

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that HARD SALES LLC

Located At 137 PREBLE ST

Job ID: 2012-08-4656-ALTCOMM

CBL: 034- D-004-001

has permission to Int Reno; corporate office, retail, Pharmacy, lab
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Joanne Bonke 9/21/12
Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

Closed

SCANNED



Certificate of Occupancy

CITY OF PORTLAND, MAINE

Department of Planning and Urban Development
Building Inspections Division



Location: 137 PREBLE ST

Issued To: Hard Sales Llc

CBL: 034 D004001

Issued Date: 01/28/2013

This is to certify that the building, premises, or part thereof, at the above location, built-altered-changed as to use under Building Permit No. 201246855 has had a final inspection, has been found to conform substantially to the requirements of the Building Code and the Land Use Code of the City of Portland, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

1ST AND 2ND FLOORS AS SHOWN ON
PLANS

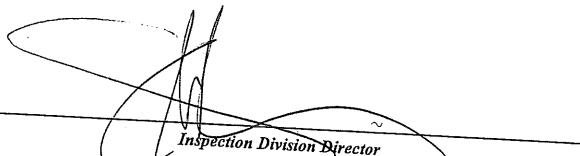
APPROVED OCCUPANCY

USE GROUP M/B
TYPE 5-B
PHARMACY & CORPORATE OFFICES
MUBEC '09

LIMITING CONDITIONS: NONE

Approved:


Inspector


Inspection Division Director

Notice: This certificate identifies the legal use of the building or premises, and ought to be transferred from owner to owner upon the sale of the property.



Certificate of Occupancy

CITY OF PORTLAND, MAINE

Department of Planning and Urban Development
Building Inspections Division



Location: 137 PREBLE ST

CBL: 034 D004001

Issued To: Hard Sales Llc

Issued Date: 12/14/2012

This is to certify that the building, premises, or part thereof, at the above location, built-altered-changed as to use under Building Permit No. 201246855 has had a final inspection, has been found to conform substantially to the requirements of the Building Code and the Land Use Code of the City of Portland, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

1st FLOOR EXCEPT ROOMS 104
THROUGH 110 (COMPOUNDING LAB)

APPROVED OCCUPANCY

USE GROUP M/B
TYPE 5B
PHARMACY AND OFFICES
MUBEC 2009

LIMITING CONDITIONS: This is a temporary occupancy certificate, which expires on January 14, 2013.

Approved:

Inspector

Inspection Division Director

Notice: This certificate identifies the legal use of the building or premises, and ought to be transferred from owner to owner upon the sale of the property.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-08-4656-ALTCOMM	Date Applied: 8/8/2012	CBL: 034- D-004-001	
Location of Construction: 141 (137) PREBLE ST	Owner Name: HARD SALES, LLC	Owner Address: PO BOX 2 PORTLAND, ME 04112	Phone: 207-773-7000
Business Name:	Contractor Name: Monaghan Woodworks, Inc.	Contractor Address: 100 Commercial St., Portland ME 04101	Phone: (207) 775-2683
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: B-7
Past Use: office	Proposed Use: Pharmacy & corporate offices for Apothecary By Design – change of use & tenant fit up	Cost of Work: 300000.00	CEO District:
		Fire Dept: 9/20/12 <input checked="" type="checkbox"/> Approved w/ conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: M/B Type: SB MUBEC09 Signature: M/B
Proposed Project Description: Ch of use - corporate office, retail, Pharmacy, lab		Pedestrian Activities District (P.A.D.) 9/20/12	
Permit Taken By: Lannie		Zoning Approval	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>___ Maj ___ Min ___ MM</p> <p>Date: 08/16/12 ARU</p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: ARU</p>
	<p>CERTIFICATION</p>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

10-2-12 GF OK CLOSE

10-31-12 DWM/^{SLAB}BKL Bruce 232-0397 close-in Provide
plumbing test, Revised plans. OK to close

12-14-12 DWM/BKL/capt Pirone TCO except Rms 104-110
compounding Lab OK

1-22-13 GF/BKL ABOVE CELLG; FAIL
NO HVAC PERMIT

1-28-13 DWM/BKL/John Martell Jake Final ^{OK} ~~HVAC pending~~
Elec OK, Fire ~~test~~ E-15 hds. OK

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Footings/Setbacks prior to pouring concrete

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



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Director of Planning and Urban Development
Jeff Levine

Job ID: 2012-08-4656-ALTCOMM

Located At: 137 PREBLE ST

CBL: 034- D-004-001

Conditions of Approval:

Zoning

1. Separate permits shall be required for any new signage.
2. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
3. With the issuance of this permit and the certificate of occupancy, this space shall be a pharmacy with related offices. Any change of use shall require a separate permit application for review and approval.

Fire

1. The occupancy shall comply with City Code Chapter 10 upon inspection.
2. This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require amendments and approval.
3. Application may require State Fire Marshal approval.
4. Street addresses shall be marked on the structure and shall be as approved by the City E-911 Addressing Officer. Contact Michelle Sweeney at 874-8682 for further information.
5. Any Fire alarm or Sprinkler systems shall be reviewed by a licensed contractor(s) for code compliance. Compliance letters are required.
6. A separate Fire Alarm Permit is required. This review does not include approval of fire alarm system design or installation.
7. Fire Alarm system shall be maintained. If system is to be off line over 4 hours a fire watch shall be in place. Dispatch notification required 874-8576.
8. The fire alarm system shall comply with the City of Portland Fire Department Rules and Regulations. All fire alarm installation and servicing companies shall have a Certificate of Fitness from the Fire Department.
9. All fire alarm records required by NFPA 72 should be stored in an approved cabinet located at the FACP labeled "FIRE ALARM RECORDS".
10. Records cabinet, FACP, annunciator(s), and pull stations shall be keyed alike.
11. All smoke detectors and smoke alarms shall be photoelectric.
12. The sprinkler system shall be installed in accordance with NFPA 13.
13. A separate Suppression System Permit is required for all new suppression systems or sprinkler work effecting more than 20 heads. This review does not include approval of sprinkler system design or installation.
14. A sprinkler supervisory system shall be provided in accordance with NFPA 101, Life Safety Code, and NFPA 72, National Fire Alarm and Signaling Code. Sprinkler supervisory systems shall monitor for water flow and sprinkler supervisory signals via an approved fire alarm panel to central station. One smoke detector shall be located over the panel, a manual pull station located at the front door, and an audible water flow alarm provided.

15. Sprinkler protection shall be maintained. Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
16. System acceptance and commissioning must be coordinated with alarm and suppression system contractors and the Fire Department. Call 874-8703 to schedule.
17. A Knox Box is required.
18. Fire extinguishers are required per NFPA 1.
19. Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.
20. Any cutting and welding done will require a Hot Work Permit from Fire Department.
21. Walls in structure are to be labeled according to fire resistance rating. IE; 1 hr. / 2 hr. / smoke proof.
22. A single source supplier should be used for all through penetrations.

B-7

2012 8-4656 AltComm



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: -- 141 PINEBLE STREET (137 bed address)		
Total Square Footage of Proposed Structure -- TOTAL 15,028 sqft / PROJECT 8,132 sqft		Square Footage of Lot --
Tax Assessor's Chart, Block & Lot Chart# 34 Block# D Lot# Y	Owner: HAND SALES, LLC ROSS & JENNIFER FURMAN PO BOX 2 PORTLAND, ME 04112	Telephone: ROSS 773-7000 JENNIFER 929-2300
Lessee/Buyer's Name (If Applicable) -- APOTHECARY BY DESIGN	Applicant name, address & telephone: -- APOTHECARY BY DESIGN 84 MARGINAL WAY, SUITE 100 PORTLAND, ME 04101 774.5220	Cost Of Work: \$ 300,000 Fee: \$ -- C of O Fee: \$ --
Current Specific use: -- BUSINESS, RETAIL, OFFICE - Misspelled was FMC APP. - other in If vacant, what was the previous use? -- Proposed Specific use: -- BUSINESS, RETAIL, OFFICE x needs change of use.		
Project description: -- INTERIOR OFFICE RENOVATION TO INCLUDE CORPORATE OFFICES, RETAIL, PHARMACY & COMPOUNDING LAB, SHIPPING AND CUSTOMER SUPPORT AREAS.		
Contractor's name, address & telephone: -- MONAGHAN WOODWORKS, INC, MICHAEL MONAGHAN 100 COMMERCIAL ST, PORTLAND, ME 04101		
Who should we contact when the permit is ready: -- MONAGHAN WOODWORKS Mailing address: ---- Phone: -- 775.24383 #30 100 COMMERCIAL ST, SUITE 311 011 PORTLAND, ME 04101		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Stan Gann	Date: -- July 9 2012
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This is not a permit; you may not commence ANY work until the permit is issued.

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Dept. of Building Inspections
City of Portland Maine



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Receipts Details:

Tender Information: Check , Check Number: 23192

Tender Amount: 75.00

Receipt Header:

Cashier Id: bsaucier

Receipt Date: 8/17/2012

Receipt Number: 47185

Receipt Details:

Referance ID:	7655	Fee Type:	BP-C of O
Receipt Number:	0	Payment Date:	
Transaction Amount:	75.00	Charge Amount:	75.00
Job ID: Job ID: 2012-08-4656-ALTCOMM - Int Reno; corporate office, retail, Pharmacy, lab			
Additional Comments: 141 Preble C of U			

Thank You for your Payment!



STATE OF MAINE - DEPARTMENT OF PUBLIC SAFETY
OFFICE OF STATE FIRE MARSHAL
45 COMMERCE DR STE 1
AUGUSTA, ME 04333-0001

Construction Permit

No. 20834

In accordance with the provisions of M.R.S.A. Title 25, Chapter 317, Sec.317 and Title 5, Section 4594-F, permission is hereby granted to construct or alter the following referenced building according to the plans hitherto filed with the Commissioner and now approved. No departure from application form/plans shall be made without prior approval in writing. Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions.

Each permit issued shall be displayed at the site of construction.

Building: APOTHECARY BY DESIGN INTERIOR RENOVATIONS
Location: 141 PREBLE ST, PORTLAND, ME 04101-2440
Owner: APOTHECARY BY DESIGN
Owner Address: 84 MARGINAL WAY, PORTLAND, ME 04101-2443

Occupancy Type: Mercantile Class A
Secondary Use:
Use Layout: Single Use
Supervised Sprinkler System
Monitored Fire Alarm System
Barrier Free
Construction Mode: Renovation
Unprotected Wood Frame: Type V (000)
Final Number of Stories: 2

Permit Date: 08/06/2012

Expiration Date: 02/05/2013

A handwritten signature in black ink, reading "John E. Moran".

COMMISSIONER OF PUBLIC SAFETY



CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Room 315
Portland, Maine 04101

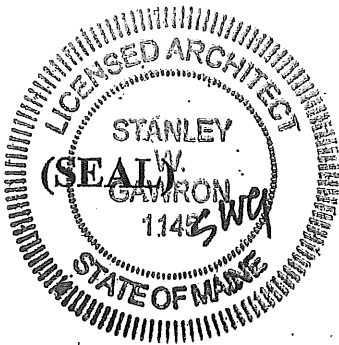
ACCESSIBILITY CERTIFICATE

Designer: --- GAWRON TURGEON ARCHITECTS, MARY TURGEON

Address of Project: --- 141 PEBBLE STREET

Nature of Project: --- INTERIOR OFFICE RENOVATION

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.



Signature: Stan Gawron

Title: --- President

Firm: --- GAWRON TURGEON ARCHITECTS

Address: --- 29 BLACK POINT RD

--- SCARBOROUGH, ME 04074

Phone: --- 207-883-6307

NOTE: If this project is a new Multi Family Structure of 4 units or more, this project must also be designed in compliance with the Federal Fair Housing Act. On a separate submission, please explain in narrative form the method of compliance.



CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Room 315
Portland, Maine 04101

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: --- GANNON TORCEON ARCHITECTS, MARY TORCEON

RE: Certificate of Design

DATE: --- JUNE 25, 2012

These plans and / or specifications covering construction work on:

--- 141 PNEBUE STREET, INTERIOR OFFICE RENOVATION

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer, according to the 2009 International Building Code and local amendments.



Signature: Stan Gannon

Title: --- President

Firm: --- GANNON TORCEON ARCHITECTS

Address: 29 BLACK POINT RD
SCARBOROUGH, ME 04074

As per Maine Statute, any certificate for construction work of \$50,000.00 or more in new construction, repair expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.



8.6.6 Communicating Space.

Unless prohibited by Chapters 11 through 43, unenclosed floor openings forming a communicating space between floor levels shall be permitted, provided that the following conditions are met:

- (1) The communicating space does not connect more than three contiguous stories.
- (2) The lowest or next-to-lowest story within the communicating space is a street floor.
- (3) The entire floor area of the communicating space is open and unobstructed, such that a fire in any part of the space will be readily obvious to the occupants of the space prior to the time it becomes an occupant hazard.
- (4) The communicating space is separated from the remainder of the building by fire barriers with not less than a 1-hour fire resistance rating, unless one of the following is met:
 - (a) In buildings protected throughout by an approved automatic sprinkler system in accordance with Section 9.7, a smoke barrier in accordance with Section 8.5 shall be permitted to serve as the separation required by 8.6.6(4).
 - (b) The requirement of 8.6.6(4) shall not apply to fully sprinklered residential housing units of detention and correctional occupancies in accordance with 22.3.1(2) and 23.3.1.1(2).
 - (c) The communicating space has ordinary hazard contents protected throughout by an approved automatic sprinkler system in accordance with Section 9.7 or has only low hazard contents. (See 6.2.2.)
 - (d) Egress capacity is sufficient to allow all the occupants of all levels within the communicating space to simultaneously egress the communicating space by considering it as a single floor area in determining the required egress capacity.
 - (e)* Each occupant within the communicating space has access to not less than one exit without having to traverse another story within the communicating space.

37.2 Means of Egress Requirements

37.2.1.2 No inside open stairway, inside open escalator, or inside open ramp shall be permitted to serve as a component of the required means of egress system for more than one floor. Allowed - Stair serves 1 floor

37.3 Protection

37.3.1 Protection of Vertical Openings.

Any vertical opening shall be protected in accordance with Section 8.6, except under the following conditions:

- (1) In Class A or Class B mercantile occupancies protected throughout by an approved, supervised automatic sprinkler system in accordance with 9.7.1.1(1), unprotected vertical openings shall be permitted at one of the following locations:
 - (a) Between any two floors
 - (b) Among the street floor, the first adjacent floor below, and the adjacent floor (or mezzanine) above
- (2) In Class C mercantile occupancies, unprotected openings shall be permitted between the street floor and the mezzanine.
- (3) The draft stop and closely spaced sprinkler requirements of NFPA 13, *Standard for the Installation of Sprinkler Systems*, shall not be required for unenclosed vertical openings permitted in 37.3.1(1) and (2).

Allowed - Refer above to highlighted sections above

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access hospitals, rehabilitation hospitals and hospitals reclassified to a wage area outside Maine. Language was added to DSH policy that allows DSH payments exceeding an individual hospital's cap to be used for other hospitals to the extent allowable. Methodology for estimated payments made to state owned hospitals was clarified. Additionally, the cap on outpatient prospective interim payments to acute care non-critical access hospitals and rehabilitation hospitals has been changed to 70%.

See <http://www.maine.gov/dhhs/oms/rules/index.shtml> for rules and related rulemaking documents.

THIS RULE WILL NOT HAVE A FISCAL IMPACT ON MUNICIPALITIES.

STATUTORY AUTHORITY: 22 MRSA §§ 42, 3173; P.L. 2011, ch. 380, Part A; and P.L. 2011, ch. 380, Part ZZ; 42 CFR 447.26

PUBLIC HEARING: August 22, 1:00 p.m., Conference Room 1B, Department of Health and Human Services, Office of MaineCare Services, 442 Civic Center Drive, Augusta, ME. The Department requests that any interested party requiring special arrangements to attend the hearing contact the agency person listed above before

DEADLINE FOR COMMENTS: Comments must be received by midnight September 2, 2011.

AGENCY CONTACT PERSON: Derrick Grant, Comprehensive Health Planner, Office of MaineCare Services, 442 Civic Center Drive, 11 State House Station, Augusta, Maine 04333-0011. Telephone: (207) 287-6427. Fax: (207) 287-9369. TTY: 1 (800) 606-0215 or (207) 287-1828 (Deaf or Hard of Hearing). E-mail: Derrick.Grant@Maine.gov.

WEBSITE: <http://www.maine.gov/dhhs/oms/>.

AGENCY: **10-144 - Department of Health and Human Services (DHHS), Office of MaineCare Services**

RULE TITLE OR SUBJECT: **Ch. 101**, MaineCare Benefits Manual: **Ch. II and III Section 13**, Targeted Case Management Services

PROPOSED RULE NUMBER: **2011-P112**

CONCISE SUMMARY: This rulemaking proposes elimination of two target groups currently being reimbursed under Ch. 13, Targeted Case Management (TCM); "Case Management Services for Children Involved with Protective Services", and "Case Management Services for Adults Involved with Protective Services". Additionally the rulemaking proposes additional medical eligibility criteria for the target group "Members Experiencing Homelessness". Ch. II is also changed to; delete obsolete language concerning the 2009 transition to one Comprehensive Case Manager, clarify supervision of comprehensive case managers, eliminate some professional staff categories, clarify qualifications for social workers and add a requirement for documentation that members have had choice of providers. Ch. III is changed to align the standard units of service and maximum allowance for two categories of TCM services with the other TCM categories.

See <http://www.maine.gov/dhhs/oms/rules/index.shtml> for rules and related rulemaking documents.

THIS RULE WILL NOT HAVE A FISCAL IMPACT ON MUNICIPALITIES.

STATUTORY AUTHORITY: 22 MRSA §§ 42, 3173

PUBLIC HEARING: August 22, 2011, 10:00 a.m., Conference room 1B, 442 Civic Center Drive, Augusta, Maine 04333. The Department requests that any interested party requiring special arrangements to attend the hearing contact the agency person listed above before August 14, 2011.

DEADLINE FOR COMMENTS: Comments must be received by midnight September 1, 2011.

AGENCY CONTACT PERSON: Margaret Brown, Division of Policy, MaineCare Services, 442 Civic Center Drive, 11 State House Station, Augusta, Maine 04333-0011. Telephone: (207) 287-5505. Fax: (207) 287-9369. TTY: 1 (800) 606-0215 or (207) 287-1828 (Deaf or Hard of Hearing). E-mail: Margaret.E.Brown@Maine.gov.

WEBSITE: <http://www.maine.gov/dhhs/oms/>.

ADOPTIONS

AGENCY: **16-219 - Office of the Fire Marshal**

CHAPTER NUMBER AND TITLE: **Ch. 20**, Fire Safety in Buildings and Structures

ADOPTED RULE NUMBER: **2011-250**

CONCISE SUMMARY: Ch. 20 currently incorporates three National Fire Protection Association (NFPA) standards: NFPA *Standard for Fire Doors and Other Opening Protectives*, 2007 edition; and NFPA #101, *Life Safety Code*, 2006 edition; and NFPA #220, *Standard on Types of Building Construction*, 2006 edition. This amendment updates the rule by incorporating the 2010 edition of NFPA #80 and the 2009 edition of NFPA #101. The rule does not incorporate provisions of NFPA # 101, the Life Safety Code, that conflict with the Maine Uniform Building and Energy Code adopted by the Technical Building Codes and Standards Board pursuant to 10 MRSA §9722.

EFFECTIVE DATE: July 27, 2011

AGENCY CONTACT PERSON: Richard E. Taylor, Senior Research & Planning Analyst, Office of the Fire Marshal, 52 State House Station, Augusta, Maine 04333-0052. Telephone: (207) 626-3873. E-mail: Richard.E.Taylor@Maine.gov.

WEBSITE: <http://www.maine.gov/dps/fmo/index.htm>.

AGENCY: **94-630 - Maine Biomedical Research Board**

CHAPTER NUMBER AND TITLE: **Ch. 1**, Rules of the Maine Biomedical Research Board

ADOPTED RULE NUMBER: **2011-251**

CONCISE SUMMARY: The purpose of this rule-making is to amend the current Allocation Formula (Section 5.B) for determining what portion of the total Program Funds available each eligible institution would receive.

EFFECTIVE DATE: July 30, 2011

AGENCY CONTACT PERSON: Martha Bentley, Maine Biomedical Research Board, Maine Technology Institute, 405 Water St., Suite 300, Gardiner, ME 04345. Telephone: (207) 312-8605. E-mail: mmbentley@wldblue.net.

WEBSITE: <http://www.maintechology.org/fund/biomedical-research-fund>.

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**SECTION 1016
EXIT ACCESS TRAVEL DISTANCE**

1016.1 Travel distance limitations. Exits shall be so located on each story such that the maximum length of exit access travel, measured from the most remote point within a story along the natural and unobstructed path of egress travel to an exterior exit door at the level of exit discharge, an entrance to a vertical exit enclosure, an exit passageway, a horizontal exit, an exterior exit stairway or an exterior exit ramp, shall not exceed the distances given in Table 1016.1.

Exceptions:

1. Travel distance in open parking garages is permitted to be measured to the closest riser of open exit stairways.
 2. In outdoor facilities with open exit access components and open exterior exit stairways or exit ramps, travel distance is permitted to be measured to the closest riser of an exit stairway or the closest slope of the exit ramp.
 3. In other than occupancy Groups H and I, the exit access travel distance to a maximum of 50 percent of the exits is permitted to be measured from the most remote point within a building to an exit using unenclosed exit access stairways or ramps when connecting a maximum of two stories. The two connected stories shall be provided with at least two means of egress. Such interconnected stories shall not be open to other stories.
- In other than occupancy Groups H and I, exit access travel distance is permitted to be measured from the most remote point within a building to an exit using unenclosed exit access stairways or ramps in the first and second stories above grade plane in buildings equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1. The first and second stories above grade plane shall be provided with at least two means of egress. Such interconnected stories shall not be open to other stories.
- Where applicable, travel distance on unenclosed exit access stairways or ramps and on connecting stories shall also be included in the travel distance measurement. The measurement along stairways shall be made on a plane parallel and tangent to the stair tread nosings in the center of the stairway.

Occupancy	WITHOUT SPRINKLER SYSTEM (feet)	WITH SPRINKLER SYSTEM (feet)
A, F, I, M, R, S, I	200	250
I-1	Not Permitted	250
H	200	300
F, S, Z, U	300	400
H-1	Not Permitted	75
H-2	Not Permitted	100
H-3	Not Permitted	150
H-4	Not Permitted	175
H-5	Not Permitted	200
L, I, L, I, I	Not Permitted	200

**SECTION 708
SHAFT ENCLOSURES**

11. A shaft enclosure shall not be required for floor openings created by unenclosed stairs or ramps in accordance with Exception 3 or 4 in Section 1016.1.

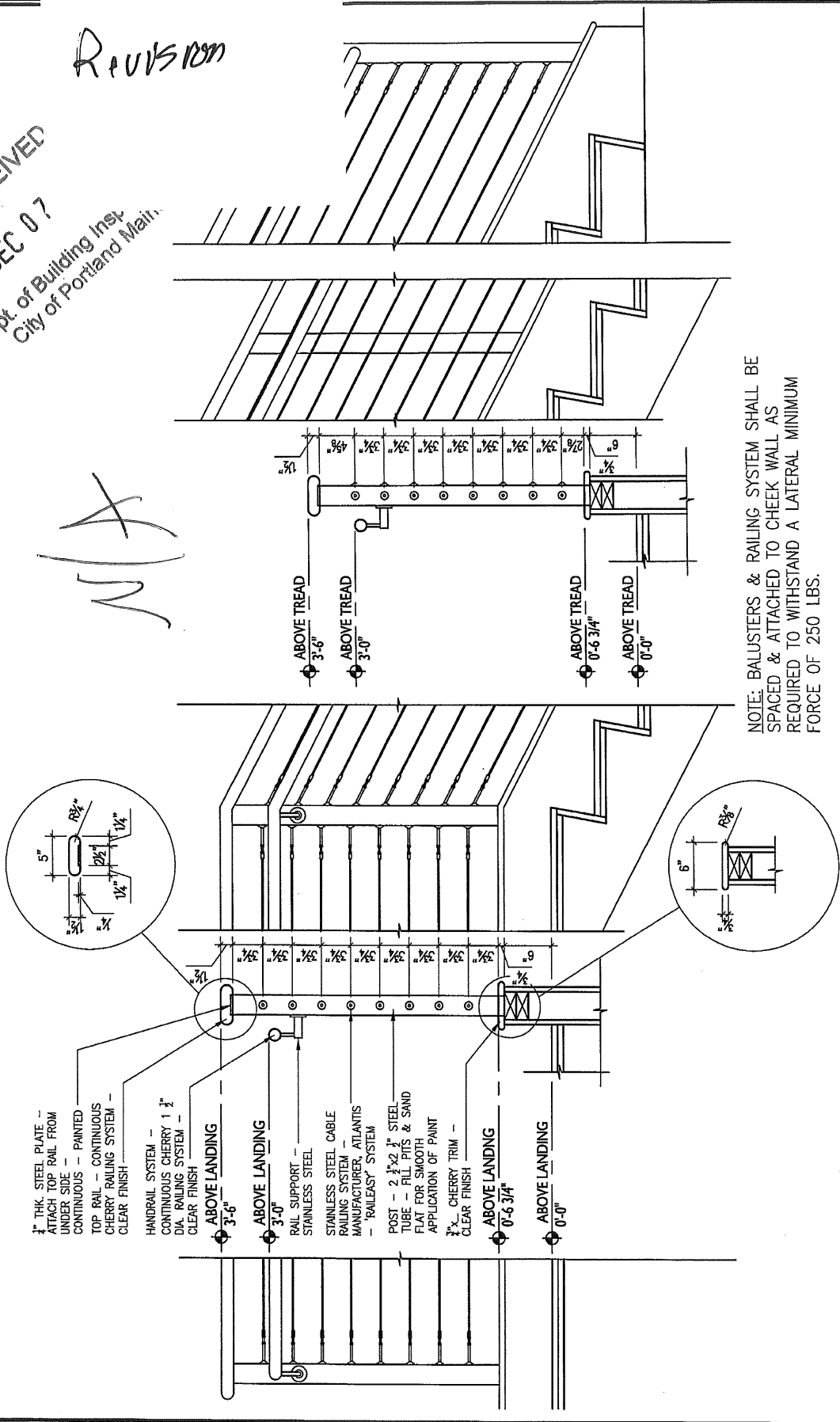
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Dept. of Building Inspections
City of Portland Maine

DATE:	10.02.12
PROJECT#:	120111
DRAWN BY:	DMR
DRAWING SCALE:	1"=1'-0"

RECEIVED
 DEC 07
 Dept. of Building Insp.
 City of Portland Maine

RAILING ROOM

N/A



NOTE: BALUSTERS & RAILING SYSTEM SHALL BE SPACED & ATTACHED TO CHEEK WALL AS REQUIRED TO WITHSTAND A LATERAL MINIMUM FORCE OF 250 LBS.

- 3/4" THK. STEEL PLATE -- ATTACH TOP RAIL FROM UNDER SIDE -- CONTINUOUS -- PAINTED CHERRY RAILING SYSTEM -- CLEAR FINISH
- HANDRAIL SYSTEM -- CONTINUOUS CHERRY 1 1/2" DIA. RAILING SYSTEM -- CLEAR FINISH
- ABOVE LANDING 3'-6"
- ABOVE LANDING 3'-0"
- RAIL SUPPORT -- STAINLESS STEEL
- STAINLESS STEEL CABLE RAILING SYSTEM -- MANUFACTURER, ATLANTIS -- "RAILEASY" SYSTEM
- POST -- 2 1/2" x 2 1/2" STEEL TUBE -- FILL PITS & SAND FLAT FOR SMOOTH APPLICATION OF PAINT
- 3/4" CHERRY TRIM -- CLEAR FINISH
- ABOVE LANDING 0'-6 3/4"
- ABOVE LANDING 0'-0"

AI **DETAIL**

1"=1'-0" GUARDRAIL / HANDRAIL DETAILS @ OPEN STAIR



29 Black Point Road
 Portland, ME 04106
 207.753.3377

APOTHECARY BY DESIGN
 141 PREBBLE ST., PORTLAND, MAINE
 INTERIOR FINISH LEGEND
 REVISIONS

DATE	10.04.12
PROJECT #	120111
DRAWN BY	BEF
DRAWING SCALE	1'-0"=1'-0"

CSK
 2

CODE	MATERIAL	MANUFACTURER	PRODUCT, STYLE AND COLOR	FINISH	REMARKS/NOTES
C1	CARPET	PHILADELPHIA QUEEN	CLIC COLLECTION, FUSE TILE- 54520, COLOR: TUMBLE	FACTORY	
C2	CARPET	PHILADELPHIA QUEEN COMMERCIAL	CLIC COLLECTION, FUSE BL- 54552, COLOR: TO MELD- 00100, 12' GOODS	FACTORY	AT FULFILLMENT 115, PROVIDE SHAW FB100 OR DUBL-BAC DOUBLE STICK CUSHION PAD; REFER TO A5A910 FOR TRANSITION
T1	TILE, PORCELAIN	MANNINGTON COMMERCIAL	COLLECTION: SERENGETI SLATE, COLOR: MIDNIGHT MIST, 6" PAN	FACTORY	
T2	TILE, PORCELAIN	MANNINGTON COMMERCIAL	COLLECTION: SERENGETI SLATE, COLOR: IVORY TUSK	SEALED	
SV1	SHEET VINYL	MANNINGTON COMMERCIAL	BIOSPEC MD, COLOR: DEEP SUEDE- 18345, .080" THICKNESS	FACTORY	6" FLASH COVE BASE; HEAT WELD SEAMS; REFER TO MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION, FLOOR PREPARATION, & ADHESIVES
SV2	SHEET VINYL	MANNINGTON COMMERCIAL	FINE FIELDS, COLOR: DEEP SUEDE- 10345, .080" THICKNESS	FACTORY	HEAT WELD SEAMS; REFER TO MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION, FLOOR PREPARATION, & ADHESIVES
EM1	ENTRY MAT	MATS, INC	ROLLED GOODS, COLLECTION: BERBER, COLOR: LIGHT BEIGE	FACTORY	
VCB1	VINYL BASE	JOHNSONITE	4" COVE BASE, COLOR: TBD	FACTORY	
TB1	TILE BASE	MANNINGTON COMMERCIAL	COLLECTION: SERENGETI SLATE, COLOR: MIDNIGHT MIST, 6" BULLNOSE	FACTORY	
G1	GROUT	MAPEI	COLOR: TBD	SEALED	
G2	GROUT	MAPEI	COLOR: TBD	SEALED	
P1	PAINT	BENJAMIN MOORE	PRODUCT: ECOSPEC WB, COLOR: PAN FOR GOLD BM#181	EGGSHELL	
P2	PAINT	BENJAMIN MOORE	PRODUCT: ECOSPEC WB, COLOR: COUNTRY COMFORT BM#505	EGGSHELL	
P3	PAINT	BENJAMIN MOORE	PRODUCT: ECOSPEC WB, COLOR: SPRINGFIELD SAGE BM#519	EGGSHELL	
P4	PAINT	BENJAMIN MOORE	PRODUCT: ECOSPEC WB, COLOR: BEACH COMBER BM#893	EGGSHELL	
P5	PAINT	BENJAMIN MOORE	PRODUCT: ECOSPEC WB, COLOR: ALPACA BM#1074	EGGSHELL	
P6	PAINT	BENJAMIN MOORE	PRODUCT: ECOSPEC WB, COLOR: ONONDAGA CLAY BM#1204	EGGSHELL	
P7	PAINT	BENJAMIN MOORE	PRODUCT: ECOSPEC WB, COLOR: SEA SHELL BM#928	SEMI-GLOSS	
PL1	PLASTIC LAMINATE	FORMICA	MATTE COLLECTION, SEAGRASS STRAND- 8214-58	FACTORY	
PL2	PLASTIC LAMINATE	FORMICA	FIGURED ANNIGRE MATTE- 7284-59	FACTORY	
PL3	PLASTIC LAMINATE	FORMICA	MATTE COLLECTION, WHEAT STRAND 8212-58	FACTORY	
PL4	PLASTIC LAMINATE	FORMICA	WHEAT STRAND 8212-58	FACTORY	
PL5	PLASTIC LAMINATE	FORMICA	NATURE SOLIDZ- 7915-58	FACTORY	
FRP1	FIBERGLASS REINFORCED PANEL	ARMSTRONG CHEMTEC	LOOKALIKE ARMSTRONGS LAMINATE CONCEALED HINGES	FACTORY	DECORATIVE ARMSTRONG HARDWARE: TBD
FRP1	FIBERGLASS REINFORCED PANEL	CRANE COMPOSITE	INNOVATIVE FINISHES, GLASBORO SMOOTH, COLOR: WHITE	SMOOTH	SMOOTH FINISH



Gawron Turgeon ARCHITECTS
 72 South Street
 Portland, Maine 04101
 PHONE: 603.761.1145
 FAX: 603.761.1146

APOTHECARY BY DESIGN
 141 PREBLE STREET
 PORTLAND, MAINE

NO.	DATE	DESCRIPTION
1	11/11	PRELIMINARY PLAN
2	01/23	FINAL CONSTRUCTION
3	01/23	CONSTRUCTION
4	11/11	CONSTRUCTION

DATE:	01/23/11
SUBJECT:	112111
DRAWN BY:	LUP
CHECKED BY:	NET
DRAWING SCALE:	AS NOTED

SHEET TITLE
 EQUIPMENT PLAN

E101

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- 1. GENERAL NOTES: SEE SHEET E100 FOR GENERAL NOTES.
- 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE BUILDING CODE.
- 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE MECHANICAL CODE.
- 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE ELECTRICAL CODE.
- 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE PLUMBING CODE.
- 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE FIRE CODE.
- 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE ENERGY CODE.
- 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE ENVIRONMENTAL CODE.
- 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE SAFETY CODE.
- 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE HEALTH CARE CODE.
- 11. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE OCCUPANCY CODE.
- 12. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE ACCESSIBILITY CODE.
- 13. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE HISTORIC PRESERVATION CODE.
- 14. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE LANDMARK CODE.
- 15. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE ZONING CODE.
- 16. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE SUBDIVISION CODE.
- 17. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE UTILITY CODE.
- 18. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE TRANSPORTATION CODE.
- 19. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE MARINE CODE.
- 20. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE AERIAL CODE.
- 21. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE RAILROAD CODE.
- 22. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE AIRCRAFT CODE.
- 23. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE BOAT CODE.
- 24. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE ROLLING STOCK CODE.
- 25. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE CONSTRUCTION CODE.
- 26. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE CONSTRUCTION CODE.
- 27. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE CONSTRUCTION CODE.
- 28. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE CONSTRUCTION CODE.
- 29. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE CONSTRUCTION CODE.
- 30. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE CONSTRUCTION CODE.

REVISIONS

LEGEND

ADJUNCT TRAIT SPACE

WORKSTATIONS

RECEPTION

CONFERENCE

LOBBY

STAIRS

RESTROOMS

OFFICES

RECEPTION

CONFERENCE

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APOTHECARY BY DESIGN
141 PEBBLE STREET
PORTLAND, MAINE

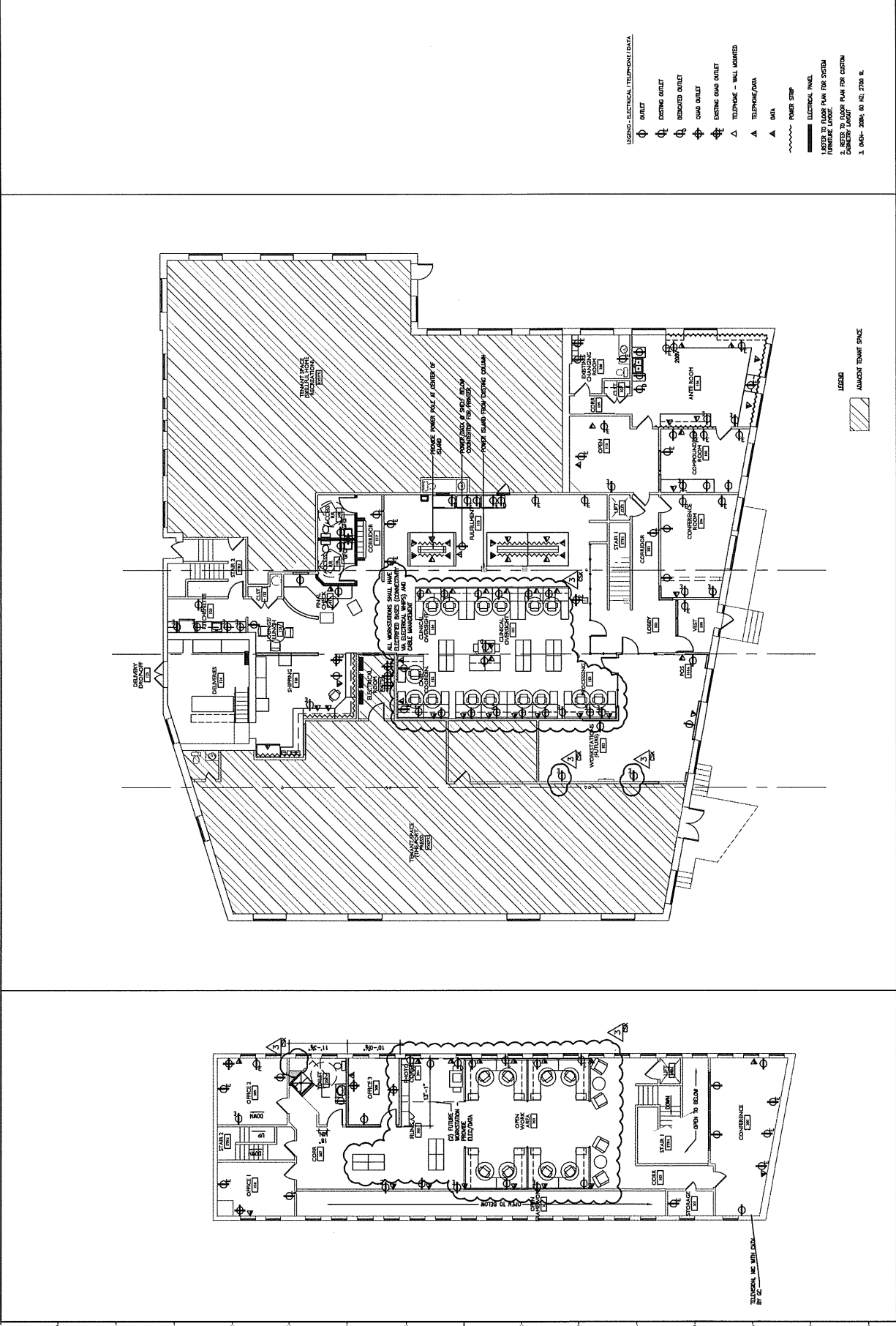
NO.	DATE	DESCRIPTION
1	11/11	PRELIMINARY
2	11/11	REVISIONS
3	11/11	FINAL SUBMITTAL
4	11/11	REVISIONS
5	11/11	REVISIONS
6	11/11	REVISIONS

DATE	07/21/11
PROJECT #	101111
DRAWN BY	LJP
CHECKED BY	NET
DRAWING SCALE	AS NOTED

SHEET TITLE
ELECTRICAL TELEPHONE/ DATA PLAN

PI01

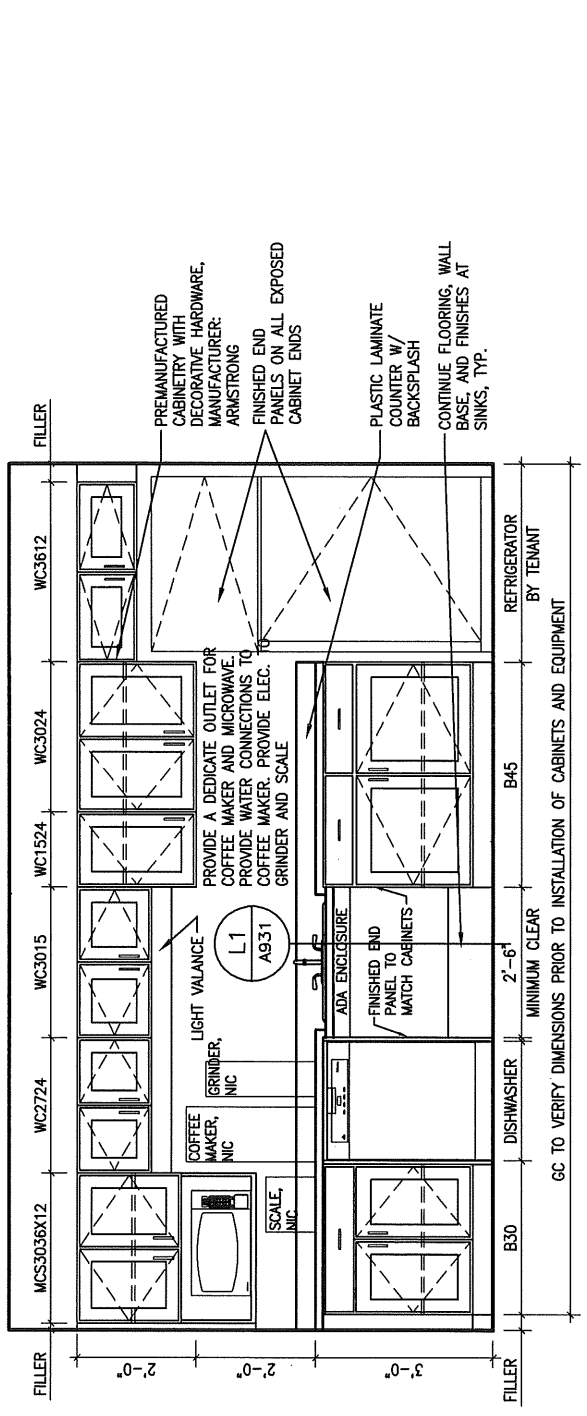
CONTRACT NO. 101111
PROJECT NO. 101111
DRAWING NO. PI01



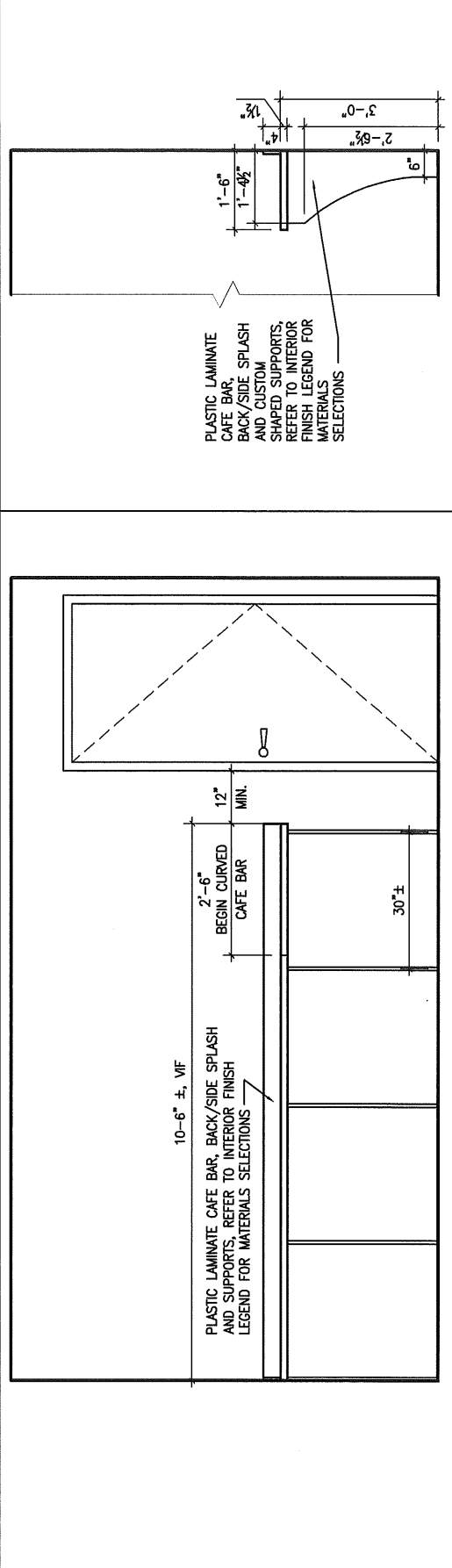
A1	SECOND FLOOR PLAN	18" x 12"	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20
A6	FIRST FLOOR PLAN	18" x 12"	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20
A18	LEGEND	18" x 12"	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20

DATE	10.22.12
PROJECT #	120111
DRAWN BY	LAP
DRAWING TITLE	AS NOTED

CSK
6B
REVISED 10.30.12
10/30/12
CSK
10/30/12
CSK

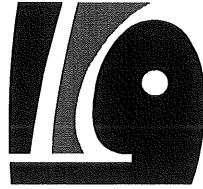


BI ELEVATION - REVISED KITCHENETTE
 1/2"=1'-0"
 ADDITIONAL EQUIPMENT AND MODIFIED CABINETS



A1 ELEVATION - CAFE BAR AT KITCHENETTE
 1/2"=1'-0"
 FRONT ELEVATION

A2 ELEVATION - CAFE BAR AT KITCHENETTE
 1/2"=1'-0"
 SIDE VIEW



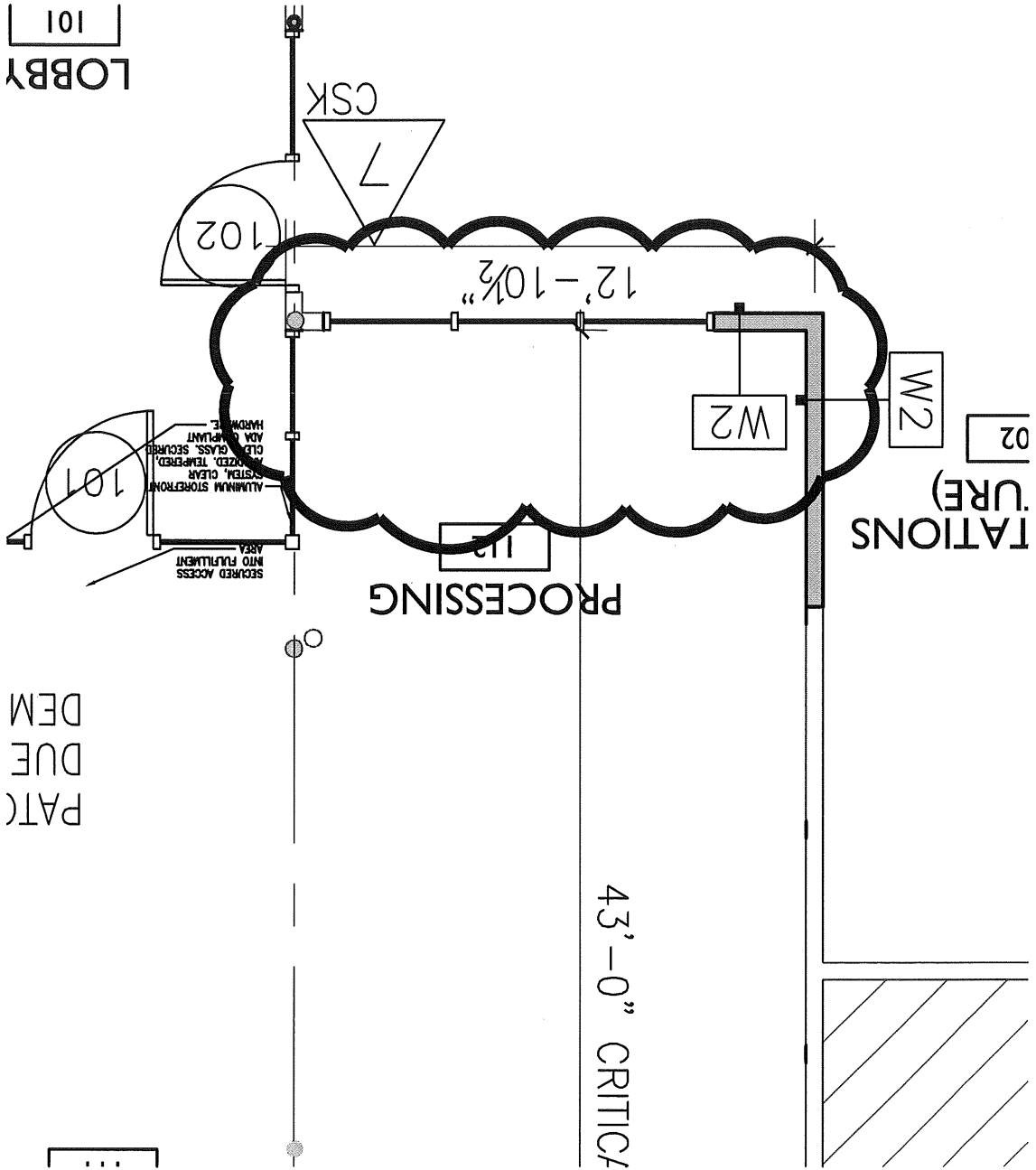
207-883-6307 tel 207-883-0361 fax

Gawron Turgeon ARCHITECTS

DATE:	10.22.12
PROJECT #:	120111
DRAWN BY:	LAP
SCALE:	1/4"=1'-0"

APOTHECARY BY DESIGN
 141 PREBLE ST, PORTLAND
 PARTIAL FLOOR PLAN -
 REMOVE DOOR 112

CSK
 7A
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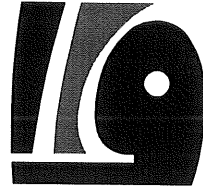
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APOTHECARY BY DESIGN

PARTIAL FLOOR PLAN -
REMOVE DOOR 112



Gawron
Turgeon
ARCHITECTS

207-883-6307 tel / 207-883-0361 fax

DATE:	10.22.12
PROJECT #:	120111
DRAWN BY:	LAP
SCALE:	NTS

DOOR SCHEDULE ABBREVIATIONS																	
ELECTRICAL		NO		NUMBER		WOOD (SOLID)		WIRE GLASS		STAIN		PAINT					
EHO	FIELD OPERATOR	ES	ES	ES	ELECTRIC STRIKE	WD	WD	WG	WG	STN	STN	PTD	PTD				
HM	FIELD OPERATOR	ES	ES	ES	ELECTRIC STRIKE	WD	WD	WG	WG	STN	STN	PTD	PTD				
INS	INSULATED	TEMP	TEMP	TEMP	TEMPERED	WD	WD	WG	WG	STN	STN	PTD	PTD				
MTL	METAL	THK	THK	THK	THICKNESS	WD	WD	WG	WG	STN	STN	PTD	PTD				
DOORS																	
NO	TYPE	SIZE	THK	MAT.	FINISH	REMARKS	TYPE	MAT.	DETAILS			SILL CONDITION		RATING	HARDWARE	DOORS	
									HEAD	JAMB	FINISH	REMARKS	MAT.				SILL
100A	E	REPLACE EXSTG UNIT	1-3/4"	AL	AL	INSUL/TEMP	5	AL	H2	J2	SATIN	REPLACE EXSTG DOOR UNIT	AL	AL	ADA	NEW LOW PROFILE THRESHOLD	NO
100	E	36"x84"	1-3/4"	AL	AL	INSUL/TEMP	4	AL	H3	J3	SATIN	REPLACE EXSTG DOOR UNIT	AL	NA	ADA	HW1	100A
101	C	36"x84"	1-3/4"	AL	AL	NON THERMAL/TEMP	3	AL	H3	J3	SATIN		AL	NA	ADA	HW1A	100
102	C	36"x84"	1 3/4"	AL	AL	NON THERMAL	6	AL	H3	J3	SATIN		NA	NA	NA	HW2	101
103A	NA	NA	NA	NA	NA	EXSTG	NA	NA	NA	NA	NA	EXSTG	NA	NA	NA	HW1A	102
103B	NA	NA	NA	NA	NA	EXSTG	NA	NA	NA	NA	NA	EXSTG	NA	NA	NA	REKEY TO MASTER SYSTEM	103A
104	NA	NA	NA	NA	NA	EXSTG	NA	NA	NA	NA	PTD	EXSTG	NA	NA	NA	EXSTG	103B
105	NA	NA	NA	NA	NA	EXSTG	NA	NA	NA	NA	PTD	EXSTG	NA	NA	NA	HWS	104
106	B	MATCH EXSTG SIZE	1-3/4"	NA	STN	NEW DOOR	EXIST.	NA	NA	NA	PTD	EXSTG FRAME	NA	NA	NA	TBD	105
107	NA	NA	NA	NA	PTD	EXSTG	NA	NA	NA	NA	PTD	EXSTG	NA	NA	NA	HW9	106
108	NA	NA	NA	NA	PTD	EXSTG	NA	NA	NA	NA	PTD	EXSTG	NA	NA	NA	EXSTG	107
112	NA	NA	NA	NA	PTD	EXSTG	NA	NA	NA	NA	PTD	EXSTG	NA	NA	NA	EXSTG	108
NOT USED																	
116	A	36"x84"	1-3/4"	WD	STN		1	HM	H1	J1	PTD		NA	NA	NA	HW4	112
118	A	36"x84"	1-3/4"	WD	STN		1	HM	H1	J1	PTD	REWORK SLIDING	NA	NA	NA	HW4	116

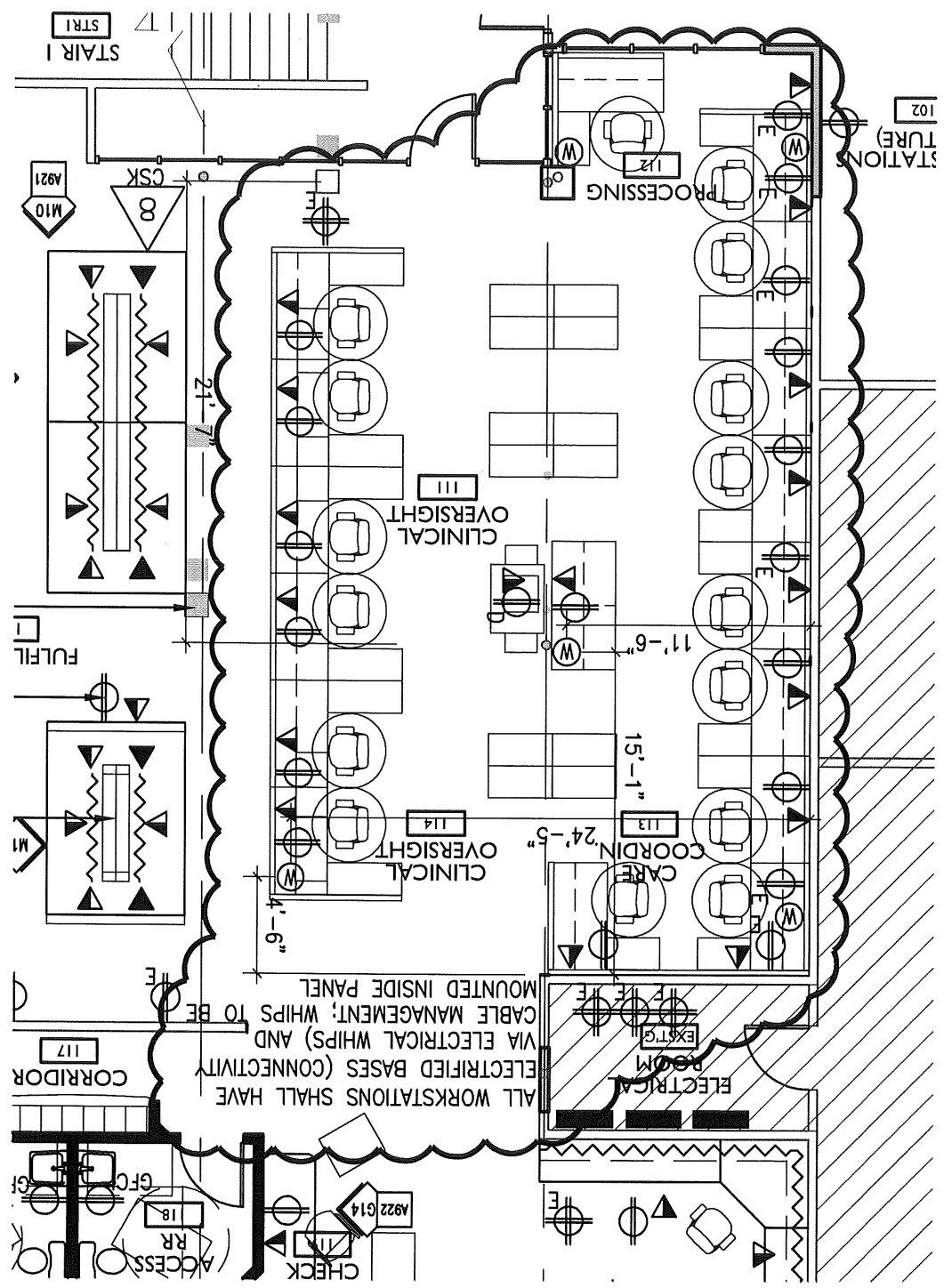


Gawron
Turgeon
ARCHITECTS
207-883-6307 tel. 207-883-0361 fax

DATE:	10.23.12
PROJECT #:	120111
DRAWN BY:	BEF
SCALE:	1/8"=1'-0"

APOTHECARY BY DESIGN
141 PREBLE ST, PORTLAND
PARTIAL FLOOR PLAN -
ELECTRICAL WHIP LOCATION

CSK
8A
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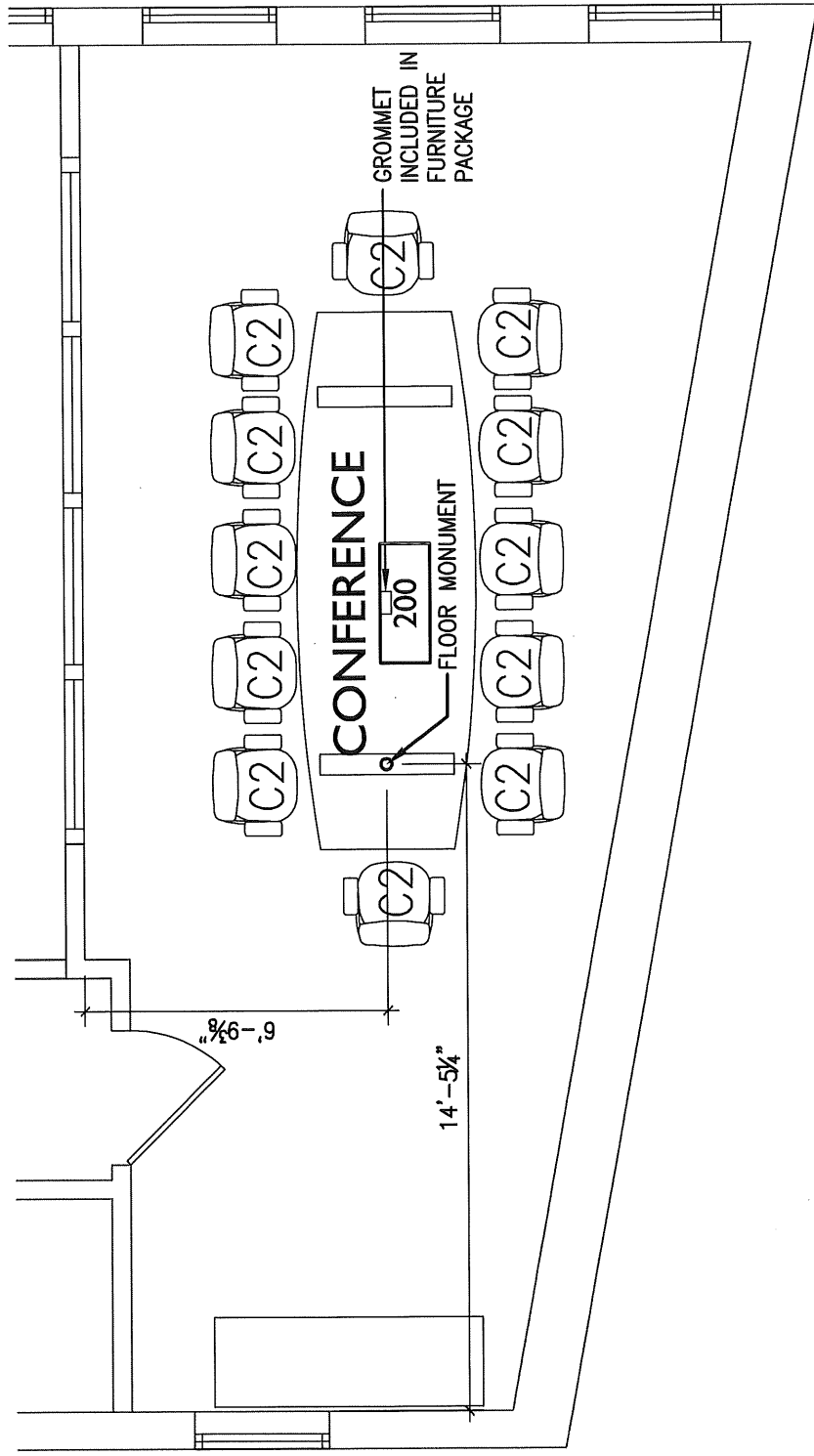
LEGEND:
⊙ ELECTRICAL WHIP

CSK
10

APOTHECARY BY DESIGN
PORTLAND, MAINE
CONFERENCE ROOM
FLOOR MONUMENT LOCATION

DATE:	10.29.12
PROJECT #:	120111
DRAWN BY:	BEF
SCALE:	1/4"=1'-0"

207-883-6307 tel 207-883-0361 fax
Gawron
Turgeon
 ARCHITECTS

CODE	MATERIAL	MANUFACTURER	PRODUCT, STYLE AND COLOR	FINISH	REMARKS/NOTES
C1	CARPET	PHILADELPHIA QUEEN COMMERCIAL	CLIC COLLECTION, FUSE TILE-54520, COLOR: TO MELD-00100, 24"X24"	FACTORY	
C2	CARPET	PHILADELPHIA QUEEN COMMERCIAL	CLIC COLLECTION, FUSE BL-54552, COLOR: TO MELD-00100, 12" GOODS	FACTORY	AT FULFILLMENT HAS CARE COORDIN. 113 PROCESSING 119, CLINICAL OVERSIGHT 114, CLINICAL ATTENTION 115, FINISH CHECK 116, CORRIDOR 117, AND SHIPPING 120. PROVIDE SHAW FB100 OR DUBL-BAC DOUBLE STICK CUSHION PAD; REFER TO A5/A910 FOR TRANSITION
T1	TILE, PORCELAIN	MANNINGTON COMMERCIAL	COLLECTION: SERENGETI SLATE, COLOR: MIDNIGHT	SEALED	
T2	TILE, PORCELAIN	MANNINGTON COMMERCIAL	COLLECTION: SERENGETI SLATE, COLOR: IVORY TUSK, 12"X12"	SEALED	
SV1	SHEET VINYL	MANNINGTON COMMERCIAL	FINE FIELDS, COLOR: DEEP SUEDE-10345, .080" THICKNESS	FACTORY	1/2" FLASH GULVE BASE; HEAT WELD SEAMS; REFER TO MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION, FLOOR PREPARATION, & ADHESIVES
SV2	SHEET VINYL	MANNINGTON COMMERCIAL	NATURES PATH, AMERICAN WALNUT-12124, 4"X6", 2.5 MM THICKNESS	FACTORY	HEAT WELD SEAMS; REFER TO MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION, FLOOR PREPARATION, & ADHESIVES
VP1	VINYL PLANK	MANNINGTON COMMERCIAL		FACTORY	

A INTERIOR FINISH LEGEND CHANGES

NTS

Apothecary by Design- Portland

Room #	Room Name	Floor		Walls				Trim			Countertop/ Worksurface/ Cabinets			Remarks					
		Floor	Grout	North Wall	East Wall	South Wall	West Wall	Wainscoting	Base	Decorative Trim(s)	Door(s)	Door & Window Moulding	Horizontal Plane	Vertical Plane	SF	SQUARE FEET	MEL	MELAMINE	
100	VEST	EM/TL	G1	P2	P2	P2	P2	P2	P2	P2	P2	P2	P2	P2	P2	P2	P2	P2	P2
101	LOBBY	TI	G1	STRFRNT	P3	P3/P3*	P2	NA	VCE1	P7	P7	NA	NA	NA	NA	NA	NA	NA	NA
101A	POS	NA	NA	NA	NA	NA	NA	NA	VCE1	P7	P7	NA	NA	NA	NA	NA	NA	NA	NA

Code order: above chairrail / below chairrail

REFER TO A5/A910 FOR ACCENT PAINT LOCATIONS

B INTERIOR FINISH SCHEDULE CHANGES

NTS

ITEM	DESCRIPTION	FINISH	PRODUCT	MANUFACTURER	NOTES
P3	PAINT	EGGSHELL	PRODUCT: ECOSPEC WB, COLOR: SPRINGFIELD SAGE BM#510	BENJAMIN MOORE	
P4	PAINT	EGGSHELL	PRODUCT: ECOSPEC WB, COLOR: BEACH COMBER BM#693	BENJAMIN MOORE	
P5	PAINT	EGGSHELL	PRODUCT: ECOSPEC WB, COLOR: ALPACA BM#1074	BENJAMIN MOORE	
P6	PAINT	EGGSHELL	PRODUCT: ECOSPEC WB, COLOR: ONONDAGA CLAY BM#1204	BENJAMIN MOORE	
P7	PAINT	EGGSHELL	PRODUCT: ECOSPEC WB, COLOR: SUNSHINE BM#1204	BENJAMIN MOORE	
P8	PAINT	FACTORY	PRODUCT: SANGLAZE II WALL SYSTEM, COLOR: BRIGHT CEILING WHITE	SHERWIN WILLIAMS	
PL2	PLASTIC LAMINATE	FACTORY	FIGURED ANNIGRE MATTE- 7284-S8	FORMICA	
PL3	PLASTIC LAMINATE	FACTORY	MATTE COLLECTION, WHEAT STRAND 6212-S8	FORMICA	
PL4	PLASTIC LAMINATE	FACTORY	WHITE-SW811-S, SUEDE FINISH	FORMICA	
PL5	PLASTIC LAMINATE	FACTORY	NATURE SOLIDZ-7615-S8	FORMICA	

12
CSK

A INTERIOR FINISH LEGEND CHANGES

NTS

ITEM	DESCRIPTION	FINISH	PRODUCT	MANUFACTURER	NOTES
102	WORKSTATIONS (FUTURE)	C1	NA	NA	
103	CORRIDOR	T1/T2	G1	NA	
104	COMPOUNDING ROOM	SV1	NA	NA	
105	PREP ROOM	SV2	NA	NA	
106	ANTE ROOM	SV2	NA	NA	
107	CLST	SV2	NA	NA	
108	EXISTING CHANGING ROOM	EXIST.	EXIST.	NA	
109	CORR	C1	NA	NA	
110	OPEN	C2	NA	NA	
111	CLINICAL OVERSIGHT	C2	NA	NA	
112	PROCESSING	C2	NA	NA	
113	CARE COORDIN	C2	NA	NA	
114	CLINICAL OVERSIGHT	C2	NA	NA	
115	FULFILLMENT	C2	NA	NA	

12
CSK

B INTERIOR FINISH SCHEDULE CHANGES

NTS

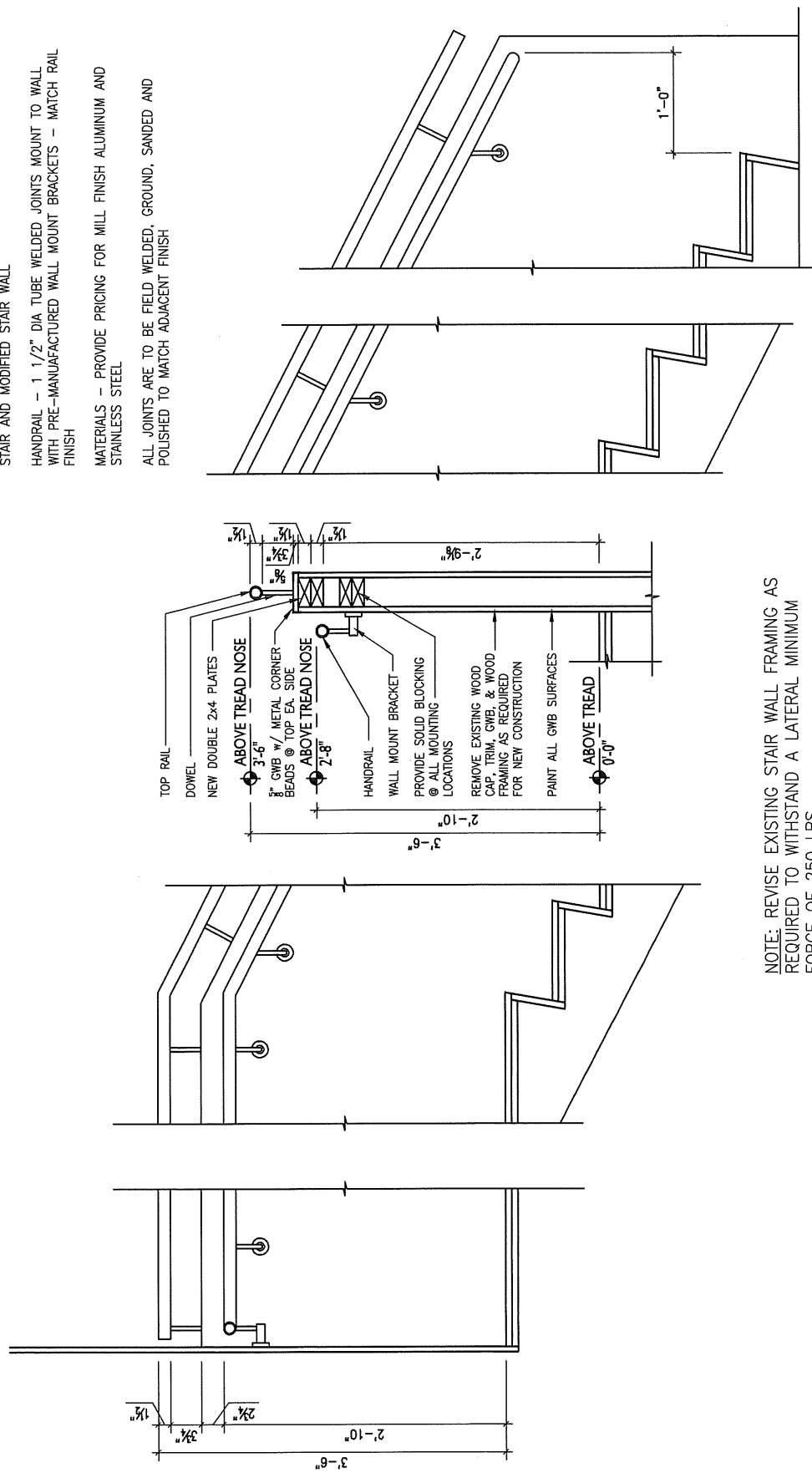
HEAT WELD SEAMS; PAINT COLUMNS P1; PAINT SOFFIT ABOVE P1

DATE	11.07.12
PROJECT#	120111
DRAWN BY	DMR
CHECKED BY	1"=1'-0"

CSK	13
<small>© COPYRIGHT 1988-2012 GAWRON TURGEON ARCHITECTS ALL RIGHTS RESERVED</small>	

GENERAL NOTES:
TOP RAIL -- 1 1/2" DIA TUBE WELDED JOINTS ATTACHED TO TOP OF STAIR WALL BY EVENLY SPACED (4'-0" MAX) 1/2" DIA SOLID DOWEL FABRICATED ON SITE OR AS REQUIRED TO FIT EXISTING STAIR AND MODIFIED STAIR WALL
HANDRAIL -- 1 1/2" DIA TUBE WELDED JOINTS MOUNT TO WALL WITH PRE-MANUFACTURED WALL MOUNT BRACKETS -- MATCH RAIL FINISH
MATERIALS -- PROVIDE PRICING FOR MILL FINISH ALUMINUM AND STAINLESS STEEL

ALL JOINTS ARE TO BE FIELD WELDED, GROUND, SANDED AND POLISHED TO MATCH ADJACENT FINISH

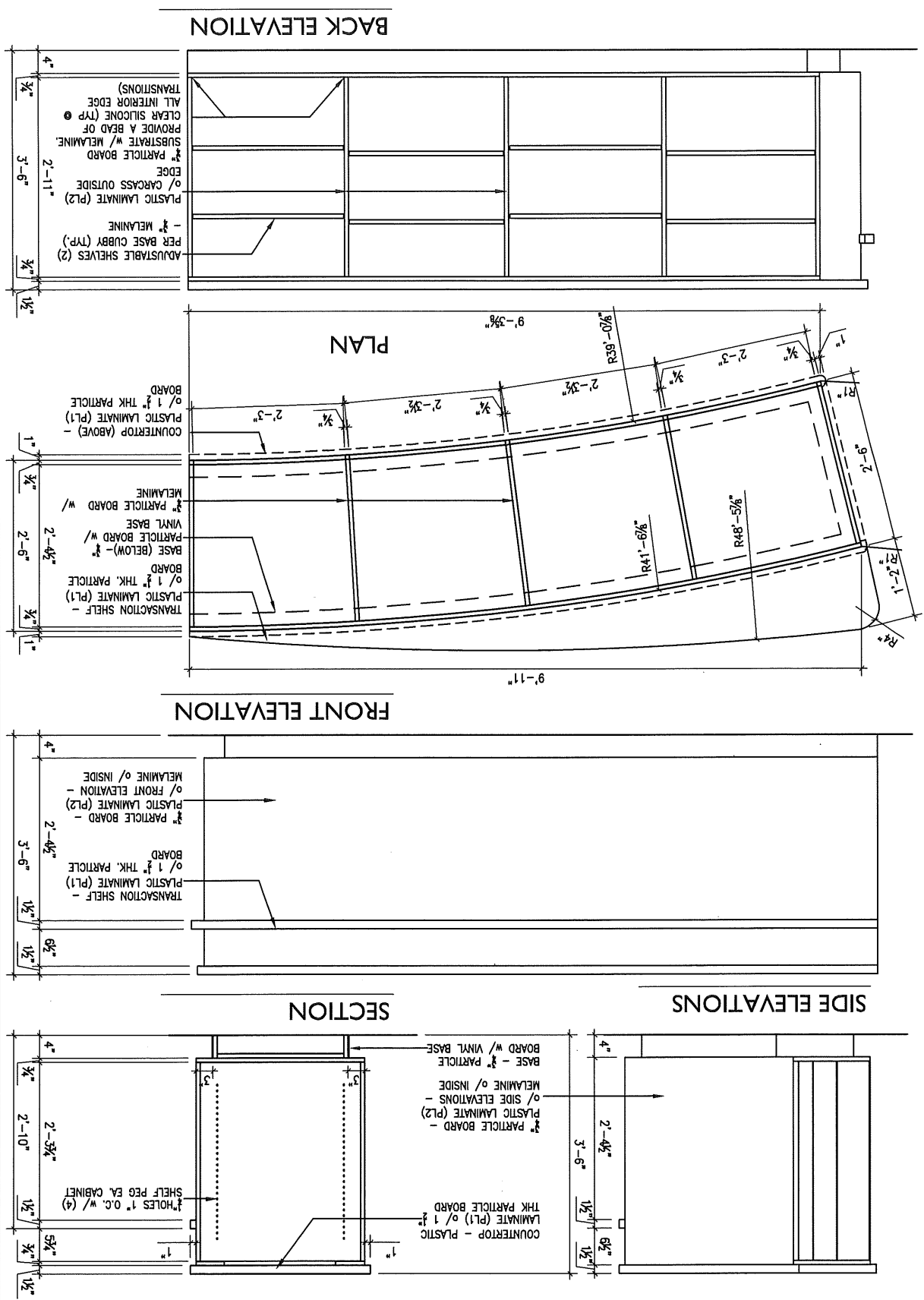


NOTE: REVISE EXISTING STAIR WALL FRAMING AS REQUIRED TO WITHSTAND A LATERAL MINIMUM FORCE OF 250 LBS.

AI DETAIL

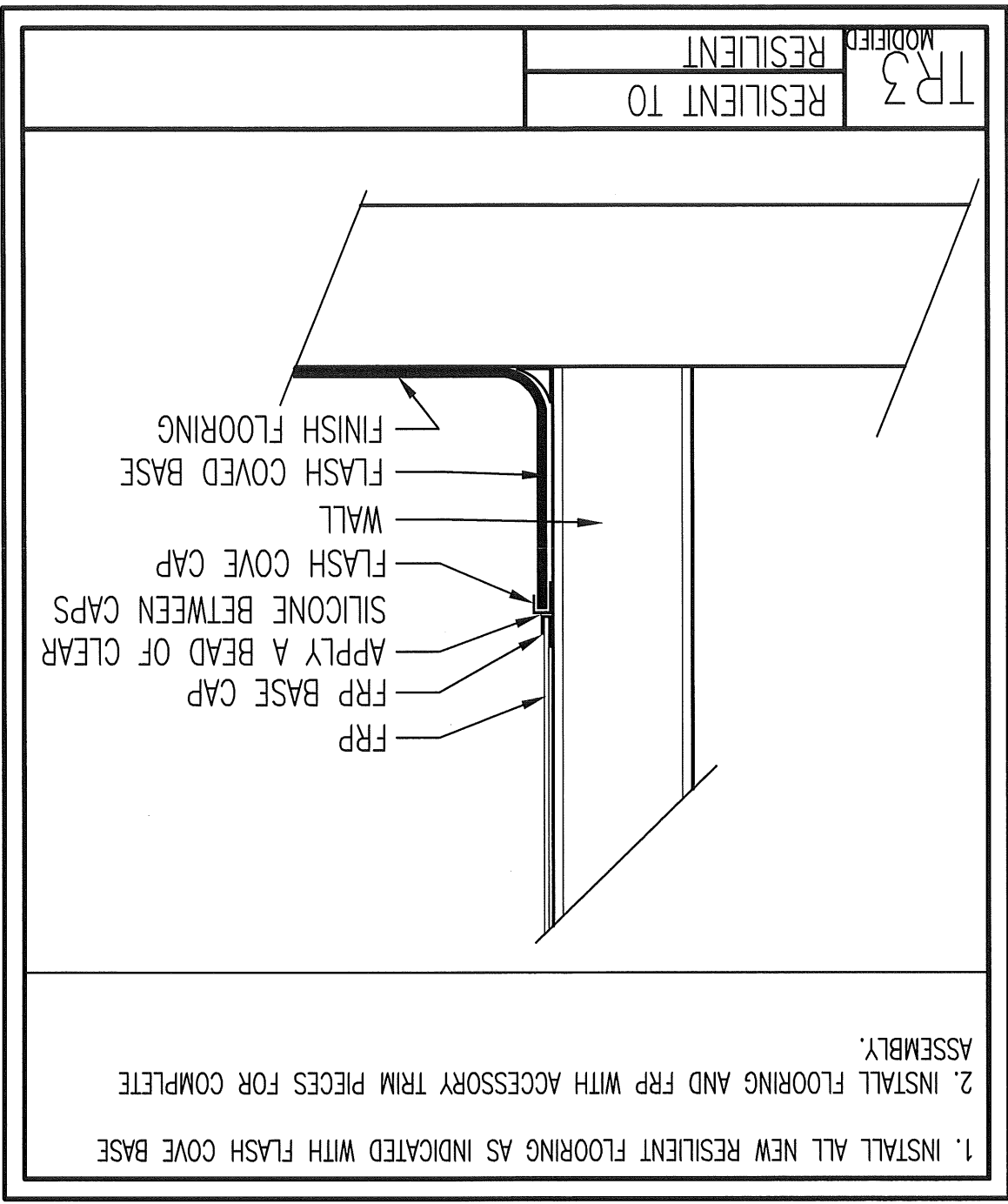
1"=1'-0" GUARDRAIL / HANDRAIL DETAILS @ OPEN STAIR

AI POS COUNTER 3/4"=1'-0"



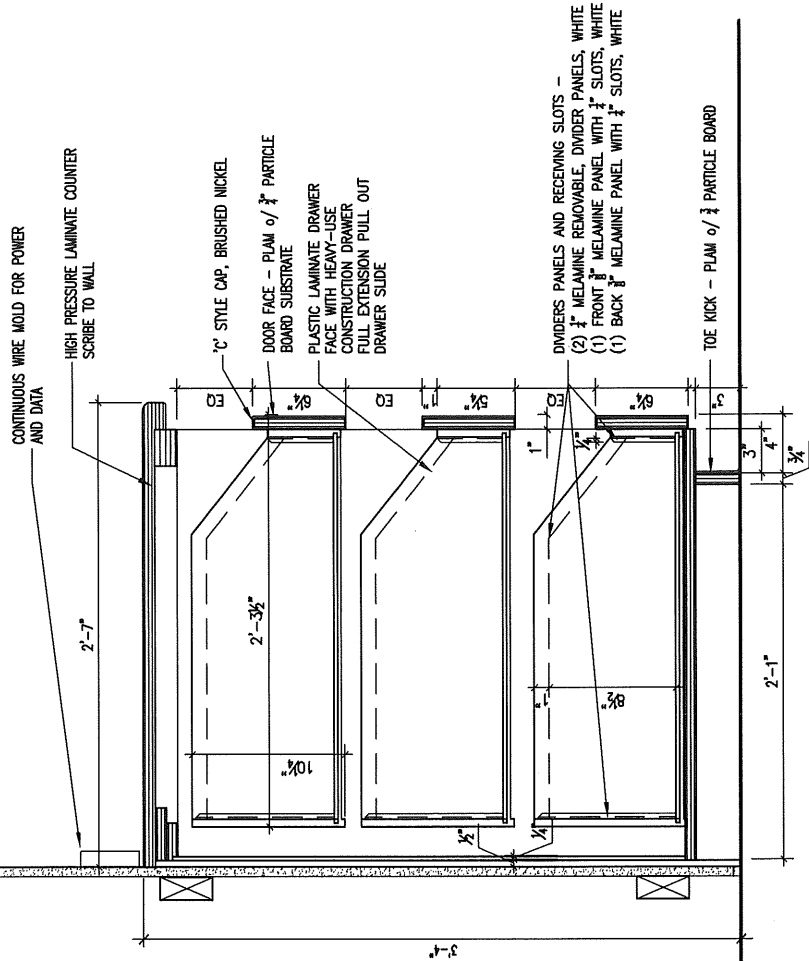
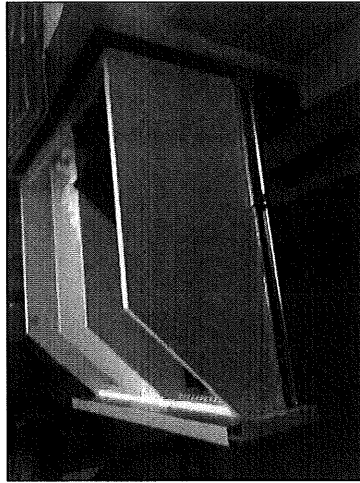
DATE:	11.29.12
PROJECT #:	120111
DRAWN BY:	LAP
SCALE:	NTS

APOTHECARY BY
 DESIGN
 141 PREBLE ST, PORTLAND
 FLOOR - BASE TRANSITION



DATE:	11.30.12
PROJECT#:	120111
DRAWN BY:	LAP
DRAWING TYPED:	AS NOTED

CSK	17
------------	----



A2 SECTION - VIAL DRAWERS

A2 11/07/12

A1 IMAGES-EXISTING VIAL DRAWERS

A1 FOR REFERENCE

ELECTRICAL PERMIT

City of Portland, Maine

To the Electrical Inspector, Portland Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the City of Portland's Electrical Ordinances, National Electrical Code and the following specifications:



Date: 8/28/12
 Permit #: 201247618
 CBL#: 034-D-004

ADDRESS: 137 Preble METER MAKE/MODEL #: _____
 CMP Work Order #: _____ OWNER: _____
 TENANT: Apothecary By Design PHONE #: _____

PLEASE HAVE YOUR PERMIT # (OR JOB ID) READY & CALL 874-8703 TO SCHEDULE AN INSPECTION! TOTAL EACH FEE

OUTLETS:	Receptacles	Switches	Smoke Detector	0.20	
FIXTURES:	Incandescent	Flourescent	Strips	0.20	
SERVICES:	Overhead	Underground	TTL Amps <800	15.00	
			TTL Amps >800	25.00	
TEMPORARY SERVICE:	Overhead	Underground	TTL Amps	25.00	
METERS:	(Number of)			1.00	
MOTORS:	(Number of)			2.00	
RESID/COMMER:	Electric Units			1.00	
HEATING:	Oil/Gas Units	Interior	Exterior	5.00	
APPLIANCES:	Ranges	Cook Tops	Wall Ovens	2.00	
	Insta-hot	Water Heaters	Fans	2.00	
	Dryers	Disposals	Dishwasher	2.00	
	Compactors	Spa	Washing Machine	2.00	
	Others (denote)			2.00	
	MISC. (# of):	Air Cond (Window)			3.00
		Air Cond (Central)		Pools	10.00
	HVAC	EMS	Thermostat	5.00	
	Signs			10.00	
	Alarms/Resident			5.00	
	Alarms/Commer			15.00	
	Heavy Duty (CRKT)			2.00	
	Alterations			5.00	
	Fire Repairs			15.00	
	Emergency Lights			1.00	
	Emer Generators			20.00	
	Circus/Carnival			25.00	
PANELS:	Service	Remote	Main	4.00	
TRANSFORMER:	0-25 Kva			5.00	
	25-200 Kva			8.00	
	Over 200 Kva			10.00	

SCANNED

RECEIVED

AUG 28 2012

Dept. of Building Inspections
City of Portland Maine

MINIMUM COMMERCIAL FEE: \$55.00 **MINIMUM RESIDENTIAL FEE: \$45.00** **TOTAL DUE: 55**

PLEASE HAVE YOUR PERMIT # (OR JOB ID) READY & CALL 874-8703 TO SCHEDULE AN INSPECTION!

CONTRACTOR INFORMATION:
 Contractor Name: Cunningham Security/Michael Major Master License #: MS100008944
 Address: 10 Princes Point Rd. Limited License #: _____
 Telephone: 207-846-3350

Contractor Signature: Michael Major

PLEASE HAVE YOUR PERMIT # (OR JOB ID) READY & CALL 874-8703 TO SCHEDULE AN INSPECTION!

CBL: 034 DOB

ELECTRICAL PERMIT

City of Portland, Maine

To the Electrical Inspector, Portland Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the City of Portland's Electrical Ordinances, National Electrical Code and the following specifications:



Date: 10-22-12
 Permit #: 084 D 004
 CBL#: 2012 08 4556

ADDRESS: 141 Peabody St. METER MAKE/MODEL #: _____
 CMP Work Order #: _____ OWNER: _____
 TENANT: Roathacrom by Design PHONE #: _____

PLEASE HAVE YOUR PERMIT # (OR JOB ID) READY & CALL 874-8703 TO SCHEDULE AN INSPECTION! TOTAL EACH FEE

OUTLETS:	70	Receptacles	15	Switches		Smoke Detector	0.20
FIXTURES:		Incandescent	70	Flourescent		Strips	0.20
SERVICES:		Overhead		Underground		TTL Amps <800	15.00
						TTL Amps >800	25.00
TEMPORARY SERVICE:		Overhead		Underground		TTL Amps	25.00
METERS:		(Number of)					1.00
MOTORS:		(Number of)					2.00
RESID/COMMER:		Electric Units					1.00
HEATING:		Oil/Gas Units		Interior		Exterior	5.00
APPLIANCES:		Ranges		Cook Tops		Wall Ovens	2.00
		Insta-hot		Water Heaters		Fans	2.00
		Dryers		Disposals		Dishwasher	2.00
		Compactors		Spa		Washing Machine	2.00
		Others (denote)					2.00
MISC. (# of):		Air Cond (Window)					3.00
		Air Cond (Central)				Pools	10.00
		HVAC				Thermostat	5.00
		Signs					10.00
		Alarms/Resident					5.00
		Alarms/Commer					15.00
		Heavy Duty (CRKT)					2.00
		Alterations					5.00
		Fire Repairs					15.00
		Emergency Lights					1.00
	Emer Generators					20.00	
	Circus/Carnival					25.00	
PANELS:		Service		Remote		Main	4.00
TRANSFORMER:		0-25 Kva					5.00
		25-200 Kva					8.00
		Over 200 Kva					10.00

CBL: 084 D 004

SCANNED

OCT 22 2012

Dept. of Building Inspections
City of Portland, Maine

MINIMUM COMMERCIAL FEE: \$55.00 **MINIMUM RESIDENTIAL FEE: \$45.00** **TOTAL DUE:**

Brief Description of work: _____

PLEASE HAVE YOUR PERMIT # (OR JOB ID) READY & CALL 874-8703 TO SCHEDULE AN INSPECTION!

CONTRACTOR INFORMATION:

Contractor Name: Bever Milton Electrical Const. LLC Master License #: MS60019519
 Address: 59 Middle St. 2nd Floor Limited License #: _____
 Telephone: 232-0397

Contractor Signature: Bever Milton

PLEASE HAVE YOUR PERMIT # (OR JOB ID) READY & CALL 874-8703 TO SCHEDULE AN INSPECTION!



11103

MBING PERMIT APPLICATION

PROPERTY ADDRESS
 Street: 137 Peabody Street
 CBL: 034 DOOR

PROPERTY OWNER(S) NAME
 NAME: APOTHECARY BY DESIGN
 Applicant Name: S.P. Plumbing & Heating Inc
 Mailing Address of Owner/Applicant (if Different): 120 Thaddeus St. Suite 8 So. Portland ME 04106

Owner/Applicant Statement
 I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector(s) to deny a permit.
 Signature of Owner/Applicant: [Signature] Date: 9/26/12

Town/City PORTLAND Permit # 2012 48668
 Date Permit Issued 9/26/12 Fee: \$ 120 Double Fee Charged []
 Local Plumbing Inspector Signature: [Signature] L.P.I. # 360

The Internal Plumbing Fixtures and Piping shall not be installed until a Permit is issued by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the plumbing system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules Application.

Date Approved (Rough-in)

LPI Signature

Date Approved (Final)

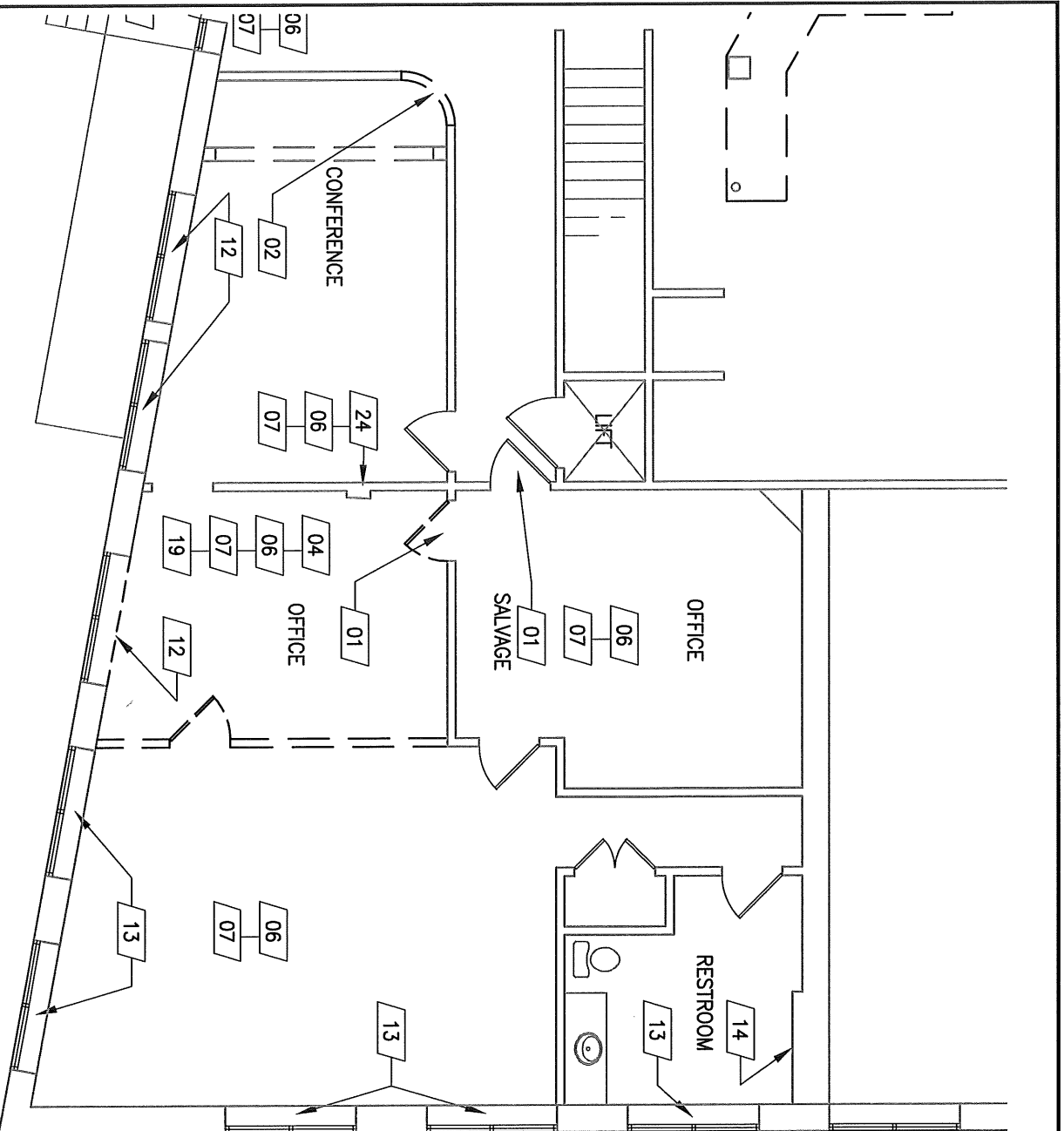
PERMIT INFORMATION

<p>This Application is for</p> <p>1. <input type="checkbox"/> NEW PLUMBING</p> <p>2. <input checked="" type="checkbox"/> RELOCATED PLUMBING</p>	<p>Type of Structure to be Served</p> <p>1. <input type="checkbox"/> SINGLE FAMILY RESIDENCE</p> <p>2. <input type="checkbox"/> MODULAR OR MOBILE HOME</p> <p>3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING</p> <p>4. <input checked="" type="checkbox"/> OTHER-SPECIFY <u>Commercial Space</u></p>	<p>Plumbing to be Installed by:</p> <p>NAME: <u>Stephen Corbeau</u></p> <p>1. <input checked="" type="checkbox"/> MASTER PLUMBER</p> <p>2. <input type="checkbox"/> OIL BURNERMAN</p> <p>3. <input type="checkbox"/> MFG'D HOUSING DEALER / MECHANIC</p> <p>4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE</p> <p>5. <input type="checkbox"/> PROPERTY OWNER</p> <p>LICENSE # <u>2709</u></p>
--	---	---

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 City of Portland Maine

Please call 874-8703 with your permit # to schedule inspections!

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2 Number Type of Fixture	Column 1 Number Type of Fixture
<input type="checkbox"/> HOOK-UP: to public sewer by those cases where the connection is not regulated and inspected by the local sanitary district.	<input type="checkbox"/> Hosebib / Sillcock	<input type="checkbox"/> Bathtub (and Shower)
	<input type="checkbox"/> Floor Drain	<input type="checkbox"/> Shower (separate)
	<input type="checkbox"/> Urinal	<input type="checkbox"/> Sink
	<input type="checkbox"/> Drinking Fountain	<input type="checkbox"/> Wash Basin
	<input type="checkbox"/> Indirect Waste	<input type="checkbox"/> Water Closet (Toilet)
<input type="checkbox"/> HOOK-UP: to an existing subsurface wastewater disposal system	<input type="checkbox"/> Water Treatment Softener, Filter, Etc.	<input type="checkbox"/> Clothes Washer
	<input type="checkbox"/> Grease / Oil Separator	<input type="checkbox"/> Dish Washer
	<input type="checkbox"/> Roof Drain	<input type="checkbox"/> Garbage Disposal
<input type="checkbox"/> PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.	<input type="checkbox"/> Bidet	<input type="checkbox"/> Laundry Tub
	<input type="checkbox"/> Other: _____	<input type="checkbox"/> Water Heater
	<input type="checkbox"/> Fixtures (Subtotal) Column 2	<input type="checkbox"/> Fixtures (Subtotal) Column 1
OR		<input type="checkbox"/> TOTAL FIXTURES
<input type="checkbox"/> TRANSFER FEE [\$10.00]	Fees by fixture: First 4 fixtures = \$40 Over 4 = \$10/fixture + \$10 Surcharge	<input type="checkbox"/> Fixture Fee <input type="checkbox"/> Transfer Fee
		<input type="checkbox"/> Hook-Up & Relocation Fee
Please call 874-8703 with your permit # to schedule inspections!		<u>120</u> PERMIT FEE (TOTAL)



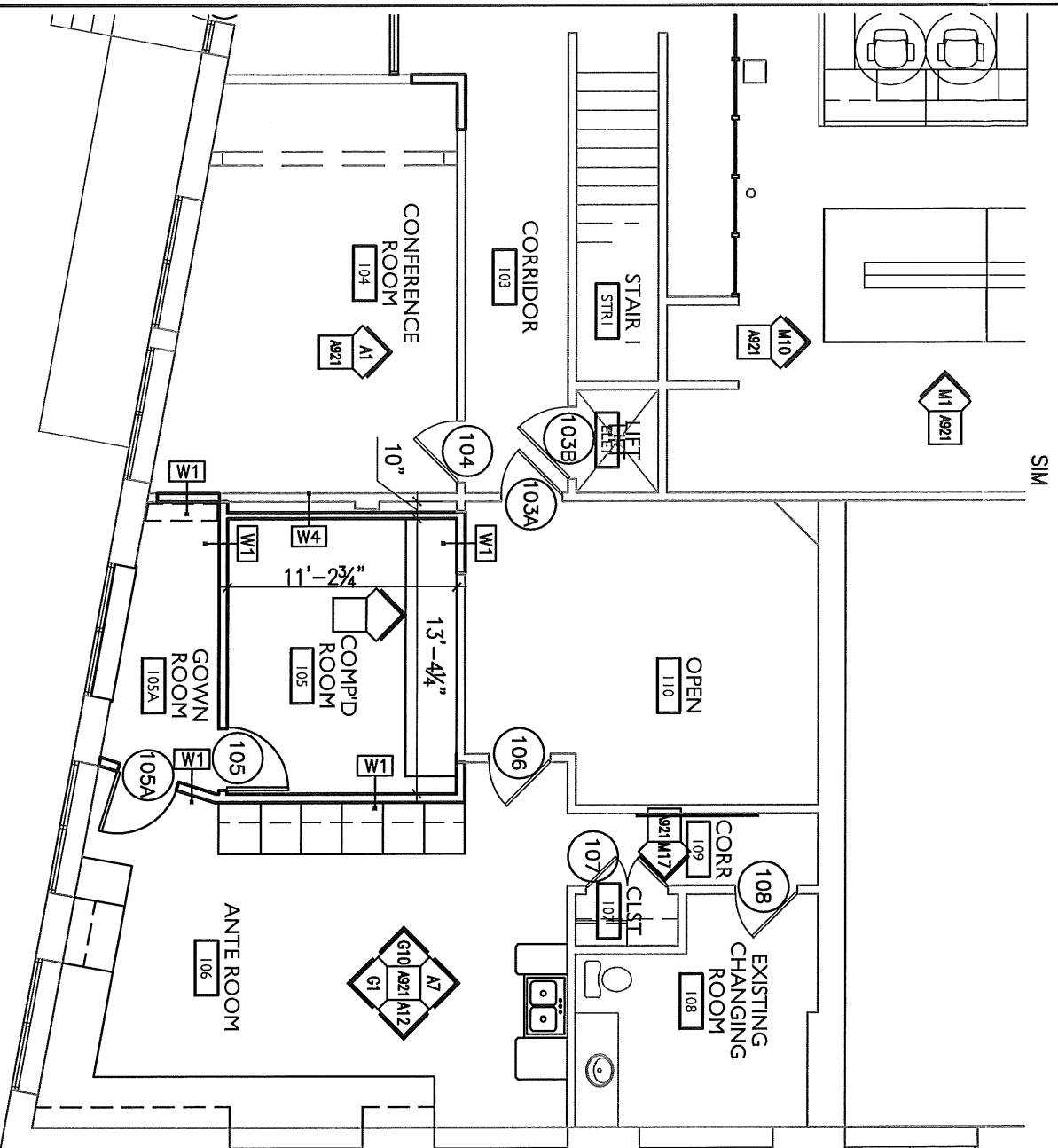
A1 DEMOLITION FLOOR PLAN

1/8"=1'-0" COMPOUNDING LAB REVISION

- 01 REMOVE DOOR, FRAME AND ALL ASSOCIATED HARDWARE AS REQUIRED FOR NEW CONSTRUCTION
- 02 REMOVE WALL AS REQUIRED FOR NEW CONSTRUCTION.
- 04 REMOVE ALL CEILING GRIDS, TILE AND ASSOCIATED HARDWARE AS REQUIRED FOR NEW CONSTRUCTION.
- 05 REMOVE ALL WALL FINISHES AND ASSOCIATED ADHESIVES AS REQUIRED FOR A SMOOTH AND LEVEL APPLICATION OF NEW FINISHES
- 06 REMOVE ALL FLOOR COVERING AND ASSOCIATED ADHESIVES, SOIL AND DEBRIS AND PREPARE EXISTING SUBFLOOR AS REQUIRED FOR SMOOTH AND LEVEL APPLICATION OF NEW FLOORING.
- 07 REMOVE WALL BASE AND ASSOCIATED ADHESIVES. PREPARE EXISTING WALL AS REQUIRED FOR SMOOTH AND LEVEL APPLICATION OF NEW BASE - SALVAGE ALL EXISTING WOOD BASE FOR RE-USE
- 12 REMOVE EXISTING WINDOW TREATMENTS.
- 13 ALL EXISTING WINDOW TREATMENTS TO REMAIN - PROTECT DURING CONSTRUCTION
- 14 REMOVE IT EQUIPMENT
- 19 REMOVE LIGHTING
- 21 REMOVE PLYWOOD PANELS

B1 DEMO LEGEND

NA COMPOUNDING LAB REVISION



A2 FLOOR PLAN

1/8"=1'-0" COMPOUNDING LAB REVISION

- FLOOR PLAN LEGEND**
- 01 SHELVING UNIT BY ABD.
 - 02 LEXAN WINDOW STOOL - INSTALL AND SEAL AS REQUIRED TO MEET ISO7 REQUIREMENTS.
 - 03 LEXAN WINDOW INSERT - PROVIDE REMOVABLE CLEAR LEXAN 1/2" THK SHEET - GASKET AS REQUIRED TO MEET ISO7.
 - 04 NOT USED
 - 05 DUCT CHASE (NON-RATED) - COORDINATE DIMENSIONS w/ OWNER, MECHANICAL CONTRACTOR & EQUIPMENT SUPPLIER.
 - 06 DOUBLE BOWL, STAINLESS STEEL SINK & EYEWASH STATION.

A2 PLAN LEGEND

NA COMPOUNDING LAB REVISION

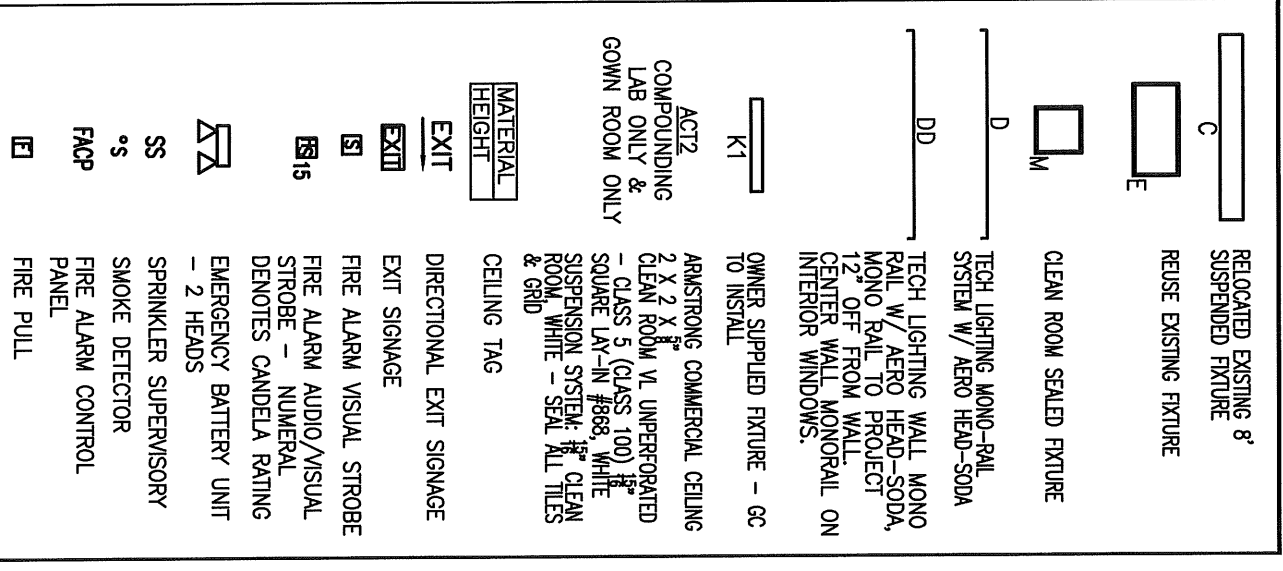
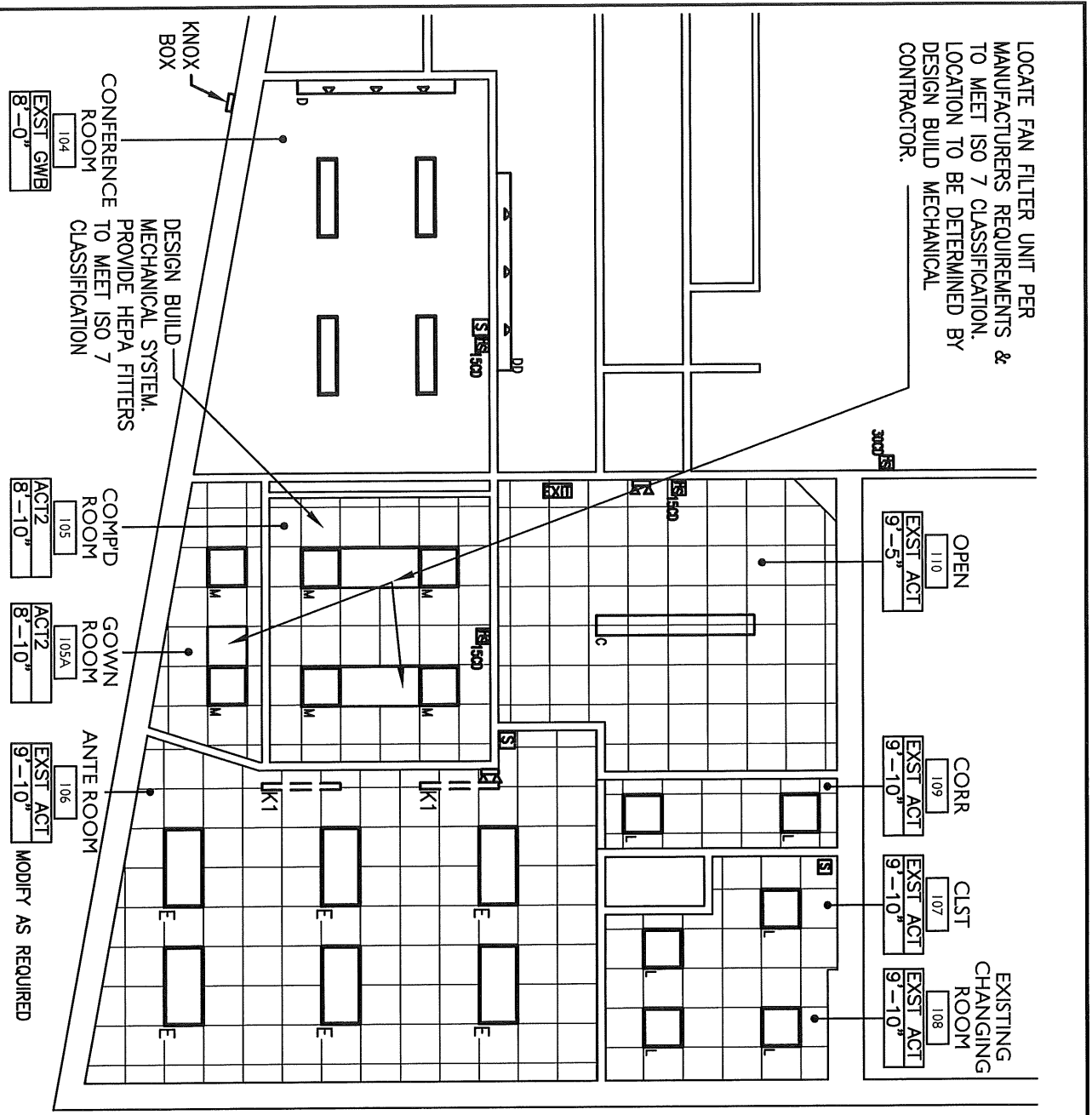
Sheet 1 of 6
 CSK - 9
 REVISIONS:
 11.20.12
 PROJECT #: 120111
 DRAWN BY: DMR
 AS NOTED

APOTHECARY BY DESIGN
 141 PREBLE ST, PORTLAND
 COMPOUNDING LAB - RELOCATION / REVISION

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 City of Portland Maine

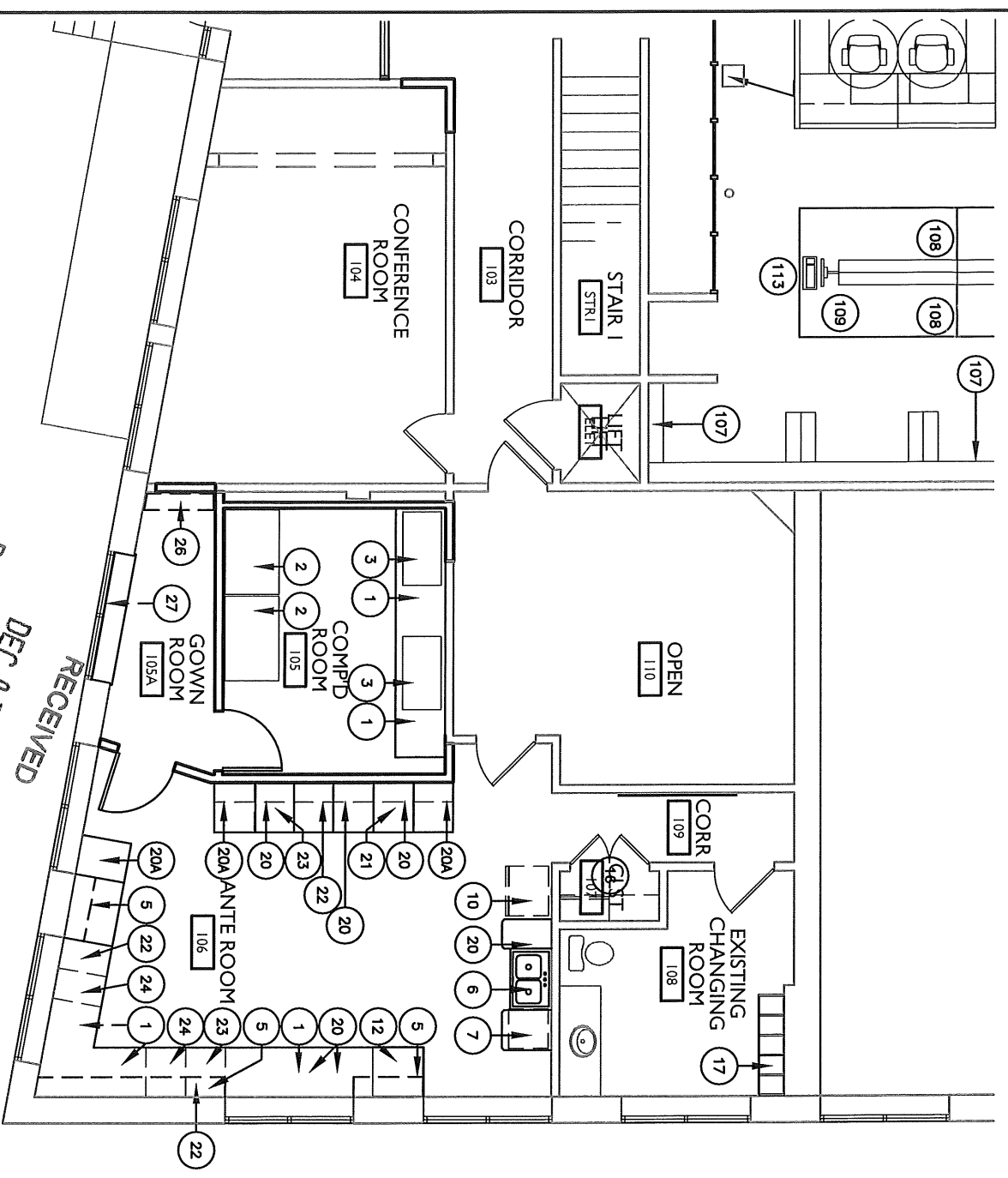
29 Black Point Road
 Scarborough, Maine 04074
 WWW.GAWRONARCHITECTS.COM
 207-883-5307 tel 207-883-0361 fax

Gawron
Architects



A1 REFLECTED CEILING PLAN
 1/8"=1'-0"
 COMPOUNDING LAB REVISION

B1 RCP LEGEND
 NA
 COMPOUNDING LAB REVISION



- NOTES**
1. COPPER WILL NOT BE LOCATED IN THE ANTE ROOM
 2. PROVIDE BERBERGLASS RENOVATED PANES (RCP) AND ASSOCIATED TRIM PIECES FOR COMPLETE SYSTEM AT ALL WALLS IN COMPOUNDING LAB 105.
- NOTES**
1. COUNTER (ø 40" A.F.F. UNLESS OTHERWISE NOTED)
 2. GLOVE BOX, FREE STANDING (61"W x 33"D x 80"H)
 3. POWDER HOOD, COUNTERTOP (44"W x 23"D x 44"H)
 4. WALL SHELVES, HEIGHT ADJUSTABLE/LOWER SHELF FIXED TO SUPPORT UNDER-SHELF LIGHTS
 5. SLAT WALL WITH ACCESSORIES, 2 SHELVES
 6. LARGE DOUBLE BASIN SINK WITH HAND SPRAYER AND EYE WASH STATION W/ ADA ENCLASURE
 7. DISHWASHER, OWNER TO SUPPLY / GC TO INSTALL
 8. CHECK STATION WITH UNDER-SHELF LIGHT
 9. NOT USED
 10. REFRIGERATOR, OWNER TO SUPPLY / GC TO INSTALL
 11. NOT USED
 12. OVEN, COUNTERTOP, ELECTRICAL REQUIREMENTS 208V
 13. WINDOW - 3'-0" X 4'-0"
 14. NOT USED
 15. NOT USED
 16. CLOSET WITH HAT SHELF AND CLOTHES ROD 9FOOT LABORATORY COATS)
 17. LOCKERS, DOUBLE TIER, 12"D x 18" x 36"H, (72"H OVERALL), 6" ENCLOSED BASE AND SLOPED TOP
 18. APOTHECARY CUSTOM SHADE
 19. EYE WASH STATION
 20. WHITE MELAMINE CABINETS W/ 2 ROLL OUT SHELVES AND DRAWERS
 - 20A. VILE DRAWER
 21. MOVABLE LIGHT FIXTURE
 22. OPEN FOR TRASH BELOW
 23. COMPUTER AND PHONE ON COUNTERTOP
 24. OPEN CABINET W/ SHELVES
 25. NOT USED
 26. GC TO INSTALL OWNER SUPPLIED SHIELDING UNIT
 27. GOWN ROOM SHADE TO MEET ISO7 REQUIREMENTS

A2 EQUIPMENT PLAN
 1/8"=1'-0"
 COMPOUNDING LAB REVISION

B2 EQUIP LEGEND
 NA
 COMPOUNDING LAB REVISION

A2 EQUIPMENT PLAN
 1/8"=1'-0"
 COMPOUNDING LAB REVISION

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B2 EQUIP LEGEND
 NA
 COMPOUNDING LAB REVISION

Sheet 2 of 6
 CSK - 9
 REVISIONS:
 REVISION NO. DATE DESCRIPTION
 1 11.20.12 DMR AS NOTED

APOTHECARY BY DESIGN
 141 PREBLE ST., PORTLAND
 COMPOUNDING LAB - RELOCATION / REVISION

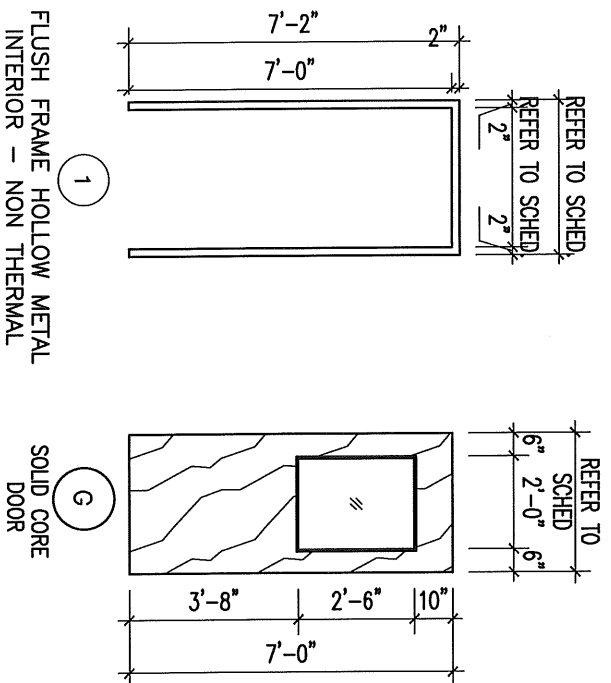
AGawron Turgeon ARCHITECTS
 29 Black Point Road
 Scarborough, Maine 04074
 www.gawronturgeon.com
 207-883-9307 Tel. 207-883-0361 fax

DOOR SCHEDULE

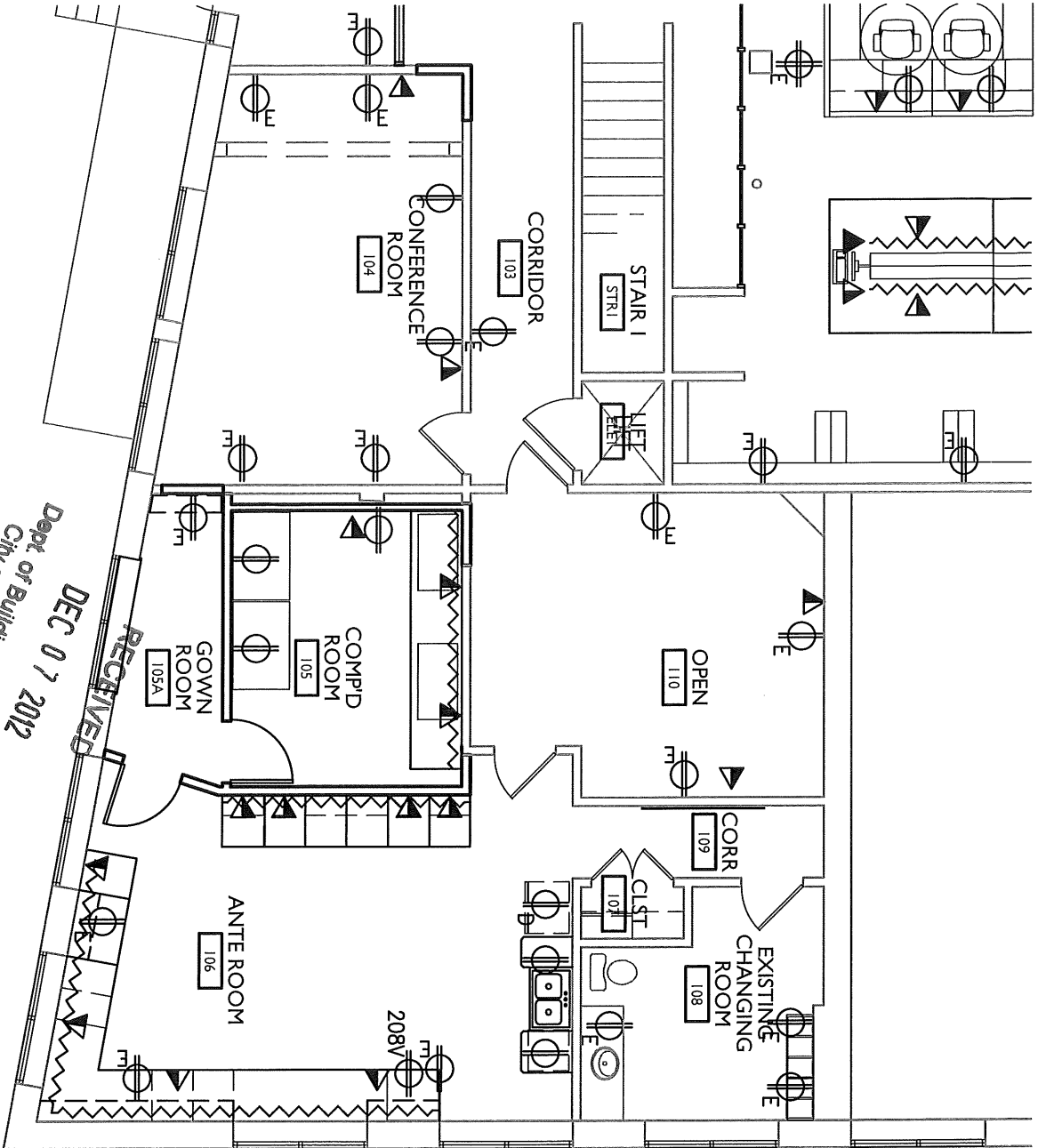
DOOR SCHEDULE ABBREVIATIONS									
EHO	ELECTRO. HOLD OPENER	NO	NUMBER	WD	WOOD (SOLID)				
HM	HOLLOW METAL	ES	ELECTRIC STRIKE	WG	WIRE GLASS				
INS	INSULATED	TEMP	TEMPERED	S	STAIN				
MTL	METAL	THK	THICKNESS	P	PAINT				

NO	TYPE	SIZE	THK.	MAT.	FINISH	REMARKS	TYPE	MAT.	DETAILS			FINISH	REMARKS	MAT.	SILL CONDITION			RATING	HARDWARE	DOORS
									HEAD	JAMB	PTD				SILL	HEIGHT				
104	NA	NA	NA	NA	STN	NOTE 1	1	HM	HI	JI	PTD	NOTE 1	NA	NA	NA	NA	NA	NA	NO	104
105	G	3'-0" x 7'-0"	1 3/4"	WD	STN	NOTE 1	1	HM	HI	JI	PTD	NOTE 1	NA	NA	NA	NA	NA	NA	NO	105
105A	G	3'-0" x 7'-0"	1 3/4"	WD	STN	NOTE 1	1	HM	HI	JI	PTD	NOTE 1	NA	NA	NA	NA	NA	NA	NO	105A

NOTES:
1. PROVIDE GASKETS & DOOR UNDERCUT CONDITION AS REQUIRED TO MEET ISO7 - CLEAR GLASS



A1 ***
1/8"=1'-0"
COMPOUNDING LAB REVISION



A2 ELECTRICAL PLAN
1/8"=1'-0"
COMPOUNDING LAB REVISION

B2 EQUIP LEGEND
NA
COMPOUNDING LAB REVISION

LEGEND - ELECTRICAL / TELEPHONE / DATA

- OUTLET
 - EXISTING OUTLET
 - DEDICATED OUTLET
 - QUAD OUTLET
 - EXISTING QUAD OUTLET
 - TELEPHONE - WALL MOUNTED
 - TELEPHONE/DATA
 - DATA
 - POWER STRIP
 - ELECTRICAL PANEL
1. REFER TO FLOOR PLAN FOR SYSTEM FURNITURE LAYOUT.
2. REFER TO FLOOR PLAN FOR CUSTOM CABINERY LAYOUT
3. OVEN- 208V, 60 HZ, 2700 W.

Sheet 3 of 6
CSK - 9
REVISIED 11.20.12
DATE: 11.20.12
PROJECT #: 120111
DRAWN BY: DMR
AS NOTED

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ARGUMENTON ARCHITECTS
Turgeon
29 Black Point Road
Scarborough, Maine 04074
www.gawronarchitects.com
Tel: 207-883-0361 Fax: 207-883-4307



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207-883-5307 tel 207-883-0361 fax

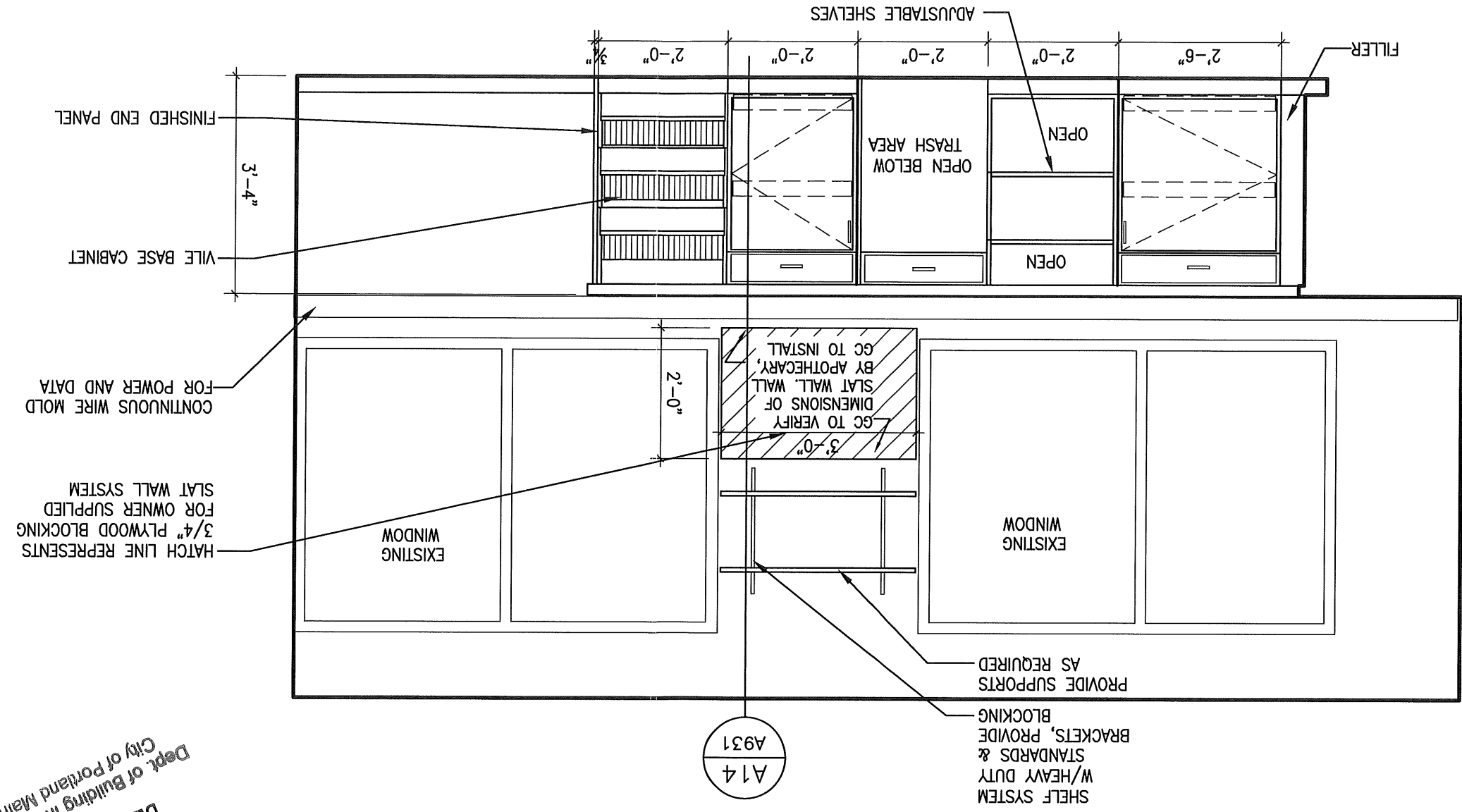
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COMPOUNDING LAB - RELOCATION / REVISION

DATE: 11.20.12
PROJECT #: 120111
DRAWN BY: DMR
AS NOTED

CSK - 9
Sheet 6 of 6
REVISED 11.20.12
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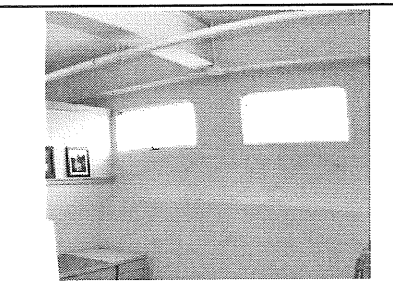
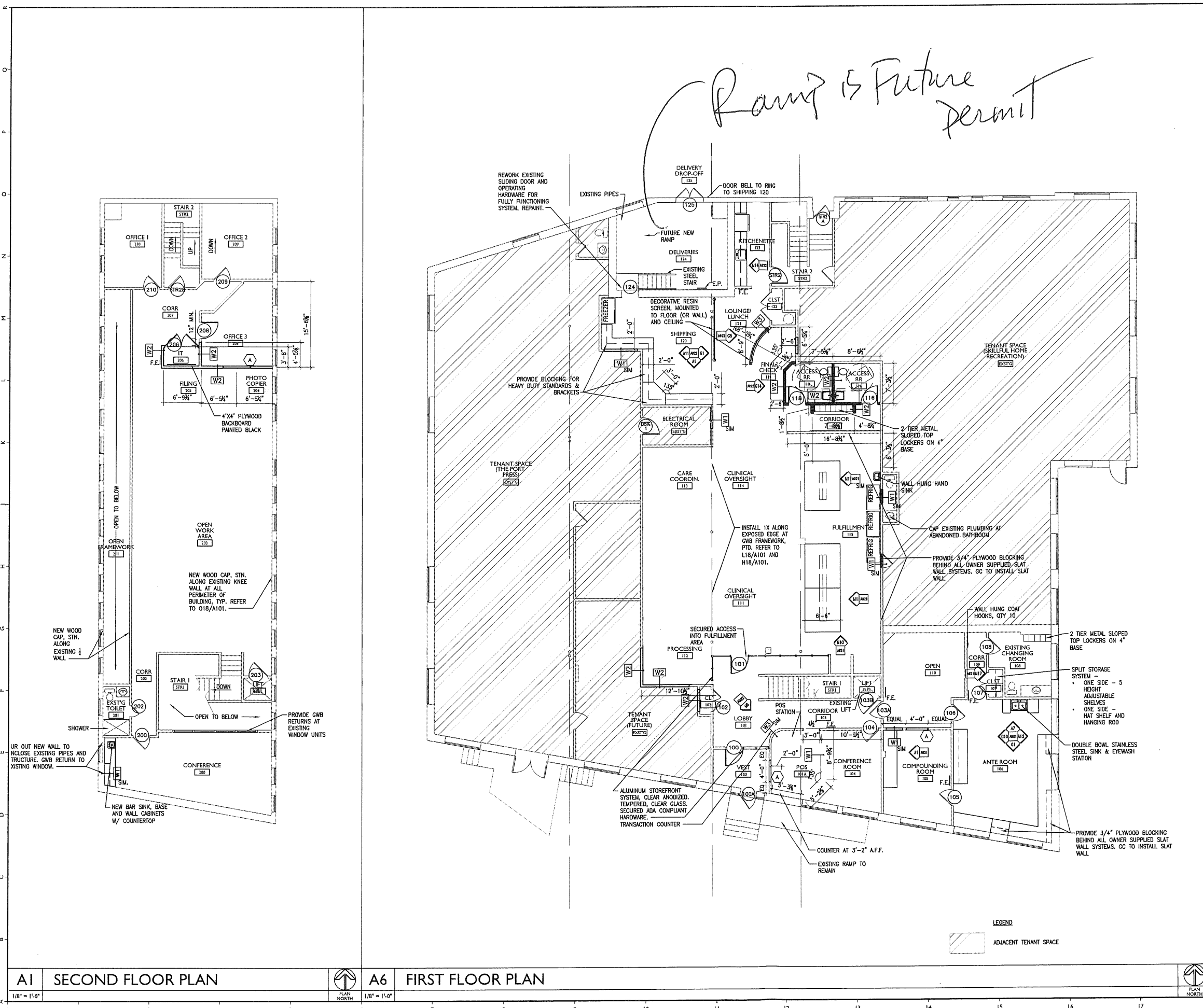
A1 INTERIOR ELEVATION
COMPOUNDING LAB REVISION - ANTE ROOM

1/2" = 1'-0"

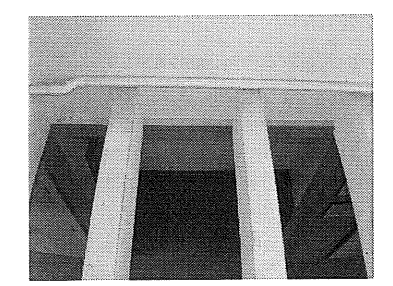


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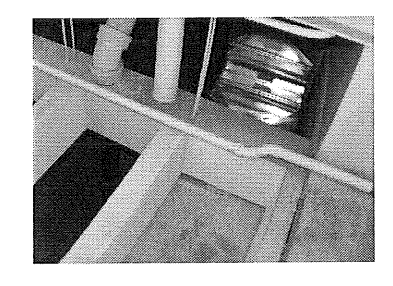
Ramp is Future permit



O18 IMAGE-KNEE WALL
NA PERIMETER WALLS



L18 IMAGE-FRAMEWORK
NA 'SILL' AT FRAMEWORK

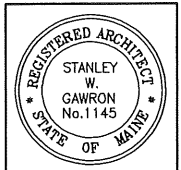


H18 IMAGE-FRAMEWORK
NA 'SILL' AT FRAMEWORK

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- ALTERNATES**
- SANDBLAST BRICK WALLS @ SHIPPING AND KITCHEN
 - PROVIDE RUBBER FLOOR AT ANTE ROOM 106

- NOTES**
- PAINT EXISTING EXTERIOR HANDRAIL SYSTEM
 - PAINT EXTERIOR WINDOW TRANSOM UNITS.
 - PAINT EXISTING ROOF TRIM BAND
 - PROVIDE 2" PLYWOOD BLOCKING BEHIND ALL OWNER SUPPLIED SLAT WALL SYSTEM. COORDINATE WITH OWNER & SUPPLIER ALL LOCATIONS AND DIMENSIONS PRIOR TO INSTALLATION.
 - COMPOUNDING ROOM - CLEAN ROOM ENVIRONMENT ISO 8 CLASSIFICATION.
 - CONTRACTOR TO INVESTIGATE BACKFLOW LEAK AT FLOOR DRAIN IN DELIVERIES 124.
 - REFER TO PLAN FOR FIRE EXTINGUISHER LOCATIONS.
 - PROVIDE ADA SIGNAGE AT BATHROOMS & STAIR TOWER PER ADA GUIDELINES
 - KITCHEN CABINETS BY ARMSTRONG; DOORSTYLE: ARBORCREST, FINISH: CINNAMON
 - PROVIDE BOBBERICK TOILET ACCESSORIES AT ACCESS RR 116 & 118. PROVIDE 2'X3' BEVELED EDGE MIRROR ABOVE SINKS.



Gawron Turgeon ARCHITECTS
39 Black Point Road
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APOTHECARY BY DESIGN
141 PREBLE STREET
PORTLAND, MAINE

REVISIONS

#	DATE	DESCRIPTION
1	9.18.12	NRPA REVISIONS
2	9.19.12	DELETION OF RAMP AT 124 DELIVERIES

DATE	07.05.12
PROJECT #	120111
DRAWN BY:	LAP
CHECKED BY:	MET
DRAWING SCALE	AS NOTED

SHEET TITLE
FLOOR PLAN AND LEGEND

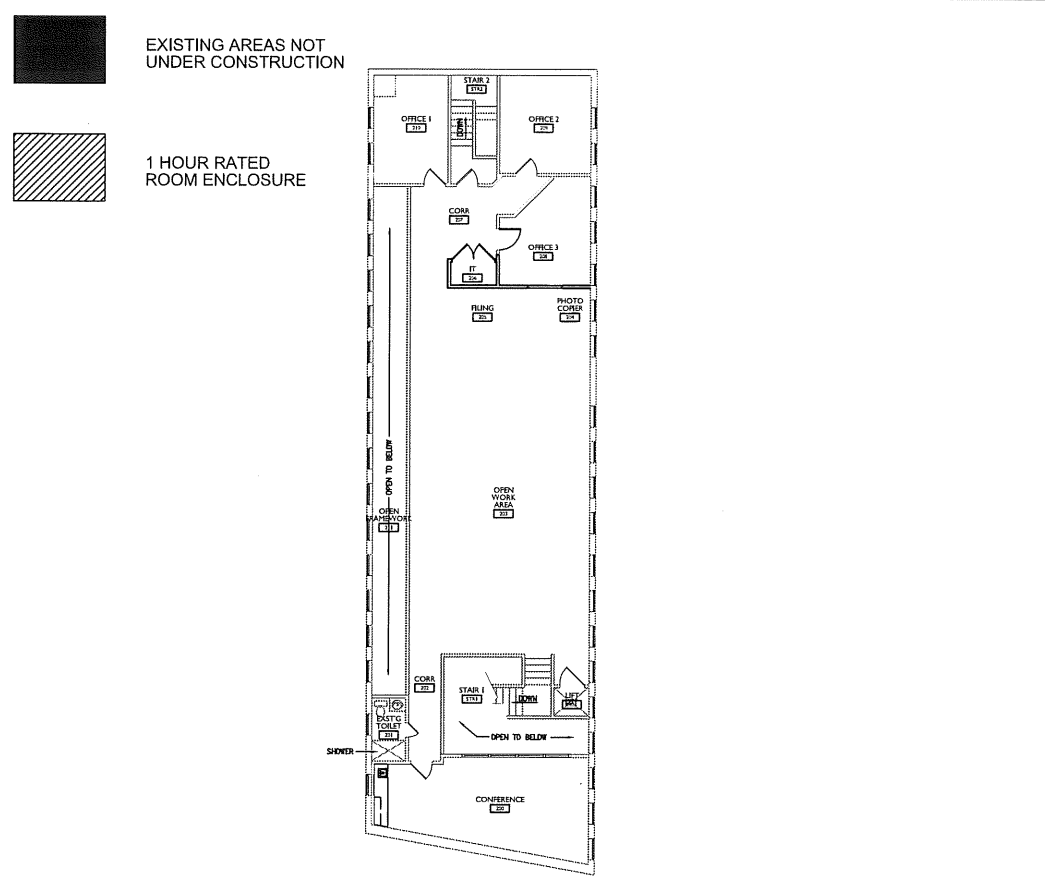
A101

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A1 SECOND FLOOR PLAN
1/8" = 1'-0"

A6 FIRST FLOOR PLAN
1/8" = 1'-0"

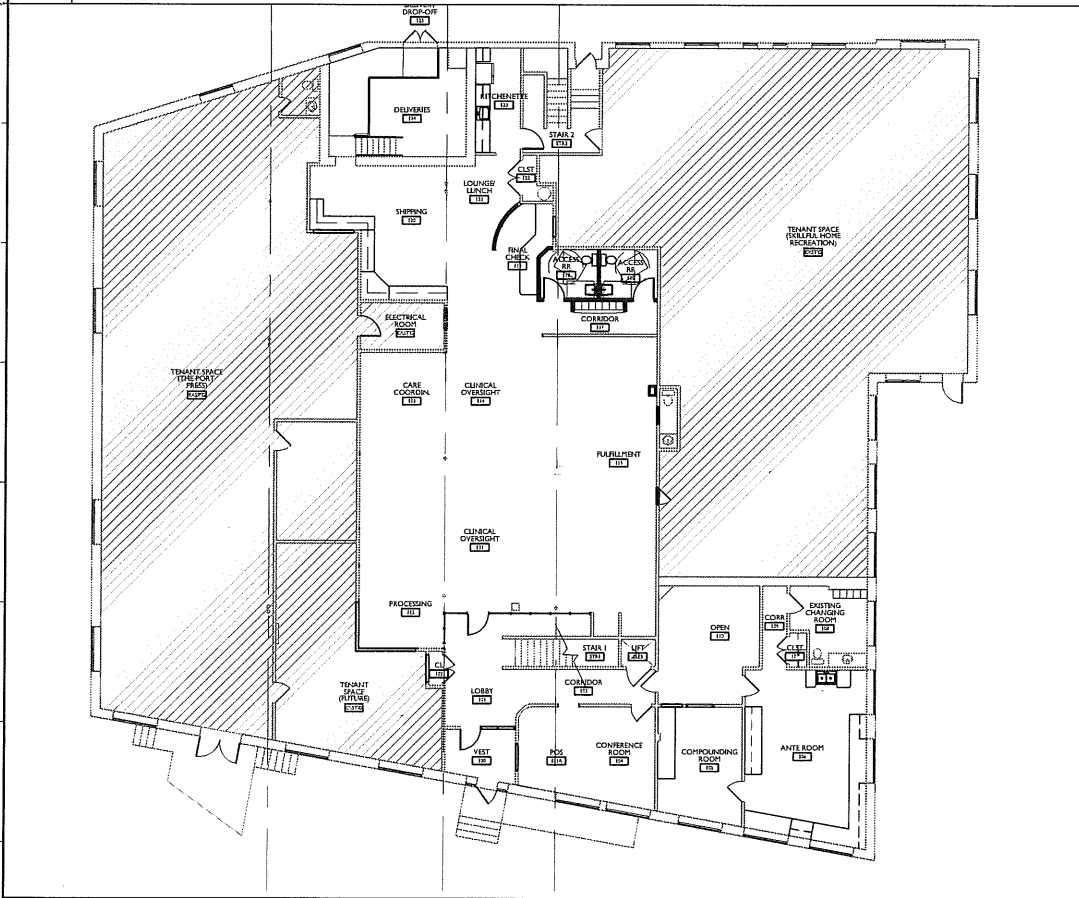
A18 NOT USED
NA FLOOR PLAN



J1 KEY PLAN - SECOND FLOOR

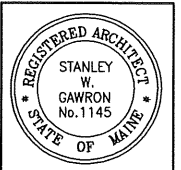
2009 NFPA: CODE DATA	
CH. 37 MERCANTILE (EXISTING BUILDING)	
TYPE OF CONSTRUCTION	TYPE V 000
OCCUPANT LOAD	FIRST FLOOR: 175 SECOND FLOOR: 49
MERCANTILE CLASS	B
EXTERIOR BEARING WALLS	0 HOUR
EXTERIOR NONBEARING WALLS	0 HOUR
INTERIOR BEARING WALLS	0 HOUR
COLUMNS	0 HOUR
BEAMS, GIRDERS, TRUSSES	0 HOUR
FLOOR CONSTRUCTION	0 HOUR
ROOF CONSTRUCTION	0 HOUR
MECHANICAL ROOMS	1 HOUR
TENANT SEPARATION	0 HOUR
APOTHECARY - FIRST FLOOR & SECOND FLOOR	8,132 S.F.
TOTAL BUILDING AREA	14,850 SF BUILDING TOTAL
BUILDING HEIGHT	20'-0" +/-
PROTECTION OF VERTICAL OPENINGS: 37.3.1	ALLOWED UNDER 37.3.1
FIRE SUPPRESSION	SPRINKLER SYSTEM; BUILDING OWNER TO INSTALL SUPERVISORY SYSTEM AS PART OF RENOVATION
FIRE EXTINGUISHERS	PER NFPA 2009
UNIT SEPERATION; MUBEC CONFLICT ADOPTED RULE NUMBER: 2011.250	0 HOUR
COMMON PATH OF TRAVEL LIMIT	100'
DEAD-END LIMIT	50'
TRAVEL DISTANCE LIMIT	250'
EXITS: 8.6.6 COMMUNICATING SPACE: 37.2.1.2	2 MEANS OF EGRESS: 1 ENCLOSED STAIR & 1 COMMUNICATING SPACE
CORRIDOR WIDTH	44"
STAIR ENCLOSURES	1 HOUR
EXIT ACCESS CORRIDORS	0 HOUR
FLAME SPREAD RATINGS:	
INTERIOR FINISH REQUIREMENTS (SPRINKLERED BLDG)	
WALLS AND CEILINGS	CLASS A, B OR C
EXIT ACCESS CORRIDORS	CLASS A OR CLASS B
INTERIOR FLOOR FINISH REQUIREMENTS	
EXITS	CLASS I OR CLASS II (REDUCTION PERMITTED OF ONE CLASS IN SPRINKLERED BUILDING)
CORRIDORS	
GENERAL NOTES	1. ALL PENETRATIONS OF SMOKE BARRIERS, PARTITIONS, FIRE RATED WALLS AND FLOORS SHALL BE SEALED WITH PROPER APPROVED MATERIALS

2009 IBC: CODE DATA	
M- Mercantile (EXISTING BLDG)	
OCCUPANT LOAD	FIRST FLOOR: 175 SECOND FLOOR: 49
USE GROUP CLASSIFICATION	MERCANTILE
TYPE OF CONSTRUCTION	TYPE V B
ACTUAL BUILDING AREA BY FLOOR	5,247 S.F. FIRST FLOOR - RENOVATED AREA IS 2,885 S.F. SECOND FLOOR
TOTAL BUILDING AREA	14,850 SF
TABLE 503 BUILDING AREA LIMITATION - SQ. FT.	1 LEVEL @ 9,000 SF. AUTOMATIC SPRINKLER SYSTEM INCREASE BY 200 PERCENT
REQUIRED SEPARATION OF OCCUPANCIES (HOURS) TABLE 508.4	NO SEPARATION REQUIREMENTS
ACTUAL BUILDING HEIGHT	20'-0" +/-
EXIT ACCESS TRAVEL DISTANCE	250'-0"
DEAD END CORRIDORS	50'-0"
CORRIDOR WIDTH	44"
COMMON PATH OF EGRESS TRAVEL	75'
FIRE RATING:	
EXTERIOR BEARING WALLS	0 HOUR
INTERIOR BEARING WALLS	0 HOUR
NON-BEARING WALLS & PARTITIONS	0 HOUR
FLOOR CONSTRUCTION	0 HOUR
ROOF CONSTRUCTION	0 HOUR
CORRIDORS	0 HOUR
STAIR ENCLOSURES	1 HOUR
UNIT SEPARATION	0 HOUR
MECHANICAL ROOMS	1 HOUR
FLAME SPREAD RATINGS:	
INTERIOR WALL & CEILING FINISH REQUIREMENTS - TABLE 803.9	
EXIT ENCLOSURES & EXIT PASSAGEWAYS	B
CORRIDORS	C
ROOMS OR ENCLOSED SPACES	C
INTERIOR FLOOR FINISH REQUIREMENTS	
EXIT ENCLOSURES & EXIT PASSAGEWAYS	CLASS II
CORRIDORS	CLASS II
PORTABLE FIRE EXTINGUISHERS SECTION 906	
GENERAL NOTES	1. ALL PENETRATIONS OF SMOKE BARRIERS, PARTITIONS, FIRE RATED WALLS AND FLOORS SHALL BE SEALED WITH PROPER APPROVED MATERIALS 2. ALL WORK SHALL CONFORM TO LOCAL AND STATE CODES, ORDINANCES, AND REQUIREMENTS, ACCESSIBILITY PER A.D.A.A.G.



A1 KEY PLAN - FIRST FLOOR

A9 CODE REVIEW



APOTHECARY BY DESIGN

141 PREBLE STREET
PORTLAND, MAINE

REVISIONS		
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1	9.18.12	NFPA REVISIONS

DATE	07.05.12
PROJECT #	120111
DRAWN BY:	DLP
CHECKED BY:	MET
DRAWING SCALE	AS NOTED

SHEET TITLE
CODE REVIEW

G102

RECEIVED
SEP 20 2012
Dept. of Building Inspections
City of Portland Maine