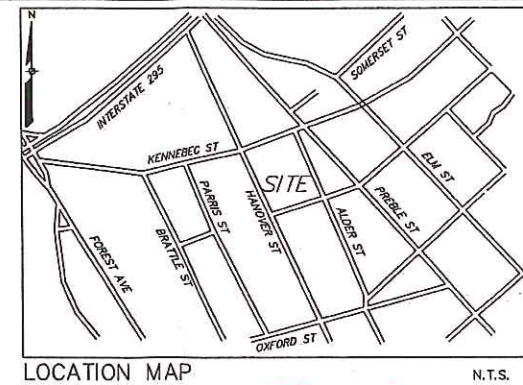


**GENERAL NOTES**

1. SITE AREA 55,240 SF OR 1.27 ACRES
2. APPLICANT: BOPO, LLC / JUSTIN ALFOND, MANAGER  
CONGRESS STREET  
PORTLAND, MAINE 04101
3. RECORD OWNERS: BOPO LLC, RECORDED JUNE 30, 2011 C.G.R.D. BOOK 28747 PAGE 222 TAX MAP 34, BLOCK H, LOTS 2 AND 3  
BOPO LLC, RECORDED JUNE 17, 2013 C.G.R.D. BOOK 32354 PAGE 176 TAX MAP 34, BLOCK H, LOT 4 + LOT 5  
BOPO LLC, RECORDED JUNE 30, 2011 C.G.R.D. BOOK 28747 PAGE 224 TAX MAP 34, BLOCK H, LOT 1
4. THE SURVEYED PARCELS ARE SHOWN AS LOTS 1, 2, 3, 4 AND 5, BLOCK H, ON THE CITY OF PORTLAND'S ASSESSORS MAP 34.
5. BEARINGS ARE GRID NORTH PER PLAN REFERENCE XX. ELEVATIONS ARE CITY OF PORTLAND DATUM BASED ON TOP OF GRANITE MONUMENT ELEVATION 1125 AS SHOWN ON PLAN REFERENCE XX.
6. THE PARCEL IS LOCATED, BY SCALING METHODS, WITHIN ZONE C AREAS OF MINIMAL FLOODING AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF PORTLAND, MAINE COMMUNITY PANEL NO. 230051-0013-3 WITH AN EFFECTIVE DATE OF JULY 17, 1986. THE FLOOD ELEVATION FOR THE A2 ZONE WHICH ENCOMPASSES BACK COVE HAS AN ELEVATION OF 10 NGVD 1921.
7. UTILITIES SHOWN ARE BASED ON THE REFERENCED PLANS AND A FIELD SURVEY OF VISIBLE STRUCTURES PERFORMED IN FEBRUARY 2015. DURING THE FIELD SURVEY THERE WAS SNOW IN EXCESS OF THREE FEET DEEP AND ASSOCIATED ICE THAT MADE VERIFICATION DIFFICULT. A SITE VISIT TO VERIFY UTILITIES IS RECOMMENDED ONCE SNOW COVER IS GONE.
8. THE FOLLOWING NOTES APPEAR IN THE "SURVEY REPORT FOR HANOVER STREET SALT SHED SITE" DATED JANUARY 7, 2002 BY WILLIAM G. SCOTT, P.L.S., CITY OF PORTLAND D.P.W.
  - A LANCASTER STREET EAST HAD BEEN DISCONTINUED AS A CITY STREET ON MAY 5, 1995. THE DISCONTINUANCE RESERVED THE CONTINUED USE OF THIS PROPERTY AS A SEWER EASEMENT FOR THE STILL-ACTIVE NORTH SIDE INTERCEPTING SEWER. HOWEVER, THE DISCONTINUANCE NOTICE MADE NO MENTION OF ALSO DISCONTINUING THE PUBLIC EASEMENT WITHIN THE STREET BOUNDARIES.
  - THE CITY HAS A STOCKADE FENCE BUILT OUT TO THE APPROXIMATE CENTERLINE OF THE STREET WHICH FENCES IN A DUMPSTER AND MATERIALS STORAGE AREA. I BELIEVE THAT THE REVERSIONARY RIGHTS INVOLVED IN THE STREET DISCONTINUANCE IN MAY 1995 WOULD ESTABLISH THE PROPERTY LINE BACK IN ITS LOCATION PRIOR TO THE CREATION OF LANCASTER STREET, AS IS CLEARLY SHOWN ON THE 1913 PLAN OF LANCASTER STREET EXTENSION. THE FORMER PROPERTY LINE BETWEEN WHAT IS NOW FURMAN AND THE CITY, FRONTING ALONG ALDER STREET, DID NOT RUN ALONG WITH THE CENTERLINE OF THE PROPOSED STREET. IN FACT, MORE LAND WAS TAKEN FROM WHAT IS NOW FURMAN'S PARCEL THAN WAS TAKEN FROM WHAT IS NOW THE CITY'S.

**PLAN REFERENCES**

1. ALDER STREET RECONSTRUCTION PLAN AND PROFILE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT ENGINEERING SECTION DATED JUNE 1996.
2. STANDARD BOUNDARY SURVEY PROPOSED SALT SHED LOT HANOVER STREET CITY OF PORTLAND PUBLIC WORKS DEPARTMENT ENGINEERING SECTION DATED SEPTEMBER 2001.
3. LAND TITLE SURVEY ON KENNEBEC STREET, PORTLAND, MAINE PORTLAND TERMINAL COMPANY TO ROSS Y. FURMAN 58 ALDER ST., PORTLAND MAINE DATED JULY 27, 1994 BY OWEN HASKELL, INC. AND RECORDED IN THE GUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 194 PAGE 242.
4. EXISTING CONDITIONS AND STANDARD BOUNDARY SURVEY ON KENNEBEC STREET, PORTLAND, MAINE FOR ROSS Y. FURMAN 58 ALDER STREET, PORTLAND, MAINE DATED APRIL 18, 1996 BY OWEN HASKELL, INC.
5. BAYSIDE TRAIL SOMERSET STREET EXTENSION ELH STREET TO KENNEBEC STREET DATED JULY 3, 2012 CITY OF PORTLAND, MAINE PUBLIC SERVICES DEPARTMENT ENGINEERING DIVISION
6. LANCASTER STREET EXTENSION FROM PREDLE ST. TO FOREST AVE. DATED FEB. 1913 ON FILE WITH THE CITY OF PORTLAND ENGINEERING DIVISION.
7. RIGHT OF WAY AND TRACK MAP PORTLAND TERMINAL OPERATED BY THE PORTLAND TERMINAL COMPANY STATION 52+60.0 TO STATION 105+60.0 JUNE 30, 1916 SHEET V1-C/2
8. CITY OF PORTLAND CITY PROPERTY REVALUATION SHEET G.

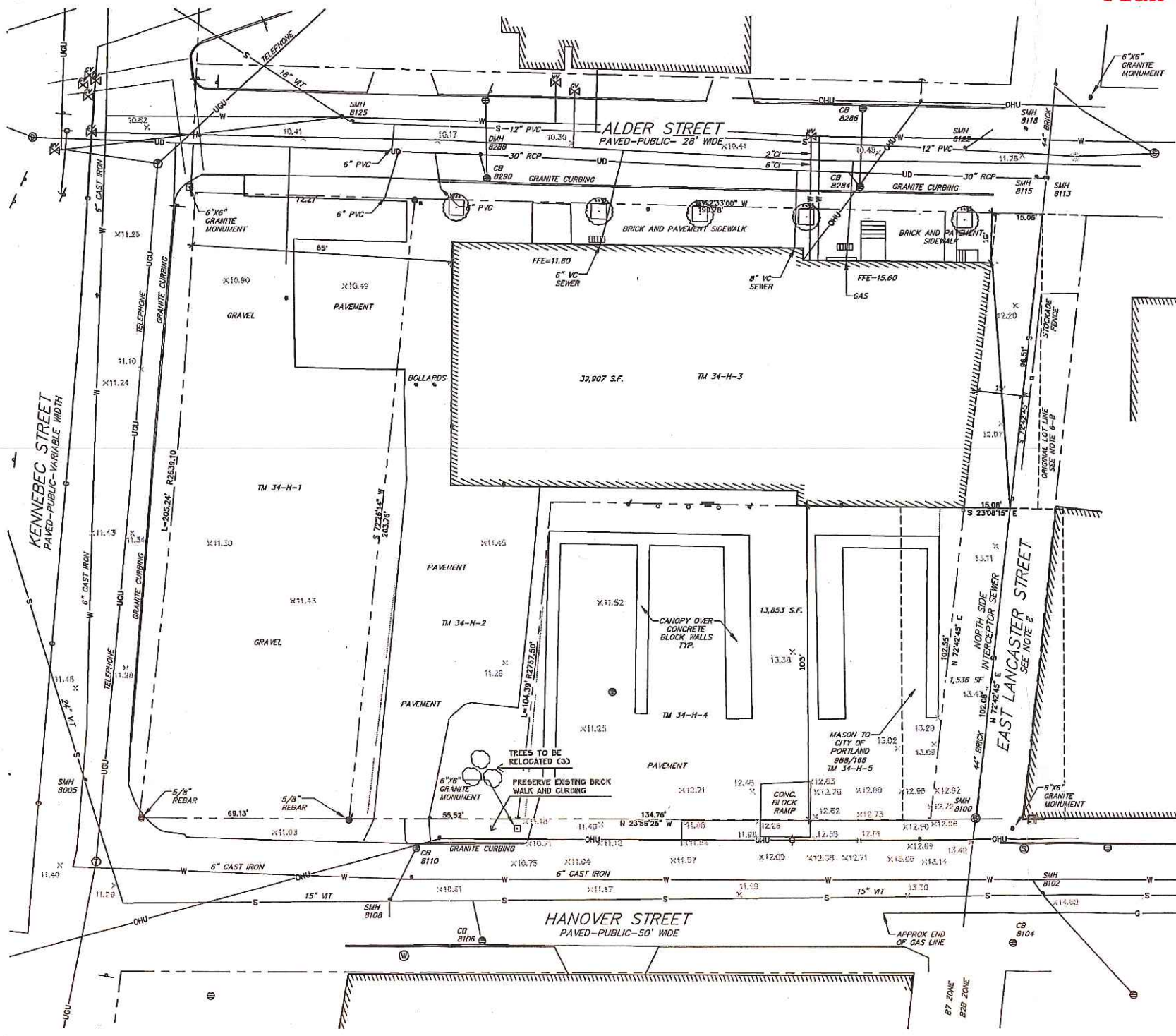


Prepared For:  
Applicant:  
BoPo, L.L.C.  
58 Alder Street  
Portland, Maine  
Justin Alfond, Manager

Prepared By:  
MITCHELL & ASSOCIATES  
Landscape Architects  
The Staples School  
70 Center Street  
Portland, Maine 04101  
Tel: (207) 774-4427

**LEGEND**

	EXISTING
PROPERTY LINE	---
GRANITE MONUMENT	□
IRON PIPE/ROD	○
CATCHBASIN	⊕
HANHOLE	○
HYDRANT	⊕
UTILITY POLE	⊕
GATE VALVE	WVD
SANITARY SEWER	S
STORM DRAIN	SD
WATER	W
TELEPHONE	T
GAS	G
OVERHEAD WRES	OHW
CHP CABLE LINES	C
CURB	▬▬▬
FENCE	X X
SIGN	—
DECIDUOUS TREE	(C)
CONTOUR	- - - 72 - - -
SPOT ELEVATION	+ 72.00



**BAYSIDE BOWL**

Portland, Maine

58 Alder Street

Date: DECEMBER 18, 2015

Issued For: AMENDED SITE PLAN SUBMISSION

Revisions:

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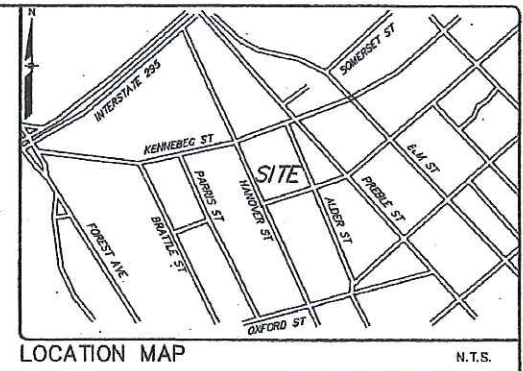
Title: EXISTING CONDITIONS PLAN

Scale: 1"=20'

North

Sheet No: 1





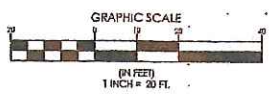
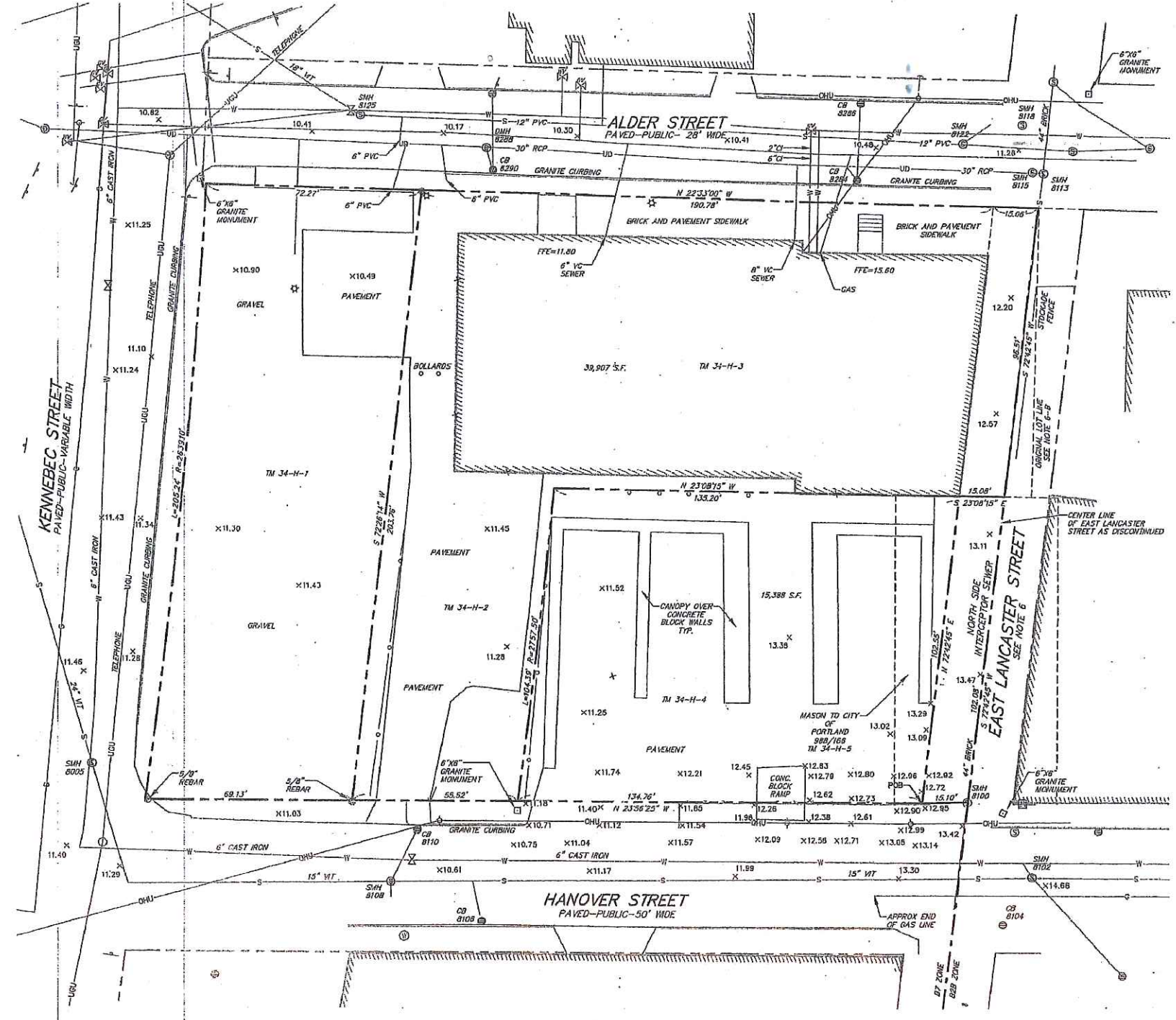
WILLIAM C. SHIPPEN PLS 2118  
 STATE OF MAINE  
 WILLIAM C. SHIPPEN  
 REGISTERED PROFESSIONAL ENGINEER  
 2118  
 MAINE

**STRUCTURES**

- SMH 8108 RM=10.6  
8" VIT INV IN=5.7  
12" VIT INV IN=4.5  
12" VIT INV OUT=4.4  
SHELF=4.8
- CB 8110 RM=9.7  
8" VIT INV OUT=5.7  
SUMP=4.0
- SMH 8102 RM=14.3  
15" CMP INV IN=8.8  
15" VIT INV IN=8.8  
15" VIT INV IN=8.2  
15" VIT INV OUT=8.1  
SHELF=6.9
- SMH 8115 RM=11.1  
44" BRICK INV IN=4.0  
44" BRICK INV IN=3.9  
TOP WER=3.9  
30" RCP INV OUT=3.2
- CB 8284 RM=9.9  
12" PVC INV IN=8.2  
12" PVC INV OUT=5.0  
SUMP=1.6
- CB 8290 RM=9.5  
8" PVC INV IN=5.4  
12" PVC INV OUT=4.3  
SUMP=1.7
- DMH 8285 RM=9.6  
30" RCP INV IN=1.7  
12" PVC INV IN=3.8  
30" RCP INV OUT=1.6  
SHELF=3.8
- SMH 8125 RM=10.1
- CB 8106 RM=10.1
- CB 8104 RM=13.4
- SMH 8005 RM= 11.4
- SMH 8100 RM=11.9
- SMH 8113 RM=11.1
- SMH 8118 RM=11.1
- SMH 8122 RM=10.8
- CB 8286 RM=9.8

**LEGEND**

- EXISTING**
- PROPERTY LINE/R.O.W.
  - ABUTTER LINE/R.O.W.
  - DEED LINE/R.O.W.
  - MONUMENT
  - IRON PIPE/ROD
  - BUILDING
  - EDGE PAVEMENT
  - EDGE CONCRETE
  - PAVEMENT PAINT
  - EDGE GRAVEL
  - CURB LINE
  - CHAIN LINK FENCE
  - STOCKADE FENCE
  - GUARD RAIL
  - SPOT GRADE
  - DECIDUOUS TREE
  - BOLLARD
  - SIGN
  - GAS
  - GAS GATE VALVE
  - WATER
  - WATER GATE VALVE
  - SANITARY SEWER
  - SANITARY MANHOLE
  - UNDER DRAIN
  - DRAINAGE MANHOLE
  - CATCH BASIN
  - UNDERGROUND UTILITY
  - TRANSFORMER PAD
  - TELEPHONE MANHOLE
  - LIGHT POLE
  - UTILITY POLE
  - GUY WIRE
  - POB



**GENERAL NOTES:**

- THE RECORD OWNERS OF THE PARCELS ARE:  
 BOPD LLC BY DEED DATED JUNE 30, 2011 RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 28787 PAGE 222 TAX MAP 34, BLOCK H, LOTS 2 AND 3  
 BOPD LLC BY DEED DATED JUNE 30, 2011 RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 28787 PAGE 224 TAX MAP 34, BLOCK H, LOT 1  
 CITY OF PORTLAND BY DEED DATED APRIL 23, 1849 RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 213 PAGE 449 TAX MAP 34, BLOCK H, LOT 4  
 CITY OF PORTLAND BY DEED DATED MARCH 14, 1917 RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 883 PAGE 188 TAX MAP 34, BLOCK H, LOT 5
  - THE SURVEYED PARCELS ARE SHOWN AS LOTS 1, 2, 3, 4 AND 5, BLOCK H, ON THE CITY OF PORTLAND'S ASSESSORS MAP 34.
  - BEARINGS ARE GRID NORTH PER PLAN REFERENCE 2. ELEVATIONS ARE CITY OF PORTLAND DATUM BASED ON TOP OF GRANITE MONUMENT ELEVATION 11.55 AS SHOWN ON PLAN REFERENCE 5.
  - THE PARCEL IS LOCATED, BY SOUNDING METHODS, WITHIN ZONE C (AREAS OF MINIMAL FLOODING) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF PORTLAND, MAINE COMMUNITY PANEL NO. 230001-2013-B WITH AN EFFECTIVE DATE OF JULY 17, 1996. THE FLOOD ELEVATION FOR THE A2 ZONE WHICH ENCOMPASSES BACK COVE HAS AN ELEVATION OF 10 HOVD 1929.
  - UTILITIES SHOWN ARE BASED ON THE REFERENCED PLANS AND A FIELD SURVEY OF VISIBLE STRUCTURES PERFORMED IN FEBRUARY 2016 DURING THE FIELD SURVEY THERE WAS EXCESS OF THREE FEET DEEP AND ASSOCIATED ICE THAT MADE VERIFICATION DIFFICULT. A SITE VISIT TO VERIFY UTILITIES IS RECOMMENDED ONCE SNOW COVER IS GONE.
  - THE FOLLOWING NOTES APPEAR IN THE 'SURVEY REPORT FOR HANOVER STREET SALT SHED SITE' DATED JANUARY 7, 2002 BY WILLIAM G. SCOTT, P.L.S., CITY OF PORTLAND D.P.W.:  
 A. LANCASTER STREET EAST HAD BEEN DISCONTINUED AS A CITY STREET ON MAY 5, 1995. THE DISCONTINUANCE RESERVED THE CONTINUED USE OF THIS PROPERTY AS A SEWER EASEMENT FOR THE STILL-ACTIVE NORTH SIDE INTERCEPTING SEWER. HOWEVER, THE DISCONTINUANCE NOTICE MADE NO MENTION OF ALSO DISCONTINUING THE PUBLIC EASEMENT WITHIN THE STREET BOUNDARIES.  
 B. "THE CITY HAS A STOCKADE FENCE BUILT OUT TO THE APPROXIMATE CENTERLINE OF THE STREET WHICH FENCES IN A DUMPSTER AND MATERIALS STORAGE AREA. I BELIEVE THAT THE REVERSIONARY RIGHTS INVOLVED IN THE STREET DISCONTINUANCE IN MAY 1995 WOULD ESTABLISH THE PROPERTY LINE BACK IN ITS LOCATION PRIOR TO THE CREATION OF LANCASTER STREET. AS IS CLEARLY SHOWN ON THE 1913 PLAN OF LANCASTER STREET EXTENSION, THE FORMER PROPERTY LINE BETWEEN WHAT IS NOW FURMAN AND THE CITY, FRONTING ALONG ALDER STREET, DID NOT RUN ALONG WITH THE CENTERLINE OF THE PROPOSED STREET. IN FACT, MORE LAND WAS TAKEN FROM WHAT IS NOW FURMAN'S PARCEL THAN WAS TAKEN FROM WHAT IS NOW THE CITY'S."
  - WATER SERVICES SHOWN ARE BASED ON THE CARDS PROVIDED BY THE PORTLAND WATER DISTRICT AND ARE TO BE CONSIDERED APPROXIMATE.
- ZONING:**
- DIVISION 10. B-28 COMMUNITY BUSINESS ZONE
- |                            |                       |
|----------------------------|-----------------------|
| MINIMUM LOT SIZE           | NONE                  |
| FRONT YARD SETBACK         | 20 FEET               |
| REAR YARD SETBACK          | MINIMUM NONE          |
| SIDE YARD SETBACK          | MINIMUM 10 FEET       |
| HEIGHT MAXIMUM             | MINIMUM NONE REQUIRED |
| MAXIMUM IMPERVIOUS SURFACE | 45 FEET               |
|                            | RATIO 80%             |
- DIVISION 17. B-7 MIXED DEVELOPMENT DISTRICT ZONE
- |                               |  |
|-------------------------------|--|
| MINIMUM LOT SIZE              | NONE   |
| MINIMUM FRONTAGE              | NONE   |
| FRONT SETBACK                 | NONE REQUIRED  |
| REAR SETBACK                  | NONE REQUIRED  |
| MAXIMUM BUILDING LOT COVERAGE | ONE-HUNDRED PERCENT(100%)  |
| MAXIMUM RESIDENTIAL DENSITY   | NONE   |
| MAXIMUM BUILDING HEIGHT       | AS DETAILED ON THE BAYSIDE HEIGHT OVERLAY MAP ON FILE IN THE PLANNING AND DEVELOPMENT DEPARTMENT OFFICE.   |
| MINIMUM BUILDING HEIGHT       | HEAVILY CONSTRUCTED BUILDINGS SHALL HAVE THE REQUIRED MINIMUM OF FLOORS AS PROVIDED BY THE BAYSIDE HEIGHT OVERLAY MAP WITHIN FIFTY (50) FEET OF ANY STREET FRONTAGE. SUCH FLOORS SHALL BE OCCUPABLE OR HABITABLE AND ABOVE THE AVERAGE GRADE OF THE ADJUTING STREET. |
- REFERENCE IS MADE TO CHAPTER 14 IN THE LAND USE ORDINANCE FOR THE CITY OF PORTLAND, MAINE FOR ADDITIONAL INFORMATION.

**PLAN REFERENCES:**

- ALDER STREET RECONSTRUCTION PLAN AND PROFILE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT ENGINEERING SECTION DATED JUNE 1990.
- STANDARD BOUNDARY SURVEY PROPOSED SALT SHED LOT HANOVER STREET CITY OF PORTLAND PUBLIC WORKS DEPARTMENT ENGINEERING SECTION DATED SEPTEMBER 2001.
- LAND TITLE SURVEY ON KENNEBEC STREET, PORTLAND, MAINE PORTLAND TERMINAL COMPANY TO ROSS Y. FURMAN 58 ALDER ST. PORTLAND MAINE DATED JULY 27, 1954 BY OWEN HASKELL, INC. AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 194 PAGE 292.
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- RIGHT OF WAY AND TRACK MAP PORTLAND TERMINAL OPERATED BY THE PORTLAND TERMINAL COMPANY STATION 52+80.0 TO STATION 105+80.0 JUNE 30, 1916 SHEET VI-C/2
- CITY OF PORTLAND CITY PROPERTY REVALUATION SHEET 6.
- BOWL PORTLAND SITE GRADING AND UTILITY PLAN DATED 9-27-09 REVISED THROUGH 12-29-09 BY CASCO BAY ENGINEERING.

DESIGNED	CHECKED
D.P.-WCS	WCS
3-20-15 ADD CITY LOT PER PURCHASE AND SALE AGREEMENT 3-18-15 ADDITIONAL UTILITY CONNECTIONS 3-12-15 STRUCTURE GRADES 3-9-15 PRELIMINARY TO MITCHELL ASSOCIATES 2-25-15 PRELIMINARY TO MITCHELL ASSOCIATES DATE: STATUS:	

**SEBAGO TECHNICALS**  
 WWW.SEAGOTECHNICALS.COM  
 75 John Roberts Rd. Suite 1A  
 South Portland, ME 04106  
 Tel. 207-260-2100

**EXISTING CONDITIONS PLAN**  
 OF  
**BAYSIDE BOWL**  
 ALDER ST  
 PORTLAND, ME 04101  
 FOR:  
**PROJECT RESOURCES, INC.**  
 P.O. BOX 660  
 YARMOUTH, ME 04096-0661

PROJECT NO. 15012 SCALE 1" = 20'  
 SHEET 1 OF 1



GENERAL NOTES

- SITE AREA: 55,290 SF OR 1.27 ACRES
- APPLICANT: BOPO, L.L.C.  
58 ALDER STREET  
PORTLAND, MAINE 04101
- RECORD OWNERS: BOPO LLC, RECORDED JUNE 30, 2011  
C.G.R.D. BOOK 28797 PAGE 222  
TAX MAP 34, BLOCK H, LOTS 2 AND 3  
BOPO LLC, RECORDED JUNE 30, 2011  
C.G.R.D. BOOK 28797 PAGE 224  
TAX MAP 34, BLOCK H, LOT 1
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- ZONING DISTRICT: B-7 MIXED DEVELOPMENT DISTRICT ZONE
- SPACE AND BLANK STANDARDS:
 

	REQUIRED	PROPOSED
MINIMUM LOT SIZE:	NONE	55,290 SF
MINIMUM FRONTAGE:	NONE	190 FEET
FRONT SETBACK:	NONE REQUIRED	EXISTING: 12.5-14.7 FEET
SIDE SETBACK:	NONE REQUIRED	0 FEET
REAR SETBACK:	NONE REQUIRED	10 FEET
HANOVER STREET SETBACK:	NONE REQUIRED	10 FEET (ADDITION)
MINIMUM BUILDING LOT COVERAGE:	100 PERCENT	78 PERCENT
MAXIMUM BUILDING HEIGHT:	105 FEET	34 FEET/ STAR TOWER 54 FEET
MINIMUM BUILDING HEIGHT:	3 FLOORS (45 FEET)	34 FEET
- OFF STREET PARKING REQUIREMENTS:
 

REQUIRED:	43 SPACES
EXISTING:	41 SPACES (GRAVEL LOT)
PROPOSED ON-SITE:	36 SPACES
PROPOSED OFF-SITE:	57 SPACES
- BICYCLE PARKING:
 

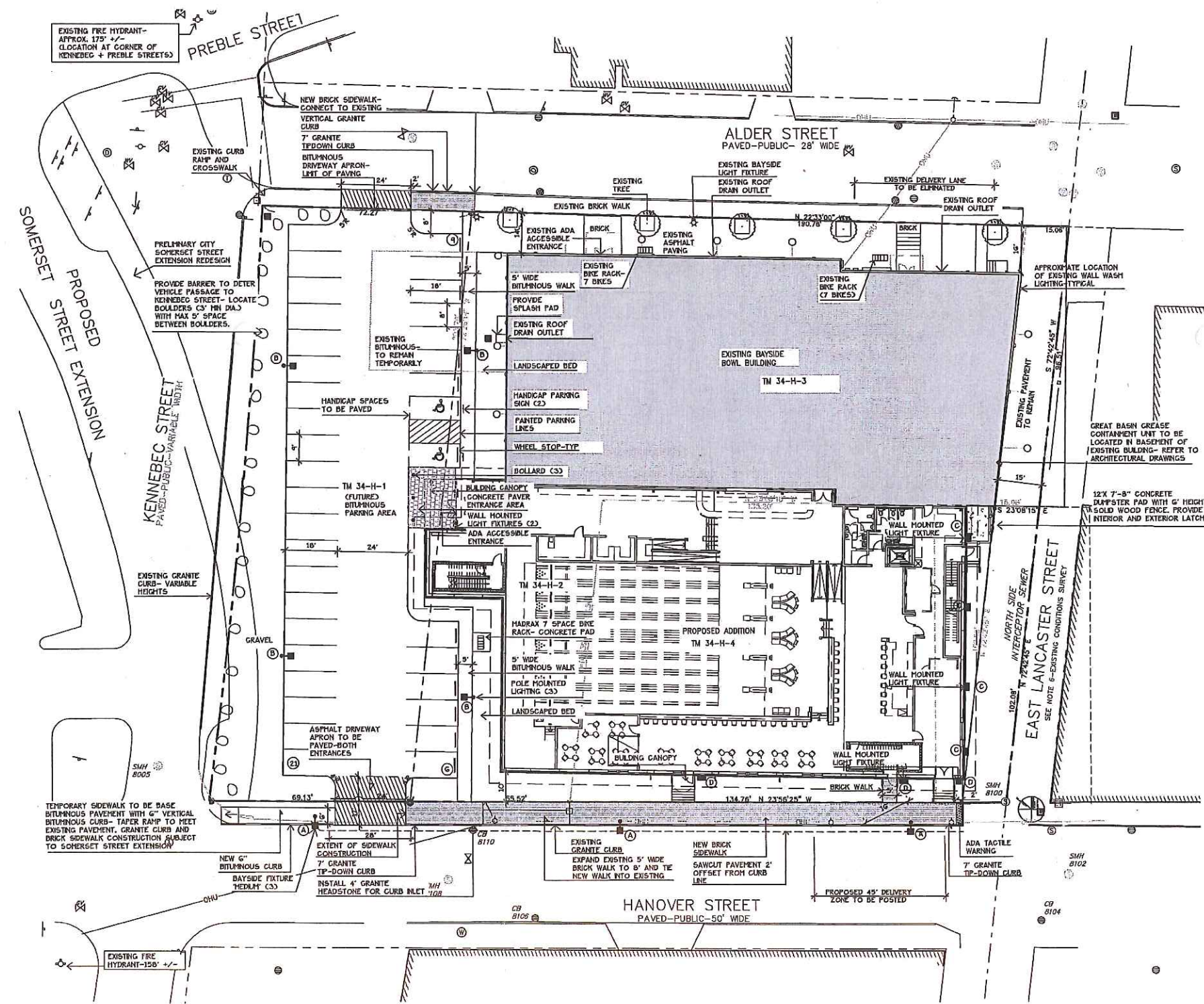
REQUIRED:	20 SPACES
EXISTING:	14 SPACES
PROPOSED:	21 SPACES
- ALL WORK WITHIN THE ROAD RIGHT-OF-WAY AND ALL UTILITIES CONNECTING TO INFRASTRUCTURE WITHIN THE ROAD SHALL MEET CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.

LEGEND

PROPERTY LINE	EXISTING	PROPOSED
GRANITE MONUMENT		
IRON PIN		
CATCHBASIN		
HANHOLE		
HYDRANT		
UTILITY POLE		
WATER VALVE		
SANITARY SEWER		
STORM DRAIN		
WATER		
TELEPHONE		
GAS		
CURB		
FENCE		
SIGN		
DECIDUOUS TREE		
EVERGREEN TREE		
PIPE BOLLARD		
BIKE HITCH		
ZONE LINE		
WALL MOUNTED		
LIGHT FIXTURE		
SECURITY CAMERA		
OVERHEAD WIRES		
CHP CABLE LINES		

LIGHTING SCHEDULE

KEY	QTY	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMP
(A)	3	HOLOPHANE	ESL 110 4K A5 X	BAYSIDE DISTRICT FIXTURE MEDIUM LED TEARDROP	110 W 100 LED ARRAY
(B)	4	BEACON	VP-5-30NB-90-5K-T4-UNV-HOB50-WB-BZ-PC	VIPER WITH PHOTOCELL	XX
(C)	4	HUBBELL	LNC2-18LU-5K-3-1-PC	LAREDO WALL PAC WITH PHOTOCELL	XX
(D)	5	HUBBELL	PGF1-P-PC-1	PGF1 SCONCE	XX



Plan 3

Prepared For:  
Applicant:  
BoPo, L.L.C.  
58 Alder Street  
Portland, Maine  
Justin Alford, Manager

Prepared By:  
MITCHELL & ASSOCIATES  
Landscape Architects  
The Staples School  
70 Center Street  
Portland, Maine 04101  
Tel: (207) 774-4427

BAYSIDE BOWL  
Portland, Maine  
58 Alder Street

Date:  
DECEMBER 18, 2015

Issued For:  
AMENDED  
SITE PLAN SUBMISSION

Revisions:

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this document without the  
expressed written consent of  
Mitchell & Associates is prohibited.

Title:  
LAYOUT AND LIGHTING  
PLAN

Scale: 1"=20'

North  
  
Sheet No:  
**2**



*Stephen J. Bradstreet*



**GRADING AND DRAINAGE NOTES:**

- DO NOT SCALE THESE DRAWINGS. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES AND SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR FURTHER DIRECTION AND RESOLUTION BEFORE ADDITIONAL WORK PROCEEDS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR DIRECTION AND RESOLUTION PRIOR TO ANY FURTHER WORK.
- CONTRACTOR SHALL FIELD VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANIES PRIOR TO EXCAVATION OF OR INSTALLATION OF ANY PART OF THIS WORK.
- CONTRACTOR SHALL AVOID ALL AREAS NOT REQUIRING GRADING. CONTRACTOR SHALL NOT DISTURB THESE AREAS.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL DIGSAFE (1-888-344-7233) AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.
- CONTRACTOR SHALL CONDUCT TEST PIT EXCAVATION TO CONFIRM LOCATION OF EXISTING UTILITIES WHERE NEW BUILDING SANITARY SERVICE AND WATER SERVICE ARE PROPOSED.
- WHERE STORM DRAINS OR SEWER MAINS HAVE LESS THAN FOUR (4) FEET OF COVER BETWEEN TOP OF PIPE AND FINISH GRADE, INSULATE PIPE USING TWO (2) INCH THICK STYROFOAM INSULATION BOARD OVER AND ALONG SIDES OF THE PIPE.
- EXISTING DRAINAGE MANHOLES SHALL BE CORED TO ACCEPT NEW DRAINAGE PIPES AS NOTED.
- PIPE LENGTH EQUALS THE CENTER TO CENTER DISTANCES BETWEEN CATCH BASINS AND/OR MANHOLES MINUS ONE-HALF OF THE DIAMETER OF EACH CATCH BASIN OR MANHOLE.
- ROOF DRAIN CONNECTIONS SHALL BE CONFIRMED WITH FINAL BUILDING PLANS.
- ALL UTILITIES SHALL BE INSTALLED IN CONFORMANCE WITH INDIVIDUAL UTILITY DISTRICT REQUIREMENTS; CONTRACTOR SHALL COORDINATE INSTALLATION WITH APPROPRIATE UTILITY DISTRICT BEFORE INSTALLATION.
- ALL WORK WITHIN THE ROAD RIGHT-OF-WAY AND ALL UTILITIES CONNECTING TO INFRASTRUCTURE WITHIN THE ROAD SHALL MEET CITY OF PORTLAND TECHNICAL STANDARDS.
- DISCONTINUED UTILITY SERVICES INCLUDING SANITARY SEWER SHALL BE PERMANENTLY CAPPED CONFORMING TO CITY OF PORTLAND STANDARDS. CONTRACTOR SHALL COORDINATE WITH PUBLIC SERVICES.
- UTILITIES SHOWN ARE BASED ON THE REFERENCED PLANS AND A FIELD SURVEY OF VISIBLE STRUCTURES PERFORMED IN FEBRUARY 2015. DURING THE FIELD SURVEY THERE WAS SNOW IN EXCESS OF THREE FEET DEEP AND ASSOCIATED ICE THAT MADE VERIFICATION DIFFICULT. A SITE VISIT TO VERIFY UTILITIES IS RECOMMENDED ONCE SNOW COVER IS GONE.

Plan 4

Prepared For:  
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 Justin Alford, Manager

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Date:  
 DECEMBER 18, 2015

Issued For:  
 AMENDED  
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Revisions:

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Title:  
 GRADING AND DRAINAGE PLAN-  
 SOMERSET EXTENSION

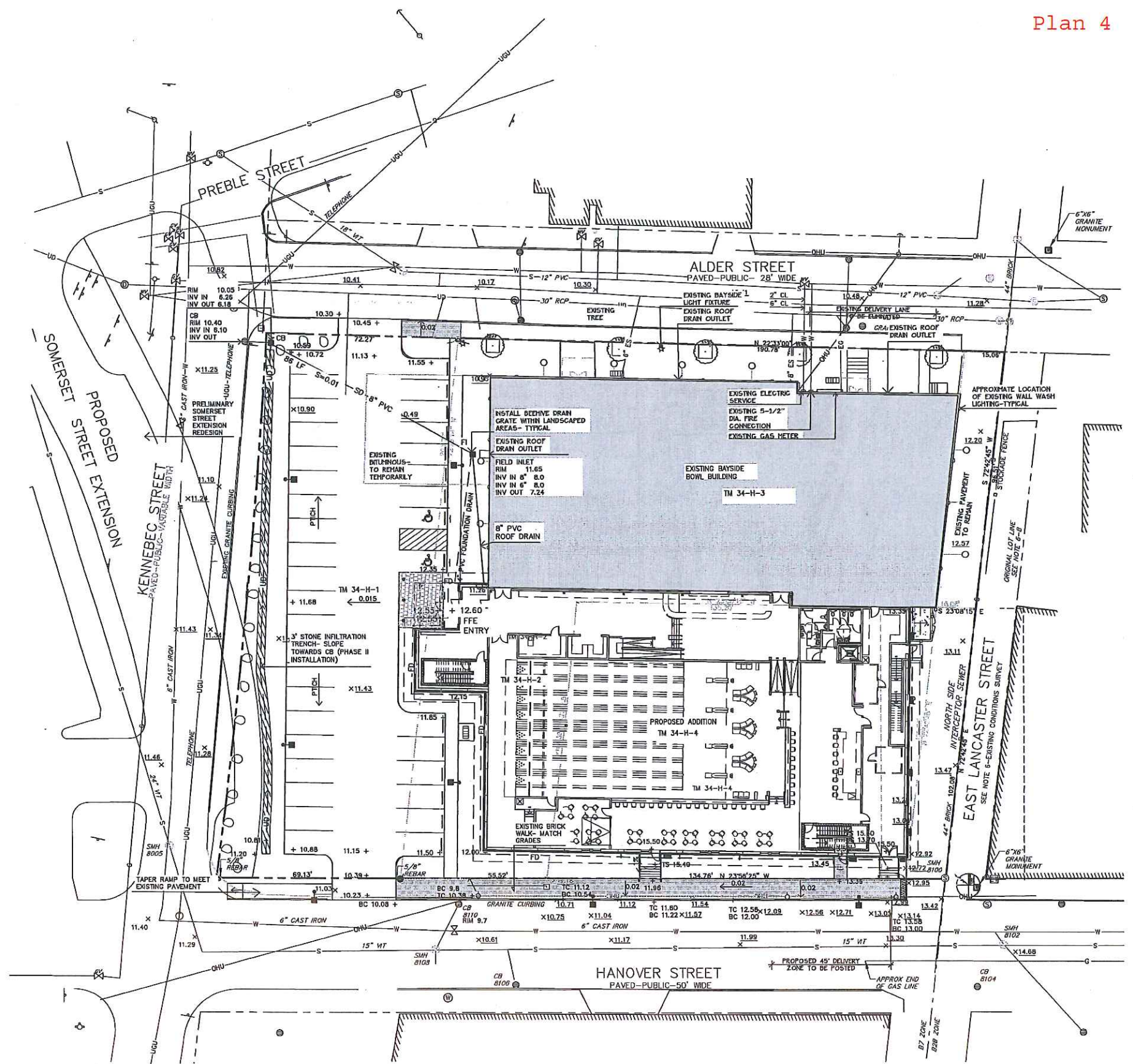
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North:   
 Sheet No:  
**3**

**STRUCTURES**

**LEGEND**

	EXISTING	PROPOSED
SMH 8108 RIM=10.6 8" VIT INV IN=5.7 12" VIT INV IN=4.5 12" VIT INV OUT=4.4 SHELF=4.8		
CB 8110 RIM=9.7 8" VIT INV OUT=5.7 SUMP=4.0		
SMH 8102 RIM=14.3 15" CMP INV IN=6.9 15" VIT INV IN=6.6 15" VIT INV OUT=6.2 15" VIT INV OUT=6.1 SHELF=6.5		
SMH 8115 RIM=11.1 44" BRICK INV IN=4.0 44" BRICK INV IN=3.9 TOP WEIR=5.9 30" RCP INV OUT=3.2		
CB 8284 RIM=9.9 12" PVC INV IN=5.2 12" PVC INV OUT=5.0 SUMP=1.8		
CB 8290 RIM=9.5 8" PVC INV IN=5.4 12" PVC INV OUT=4.3 SUMP=1.7		
DMH 8288 RIM=9.8 30" RCP INV IN=1.7 12" PVC INV IN=3.8 30" RCP INV OUT=1.8 SHELF=3.9		
SMH 8125 RIM=10.1		
CB 8106 RIM=10.1		
CB 8104 RIM=13.4		
SMH 8005 RIM= 11.4		
SMH 8100 RIM=11.9		
SMH 8113 RIM=11.1		
SMH 8118 RIM=11.1		
SMH 8122 RIM=10.8		
CB 8286 RIM=9.8		
PROPERTY LINE		
GRANITE MONUMENT		
IRON FN		
CATCHBASIN		
MANHOLE		
HYDRANT		
UTILITY POLE		
WATER VALVE		
SANITARY SEWER		
STORM DRAIN		
WATER		
TELEPHONE		
GAS		
CURB		
FENCE		
SIGN		
DECIDUOUS TREE		
EVERGREEN TREE		
PPE BOLLARD		
DNE HITCH		
SPOT GRADE		
WALL MOUNTED		
LIGHT FIXTURE		
SECURITY CAMERA		
OVERHEAD WIRES		
CHP. CABLE LINES		



STATE OF MAINE  
 STEPHEN J. BRADSTREET  
 #5740  
 LICENSED PROFESSIONAL ENGINEER

*Stephen J. Bradstreet*



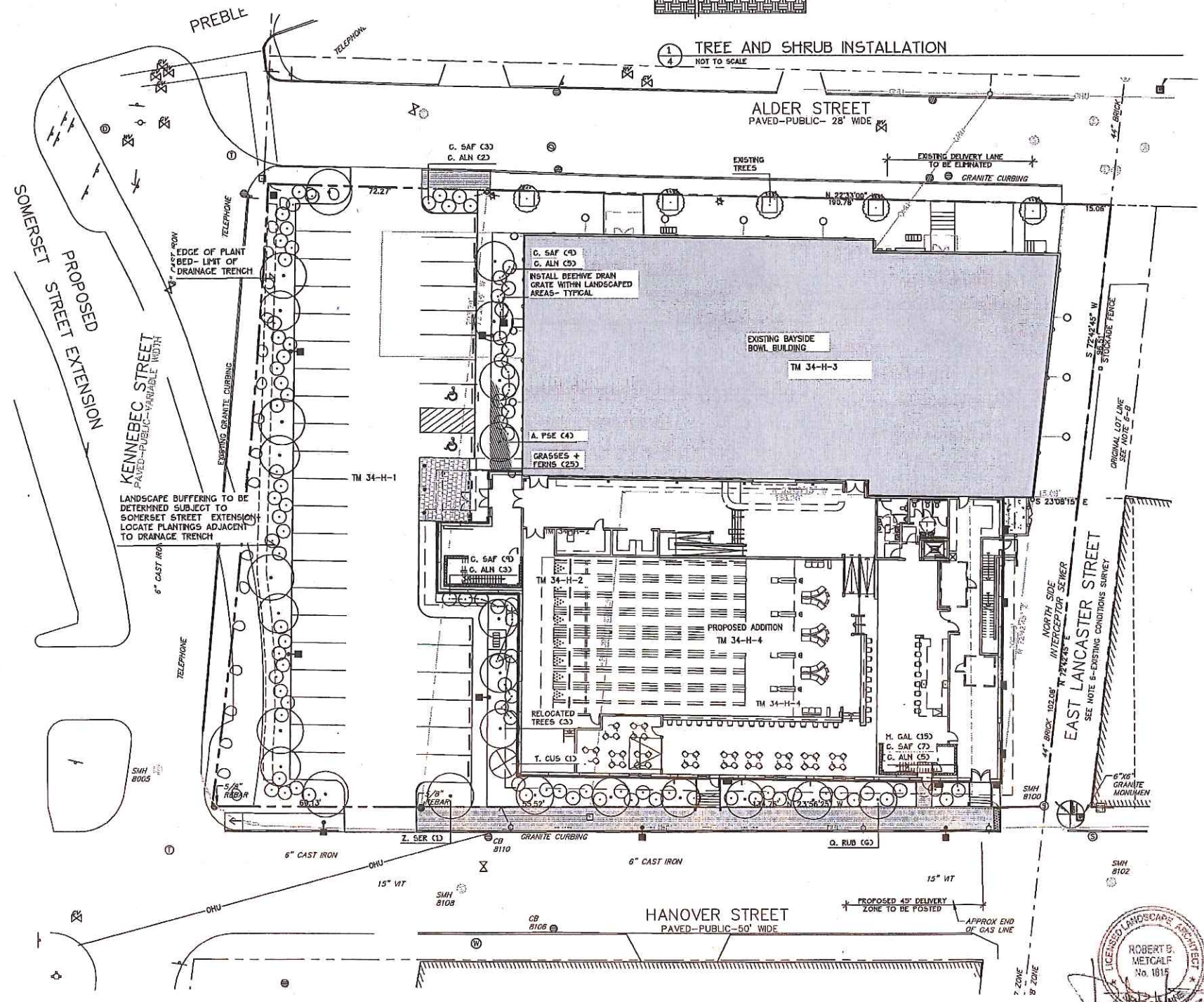
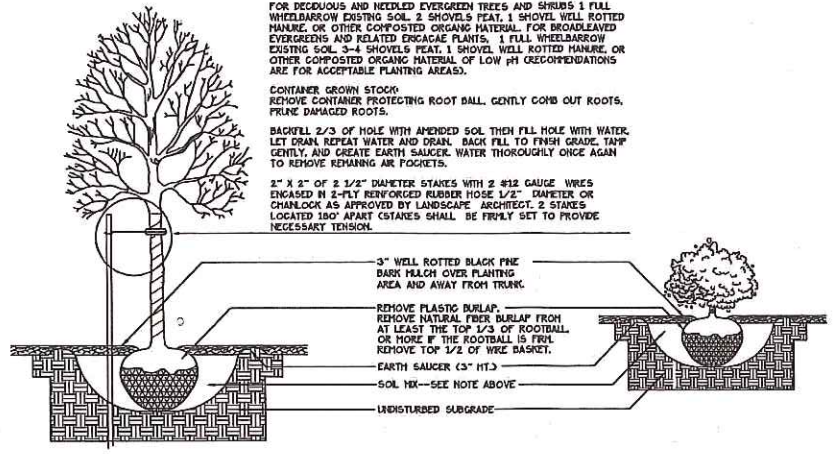
**GENERAL PLANTING NOTES**

- CALL DIG-SAFE (1-888-344-7233) PRIOR TO BEGINNING WORK. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES PAVING, WALKS, CURBING, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING.
- DO NOT SCALE FROM DRAWINGS. ANY OMISSIONS IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES AND SPECS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR FURTHER DIRECTION AND RESOLUTION BEFORE ANY ADDITIONAL WORK PROCEEDS.
- PROVIDE SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
- CONTRACTOR SHALL FURNISH AND PLACE 12 INCHES OF LOAM IN ALL SHRUB BEDS, 30 INCHES IN ALL TREE FITS, AND 6 INCHES UNDER ALL TURF AREAS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
- ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARDS FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN" LATEST EDITION.
- ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE FIT PREPARATION, PRUNING, STAKING OR GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM THE OWNER.
- ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- EXISTING TREES TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ALL SHRUB BEDS AND TREE FITS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BLACK MULCH (DO NOT EXCEED 3" DEPTH).
- ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY, OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
- WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
- DAMAGE TO EXISTING SITE IMPROVEMENTS DURING INSTALLATION OF LANDSCAPE MATERIAL SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- ALL WORK WITHIN THE ROAD RIGHT-OF-WAY AND ALL UTILITIES CONNECTING TO INFRASTRUCTURE WITHIN THE ROAD SHALL MEET CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.

**PLANT LIST**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
<b>TREES</b>				
A. RUB	5	ACER RUBRUM 'KARFICK'	KARFICK MAPLE	2" CAL
A. PSE	4	ACER PSEUDOSEBOLDIANUM	KOREAN MAPLE	#7
Z. SER	1	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	2" CAL
Q. RUB	6	QUERCUS CRISMICMIDI	CRIMSON SPIRE OAK	2" CAL
T. CUS	1	TAXUS CUSPIDATA 'CAPITATA'	UPRIGHT JAPANESE YEW	4'-5" HT.
<b>SHRUBS</b>				
C. ALN	5	CLETHRA ALNFOLIA 'RUBY SPICE'	RUBY SPICE SUMMERSWEET	#3
C. SAF	7	CORNUS SERICEA 'ARCTIC FIRE'	RED TWIG DOGWOOD	#3
H. GAL	15	HYDRICIA GALE	SWEET GALE	#3

**\*NOTES\***  
 DIG HOLE AT LEAST 2 TIMES THE WIDTH OF ROOT BALL AND AS DEEP AS THE ROOT BALL AND DEEPER. SET ROOT BALL CENTERED, WITH TOP AT GROUND LEVEL OR SLIGHTLY HIGHER. CORRECT HOLE DEPTH AS NEEDED.  
 FOR DECIDUOUS AND NEEDED EVERGREEN TREES AND SHRUBS 1 FULL WHEELBARROW EXISTING SOIL, 2 SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE OR OTHER COMPOSTED ORGANIC MATERIAL. FOR BROADLEAVED EVERGREENS AND RELATED ESCALAGE PLANTS, 1 FULL WHEELBARROW EXISTING SOIL, 3-4 SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE OR OTHER COMPOSTED ORGANIC MATERIAL OF LOW pH (GREENHOUSE) AREAS ARE FOR ACCEPTABLE PLANTING AREAS.  
 CONTAINER GROWN STOCK: REMOVE CONTAINER PROTECTING ROOT BALL, GENTLY COMB OUT ROOTS, PRUNE DAMAGED ROOTS.  
 BACKFILL 2/3 OF HOLE WITH AMENDED SOIL THEN FILL HOLE WITH WATER. LET DRAIN, REPEAT WATER AND DRAIN. BACK FILL TO FINISH GRADE. TAMP GENTLY, AND CREATE EARTH SAUCER. WATER THOROUGHLY ONCE AGAIN TO REMOVE REMAINING AIR POCKETS.  
 2" x 2" OF 2 1/2" DIAMETER STAKES WITH 2 #12 GAUGE WIRES ENGAGED IN 2-PLY REINFORCED RUBBER HOSE 1/2" DIAMETER OR CHANLOCK AS APPROVED BY LANDSCAPE ARCHITECT. 2 STAKES LOCATED 180° APART. STAKES SHALL BE FIRMLY SET TO PROVIDE NECESSARY TENSION.



**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE	[Symbol]	[Symbol]
GRANITE MONUMENT	[Symbol]	[Symbol]
IRON PIN	[Symbol]	[Symbol]
CATCHBASIN	[Symbol]	[Symbol]
HANDHOLE	[Symbol]	[Symbol]
HYDRANT	[Symbol]	[Symbol]
UTILITY POLE	[Symbol]	[Symbol]
WATER VALVE	[Symbol]	[Symbol]
CURB	[Symbol]	[Symbol]
FENCE	[Symbol]	[Symbol]
SIGN	[Symbol]	[Symbol]
DECIDUOUS TREE	[Symbol]	[Symbol]
EVERGREEN TREE	[Symbol]	[Symbol]
PIPE BOLLARD	[Symbol]	[Symbol]
BIKE HITCH	[Symbol]	[Symbol]
ZONE LINE	[Symbol]	[Symbol]
WALL MOUNTED	[Symbol]	[Symbol]
LIGHT FIXTURE	[Symbol]	[Symbol]
SECURITY CAMERA	[Symbol]	[Symbol]
OVERHEAD WIRES	[Symbol]	[Symbol]
CHP CABLE LINES	[Symbol]	[Symbol]

Plan 5

Prepared For:  
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**BAYSIDE BOWL**  
 Portland, Maine  
 58 Alder Street

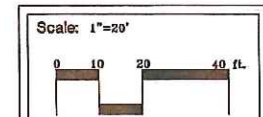
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 PLANTING PLAN

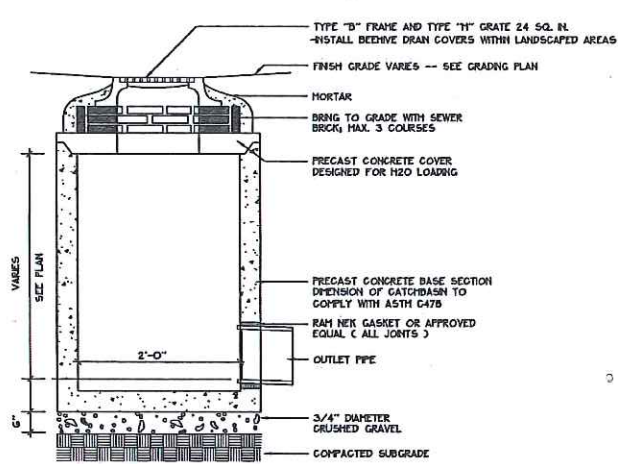


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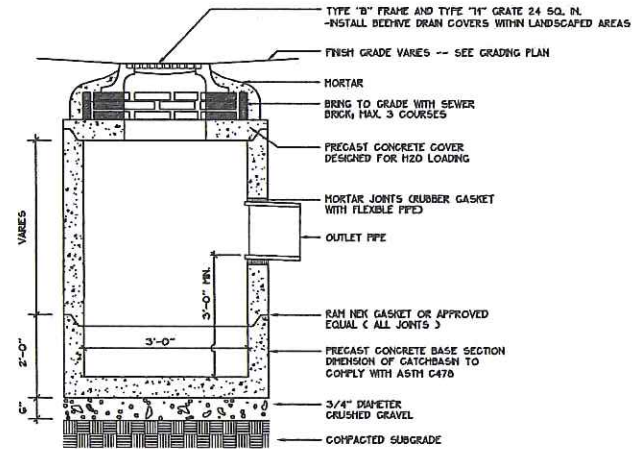
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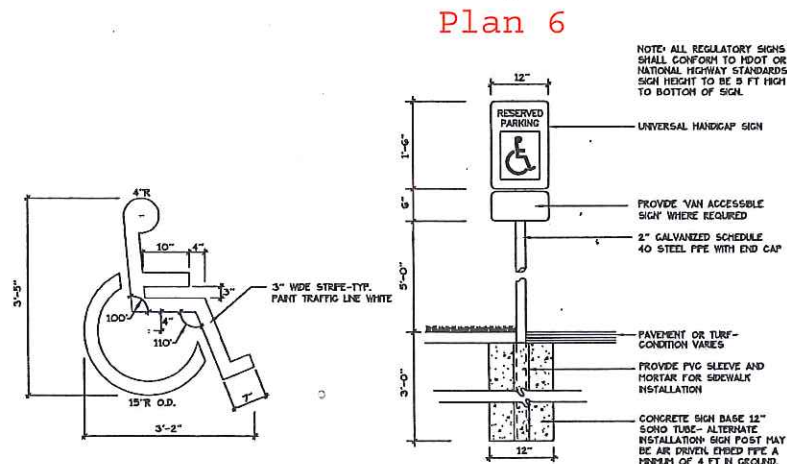




1  
6 PRECAST CONCRETE FIELD INLET  
NOT TO SCALE



5  
6 PRECAST CONCRETE CATCHBASIN  
NOT TO SCALE



6  
6 ACCESSIBLE SPACE MARKINGS + SIGNAGE  
NOT TO SCALE

NOTE: ALL REGULATORY SIGNS SHALL CONFORM TO HDOT OR NATIONAL HIGHWAY STANDARDS-- SIGN HEIGHT TO BE 5 FT HIGH TO BOTTOM OF SIGN.

UNIVERSAL HANDICAP SIGN

PROVIDE VAN ACCESSIBLE SIGN WHERE REQUIRED

2\"/>

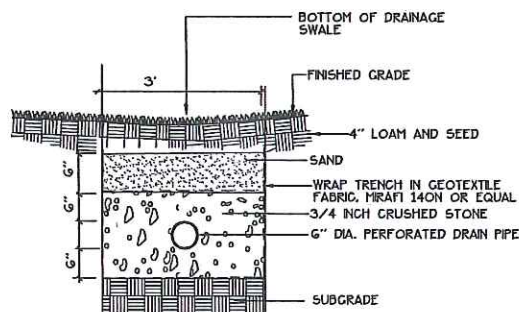
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Justin Alfond, Manager

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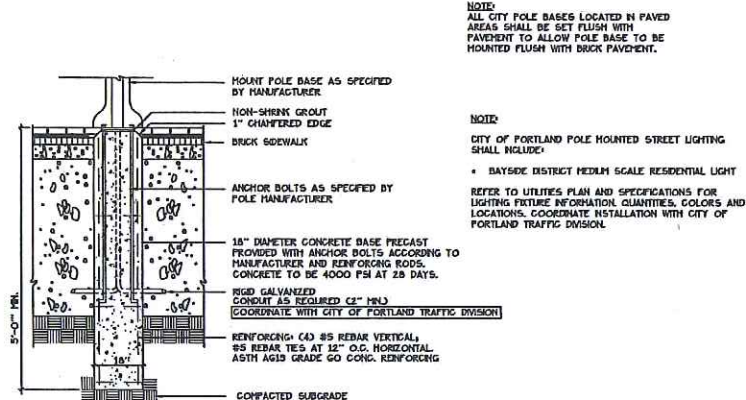
Portland, Maine

BAYSIDE BOWL

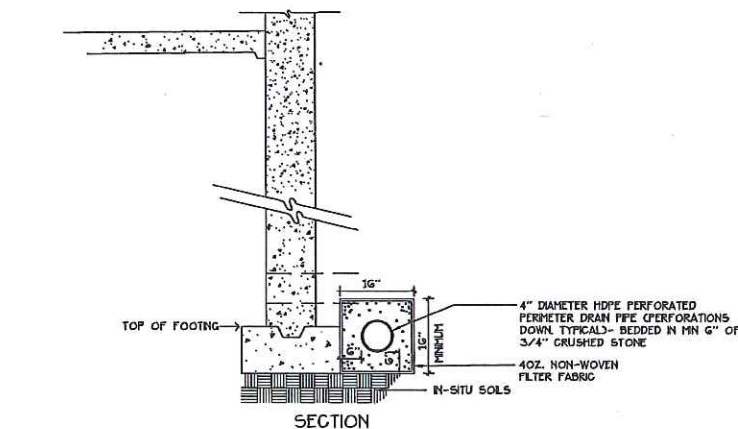
58 Alder Street



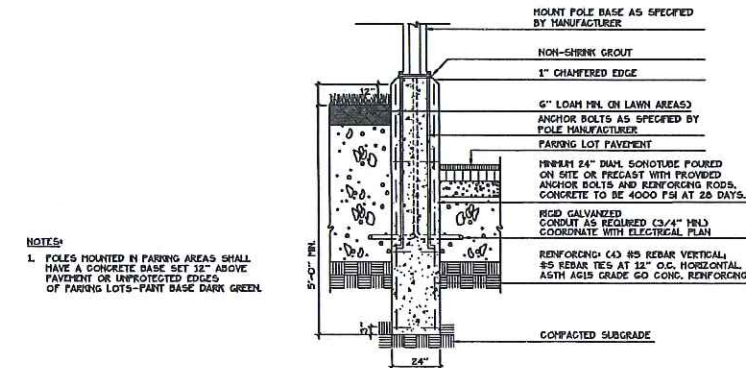
2  
6 STONE INFILTRATION TRENCH  
NOT TO SCALE



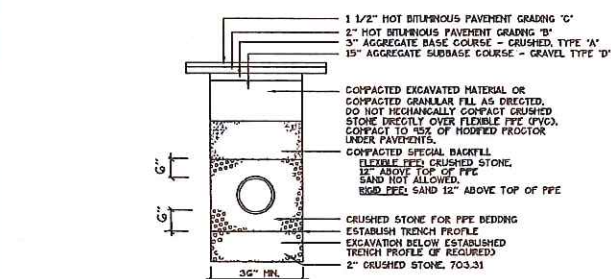
6  
6 BAYSIDE FIXTURE LIGHT POLE BASE  
NOT TO SCALE



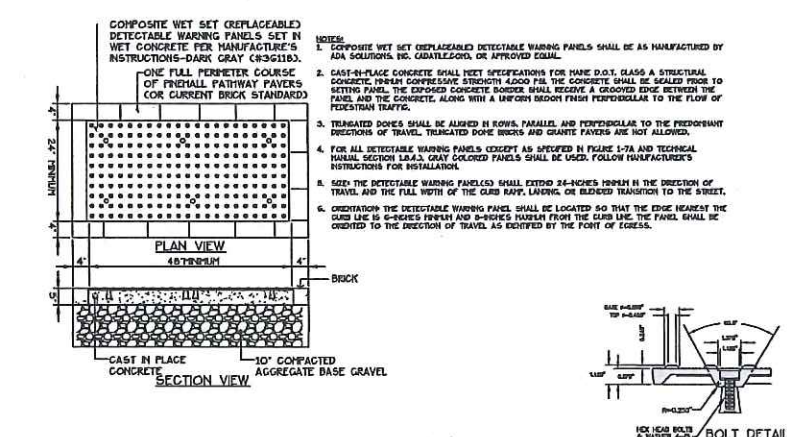
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6 PERIMETER FOUNDATION UNDERDRAIN  
NOT TO SCALE



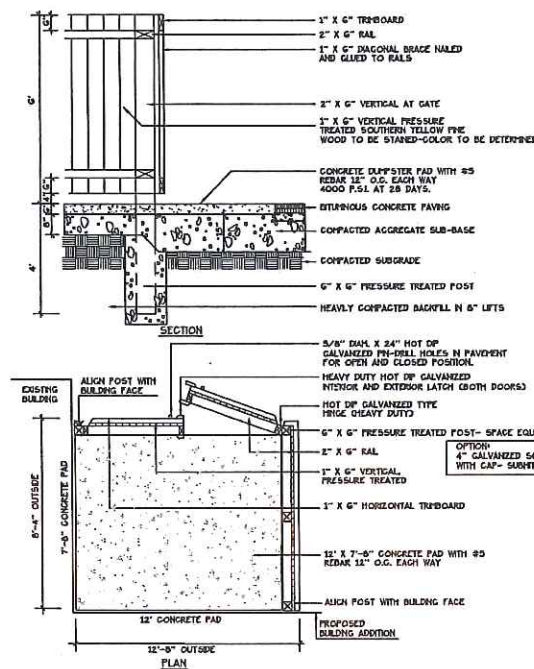
7  
6 LIGHT POLE BASE  
NOT TO SCALE



4  
6 PIPE TRENCH DETAIL  
NOT TO SCALE



9  
6 SIDEWALK RAMP DETECTABLE WARNING TILE  
NOT TO SCALE



10  
6 DUMPSTER ENCLOSURE  
NOT TO SCALE



Date:  
DECEMBER 18, 2015

Issued For:  
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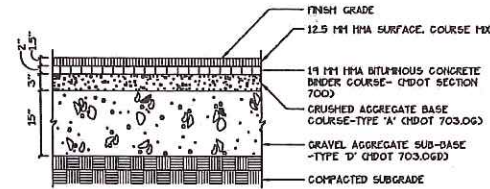
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0 10 20 40 ft.

North: Sheet No:  
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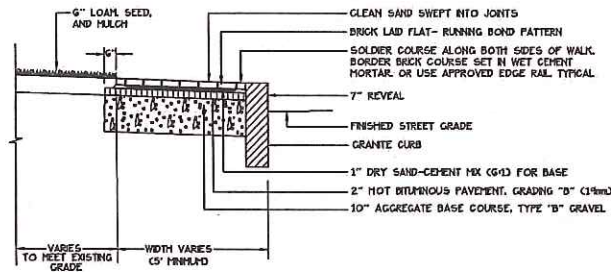




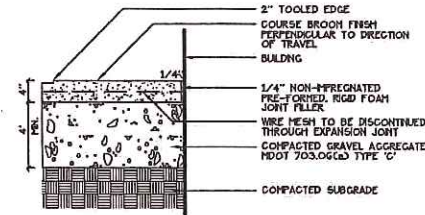
1 BITUMINOUS PAVEMENT- PARKING LOT  
NOT TO SCALE

NOTE: BRICK SIDEWALKS IN CITY OF PORTLAND RIGHT-OF-WAY SHALL BE FIVE HALL PATHWAY PAPER, 4X8, LACHANCE ITEM 6193623

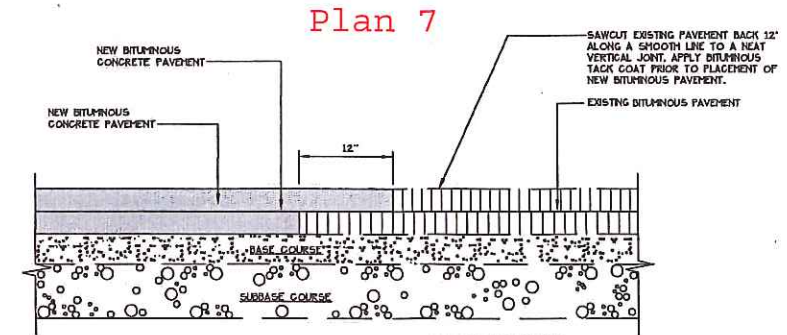
NOTE: SLOPE 0.02 TYPICAL TOWARD CURB.



2 BRICK SIDEWALK WITH BITUMINOUS BASE AND GRANITE CURB  
NOT TO SCALE

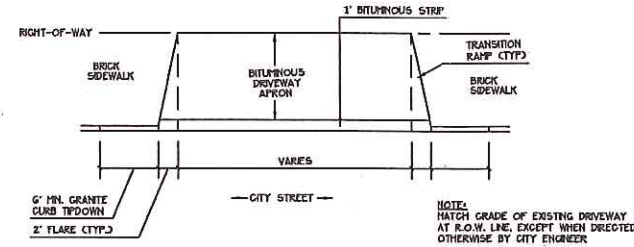


6 CONCRETE SLAB  
NOT TO SCALE



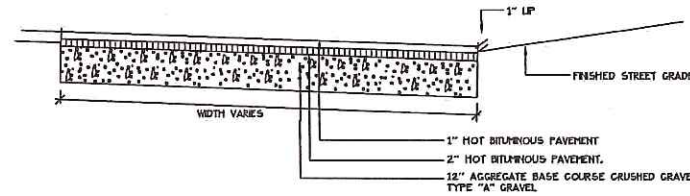
11 PAVEMENT SAWCUT DETAIL  
NOT TO SCALE

REFER TO CITY TECHNICAL SPECIFICATIONS FOR PAVEMENT RESTORATION

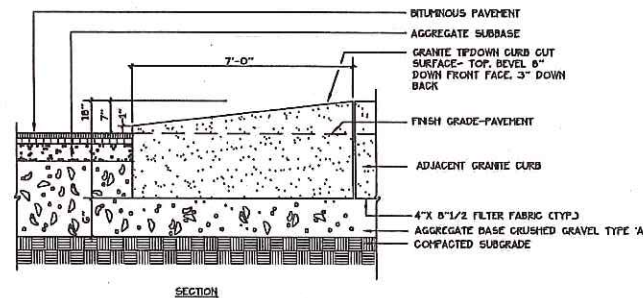


7 DRIVEWAY APRON LAYOUT  
NOT TO SCALE

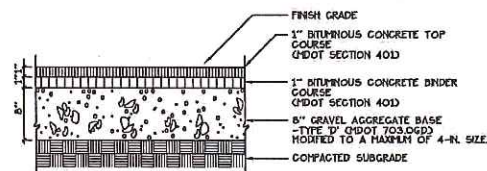
NOTE: MATCH GRADE OF EXISTING DRIVEWAY AT R.O.W. LINE EXCEPT WHEN DIRECTED OTHERWISE BY CITY ENGINEER



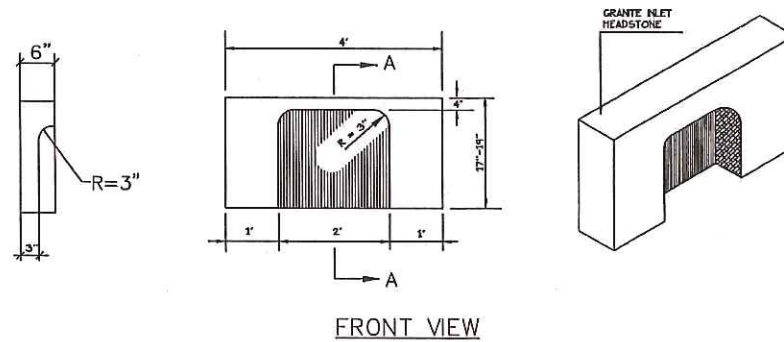
3 BITUMINOUS DRIVEWAY APRON  
NOT TO SCALE



8 GRANITE TIP-DOWN CURB  
NOT TO SCALE

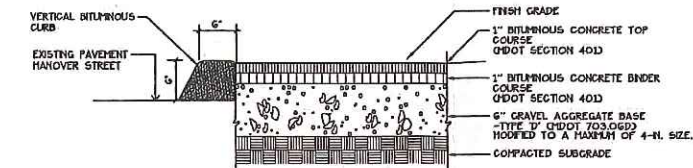


4 BITUMINOUS SIDEWALK  
NOT TO SCALE

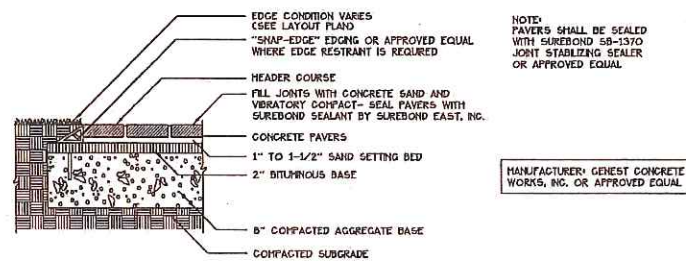


9 4\"/>

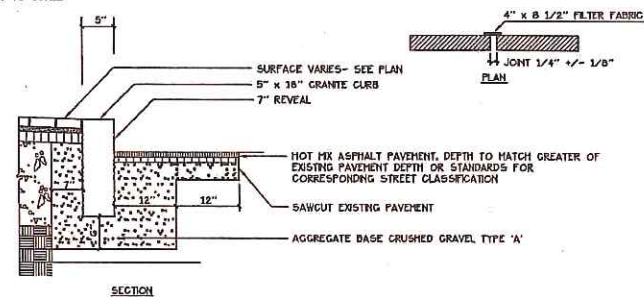
12 BIKE RACK  
NOT TO SCALE



13 TEMPORARY BITUMINOUS SIDEWALK-HANOVER STREET  
NOT TO SCALE



5 CONCRETE PAVERS  
NOT TO SCALE



10 VERTICAL GRANITE CURB  
NOT TO SCALE

Prepared For:  
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Justin Alfoni, Manager

Prepared By:  
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BAYSIDE BOWL  
 58 Alder Street  
 Portland, Maine

Date:  
DECEMBER 16, 2015

Issued For:  
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Scale: 1"=20'  
0 10 20 40 ft.

North  
Sheet No:  
5



*Stephen J. Bradstreet*



**EROSION AND SEDIMENTATION CONTROL PLAN**

THIS PLAN HAS BEEN DEVELOPED AS A STRATEGY TO CONTROL SOIL EROSION AND SEDIMENTATION DURING AND AFTER CONSTRUCTION OF A 29,724 SF ADDITION TO BAYSIDE BOWL, PORTLAND, MAINE. THIS PLAN IS BASED ON THE STORMWATER MANAGEMENT FOR MAINE VOLUME II BMPs TECHNICAL DESIGN MANUAL DATED JANUARY 2006.

THE PROJECT CONSISTS OF CONSTRUCTION OF A PROPOSED 29,724 SF BUILDING ADDITION AND PAVED PARKING LOT. THE ASSOCIATED GRADING DEFINES THE LIMITS OF PROPOSED EARTH MOVEMENT FOR THE DEVELOPMENT. THE HORIZONTAL AND VERTICAL PLACEMENT PROPOSED BUILDING ADDITION AND PARKING LOT HAVE BEEN DESIGNED TO MAXIMIZE THE TOPOGRAPHIC OPPORTUNITIES AVAILABLE.

**B. EROSION CONTROL PRACTICES/TEMPORARY MEASURES**

THE FOLLOWING TEMPORARY MEASURES TO CONTROL EROSION AND SEDIMENTATION SHALL BE UTILIZED EACH GROUND AREA, OPENED OR EXPOSED, WHETHER DIRECTLY OR INDIRECTLY DUE TO THE DEVELOPMENT, SHALL BE MINIALIZED AND SHALL BE STABILIZED WITHIN 15 DAYS OF INITIAL DISTURBANCE OF SOIL AND SHALL BE PERMANENTLY STABILIZED WITHIN SEVEN DAYS OF FINAL GRADING. THIS STATEMENT APPLIES TO DISTURBED AREAS BEYOND THE LIMITS OF THE PROPOSED BUILDING. EXPOSED AREAS SHALL BE STABILIZED PRIOR TO A RAIN EVENT.

TEMPORARY SOIL STABILIZATION SHALL BE EITHER BY TEMPORARY MULCHING, TEMPORARY SEEDING, PERMANENT BASE GRAVEL, OR ASPHALT BINDER COURSE AS FOLLOWS:

**TEMPORARY SEEDING:** SEED SHALL BE AROOSTOOK RYE APPLIED AT 2.60#/1000 SF. LIME SHALL BE AGRICULTURAL GROUND LIMESTONE APPLIED AT 13.8#/1000 SF. FERTILIZER SHALL BE 10-10-10 CLASSIFICATION APPLIED AT 13.8#/1000 SF. MULCH SHALL CONSIST OF HAY AND STRAW MULCH AND SPREAD EVENLY AT A RATE OF 70-90#/1000 SF. TEMPORARY SEEDING SHALL ONLY BE MADE BETWEEN APRIL 15 AND OCTOBER 1, AND SHALL NOT BE PLACED OVER SNOW.

**TEMPORARY MULCHING:** MULCH SHALL CONSIST OF CHOPPED HAY OR STRAW MULCH AND SPREAD BY MECHANICAL BLOWER EVENLY AT A RATE OF 150-200#/1000 SF. TEMPORARY MULCH SHALL BE REMOVED PRIOR TO PERMANENT SOIL STABILIZATION. MULCH SHALL NOT BE PLACED OVER SNOW. SNOW SHALL BE REMOVED PRIOR TO MULCHING.

**PERMANENT BASE GRAVEL:** BASE GRAVEL UNDER PAVEMENT SHALL BE SUITABLE AS TEMPORARY SOIL STABILIZATION UNDER THE FOLLOWING CONDITIONS:

- a. SLOPES SHALL BE LESS THAN EIGHT PERCENT;
- b. GRAVEL SHALL MEET THE SPECIFICATIONS FOR BASE OR SUBBASE GRAVEL FOR THE PROPOSED COMPLETED PAVEMENT.

**ASPHALT BINDER COURSE:** ASPHALT BINDER SHALL MEET THE SPECIFICATIONS FOR THE ASPHALT BINDER COURSE FOR THE PROPOSED COMPLETED PAVEMENT.

**C. EROSION CONTROL PRACTICES/PERMANENT MEASURES**

THE FOLLOWING PERMANENT MEASURES TO CONTROL EROSION AND SEDIMENTATION SHALL BE UTILIZED:

1. PERMANENT SEEDING SHALL BE PERFORMED DURING CONSTRUCTION OPERATIONS AS EACH DISTURBED AREA HAS BEEN BROUGHT TO FINISH GRADE. PERMANENT SEEDINGS SHALL BE MADE AS DORMANT SEEDING AFTER THE FIRST KILLING FROST. DORMANT SEEDING AND MULCH SHALL BE USED AT TWO TIMES THE PERMANENT SEEDING AND MULCHING RATE SHOWN BELOW FOR BOTH LAWNS AS WELL AS EMBANKMENTS. SEED, LOAM, LIME, FERTILIZER AND MULCH ARE TO BE AS FOLLOWS:

SEED: THE SEED MIXTURE SHALL CONSIST OF SEED PROPORTIONED BY WEIGHT. ALL SEED SHALL BE FRESH, CLEAN, "NEW CROP" SEED, HARMLESS INERT MATTER AND WEED SEEDS SHALL BE PERMITTED UP TO ONE PERCENT OF THE GROSS WEIGHT OF EACH VARIETY OF SEED. ALL SEED SUPPLIED SHALL BE PACKED IN APPROVED CONTAINERS BEARING THE MANUFACTURER'S NAME AND ANALYSIS OF CONTENTS. THE FOLLOWING MATERIALS AND APPLICATION RATES SHALL BE REQUIRED FOR PERMANENT SEEDING:

LAWN	SEED	AMOUNT
CREeping RED RESCUE	0.69#/1000 SF	
KENTUCKY BLUEGRASS	0.57#/1000 SF	
PERENNIAL RYE GRASS	0.46#/1000 SF	
REDTOP	0.12#/1000 SF	
TOTAL	1.84#/1000 SF	

LOAM SHALL BE FREE OF GRASSES, ROOTS, LARGE STONE AND INORGANIC DEBRIS. PLACE LOAM AT FOUR INCHES MINIMUM DEPTH OVER ALL DISTURBED AREAS. FINAL GRADING OF ALL LAWN AREAS TO BE APPROVED BY LANDSCAPE ARCHITECT BEFORE SEEDING.

LIME: LIME SHALL BE AGRICULTURAL GROUND LIMESTONE AND APPLIED AS PER RECOMMENDATION OF A STATE COMMERCIAL SOIL TESTING LABORATORY. FERTILIZER SHALL BE 10-20-20 CLASSIFICATION AND APPLIED AS PER RECOMMENDATION OF A STATE COMMERCIAL SOIL TESTING LABORATORY.

MULCH: MULCH SHALL CONSIST OF HAY OR STRAW MULCH. MULCH SHALL BE SPREAD EVENLY AT A RATE OF TWO AND ONE HALF TONS PER ACRE OVER ALL SEEDING. AFTER APPLICATION, THE MULCH SHOULD BE THOROUGHLY WETTED. IN STEEP AREAS, THE MULCH SHALL BE HELD IN PLACE BY THE USE OF JUTE EROSION CONTROL NETTING OR APPROVED ALTERNATIVE NETTING MATERIAL. NOTE: ALL EXPOSED SOIL MUST BE COVERED REGARDLESS OF MULCHING RATES SPECIFIED.

THE CONTRACTOR SHALL MAINTAIN THE SEEDING AND MULCHED AREAS UNTIL FINAL ACCEPTANCE OR THE WORK. MAINTENANCE SHALL CONSIST OF PROVIDING PROPER WATERING, PROTECTION AGAINST TRAFFIC AND REPAIRING ANY AREAS DAMAGED DUE TO WIND, WATER, EROSION, FIRE OR OTHER CAUSES. SUCH DAMAGED AREAS SHALL BE REPAIRED TO REESTABLISH THE CONDITION AND GRADE OF THE SOIL PRIOR TO SEEDING AND SHALL THEN BE REFERTILIZED, RESEEDED AND REMULCHED.

**D. WINTER CONSTRUCTION**

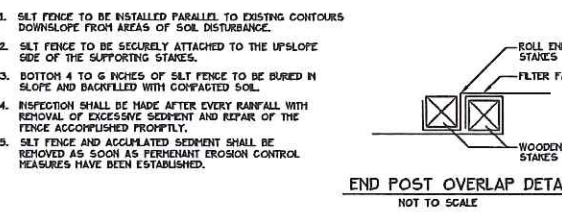
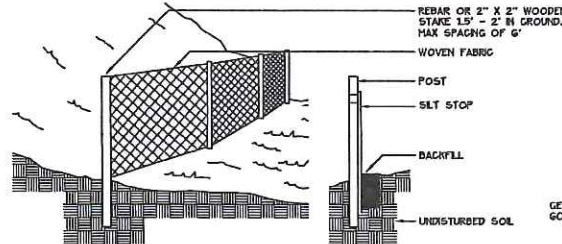
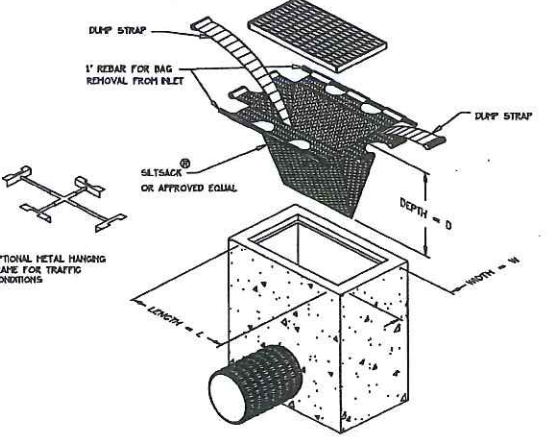
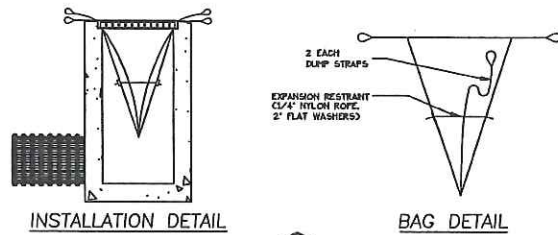
THE WINTER CONSTRUCTION PERIOD IS FROM NOVEMBER 1 THROUGH APRIL 15. WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN ONE ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME. LIMIT THE EXPOSED AREA TO THOSE AREAS IN WHICH WORK IS EXPECTED TO BE UNDERTAKEN DURING THE PROCEEDING 15 DAYS AND THAT CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. HAY AND STRAW MULCH RATE SHALL BE A MINIMUM OF 150 LBS./1000 SF, (3 TONS/ACRE) AND SHALL BE PROPERLY ANCHORED. THE CONTRACTOR SHALL INSTALL ANY ADDED MEASURES WHICH MAY BE NECESSARY TO CONTROL EROSION/SEDIMENTATION FROM THE SITE, DEPENDENT UPON THE ACTUAL SITE AND WEATHER CONDITIONS. CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED, IN ORDER TO MINIMIZE AREAS WITHOUT EROSION CONTROL PROTECTION.

**E. CONSTRUCTION SEQUENCE**

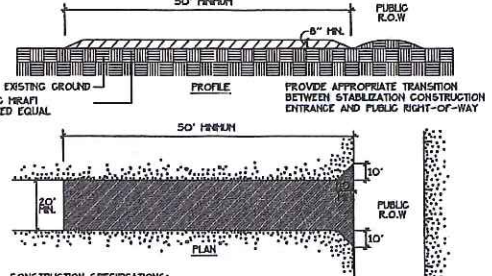
- THE GENERAL SEQUENCE OF WORK SHALL BE AS FOLLOWS:
1. INSTALL EROSION CONTROL DEVICES.
  2. GRADE SITE.
  3. TEMPORARILY STABILIZE DISTURBED AREAS BY MULCHING ALL EXPOSED SOIL WITHIN 15 DAYS OF INITIAL DISTURBANCE.
  4. COMPLETE SITE CONSTRUCTION WORK.
  5. CONSTRUCT PARKING AREA.
  6. INSTALL PERMANENT VEGETATION ON ALL EXPOSED AREAS WITHIN 15 DAYS OF FINAL GRADING.
  7. PERFORM CONTINUING MAINTENANCE ON ALL EROSION AND SEDIMENTATION CONTROL DEVICES AND MEASURES.

**F. SITE INSPECTION + MAINTENANCE**

WEEKLY INSPECTIONS, AS WELL AS ROUTINE INSPECTIONS FOLLOWING RAINFALLS OF 0.5" OVER A CONSECUTIVE 24-HOUR PERIOD, SHALL BE CONDUCTED BY THE SITE CONTRACTOR OF ALL TEMPORARY AND PERMANENT EROSION CONTROL DEVICES UNTIL FINAL ACCEPTANCE OF THE PROJECT. NECESSARY REPAIRS SHALL BE MADE TO CORRECT UNDERMINING OR DETERIORATION. FINAL ACCEPTANCE SHALL INCLUDE A SITE INSPECTION TO VERIFY THE STABILITY OF ALL DISTURBED AREAS AND SLOPES. UNTIL FINAL INSPECTION, ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL IMMEDIATELY BE CLEANED, AND REPAIRED BY THE SITE CONTRACTOR AS REQUIRED. DISPOSAL OF ALL TEMPORARY EROSION CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR. CONTINUED TEMPORARY MAINTENANCE AND LONG TERM PROVISIONS FOR PERMANENT MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL FACILITIES AFTER ACCEPTANCE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF BOPO, LLC OR ASSIGNS.



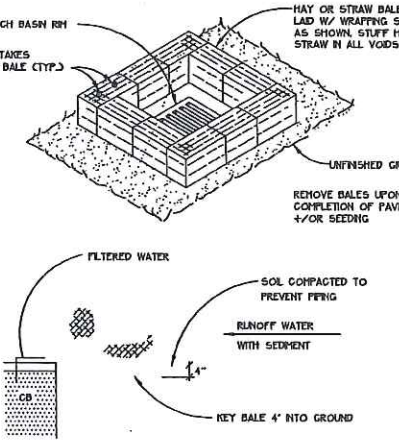
3 SILT FENCE NOT TO SCALE



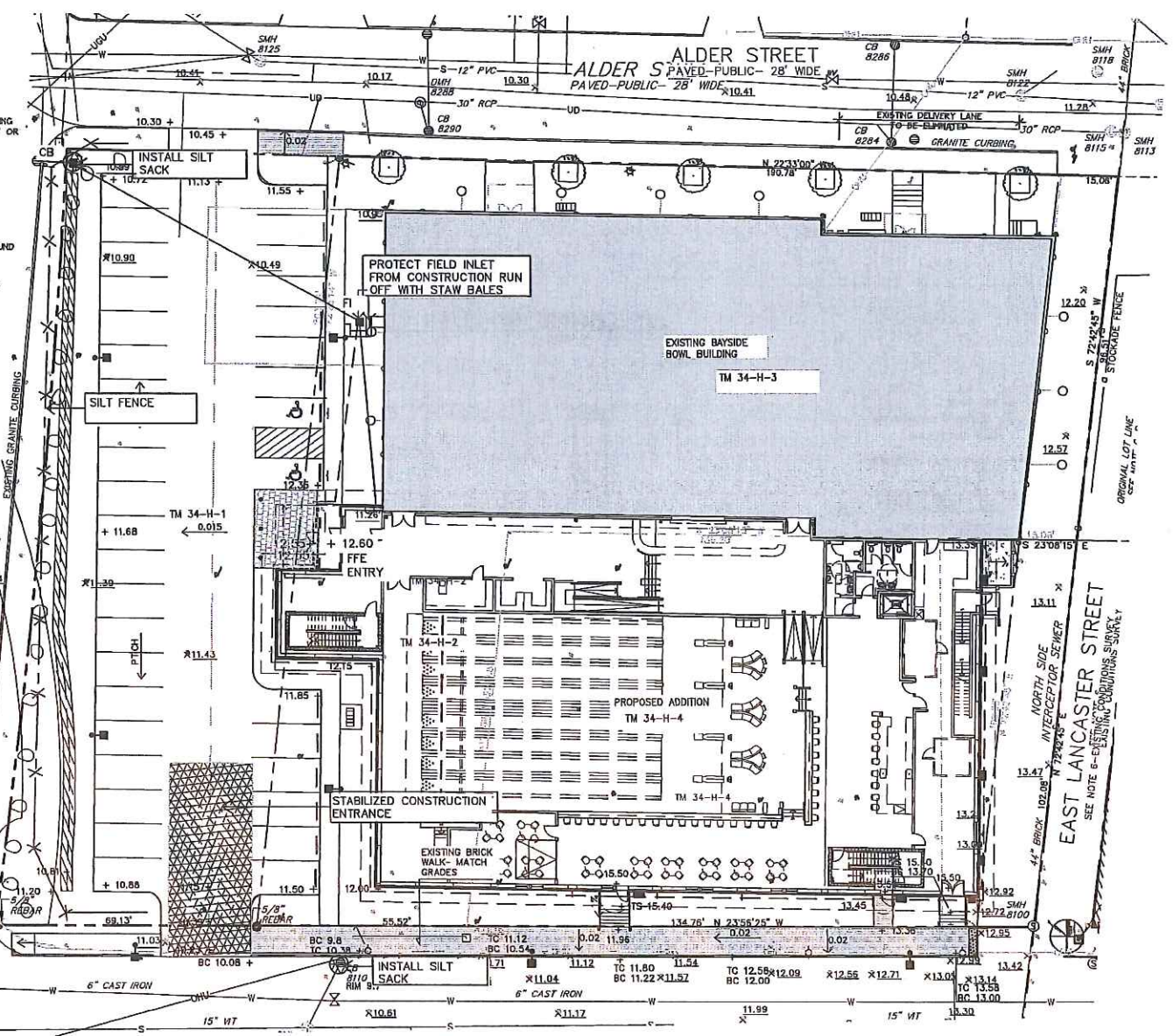
- CONSTRUCTION SPECIFICATIONS:
1. STONE SIZE: AASHTO DESIGNATION M 43, SIZE NO. 2 (2.5" TO 1.5"). USE CRUSHED STONE.
  2. LENGTH: AS EFFECTIVE BUT NOT LESS THAN 50 FEET.
  3. THICKNESS: NOT LESS THAN EIGHT (8) INCHES.
  4. WIDTH: NOT LESS THAN FULL WIDTH OF ALL POINT OF INGRESS OR EGRESS.
  5. WASHING: WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH THE USE OF SAND BAGS, GRAVEL BOARDS OR OTHER APPROVED METHODS.
  6. MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONES AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

4 STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE

2 INLET SEDIMENT CONTROL DEVICE NOT TO SCALE



2 STRAW BALE DROP INLET SEDIMENT FILTER NOT TO SCALE



*Stephen J. Bradstreet*

Plan 8

Prepared For:  
 Applicant:  
 BoPo, L.L.C.  
 58 Alder Street  
 Portland, Maine  
 Justin Alfond, Manager

Prepared By:  
 MITCHELL & ASSOCIATES  
 Landscape Architects  
 The Staples School  
 70 Center Street  
 Portland, Maine 04101  
 Tel: (207) 774-4427

BAYSIDE BOWL  
 Portland, Maine  
 58 Alder Street

Date: DECEMBER 18, 2015

Issued For: AMENDED SITE PLAN SUBMISSION

Revisions:

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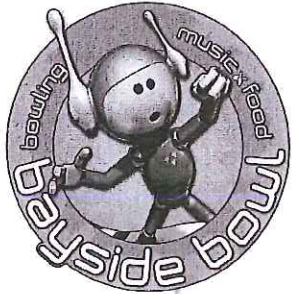
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Scale: 1"=20'

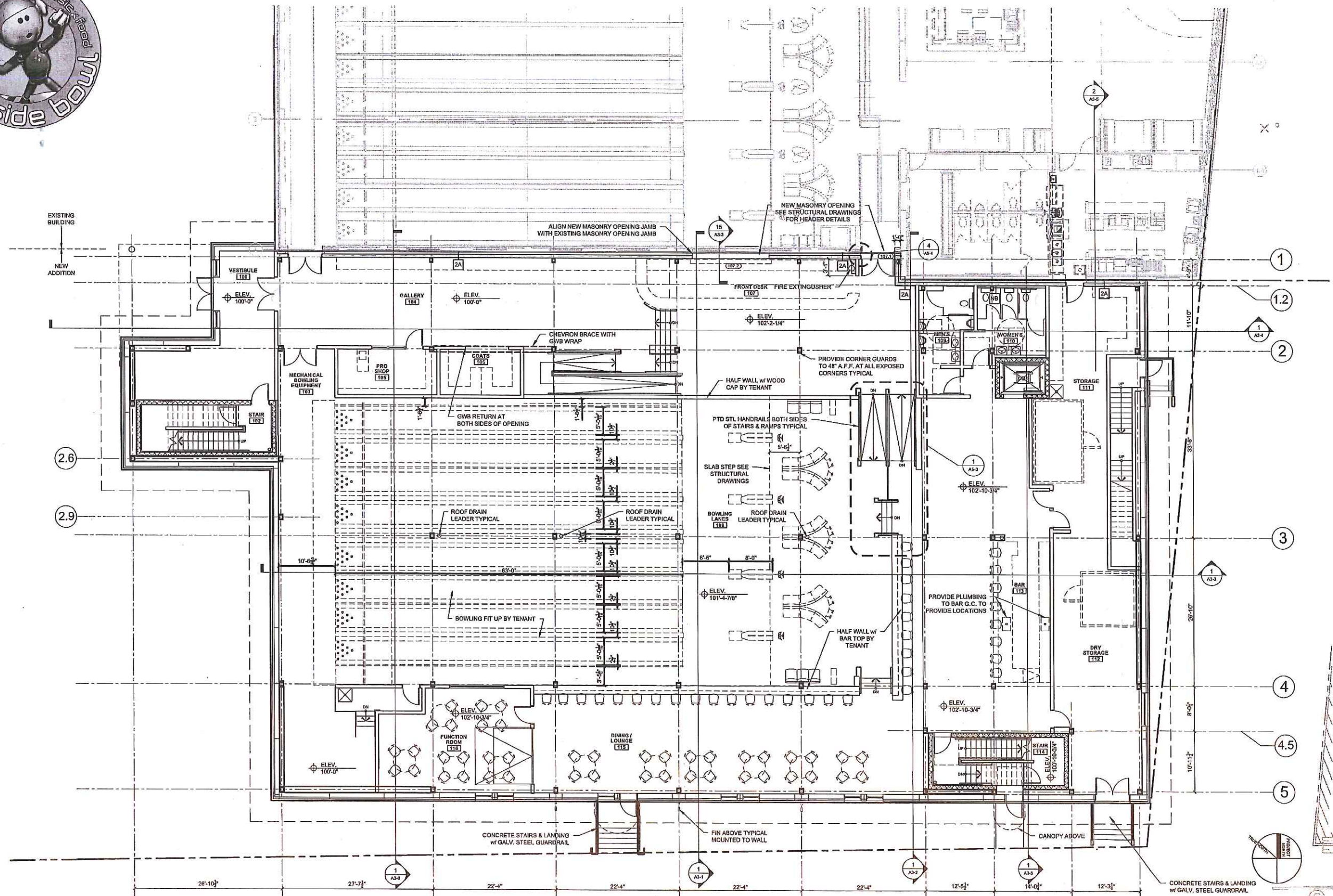
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Sheet No: 7





# PROPOSED ADDITION TO BAYSIDE BOWL

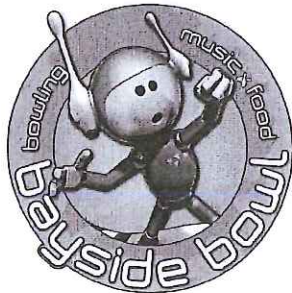


1 FIRST FLOOR PLAN  
1/8" = 1'-0"

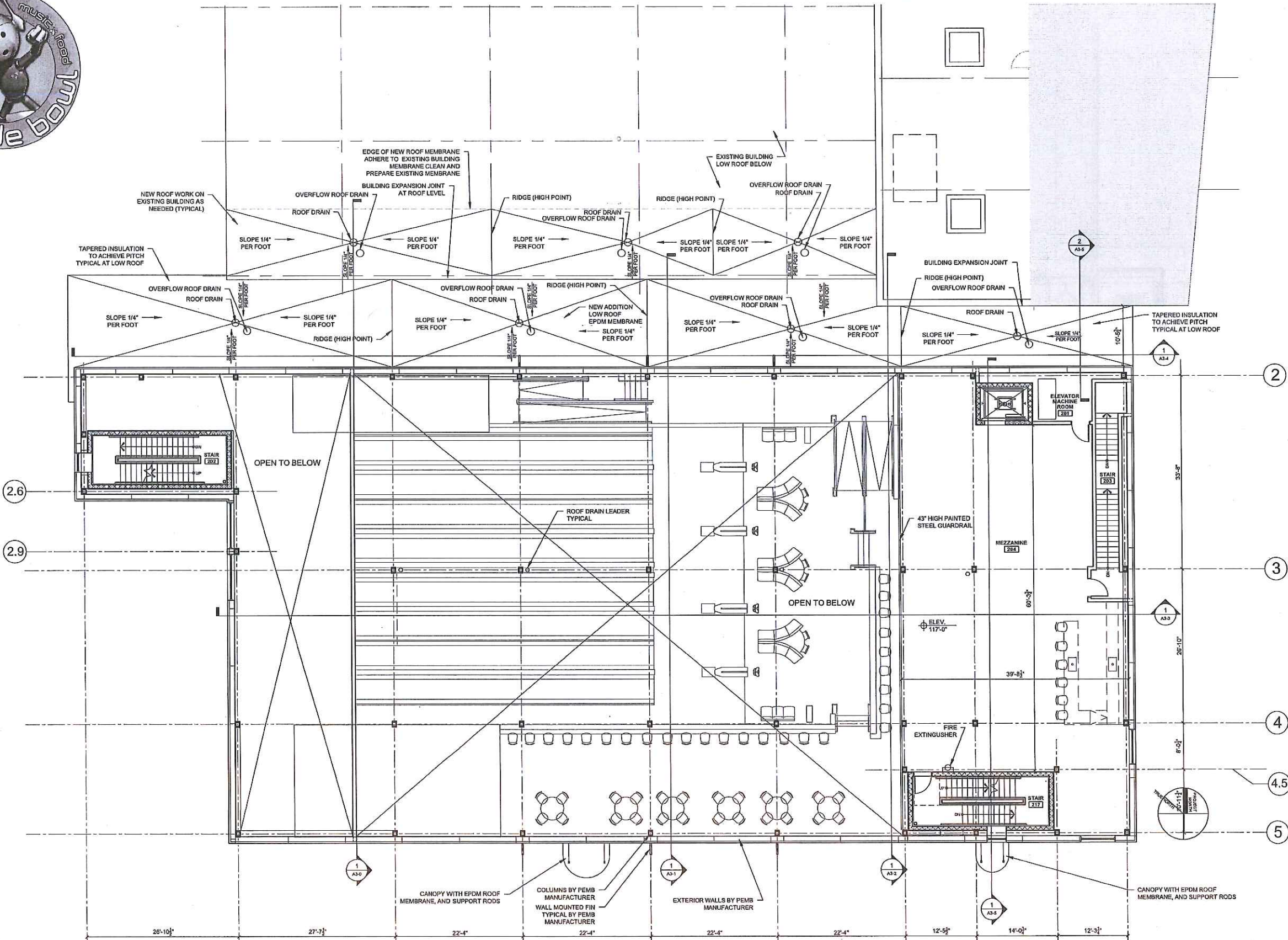
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Not for Construction







# PROPOSED ADDITION TO BAYSIDE BOWL

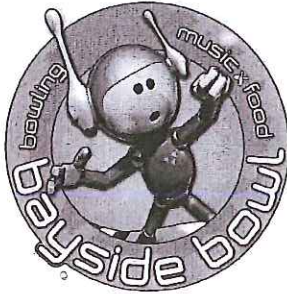


1 SECOND FLOOR PLAN  
1/8" = 1'-0"

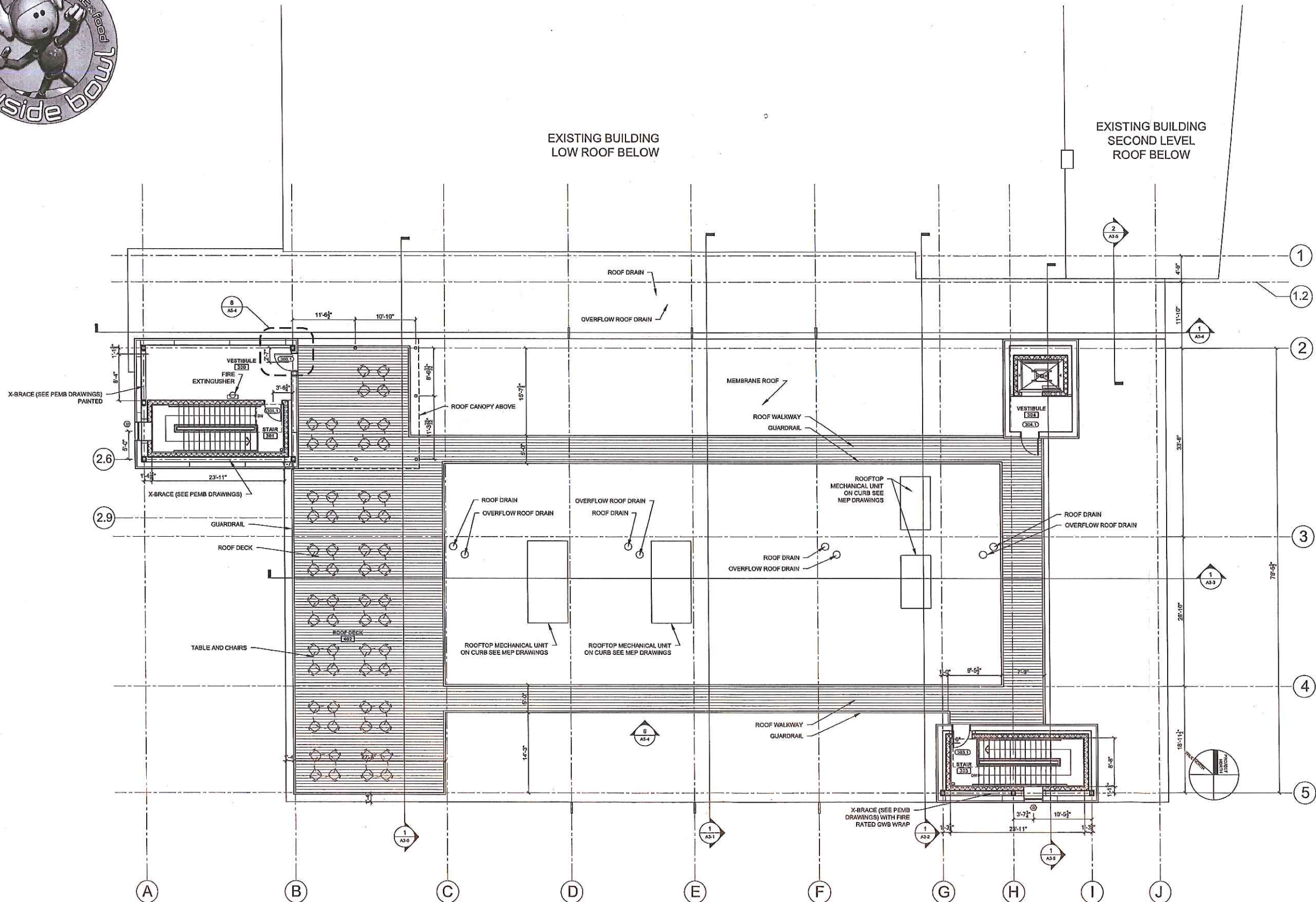
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Not for Construction







# PROPOSED ADDITION TO BAYSIDE BOWL

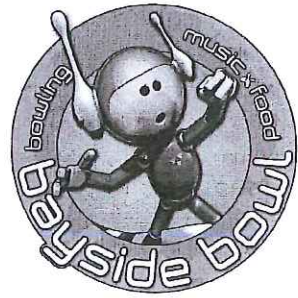


1 ROOF PLAN  
1/8" = 1'-0"

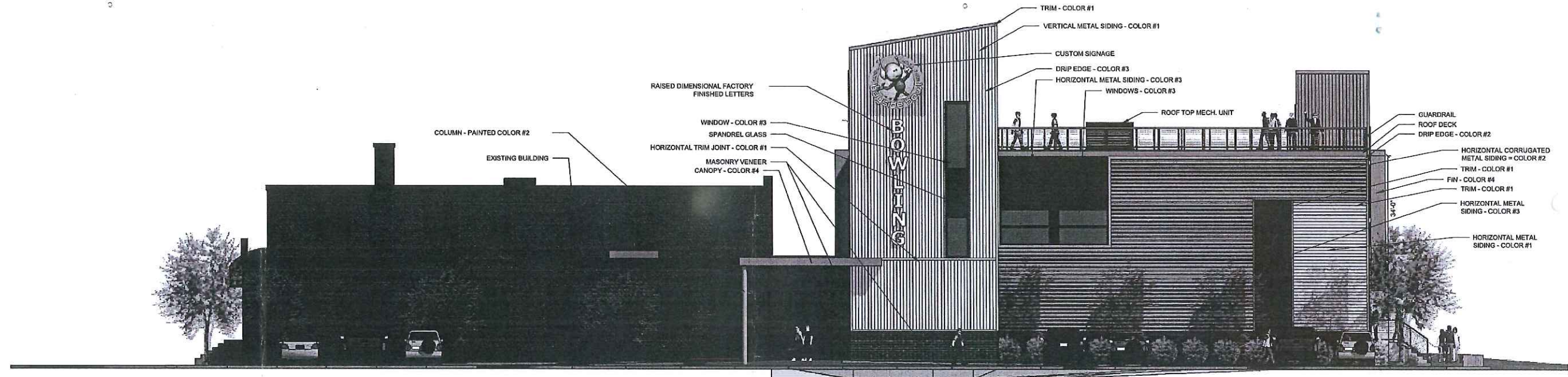
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Not for Construction







PROPOSED ADDITION TO BAYSIDE BOWL



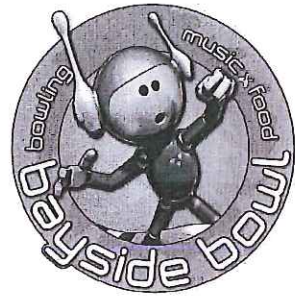
1 WEST ELEVATION  
3/8" = 1' = 0"

MATERIALS KEY			
ITEM	MANUF.	PROFILE	COLOR
HORIZONTAL METAL SIDING COLOR #1	CENTRIA	IW-20A, 20 GAUGE (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	SILVER SMITH #9946
HORIZONTAL METAL SIDING COLOR #3	CENTRIA	IW-20A, 20 GAUGE (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	RICH BLACK #9916
HORIZONTAL CORRUGATED METAL SIDING COLOR #2	CENTRIA	STYLE-RIB, 26 GAUGE (EXPOSED FASTENERS)	SLATE GRAY #181
FIN COLOR #4			CUSTOM ORANGE R:227, G:126, B:30
VERTICAL SIDING COLOR #1	CENTRIA	IW-20A, 20 GAUGE (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	SILVER SMITH #9946
WINDOWS AND WINDOW SCREEN COLOR #3			BLACK
BRICK VENEER	MORIN	ACADEMY SMOOTH NARROW FLASHED RANGE	RED

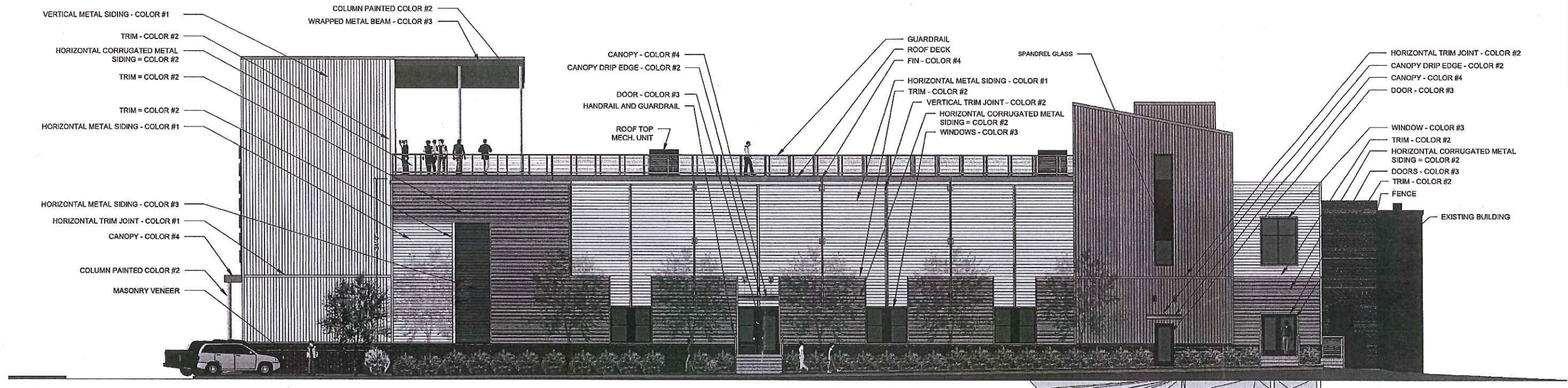
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# PROPOSED ADDITION TO BAYSIDE BOWL



1 SOUTH ELEVATION  
1/8" = 1'-0"

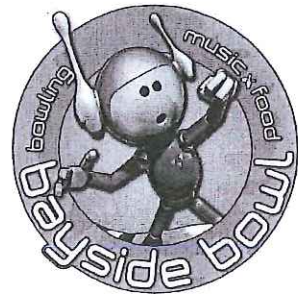
## MATERIALS KEY

ITEM	MANUF.	PROFILE	COLOR
HORIZONTAL METAL SIDING COLOR #1	CENTRIA	IW-20A, 20 GAUGE (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	SILVER SMITH #9946
HORIZONTAL METAL SIDING COLOR #3	CENTRIA	IW-20A, 20 GAUGE (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	RICH BLACK #9916
HORIZONTAL CORRUGATED METAL SIDING COLOR #2	CENTRIA	STYLE-RIB, 26 GAUGE (EXPOSED FASTENERS)	SLATE GRAY #181
FIN COLOR #4			CUSTOM ORANGE R:227, G:126, B:30
VERTICAL SIDING COLOR #1	CENTRIA	IW-20A, 20 GAUGE (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	SILVER SMITH #9946
WINDOWS AND WINDOW SCREEN COLOR #3			BLACK
BRICK VENEER	MORIN	ACADEMY SMOOTH NARROW FLASHED RANGE	RED

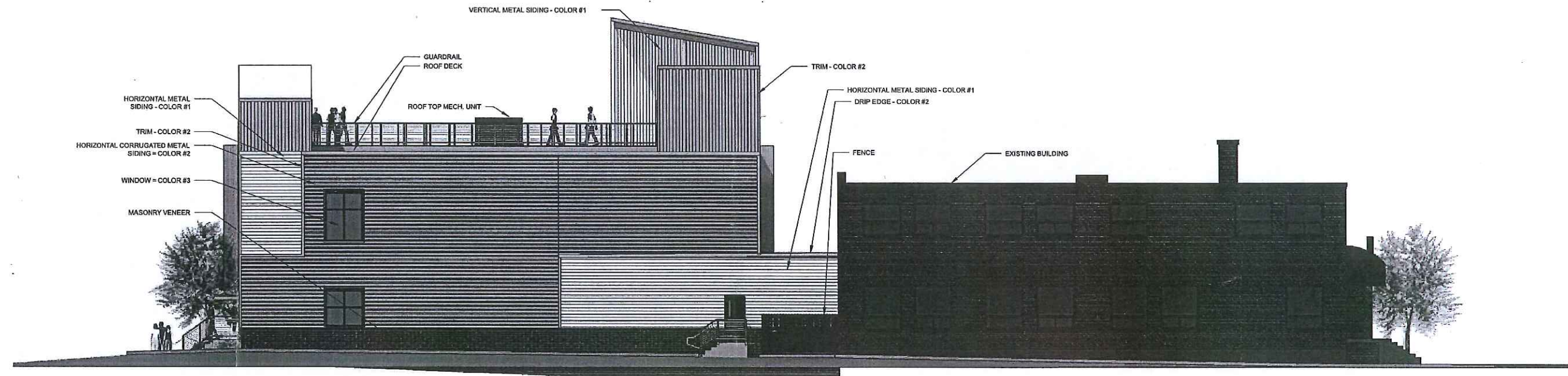
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Not for Construction







# PROPOSED ADDITION TO BAYSIDE BOWL



1 EAST ELEVATION  
1/8" = 1'-0"

MATERIALS KEY			
ITEM	MANUF.	PROFILE	COLOR
HORIZONTAL METAL SIDING COLOR #1	CENTRIA	IW-20A, 20 GAUGE (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	SILVER SMITH #9946
HORIZONTAL METAL SIDING COLOR #3	CENTRIA	IW-20A, 20 GAUGE (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	RICH BLACK #9916
HORIZONTAL CORRUGATED METAL SIDING COLOR #2	CENTRIA	STYLE-RIB, 26 GAUGE (EXPOSED FASTENERS)	SLATE GRAY #181
FIN COLOR #4			CUSTOM ORANGE R:227, G:126, B:30
VERTICAL SIDING COLOR #1	CENTRIA	IW-20A, 20 GAUGE (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	SILVER SMITH #9946
WINDOWS AND WINDOW SCREEN COLOR #3			BLACK
BRICK VENEER	MORIN	ACADEMY SMOOTH NARROW FLASHED RANGE	RED

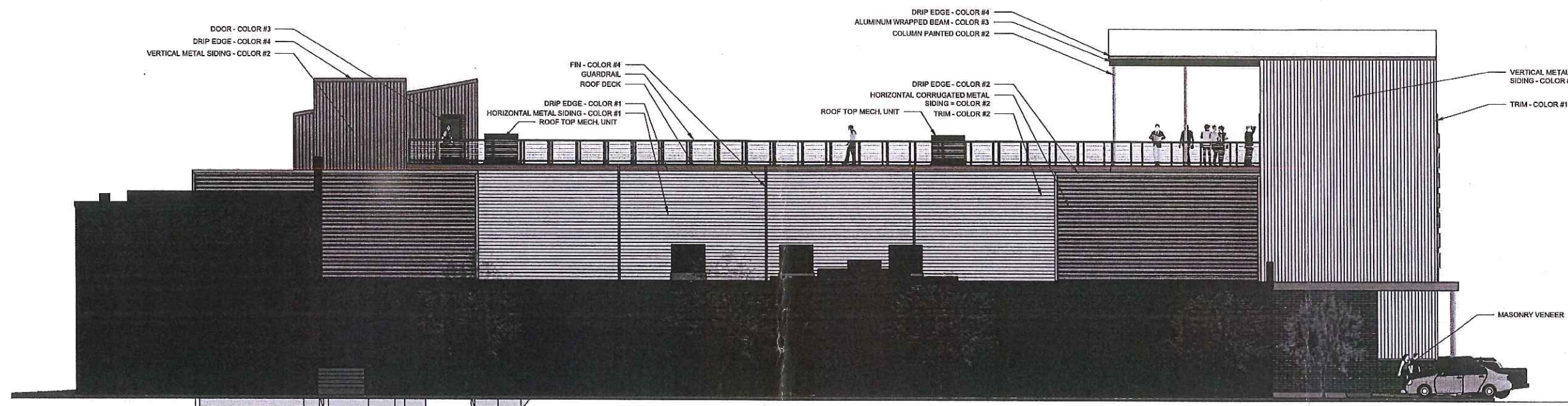
PROCESS PRINT ONLY  
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PROPOSED ADDITION TO BAYSIDE BOWL



1 NORTH ELEVATION  
1/8" = 1'-0"

MATERIALS KEY			
ITEM	MANUF.	PROFILE	COLOR
HORIZONTAL METAL SIDING COLOR #1	CENTRIA	IW-20A, 20 GUAGE (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	SILVER SMITH #9946
HORIZONTAL METAL SIDING COLOR #3	CENTRIA	IW-20A, 20 GUAGE (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	RICH BLACK #9916
HORIZONTAL CORRUGATED METAL SIDING COLOR #2	CENTRIA	STYLE-RIB, 26 GUAGE (EXPOSED FASTENERS)	SLATE GRAY #181
FIN COLOR #4			CUSTOM ORANGE R:227, G:126, B:30
VERTICAL SIDING COLOR #1	CENTRIA	IW-20A, 20 GUAGE (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	SILVER SMITH #9946
WINDOWS AND WINDOW SCREEN COLOR #3			BLACK
BRICK VENEER	MORIN	ACADEMY SMOOTH NARROW FLASHED RANGE	RED

PROGRESS PANT ONLY  
Not for Construction



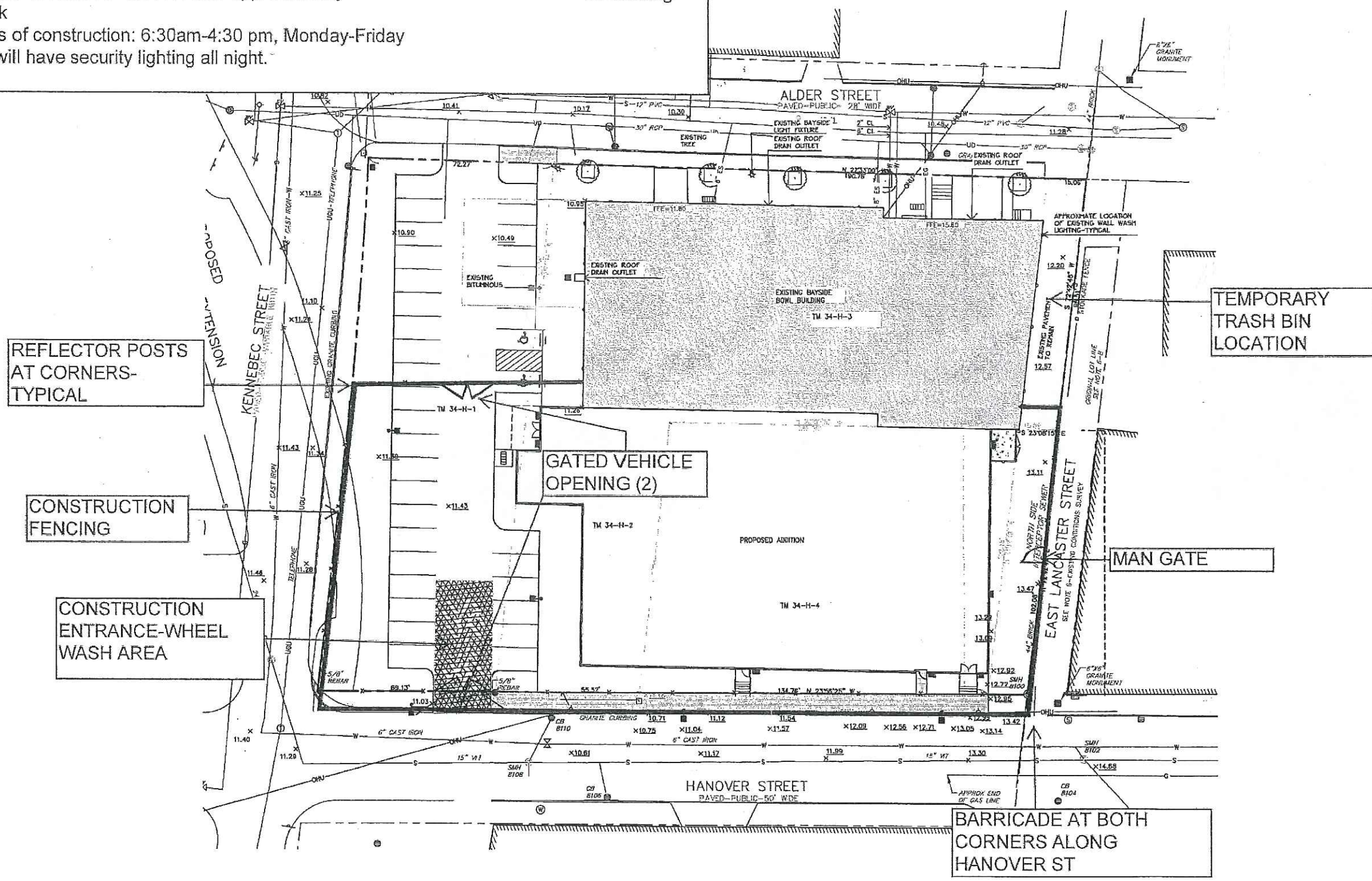


- NOTES:
1. All subcontractors will be responsible for their own parking. The owner and contractor are not providing off site parking for subcontractors. They will be encouraged to carpool and take vans from their main offices to the site. Otherwise, subcontractors will park in legal, City of Portland parking spots.
  2. NE side of Hanover inaccessible approximately 5 months - no existing sidewalk
  3. Hours of construction: 6:30am-4:30 pm, Monday-Friday
  4. Site will have security lighting all night.

Prepared For:  
 Applicant:  
 BoPo, L.L.C.  
 58 Alder Street  
 Portland, Maine  
 Justin Alford, Manager

Prepared By:  
 MITCHELL & ASSOCIATES  
 Landscape Architects  
 The Staples School  
 70 Center Street  
 Portland, Maine 04101  
 Tel: (807) 774-4427

BAYSIDE BOWL  
 Portland, Maine  
 58 Alder Street



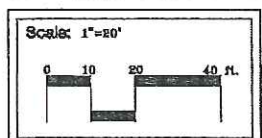
Date:  
 DECEMBER 18, 2015

Issued For:  
 AMENDED  
 SITE PLAN SUBMISSION

Revisions:

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Title:  
 CONSTRUCTION  
 MANAGEMENT PLAN



North:

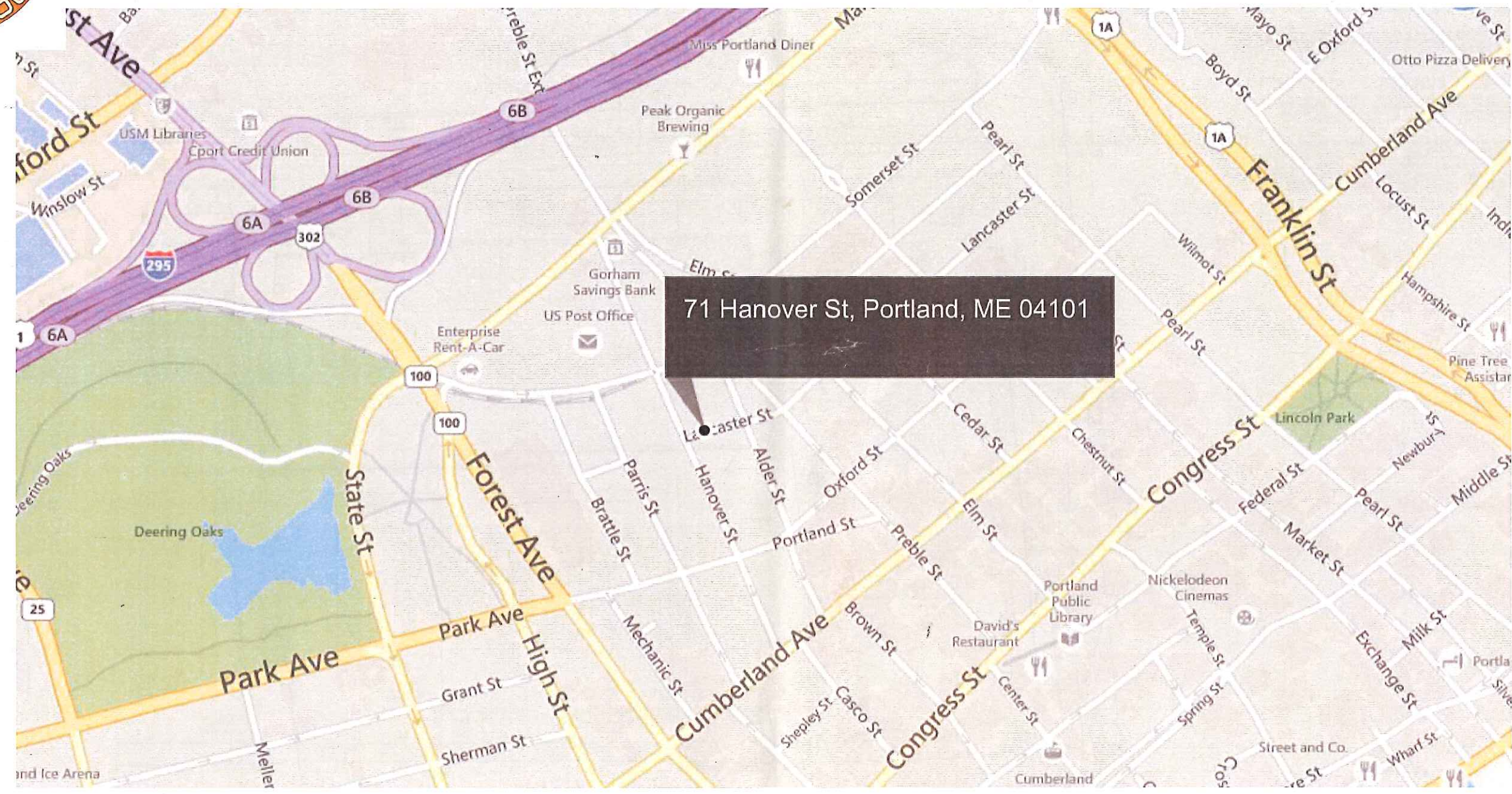
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# PROPOSED ADDITION TO BAYSIDE BOWL



PORTLAND  
COMMUNITY  
SQUASH



1 SITE LOCATION MAP  
NOT TO SCALE

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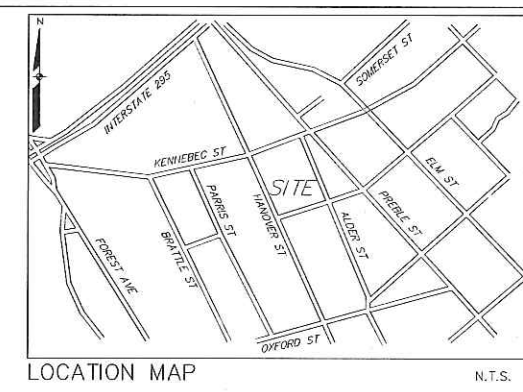


**GENERAL NOTES**

1. SITE AREA: 55,240 SF OR 1.27 ACRES
2. APPLICANT: BOPO, LLC/ JUSTIN ALFOND, MANAGER  
CONGRESS STREET  
PORTLAND, MAINE 04101
3. RECORD OWNERS: BOPO LLC, RECORDED JUNE 30, 2011  
C.G.R.D. BOOK 28797 PAGE 222  
TAX MAP 34, BLOCK H, LOTS 2 AND 3  
CITY OF PORTLAND, RECORDED APRIL 23, 1849  
C.G.R.D. BOOK 213 PAGE 449  
TAX MAP 34, BLOCK H, LOT 4  
BOPO LLC, RECORDED JUNE 30, 2011  
C.G.R.D. BOOK 28797 PAGE 224  
TAX MAP 34, BLOCK H, LOT 1  
CITY OF PORTLAND, RECORDED MARCH 14, 1917  
C.G.R.D. BOOK 988 PAGE 166  
TAX MAP 34, BLOCK H, LOT 5
4. THE SURVEYED PARCELS ARE SHOWN AS LOTS 1, 2, 3, 4 AND 5, BLOCK H, ON THE CITY OF PORTLAND'S ASSESSORS MAP 34.
5. BEARINGS ARE GRID NORTH PER PLAN REFERENCE XX. ELEVATIONS ARE CITY OF PORTLAND DATUM BASED ON TOP OF GRANITE MONUMENT ELEVATION 11.55 AS SHOWN ON PLAN REFERENCE XX.
6. THE PARCEL IS LOCATED, BY SCALING METHODS, WITHIN ZONE G (AREAS OF MINIMAL FLOODING) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF PORTLAND, MAINE COMMUNITY PANEL NO. 230051-0013-B WITH AN EFFECTIVE DATE OF JULY 17, 1986. THE FLOOD ELEVATION FOR THE A2 ZONE WHICH ENCOMPASSES BACK COVE HAS AN ELEVATION OF 10 NOV 1928.
7. UTILITIES SHOWN ARE BASED ON THE REFERENCED PLANS AND A FIELD SURVEY OF VISIBLE STRUCTURES PERFORMED IN FEBRUARY 2015. DURING THE FIELD SURVEY THERE WAS SHOWN IN EXCESS OF THREE FEET DEEP AND ASSOCIATED ICE THAT MADE VERIFICATION DIFFICULT. A SITE VISIT TO VERIFY UTILITIES IS RECOMMENDED ONCE SNOW COVER IS GONE.
8. THE FOLLOWING NOTES APPEAR IN THE "SURVEY REPORT FOR HANOVER STREET SALT SHED SITE" DATED JANUARY 7, 2002 BY WILLIAM G. SCOTT, P.L.S., CITY OF PORTLAND DEPT. W:
  - A. LANCASTER STREET EAST HAD BEEN DISCONTINUED AS A CITY STREET ON MAY 5, 1995. THE DISCONTINUANCE RESERVED THE CONTINUED USE OF THIS PROPERTY AS A SEWER EASEMENT FOR THE STILL-ACTIVE NORTH SIDE INTERCEPTING SEWER. HOWEVER, THE DISCONTINUANCE NOTICE MADE NO MENTION OF ALSO DISCONTINUING THE PUBLIC EASEMENT WITHIN THE STREET BOUNDARIES.
  - B. "THE CITY HAS A STOCKADE FENCE BUILT OUT TO THE APPROXIMATE CENTERLINE OF THE STREET WHICH FENCES IN A DUMPSTER AND MATERIALS STORAGE AREA. I BELIEVE THAT THE REVERSIONARY RIGHTS INVOLVED IN THE STREET DISCONTINUANCE IN MAY 1995 WOULD ESTABLISH THE PROPERTY LINE BACK IN ITS LOCATION PRIOR TO THE CREATION OF LANCASTER STREET. AS IS CLEARLY SHOWN ON THE 1913 PLAN OF LANCASTER STREET EXTENSION, THE FORMER PROPERTY LINE BETWEEN WHAT IS NOW FURMAN AND THE CITY, FRONTING ALONG ALDER STREET, DID NOT RUN ALONG WITH THE CENTERLINE OF THE PROPOSED STREET. IN FACT, MORE LAND WAS TAKEN FROM WHAT IS NOW FURMAN'S PARCEL THAN WAS TAKEN FROM WHAT IS NOW THE CITY'S."

**PLAN REFERENCES**

1. ALDER STREET RECONSTRUCTION PLAN AND PROFILE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT ENGINEERING SECTION DATED JUNE 1996.
2. STANDARD BOUNDARY SURVEY PROPOSED SALT SHED LOT HANOVER STREET CITY OF PORTLAND PUBLIC WORKS DEPARTMENT ENGINEERING SECTION DATED SEPTEMBER 2001.
3. LAND TITLE SURVEY ON KENNEBEC STREET, PORTLAND, MAINE PORTLAND TERMINAL COMPANY TO ROSS Y. FURMAN 58 ALDER ST., PORTLAND MAINE DATED JULY 27, 1994 BY OWEN HASKELL INC. AND RECORDED IN THE CLIMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 154 PAGE 292.
4. EXISTING CONDITIONS AND STANDARD BOUNDARY SURVEY ON KENNEBEC STREET, PORTLAND, MAINE FOR ROSS Y. FURMAN 58 ALDER STREET, PORTLAND, MAINE DATED APRIL 18, 1996 BY OWEN HASKELL INC.
5. BAYSIDE TRAIL, SOMERSET STREET EXTENSION ELM STREET TO KENNEBEC STREET DATED JULY 3, 2012 CITY OF PORTLAND, MAINE PUBLIC SERVICES DEPARTMENT ENGINEERING DIVISION
6. LANCASTER STREET EXTENSION FROM PREBLE ST. TO FOREST AVE. DATED FEB. 1913 ON FILE WITH THE CITY OF PORTLAND ENGINEERING DIVISION.
7. RIGHT OF WAY AND TRACK MAP PORTLAND TERMINAL OPERATED BY THE PORTLAND TERMINAL COMPANY STATION 52+80.0 TO STATION 105+60.0 JUNE 30, 1916 SHEET V1-C/2
8. CITY OF PORTLAND CITY PROPERTY REVALUATION SHEET G.



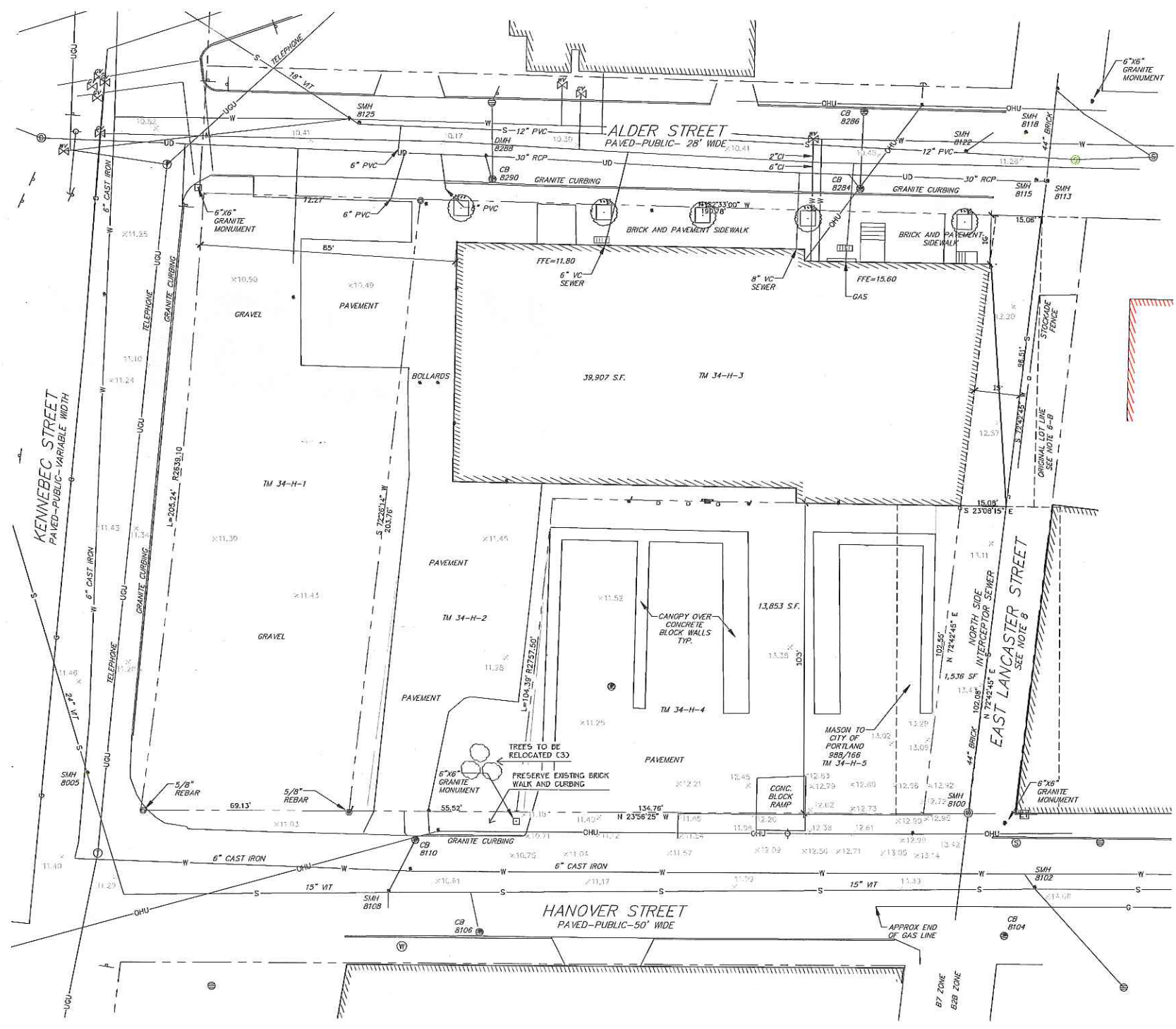
Prepared For:  
 Applicant: **Plan 2**  
 BoPo, L.L.C.  
 58 Alder Street  
 Portland, Maine  
 Justin Alfond, Manager

Prepared By:  
 MITCHELL & ASSOCIATES  
 Landscape Architects  
 The Staples School  
 70 Center Street  
 Portland, Maine 04101  
 Tel: (207) 774-4427

**BAYSIDE BOWL**  
 Portland, Maine  
 58 Alder Street

**LEGEND**

	EXISTING
PROPERTY LINE	
GRANITE MONUMENT	
IRON PIPE/ROD	
CATCHBASIN	
MANHOLE	
HYDRANT	
UTILITY POLE	
GATE VALVE	
SANITARY SEWER	
STORM DRAIN	
WATER	
TELEPHONE	
GAS	
OVER-HEAD WIRES	
CHP CABLE LINES	
CURB	
FENCE	
SIGN	
DECIDUOUS TREE	
CONTOUR	
SPOT ELEVATION	



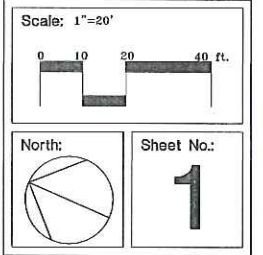
Date: MARCH 23, 2015

Issued For: SITE PLAN SUBMISSION

Revisions:

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Title: EXISTING CONDITIONS PLAN





**GENERAL NOTES**

- SITE AREA: 55,290 SF OR 127 ACRES
- APPLICANT: BOPO, L.L.C.  
58 ALDER STREET  
PORTLAND, MAINE 04101
- RECORD OWNERS: BOPO LLC, RECORDED JUNE 30, 2011  
C.C.R.D. BOOK 28747 PAGE 222  
TAX MAP 34, BLOCK H, LOTS 2 AND 3  
CITY OF PORTLAND, RECORDED APRIL 23, 1849  
C.C.R.D. BOOK 213 PAGE 449  
TAX MAP 34, BLOCK H, LOT 4  
BOPO LLC, RECORDED JUNE 30, 2011  
C.C.R.D. BOOK 28747 PAGE 224  
TAX MAP 34, BLOCK H, LOT 1  
CITY OF PORTLAND, RECORDED MARCH 14, 1917  
C.C.R.D. BOOK 988 PAGE 166  
TAX MAP 34, BLOCK H, LOT 5
- THE SURVEYED PARCELS ARE SHOWN AS LOTS 1, 2, 3, 4 AND 5, BLOCK H, ON THE CITY OF PORTLAND'S ASSESSORS MAP 34.
- THE PARCEL IS LOCATED, BY SCALING METHODS, WITHIN ZONE C (AREAS OF MINIMAL FLOODING) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF PORTLAND, MAINE COMMUNITY PANEL NO. 230051-0013-D WITH AN EFFECTIVE DATE OF JULY 17, 1986. THE FLOOD ELEVATION FOR THE A2 ZONE WHICH ENCOMPASSES BACK COVE HAS AN ELEVATION OF 10 NGVD 1929.
- UTILITIES SHOWN ARE BASED ON THE REFERENCED PLANS AND A FIELD SURVEY OF VISIBLE STRUCTURES PERFORMED IN FEBRUARY 2015. DURING THE FIELD SURVEY THERE WAS SHOW IN EXCESS OF THREE FEET DEEP AND ASSOCIATED ICE THAT MADE VERIFICATION DIFFICULT. A SITE VISIT TO VERIFY UTILITIES IS RECOMMENDED ONCE SNOW COVER IS GONE.
- THE FOLLOWING NOTES APPEAR IN THE "SURVEY REPORT FOR HANOVER STREET SALT SHED SITE" DATED JANUARY 7, 2002 BY WILLIAM G. SCOTT, P.L.S., CITY OF PORTLAND D.F.W.:
  - A. LANCASTER STREET EAST HAD BEEN DISCONTINUED AS A CITY STREET ON MAY 5, 1995. THE DISCONTINUANCE RESERVED THE CONTINUED USE OF THIS PROPERTY AS A SEWER EASEMENT FOR THE STILL-ACTIVE NORTH SIDE INTERCEPTING SEWER. HOWEVER, THE DISCONTINUANCE NOTICE MADE NO MENTION OF ALSO DISCONTINUING THE PUBLIC EASEMENT WITHIN THE STREET BOUNDARIES.
  - B. THE CITY HAS A STOCKADE FENCE BUILT OUT TO THE APPROXIMATE CENTERLINE OF THE STREET WHICH FENCES IN A DUMPSTER AND MATERIALS STORAGE AREA. I BELIEVE THAT THE REVERSIONARY RIGHTS INVOLVED IN THE STREET DISCONTINUANCE IN MAY 1995 WOULD ESTABLISH THE PROPERTY LINE BACK IN ITS LOCATION PRIOR TO THE CREATION OF LANCASTER STREET, AS IS CLEARLY SHOWN ON THE 1913 PLAN OF LANCASTER STREET EXTENSION. THE FORMER PROPERTY LINE BETWEEN WHAT IS NOW FURMAN AND THE CITY, FRONTING ALONG ALDER STREET, DID NOT RUN ALONG WITH THE CENTERLINE OF THE PROPOSED STREET. IN FACT, MORE LAND WAS TAKEN FROM WHAT IS NOW FURMAN'S PARCEL THAN WAS TAKEN FROM WHAT IS NOW THE CITY'S.
- ZONING DISTRICT: D-7 MIXED DEVELOPMENT DISTRICT ZONE
- SPACE AND BULK STANDARDS:
 

	REQUIRED	PROPOSED
MINIMUM LOT SIZE:	NONE	53,760 SF
MINIMUM FRONTAGE:	NONE	190 FEET
FRONT SETBACK:	NONE REQUIRED	EXISTING: 12.5-14.7 FEET
SIDE SETBACK:	NONE REQUIRED	0 FEET
REAR SETBACK:	NONE REQUIRED	10 FEET
MAXIMUM STREET SETBACK:	10 FEET	10 FEET (ADDITION)
MAXIMUM BUILDING LOT COVERAGE:	100 PERCENT	78 PERCENT
MAXIMUM BUILDING HEIGHT:	105 FEET	45 FEET
MINIMUM BUILDING HEIGHT:	3 FLOORS (45 FEET)	45 FEET
- BICYCLE PARKING:
 

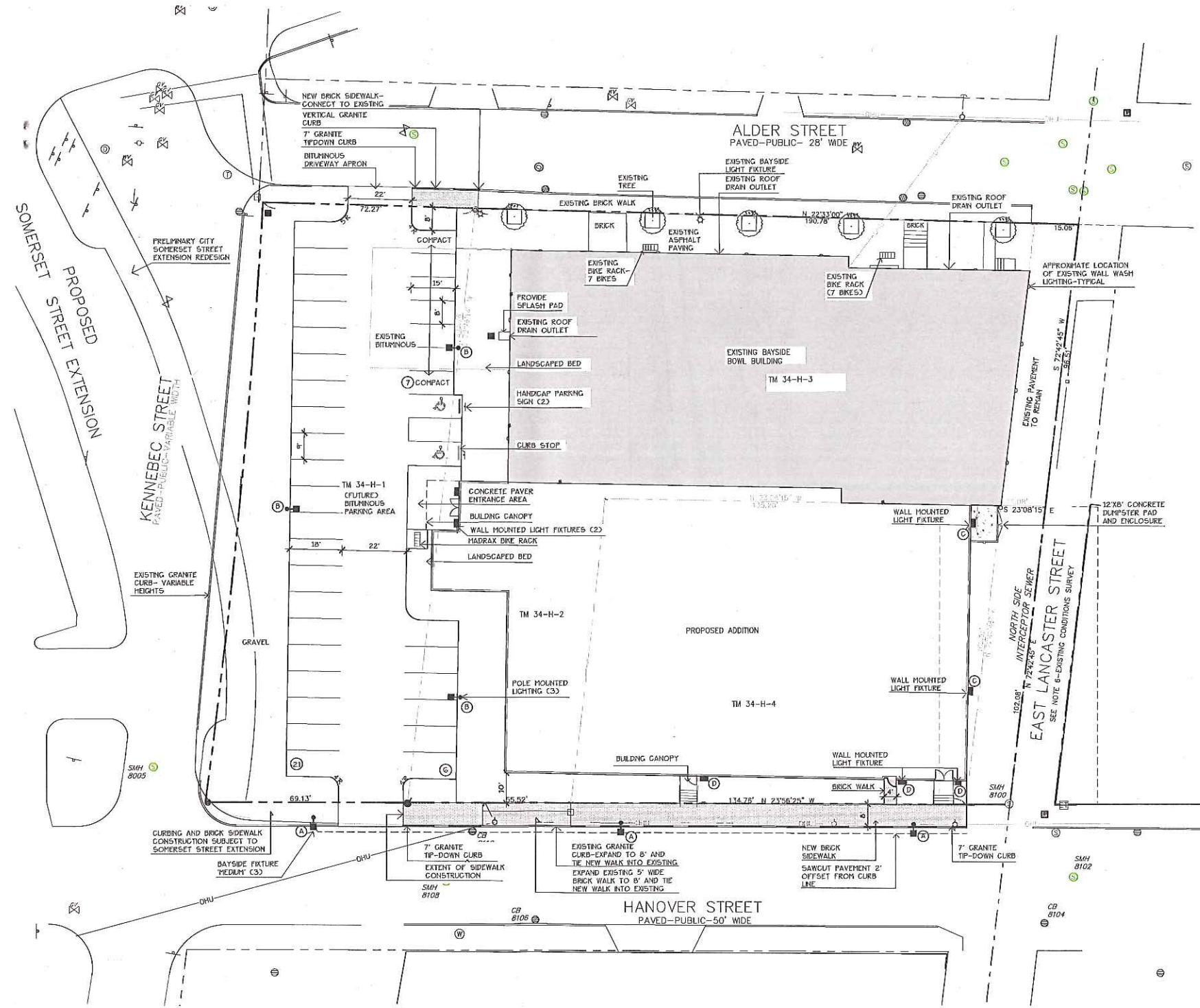
REQUIRED:	16 SPACES
EXISTING:	14 SPACES
PROPOSED:	21 SPACES

**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE	[Symbol]	[Symbol]
GRANITE MONUMENT	[Symbol]	[Symbol]
IRON PIN	[Symbol]	[Symbol]
CATCHBASIN	[Symbol]	[Symbol]
MANHOLE	[Symbol]	[Symbol]
HYDRANT	[Symbol]	[Symbol]
UTILITY POLE	[Symbol]	[Symbol]
WATER VALVE	[Symbol]	[Symbol]
SANITARY SEWER	[Symbol]	[Symbol]
STORM DRAIN	[Symbol]	[Symbol]
WATER	[Symbol]	[Symbol]
TELEPHONE	[Symbol]	[Symbol]
GAS	[Symbol]	[Symbol]
CURB	[Symbol]	[Symbol]
FENCE	[Symbol]	[Symbol]
SIGN	[Symbol]	[Symbol]
DECIDUOUS TREE	[Symbol]	[Symbol]
EVERGREEN TREE	[Symbol]	[Symbol]
PIPE DOLLARD	[Symbol]	[Symbol]
BIKE HITCH	[Symbol]	[Symbol]
ZONE LINE	[Symbol]	[Symbol]
WALL MOUNTED	[Symbol]	[Symbol]
LIGHT FIXTURE	[Symbol]	[Symbol]
SECURITY CAMERA	[Symbol]	[Symbol]
OVERHEAD WIRES	[Symbol]	[Symbol]
CMP CABLE LINES	[Symbol]	[Symbol]

**LIGHTING SCHEDULE**

KEY	QTY	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMP
(A)	3	HOLOPHANE	ESL 110 4K AS X	BAYSIDE DISTRICT FIXTURE 'MEDIUM' LED TEARDROP	110 W 100 LED ARRAY
(B)	3	BEACON	VP-9-30NB-9D-5K-T4-UNIV-MOB50-WB-BZ-PC	VIPER WITH PHOTOCELL	XX
(C)	2	HUBBELL	LNC2-18LU-5K-3-1-PC	LAREDO WALL PAC WITH PHOTOCELL	XX
(D)	5	HUBBELL	PGF1-P-PC-1	PGF1 5GCONCE	XX



Prepared For: **Plan 3**  
 Applicant:  
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 58 Alder Street  
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 Justin Alfond, Manager

Prepared By:  
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 Portland, Maine  
 58 Alder Street

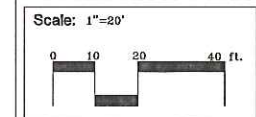
Date: MARCH 23, 2015

Issued For: SITE PLAN SUBMISSION

Revisions:

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Title: LAYOUT AND LIGHTING PLAN



North: [Compass rose]

Sheet No.: **2**





**GRADING AND DRAINAGE NOTES:**

- DO NOT SCALE THESE DRAWINGS. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES AND SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR DIRECTION AND RESOLUTION BEFORE ADDITIONAL WORK PROCEEDS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR DIRECTION AND RESOLUTION PRIOR TO ANY FURTHER WORK.
- CONTRACTOR SHALL FIELD VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANIES PRIOR TO EXCAVATION OF OR INSTALLATION OF ANY PART OF THIS WORK.
- CONTRACTOR SHALL AVOID ALL AREAS NOT REQUIRING GRADING. CONTRACTOR SHALL NOT DISTURB THESE AREAS.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL DIGSAFE (1-888-344-7233) AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.
- CONTRACTOR SHALL CONDUCT TEST PIT EXCAVATION TO CONFIRM LOCATION OF EXISTING UTILITIES WHERE NEW BUILDING SANITARY SERVICE AND WATER SERVICE ARE PROPOSED.
- WHERE STORM DRAINS OR SEWER MAINS HAVE LESS THAN FOUR (4) FEET OF COVER BETWEEN TOP OF PIPE AND FINISH GRADE, INSULATE PIPE USING TWO (2) INCH THICK STYROFOAM INSULATION BOARD OVER AND ALONG SIDES OF THE PIPE.
- EXISTING DRAINAGE MANHOLES SHALL BE CORED TO ACCEPT NEW DRAINAGE PIPES AS NOTED.
- PIPE LENGTH EQUALS THE CENTER TO CENTER DISTANCES BETWEEN CATCH BASINS AND/OR MANHOLES MINUS ONE-HALF OF THE DIAMETER OF EACH CATCH BASIN OR MANHOLE.
- ROOF DRAIN CONNECTIONS SHALL BE CONFIRMED WITH FINAL BUILDING PLANS.
- ALL UTILITIES SHALL BE INSTALLED IN CONFORMANCE WITH INDIVIDUAL UTILITY DISTRICT REQUIREMENTS. CONTRACTOR SHALL COORDINATE INSTALLATION WITH APPROPRIATE UTILITY DISTRICT BEFORE INSTALLATION.
- ALL WORK WITHIN THE ROAD RIGHT-OF-WAY AND ALL UTILITIES CONNECTING TO INFRASTRUCTURE WITHIN THE ROAD SHALL MEET CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.
- DISCONTINUED UTILITY SERVICES INCLUDING SANITARY SEWER SHALL BE PERMANENTLY GAPPED CONFORMING TO CITY OF PORTLAND STANDARDS. CONTRACTOR SHALL COORDINATE WITH PUBLIC SERVICES.
- UTILITIES SHOWN ARE BASED ON THE REFERENCED PLANS AND A FIELD SURVEY OF VISIBLE STRUCTURES PERFORMED IN FEBRUARY 2015. DURING THE FIELD SURVEY THERE WAS SNOW IN EXCESS OF THREE FEET DEEP AND ASSOCIATED ICE THAT MADE VERIFICATION DIFFICULT. A SITE VISIT TO VERIFY UTILITIES IS RECOMMENDED ONCE SNOW COVER IS GONE.
- BENCHMARK

Prepared For: **Plan 4**  
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Date: **MARCH 23, 2015**

Issued For:  
**SITE PLAN SUBMISSION**

Revisions:

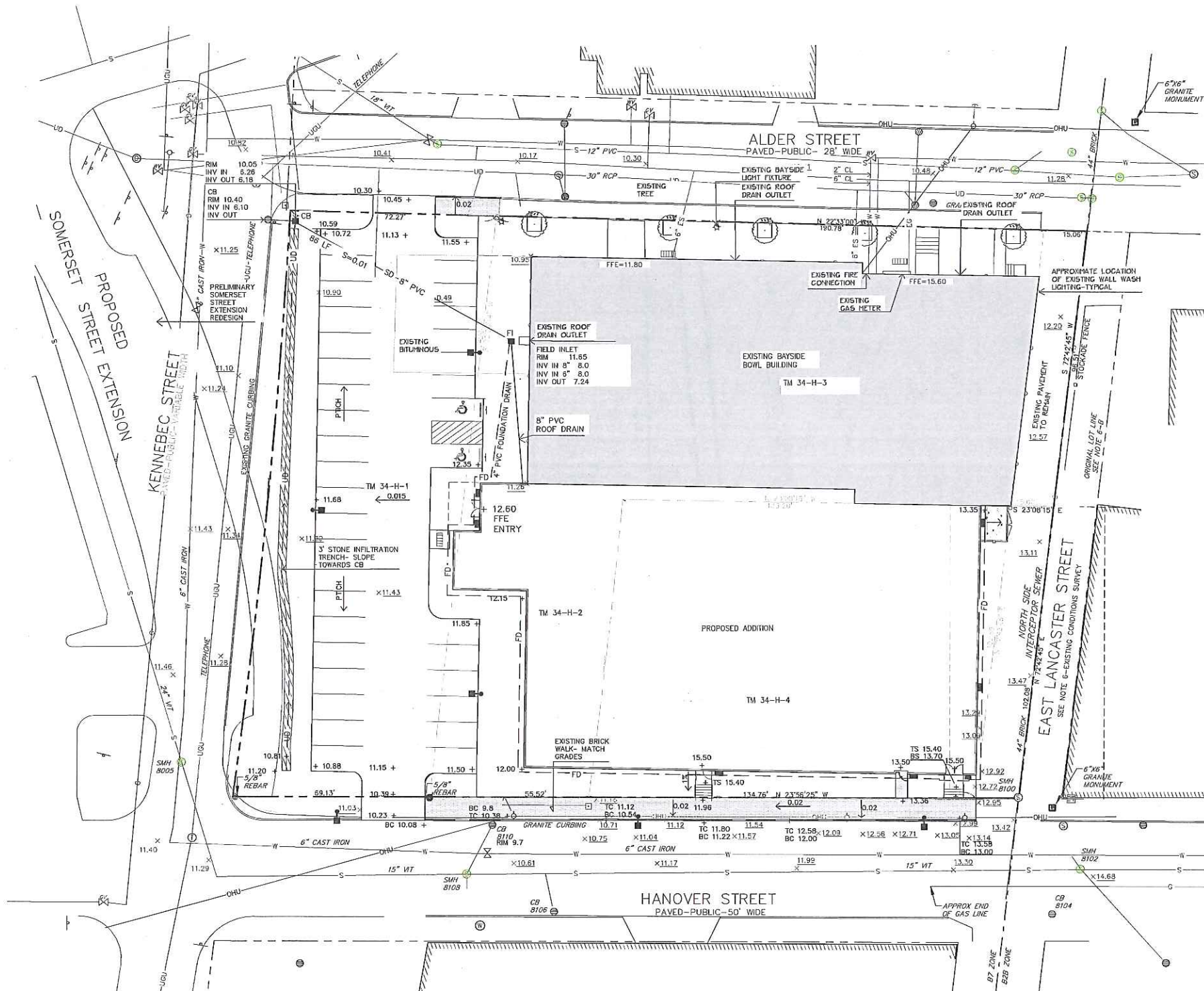
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Title:  
**GRADING AND DRAINAGE PLAN - SOMERSET EXTENSION**

Scale: 1"=20'

North:   
 Sheet No:  
**3**

STRUCTURES	EXISTING	PROPOSED
SMH 8108 RIM=10.6 8" VT INV IN=5.7 12" VT INV IN=4.5 12" VT INV OUT=4.4 SHELF=4.8		
CB 8110 RIM=9.7 8" VT INV IN=5.7 SUMP=4.0		
SMH 8102 RIM=14.3 15" CMP INV IN=6.9 18" VT INV IN=8.6 15" VT INV IN=6.2 15" VT INV OUT=6.1 SHELF=6.9		
SMH 8115 RIM=11.1 44" BRICK INV IN=4.0 44" BRICK INV IN=3.9 TOP WEIR=5.9 30" RCP INV OUT=3.2		
CB 8284 RIM=9.9 12" PVC INV IN=6.2 12" PVC INV OUT=5.0 SUMP=1.6		
CB 8290 RIM=9.5 8" PVC INV IN=5.4 12" PVC INV OUT=4.3 SUMP=1.7		
DMH 8288 RIM=9.8 30" RCP INV IN=1.7 12" PVC INV IN=3.8 30" RCP INV OUT=1.6 SHELF=3.9		
SMH 8125 RIM=10.1		
CB 8106 RIM=10.1		
CB 8104 RIM=13.4		
SMH 8005 RIM= 11.4		
SMH 8100 RIM=11.9		
SMH 8113 RIM=11.1		
SMH 8118 RIM=11.1		
SMH 8122 RIM=10.8		
CB 8286 RIM=9.8		
PROPERTY LINE		
GRANITE MONUMENT		
IRON PIN		
CATCHBASIN		
MANHOLE		
HYDRANT		
UTILITY POLE		
WATER VALVE		
SANITARY SEWER		
STORM DRAIN		
WATER		
TELEPHONE		
GAS		
CURB		
FENCE		
SIGN		
DECIDUOUS TREE		
EVERGREEN TREE		
PIPE DOLLARD		
BIKE HITCH		
SPOT GRADE		
WALL MOUNTED		
LIGHT FIXTURE		
SECURITY CAMERA		
OVERHEAD WIRES		
CMP CABLE LINES		





**GENERAL PLANTING NOTES**

- CALL DIG-SAFE (1-888-344-7233) PRIOR TO BEGINNING WORK. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES PAVING, WALKS, CURBING, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING.
- DO NOT SCALE FROM DRAWINGS. ANY OMISSIONS IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES AND SPECS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR FURTHER DIRECTION AND RESOLUTION BEFORE ANY ADDITIONAL WORK PROCEEDS.
- PROVIDE SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
- CONTRACTOR SHALL FURNISH AND PLACE 12 INCHES OF LOAM IN ALL SHRUB BEDS, 30 INCHES IN ALL TREE FITS, AND 6 INCHES UNDER ALL TURF AREAS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
- ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARDS FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN" LATEST EDITION.
- ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE FIT PREPARATION, PRUNING, STAKING OR GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM THE OWNER.
- ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- EXISTING TREES TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ALL SHRUB BEDS AND TREE FITS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BLACK MULCH (DO NOT EXCEED 3" DEPTH).
- ANY DEVIATION FROM THE LANDSCAPE PLAN INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY, OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
- WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
- DAMAGE TO EXISTING SITE IMPROVEMENTS DURING INSTALLATION OF LANDSCAPE MATERIAL SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- ALL WORK WITHIN THE ROAD RIGHT-OF-WAY AND ALL UTILITIES CONNECTING TO INFRASTRUCTURE WITHIN THE ROAD SHALL MEET CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.

**PLANT LIST**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
<b>TREES</b>				
A. RUB	5	ACER RUBRUM 'KARPICK'	KARPICK MAPLE	2" CAL
A. FSE	4	ACER PSEUDOSPICATUM	KOREAN MAPLE	#7
F. FEN	1	FRAXINUS PENNSYLVANICA	SUMMIT GREEN ASH	2" CAL
Q. RUB	6	QUERCUS CRUMSCHMIDT	CRIMSON SPICE OAK	2" CAL
T. CUS	1	TAXUS CUSPIDATA 'CAPitata'	UPRIGHT JAPANESE YEW	4'-5" HT.
<b>SHRUBS</b>				
C. ALN	5	CLETHRA ALNFOLIA 'RUBY SPICE'	RUBY SPICE SUMMERSWEET	#3
C. SAF	7	CORNUS SERICEA 'ARCTIC FIRE'	RED TWIG DOGWOOD	#3
M. GAL	15	MYRICA GALE	SWEET GALE	#3

**NOTES:**

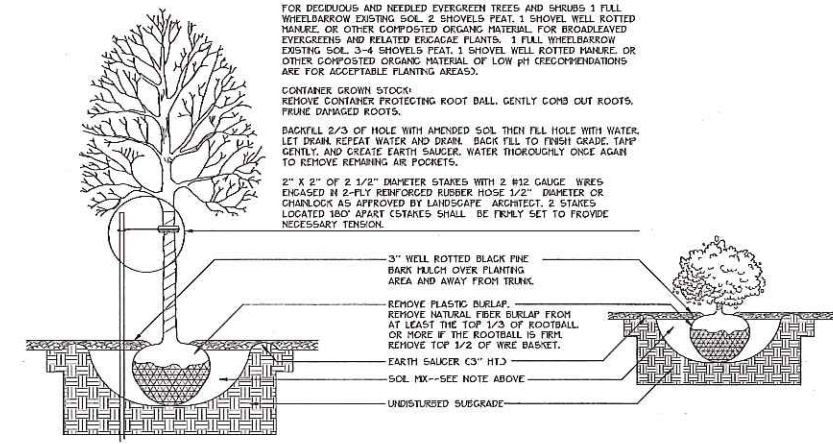
DIG HOLE AT LEAST 2 TIMES THE WIDTH OF ROOT BALL AND AS DEEP AS THE ROOT BALL (AND DEEPER). SET ROOT BALL CENTERED WITH TOP AT GROUND LEVEL OR SLIGHTLY HIGHER. CORRECT HOLE DEPTH AS NEEDED.

FOR DECIDUOUS AND NEEDED EVERGREEN TREES AND SHRUBS 1 FULL WHEELBARROW EXISTING SOIL, 2 SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE, OR OTHER COMPOSTED ORGANIC MATERIAL FOR BROADLEAVED EVERGREENS AND RELATED ERICACEAE PLANTS. 1 FULL WHEELBARROW EXISTING SOIL, 3-4 SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE, OR OTHER COMPOSTED ORGANIC MATERIAL OF LOW pH (RECOMMENDATIONS ARE FOR ACCEPTABLE PLANTING AREAS).

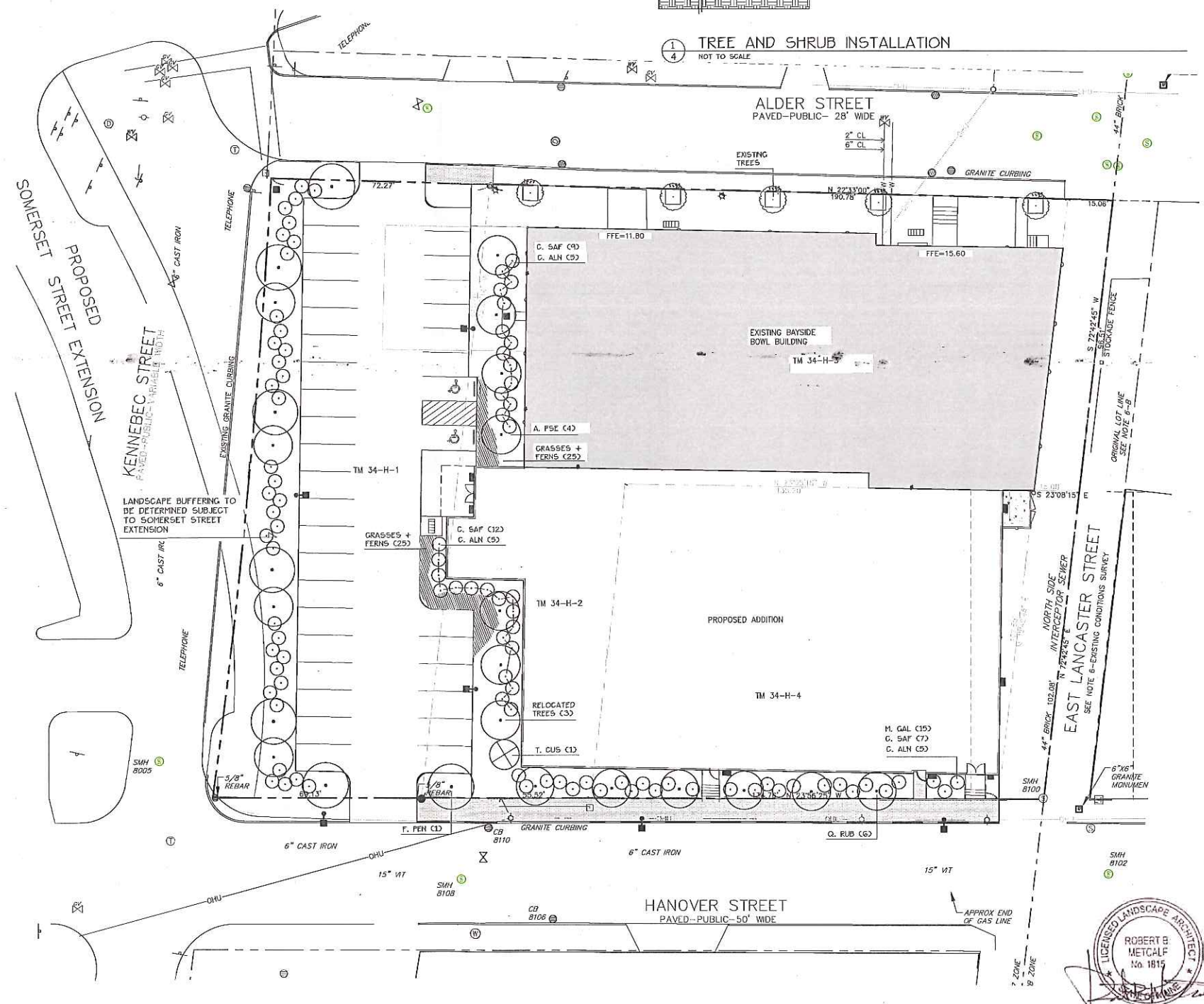
CONTAINER GROWN STOCK: REMOVE CONTAINER PROTECTING ROOT BALL, GENTLY COMB OUT ROOTS, PRUNE DAMAGED ROOTS.

BACKFILL 2/3 OF HOLE WITH AMENDED SOIL THEN FILL HOLE WITH WATER. LET DRAIN REPEAT WATER AND DRAIN BACK FILL TO FINISH GRADE. TAMP GENTLY, AND CREATE EARTH SAUCER. WATER THOROUGHLY ONCE AGAIN TO REMOVE REMAINING AIR POCKETS.

2" X 2" OF 2 1/2" DIAMETER STAKES WITH 2 #12 GAUGE WIRE ENDED IN 2-PLY REINFORCED RUBBER HOSE 1/2" DIAMETER OR CHAINLOCK AS APPROVED BY LANDSCAPE ARCHITECT. 2 STAKES LOCATED 180° APART (STAKES SHALL BE TIGHTLY SET TO PROVIDE NECESSARY TENSION).



**TREE AND SHRUB INSTALLATION**



**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE	[Symbol]	[Symbol]
GRANITE MONUMENT	[Symbol]	[Symbol]
IRON PIN	[Symbol]	[Symbol]
CATCHBASIN	[Symbol]	[Symbol]
MANHOLE	[Symbol]	[Symbol]
HYDRANT	[Symbol]	[Symbol]
UTILITY POLE	[Symbol]	[Symbol]
WATER VALVE	[Symbol]	[Symbol]
CURB	[Symbol]	[Symbol]
FENCE	[Symbol]	[Symbol]
SIGN	[Symbol]	[Symbol]
DECIDUOUS TREE	[Symbol]	[Symbol]
EVERGREEN TREE	[Symbol]	[Symbol]
PIPE DOLLARD	[Symbol]	[Symbol]
BIKE HITCH	[Symbol]	[Symbol]
ZONE LINE	[Symbol]	[Symbol]
WALL MOUNTED	[Symbol]	[Symbol]
LIGHT FIXTURE	[Symbol]	[Symbol]
SECURITY CAMERA	[Symbol]	[Symbol]
OVERHEAD WIRES	[Symbol]	[Symbol]
OMP CABLE LINES	[Symbol]	[Symbol]

Prepared For:  
 Applicant: **Plan 5**  
 BoPo, L.L.C.  
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 Justin Alford, Manager

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 Portland, Maine  
 58 Alder Street

Date: **MARCH 23, 2015**

Issued For:  
**SITE PLAN SUBMISSION**

Revisions:

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Title:  
**PLANTING PLAN**

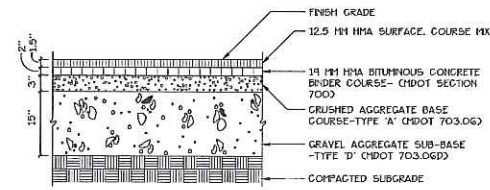
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North:

Sheet No.: **4**



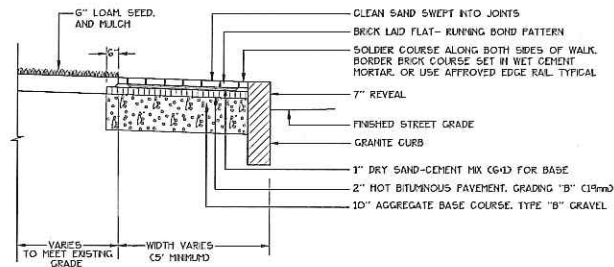




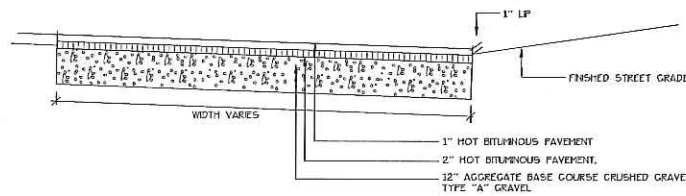
1 BITUMINOUS PAVEMENT- PARKING LOT  
NOT TO SCALE

NOTE: BRICK SIDEWALKS IN CITY OF PORTLAND RIGHT-OF-WAY SHALL BE THE HALL PATHWAY PAVEMENT, 4X8, LAGNANCE ITEM #193623

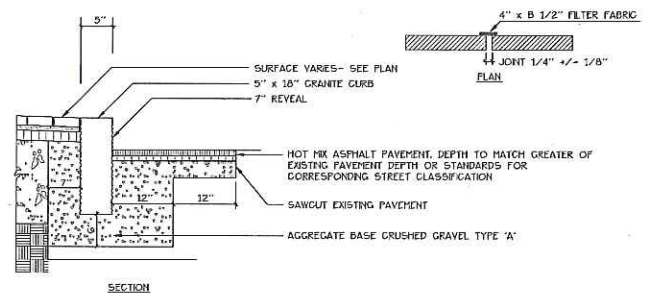
NOTE: SLOPE 0.02 TYPICAL TOWARD CURB.



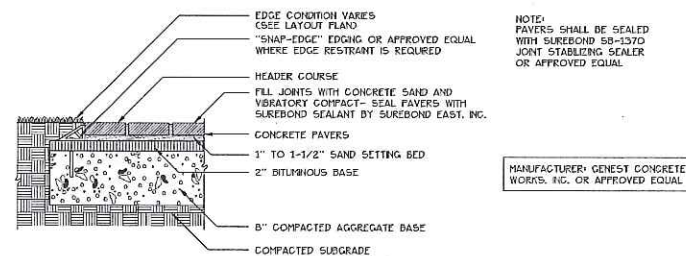
2 BRICK SIDEWALK WITH BITUMINOUS BASE AND GRANITE CURB  
NOT TO SCALE



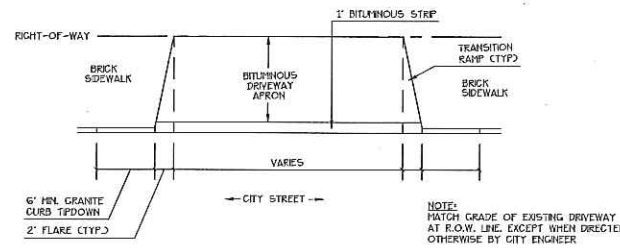
3 BITUMINOUS DRIVEWAY APRON  
NOT TO SCALE



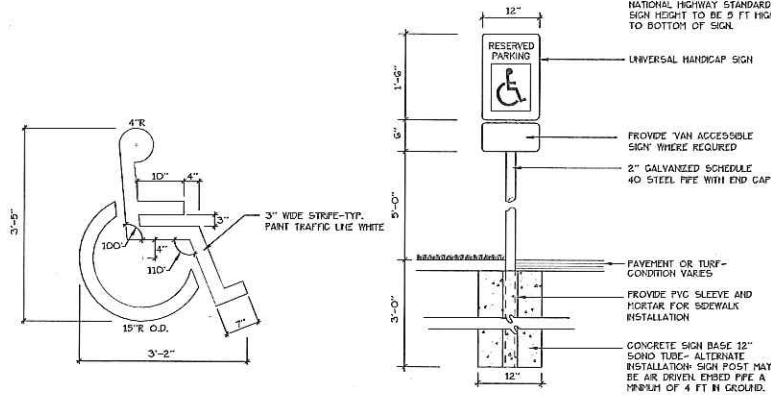
4 VERTICAL GRANITE CURB  
NOT TO SCALE



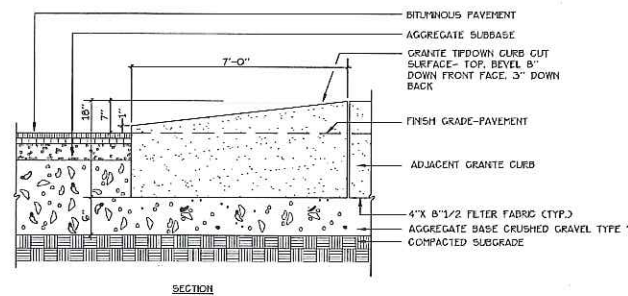
5 CONCRETE PAVERS  
NOT TO SCALE



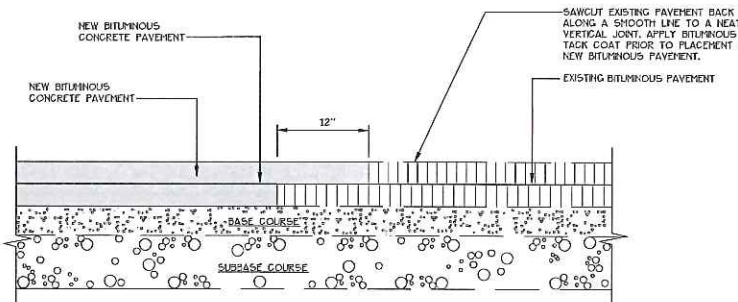
10 DRIVEWAY APRON LAYOUT  
NOT TO SCALE



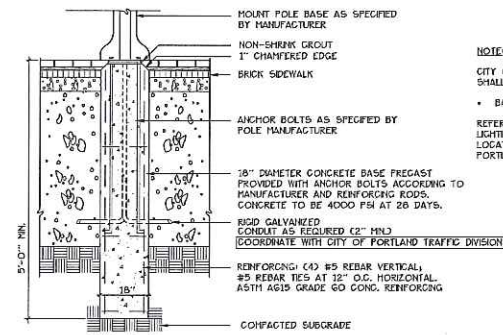
7 ACCESSIBLE SPACE MARKINGS + SIGNAGE  
NOT TO SCALE



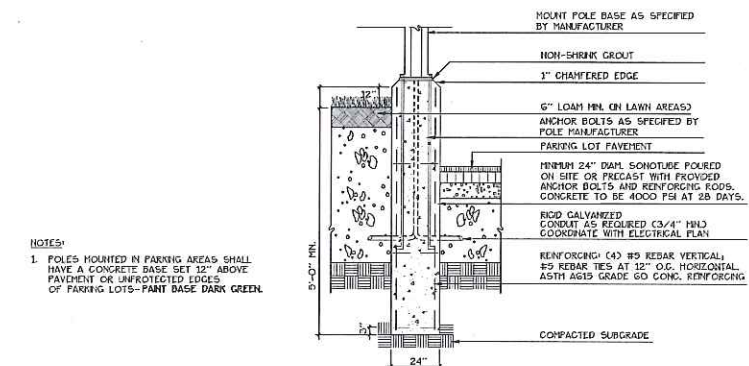
8 GRANITE TIP-DOWN CURB  
NOT TO SCALE



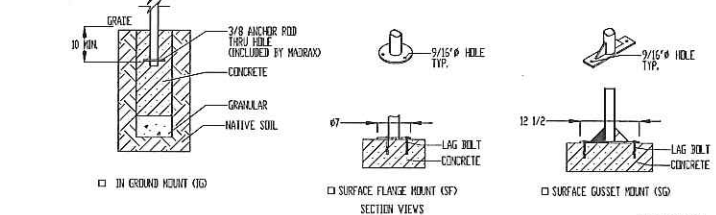
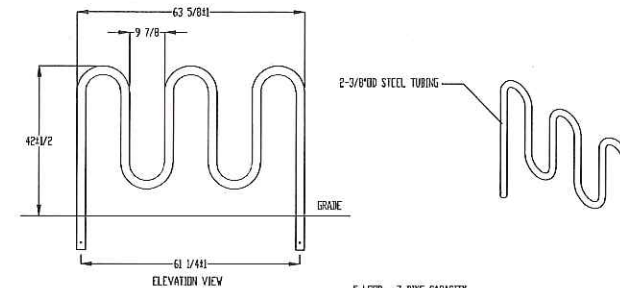
9 PAVEMENT SAWCUT DETAIL  
NOT TO SCALE



11 BAYSIDE FIXTURE LIGHT POLE BASE  
NOT TO SCALE



12 LIGHT POLE BASE  
NOT TO SCALE



13 BIKE RACK  
NOT TO SCALE

PRODUCT: HV238-7-1025 SD  
DESCRIPTION: HEAVY DUTY WIDENR BIKE RACK  
7 3/8\"/>

NOTE: 1. INSTALL ENT RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.  
2. CONSULTANT TO SELECT DELIVERIES. SEE MANUFACTURER'S SPECIFICATIONS.  
3. SEE SITE PLAN FOR LOCATION OR CONGRIT BAYER.

Prepared For:  
Applicant: **Plan 6**  
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58 Alder Street  
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Justin Alfond, Manager

Prepared By:  
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BAYSIDE BOWL

Portland, Maine

58 Alder Street

Date: MARCH 23, 2015

Issued For: SITE PLAN SUBMISSION

Revisions:

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Title: SITE DETAILS

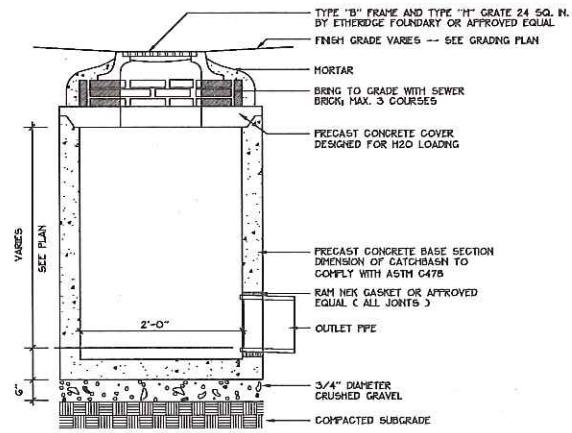
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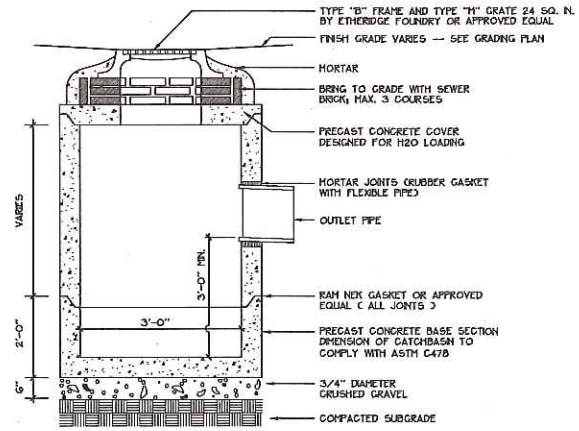
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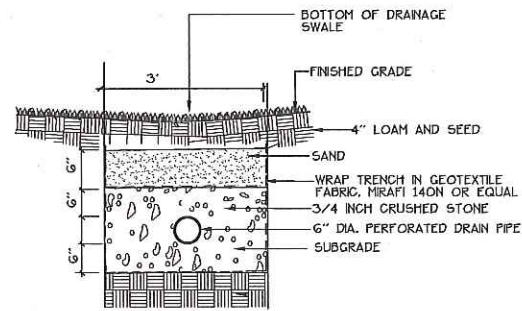




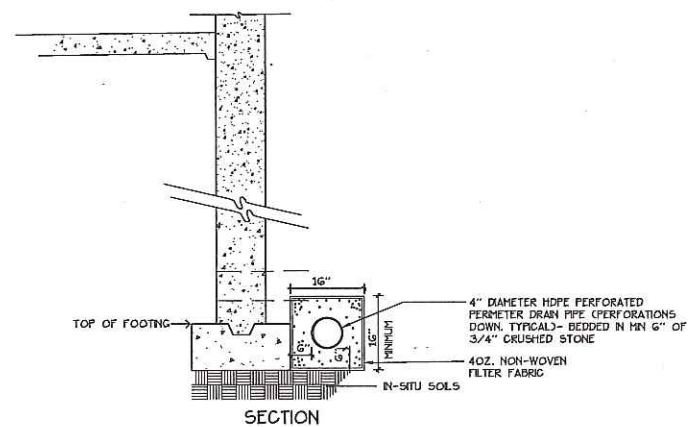
1  
6 PRECAST CONCRETE FIELD INLET  
NOT TO SCALE



4  
6 PRECAST CONCRETE CATCHBASIN  
NOT TO SCALE



2  
6 STONE INFILTRATION TRENCH  
NOT TO SCALE



3  
6 PERIMETER FOUNDATION UNDERDRAIN  
NOT TO SCALE

Prepared For: **Plan 7**  
 Applicant:  
 BoPo, L.L.C.  
 58 Alder Street  
 Portland, Maine  
 Justin Alfond, Manager

Prepared By:  
 MITCHELL & ASSOCIATES  
 Landscape Architects  
 The Staples School  
 70 Center Street  
 Portland, Maine 04101  
 Tel: (207) 774-4427

**BAYSIDE BOWL**  
 Portland, Maine  
 58 Alder Street

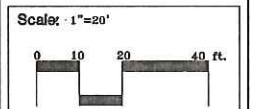
Date: MARCH 23, 2015

Issued For: SITE PLAN SUBMISSION

Revisions:

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Title: SITE DETAILS



North:

Sheet No: **6**

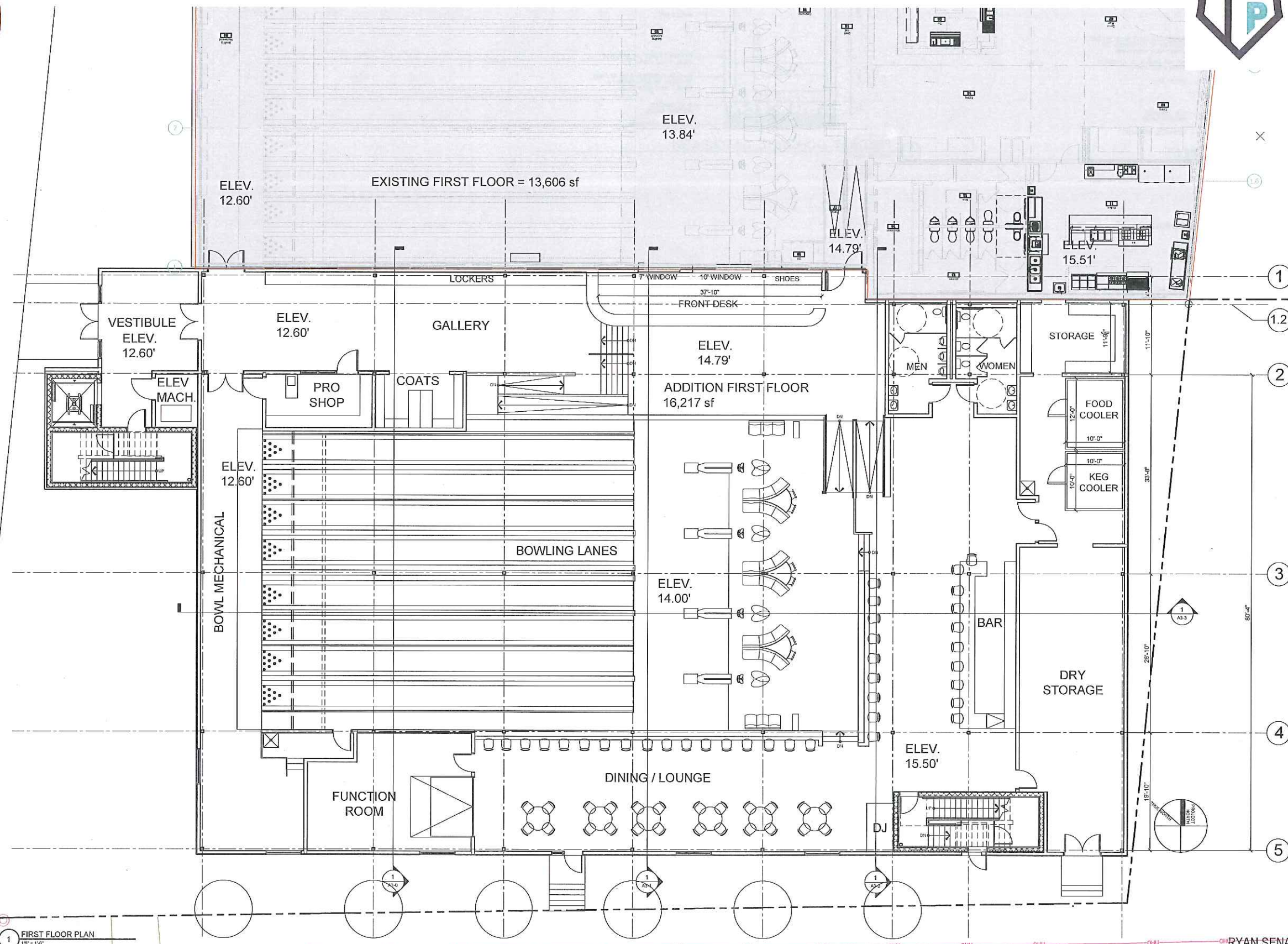




# PROPOSED ADDITION TO BAYSIDE BOWL



PORTLAND  
COMMUNITY  
SQUASH



PORTLAND BUILDERS INC

1 FIRST FLOOR PLAN 1/8" = 1'-0"

PROGRESS PRINT ONLY  
Not for Construction

Mitchell & Associates  
LANDSCAPE ARCHITECTS

RYAN SENATORE ARCHITECTURE





# PROPOSED ADDITION TO BAYSIDE BOWL

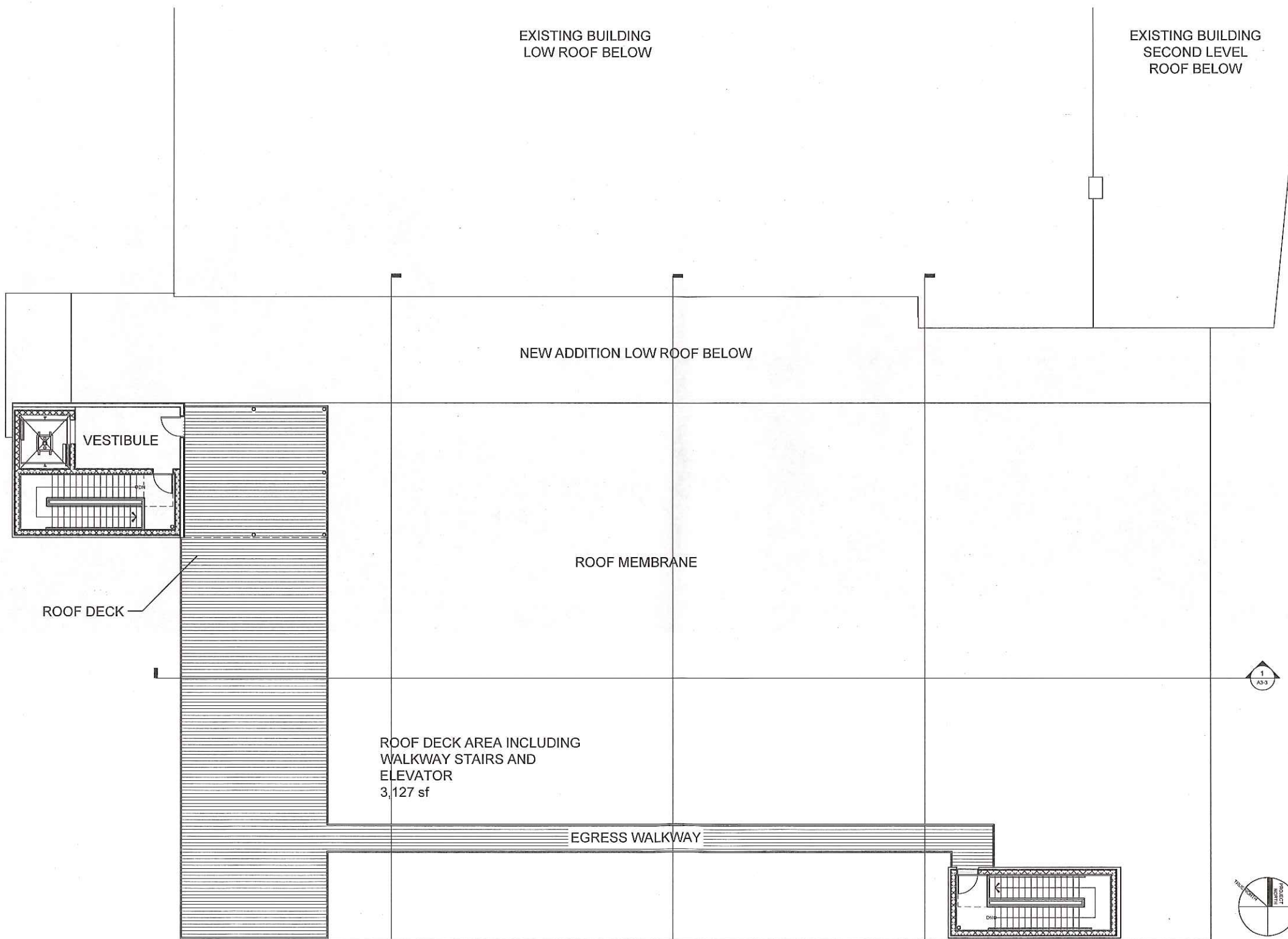


PORTLAND  
COMMUNITY  
SQUASH

EXISTING BUILDING  
LOW ROOF BELOW

EXISTING BUILDING  
SECOND LEVEL  
ROOF BELOW

NEW ADDITION LOW ROOF BELOW



VESTIBULE

ROOF MEMBRANE

ROOF DECK

ROOF DECK AREA INCLUDING  
WALKWAY STAIRS AND  
ELEVATOR  
3,127 sf

EGRESS WALKWAY





# PROPOSED ADDITION TO BAYSIDE BOWL



**PORTLAND  
COMMUNITY  
SQUASH**



1 WEST ELEVATION  
1/8" = 1'-0"

## MATERIALS KEY

ITEM	MANUF.	PROFILE	COLOR
HORIZONTAL METAL SIDING COLOR #1	MUROX	HF-12NF (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	GALVALUME PLUS
HORIZONTAL METAL SIDING COLOR #3	MUROX	HF-12NF (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	BLACK QC 18262
HORIZONTAL CORRUGATED METAL SIDING COLOR #2	AGWAY	M-158R (EXPOSED FASTENERS)	CHARCOAL QC 18306
FIN COLOR #4			CUSTOM ORANGE R:227, G:126, B:30
VERTICAL SIDING COLOR #1	MUROX	HF-11NF (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	GALVALUME PLUS
WINDOWS AND WINDOW SCREEN COLOR #3			BLACK
MASONRY VENEER	GENEST	MIRRA-TEX GROUND FACE BLOCK WITH INTEGRAL WATERPROOFING	GF-308 BRICK RED

PROGRESS PRINT ONLY  
Not for Construction

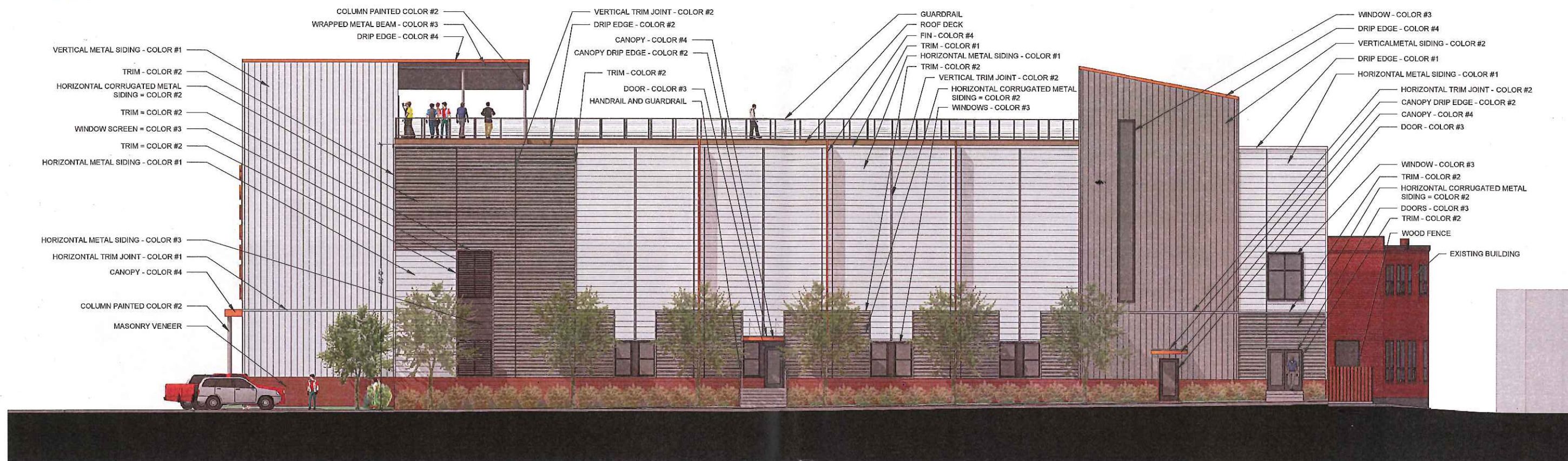




# PROPOSED ADDITION TO BAYSIDE BOWL



**PORTLAND  
COMMUNITY  
SQUASH**



1 SOUTH ELEVATION  
1/8" = 1'-0"

MATERIALS KEY			
ITEM	MANUF.	PROFILE	COLOR
HORIZONTAL METAL SIDING COLOR #1	MUROX	HF-12NF (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	GALVALUME PLUS
HORIZONTAL METAL SIDING COLOR #3	MUROX	HF-12NF (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	BLACK QC 18262
HORIZONTAL CORRUGATED METAL SIDING COLOR #2	AGWAY	M-158R (EXPOSED FASTENERS)	CHARCOAL QC 18306
FIN COLOR #4			CUSTOM ORANGE R:227, G:126, B:30
VERTICAL SIDING COLOR #1	MUROX	HF-11NF (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	GALVALUME PLUS
WINDOWS AND WINDOW SCREEN COLOR #3			BLACK
MASONRY VENEER	GENEST	MIRRA-TEX GROUND FACE BLOCK WITH INTEGRAL WATERPROOFING	GF-308 BRICK RED

PROGRESS PRINT ONLY  
Not for Construction

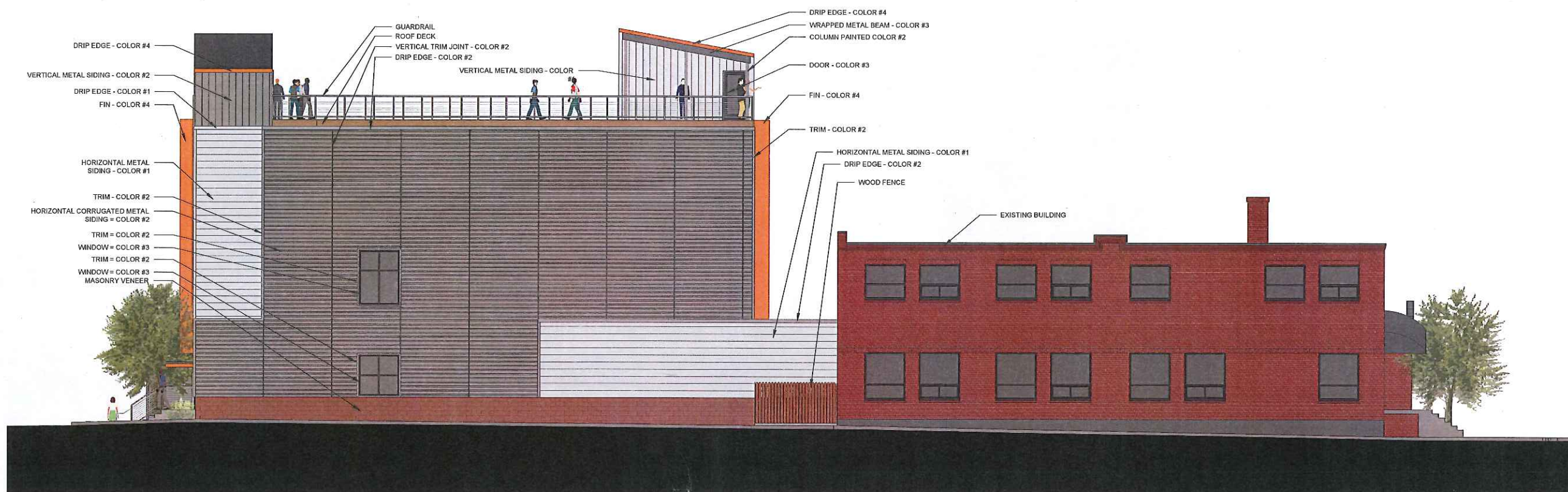




# PROPOSED ADDITION TO BAYSIDE BOWL



PORTLAND  
COMMUNITY  
SQUASH



1 EAST ELEVATION  
1/8" = 1'-0"

MATERIALS KEY			
ITEM	MANUF.	PROFILE	COLOR
HORIZONTAL METAL SIDING COLOR #1	MUROX	HF-12NF (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	GALVALUME PLUS
HORIZONTAL METAL SIDING COLOR #3	MUROX	HF-12NF (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	BLACK QC 18262
HORIZONTAL CORRUGATED METAL SIDING COLOR #2	AGWAY	M-156R (EXPOSED FASTENERS)	CHARCOAL QC 18306
FIN COLOR #4			CUSTOM ORANGE R:227, G:126, B:30
VERTICAL SIDING COLOR #1	MUROX	HF-11NF (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	GALVALUME PLUS
WINDOWS AND WINDOW SCREEN COLOR #3			BLACK
MASONRY VENEER	GENEST	MIRRA-TEX GROUND FACE BLOCK WITH INTEGRAL WATERPROOFING	GF-308 BRICK RED

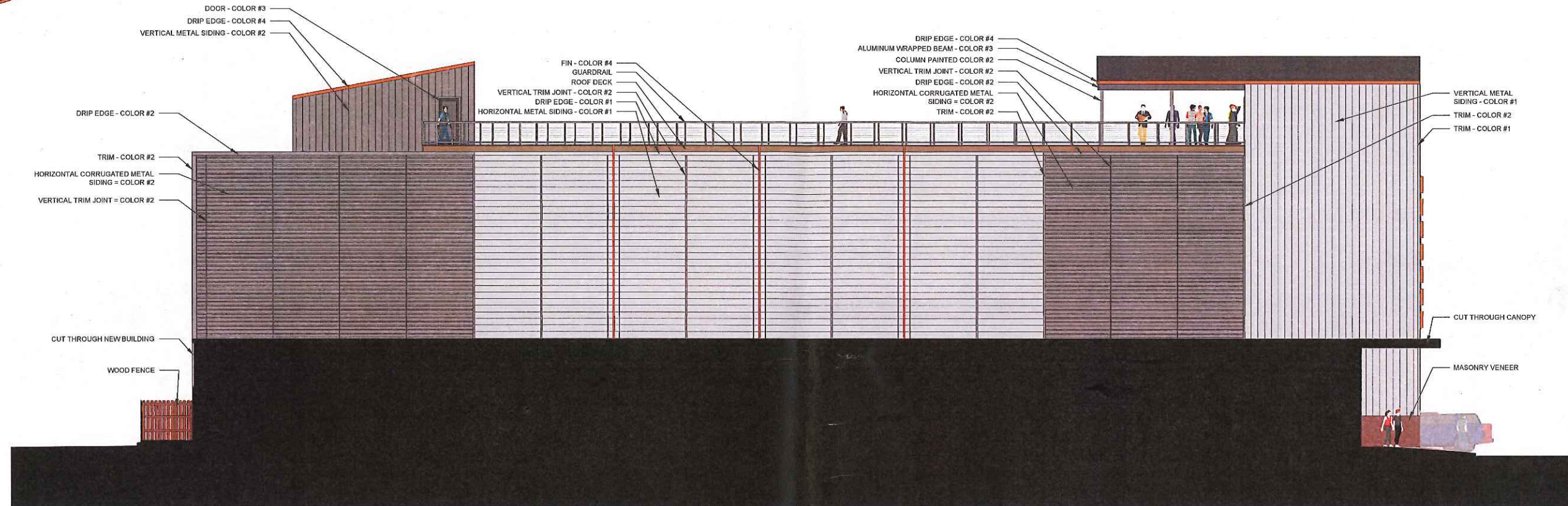
PROGRESS PRINT ONLY  
Not for Construction



# PROPOSED ADDITION TO BAYSIDE BOWL



**PORTLAND  
COMMUNITY  
SQUASH**



1 NORTH ELEVATION  
1/8" = 1'-0"

MATERIALS KEY			
ITEM	MANUF.	PROFILE	COLOR
HORIZONTAL METAL SIDING COLOR #1	MUROX	HF-12NF (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	GALVALUME PLUS
HORIZONTAL METAL SIDING COLOR #3	MUROX	HF-12NF (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	BLACK QC 18262
HORIZONTAL CORRUGATED METAL SIDING COLOR #2	AGWAY	M-156R (EXPOSED FASTENERS)	CHARCOAL QC 18306
FIN COLOR #4			CUSTOM ORANGE R:227, G:126, B:30
VERTICAL SIDING COLOR #1	MUROX	HF-11NF (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	GALVALUME PLUS
WINDOWS AND WINDOW SCREEN COLOR #3			BLACK
MASONRY VENEER	GENEST	MIRRA-TEX GROUND FACE BLOCK WITH INTEGRAL WATERPROOFING	GF-308 BRICK RED









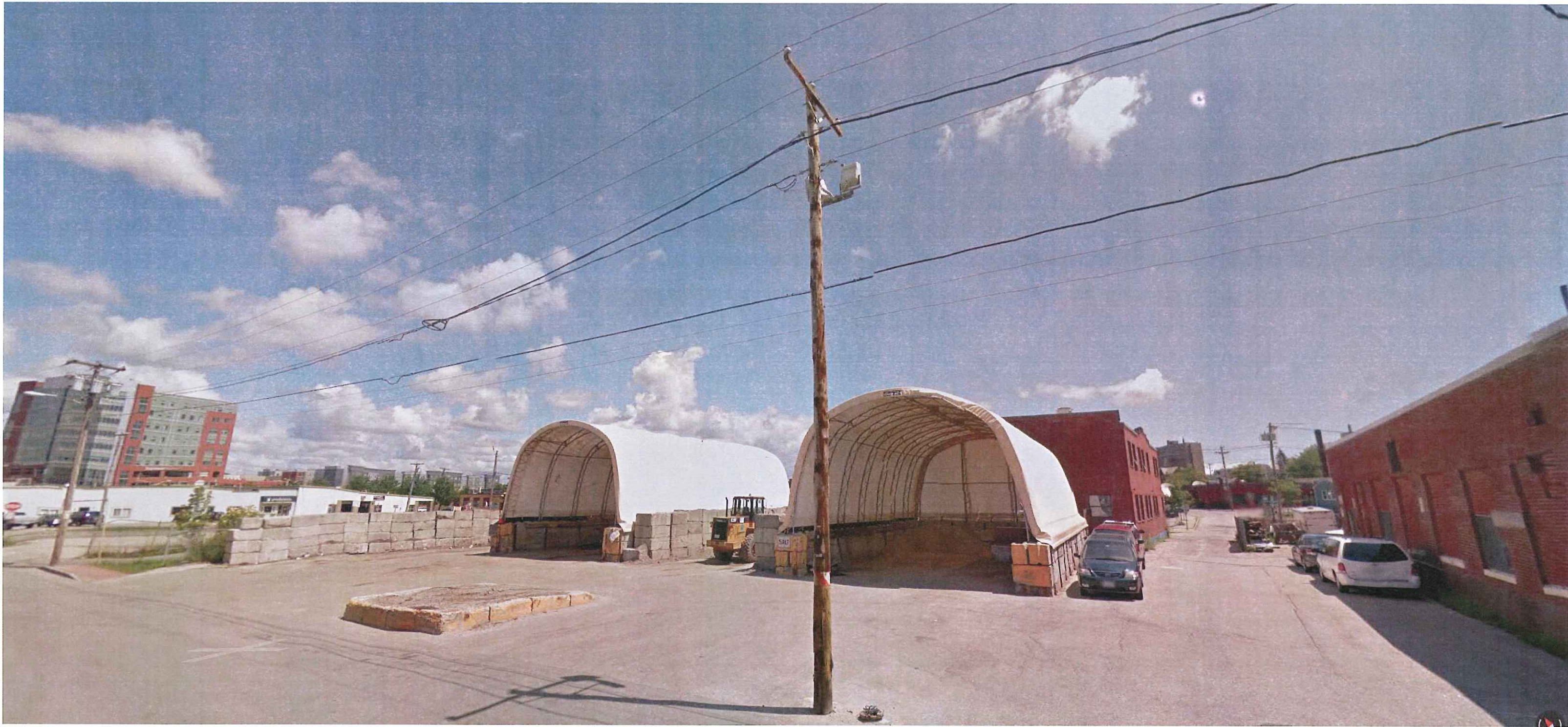


















56 Alder St  
Portland, Maine  
Street View - Sep 2011

Plan 24



**Bayside Bowl**  
Bowling alley with  
pub fare & live music

Google



56 Alder St  
Portland, Maine  
Street View - Sep 2011

Plan 25



Google



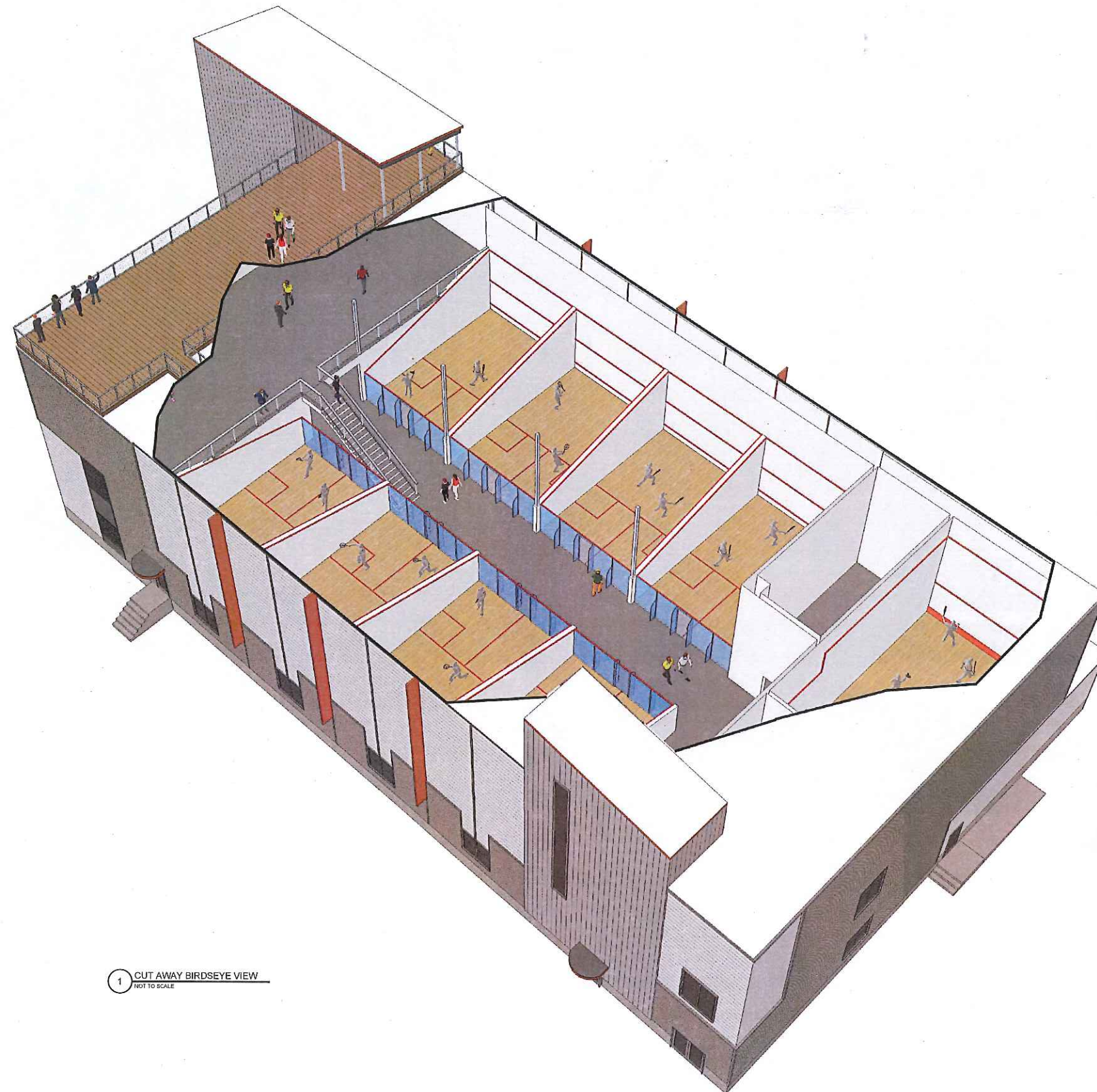




# PROPOSED ADDITION TO BAYSIDE BOWL



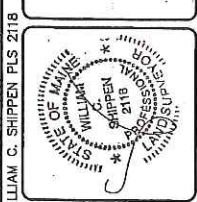
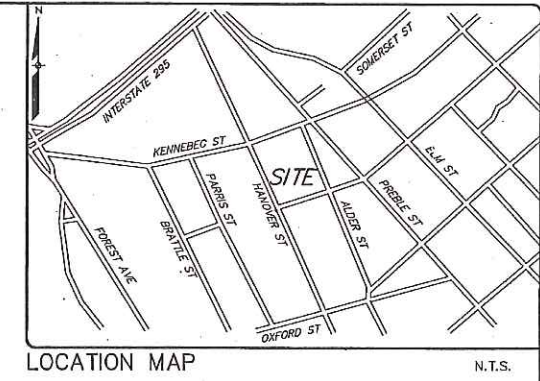
PORTLAND  
COMMUNITY  
SQUASH



1 CUT AWAY BIRDSEYE VIEW  
NOT TO SCALE

PROGRESS PRINT ONLY  
Not for Construction





DESIGNED	CHECKED
DJP-WCS	WCS
ADD CITY LOT PER PURCHASE AND SALE AGREEMENT	
ADDITIONAL UTILITY CONNECTIONS	
STRUCTURE GRADES	
PRELIMINARY TO MITCHELL ASSOCIATES	
PRELIMINARY TO MITCHELL ASSOCIATES	
STATUS:	
REV: BY: DATE:	
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICALS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICALS, INC.	

**SEBAGO TECHNICALS**  
 WWW.SEBAGOTECHNICALS.COM  
 75 John Rowlands Rd., South Portland, ME 04106  
 250 S. Main St., Lewiston, ME 04240  
 Tel: 207-783-5856

**EXISTING CONDITIONS PLAN**  
 OF  
**BAYSIDE BOWL**  
 56 ALDER ST  
 PORTLAND, ME 04101  
**PROJECT RESOURCES, INC.**  
 P.O. BOX 661  
 YARMOUTH, ME 04096-0661

PROJECT NO.	SCALE
15012	1" = 20'

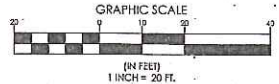
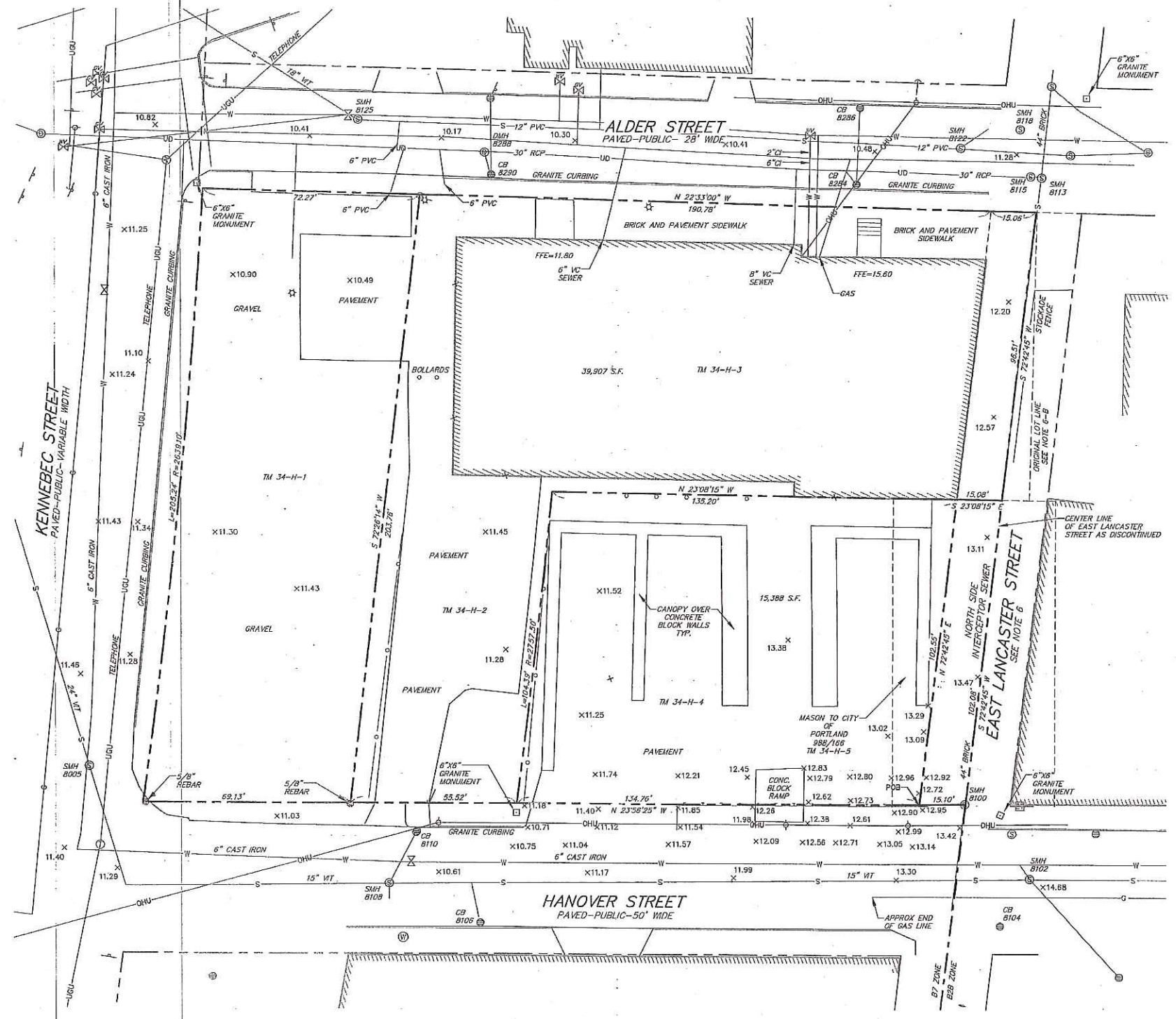
SHEET 1 OF 1

**STRUCTURES**

- SMH 8108 RM=10.8  
8" VIT INV IN=5.7  
12" VIT INV OUT=4.4  
SHELF=4.8
- CB 8110 RM=9.7  
8" VIT INV OUT=5.7  
SUMP=4.0
- SMH 8102 RM=14.3  
15" CMP INV IN=5.9  
18" VIT INV IN=8.8  
15" VIT INV IN=6.2  
15" VIT INV OUT=6.1  
SHELF=6.9
- SMH 8115 RM=11.1  
44" BRICK INV IN=4.0  
44" BRICK INV IN=3.9  
TOP WER=5.9  
30" RCP INV OUT=3.2
- CB 8284 RM=9.9  
12" PVC INV IN=5.2  
12" PVC INV OUT=5.0  
SUMP=1.5
- CB 8290 RM=9.5  
8" PVC INV IN=5.4  
12" PVC INV OUT=4.3  
SUMP=1.7
- DMH 8288 RM=9.8  
30" RCP INV IN=1.7  
12" PVC INV IN=3.9  
30" RCP INV OUT=1.6  
SHELF=3.9
- SMH 8125 RM=10.1
- CB 8106 RM=10.1
- CB 8104 RM=13.4
- SMH 8005 RM=11.4
- SMH 8100 RM=11.9
- SMH 8113 RM=11.1
- SMH 8118 RM=11.1
- SMH 8122 RM=10.8
- CB 8286 RM=9.8

**LEGEND**

- EXISTING**
- PROPERTY LINE/R.O.W.
  - ADJUTER LINE/R.O.W.
  - DEED LINE/R.O.W.
  - MONUMENT
  - IRON PIPE/ROD
  - BUILDING
  - EDGE PAVEMENT
  - EDGE CONCRETE
  - PAVEMENT PAINT
  - EDGE GRAVEL
  - CURB LINE
  - CHAIN LINK FENCE
  - STOCKADE FENCE
  - GUARD RAIL
  - SPOT GRADE
  - DECIDUOUS TREE
  - BOLLARD
  - SIGN
  - GAS
  - GAS GATE VALVE
  - WATER
  - WATER GATE VALVE
  - SANITARY SEWER
  - SANITARY MANHOLE
  - UNDER DRAIN
  - DRAINAGE MANHOLE
  - CATCH BASIN
  - UNDERGROUND UTILITY
  - TRANSFORMER PAD
  - TELEPHONE MANHOLE
  - LIGHT POLE
  - UTILITY POLE
  - GUY WIRE
  - POB
  - POINT OF BEGINNING



**GENERAL NOTES:**

- THE RECORD OWNERS OF THE PARCELS ARE:  
 BOPO LLC BY DEED DATED JUNE 30, 2011 RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 28797 PAGE 222 TAX MAP 34, BLOCK H, LOTS 2 AND 3  
 BOPO LLC BY DEED DATED JUNE 30, 2011 RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 28797 PAGE 224 TAX MAP 34, BLOCK H, LOT 1  
 CITY OF PORTLAND BY DEED DATED APRIL 23, 1849 RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 213 PAGE 449 TAX MAP 34, BLOCK H, LOT 4  
 CITY OF PORTLAND BY DEED DATED MARCH 14, 1917 RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 988 PAGE 168 TAX MAP 34, BLOCK H, LOT 5
- THE SURVEYED PARCELS ARE SHOWN AS LOTS 1, 2, 3, 4 AND 5, BLOCK H, ON THE CITY OF PORTLAND'S ASSESSORS MAP 34.
- BEARINGS ARE GRID NORTH PER PLAN REFERENCE 2. ELEVATIONS ARE CITY OF PORTLAND DATUM BASED ON TOP OF GRANITE MONUMENT ELEVATION 11.55 AS SHOWN ON PLAN REFERENCE 5.
- THE PARCEL IS LOCATED, BY SCALING METHODS, WITHIN ZONE C (AREAS OF MINIMAL FLOODING) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF PORTLAND, MAINE COMMUNITY PANEL NO. 230051-0013-B WITH AN EFFECTIVE DATE OF JULY 17, 1986. THE FLOOD ELEVATION FOR THE A2 ZONE WHICH ENCOMPASSES BACK COVE HAS AN ELEVATION OF 10.00 TO 10.25.
- UTILITIES SHOWN ARE BASED ON THE REFERENCED PLANS AND A FIELD SURVEY OF VISIBLE STRUCTURES PERFORMED IN FEBRUARY 2015. DURING THE FIELD SURVEY THERE WAS SNOW IN EXCESS OF THREE FEET DEEP AND ASSOCIATED ICE THAT MADE VERIFICATION DIFFICULT. A SITE VISIT TO VERIFY UTILITIES IS RECOMMENDED ONCE SNOW COVER IS GONE.
- THE FOLLOWING NOTES APPEAR IN THE 'SURVEY REPORT FOR HANOVER STREET SALT SHED SITE' DATED JANUARY 7, 2002 BY WILLIAM G. SCOTT, P.L.S., CITY OF PORTLAND D.P.W.:  
 A. LANCASTER STREET EAST HAD BEEN DISCONTINUED AS A CITY STREET ON MAY 5, 1995. THE DISCONTINUANCE RESERVED THE CONTINUED USE OF THIS PROPERTY AS A SEWER EASEMENT FOR THE STILL-ACTIVE NORTH SIDE INTERCEPTING SEWER. HOWEVER, THE DISCONTINUANCE NOTICE MADE NO MENTION OF ALSO DISCONTINUING THE PUBLIC EASEMENT WITHIN THE STREET BOUNDARIES.  
 B. 'THE CITY HAS A STOCKADE FENCE BUILT OUT TO THE APPROXIMATE CENTERLINE OF THE STREET WHICH FENCES IN A DUMPSTER AND MATERIALS STORAGE AREA. I BELIEVE THAT THE REVERSIONARY RIGHTS INVOLVED IN THE STREET DISCONTINUANCE IN MAY 1995 WOULD ESTABLISH THE PROPERTY LINE BACK IN ITS LOCATION PRIOR TO THE CREATION OF LANCASTER STREET, AS IS CLEARLY SHOWN ON THE 1913 PLAN OF LANCASTER STREET EXTENSION, THE FORMER PROPERTY LINE BETWEEN WHAT IS NOW FURMAN AND THE CITY, FRONTING ALONG ALDER STREET, DID NOT RUN ALONG WITH THE CENTERLINE OF THE PROPOSED STREET. IN FACT, MORE LAND WAS TAKEN FROM WHAT IS NOW FURMAN'S PARCEL THAN WAS TAKEN FROM WHAT IS NOW THE CITY'S.'
- WATER SERVICES SHOWN ARE BASED ON THE CARDS PROVIDED BY THE PORTLAND WATER DISTRICT AND ARE TO BE CONSIDERED APPROXIMATE.

**ZONING:**

- DIVISION 10, B-2B COMMUNITY BUSINESS ZONE**
- DIMENSIONAL REQUIREMENTS:**
- MINIMUM LOT SIZE: NONE
  - MINIMUM STREET FRONTAGE: 20 FEET
  - FRONT YARD SETBACK: MINIMUM NONE
  - REAR YARD SETBACK: MINIMUM 10 FEET
  - SIDE YARD SETBACK: MINIMUM NONE REQUIRED
  - SIDE YARD ON SIDE STREET SETBACK: MINIMUM NONE
  - HEIGHT MAXIMUM: 45 FEET
  - MAXIMUM IMPERVIOUS SURFACE: RATIO BOX
- DIVISION 17, B-7 MIXED DEVELOPMENT DISTRICT ZONE**
- MINIMUM LOT SIZE: NONE
  - MINIMUM FRONTAGE: NONE
  - FRONT SETBACK: NONE REQUIRED
  - SIDE SETBACK: NONE REQUIRED
  - REAR SETBACK: NONE REQUIRED
  - MAXIMUM BUILDING LOT COVERAGE: ONE-HUNDRED PERCENT(100%)
  - MAXIMUM RESIDENTIAL DENSITY: NONE
  - MAXIMUM BUILDING HEIGHT: AS DETAILED ON THE BAYSIDE HEIGHT OVERLAY MAP ON FILE IN THE PLANNING AND DEVELOPMENT DEPARTMENT OFFICE.
  - MINIMUM BUILDING HEIGHT: NEWLY CONSTRUCTED BUILDINGS SHALL HAVE THE REQUIRED MINIMUM OF FLOORS AS PROVIDED BY THE BAYSIDE HEIGHT OVERLAY MAP WITHIN FIFTY (50) FEET OF ANY STREET FRONTAGE. SUCH FLOORS SHALL BE OCCUPYABLE OR HABITABLE AND ABOVE THE AVERAGE GRADE OF THE ADJUTING STREET.

REFERENCE IS MADE TO CHAPTER 14 IN THE LAND USE ORDINANCE FOR THE CITY OF PORTLAND, MAINE FOR ADDITIONAL INFORMATION.

**PLAN REFERENCES:**

- ALDER STREET RECONSTRUCTION PLAN AND PROFILE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT ENGINEERING SECTION DATED JUNE 1996.
- STANDARD BOUNDARY SURVEY PROPOSED SALT SHED LOT HANOVER STREET CITY OF PORTLAND PUBLIC WORKS DEPARTMENT ENGINEERING SECTION DATED SEPTEMBER 2001.
- LAND TITLE SURVEY ON KENNEBEC STREET, PORTLAND, MAINE PORTLAND TERMINAL COMPANY TO ROSS Y. FURMAN 58 ALDER ST., PORTLAND MAINE DATED JULY 27, 1994 BY OWEN HASKELL, INC. AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 194 PAGE 292.
- EXISTING CONDITIONS AND STANDARD BOUNDARY SURVEY ON KENNEBEC STREET, PORTLAND, MAINE FOR ROSS Y. FURMAN 58 ALDER STREET, PORTLAND, MAINE DATED APRIL 18, 1996 BY OWEN HASKELL, INC.
- BAYSIDE TRAIL SCHERSETT STREET EXTENSION ELM STREET TO KENNEBEC STREET DATED JULY 3, 2012 CITY OF PORTLAND, MAINE PUBLIC SERVICES DEPARTMENT ENGINEERING DIVISION
- LANCASTER STREET EXTENSION FROM PREBLE ST. TO FOREST AVE. DATED FEB. 1913 ON FILE WITH THE CITY OF PORTLAND ENGINEERING DIVISION.
- RIGHT OF WAY AND TRACK MAP PORTLAND TERMINAL OPERATED BY THE PORTLAND TERMINAL COMPANY STATION 52+80.0 TO STATION 105+60.0 JUNE 30, 1916 SHEET VI-C/2
- CITY OF PORTLAND CITY PROPERTY REVALUATION SHEET 6.
- BOWL PORTLAND SITE GRADING AND UTILITY PLAN DATED 8-27-09 REVISED THROUGH 12-29-09 BY CASCO BAY ENGINEERING.

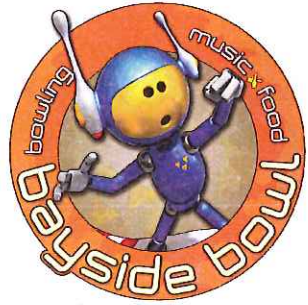




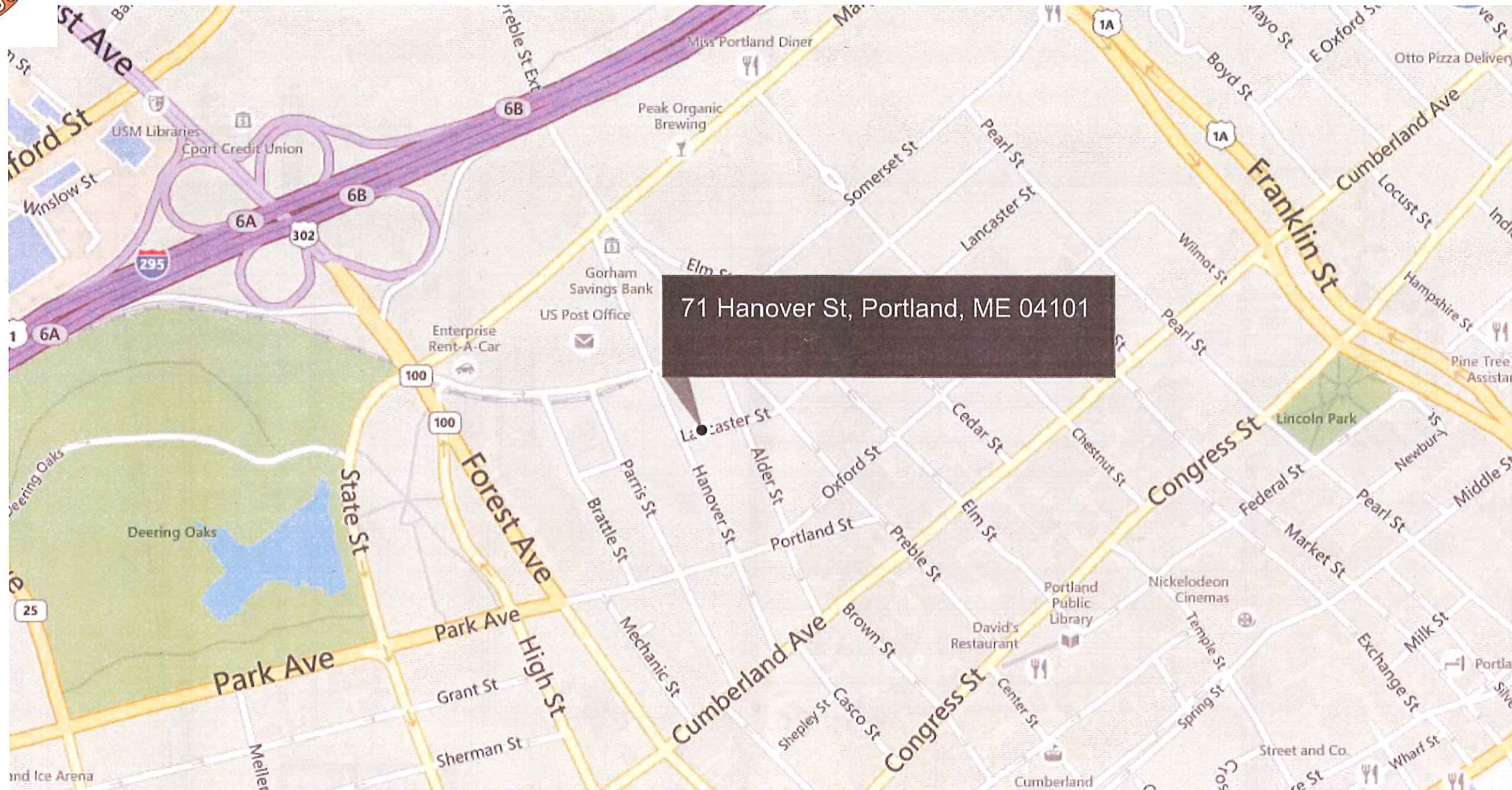


# PROPOSED ADDITION TO BAYSIDE BOWL

APRIL 20, 2015



PORTLAND  
COMMUNITY  
SQUASH



1 SITE LOCATION MAP  
NOT TO SCALE

PORTLAND  
BUILDERS  
INC

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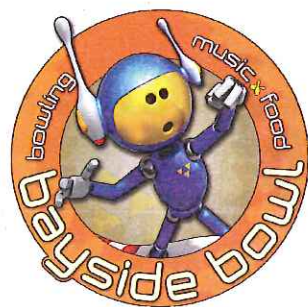
Mitchell  
& Associates  
LANDSCAPE ARCHITECTS

RYAN SENATORE ARCHITECTURE

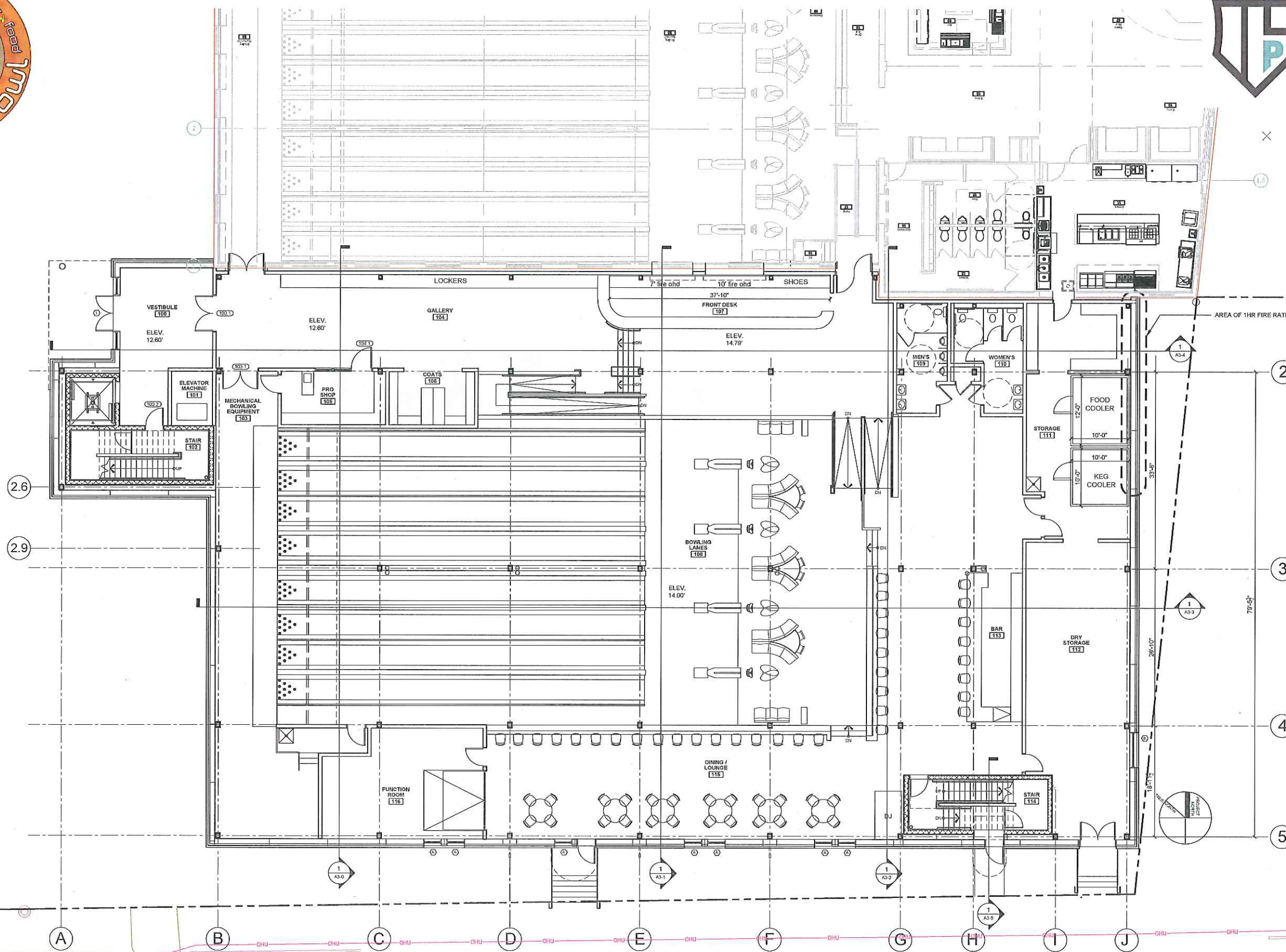


# PROPOSED ADDITION TO BAYSIDE BOWL

APRIL 20, 2015



PORTLAND  
COMMUNITY  
SQUASH



PROGRESS PRINT ONLY  
Not for Construction

PORTLAND  
BUILDERS INC

1 FIRST FLOOR PLAN  
1/8" = 1'-0"

Mitchell  
& Associates  
LANDSCAPE ARCHITECTS

RYAN SENATORE ARCHITECTURE



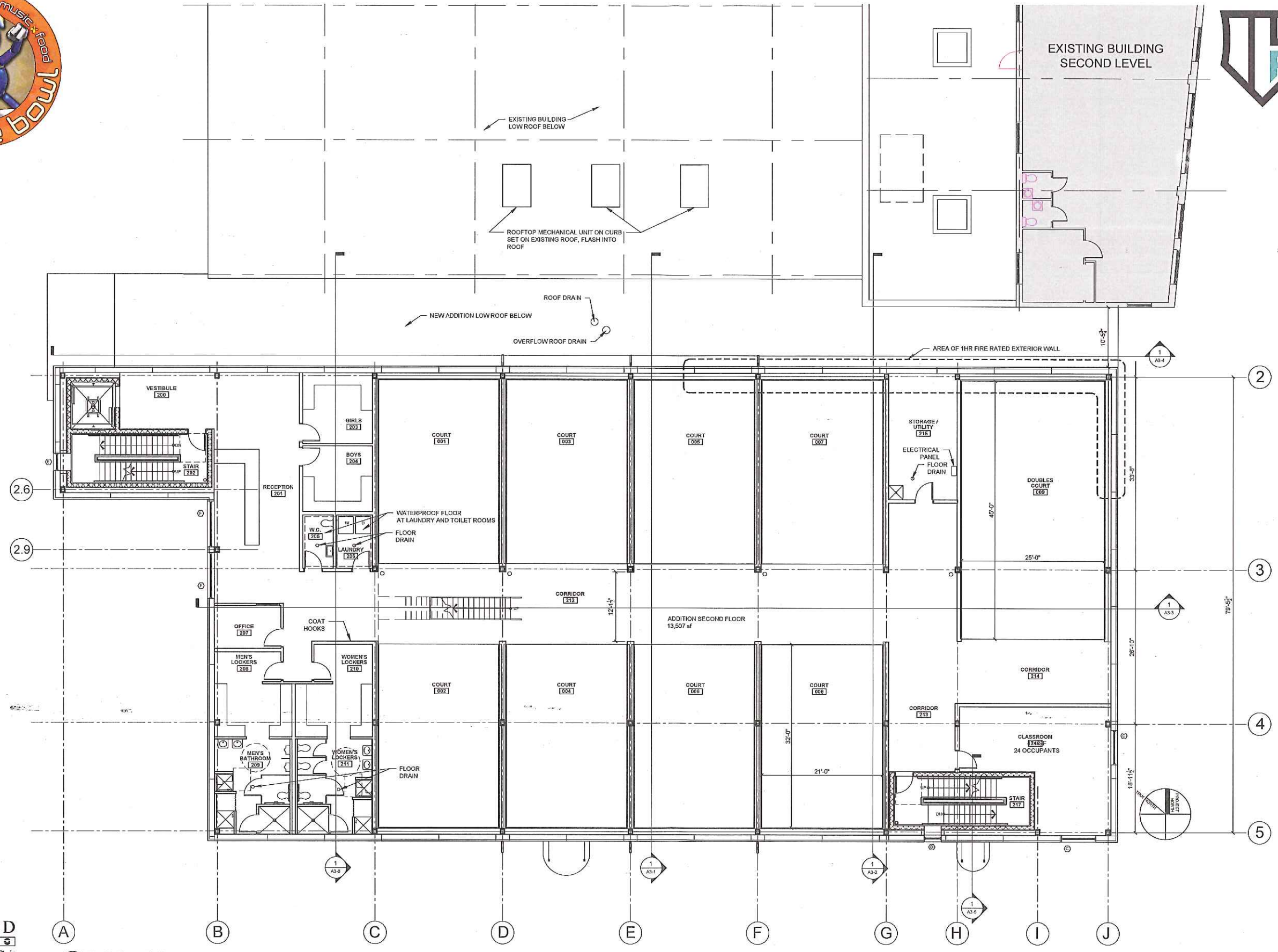


# PROPOSED ADDITION TO BAYSIDE BOWL

APRIL 20, 2015



## PORTLAND COMMUNITY SQUASH



PORTLAND BUILDERS INC

1 SECOND FLOOR PLAN 1/8"=1'-0"

PROGRESS PRINT ONLY  
Not for Construction

Mitchell & Associates  
LANDSCAPE ARCHITECTS

RYAN SENATORE ARCHITECTURE



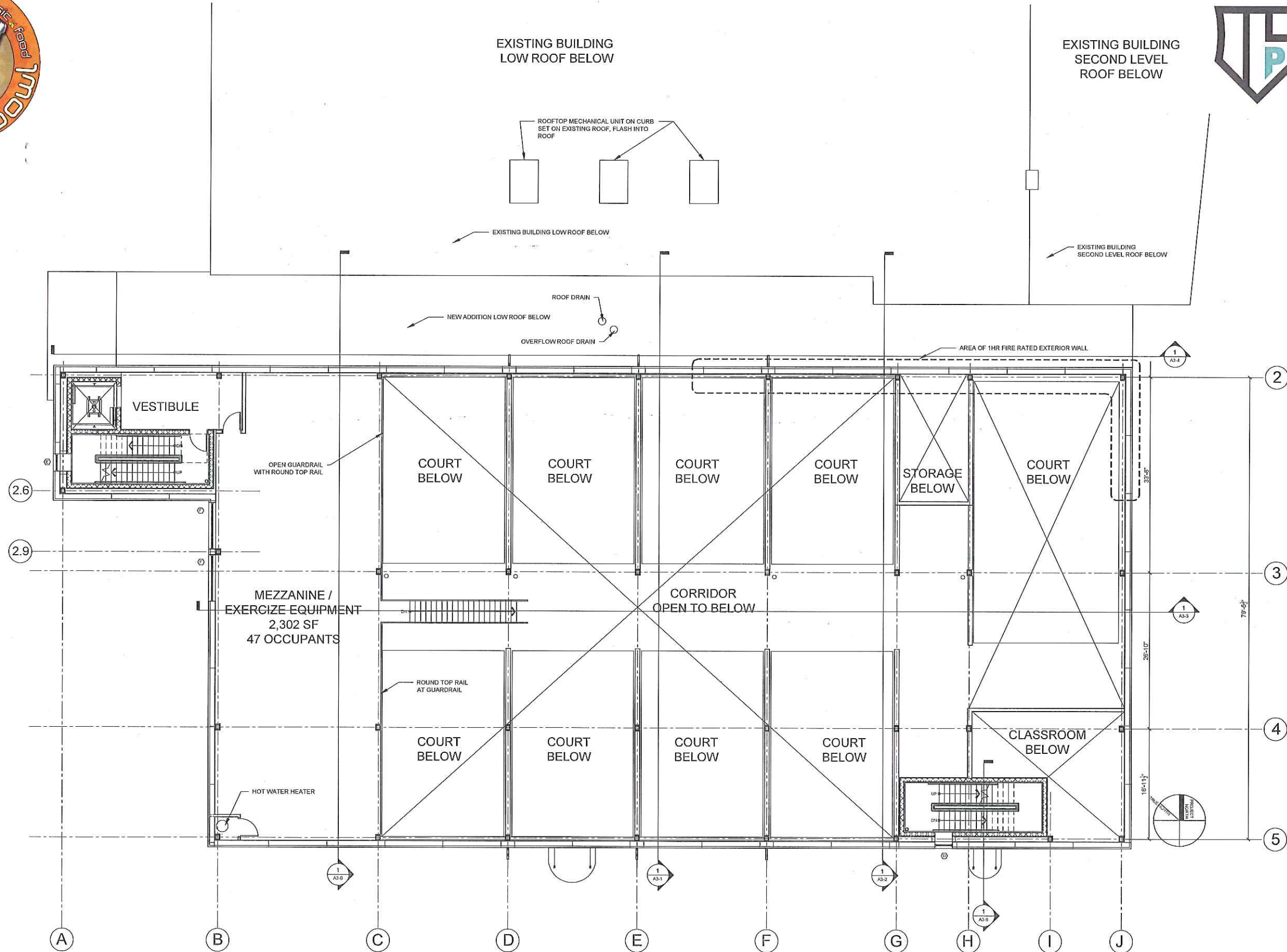


# PROPOSED ADDITION TO BAYSIDE BOWL

APRIL 20, 2015



**PORTLAND  
COMMUNITY  
SQUASH**



**PORTLAND  
BUILDERS**

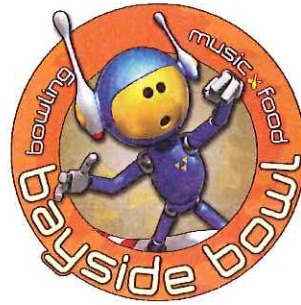
1 MEZZANINE LEVEL PLAN  
1/8" = 1'-0"

PROGRESS PRINT ONLY  
Not for Construction

**Mitchell  
& Associates**  
LANDSCAPE ARCHITECTS

RYAN SENATORE **ARCHITECTURE**



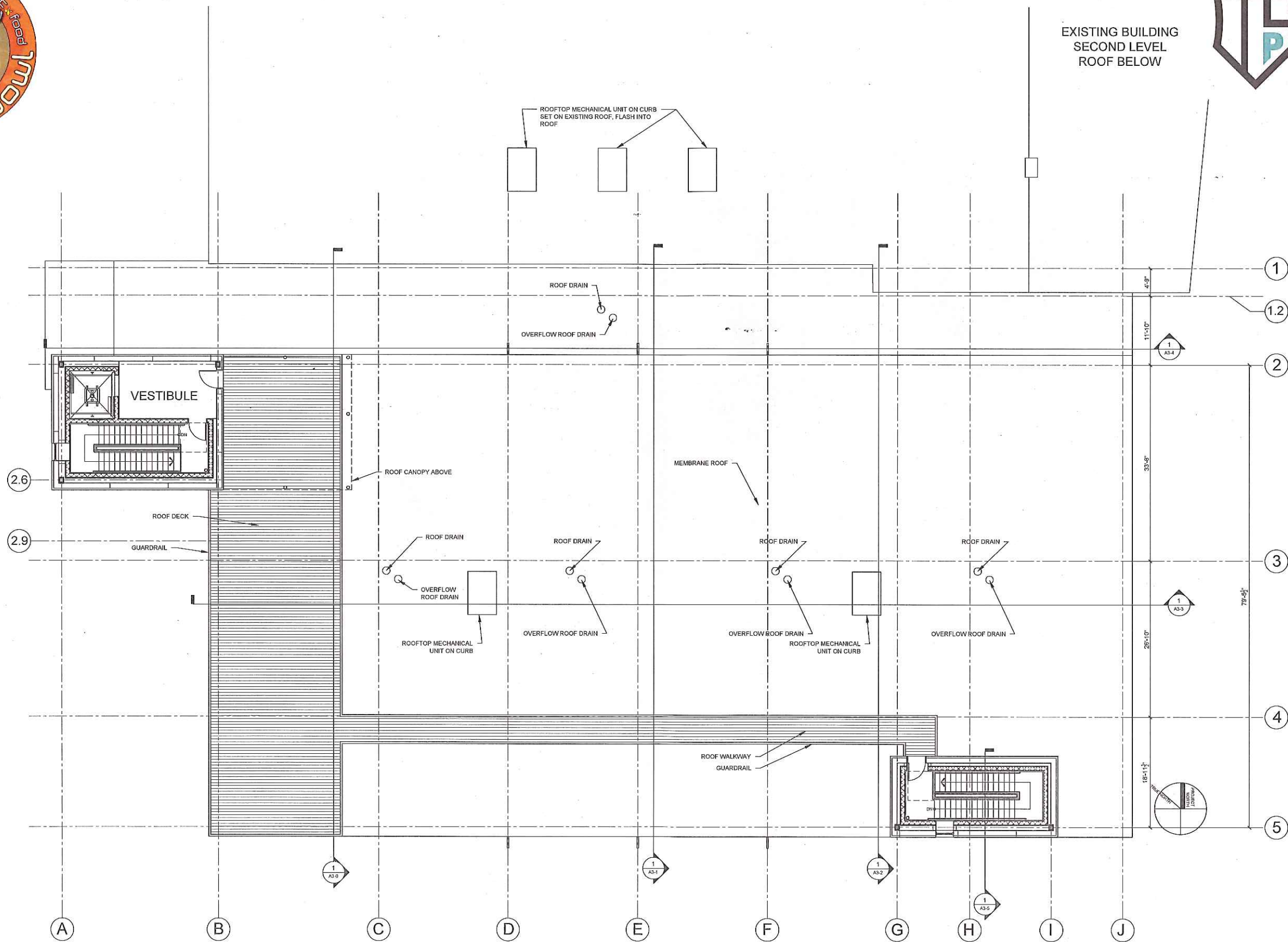


# PROPOSED ADDITION TO BAYSIDE BOWL

APRIL 20, 2015



PORTLAND  
COMMUNITY  
SQUASH



PORTLAND  
BUILDERS INC

1 ROOF PLAN  
1/8" = 1'-0"

PROGRESS PRINT ONLY  
Not for Construction

Mitchell  
& Associates  
LANDSCAPE ARCHITECTS

RYAN SENATORE ARCHITECTURE



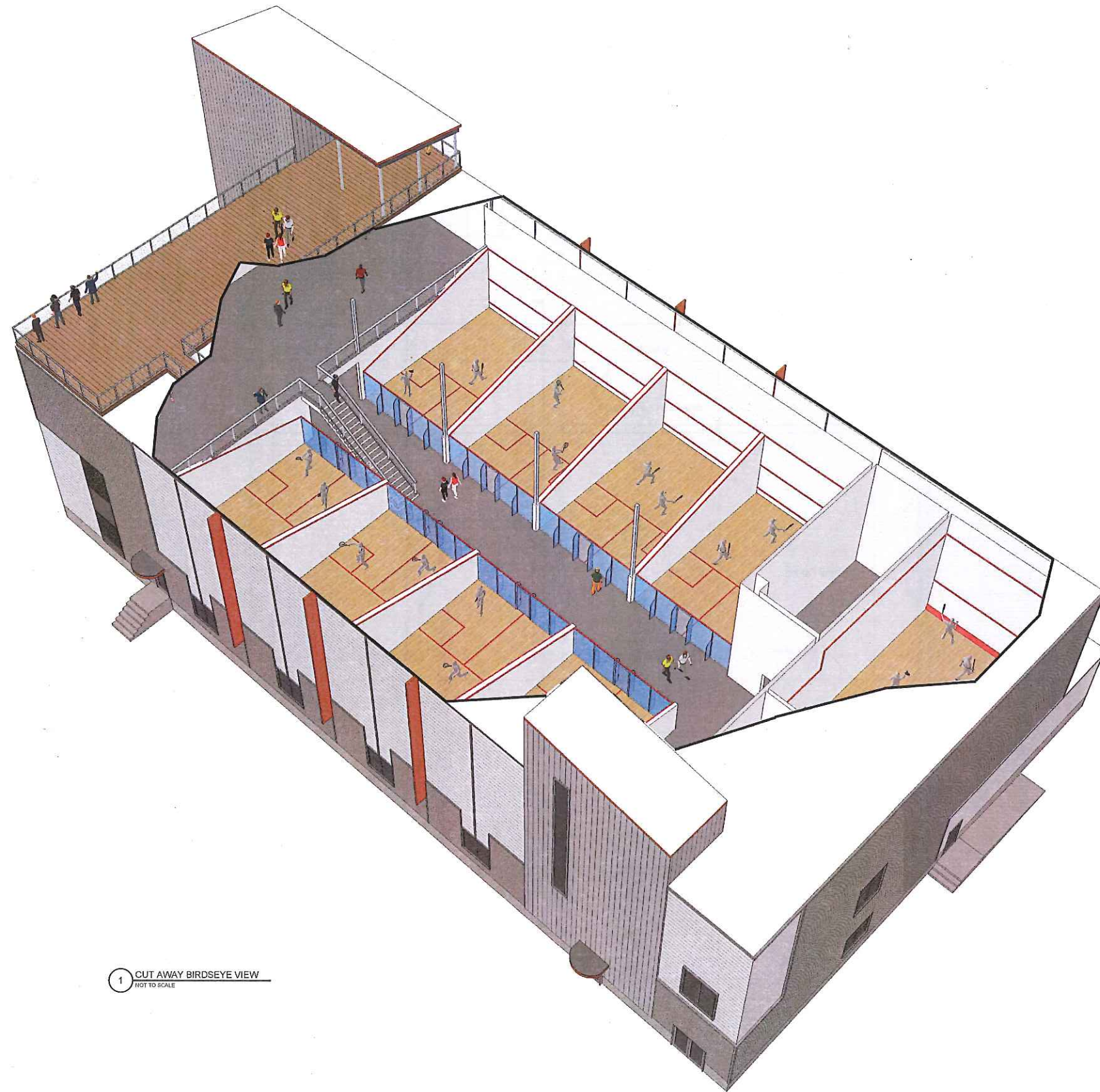


# PROPOSED ADDITION TO BAYSIDE BOWL

APRIL 20, 2015



PORTLAND  
COMMUNITY  
SQUASH



1 CUT AWAY BIRDSEYE VIEW  
NOT TO SCALE

PORTLAND  
BUILDERS INC.

PROGRESS PRINT ONLY  
Not for Construction

Mitchell  
& Associates  
LANDSCAPE ARCHITECTS

RYAN SENATORE ARCHITECTURE





# PROPOSED ADDITION TO BAYSIDE BOWL



1 WEST ELEVATION  
1/8" = 1'-0"

## MATERIALS KEY

ITEM	MANUF.	PROFILE	COLOR
HORIZONTAL METAL SIDING COLOR #1	MUROX	HF-6, 20 GAUGE (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	SILVER METALLIC QC 7500
HORIZONTAL METAL SIDING COLOR #3	MUROX	HF-6, 20 GAUGE (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	BLACK QC 8262
HORIZONTAL CORRUGATED METAL SIDING COLOR #2	AGWAY	M-156R, 26 GAUGE (EXPOSED FASTENERS)	CHARCOAL QC 8306
FIN COLOR #4			CUSTOM ORANGE R:227, G:126, B:30
VERTICAL SIDING COLOR #1	MUROX	HF-6, 20 GAUGE (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	SILVER METALLIC QC 7500
WINDOWS AND WINDOW SCREEN COLOR #3			BLACK
MASONRY VENEER	GENEST	MIRRA-TEX GROUND FACE BLOCK WITH INTEGRAL WATERPROOFING	GF-308 BRICK RED

PROGRESS PRINT ONLY  
Not for Construction

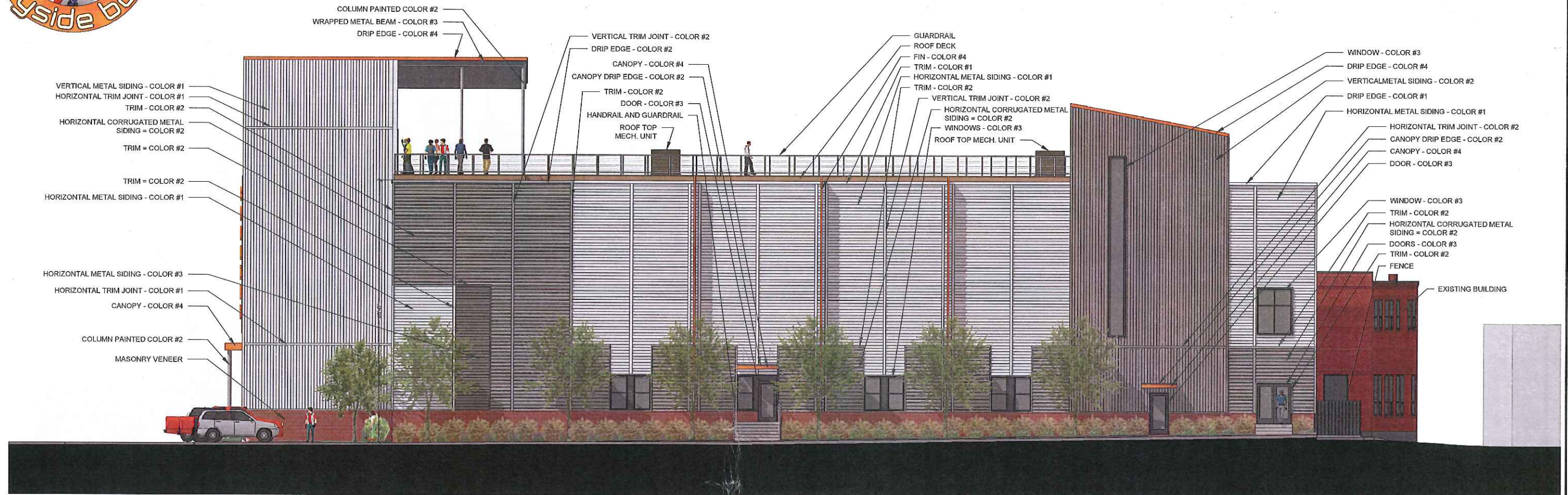


# PROPOSED ADDITION TO BAYSIDE BOWL

APRIL 20, 2015



**PORTLAND  
COMMUNITY  
SQUASH**



1 SOUTH ELEVATION  
1/8" = 1'-0"

MATERIALS KEY			
ITEM	MANUF.	PROFILE	COLOR
HORIZONTAL METAL SIDING COLOR #1	MUROX	HF-6, 20 GUAGE (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	SILVER METALLIC QC 7500
HORIZONTAL METAL SIDING COLOR #3	MUROX	HF-6, 20 GUAGE (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	BLACK QC 8262
HORIZONTAL CORRUGATED METAL SIDING COLOR #2	AGWAY	M-158R, 26 GUAGE (EXPOSED FASTENERS)	CHARCOAL QC 8306
FIN COLOR #4			CUSTOM ORANGE R:227, G:126, B:30
VERTICAL SIDING COLOR #1	MUROX	HF-6, 20 GUAGE (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	SILVER METALLIC QC 7500
WINDOWS AND WINDOW SCREEN COLOR #3			BLACK
MASONRY VENEER	GENEST	MIRRA-TEX GROUND FACE BLOCK WITH INTEGRAL WATERPROOFING	GF-308 BRICK RED

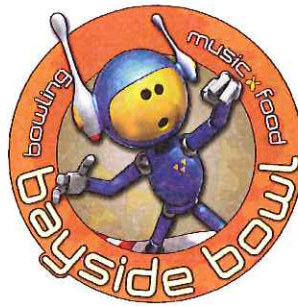
PROGRESS PRINT ONLY  
Not for Construction

**PORTLAND  
BUILDERS**

**Mitchell  
& Associates**  
LANDSCAPE ARCHITECTS

RYAN SENATORE **ARCHITECTURE**



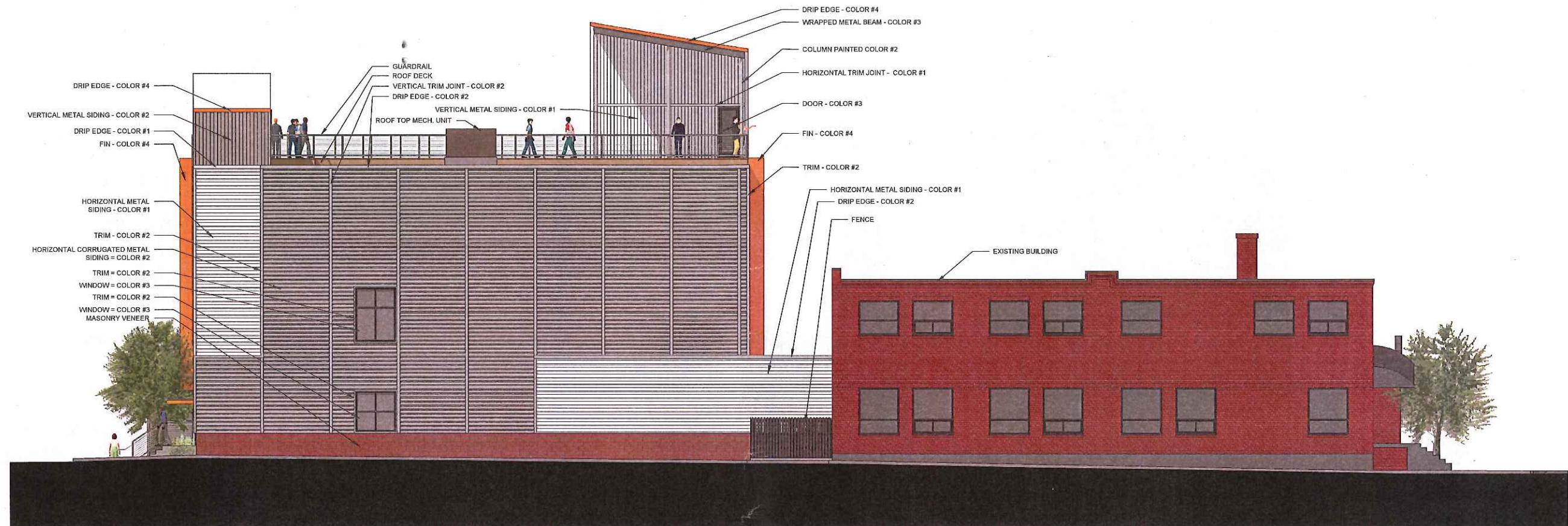


# PROPOSED ADDITION TO BAYSIDE BOWL

APRIL 20, 2015



PORTLAND  
COMMUNITY  
SQUASH



1 EAST ELEVATION  
1/8" = 1'-0"

## MATERIALS KEY

ITEM	MANUF.	PROFILE	COLOR
HORIZONTAL METAL SIDING COLOR #1	MUROX	HF-6, 20 GAUGE (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	SILVER METALLIC QC 7500
HORIZONTAL METAL SIDING COLOR #3	MUROX	HF-6, 20 GAUGE (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	BLACK QC 8282
HORIZONTAL CORRUGATED METAL SIDING COLOR #2	AGWAY	M-158R, 28 GAUGE (EXPOSED FASTENERS)	CHARCOAL QC 8306
FIN COLOR #4			CUSTOM ORANGE R:227, G:126, B:30
VERTICAL SIDING COLOR #1	MUROX	HF-6, 20 GAUGE (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	SILVER METALLIC QC 7500
WINDOWS AND WINDOW SCREEN COLOR #3			BLACK
MASONRY VENEER	GENEST	MIRRA-TEX GROUND FACE BLOCK WITH INTEGRAL WATERPROOFING	GF-308 BRICK RED

PORTLAND  
BUILDERS INC

PROGRESS PRINT ONLY  
Not for Construction

Mitchell  
& Associates  
LANDSCAPE ARCHITECTS

RYAN SENATORE ARCHITECTURE



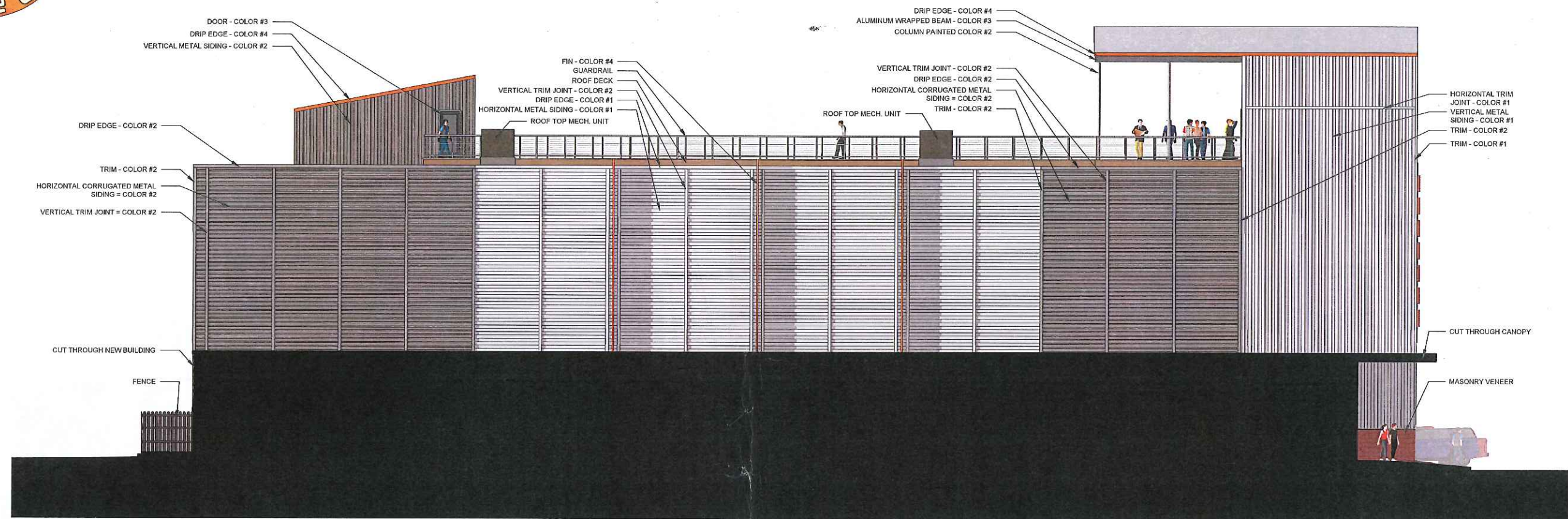


# PROPOSED ADDITION TO BAYSIDE BOWL

APRIL 20, 2015



**PORTLAND  
COMMUNITY  
SQUASH**



1 NORTH ELEVATION  
1/8" = 1'-0"

MATERIALS KEY			
ITEM	MANUF.	PROFILE	COLOR
HORIZONTAL METAL SIDING COLOR #1	MUROX	HF-6, 20 GUAGE (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	SILVER METALLIC QC 7500
HORIZONTAL METAL SIDING COLOR #3	MUROX	HF-6, 20 GUAGE (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	BLACK QC 8262
HORIZONTAL CORRUGATED METAL SIDING COLOR #2	AGWAY	M-156R, 26 GUAGE (EXPOSED FASTENERS)	CHARCOAL QC 8308
FIN COLOR #4			CUSTOM ORANGE R:227, G:126, B:30
VERTICAL SIDING COLOR #1	MUROX	HF-6, 20 GUAGE (NO INTERMEDIARY FLUTE) (CONCEALED FASTENERS)	SILVER METALLIC QC 7500
WINDOWS AND WINDOW SCREEN COLOR #3			BLACK
MASONRY VENEER	GENEST	MIRRA-TEX GROUND FACE BLOCK WITH INTEGRAL WATERPROOFING	GF-308 BRICK RED

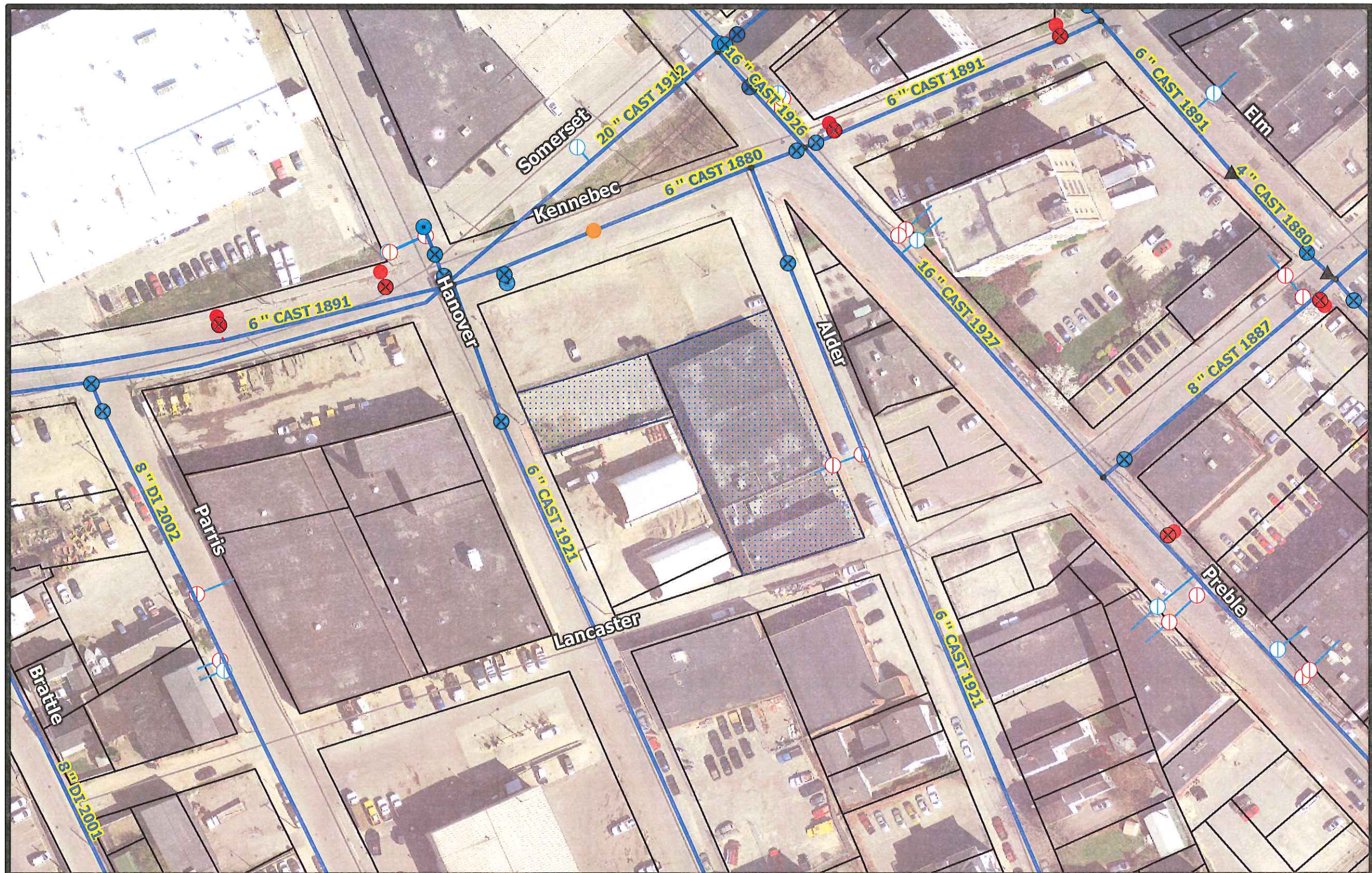
PROGRESS PRINT ONLY  
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**PORTLAND  
BUILDERS INC**

**Mitchell  
& Associates**  
LANDSCAPE ARCHITECTS

RYAN SENATORE **ARCHITECTURE**





**58 Alder Street**

**Portland**



**PORTLAND WATER DISTRICT**  
**225 Douglass Street**  
**Portland, ME 04104**

**Scale** 0 25 50 100 150 200 Feet 1 inch = 100 feet

**Legend**

- |                |                    |                    |           |
|----------------|--------------------|--------------------|-----------|
| ● Air Valve    | ● Connection       | ⊕ Combined Service | ● Manhole |
| ⊕ Blow Off     | ● Attribute Change | ⊕ Domestic Service | ● CSO     |
| ⊕ By Pass      | ▲ Reducer          | ⊕ Fire Service     | → Gravity |
| ⊕ Distribution | ● Hydrant          | ⊕ Private Hydrants | → Force   |
| ⊕ Transmission | ● Hydrant Control  | ⊕ Meter Pits       |           |



**Disclaimer:** This map is suitable for preliminary study and analysis and is based on PWD record information. PWD is not liable for any damages whatsoever resulting from inaccurate data or from errors made in the location and marking of its infrastructure.

Drawn By: GJH

Prepared For: Mitchell Associates

Scale: As Noted

Date: April 10, 2015



**NOTES:**

1. All subcontractors will be responsible for their own parking. The owner and contractor are not providing off site parking for subcontractors. They will be encouraged to carpool and take vans from their main offices to the site. Otherwise, subcontractors will park in legal, City of Portland parking spots.
2. NE side of Hanover inaccessible approximately June 1, 2015-Nov. 15, 2015- no existing sidewalk
3. Hours of construction: 6:30am-4:30 pm, Monday-Friday
4. Site will have security lighting all night.

Prepared For:  
 Applicant:  
 BoPo, L.L.C.  
 68 Alder Street  
 Portland, Maine  
 Justin Alford, Manager

Prepared By:  
 MITCHELL & ASSOCIATES  
 Landscape Architects  
 The Staples School  
 70 Center Street  
 Portland, Maine 04101  
 Tel: (207) 774-4427

BAYSIDE BOWL  
 58 Alder Street  
 Portland, Maine

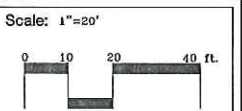
Date:  
 MARCH 23, 2015

Issued For:  
 SITE PLAN SUBMISSION

Revisions:  
 4-23-15

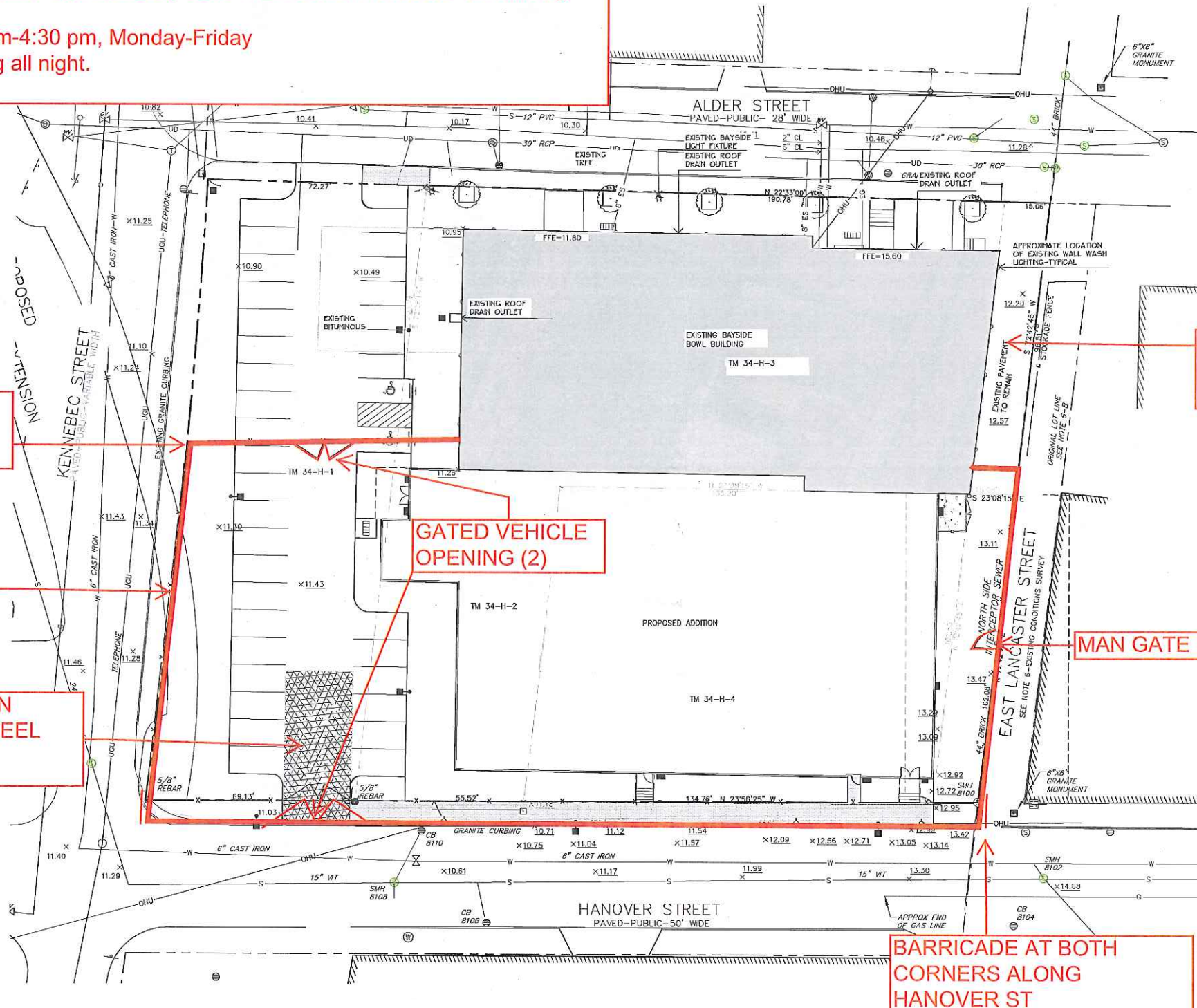
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Title:  
 CONSTRUCTION  
 MANAGEMENT PLAN



North:

Sheet No.: **A**



REFLECTOR POSTS  
 AT CORNERS-  
 TYPICAL

CONSTRUCTION  
 FENCING

CONSTRUCTION  
 ENTRANCE-WHEEL  
 WASH AREA

GATED VEHICLE  
 OPENING (2)

MAN GATE

TEMPORARY  
 TRASH BIN  
 LOCATION

BARRICADE AT BOTH  
 CORNERS ALONG  
 HANOVER ST























