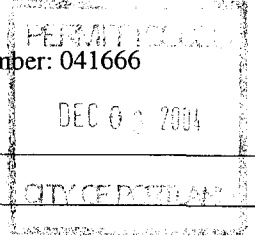


# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

## BUILDING INSPECTION

### PERMIT

Permit Number: 041666



Please Read Application And Notes, If Any, Attached

This is to certify that 87 Marginal Way Llc /Barlo ns  
has permission to Add signs for New Eastern Mountain Sports Store  
AT 87 Marginal Way 034 D007001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. **HEAR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

#### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*[Signature]*  
12/3/04  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1666	Issue Date:	CBL: 034 D007001
-----------------------	-------------	---------------------

Location of Construction: 87 Marginal Way	Owner Name: 87 Marginal Way Llc	Po Box 7525
Business Name:	Contractor Name: Barlo Signs	Contractor Address: 155 Maine Mall Road South Portland
Lessee/Buyer's Name	Phone:	Phone 2078429002
		Permit Type: Signs - Permanent
		Zone: B5

Past Use: Commercial / Eastern Mountain Sports	Proposed Use: Commercial / Add signs for New Eastern Mountain Sports Store	Permit Fee: \$650.00	Cost of Work: \$649.00	CEO District: 1
---	---	-------------------------	---------------------------	--------------------

FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: <i>U</i> Type: <i>Sign</i> <i>IBC 2003</i>
---	---

Proposed Project Description: Add signs for New Eastern Mountain Sports Store -- <i>Sign 'D' on rear has been eliminated from this application because it is not</i>	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
--	----------------------------------	----------------------------------

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied	Signature: <i>[Signature]</i>	Date:
--	----------------------------------	-------

Permit Taken By: Idobson	Date Applied For: 11/05/2004 <i>part of the tenet from age</i>	<b>Zoning Approval</b>
-----------------------------	---	------------------------

<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Revi</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Mjnc <input type="checkbox"/> MM <input type="checkbox"/> <i>ok with conditions</i> Date: <i>8/2/04</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
---	--	--	--

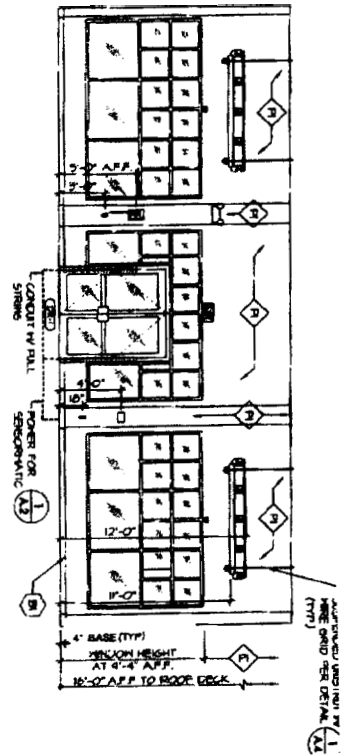
**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

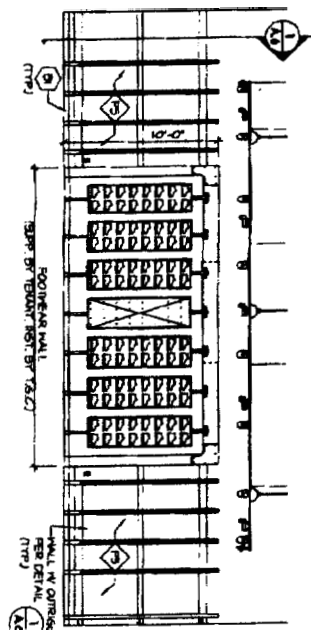
\_\_\_\_\_  
SIGNATURE OF APPLICANT ADDRESS DATE PHONE

\_\_\_\_\_  
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

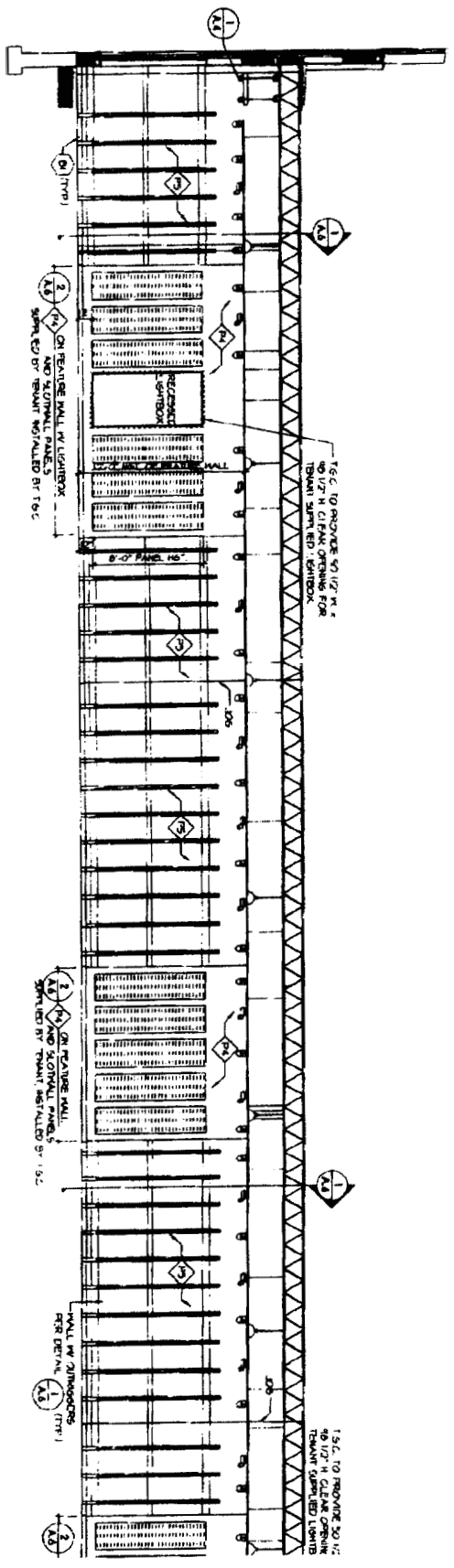




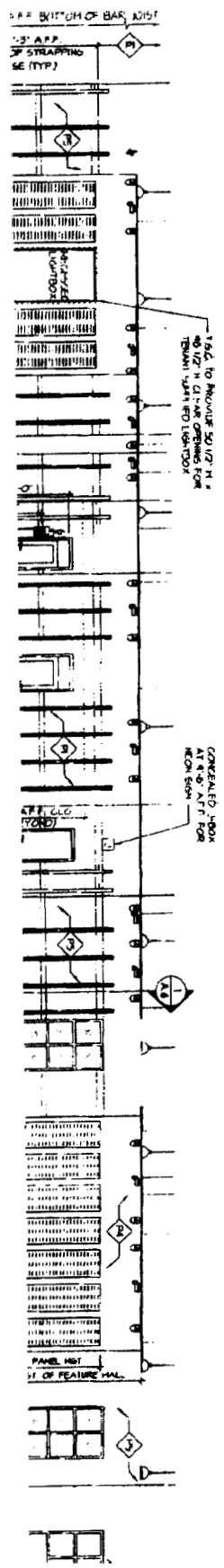
1) Elevation  
SCALE: 1/8" = 1'-0"



2) Elevation  
SCALE: 1/8" = 1'-0"



3) Elevation  
SCALE: 1/8" = 1'-0"



4) Elevation  
SCALE: 1/8" = 1'-0"

**Table 2.8 Sign Regulations by Zone**

**Downtown Business (B-3), Urban Commercial (B-5), Waterfront Central (WC) and Waterfront Special Use (WSU) Zones**

\* Signs located on individual landmark properties or within historic districts, P.A.D. overlay districts or P.A.D. encouragement areas shall, in addition to the provisions herein, be subject to article IX of this Code or the downtown urban design guidelines, as applicable. Where the design guidelines are more restrictive than these regulations, the design guidelines shall supercede the otherwise applicable dimensional standards.

\* Freestanding signs shall be allowed only if the front facade of the building (or individual tenant's/tenant's frontage in the case of a multi-tenant building) is set back a distance of at least 20 feet from either of the front facades of the abutting buildings (or other tenants' frontage in the same multi-tenant building).

Freestanding Signs *\* see restrictions on Penn Sub 2*

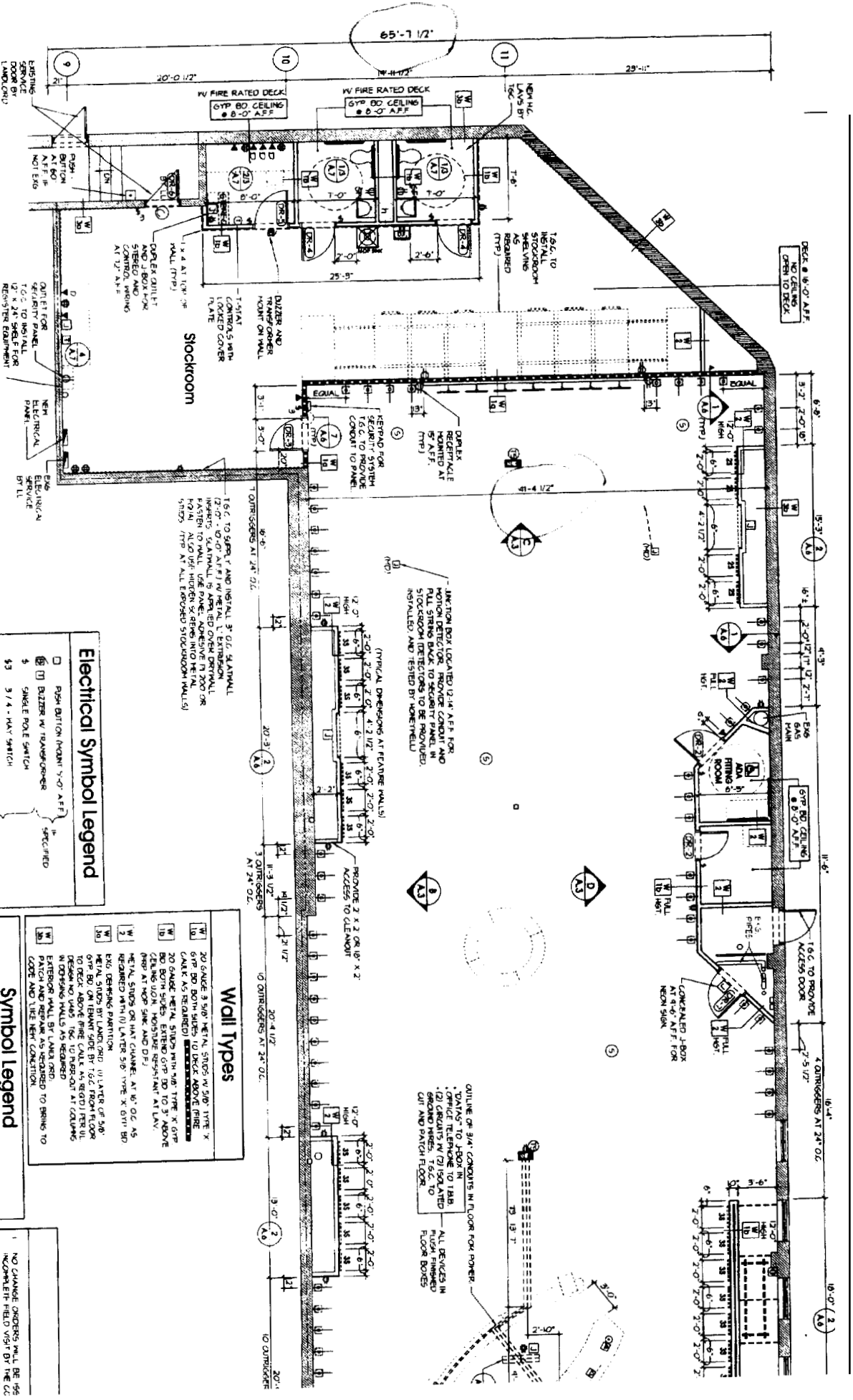
	Single & Multi-tenant Buildings
Area	16 sq. ft.
Height	6 ft.
Minimum Setback	5 ft.
# Freestanding signs per lot	1 per abutting street



**Building Signs**

	Single Tenant Buildings	Multi-Tenant Buildings	
		Bldg. ID Sign and/or Upper Floor Tenant Signs	Ind. Ground Floor Tenant Signs
Maximum cumulative permitted, area of all building signs	na	na	na
Sq. ft. per linear ft. of bldg. facade on which sign will be placed	2 sq. ft.	na	2 sq. ft. per ft. of tenant's building frontage
Maximum % of wall area on which sign(s) is(are) to be placed	na	5%	na
# bldg. signs permitted per lot	1 per facade + 1	1 per facade + 1 per tenant	1 per tenant (a)

(a) If individual tenant fronts on more than one street, one additional building sign is permitted for each additional frontage.



**Construction and General Electrical Plan**

SCALE 3/16" = 1'-0"



**Electrical Symbol Legend**

- PUSH BUTTON (NOMINAL 1/2" AFF)
- PUSH BUTTON (NOMINAL 1/2" AFF) SPECIFIED
- SWITCH IN TRANSFORMER
- SINGLE POLE SWITCH
- 3/4" X 1/2" SWITCH
- QUADPLEX WALL RECEPTACLE
- ORDER WALL RECEPTACLE
- CASH REGISTER RECEPTACLE
- FLOOR DIM HT
- CEILING OUTLET (OK ON FASCIA)
- TOG TO PAINT
- JUNCTION BOX (HND) HORIZONTAL DETECTOR
- TELEPHONE
- DATA LINE
- TELEPHONE AIR OUTLET
- DATA AIR DIM HT
- SECURITY SYSTEM DOOR CONTACT

**Wall Types**

- W 20 GAUGE 3.50" METAL STUDS W 5/8" TYPE X GYP BO BOTH SIDES TO DECK ABOVE FIRE CHALK AS REQUIRED
- W 20 GAUGE METAL STUDS WITH W/8 TYPE X GYP BO BOTH SIDES EXTEND GYP BO TO 3" ABOVE CEILING JOINT. MOISTURE RESISTANT AT JLV.
- W METAL STUDS ON HAN GYPSUM AT 6" O.C. AS REQUIRED WITH (1) LAYER 5/8" TYPE X GYP BO
- W EXO DRAINING PARTITION WALL WITH 1/2" LAYER OF 5/8" GYP BO ON BOTH SIDES TO DECK FROM FLOOR TO DECK ABOVE FIRE CHALK AS REQD PER UL DESIGN NO. U465 (6" TO RISE-OUT AT COLUMNS IN DIVISION WALLS AS REQUIRED)
- W EXTERIOR WALL BY LABOR (PDR PATCH AND TILE PER CONDITION)

**Symbol Legend**

- ① DETAIL NUMBER
- ② DETAIL SYMBOL
- ③ DRAWING NUMBER
- ④ ELEVATION LETTER
- ⑤ ELEVATION 5'-0" BOX
- ⑥ DRAWING NUMBER
- ⑦ REVISION SYMBOL
- ⑧ REVISION NOTE
- ⑨ DETAIL SYMBOL
- ⑩ SECTION SYMBOL
- ⑪ WALL TYPE SYMBOL
- ⑫ WALL TYPE NUMBER

- 1 NO CHANGE ORDERS WILL BE ISSUED UNLESS FIELD VISIT BY THE CC
- 2 NO WORK SHALL COMMENCE OR CANCELLED WITHOUT WRITTEN AUTHORIZATION
- 3 DO NOT SCALE DRAWINGS
- 4 ALL DOOR AND OPENING LOCATIONS NOTED BY THE ARCHITECT IMMEDIATELY
- 5 DIMENSIONS NOTED AS CLEARANCE SHALL INCLUDE CASSETT, CABINET, ETC.
- 6 DIMENSIONS NOTED AS HOLD ARE TO FINISHING
- 7 ALL DIMENSIONS ARE TO THE FACE UNLESS NOTED OTHERWISE
- 8 COLUMN CENTERLINE FOR GRID LINES IN FIELD

(E)

(D)

(C)

11A-16

11.8.1.1

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 04-1666	<b>Date Applied For:</b> 11/05/2004	<b>CBL:</b> 034 D007001	
<b>Location of Construction:</b> 87 Marginal Way	<b>Owner Name:</b> 87 Margmal Way Llc	<b>Owner Address:</b> Po Box 7525	<b>Phone:</b>
<b>business Name:</b>	<b>Contractor Name:</b> Barlo Signs	<b>Contractor Address:</b> 155 Maine Mall Road South Portland	<b>Phone</b> (207) 842-9002
<b>lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Signs - Permanent	
<b>Proposed Use:</b> Commercial/ Add signs for New Eastern Mountain Sports Store		<b>Proposed Project Description:</b> Add signs for New Eastern Mountain Sports Store	

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 04-1666	<b>Date Applied For:</b> 11/05/2004	<b>CBL:</b> 034 D007001
------------------------------	--	----------------------------

<b>Location of Construction:</b> 87 Marginal Way	<b>Owner Name:</b> 87 Marginal Way Llc	<b>Owner Address:</b> Po Box 7525	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Barlo Signs	<b>Contractor Address:</b> 155 Maine Mall Road South Portland	<b>Phone</b> (207) 842-9002
<b>Applicant/Ressee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b>	

<b>Proposed Use:</b> Commercial / Add signs for New Eastern Mountain Sports Store	<b>Proposed Project Description:</b> Add signs for New Eastern Mountain Sports Store
--	---

**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 12/02/2004

**Note:** 12/02/04 - denied - sign "D" is not allowable on the back of the building because it is not part of the tenant space for EMS. I left a call with Jenn at the sign company asking whether she wanted to delete that sign from the application. The permit is in my hold area - later in day, Jenn requested that the rear sign "D" be removed from the permit      **Ok to Issue:**

- 1) It is understood that the proposed rear sign "D" on the back of the building adjoining Wild Oats, has been withdrawn from this application. This sign is not part of the approval. All other requested signs are being approved.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 12/03/2004

**Note:**      **Ok to Issue:**

- 1) Signage Installation to comply with Chapter 31 of the IBC 2003 building code.



04-1589 - EMS APPROVAL

# SIGNAGE/AWNING PRE-APPLICATION QUESTIONNAIRE

PLEASE COMPLETE ALL INFORMATION

ADDRESS: 87 Marginal way ZONE: BS

CBL: 034 000 7001

SINGLE TENANT LOT? YES  NO  MULTITENANT LOT? YES  NO

MORE THAN ONE SIGN TOTAL WITH PROPOSED SIGN? YES  NO

## TENANT/ALLOCATED BUILDING SPACE FRONTAGE (FEET):

Length: A=44' C=120' B=170' D=130' → NO Height: 20' Approx

*B=65' 174' not tenant frontage - this is bldg frontage*

## INFORMATION ON PROPOSED SIGN(S):

FREESTANDING (e.g., pole) SIGN? YES  NO  DIMENSIONS PROPOSED: 9.3#

BLDG. WALL SIGN? (attached to bldg) YES  NO  DIMENSIONS PROPOSED: 75.13

## INFORMATION ON ALREADY EXISTING AND PERMITTED SIGN(S)

FREESTANDING (e.g., pole) SIGN? YES  NO  DIMENSIONS: 16' x 84' Panel

BLDG. WALL SIGN(attached to bldg) ? YES  NO  DIMENSIONS: \_\_\_\_\_

AWNING? YES  NO  DIMENSIONS: \_\_\_\_\_

LOT FRONTAGE (FEET): 200+ (on 2 streets)

AWNING YES  NO  IS AWNING BACKLIT? YES  NO

HEIGHT OF AWNING: \_\_\_\_\_ LENGTH OF AWNING: \_\_\_\_\_ DEPTH: \_\_\_\_\_

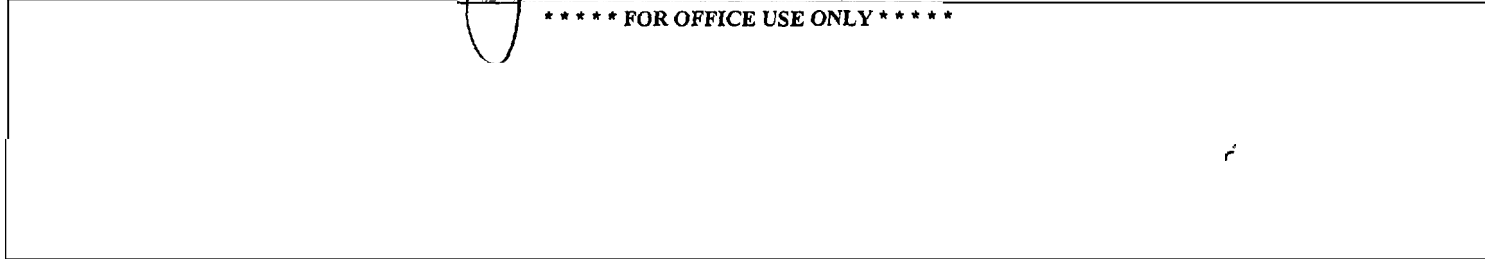
IS THERE ANY COMMUNICATION, MESSAGE, TRADEMARK OR SYMBOL ON IT? YES  NO

IF YES, TOTAL S.F. OF PANELS WITH COMMUNICATIONS/MESSAGE/TRADEMARK/SYMBOL? \_\_\_\_\_ s.f.

**A SITE SKETCH AND BUILDING SKETCH SHOWING EXACTLY WHERE EXISTING AND NEW SIGNAGE IS LOCATED MUST BE PROVIDED. SKETCHES AND/OR PICTURES OF PROPOSED SIGNAGE ARE ALSO REQUIRED.**

SIGNATURE OF APPLICANT: [Signature] DATE: 10-28-04

\*\*\*\*\* FOR OFFICE USE ONLY \*\*\*\*\*



# Signage/Awning Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

649.644 0340507001			Owner: <u>Checky monkey LLC - Yarmouth ME 04096</u>	Telephone: <u>207-846-0410</u>
Tax Assessor's Chart, Block & Lot Chart#                  Block#                  Lot#	Lessee/Buyer's Name <u>EMS</u>		Applicant name, address & telephone: <u>Barlo Signs for</u>	
Current use: <u>Commercial</u>			for H.D. signage = Total Fee: \$619.64 + 30 = <u>649.64</u>	
If the location is currently vacant, what was prior use: _____				
Approximately how long has it been vacant: _____				
Proposed use: <u>New Signs</u>				
Project description: <u>(A) wall - 75.13H (B) wall - same (C) wall (same) (D) wall same (E) Vinyls for existing</u>				
Contractor's name, address & telephone: <u>800-227-5674 (333) Pylon Face</u>				
Whom should we contact when the permit is ready: <u>Jenn</u>				
Mailing address: <u>158 Greeley St Hudson NH 03051</u>				
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A STOP WORK ORDER will be issued and a \$100.00 fee if any work starts before the permit is picked up.      PHONE:				

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT. WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: <u>Michael</u>	Date: <u>10-28-0</u>
--	----------------------

**This is NOT a permit, you may not commence ANY work until the permit is issued.**

Attention Town/City of \_\_\_\_\_  
Street address: \_\_\_\_\_  
City/State/Zip: \_\_\_\_\_

Date: October 22, 2004

**- Landlord Authorization Form -  
FORM MUST BE SIGNED BY OWNER OF PROPERTY**

As owner of 87 Marginal Way Portland, Me.  
(Property Address)

I hereby authorize Jennifer Robichaud / Kris Loughlin / Carol Bugbee / Hazel Hopkins,  
or an authorized representative of Barlo Signs of Hudson, NH, to APPLY FOR SIGN  
PERMITS for this site.

Owner's Signature: [Signature]  
(Owner)

Owner's Printed Name: Peter Anastus

Owner's Address: 121 Main St. Yarmouth, Me. 04096

As owner of 87 Marginal Way, Portland, Me.  
(Property Address)

I hereby authorize Jenn Robichaud or Authorized Representative of Barlo Signs of  
Hudson, NH, to APPEAR BEFORE THE PLANNING BOARD and/or SIGN REVIEW  
BOARD and/or the ZBA for this site.

Owner's Signature: [Signature]  
(Owner)

Owner's Printed Name: Peter Anastus

Owner's Address: 121 Main St., Yarmouth, Me. 04096

Reference JOB NAME: EMS -  
Portland ME

Reference Job No: 68313

We cannot apply for **permits** or **hearings** until we receive your  
**authorization**. PLEASE, (1) FAX BACK to fax # 603-882-7680,  
Attn: Kathy soucy  
AND (2) MAIL ORIGINAL TO:  
Barlo Signs, 158 Greeley Street, Hudson, NH 03051.  
*If you have any questions, please call me et 1-800-227-5674 ext. 339*

**THANKYOU!**

# ACORD™ CERTIFICATE OF LIABILITY INSURANCE

09/04/2005

DATE (MM/DD/YY)  
10/26/2004

PRODUCER  
Lockton Companies  
444 W. 47th Street, Suite 900  
Kansas City Mo 64112-1906  
(816) 960-9000

**THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.**

## INSURERS AFFORDING COVERAGE

INSURED  
1058059 Eastern Mountain Sports, Inc.  
Steve Brooks  
One Voss Farm Road  
Peterborough NH 03458

INSURER A : LEXINGTON (CRC)

INSURER B : HARTFORD

INSURER C :

INSURER D :

INSURER E :

## COVERAGES ZU

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOW

VSRT	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	<b>GENERAL LIABILITY</b>	7007666	09/04/2004	09/04/2005	EACH OCCURRENCE \$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				FIRE DAMAGE (Any one fire) \$ 50,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUP				MED EXP (Any one person) \$ XXXXXXXX
					PERSONAL & ADV INJURY \$ 1,000,000
					GENERAL AGGREGATE \$ 2,000,000
GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC					PRODUCTS - COMP/OP AGG \$ 2,000,000
B	<b>AUTOMOBILE LIABILITY</b>	10UENTS7380	09/04/2004	09/04/2005	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000
	<input checked="" type="checkbox"/> ANY AUTO				BODILY INJURY (Per person) \$ XXXXXXXX
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident) \$ XXXXXXXX
	<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident) \$ XXXXXXXX
<input type="checkbox"/> HIRED AUTOS					
<input type="checkbox"/> NON-OWNED AUTOS					
<b>GARAGE LIABILITY</b>		NOT APPLICABLE			AUTO ONLY EA ACCIDENT \$ XXXXXXXX
<input type="checkbox"/> ANY AUTO					OTHER THAN AUTO ONLY EA ACC AGG \$ XXXXXXXX
					\$ XXXXXXXX
	<input checked="" type="checkbox"/>	7021627	09/04/2004	09/04/2005	EACH OCCURRENCE \$ 5,000,000
	RETENTION \$				AGGREGATE \$ 5,000,000
					\$
					\$
					\$ XXXXXXXX
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	WC834007	09/04/2004	09/04/2005	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER
					E.L. EACH ACCIDENT \$ 500,000
					E.L. DISEASE EA EMPLOYEE \$ 500,000
					E.L. DISEASE POLICY LIMIT \$ 500,000
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS  
COMP/COLLISION DEDUCTIBLES: \$1,000/\$,000 ALL VEHICLES EXCEPT \$2,000/2,000 FOR TRACTOR AND \$500/500 FOR TRAILERS. Store Location: #29 Eastern Mountain Sports. 87 Marginal Way, Portland, ME, 04101, City of Portland is additional insured as required by written contract.

## CERTIFICATE HOLDER

2130724  
City of Portland  
389 Congress Street  
Room 315 City Hall  
Portland ME 04101

## CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR

REPRESENTATIVES  
AUTHORIZED REPRESENTATIVE



# NEON CHANNEL LETTERS FACE-LIT - REMOTE TRANS.

© COPYRIGHT 2000 THE BARLOGROUP  
 Last Rev. Date: 9-18-00 /// by J. Anderson



MTG. TO EXISTING DLOCK WALL W/ 3/8" THREADED-ROD & CONCRETE ANCHORS

HIGH VOLTAGE SPLICE CONNECTOR FOR LETTER TO LETTER JUMPS

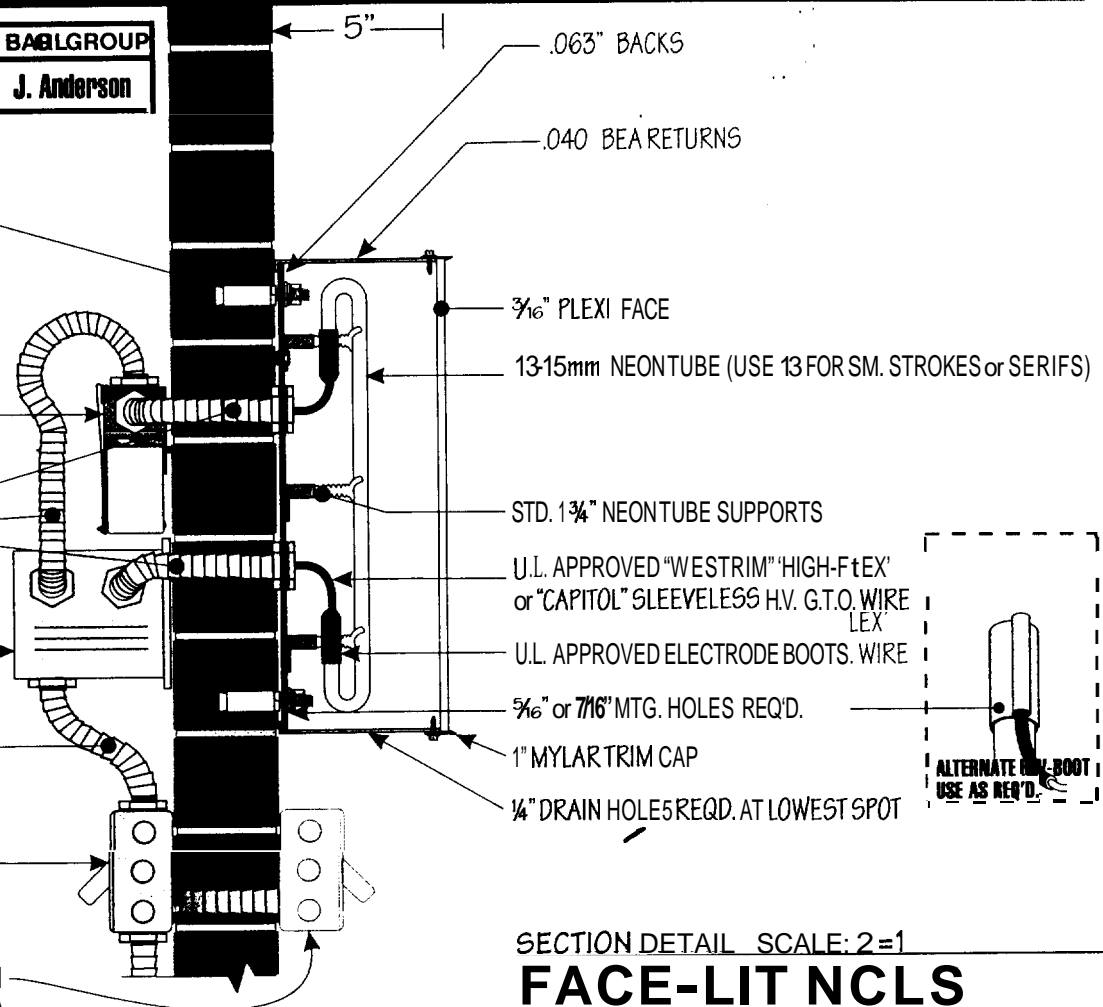
H. V. LEADS (GTO) THRU BX CONDUIT (36" WHIPS REQ'D.)

TRANSFORMER BOX

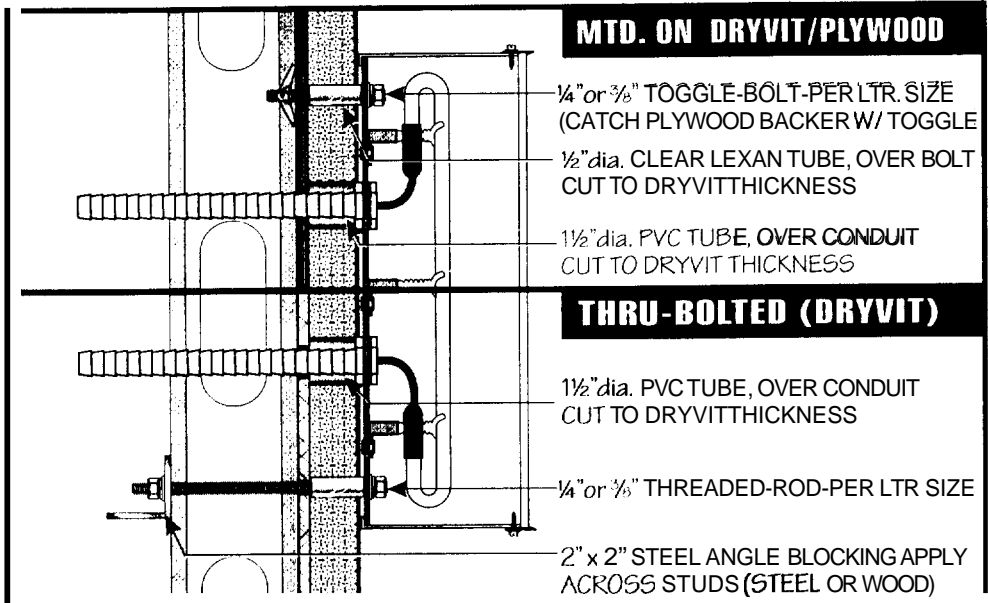
1/2" BX CONDUIT-CONTAINS PRIMARY POWER FROM CLIENT SUPPLIED SOURCE

SWITCHED 'HANDY-BOX' AT TERMINATION OF CLIENT SUPPLIED ELEC. SOURCE

NOTE: REQ'D. TO BE MOUNTED CENTER OF SIGNAGE ON EXTERIOR OF BLDG., IN A WEATHER-TITE 'J'-BOX (CODE)



SECTION DETAIL SCALE: 2=1  
**FACE-LIT NCLS**



SECTION DETAIL  
 MOUNTING TECHNIQUES  
 (ENG. FOR WINDS UP TO 100 MPH)

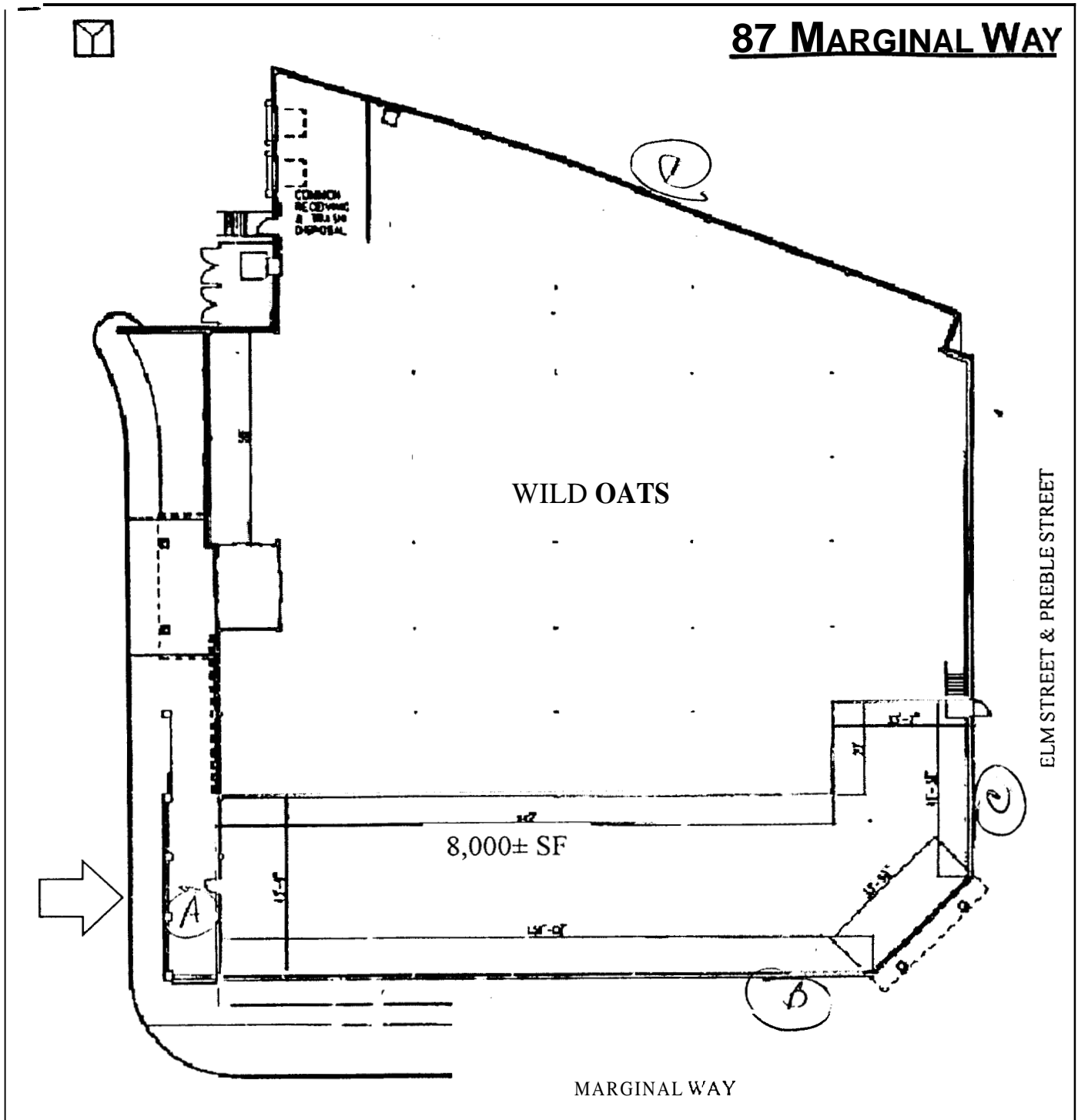
NOTE: SAME ELECTRICAL CONFIGURATION WILL BE UTILIZED [AS ABOVE]

## BARLO SIGNS

158 Greeley St., Hudson, NH 03051  
 (603) 882-2638 Fax (603) 882-7680

B -

# 87 MARGINAL WAY



<b>ADDRESS:</b>	87 Marginal Way Portland, ME 04101	<b>PARKING:</b>	1137± paved spaces
<b>ZONE:</b>	B-5 (Urban & Commercial Mixed Use Zone)	<b>LEASE RATE:</b>	\$15.00/PSF Triple Net (NNN)
<b>FRONTAGE:</b>	1505' on Marginal Way	<b>NNN EXPENSES:</b>	Budget to be made available
<b>AVAILABLE SPACE:</b>	8,000± SF	<b>TERM:</b>	5 Years
<b>SUBDIVIDABLE:</b>	Potential to subdivide to 5,000 SF	<b>SIGNAGE:</b>	Building
<b>BUILT:</b>	2001	<b>BROKER:</b>	Mark Malone, CCIM