

APOTHECARY BY DESIGN

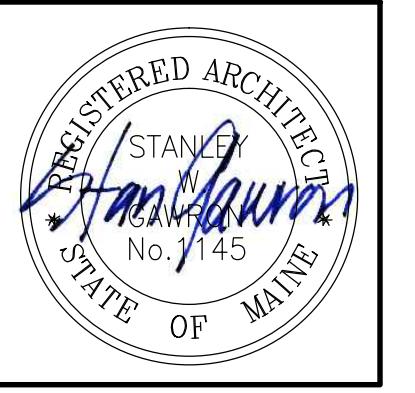
NON-STERILE COMPOUNDING LAB

141 PREBLE STREET

PORTLAND, MAINE

DRAWING INDEX

GENERAL	SITE/CIVIL	LANDSCAPING	STRUCTURAL	ARCHITECTURAL	MECH/PLUMBING	ELECTRICAL	DESCRIPTION	DATE	PERMIT SET
							G101	TITLE SHEET & DRAWING INDEX	
							G102	CODE REVIEW & LIFE SAFETY PLAN	9.21.2015
							A101	FLOOR PLAN, DEMOLITION PLAN	
								REFLECTED CEILING PLAN, EQUIPMENT SCHEDULE, DOOR SCHEDULE	
							A901	INTERIOR ELEVATIONS & DETAILS	
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APOTHECARY BY DESIGN
NON-STERILE COMPOUNDING LAB
141 PREBLE ST. PORTLAND ME

REVISIONS		
#	DATE	DESCRIPTION

DATE:	9.21.15
PROJECT #:	020115
DRAWN BY:	JME
CHECKED BY:	MET
DRAWING SCALE:	AS NOTED

SHEET TITLE

TITLE SHEET & DRAWING INDEX

G101

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ABBREVIATIONS

ALUM OR AL ALUMINUM WALL PANEL	GALV GALVANIZED	S SOUTH
AWP ACOUSTICAL CEILING TILE	GB GRAB BARS	SC SHOWER CURTAIN
ACT BITUMINOUS	GC GENERAL CONTRACTOR	SD SOAP DISPENSER
BM BENCH MARK	GWB GYPSUM WALL BOARD	SCHED SCHEDULE
BOT BOTTOM	HC HANDICAP	SECT SECTION
BRG BEARING	HD HD WD	SHT SHEET
BRK BRICK	HDR HEADER	SIM SIMILAR
C CABINET	HWZ HARDWARE	SND SANITARY NAPKIN DISPOSAL
CB CHALK BOARD	HM HOLLOW METAL	SO SQUARE
CC CENTER TO CENTER	HRZ HORIZONTAL	SSS STANDARD
CH CONCRETE HARDENER	HT HEIGHT	STD STANDARD
CJ CONTROL JOINT	ID INSIDE DIAMETER	STL STEEL
CL CENTER LINE	IF INSIDE FACE	STL STRUCTURAL
CLG CEILING	IN INCHES	SV SHEET VINYL
CMU CONCRETE MASONRY UNITS	INSUL INSULATION	T TEMPERED (GLASS)
CONC CONCRETE	INT INTERIOR	TB TACK BOARD
CONT CONTINUOUS	LOC LOCATION	THK THICKNESS
CONST CONSTRUCTION	M MARBLE	TO TOP OF
CONTR CONTRACTOR	MAS MASONRY	TOB TOP OF BEAM
CT CERAMIC TILE	MAX MAXIMUM	TOM TOP OF MASONRY
DBL DOUBLE	MB MARKER BOARD	TOW TOP OF WALL
DF DRINKING FOUNTAIN	MECH MECHANICAL	TP TOILET PAPER DISPENSER
DIA DIAMETER	MFR MANUFACTURER	TYP TYPICAL
DIM DIMENSION	MIN MINIMUM	UNO UNLESS NOTED OTHERWISE
DNA DOES NOT APPLY	MISC MISCELLANEOUS	VB VAPOR BARRIER
DTL DETAIL	MO MASONRY OPENING	VCT VINYL COMPOSITION TILE
DWG DRAWING	MR MOP RECEPTOR	VERT VERTICAL
E EAST	MRGB MOISTURE RESISTANT GYPSUM BOARD	VWC VINYL WALL COVERING
EA EACH	MTL METAL	W WEST
EF EACH FACE	N NORTH	WC WITH
EJ EXPANSION JOINT	NA NOT APPLICABLE	WD WOOD
EL ELEVATION	NC NOT IN CONTACT	
ELEC ELECTRICAL	NO NUMBER	
ELEV ELEVATION	NOM NOMINAL	
EMHO ELECTROMAGNETIC HOLD OPEN	NTS NOT TO SCALE	
EQ EQUAL	OA OVERALL	
EW EACH WAY	OC ON CENTER	
EWC ELECTRIC WATER COOLER	OD OUTSIDE DIAMETER	
EXIT OR (E) EXIT	OPNG OPENING	
EXP EXPANSION	OPP OPPOSITE	
EXT EXTERIOR	OSF OUTSIDE FACE	
FD FLOOR DRAIN	P PAINT	
FDN FOUNDATION	PTD PAINTED	
FE FIRE EXTINGUISHER	PL PLYWOOD	
FFE FINISH FLOOR ELEVATION	PLY PLYWOOD	
FN FINISH	PNL PANEL	
FN FL OR FF FINISH FLOOR	PT & D PRESSURE TREATED	
FN GR FINISH GRADE	PAPER TOWEL AND WASTE DISPENSER	
FL FLOOR	PTN PARTITION	
FR FIRE RATING	RD ROOF DRAIN	
FRMG FRAMING	REF REFRIGERATOR	
FT FEET (FOOT)	REF REFRIGERATOR	
FV FIELD VERIFY	REINF REINFORCED	
FWC FABRIC WALL COVERING	REQD REQUIRED	
G GRANITE	RM ROOM	
GA GAUGE	RO ROUGH OPENING	

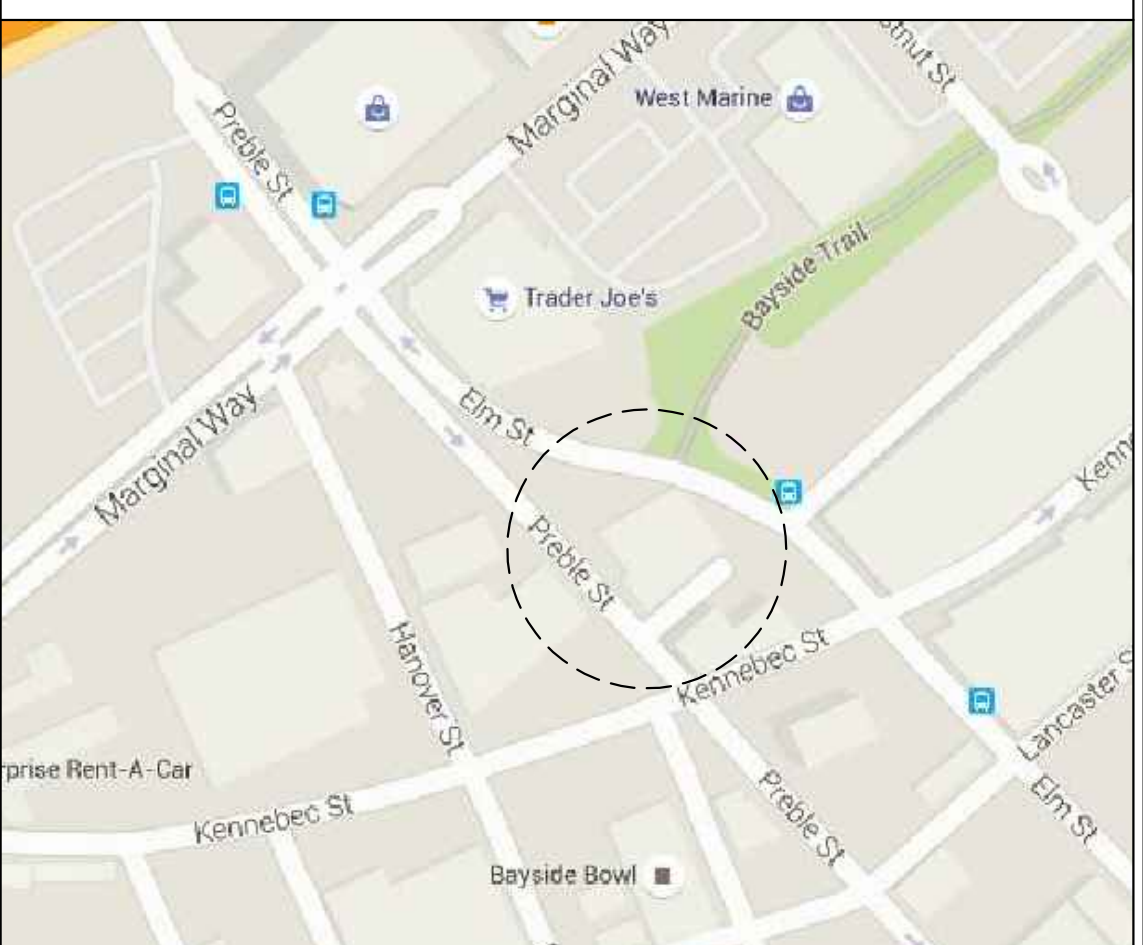
LEGEND

	BUILDING SECTION MARKER
	CEILING TAG
	COLUMN CENTER LINE
	DETAIL MARKER
	DOOR TAG
	EXTERIOR ELEVATION
	INTERIOR ELEVATION
	PLANT TAG
	REVISION CLOUD WITH TAG
	ROOM TAG
	SECTION MARKER
	WALL TYPE
	WINDOW TAG

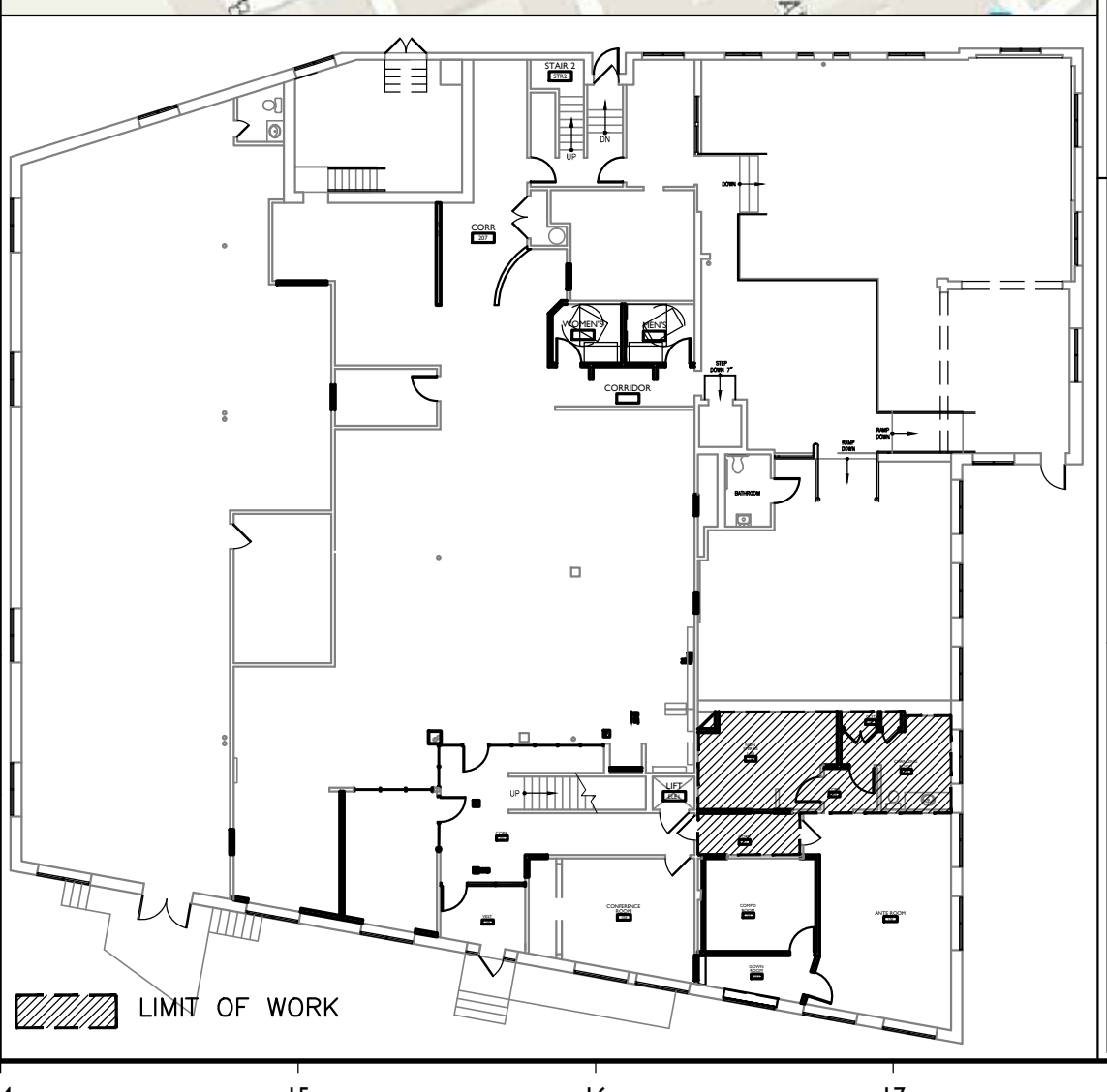
GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. CONTRACTOR SHALL PROCEED WITH THE WORK ONLY AFTER DISCREPANCY HAS BEEN RESOLVED WITH THE ARCHITECT.
2. DO NOT ALTER OR PENETRATE ANY EXISTING STRUCTURAL ELEMENTS, EXTERIOR WALL COMPONENTS, OR FIRE RATED WALLS.
3. THE LOCATIONS OF DOORS NOT DIMENSIONED SHALL BE 6 INCHES FROM ADJACENT WALL.
4. THE BUILDING SHALL BE CONSTRUCTED TO CONFORM WITH ALL APPLICABLE CODES INCLUDING, BUT NOT LIMITED TO, THE LATEST EDITIONS OF IBC 2009, NFPA 101, & ANSI.
5. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE PRESERVATIVE TREATED & ALL CONNECTIONS TO BE STAINLESS STEEL.
6. CONTRACTOR SHALL WORK FROM GIVEN DIMENSIONS AND LARGE SCALE DETAILS ONLY. DO NOT SCALE THE DRAWINGS.
7. EXISTING BUILDING COMPONENTS WHICH ARE AFFECTED BY NEW WORK AND DEMOLITION, OR WHICH MAY BE DAMAGED BY THE CONTRACTOR OR ANY SUBCONTRACTORS SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND COLOR BY METHODS DESCRIBED IN THIS CONTRACT OR AS APPROVED BY THE ARCHITECT. THE GENERAL CONTRACTOR SHALL SEAL, PATCH AND FILL ANY FLOOR AND/OR WALL PENETRATIONS DUE TO DEMOLITION/CONSTRUCTION.
9. INSTALL BLOCKING BEHIND ALL SURFACE APPLIED FIXTURES, TRIM, CABINETS, COUNTER TOPS, TOILET ACCESSORIES AND GRAB BARS WHEN MOUNTED ON STUD WALLS.
10. INSTALL MOISTURE RESISTANT GYPSUM BOARD IN LAVATORIES, AT SINKS AND ALL OTHER HIGH HUMIDITY AREAS.
11. FINISHES: FINISHES OTHER THEN THE STANDARD FINISHES ARE ALL INDICATED ON THE DRAWINGS. CEILING FINISHES ARE SHOWN ON THE REFLECTED CEILING PLANS AND ALL OTHER FINISHES ARE SHOWN ON THE INTERIOR FINISH LEGEND AND SCHEDULE AND/OR INTERIOR ELEVATIONS. FINISHES INDICATED FOR A PARTICULAR ROOM OR SPACE ARE APPLICABLE FOR THE ENTIRE ROOM OR SPACE, UNLESS OTHERWISE NOTED.
12. ALL EXPOSED SURFACES ARE TO BE PAINTED, WHETHER OR NOT INDICATED ON THE DRAWINGS, EXCEPT AS FOLLOWS: WHERE SPECIAL COATINGS ARE INDICATED; PREFINISHED ITEMS, CONCEALED SURFACES, OPERATING PARTS, AND LABELS. IF PREFINISHED, PAINTING THE FOLLOWING: EXPOSED MECHANICAL DUCTWORK, WALL DIFFUSERS, GRILLES AND LOUVERS, ROOF TOP MECHANICAL EQUIPMENT, AND SPEAKER GRILLES. FINISHED METAL SURFACES, EXCEPT AS LISTED ABOVE. SEE SPECIFICATIONS ON DRAWINGS IDENTIFYING THE TYPES OF PAINTS AND SPECIALTY COATINGS TO BE USED IN ACCORDANCE WITH MATERIAL BEING PAINTED OR COATED.
13. CONTRACTOR SHALL SUBMIT SAMPLES OF ALL INTERIOR FINISHES FOR ARCHITECT'S REVIEW.

SITE LOCATION MAP



LIMIT OF WORK PLAN



PHASING NOTES

1. PROVIDE TEMPORARY PARTITIONS FOR PHASING.
2. PROVIDE DUST MITIGATION FOR ENTIRE DURATION OF CONSTRUCTION.
3. COORDINATE PHASING WITH TENANT.

PROJECT DIRECTORY

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