

LOWER & UPPER SHOWROOMS

# SKILLFUL ENTERTAINMENT -TENENT FITOUT A UNIQUE PROPERTIES DEVELOPMENT PROJECT

137 PREBLE STREET, PORTLAND, MAINE  
OCTOBER 2009

## DRAWING LIST

|                          |                             |
|--------------------------|-----------------------------|
| COVER SHEET              | A-20 REFLECTED CEILING PLAN |
| A-01 SITE PLAN & DETAILS | A-30 AS-BUILT ELEVATIONS    |
| A-10 FLOOR PLAN          |                             |

GENERAL:  
Unique Properties  
P.O. Box 2  
Portland, ME 04112  
(207) 773.7000

MECHANICAL:  
HVAC Services  
73 Bradley Drive  
Westbrook, ME 04092  
(207) 854.4822

ELECTRICAL:  
Lotfey Electric  
59 Rainmaker Drive  
Portland, ME 04103  
(207) 773.3400

SPRINKLER:  
High Tech Fire Protection  
Hackett Mills Road  
Poland, ME 04274  
(207) 998.2551

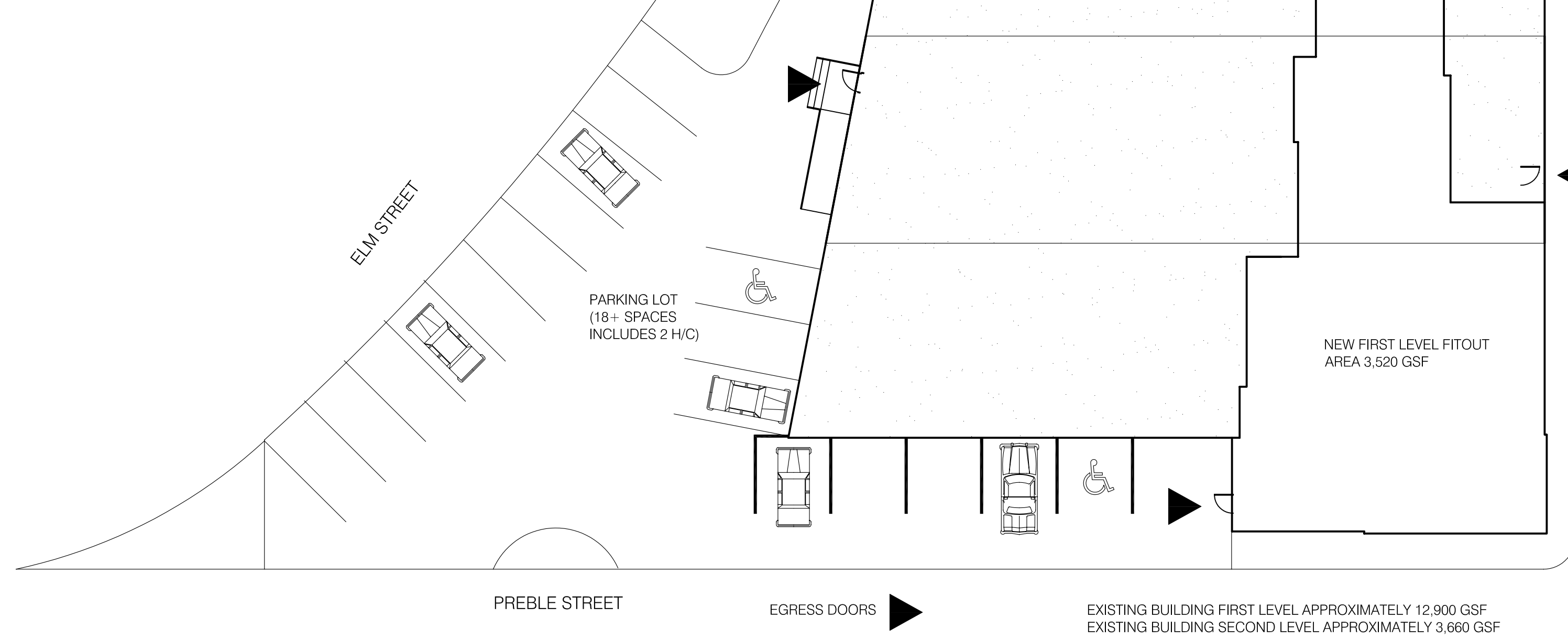
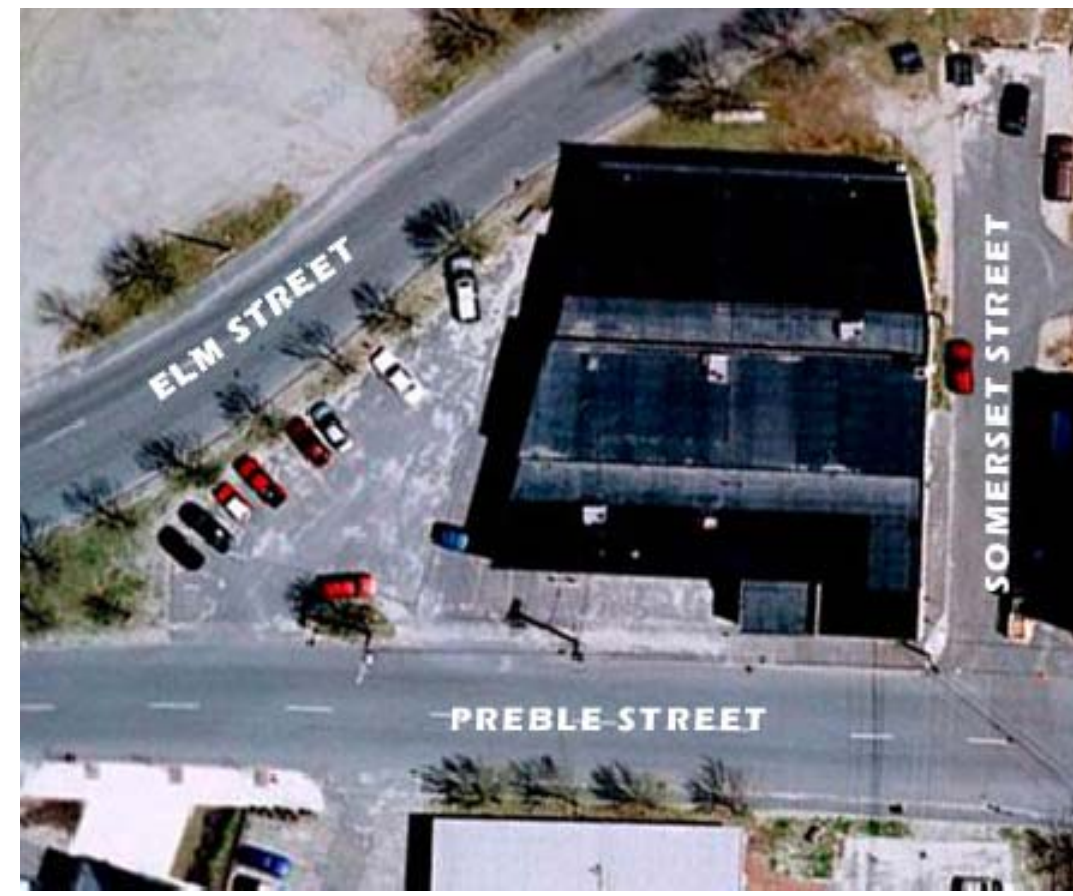
## **ARCADIA**



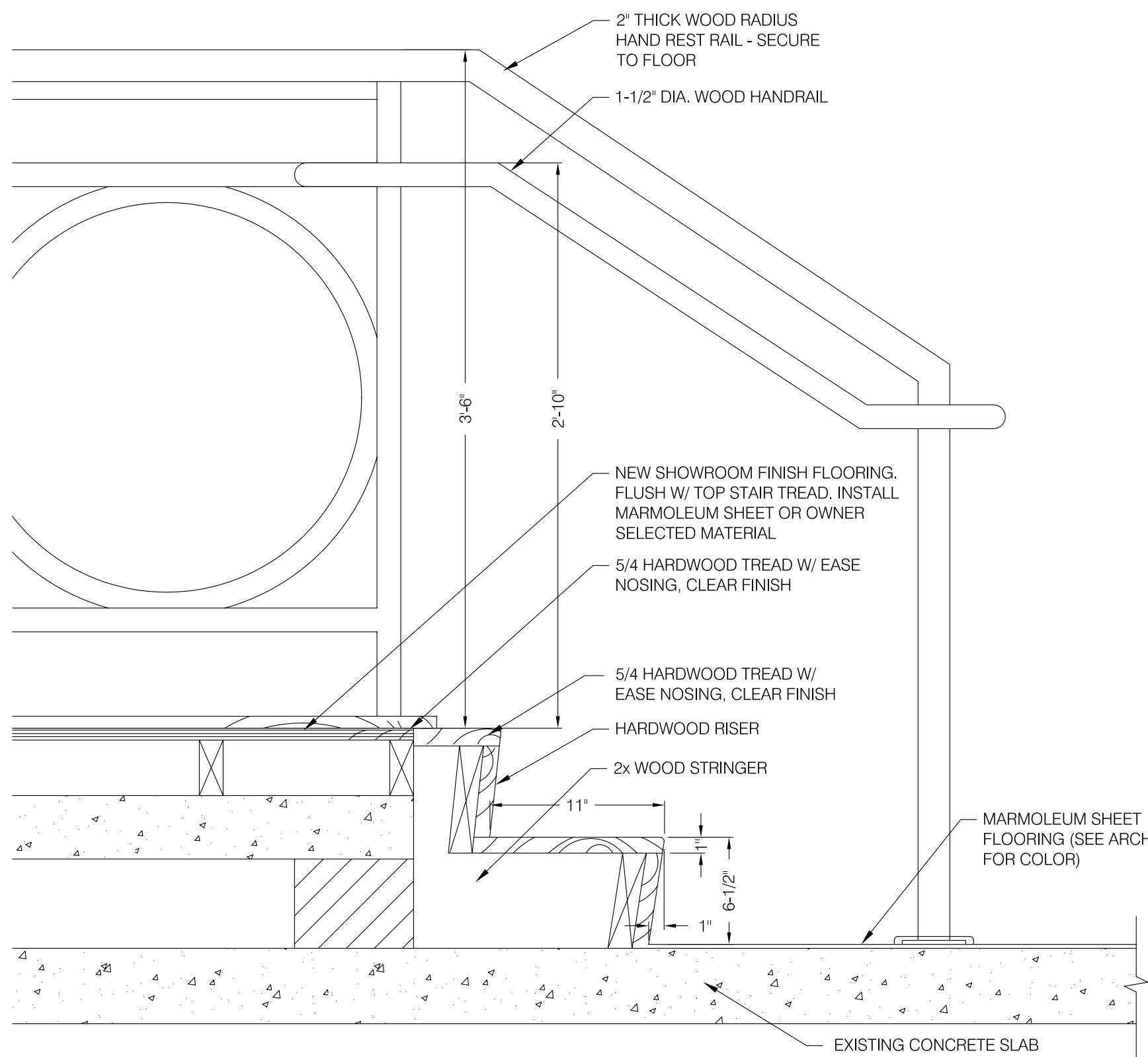
designworks LLC  
142 high street, suite 513  
portland, maine 04101  
tele: 207.347.5252

[rcadiadesignworks.com](http://rcadiadesignworks.com)

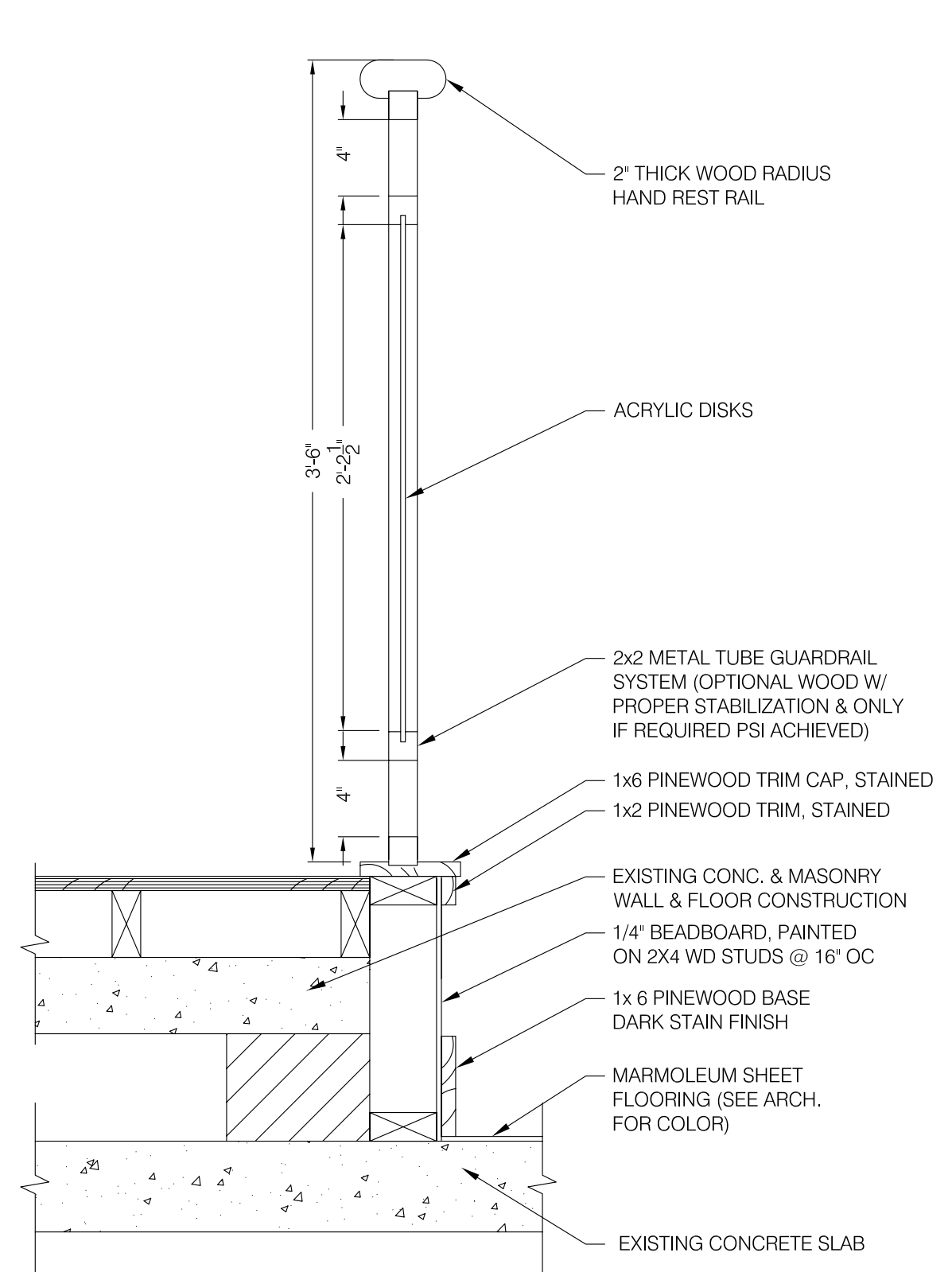




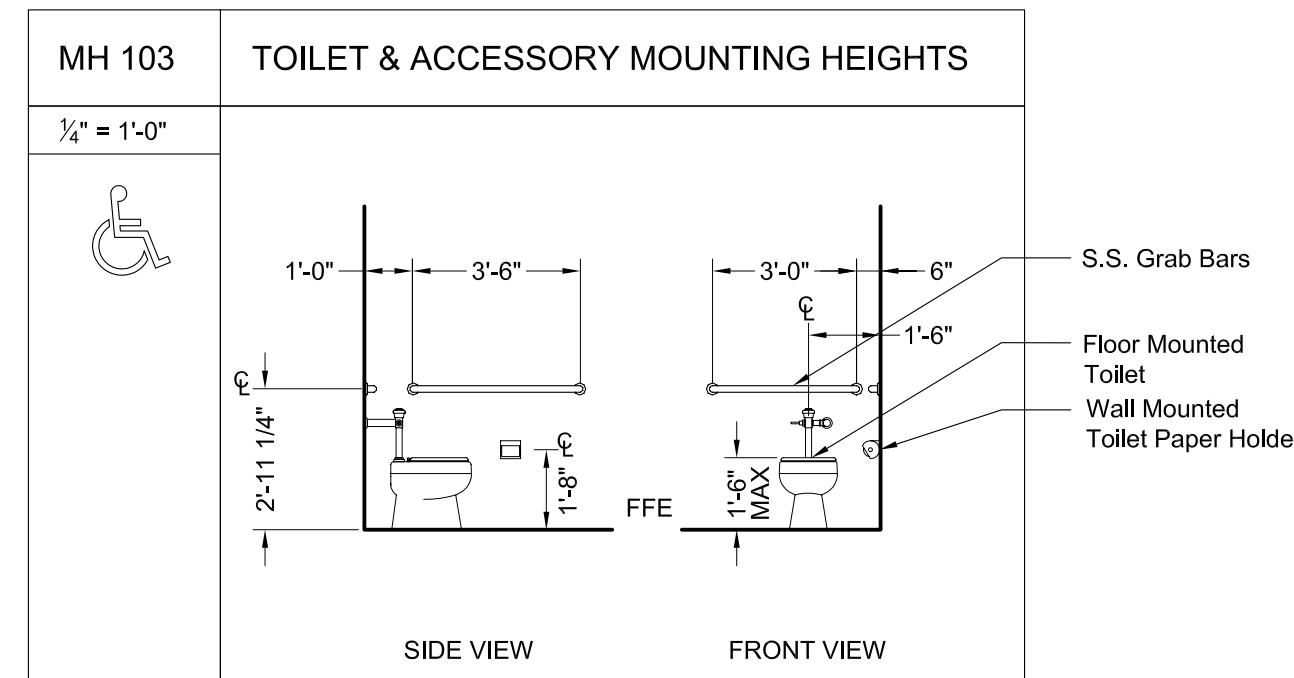
**Site Plan**  
1/16" = 1'-0"



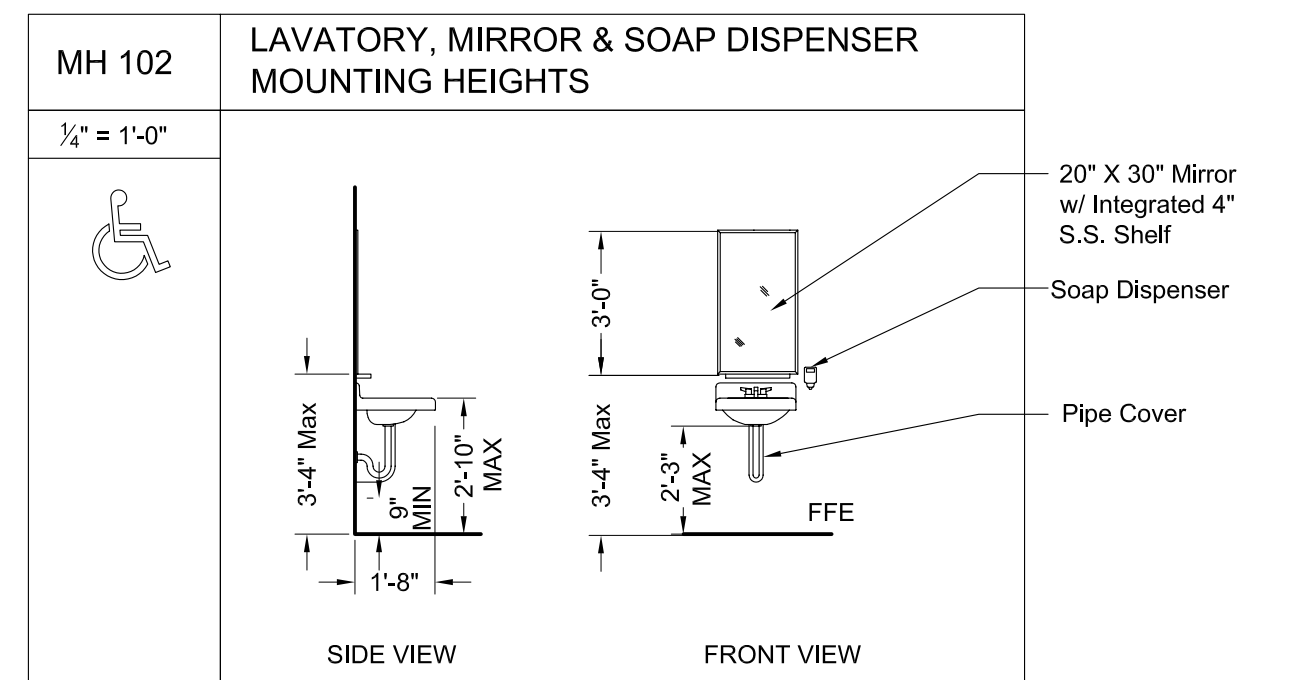
**TYPICAL STAIR TREAD & RISER**  
1-1/2" = 1'-0"



**TYPICAL GUARDRAIL DETAIL & ELEVATION**  
1-1/2" = 1'-0" [UPPER SHOWROOM]



**ADA MOUNTING HEIGHTS**



**ADA MOUNTING HEIGHTS**

**Life Safety Code Review**  
**Skillful Entertainment - Tenent Fitout**  
**137 Preble Street, Portland, Maine**

Life Safety Code- NFPA 101, 2003 & IBC 2006  
ADA- Accessibility Guidelines for Buildings and Facilities  
Project Description: Mercantile (Class C) Tenent Fitout including Showrooms, Office and Restrooms.  
Building Construction Type: Protected Type III-Ordinary

**Existing Building Gross Square Footage:** Ground Floor = 12,900 GSF.  
Second Floor = 3,660 GSF.  
**New Tenent Fitout Gross Square Footage:** Ground Floor = 3,520 GSF.

**The existing building use is Business and Mercantile and fully sprinkled.**  
**Tenant Fitout to be Mercantile and fully sprinkled.**

**Occupant Loads per Net Square Feet**

| Space                                  | NSF                       | Occupants/MPP* |
|--|---------------------------|----------------|
| 1st Fir - Existing Business/Mercantile | 6,342 NSF(100 nsf/person) | 83 22          |
| 2nd Fir - Existing Business/Mercantile | 1,841 NSF(100 nsf/person) | 18 6           |
| 1st Fir - New Mercantile Tenent Fitout | 1,504 NSF(30 nsf/person)  | 50 23          |

(Mercantile use for 4' x 8' pool tables, pinball machines, furniture and shuffle board games. Displayed merchandise encompasses approximately 732 NSF. Ancillary rooms include office, electrical, restroom and storage totaling 612 NSF.  
\*MPP = Maximum Probable Population

- NFPA 101**  
Chapter 4  
Number of Means of Egress - Minimum of 2 provided for all spaces.
- Chapter 6**  
Occupancy- Mercantile  
6.1.14.1.2 (3) The following accessory occupancies shall not be required to be separated from the primary occupancy: Office, Electrical Closet, Restroom and Storage.
- Chapter 7 (37.2)**  
Exits- 2, One-hour enclosure in accordance with Chapter 37 (fully sprinkled)  
Exit doors to have panic hardware and closers.  
Interior finishes to comply in all exit paths.  
Means of egress headroom not less than 90 inches w/ projections not less than 80 inches.  
Stair headroom not less than 80 inches with maximum rise of 6.5", tread min 11" with hand and guardrails.  
On grade level exit complies w/ ADA at existing building.  
Emergency lighting to comply and all exits properly labeled.
- Chapter 8**  
Existing building fully sprinkled.  
New tenent fitout to be fully sprinkled.  
Fire rated doors to be used at locations specified.
- Chapter 9**  
Existing building has a fire alarm detection system, emergency lighting and exits properly labeled.  
Fitout shall have an integrated fire alarm detection system, emergency lighting and exits properly labeled.  
Existing building has smoke alarms.  
Fitout shall have smoke alarms as required by code.
- Chapter 10**  
Acoustical tile ceiling system to be installed in areas of fitout with the remainder be the original wood roof decking unless otherwise noted.  
Fire separations to have walls tight to floor and underside of roof deck.  
Wall and floor finishes to comply.
- Chapter 37**  
Existing Mercantile Occupancy  
37.1.1.3.2 Existing portions of the structure are not required to be modified in that the new construction has not diminished the fire safety features of the facility.  
1-hour wall separation provided between all adjacent occupancies.  
37.1.5.2 Travel distance to exits are no greater than 75 ft. Two exits are accessible in different directions (no common path of travel). There are no vertical openings.  
There are no dead end corridors greater than 50 ft.  
Required halls are no less than 28" clear with 1-hour wall separation construction.  
  
There is no storage of hazardous materials.  
Interior finishes for Class C mercantile comply with code.

**Zoning Information**  
Zoning District: B7 - Mixed Development District Zone  
Existing Use- City Listing: Multi-Use Industrial - Actual Business/Mercantile  
Tax Map: 034 D004  
Lot area: 22,596 S.F. (0.519 Acres)

**Parking:** Currently 18 off-street parking spaces exist including 2 H/C spaces. No new spaces proposed.

**ADA Compliance**  
Existing wheel chair access from grade at main entrance.  
Max 1:20 grade access from H/C parking space to showroom.  
ADA compliant bathroom on upper showroom level.  
Proper access clearances at all new doors.  
Required strobes and horns to be installed.

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portland, maine 04101  
  
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cp.: 207.749.9306  
  
ideate@arcadidesignworks.com

**Owner**  
Hard Sales LLC  
P.O.Box 2  
Portland, Maine 04112  
**Contractors**  
General  
Unique Properties

P.O.Box 2  
Portland, Maine 04112  
**Mechanical:**  
HVAC Services  
73 Bradley Drive  
Westbrook, Maine 04092  
**Electrical:**

Loffey Electric  
59 Rainmaker Drive  
Portland, Maine 04103  
**Sprinkler:**  
High Tech Sprinklers  
P.O.Box 156  
Minot, Maine 04258

**SKILLFUL ENTERTAINMENT**  
**A UNIQUE PROPERTIES PROJECT**  
PORTLAND, MAINE

FOR CONSTRUCTION  
10.2009 PRINT

**PHASE:** PERMIT SET

**PROJECT:**  
137 PREBLE STREET  
PORTLAND MAINE

**TITLE:**  
SITE PLAN & DETAILS

**SHEET:**  
A-01

**JOB:** AR 2009-05



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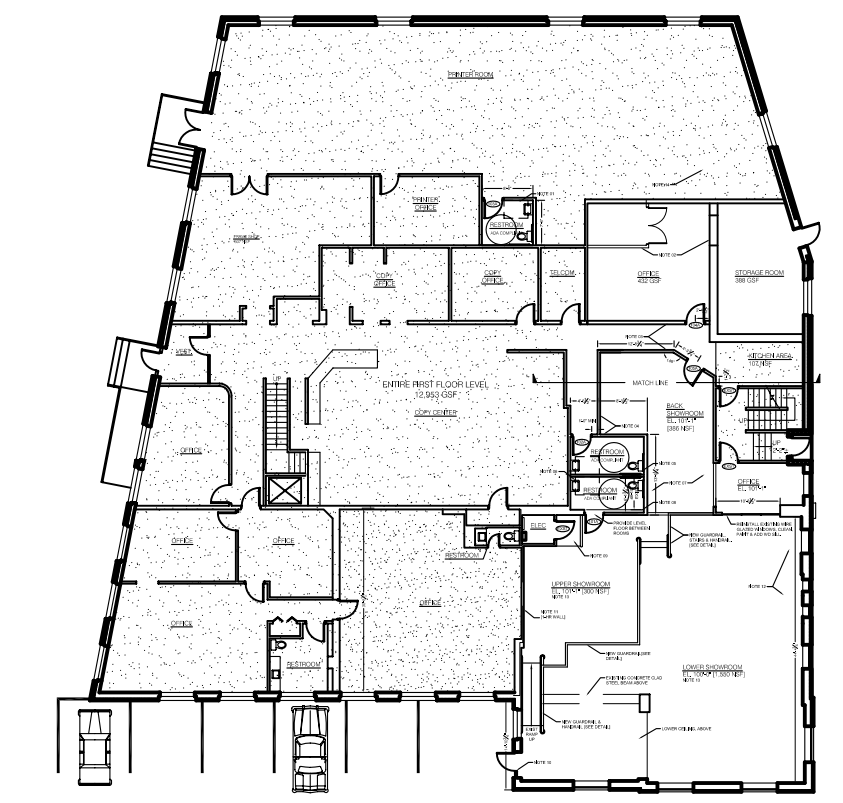
PROJECT:  
137 PREBLE STREET  
PORTLAND MAINE

TITLE:  
FLOOR PLAN

SHEET:

**A-10**

JOB: AR 2009-05

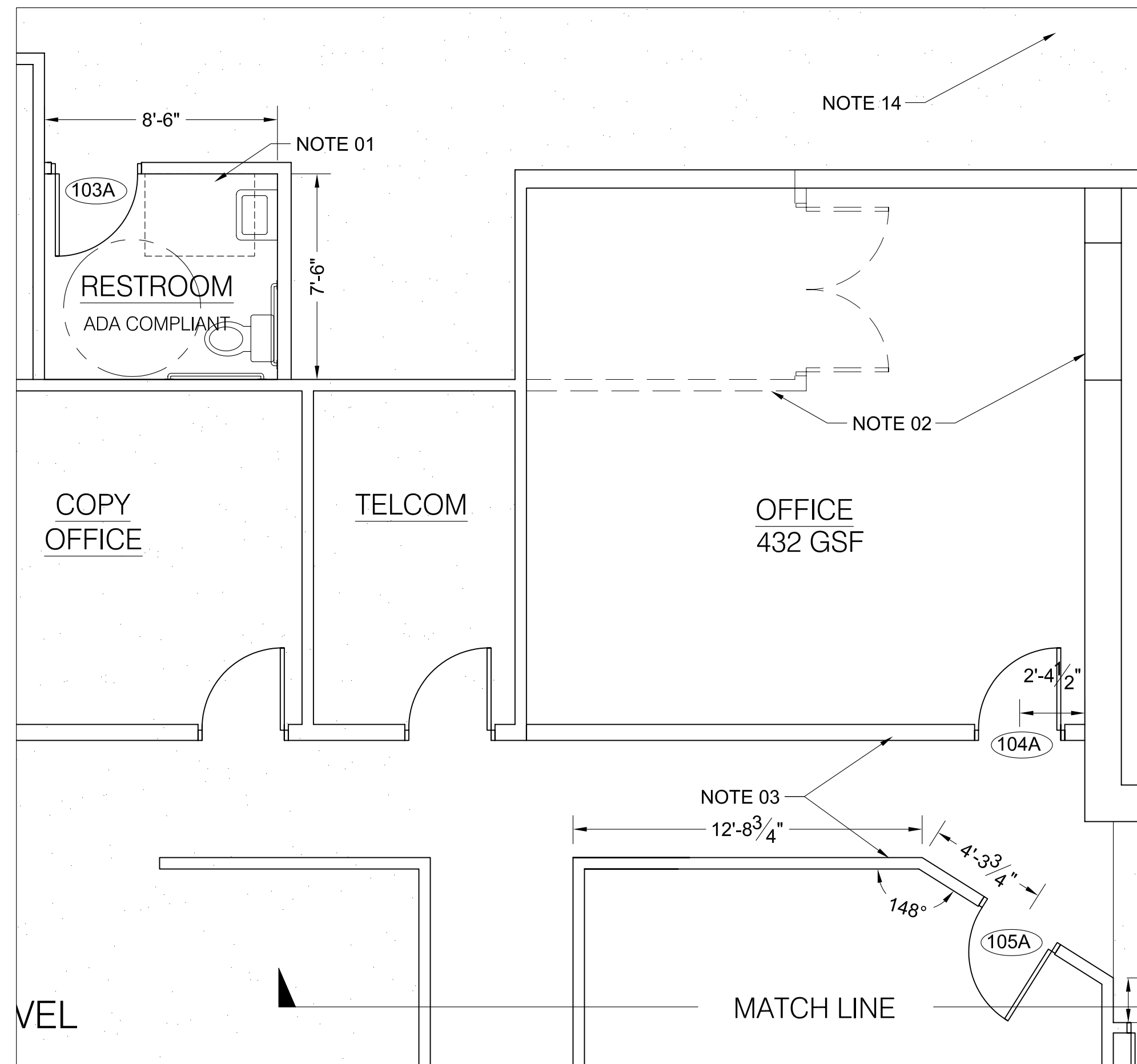


KEY PLAN HATCHED AREAS DOES NOT PERTAIN TO NEW FITOUT.

**GENERAL NOTES**

- NOTE 01 NEW ADA COMPLIANT RESTROOM WITH WALL MOUNTED LAVATORY, TOILET, GRAB BARS, TOILET PAPER DISPENSER & MIRROR, WRAP PIPES, INSTALL VENTILATION, 2' WALL MOUNTED FLUORESCENT LIGHT FIXTURE ABOVE MIRROR AND FINISH INTERIOR WALLS WITH MOISTURE RESISTANT DRYWALL, PAINT AND COVE BASE.
- NOTE 02 REMOVE EXISTING WALL & DOUBLE DOORS. PROVIDE LOCKABLE DOOR BETWEEN NEW OFFICE & EXISTING STORAGE ROOM OR ENCLOSED R.O. WITH STUDS AND DRYWALL & FINISH. INSTALL SUSPENDED ACOUSTICAL CEILING AND FLUORESCENT FIXTURES.
- NOTE 03 INSTALL NEW 3-1/2" WOOD STUD WALLS @ 16" OC WITH 5/8" TYPE "X" GYPSUM BOARD WITH 1-HOUR RATED DOORS TO NEW ROOMS. [SEE WALL DETAIL]
- NOTE 04 REMOVE EXISTING METAL STUD WALLS & FINISH AT RESTROOMS WITH THE EXCEPTION OF THE PLUMBING CHASE WALL TO THE EXISTING WOMEN'S RESTROOM. RELOCATE BATHROOM DOOR IN NEW ENTRANCE WALL.
- NOTE 05 INSTALL NEW 3-1/2" WOOD STUD WALL @ 16" OC WITH 5/8" GYPSUM BOARD WITH BATT SOUND ATTENUATION BLANKET BETWEEN STUDS. ADD BLOCKING FOR GRAB BARS AND TOILET PAPER DISPENSERS. FINISH WALLS WITH COVE BASE AND PAINT.
- NOTE 06 UNLESS EXISTING COUNTER LAVATORIES MEET ADA GUIDELINES, COUNTERS & LAVATORIES ARE TO BE REPLACED WITH WALL MOUNTED LAVATORIES, WITH ADA COMPLIANT FAUCETS & WRAPPED PIPES.
- NOTE 07 REMOVE ALL EXISTING WALLS, HOT WATER HEATER, AND FIXTURES IN MENS RESTROOM. PATCH WALLS, CEILING AND FLOOR AS NECESSARY AND PAINT. [VERIFY WITH OWNER EXTENT OF WALL REMOVAL FOR BACK SHOWROOM.]
- NOTE 08 REMOVE EXISTING METAL STUD WALL. INSTALL NEW 5/8" MOISTURE RESISTANT GYPSUM BOARD, COVE BASE, AND ADA ACCESSIBLE DOOR. FINISH FLOOR, WALLS AND CEILINGS. REDIRECT VENTILATION AND REARRANGE LIGHTING TO MEET CODE.
- NOTE 09 EXISTING RECESS IN FLOOR TO REMAIN TO ALLOW PROPER OPENING OF VAULT DOOR. INSTALL NOSING AT STEP AND INSTALL GUARDRAIL AS SHOWN.
- NOTE 10 INSTALL NEW 42" WIDE STOREFRONT ALUMINUM DOOR WITH OPERABLE SIDELITE. ALUM. THRESHOLD NO GREATER THAN 1/2" HEIGHT.
- NOTE 11 ENCLOSE EXISTING DOOR OPENING TO ADJACENT SPACE WITH METAL STUDS AND BATT INSULATION. SHEATH BOTH SIDES OF WALL W/ 5/8" TYPE "X" GWB. PAINT FINISH AND COVE BASE.
- NOTE 12 REMOVE EXISTING RESTROOM AND KITCHEN WALLS, FIXTURES AND CEILINGS. CAP PIPING PER CODE. FINISH WALLS TO MATCH EXISTING.
- NOTE 13 FLOORS TO RECEIVE MARMOLEUM SHEET OR OWNER SELECTED TILE, EXISTING GWB WALLS TO BE PATCHED AND PAINTED, UPPER BRICK WALLS & EXISTING WOOD CEILING TO BE CLEANED.
- NOTE 14 INSTALL EXTERIOR DOOR FOR SECOND MEANS OF EGRESS FOR PRINT SHOP.

1-HOUR RATED WALL

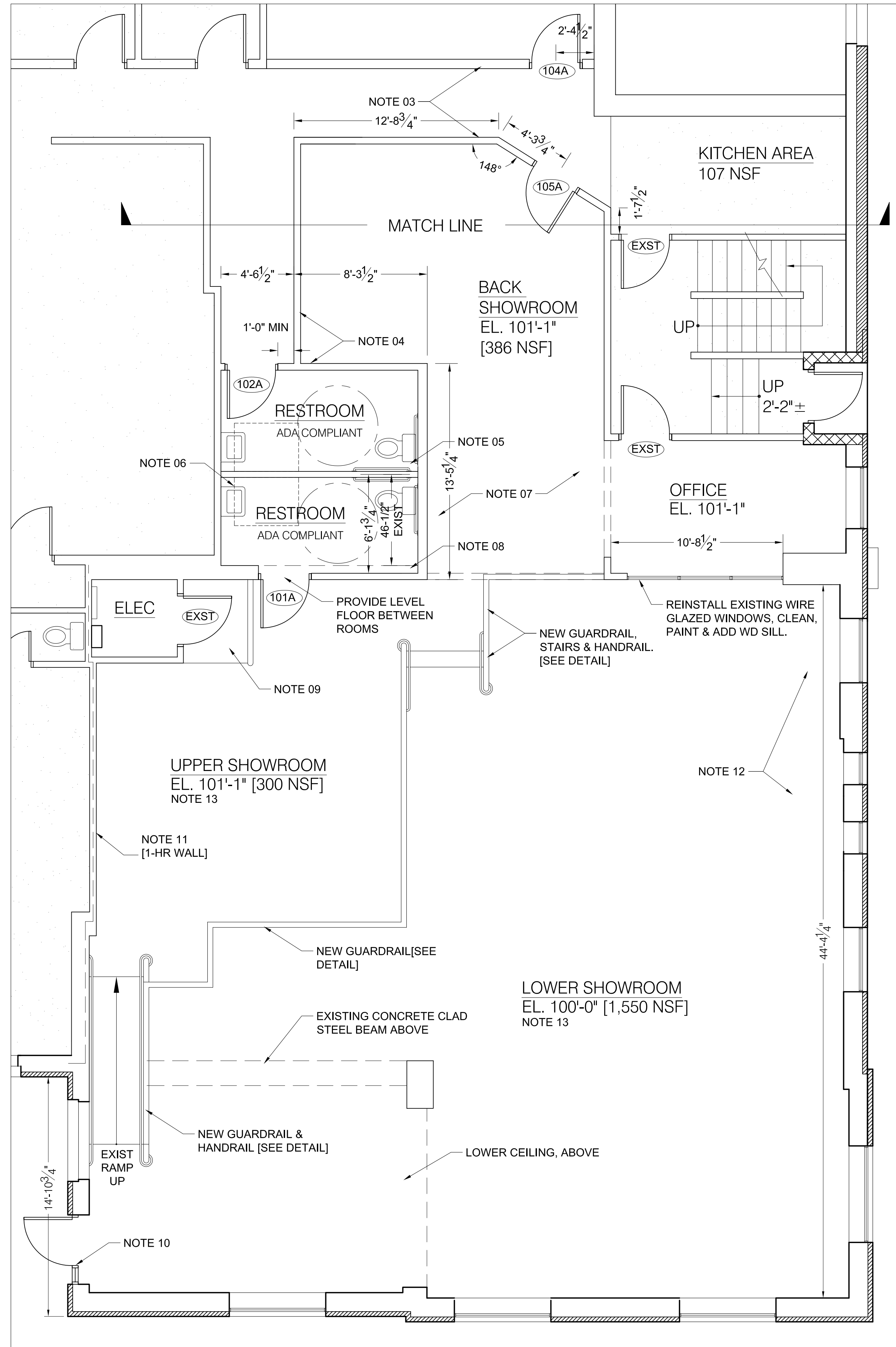


20 Skillful Retail Fitout - Partial Floor Plan

A-10 1/4" = 1'-0"

**DOOR SCHEDULE**

| Door No. | Size          | Profile | Frame | Remarks                        |
|----------|---------------|---------|-------|--------------------------------|
| 101A     | 3'-0" x 6'-8" | SG      | 1     | Reused Wood Door & H.M. Frame  |
| 102A     | 3'-0" x 6'-8" | SG      | 1     | Reused Wood Door & H.M. Frame  |
| 103A     | 3'-0" x 6'-8" | SG      | 1     | Reused Wood Door & H.M. Frame  |
| 104A     | 3'-0" x 6'-8" | SG      | 1     | 1- Hour Wood Door & H.M. Frame |
| 105B     | 3'-0" x 6'-8" | SG      | 1     | 1- Hour Wood Door & H.M. Frame |
| EXST     |               |         |       | Existing Door and Frame        |



10 Skillful Retail Fitout - Floor Plan

A-10 1/4" = 1'-0"

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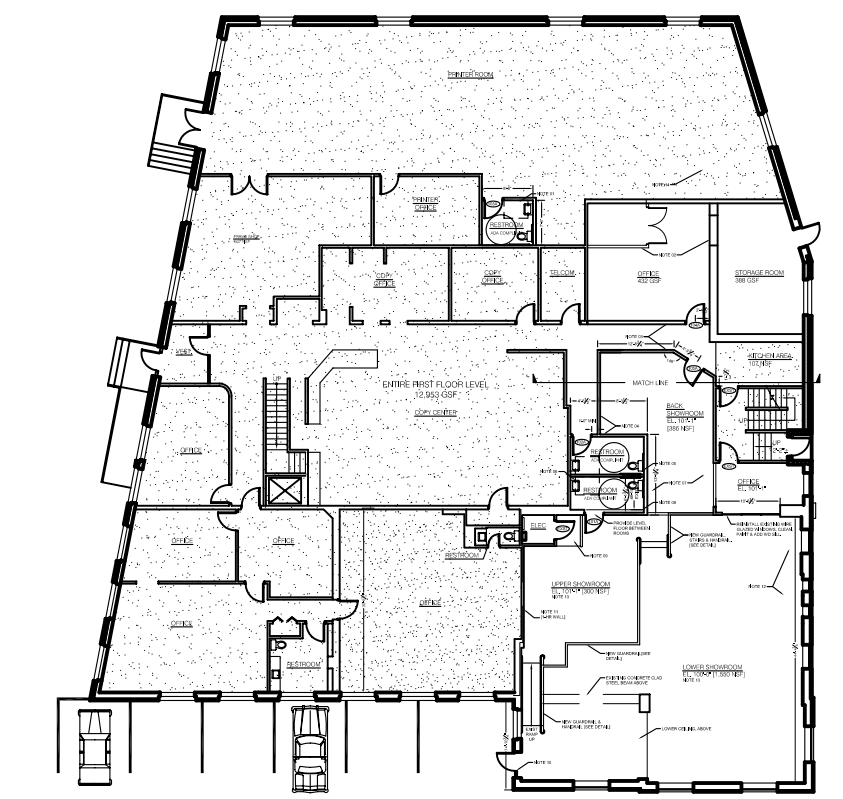
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 PORTLAND  
 MAINE

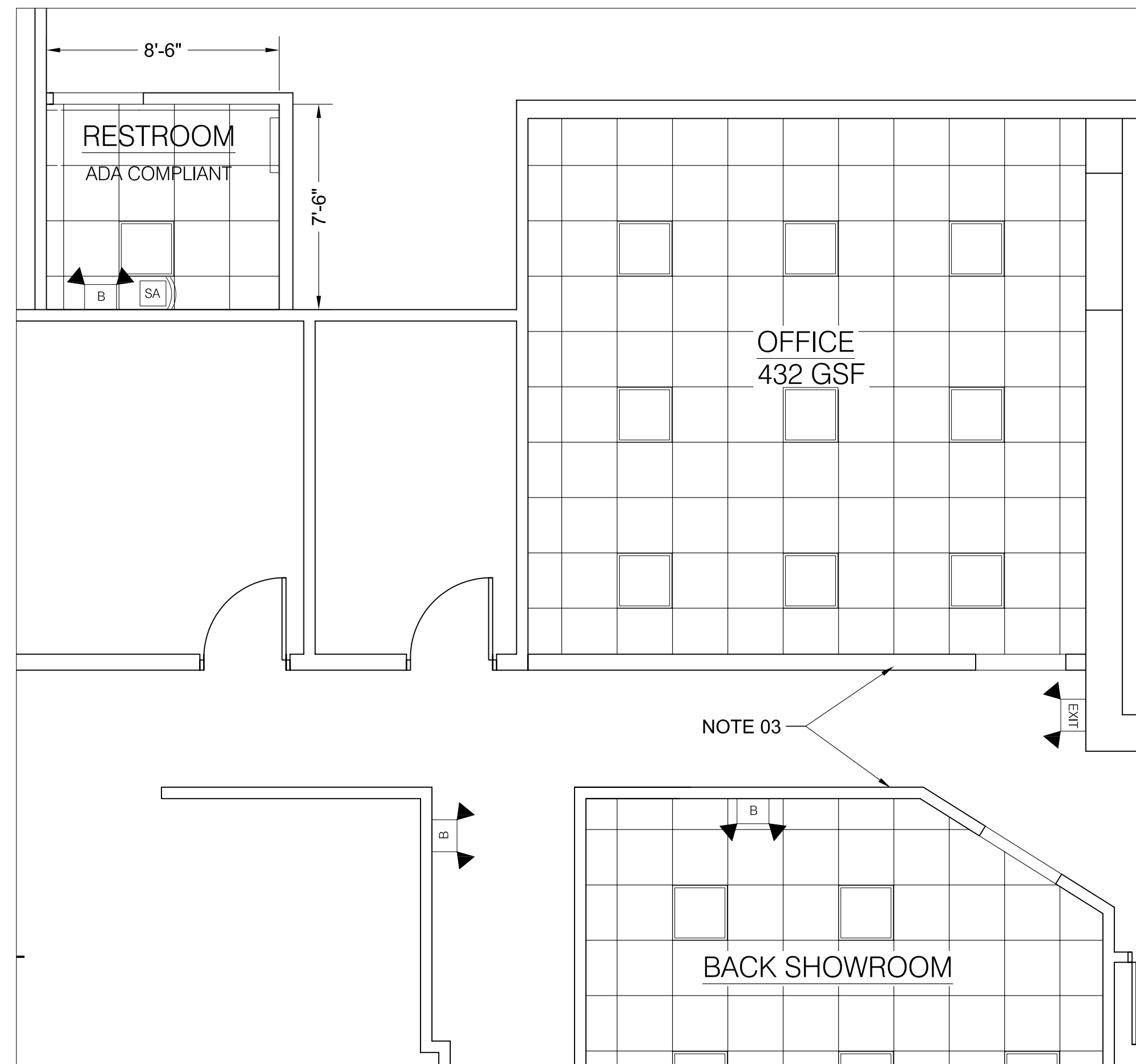
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 CEILING PLAN

SHEET:  
**A-20**

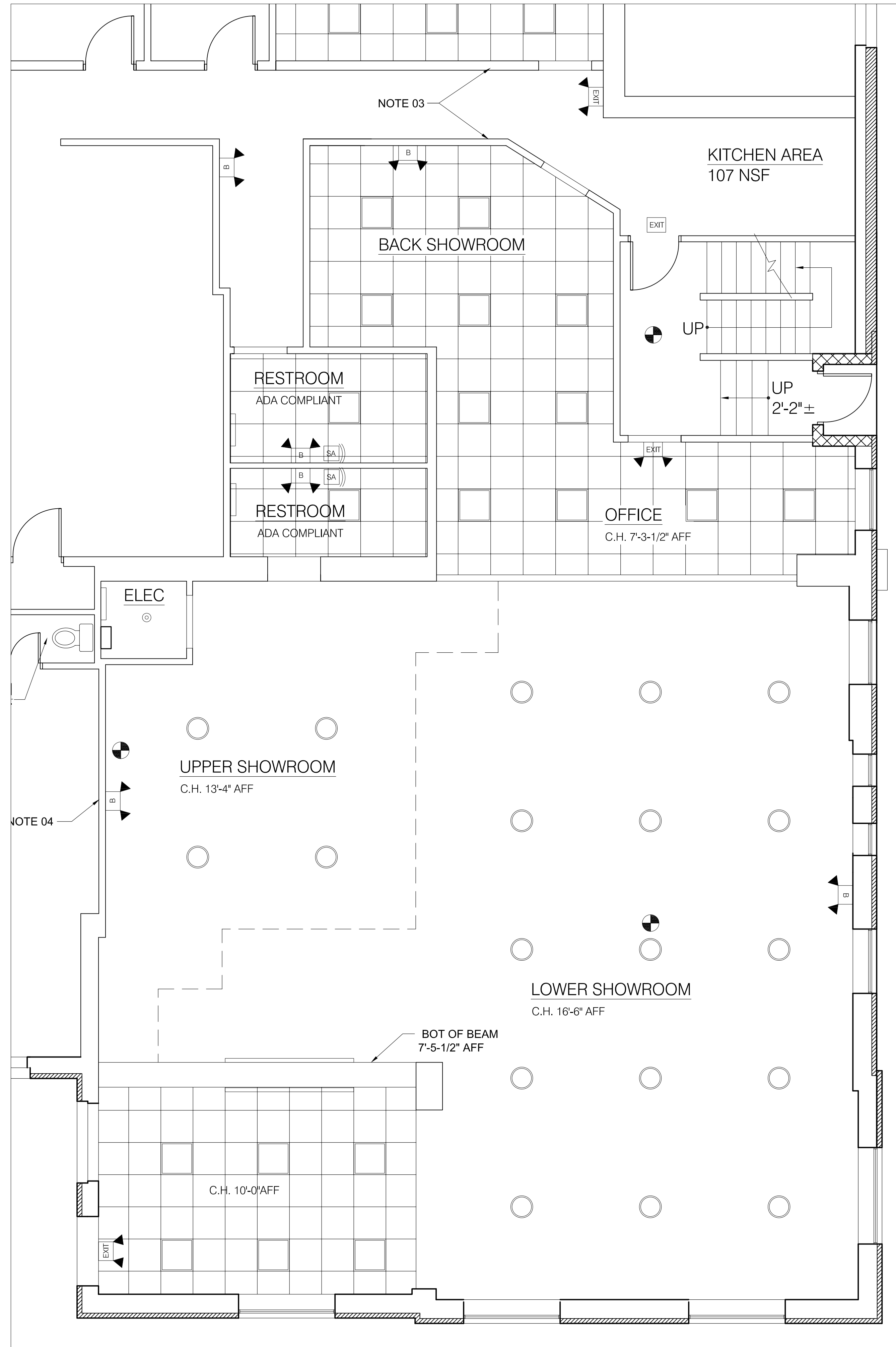
JOB: AR 2009-05



KEY PLAN  
 HATCHED AREAS DOES NOT PERTAIN TO NEW FITOUT.



20 Skillful Retail Fitout - Partial RCP  
 A-20 1/4" = 1'-0"



10 Skillful Retail Fitout - RCP  
 A-20 1/4" = 1'-0"

- LEGEND**
- HATCHED AREAS DOES NOT PERTAIN TO NEW FITOUT.
  - 2' x 2' SUSPENDED ACOUSTICAL CEILING
  - 2' WALL MOUNTED FLUORESCENT
  - 8' TRACK LIGHT STRIP
  - 2' x 2' RECESSED FLUORESCENT
  - 14" DIA. PENDENT MOUNTED INDUSTRIAL FLUORESCENT FIXTURE (OPTIONAL INCANDESCENT)
  - CEILING MOUNTED INCANDESCENT
  - EXIT SIGN W/ EMERGENCY LIGHTING
  - EMERGENCY LIGHTING W/ BATTERY
  - STROBE / AUDIBLE ALARM
  - SMOKE DETECTOR
- NOTE: NEW TENENT FITOUT FIRE ALARM AND SPRINKLER MONITORING SYSTEMS TO BE FULLY INTEGRATED INTO EXISTING BUILDING SYSTEMS.

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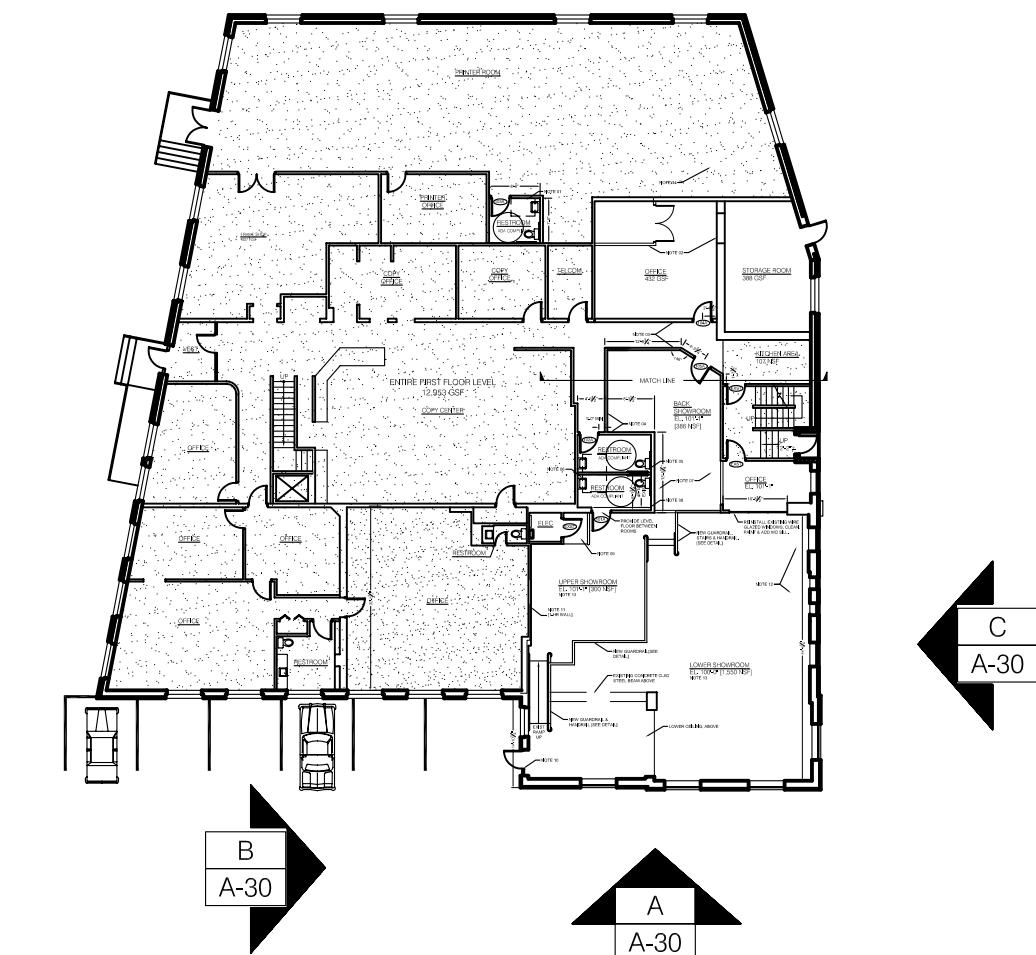
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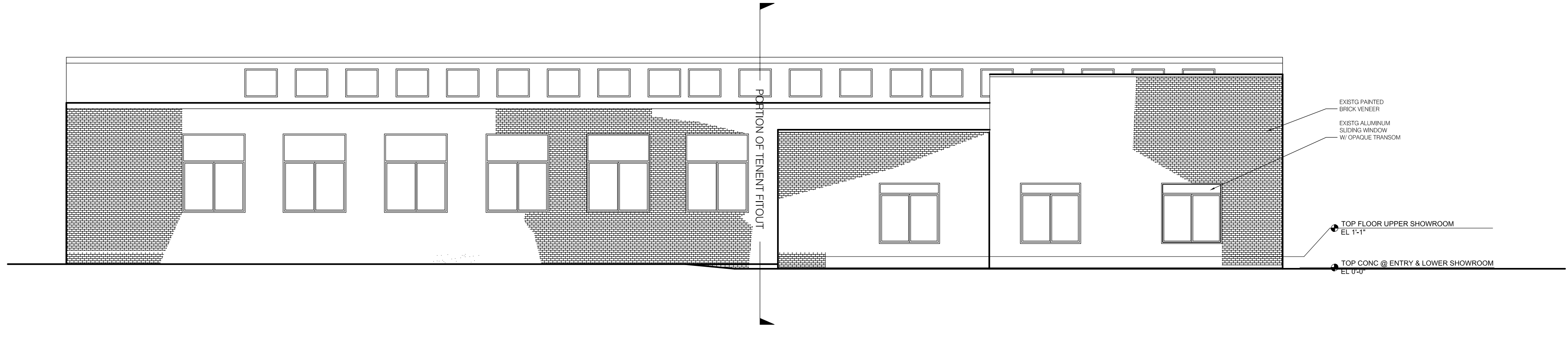
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 AS-BUILT  
 ELEVATIONS

SHEET:  
**A-30**

JOB: AR 2009-05



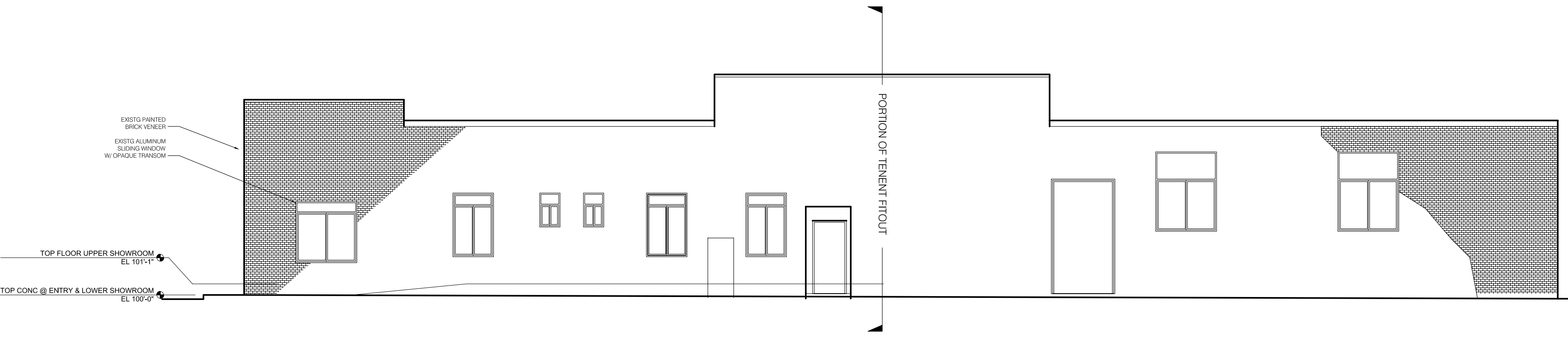
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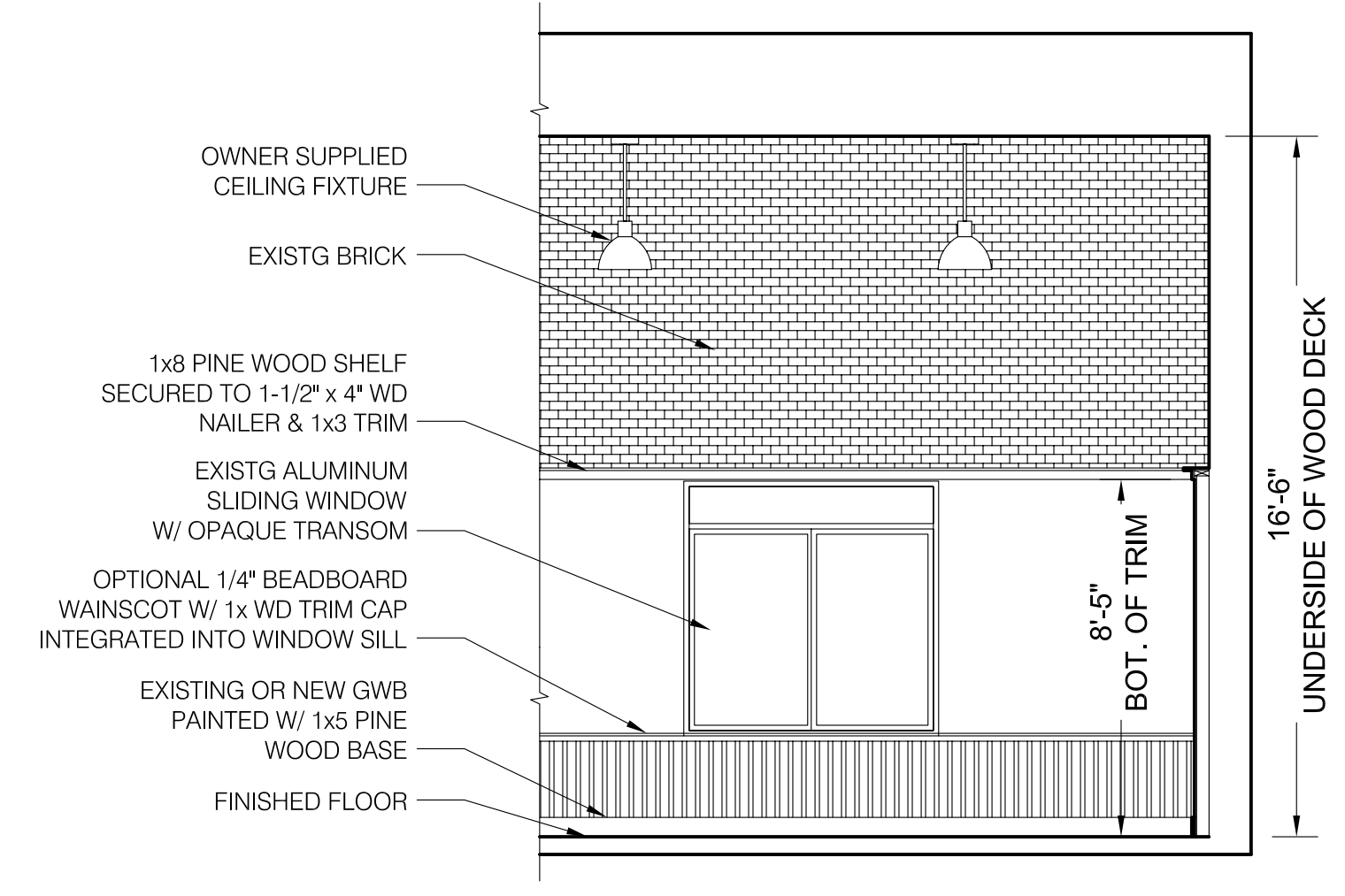
**A** PREBLE STREET ELEVATION  
 1/8" = 1'-0"



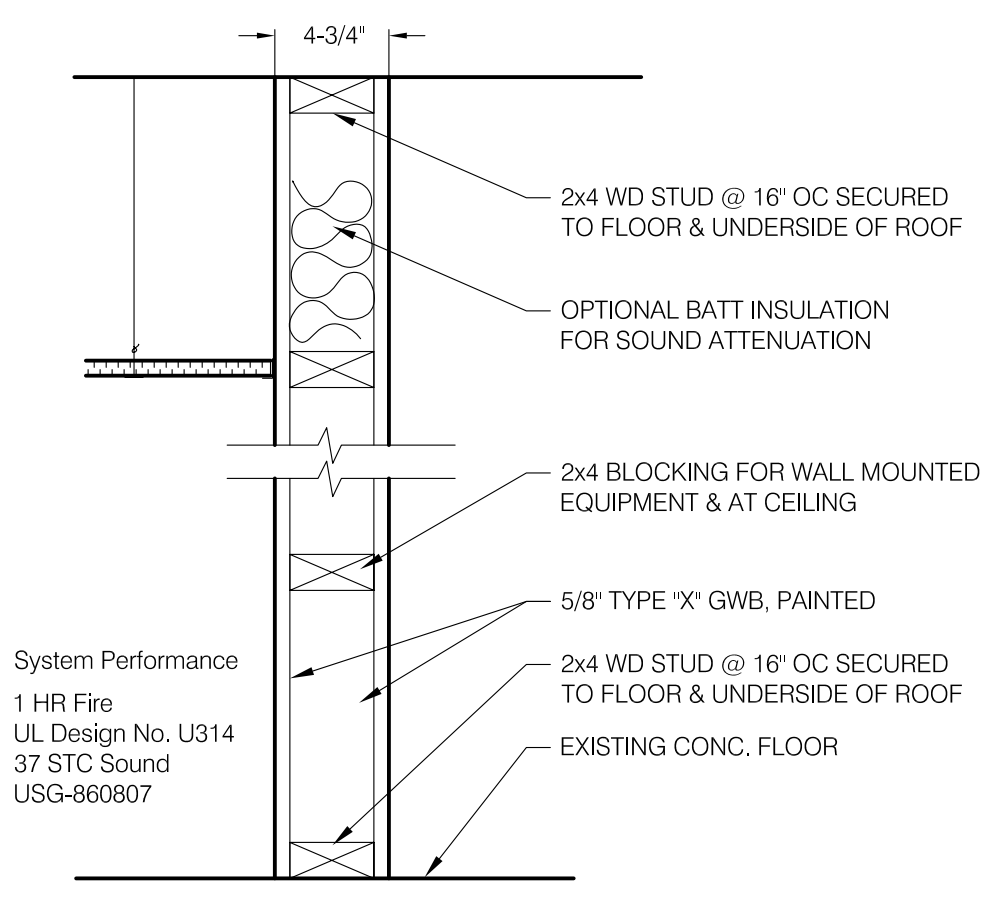
**B** MAIN ENTRANCE ELEVATION  
 1/8" = 1'-0"



**C** SOMERSET STREET ELEVATION  
 1/8" = 1'-0"



TYPICAL WALL TREATMENT  
 1/4" = 1'-0"



TYPICAL WALL PARTITION  
 1-1/2" = 1'-0"

System Performance  
 1 HR Fire  
 UL Design No. U314  
 37 STC Sound  
 USG-860807