

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 100044

PERMIT ISSUEDPlease Read
Application And
Notes, If Any,
Attached

This is to certify that Skillful Re Llc /Zachau Construction, Inc.

has permission to Interior demolition only

AT 58 Alder St

CB 034 H002001

JAN 19 2010

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise covered-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Director Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0044	Issue Date:	CBL: 034 H002001
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Location of Construction: 58 Alder St	Owner Name: Skillful Re Llc	Owner Address: Po Box 2	Phone:
Business Name:	Contractor Name: Zachau Construction, Inc.	Contractor Address: PO Box 1185 US Route One Freeport	Phone: 2078659925
Lessee/Buyer's Name: Bowl Portland, LLC	Phone: 207-712-1511	Permit Type: Demolitions - Interior	Zone: B-7
Past Use: Commercial	Proposed Use: Bowling Alley / Interior demolition only (connected to permit # 091408)	Permit Fee:	Cost of Work: \$30.00
Proposed Project Description: Interior demolition only		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied Signature: <i>[Signature]</i>	INSPECTION: Use Group: A-3 Type: 3B Signature: <i>[Signature]</i> IBC 2005
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____	
Permit Taken By: gg	Date Applied For: 01/19/2010	Zoning Approval	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 1/19/10	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 1/19/10
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PERMIT ISSUED

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City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0044	Date Applied For: 01/19/2010	CBL: 034 H002001
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Location of Construction: 58 Alder St	Owner Name: Skillful Re Llc	Owner Address: Po Box 2	Phone:
Business Name:	Contractor Name: Zachau Construction, Inc.	Contractor Address: PO Box 1185 US Route One Freeport	Phone (207) 865-9925
Lessee/Buyer's Name Bowl Portland, LLC	Phone: 207-712-1511	Permit Type: Demolitions - Interior	

Proposed Use: Bowling Alley / Interior demolition only (connected to permit # 091408)	Proposed Project Description: Interior demolition only
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Dept: Zoning	Status: Approved	Reviewer: Tammy Munson	Approval Date: 01/19/2010
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Approved under permit number 091408.			
Dept: Building	Status: Approved with Conditions	Reviewer: Tammy Munson	Approval Date: 01/19/2010
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) The permit is for interior demolition only. It does not authorize any construction activities.			
2) Approved under permit number 091408.			

PERMIT ISSUED

JAN 19 2010

City of Portland



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>58 Alder St.</u>		
Total Square Footage of Proposed Structure/Area <u>16083 sq ft</u>	Square Footage of Lot <u>24547 sq ft</u>	Number of Stories <u>1 1/2</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>34 H1 2</u>	Applicant * <u>must be owner, Lessee or Buyer*</u> Name <u>Bowl Portland LLC</u> Address <u>161 Congress St</u> City, State & Zip <u>Portland ME 04101</u>	Telephone: <u>207 712 1511</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>Ross Furman</u> Address <u>Po Box 2</u> City, State & Zip <u>Portland ME 04112</u>	Cost Of Work: \$ <u>540000 -</u> C of O Fee: \$ _____ Total Fee: \$ <u>30 -</u>
Current legal use (i.e. single family) <u>merchandise/business</u> Number of Residential Units <u>0</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>A2 A3 business</u> Is property part of a subdivision? <u>no</u> If yes, please name _____ Project description: <u>Bowling alley - interior demolition only</u>		
Contractor's name: <u>Zachary Construction</u> Address: <u>1185 US Rt One Po Box J</u> City, State & Zip <u>Freeport ME 04032</u> Telephone: <u>207 865 9925</u> Who should we contact when the permit is ready: _____ Telephone: _____ Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

CONSTRUCTION MANAGEMENT + PROJECT MANAGEMENT

P.O. BOX 661
253 MAIN STREET
YARMOUTH, ME 04096
TEL 207-846-8875
FAX 846-8981
MOBILE 831-1180
E-MAIL eprojec1@maine.rr.com

DALE AKELEY PROJECT RESOURCES, INC.

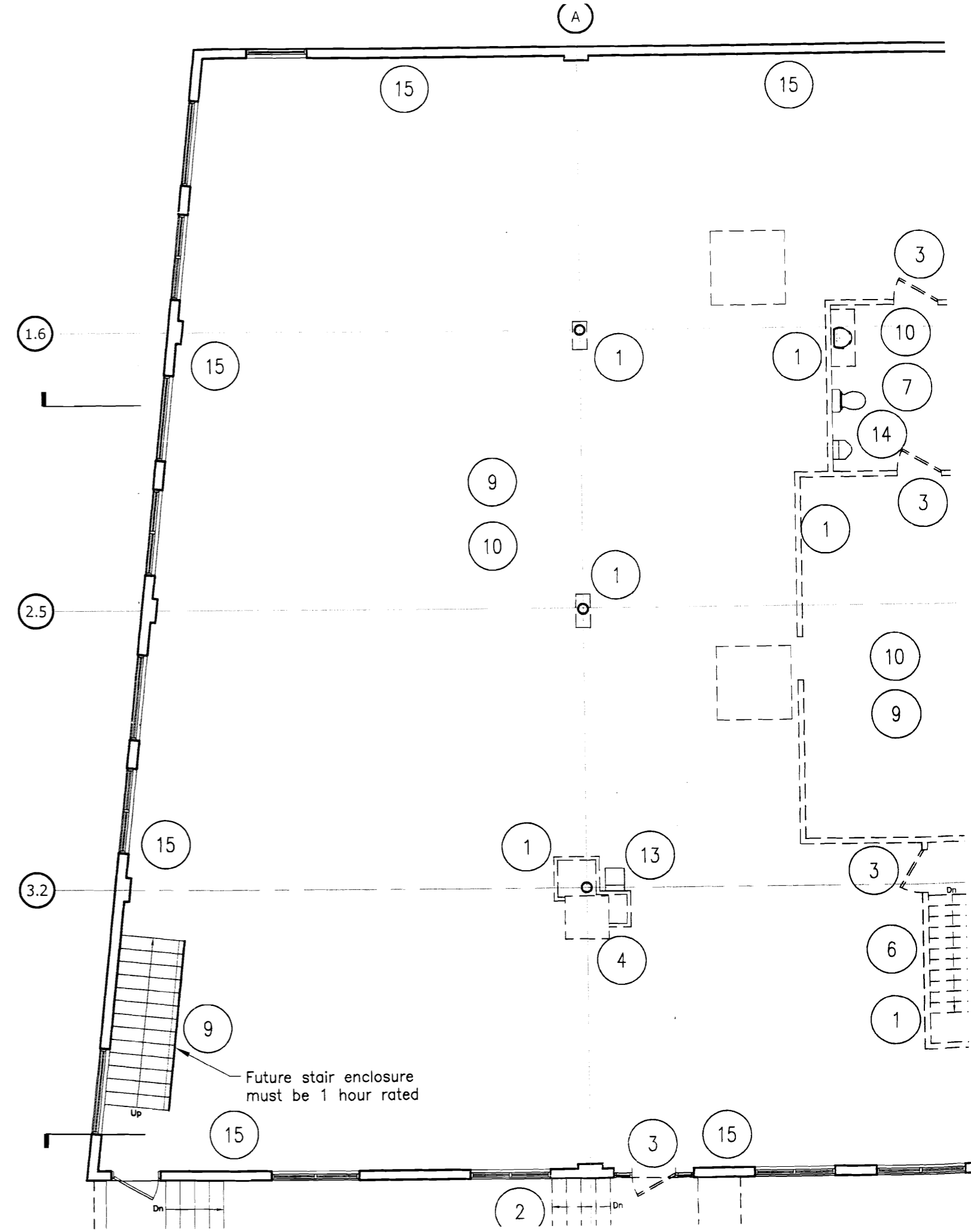
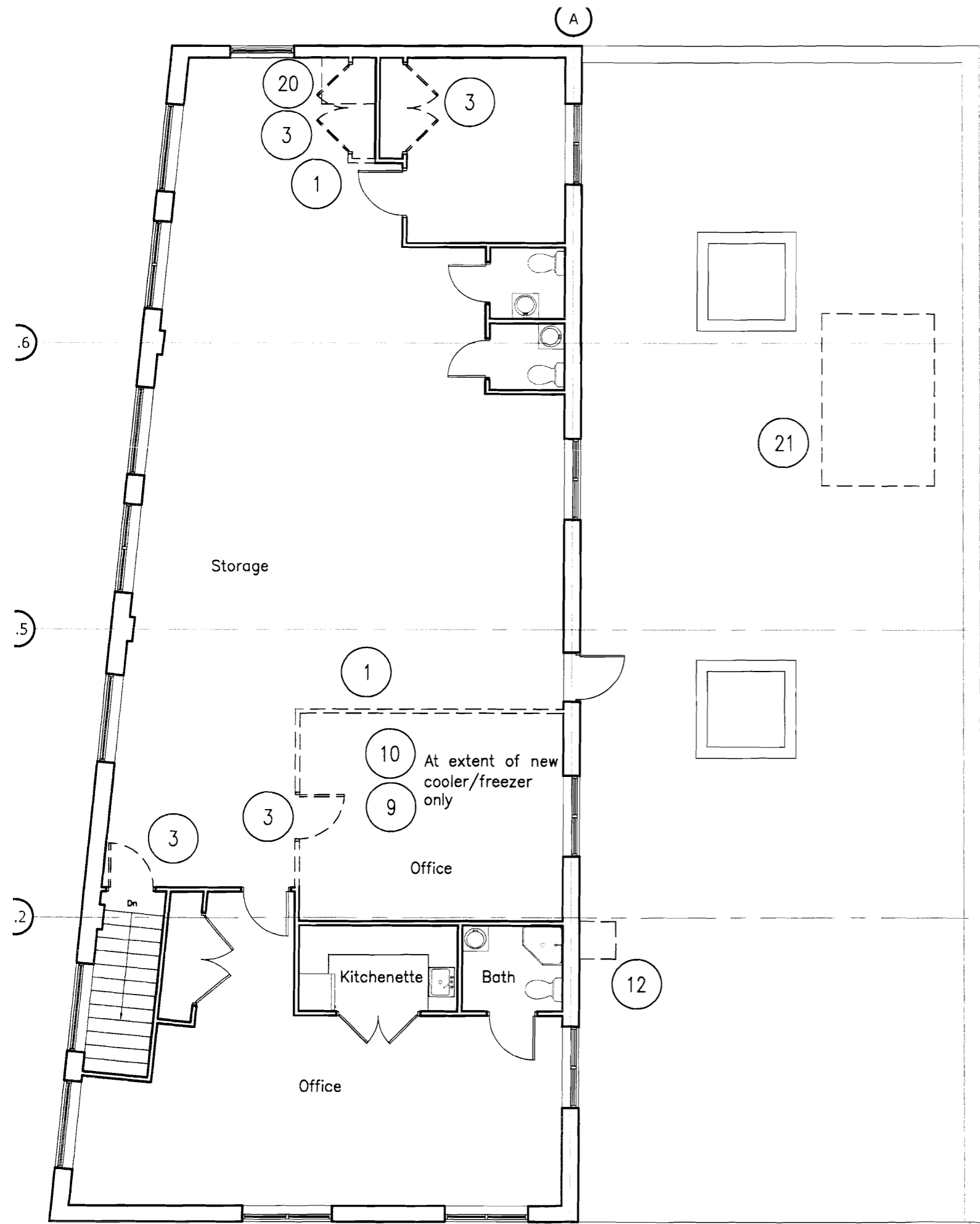
scope of the project, the Planning and Development Department
nce of a permit. For further information or to download copies of
Division on-line at www.portlandmaine.gov, or stop by the Inspections

ied property, or that the owner of record authorizes the proposed work and
plication as his/her authorized agent. I agree to conform to all applicable
described in this application is issued, I certify that the Code Official's
r all areas covered by this permit at any reasonable hour to enforce the

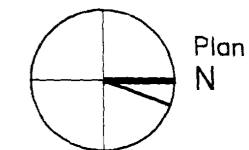
Signature: [Signature]

Date: 1-19-10

This is not a permit; you may not commence ANY work until the permit is issue



100 Front Street
Top Floor
Bath Maine US 04530
207.671.6819
info@daymatero.com



Consultants
Casco Bay Engineering
Structural Engineer

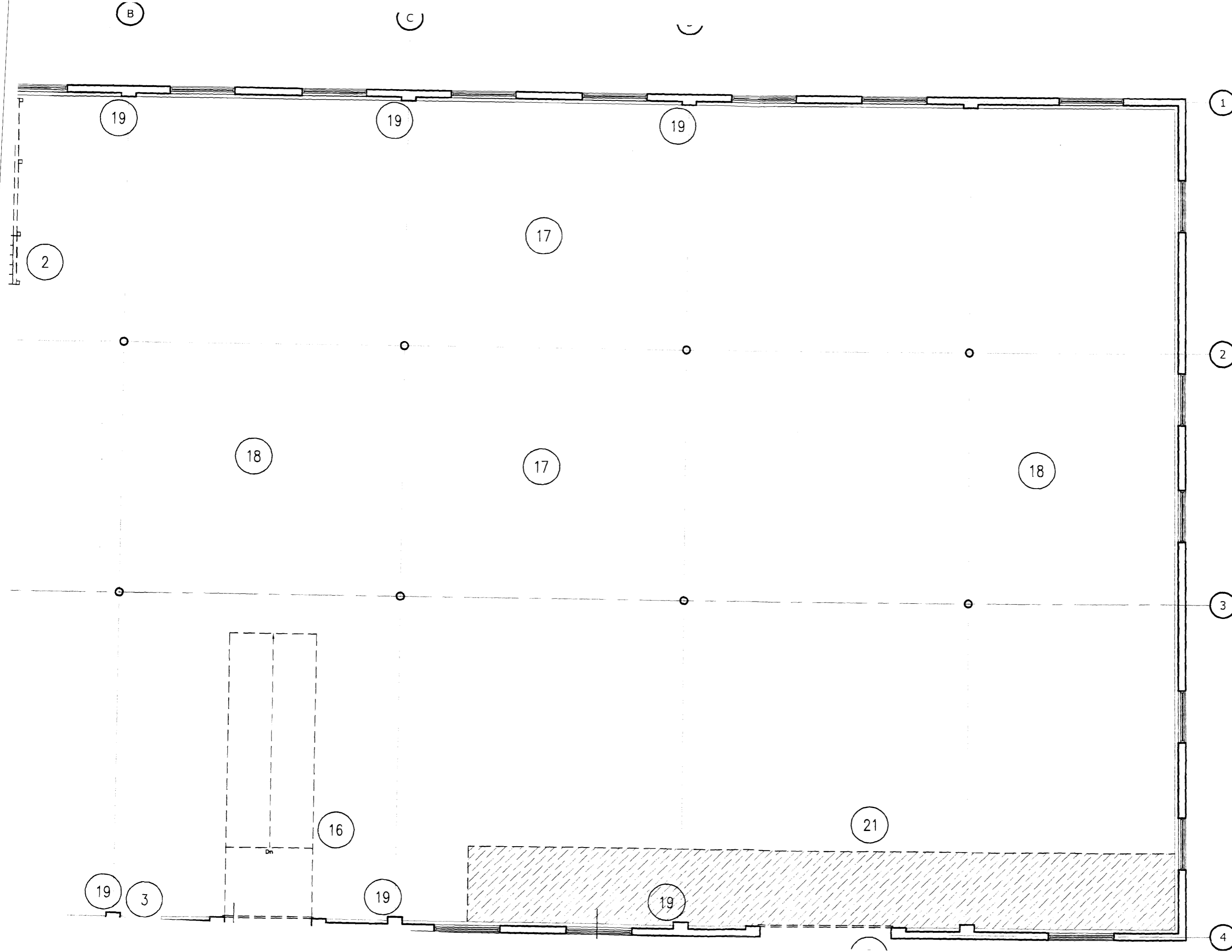
Casco Bay Engineering
Civil Engineer

TJM Consulting
Food Service

Urban Dwellings
Interior Design

Revisions

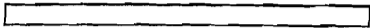

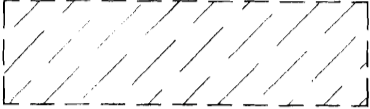
Portland
Portland, Maine



GENERAL DEMOLITION NOTES

1. The Contractor is responsible for scheduling, sequencing, and coordination of demolition work.
2. Contractor to protect floor finishes when noted to remain and shall be responsible for damages.
3. This drawing shows general items of selected demolition and is not intended to show all cutting and patching of items required to accommodate new work.
4. All removed materials are to be disposed of properly.
5. Maintain structural and weather tight integrity throughout demolition.
6. Provide openings in existing walls, floors, and ceilings for new penetrations. Any structural members must be reviewed for new penetrations by a Structural Engineer.
7. Firestopping of penetrations through rated walls, floors and ceilings (if any) shall match partition assembly ratings. Firestopping of penetrations shall be the responsibility of the Contractor installing the work and demolition.
8. The Contractor, Mechanical, Electrical, Fire Projects, and Plumbing subcontractors shall be responsible for the coordination and removal of existing equipment to be reused and removed. The MEP and Fire Protection design is considered Design-build.
9. New roof penetrations shall be coordinated with the Contractor and shall remain weather tight.
10. Remove electrical fixtures and equipment throughout the first floor.
11. Remove mechanical and plumbing equipment throughout the first floor.
12. Remove all existing building mounted light fixtures.

DEMOLITION LEGEND

	Existing
	Existing
	Concrete removed insulation refer to

First Floor Demolition Plan

Scale: 1/8" = 1'-0"

KEYED DEMOLITION NOTES

- 1 Remove existing partition. See Arch for extent of removal.
- 2 Remove existing brick or metal step railings
- 3 Remove existing door(s), frame and
- 4 Remove existing brick chimney
- 5 Remove existing canopy system
- 6 Remove existing stairs and stair par
- 7 Remove existing tile flooring
- 8 Remove existing garage door, hardw accessories
- 9 Remove existing carpet and pad
- 10 Remove existing acoustical tile ceiling light fixtures
- 11 Existing barn door and hardware to
- 12 Remove portion brick wall for new o
- 13 Remove drinking fountain
- 14 Remove existing plumbing fixtures ar and piping
- 15 Remove existing wood paneling
- 16 Remove existing concrete ramp
- 17 Remove existing paper product on e: board sheathing
- 18 Remove existing warehouse lighting f
- 19 Remove existing paint off brick, refe dwgs. for extent
- 20 Remove portion of existing floor for vent shaft
- 21 Remove portion of existing concrete