



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 137 PREBLE ST CBL 034 D004001
Issued to Hard Sales Llc/Unique Properties Date of Issue 01/05/2010

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 09-1133 has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Rear portion - right side front

APPROVED OCCUPANCY

Commercial - Showroom , Office & Storage
Use Group : M/B Type : 3B
IBC 2003

Limiting Conditions: None

This certificate supersedes
certificate issued

Approved:

1-5-10
(Date)

[Signature]
Inspector

[Signature]
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

ELECTRICAL PERMIT

City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
 National Electrical Code and the following specifications:

Date 12-21-09
 Permit # 2009 4771
 CBL# 34-D-4

LOCATION: 137 Pruble St. METER MAKE & # _____
 CMP ACCOUNT # _____ OWNER UNIQUE PROPERTIES
 TENANT Skill full vending PHONE # _____

347

							TOTAL EACH FEE		
OUTLETS	<u>30</u>	Receptacles	<u>12</u>	Switches		Smoke Detector		.20	
FIXTURES	<u>20</u>	Incandescent		Fluorescent		Strips		.20	
SERVICES		Overhead		Underground		TTL AMPS <800		15.00	
		Overhead		Underground		>800		25.00	
Temporary Service		Overhead		Underground		TTL AMPS		25.00	
								25.00	
METERS		(number of)						1.00	
MOTORS		(number of)						2.00	
RESID/COM		Electric units						1.00	
HEATING		oil/gas units		Interior		Exterior		5.00	
APPLIANCES		Ranges		Cook Tops		Wall Ovens		2.00	
		Insta-Hot		Water heaters		Fans		2.00	
		Dryers		Disposals		Dishwasher		2.00	
		Compactors		Spa		Washing Machine		2.00	
		Others (denote)						2.00	
	MISC. (number of)		Air Cond/win						3.00
			Air Cond/cent				Pools		10.00
	<input checked="" type="checkbox"/>	HVAC		EMS		Thermostat		5.00	
		Signs						10.00	
		Alarms/res						5.00	
		Alarms/com						15.00	
		Heavy Duty(CRKT)						2.00	
		Circus/Carnv						25.00	
		Alterations						5.00	
		Fire Repairs						15.00	
	<input checked="" type="checkbox"/>	E Lights						1.00	
		E Generators						20.00	
PANELS		Service		<input checked="" type="checkbox"/> Remote		Main		4.00	
TRANSFORMER		0-25 Kva						5.00	
		25-200 Kva						8.00	
		Over 200 Kva						10.00	
							TOTAL AMOUNT DUE		
							MINIMUM FEE/COMMERCIAL	55.00	
							MINIMUM FEE	45.00	

RECEIVED

DEC 22 2009

Dept. of Building Inspections
City of Portland Maine

CONTRACTORS NAME Lofley Elec. Inc MASTER LIC. # 8675
 ADDRESS 59 Rainwater Dr. Portland LIMITED LIC. # _____
 TELEPHONE 7733400-615-3400

SIGNATURE OF CONTRACTOR _____

PLUMBING APPLICATION

Department of Health and Human Services
Division of Environmental Health

PROPERTY ADDRESS

Town or Plantation

Portland

Street
Subdivision Lot #

137 Preble St.

PROPERTY OWNERS NAME

Last

Hart Sales & SC

Applicant Name

S.P. Plumbing & Heat Inc

Mailing Address of Owner/Applicant
(If Different)

120 Thaddeus St. S. & S. Portland, ME

Owner/Applicant Statement

04/06

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.

Signature of Owner/Applicant

Date

Local Plumbing Inspector Signature

Date Approved

PORTLAND

Date Permit Issued:

12/22/09

PERMIT # 11147 TOWN COPY

\$21410.01

Double Fee FEE Charged

Local Plumbing Inspector Signature

L.P.I. #

3601

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

PERMIT INFORMATION

This Application is for

1. NEW PLUMBING
2. RELOCATED PLUMBING

Type of Structure To Be Served:

1. SINGLE FAMILY DWELLING
2. MODULAR OR MOBILE HOME
3. MULTIPLE FAMILY DWELLING
4. OTHER - SPECIFY office/showroom

Plumbing To Be Installed By:

1. MASTER PLUMBER
 2. OIL BURNERMAN
 3. MFG'D. HOUSING DEALER/MECHANIC
 4. PUBLIC UTILITY EMPLOYEE
 5. PROPERTY OWNER
- LICENSE # 2709

Hook-Up & Piping Relocation
Maximum of 1 Hook-Up

HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.

OR

HOOK-UP: to an existing subsurface wastewater disposal system.

PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.

OR

TRANSFER FEE
(\$6.00)

Number

Column 2

Type of Fixture

Number

Column 1

Type of Fixture

Hosebib / Silcock

Bathtub (and Shower)

Floor Drain

Shower (Separate)

Urinal

Sink

Drinking Fountain

Wash Basin

Indirect Waste

Water Closet (Toilet)

Water Treatment Softener, Filter, etc.

Clothes Washer

Grease / Oil Separator

Dish Washer

Roof Drain

Garbage Disposal

Bidet

Laundry Tub

Other: _____

Water Heater

Fixtures (Subtotal)
Column 2

Fixtures (Subtotal)
Column 1

Fixtures (Subtotal)
Column 2

SEE PERMIT FEE SCHEDULE
FOR CALCULATING FEE

Total Fixtures

Fixture Fee

Transfer Fee

Hook-Up & Relocation Fee

Permit Fee
(Total)

04/12/09

24

034 D 004

034 D 004

9009 8269

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 091133

Please Read Application And Notes, If Any, Attached

This is to certify that HARD SALES LLC /Unique Properties

has permission to interior renovations, tenant fit-up showrooms office storage & Restrooms for Skilfull Entertainment

AT 137 PREBLE ST CB# 034 D004 **NOV 16 2009**

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise finished-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

[Signature] 11/16/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1133	Issue Date:	CBL: 034 D004001
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Location of Construction: 137 PREBLE ST	Owner Name: HARD SALES LLC	Owner Address: PO BOX 2	Phone:
Business Name:	Contractor Name: Unique Properties	Contractor Address: P.O. Box 2 Portland	Phone: 2077733000
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-7

Past Use: Commercial	Proposed Use: <i>retail</i> Commercial - interior renovations, tenant fit-up, Showroom, office, storage & Restrooms for Skilfull Entertainment	Permit Fee: \$420.00	Cost of Work: \$40,000.00	CEO District: 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>M/B</i> Type: <i>3B</i>	
		<i>* See Conditions</i>		<i>IBC-2003</i>

Proposed Project Description: interior renovations, tenant fit-up, Showroom, office, storage & Restrooms for Skilfull Entertainment	Signature: <i>(KG)</i>	Signature: <i>JMB 11/16/09</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: Ldobson	Date Applied For: 10/09/2009	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work... 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/ conditions</i> Date: <i>10/20/09 ABU</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABU</i> Date:
	<p>PERMIT ISSUED</p> <p>NOV 16 2009</p> <p>City of Portland</p>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

12/22/09 - See Email & SK REVISIONS to space
Eliminating several work areas in area near copy center,
Now expanding to the side office near preble st.

JMB

12-29-09 OK - rough in see (plans) (AT) y E M

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1133	Date Applied For: 10/09/2009	CBL: 034 D004001
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Location of Construction: 137 PREBLE ST	Owner Name: HARD SALES LLC	Owner Address: PO BOX 2	Phone:
Business Name:	Contractor Name: Unique Properties	Contractor Address: P.O. Box 2 Portland	Phone (207) 773-3000
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

Proposed Use: Commercial - retail - interior renovations, tenant fit-up, Showroom, office, storage & Restrooms for Skilfull Entertainment	Proposed Project Description: interior renovations, tenant fit-up, Showroom, office, storage & Restrooms for Skilfull Entertainment
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 10/20/2009

Note: Skillful Entertainment is relocating from Alder Street to this property in the space that was occupied by the Yoga Center. There are no permits on file for the Yoga Center or the use of that space as retail. I told Ross Furman that it would have to be a change of use and that he had to pay the \$75 for the certificate of occupancy. As a change of use, the B-7 zone does not require parking. **Ok to Issue:**

- 1) Separate permits shall be required for any new signage.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 11/16/2009

Note: **Ok to Issue:**

- 1) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 10/30/2009

Note: **Ok to Issue:**

- 1) There shall be 1 hour separation between the Business occupancy.
- 2) No means of egress shall be affected by this renovation
- 3) Sprinkler protection shall be maintained.
Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
- 4) Fire extinguishers required. Installation per NFPA 10
- 5) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
- 6) The fire alarm system shall comply with NFPA 72 and Fire Department Technical Standard. A compliance letter is required.
- 7) Installation of a Fire Alarm system requires a Knox Box to be installed per city ordinance
- 8) All construction shall comply with NFPA 101
- 9) All smoke detectors and smoke alarms shall be photoelectric. Carbon Monoxide detectors are required in the dwelling units by State law.
- 10) All smoke detectors and smoke alarms shall be photoelectric. Carbon Monoxide detectors are required in the dwelling units by State law.

Location of Construction: 137 PREBLE ST	Owner Name: HARD SALES LLC	Owner Address: PO BOX 2	Phone:
Business Name:	Contractor Name: Unique Properties	Contractor Address: P.O. Box 2 Portland	Phone (207) 773-3000
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

Comments:

10/15/2009-amachado: Spoke to Patric Santerre, Arcadia Design Works. He said that the previous tenant was Yoga Studio which sold products and offered classes. Need to check the use for the Yoga Studio.

10/19/2009-amachado: Found no permits for the Yoga Studio. Left vcm for Ross Furman that needs to do a certificate of occupancy so owes \$75.

11/13/2009-jmb: Left msg for Patric S. For details on tenant separation above and common corridor with fire door.

11/16/2009-jmb: Patric left vcm, I returned vcm. Spoke to Patric, he will provide details on the F/C assembly to the business space above, a section for the close in of the clerestory in the common corridor. Received email with details, ok to issue.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

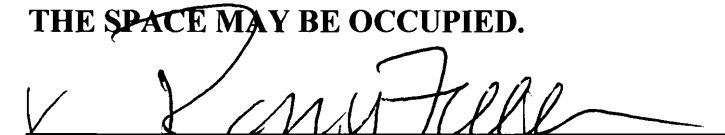
A Pre-construction Meeting will take place upon receipt of your building permit.

- X Underground electrical or plumbing inspection prior to pouring concrete
- X Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling
- X Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.
NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.


Signature of Applicant/Designee

11/16/09
Date


Signature of Inspections Official

11/16/09
Date



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>137 PEEBLE ST. PORTLAND, ME 04101</u>		
Total Square Footage of Proposed Structure/Area <u>RENOVATION - 3,520 GSF</u>		Square Footage of Lot <u>22,596 SF / 0.519 ACRES</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>034 D004 4</u>	Applicant *must be owner, Lessee or Buyer* OWNER Name <u>ROSS FURMAN</u> <u>HARD SALES LLC</u> Address <u>P.O. BOX 2</u> City, State & Zip <u>PORTLAND, ME 04112</u>	Telephone: <u>207.773.7000</u>
Lessee/DBA (If Applicable)	Owner (If different from Applicant) APPLICANT Name <u>PATRIC SANTEPPE</u> Address <u>ARCADIA DESIGNWORKS</u> <u>142 HIGH ST. SUITE 1513</u> City, State & Zip <u>PORTLAND, ME 04101</u>	Cost Of Work: \$ <u>40,000</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>BUSINESS / MERCANTILE</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>MERCANTILE - SALES OF POOL TABLES & ENTERTAINMENT EQUIP.</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>INTERIOR TENANT FITOUT OF NEW SKILLFULL ENTERTAINMENT SHOWROOMS, OFFICE, STORAGE & RESTROOMS.</u>		
Contractor's name: <u>UNIQUE PROPERTIES</u>		
Address: <u>P.O. BOX 2</u>		
City, State & Zip: <u>PORTLAND, ME 04112</u>		Telephone: <u>207.773.3000</u> <i>Patrice Santeppe</i>
Who should we contact when the permit is ready: <u>ARCADIA DESIGNWORKS</u>		Telephone: <u>207.347.5252</u>
Mailing address: <u>142 HIGH ST. SUITE 1513, PORTLAND, ME 04101</u> <i>Ross Furman</i>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

RECEIVED

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications, visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 3157 City Hall, or call 8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that (I have been authorized by the owner to make this application as his/her authorized agent.) I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: *Patrice Santeppe* Date: OCT 9, 2009

This is not a permit; you may not commence ANY work until the permit is issue

October 9, 2009

Building Inspection Division
389 Congress Street
Portland, Maine 04101

RE: Tenant Fitout for Skillful Entertainment at 137 Preble Street, Portland, Maine

Plan Review,

Provided are 24 x 36 Construction Documents and a CD with pdf formatted drawings for the interior renovation for the new Skillful Entertainment located at 137 Preble Street.

The enclosed check covers the fee for a \$40,000 renovation including \$200 which we were informed by the property owner Ross Furman of Hard Sales LLC was required after being ordered to stop work on demolition.

If there are any questions regarding the project please contact us at your convenience.

Thank you,



Patric Santerre
Architect

142 High Street, Suite 513
Portland, Maine 04101
Tele: 207.347.5252

[WWW@ARCADIADesignWORKS.COM](http://WWW.ARCADIADesignWORKS.COM)

Ann Machado - 137 Preble Street

*From: <RossFurman@aol.com>
To: <amachado@portlandmaine.gov>
Date: 10/17/2009 9:07 AM
Subject: 137 Preble Street*

Good-Morning Ann - - - - Dropping you an e-mail for the fit-up for Skillful Vending @ 137 Preble St. We are going to put a bowling-alley in the current Skillful Bldg. and move Skillful "down-the-street" into the Yoga Center space. The Yoga Ct. has been retail in that space for 21 yrs. and I have owned the bldg. for 15 yrs. Skillful has been retail at it's current site for 23 yrs. and I own the bldg. Ann, I would like to move Skillful into 137 Preble St. Jan. 1st 2010 because we are starting the renovation for the bowling alley 1/1/10. Appreciate all your help during this stressful time. Thanks, Ross

ROSS Y. FURMAN
"Gentleman Farmer"
Box Two Portland, ME 04112
Box One, Eastport, ME 04631
DIRECT LINE: 207-773-7000
rossfurman@aol.com



Certificate of Design Application

From Designer: PATRIC SANTEE / ARCADIA DESIGNWORKS
 Date: OCTOBER 9, 2009
 Job Name: SKILLUELL RECREATION - TENANT FITOUT
 Address of Construction: 137 PREBLE ST. PORTLAND, ME 04101

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003/2006 Use Group Classification (s) BUSINESS/MERCANTILE
 Type of Construction PROTECTED TYPE III - ORDINARY
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC YES
 Is the Structure mixed use? YES If yes, separated or non separated or non separated (section 302.3) SEPARATED
 Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) N/A

Structural Design Calculations

N/A Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>N/A</u>	

Wind loads (1603.1.4, 1609)

N/A Design option utilized (1609.1.1, 1609.6)
 Basic wind speed (1809.3)
 Building category and wind importance Factor, I_w (table 1604.5, 1609.5)
 Wind exposure category (1609.4)
 Internal pressure coefficient (ASCE 7)
 Component and cladding pressures (1609.1.1, 1609.6.2.2)
 Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

N/A Design option utilized (1614.1)
 Seismic use group ("Category")
 Spectral response coefficients, S_D & S_1 (1615.1)
 Site class (1615.1.5)

Live load reduction
 Roof live loads (1603.1.2, 1607.11)
 Roof snow loads (1603.7.3, 1608)
 Ground snow load, P_g (1608.2)
 If $P_g > 10$ psf, flat-roof snow load P_f
 If $P_g > 10$ psf, snow exposure factor, C_e
 If $P_g > 10$ psf, snow load importance factor, I_s
 Roof thermal factor, C_t (1608.4)
 Sloped roof snowload, P_s (1608.4)
 Seismic design category (1616.3)
 Basic seismic force resisting system (1617.6.2)
 Response modification coefficient, R_f and
 deflection amplification factor C_d (1617.6.2)
 Analysis procedure (1616.6, 1617.5)
 Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

Flood Hazard area (1612.3)
 Elevation of structure

Other loads

Concentrated loads (1607.4)
 Partition loads (1607.5)
 Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



Certificate of Design

Date: OCTOBER 9, 2009

From: PATRIC SANTERRE / ARCADIA DESIGNWORKS

These plans and / or specifications covering construction work on:

SKILFULL ENTERTAINMENT TENANT FITOUT OF SHOWROOMS, OFFICE,
STORAGE AND RESTROOMS @ 137 PREBLE ST. PORTLAND, ME . 04101

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2003 International Building Code** and local amendments.

Signature: Patric Santerre

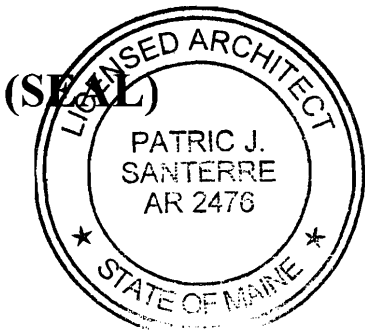
Title: REGISTER ARCHITECT

Firm: ARCADIA DESIGNWORKS

Address: 142 HIGH ST. SUITE 513

PORTLAND, ME 04101

Phone: 207. 347. 5252



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



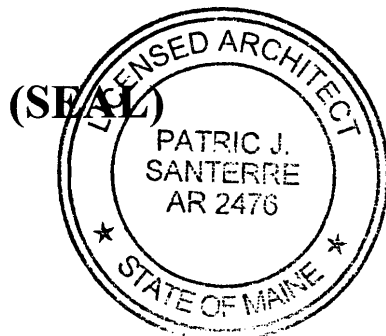
Accessibility Building Code Certificate

Designer: PATRIC SANTERRE / ARCADIA DESIGNWORKS

Address of Project: 137 PREBLE ST. PORTLAND, ME 04101

Nature of Project: TENANT FITOUT IN EXISTING BUILDING

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: Patric Santerre

Title: REGISTER ARCHITECT

Firm: ARCADIA DESIGNWORKS

Address: 142 HIGH ST. SUITE 513
PORTLAND, ME 04101

Phone: 207.347.5252

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

Jeanie Bourke - 137 Preble Street -SK10A

From: "patric santerre" <patric@arcadiadesignworks.com>
To: <jmb@portlandmaine.gov>
Date: 11/16/2009 2:13 PM
Subject: 137 Preble Street -SK10A
CC: "Celeste Bard" <celeste@arcadiadesignworks.com>

Hi Jeannie,

Thank you for taking time to review the permit set for 137 Preble Street. As requested, I've attached an SK clarifying the separation between the second level floor and lower back showroom area and hall. This detail showing an additional layer of 5/8" type "x" gypsum securely fastened to the existing gypsum ceiling should be more than adequate for the 1-hour separation required. Should additional modifications evolve we will be certain to document them and forward them on to you for approval.

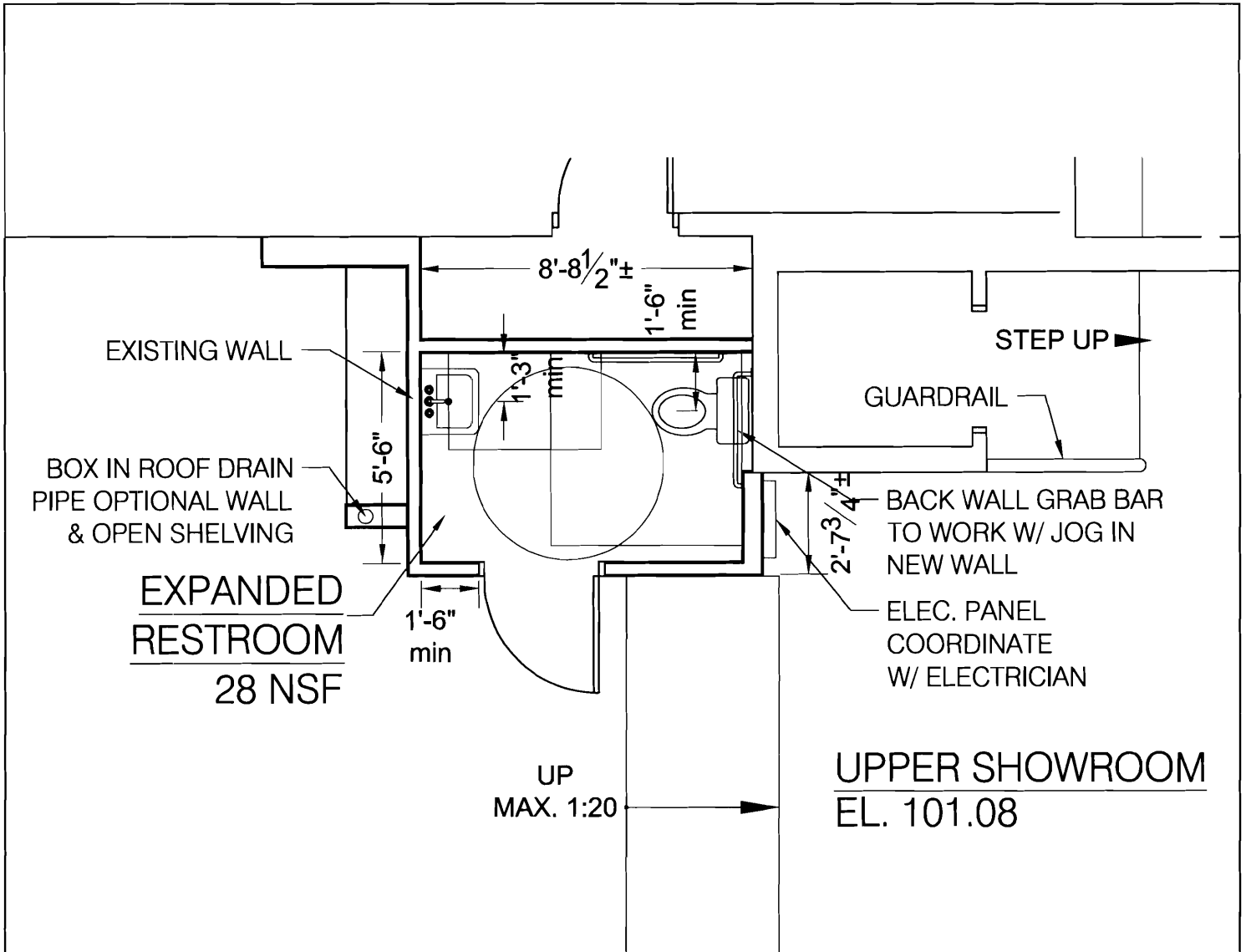
It was nice talking with you and good luck with the work load.

Patric

Santerre
Architect, Principal

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ADA RESTROOM PLAN & FLOOR TRANSITION

1/4" = 1'-0"

NOTE: WALLS ADJACENT TO OFFICES ARE TO HAVE 1-HR CONSTRUCTION.

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PROJECT:	SKILFULL FITOUT PORTLAND, ME
DATE:	12.16.2009
SCALE:	1/4" = 1'-0"
TITLE:	ADA RESTROOM PLAN
SK NO:	SK11

Jeanie Bourke - Revised Plan - 137 Preble Street

From: "patric santerre" <patric@arcadiadesignworks.com>
To: "Jeanie Bourke" <JMB@portlandmaine.gov>
Date: 12/22/2009 11:11:29 AM
Subject: Revised Plan - 137 Preble Street
CC: "Brad Finlay" <bfinlay@mwoodworks.com>, <RossFurman@aol.com>

Hi Jeanie,

Attached are two SK's showing the extent of floor revisions to 137 Preble Street. The project is much simpler now that the tenant looking to lease the additional front showroom backed out. This frees up the room for the new tenants space to be more contiguous with the lower showroom.

It is the intent of the building owner to close off the back rooms to the new mercantile space. Thus we are alleviating the extensive changes to the existing back portion of the building. A 1-hour wall is required separating the offices to the west and a new ADA compliant restroom shall be installed.

If you require additional information or have questions please feel free to contact us at your convenience. Thanks so much for your assistance on this business relocation in Bayside.

Patric

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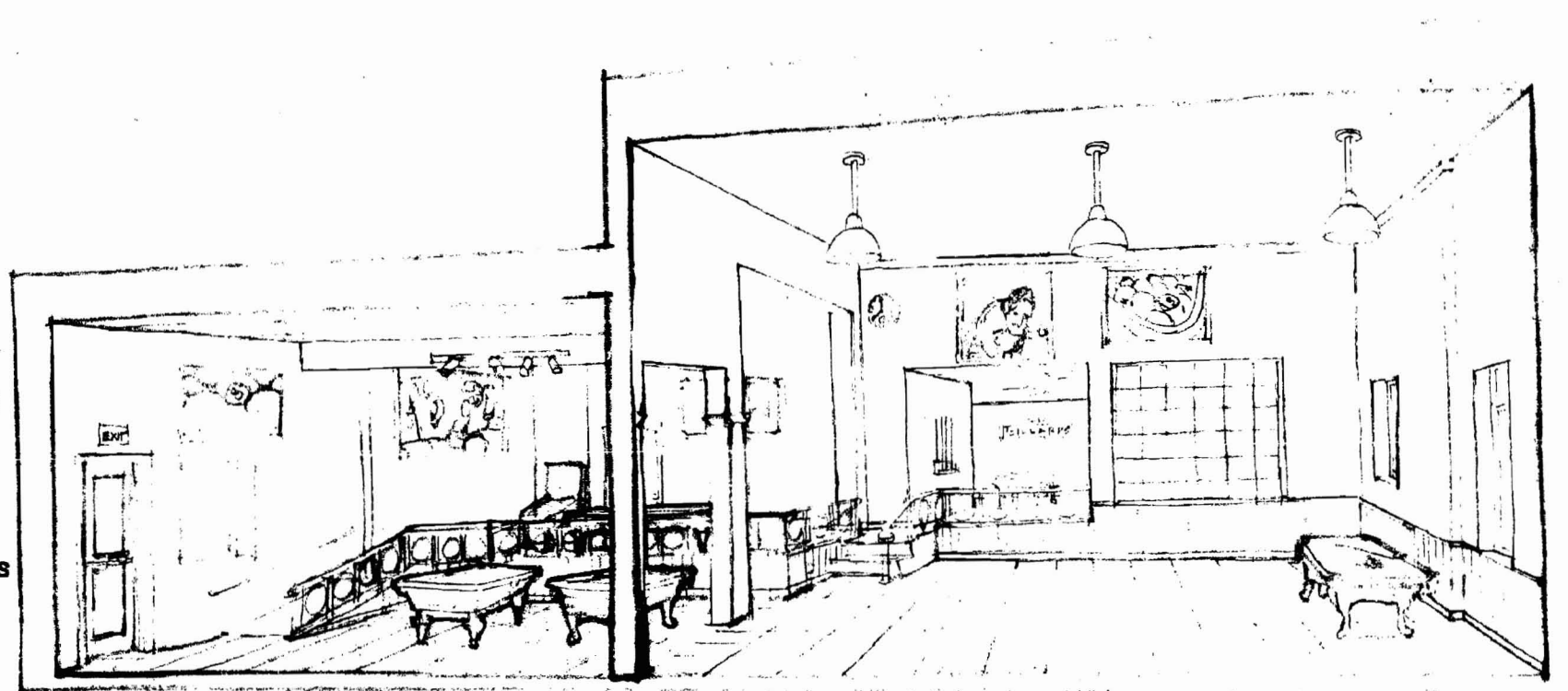
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City of Portland Maine



LOWER & UPPER SHOWROOMS

SKILLFUL ENTERTAINMENT -TENENT FITOUT A UNIQUE PROPERTIES DEVELOPMENT PROJECT

137 PREBLE STREET, PORTLAND, MAINE

OCTOBER 2009

DRAWING LIST

COVER SHEET

A-01 SITE PLAN & DETAILS

A-10 FLOOR PLAN

A-20 REFLECTED CEILING PLAN

A-30 AS-BUILT ELEVATIONS

GENERAL:

Unique Properties
P.O. Box 2
Portland, ME 04112
(207) 773.7000

MECHANICAL:

HVAC Services
73 Bradley Drive
Westbrook, ME 04092
(207) 854.4822

ELECTRICAL:

Lotfey Electric
59 Rainmaker Drive
Portland, ME 04103
(207) 773.3400

SPRINKLER:

High Tech Fire Protection
Hackett Mills Road
Poland, ME 04274
(207) 998.2551



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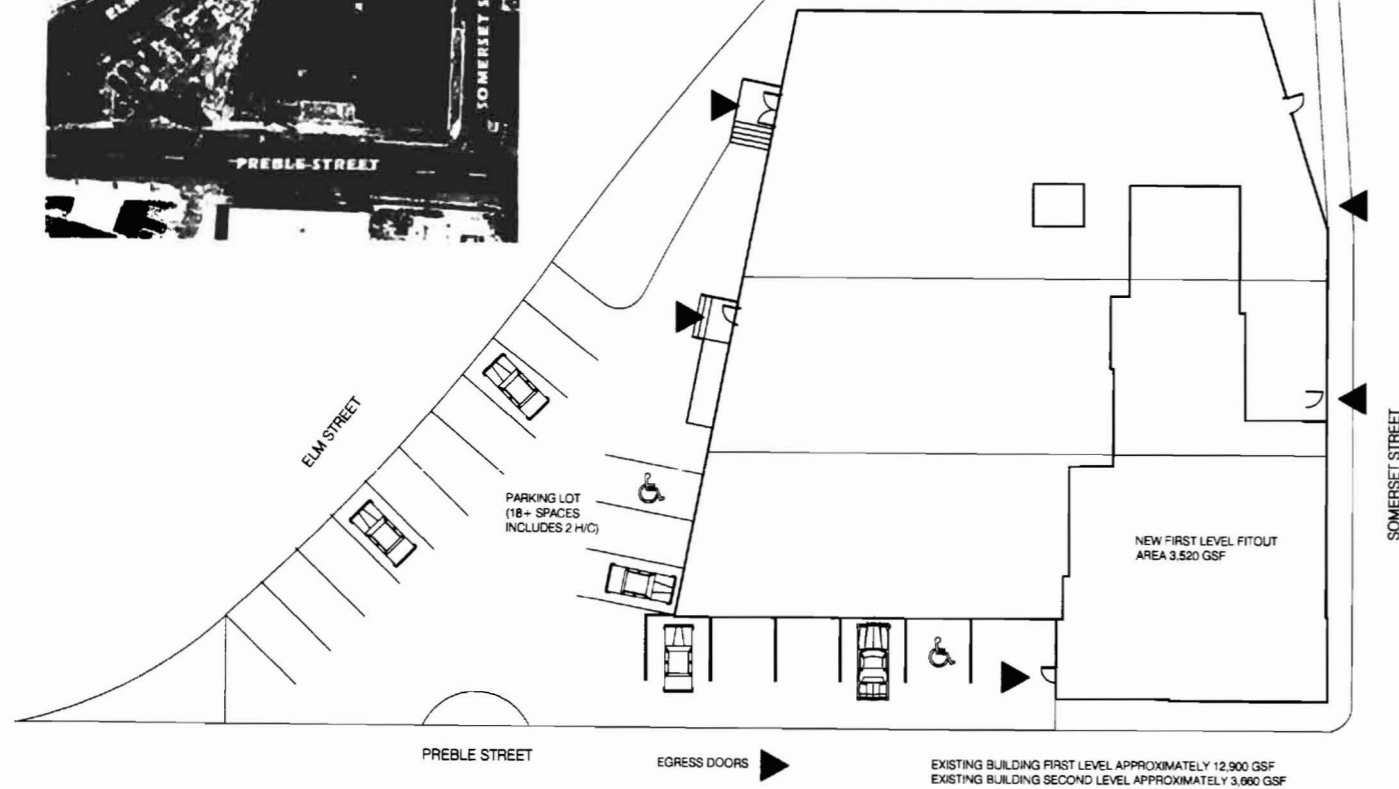
tele: 207.347.5252

rcadiadesignworks.com

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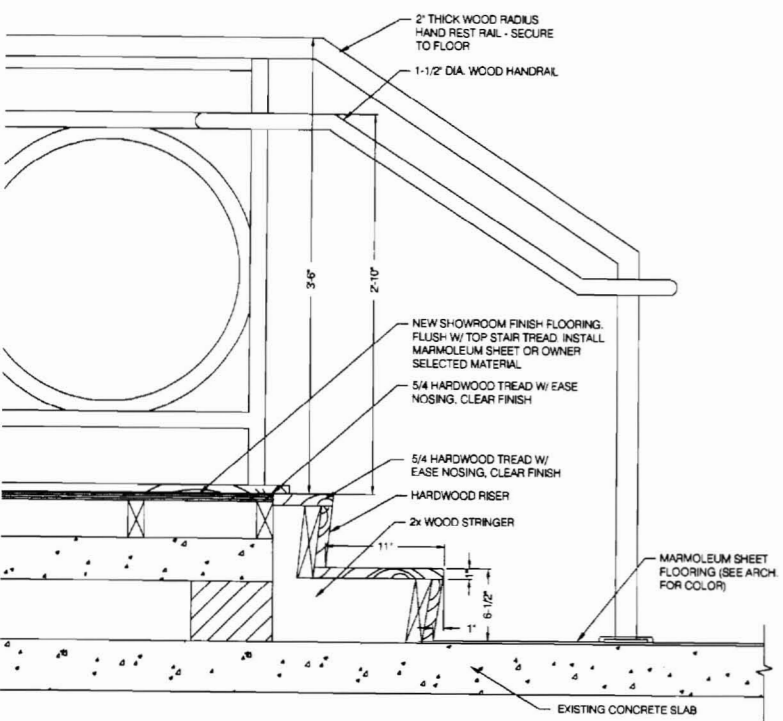
OCT - 9 2009

Dept. of Building Inspections
City of Portland Maine



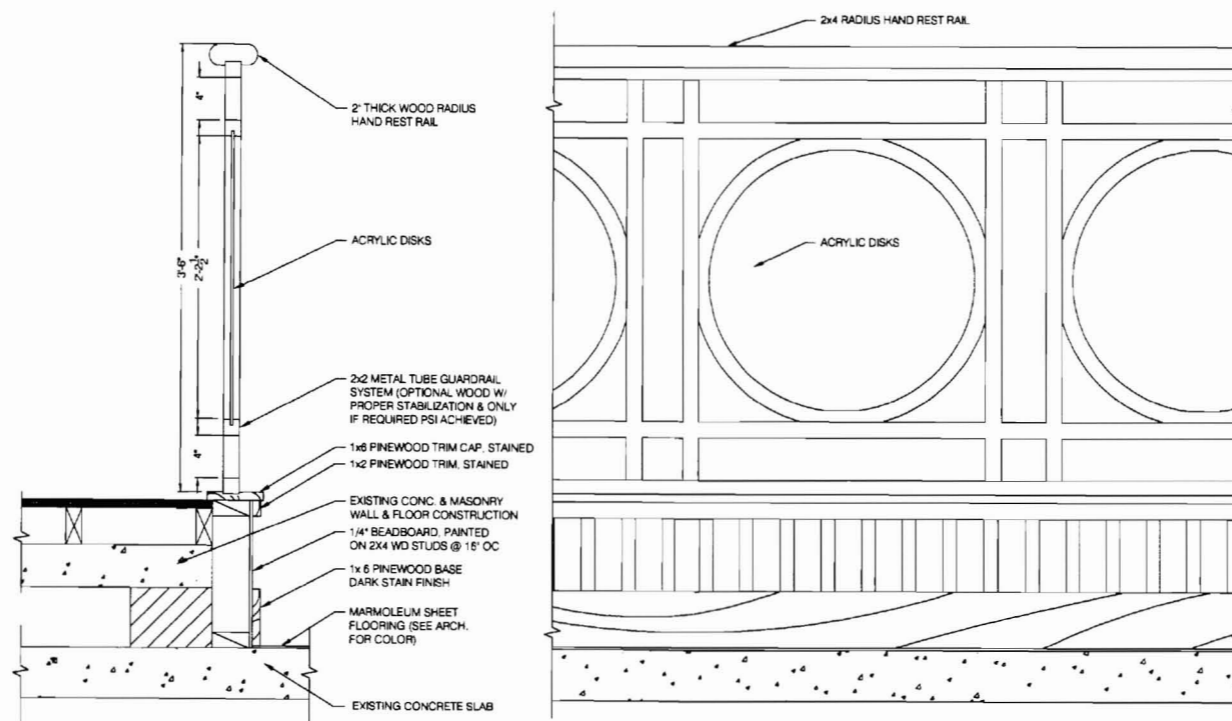
Site Plan

1/16" = 1'-0"



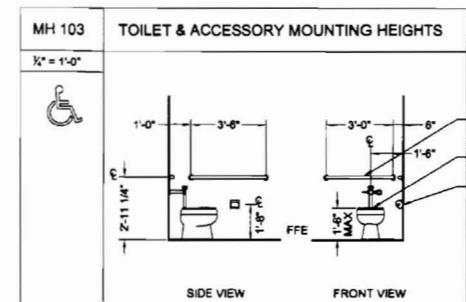
TYPICAL STAIR TREAD & RISER

1-1/2" = 1'-0"

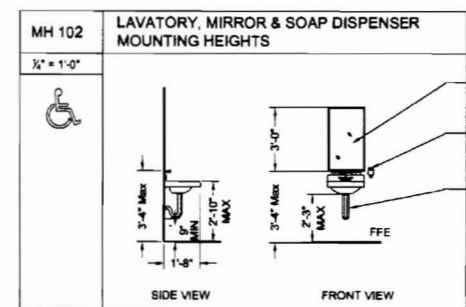


TYPICAL GUARDRAIL DETAIL & ELEVATION

1-1/2" = 1'-0" [UPPER SHOWROOM]



ADA MOUNTING HEIGHTS



ADA MOUNTING HEIGHTS

Life Safety Code Review
Skillful Entertainment - Tenent Fitout
137 Preble Street, Portland, Maine

Life Safety Code- NFPA 101, 2003 & IBC 2006
ADA- Accessibility Guidelines for Buildings and Facilities
Project Description: Mercantile (Class C) Tenent Fitout including Showrooms, Office and Restrooms.
Building Construction Type: Protected Type III-Ordinary

Existing Building Gross Square Footage: Ground Floor = 12,900 GSF, Second Floor = 3,860 GSF.
New Tenant Fitout Gross Square Footage: Ground Floor = 3,520 GSF.

The existing building uses Business and Mercantile and fully sprinkled. Tenent Fitout to be Mercantile and fully sprinkled.

Occupant Loads per Net Square Feet

Space	NSF	Occupants/MPP*
1st Flr - Existing Business/Mercantile	8,342 NSF(100 nsf/person)	83
2nd Flr - Existing Business/Mercantile	1,841 NSF(100 nsf/person)	18
1st Flr - New Mercantile Tenent Fitout	1,504 NSF(30 nsf/person)	50

(Mercantile use for 4' x 6' pool tables, pinball machines, furniture and shuffle board games. Displayed merchandise encompasses approximately 732 NSF. Ancillary rooms include office, electrical, restroom and storage totaling 612 NSF.
*MPP = Maximum Probable Population

NFPA 101
Chapter 4
Number of Means of Egress - Minimum of 2 provided for all spaces.

Chapter 6
Occupancy- Mercantile
6.1.1.4.2 (3) The following accessory occupancies shall not be required to be separated from the primary occupancy: Office, Electrical Closet, Restroom and Storage.

Chapter 7 (37.2)
Exits- 2, One-hour enclosure in accordance with Chapter 37 (fully sprinkled)
Exit doors to have panic hardware and closers.
Interior finishes to comply in all exit paths.
Means of egress headroom not less than 90 inches w/ projections not less than 80 inches.
Stair headroom not less than 80 inches with maximum rise of 8.5", tread min 11" with hand and guardrail.
On grade level exit complies w/ ADA at existing building.
Emergency lighting to comply and all exits properly labeled.

Chapter 8
Existing building fully sprinkled.
New tenent fitout to be fully sprinkled.
Fire rated doors to be used at locations specified.

Chapter 9
Existing building has a fire alarm detection system, emergency lighting and exits properly labeled.
Fitout shall have an integrated fire alarm detection system, emergency lighting and exits properly labeled.
Existing building has smoke alarms.
Fitout shall have smoke alarms as required by code.

Chapter 10
Acoustical tile ceiling system to be installed in areas of fitout with the remainder be the original wood roof decking unless otherwise noted.
Fire separations to have walls tight to floor and underside of roof deck.
Wall and floor finishes to comply.

Chapter 37
Existing Mercantile Occupancy
37.1.1.3.2 Existing portions of the structure are not required to be modified in that the new construction has not diminished the fire safety features of the facility.
1-hour wall separation provided between all adjacent occupancies.
37.1.5.2 Travel distance to exits are no greater than 75 ft. Two exits are accessible in different directions (no common path of travel). There are no vertical openings.
There are no dead end corridors greater than 50 ft.
Required halls are no less than 28" clear with 1-hour wall separation construction.
There is no storage of hazardous materials.
Interior finishes for Class C mercantile comply with code.

Zoning Information
Zoning District: B7 - Mixed Development District Zone
Existing Use- City Listing: Multi-Use Industrial - Actual Business/Mercantile
Tax Map: 034 D004
Lot area: 22,896 S.F. (0.519 Acres)
Parking: Currently 18 off-street parking spaces exist including 2 H/C spaces. No new spaces proposed.

ADA Compliance
Existing wheel chair access from grade at main entrance.
Max 1:20 grade access from H/C parking space to showroom.
ADA compliant bathroom on upper showroom level.
Proper access clearances at all new doors.
Required strobes and horns to be installed.



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Electrical:

Lottery Electric
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Portland, Maine 04103
Sprinkler:
High Tech Sprinklers
P.O.Box 156
Minot, Maine 04258

SKILLFUL ENTERTAINMENT
A UNIQUE PROPERTIES PROJECT
PORTLAND, MAINE

FOR CONSTRUCTION
10.2009 PRINT

PHASE:
PERMIT SET

PROJECT:
137 PREBLE STREET
PORTLAND MAINE

TITLE:
SITE PLAN & DETAILS

SHEET:
A-01

JOB: AR 2009-05

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**SKILLFUL ENTERTAINMENT
 A UNIQUE PROPERTIES PROJECT
 PORTLAND, MAINE**

FOR CONSTRUCTION
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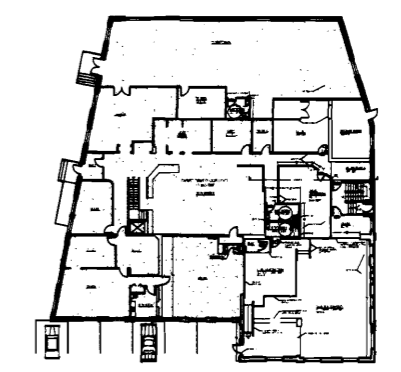
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PROJECT: **137 PREBLE
 STREET
 PORTLAND
 MAINE**

TITLE: **FLOOR PLAN**

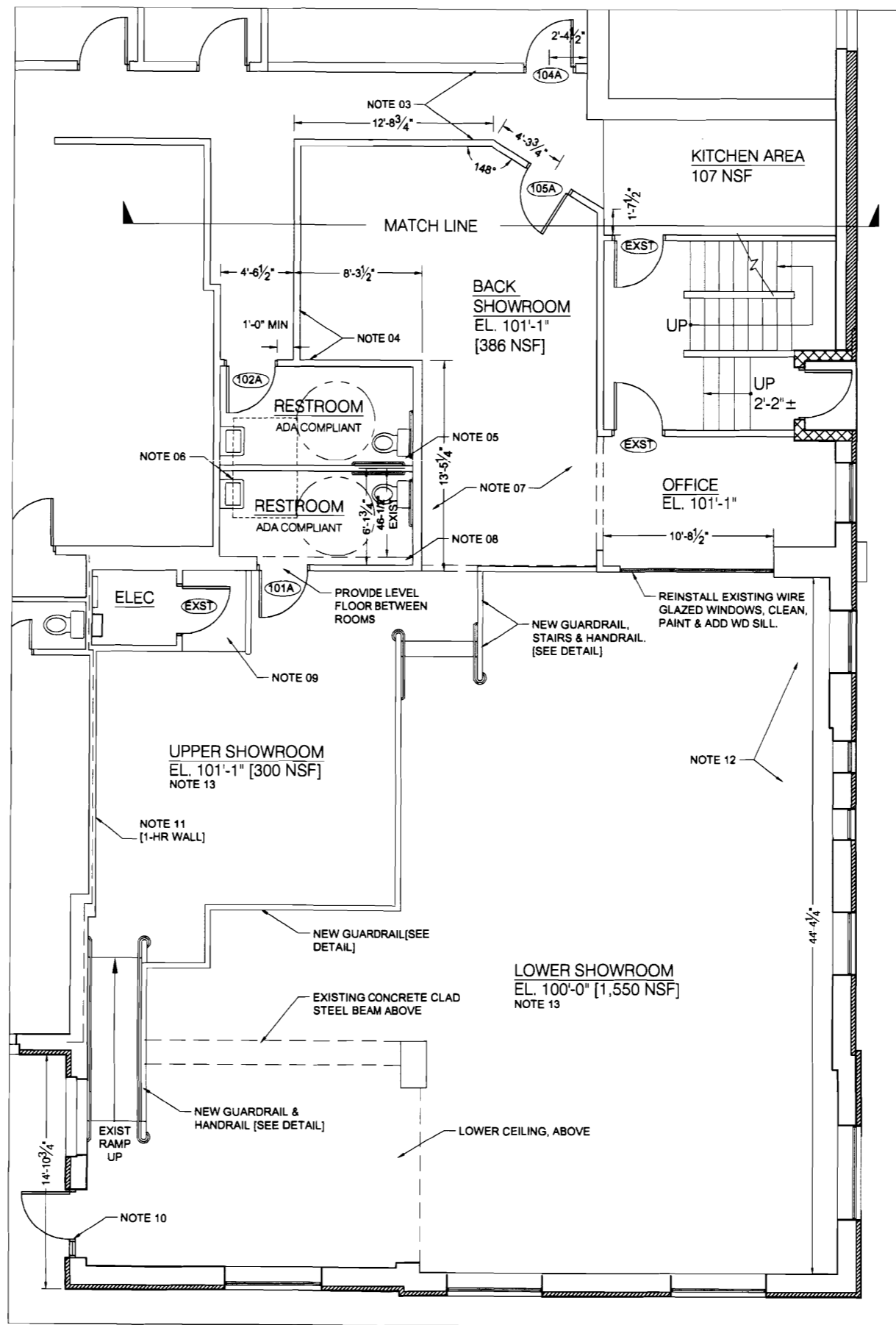
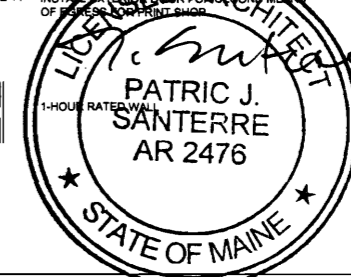
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JOB: AR 2009-05

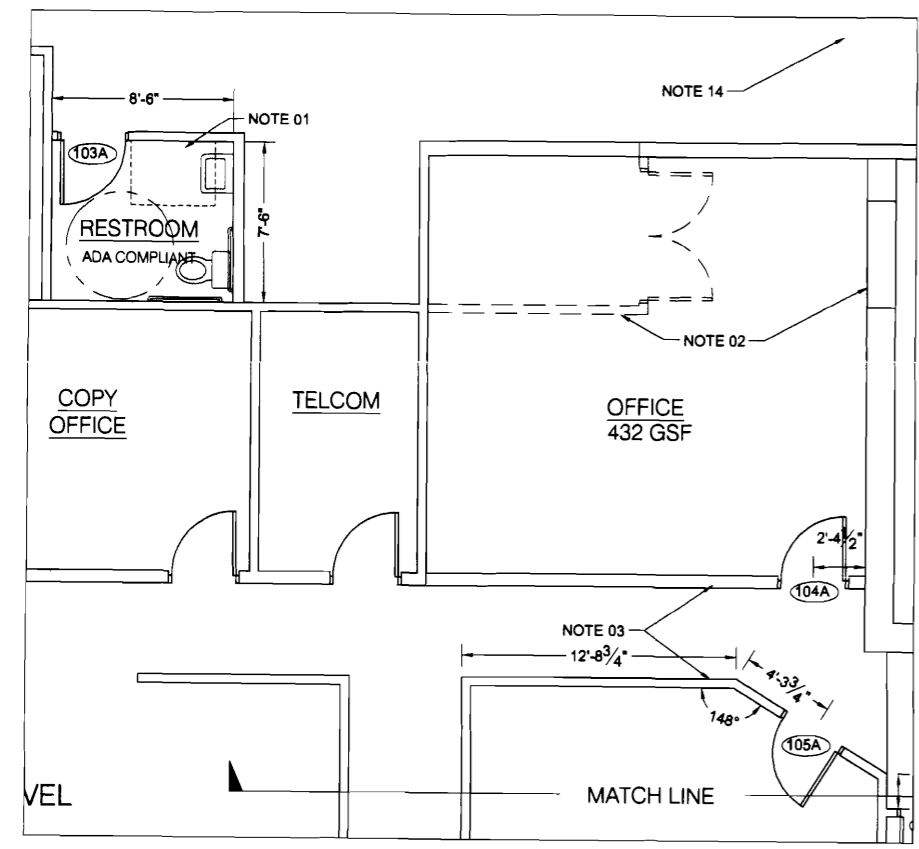


KEY PLAN HATCHED AREAS DOES NOT PERTAIN TO NEW FITOUT.

- GENERAL NOTES**
- NOTE 01 NEW ADA COMPLIANT RESTROOM WITH WALL MOUNTED LAVATORY, TOILET, GRAB BARS, TOILET PAPER DISPENSER & MIRROR, WRAP PIPES, INSTALL VENTILATION, 2 WALL MOUNTED FLUORESCENT LIGHT FIXTURE ABOVE MIRROR AND FINISH INTERIOR WALLS WITH MOISTURE RESISTANT DRYWALL, PAINT AND COVE BASE.
 - NOTE 02 REMOVE EXISTING WALL & DOUBLE DOORS. PROVIDE LOCKABLE DOOR BETWEEN NEW OFFICE & EXISTING STORAGE ROOM OR ENCLOSED R.O. WITH STUDS AND DRYWALL & FINISH. INSTALL SUSPENDED ACOUSTICAL CEILING AND FLUORESCENT FIXTURES.
 - NOTE 03 INSTALL NEW 3-1/2" WOOD STUD WALLS @ 16" OC WITH 5/8" TYPE "X" GYPSUM BOARD WITH 1-HOUR RATED DOORS TO NEW ROOMS. (SEE WALL DETAIL)
 - NOTE 04 REMOVE EXISTING METAL STUD WALLS & FINISH AT RESTROOMS WITH THE EXCEPTION OF THE PLUMBING CHASE WALL TO THE EXISTING WOMEN'S RESTROOM. RELOCATE BATHROOM DOOR IN NEW ENTRANCE WALL.
 - NOTE 05 INSTALL NEW 3-1/2" WOOD STUD WALL @ 16" OC WITH 5/8" GYPSUM BOARD WITH BATT SOUND ATTENUATION BLANKET BETWEEN STUDS. ADD BLOCKING FOR GRAB BARS AND TOILET PAPER DISPENSERS. FINISH WALLS WITH COVE BASE AND PAINT.
 - NOTE 06 UNLESS EXISTING COUNTER LAVATORIES MEET ADA GUIDELINES, COUNTERS & LAVATORIES ARE TO BE REPLACED WITH WALL MOUNTED LAVATORIES, WITH ADA COMPLIANT FAUCETS & WRAPPED PIPES.
 - NOTE 07 REMOVE ALL EXISTING WALLS, HOT WATER HEATER, AND FIXTURES IN MENS RESTROOM. PATCH WALLS, CEILING AND FLOOR AS NECESSARY AND PAINT. (VERIFY WITH OWNER EXTENT OF WALL REMOVAL FOR BACK SHOWROOM.)
 - NOTE 08 REMOVE EXISTING METAL STUD WALL. INSTALL NEW 5/8" MOISTURE RESISTANT GYPSUM BOARD, COVE BASE, AND ADA ACCESSIBLE DOOR. FINISH FLOOR, WALLS AND CEILINGS. REDIRECT VENTILATION AND REARRANGE LIGHTING TO MEET CODE.
 - NOTE 09 EXISTING RECESS IN FLOOR TO REMAIN TO ALLOW PROPER OPENING OF VAULT DOOR. INSTALL NOSING AT STEP AND INSTALL GUARDRAIL AS SHOWN.
 - NOTE 10 INSTALL NEW 42" WIDE STOREFRONT ALUMINUM DOOR WITH OPERABLE SIDELITE. ALUM. THRESHOLD NO GREATER THAN 1/2" HEIGHT.
 - NOTE 11 ENCLOSE EXISTING DOOR OPENING TO ADJACENT SPACE WITH METAL STUDS AND BATT INSULATION. SHEATH BOTH SIDES OF WALL W/ 5/8" TYPE "X" GWB. PAINT FINISH AND COVE BASE.
 - NOTE 12 REMOVE EXISTING RESTROOM AND KITCHEN WALLS, FIXTURES AND CEILINGS. CAP PIPING PER CODE. FINISH WALLS TO MATCH EXISTING.
 - NOTE 13 FLOORS TO RECEIVE MARMOLEUM SHEET OR OWNER SELECTED TILE. EXISTING GWB WALLS TO BE PATCHED AND PAINTED. LOWER BRICK WALLS & EXISTING WOOD PARTITIONS TO BE DEMOLISHED.
 - NOTE 14 INSTALL EXISTING DOOR FOR USE ONLY MEANS OF EGRESS FOR PRINT SHOP.



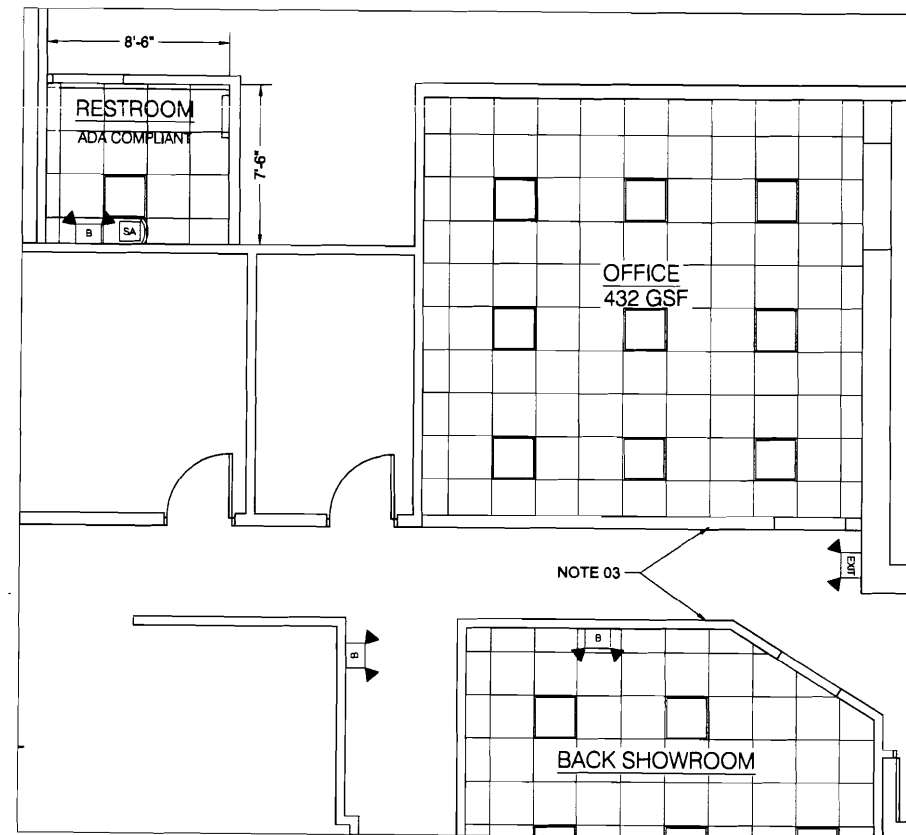
10 Skillful Retail Fitout - Floor Plan
 A-10 1/4" = 1'-0"



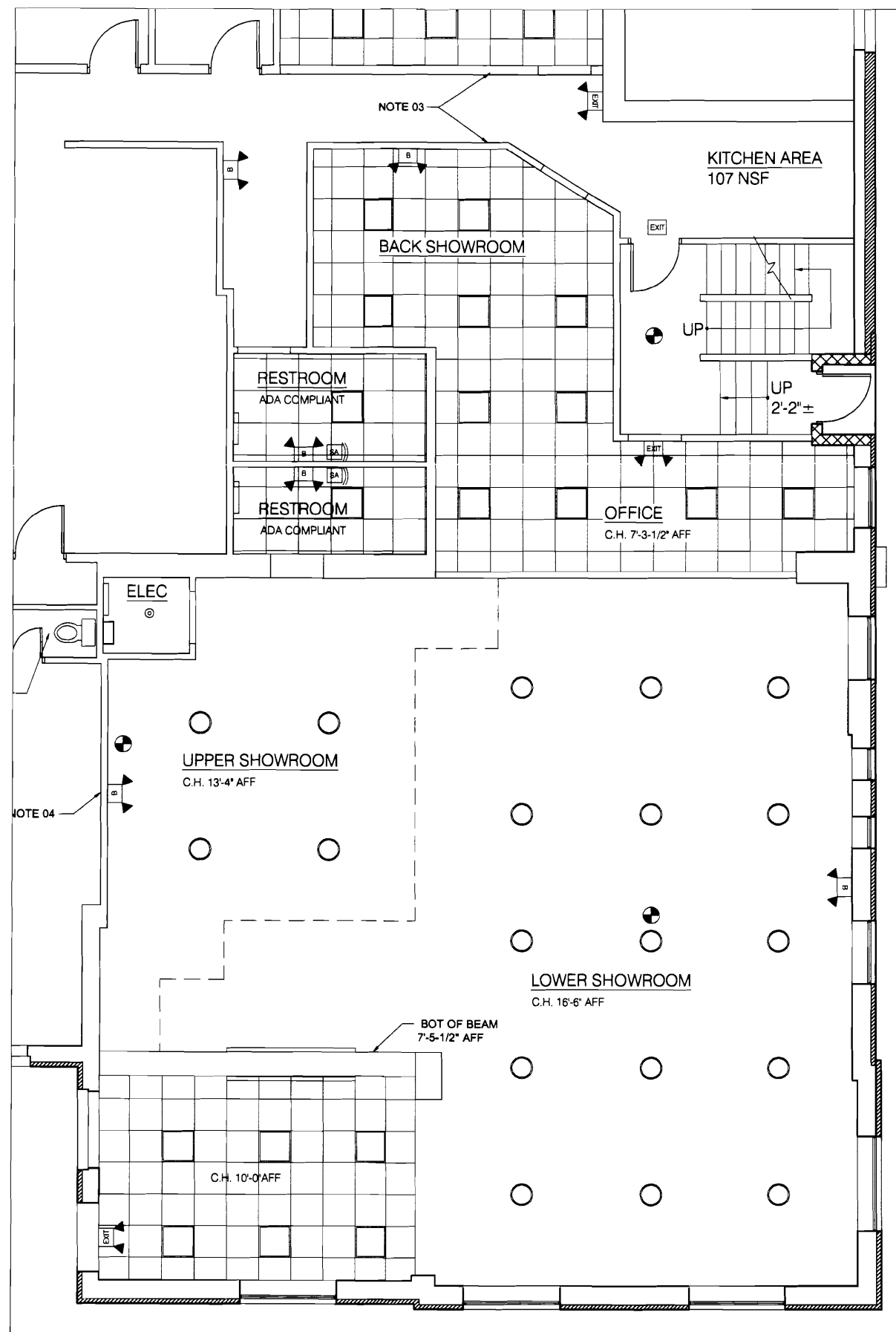
20 Skillful Retail Fitout - Partial Floor Plan
 A-10 1/4" = 1'-0"

DOOR SCHEDULE

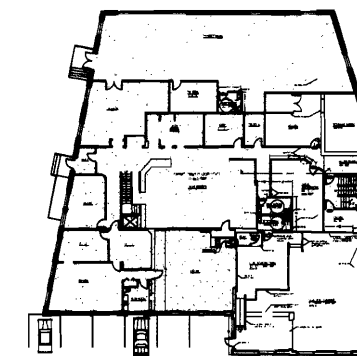
Door No.	Size	Profile	Frame	Remarks
101A	3'-0" x 6'-8"	SG	1	Reused Wood Door & H.M. Frame
102A	3'-0" x 6'-8"	SG	1	Reused Wood Door & H.M. Frame
103A	3'-0" x 6'-8"	SG	1	Reused Wood Door & H.M. Frame
104A	3'-0" x 6'-8"	SG	1	1- Hour Wood Door & H.M. Frame
105B	3'-0" x 6'-8"	SG	1	1- Hour Wood Door & H.M. Frame
EXST				Existing Door and Frame



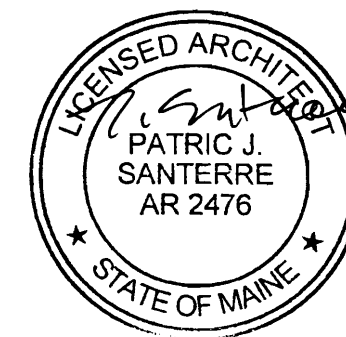
20 Skillful Retail Fitout - Partial RCP
A-20 1/4" = 1'-0"



10 Skillful Retail Fitout - RCP
A-20 1/4" = 1'-0"



KEY PLAN HATCHED AREAS DOES NOT PERTAIN TO NEW FITOUT.



- LEGEND
- HATCHED AREAS DOES NOT PERTAIN TO NEW FITOUT.
 - 2 x 2 SUSPENDED ACOUSTICAL CEILING
 - 2 WALL MOUNTED FLUORESCENT
 - 8' TRACK LIGHT STRIP
 - 2 x 2 RECESSED FLUORESCENT
 - 14" DIA. PENDENT MOUNTED INDUSTRIAL FLUORESCENT FIXTURE (OPTIONAL INCANDESCENT)
 - CEILING MOUNTED INCANDESCENT
 - EXIT SIGN W/ EMERGENCY LIGHTING
 - EMERGENCY LIGHTING W/ BATTERY
 - STROBE / AUDIBLE ALARM
 - SMOKE DETECTOR

NOTE: NEW TENANT FITOUT FIRE ALARM AND SPRINKLER MONITORING SYSTEMS TO BE FULLY INTEGRATED INTO EXISTING BUILDING SYSTEMS.

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SKILLFUL ENTERTAINMENT
A UNIQUE PROPERTIES PROJECT
PORTLAND, MAINE

FOR CONSTRUCTION
10.2009 PRINT

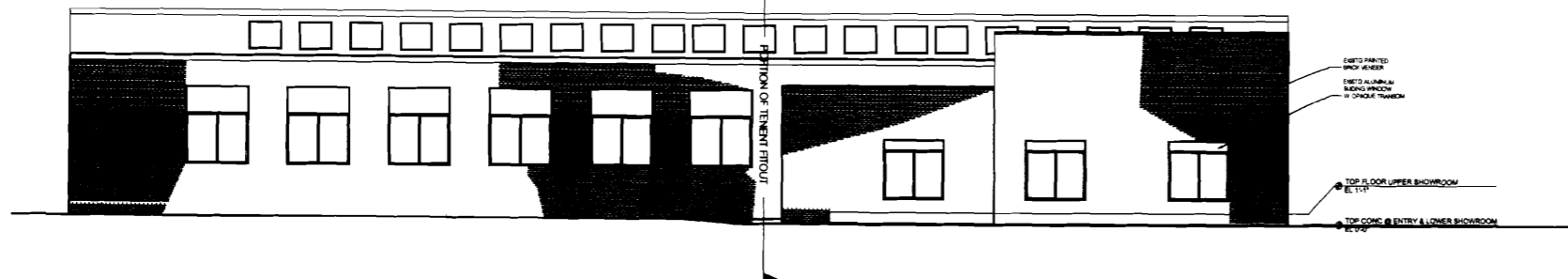
PHASE:
PERMIT SET

PROJECT:
137 PREBLE STREET
STREET
PORTLAND
MAINE

TITLE:
REFLECTED
CEILING PLAN

SHEET:
A-20

JOB: AR 2009-05



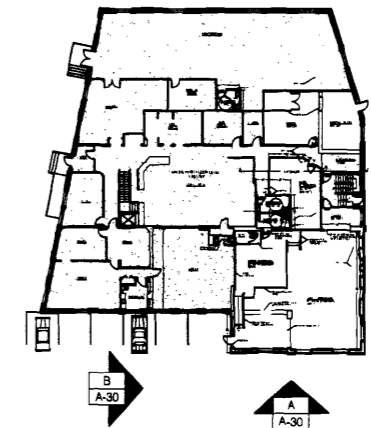
A PREBLE STREET ELEVATION
1/8" = 1'-0"



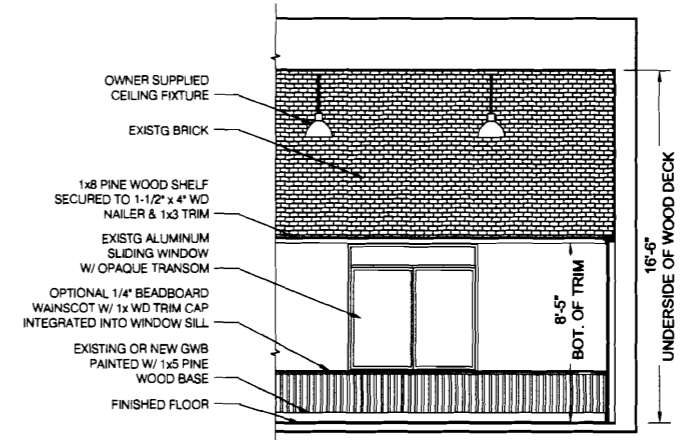
B MAIN ENTRANCE ELEVATION
1/8" = 1'-0"



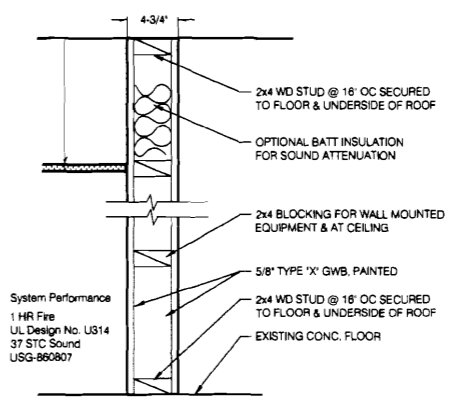
C SOMERSET STREET ELEVATION
1/8" = 1'-0"



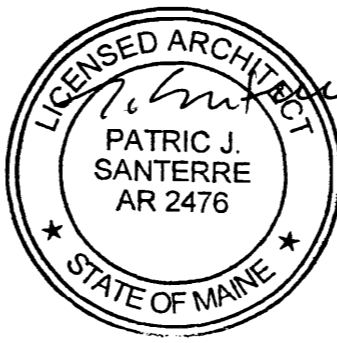
KEY PLAN
HATCHED AREAS DOES NOT PERTAIN TO NEW FITOUT.



TYPICAL WALL TREATMENT
1/4" = 1'-0"



TYPICAL WALL PARTITION
1-1/2" = 1'-0"



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**SKILLFUL ENTERTAINMENT
A UNIQUE PROPERTIES PROJECT
PORTLAND, MAINE**

FOR CONSTRUCTION
10.2009 PRINT

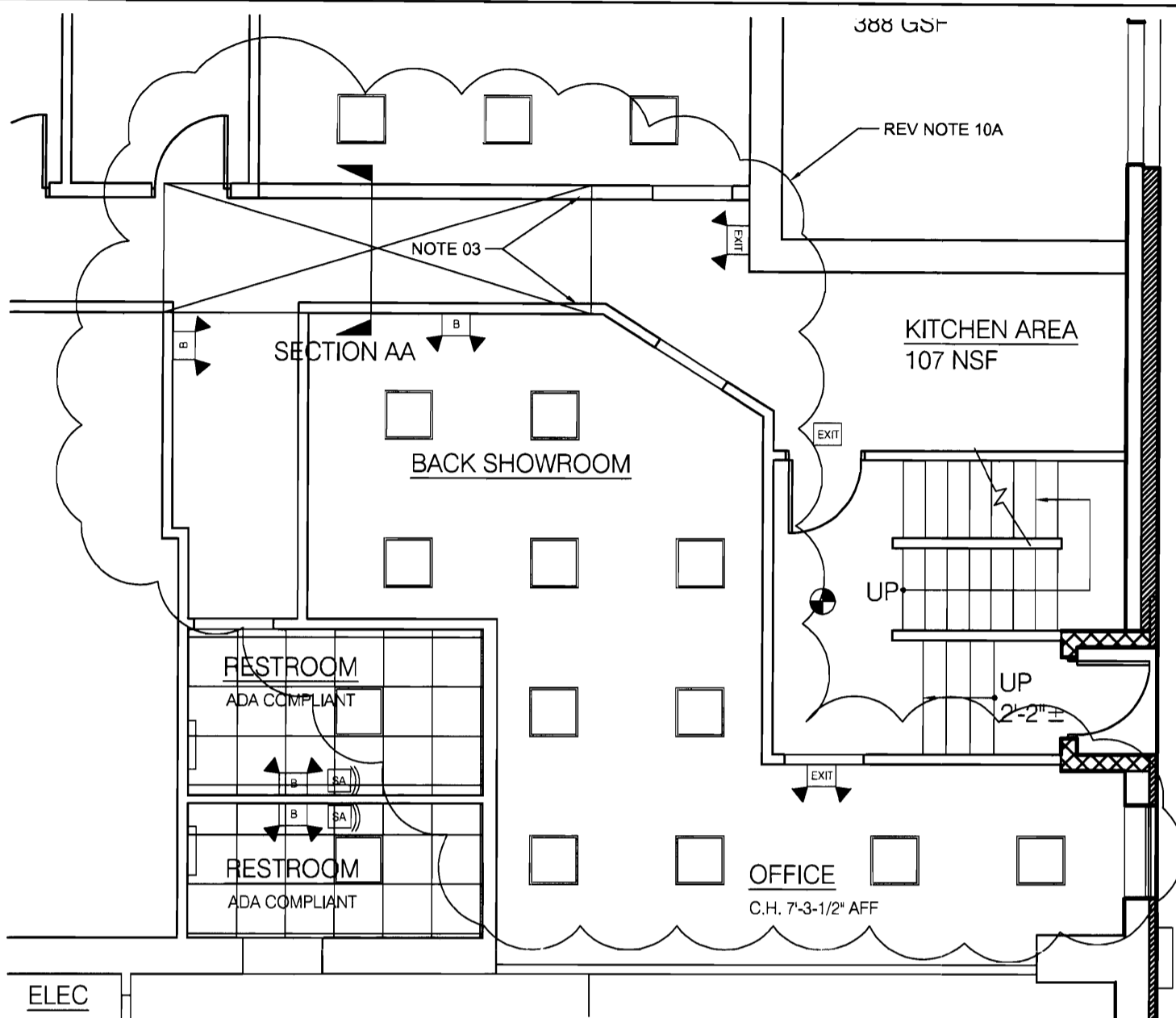
PHASE:

PROJECT:
**137 PREBLE STREET
STREET
PORTLAND
MAINE**

TITLE:
**AS-BUILT
ELEVATIONS**

SHEET:
A-30

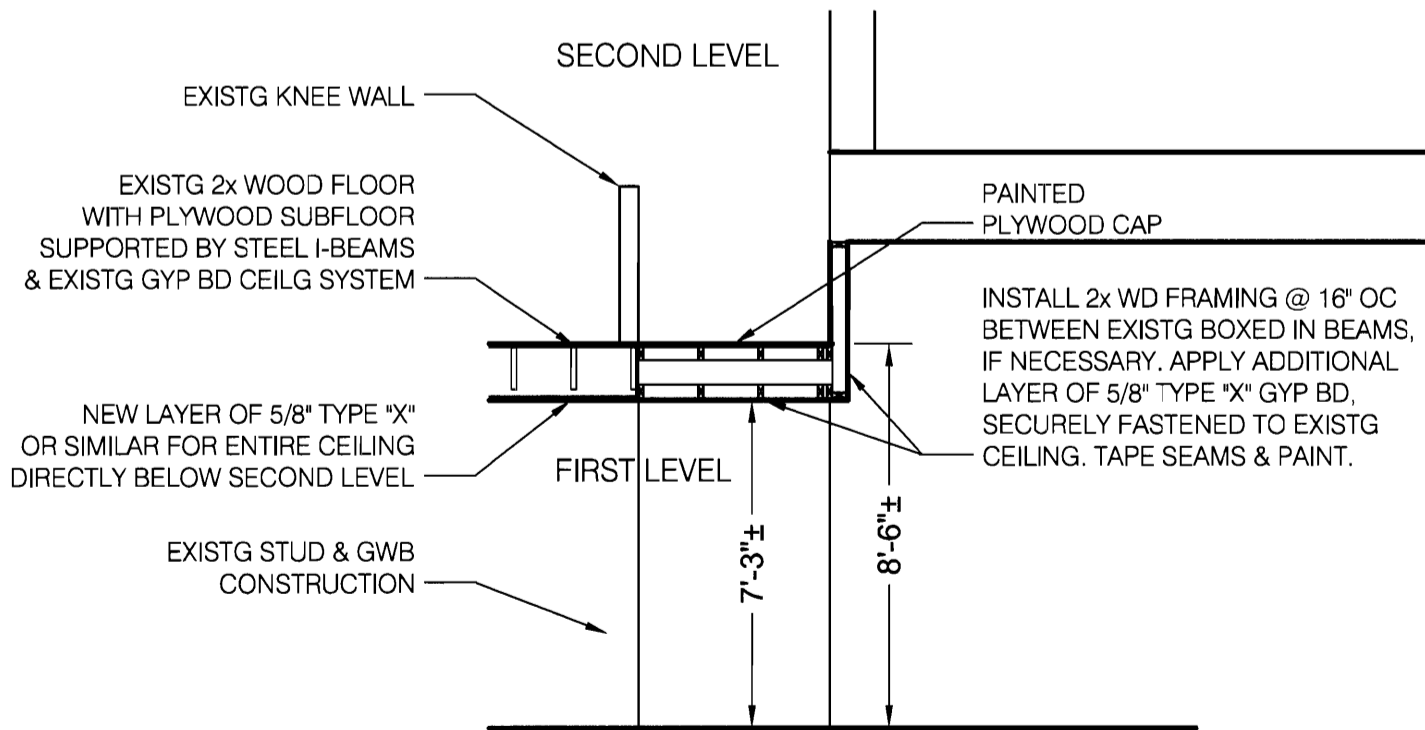
JOB: AR 2009-05



CEILING PLAN DETAIL @ BACK SHOWROOM

1/8" = 1'-0"

REV NOTE 10A - CONTRACTOR TO VERIFY SECOND FLOOR CONSTRUCTION TYPE TO ASSURE 1-HOUR SEPARATION. NOTIFY ARCHITECT IF OTHER THAN WOOD FLOOR ON 2x WD FLOOR FRAMING SUPPORTED BY STEEL I-BEAMS. CONTRACTOR TO INFILL AREA OF CLEARSTORY SHOWN IN BOX IDENTIFIED WITH AN "X" AT CORRIDOR AND ENCLOSE AREA ABOVE ON SECOND LEVEL. RETAIN EXISTING GYPSUM BOARD CEILING AND ADD ADDITIONAL LAYER OF TYPE "X" GYPSUM BOARD. INSTALL ADDITIONAL SURFACE MOUNTED FLUORESCENT FIXTURES. [SEE SECTION FOR ADDITIONAL INFORMATION]



SECTION @ CLEARSTORY

3/16" = 1'-0" [OPENING 1-HR FIRE SEPARATION ENCLOSURE DETAIL]

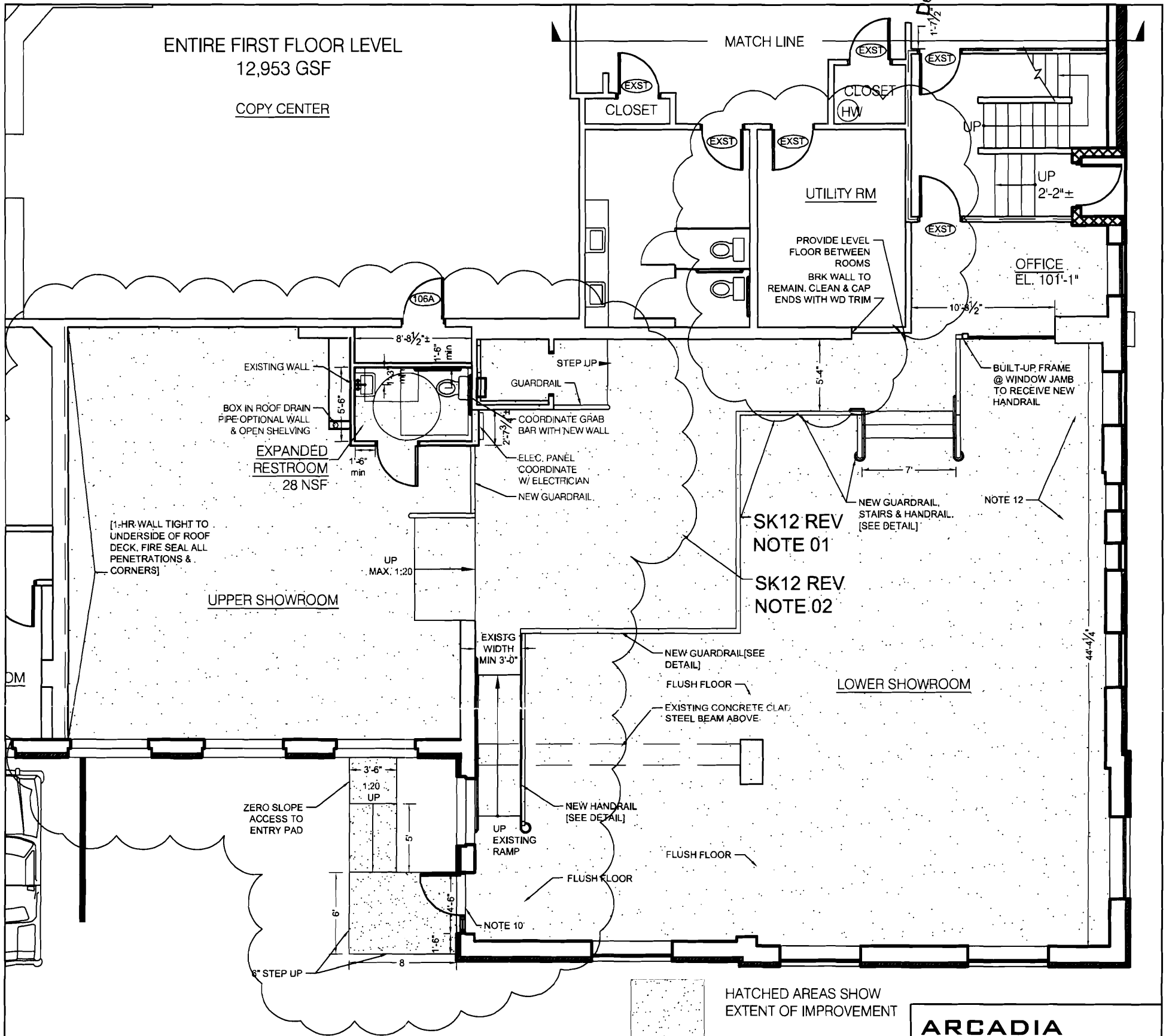
ARCADIA	
designworks LLC 142 high street, suite 513 portland, maine 04101 tel: 207.347.5252 cp: 207.749.9306 www.arcadiadesignworks.com	
PROJECT:	SKILFULL FITOUT PORTLAND, ME
DATE:	11.16.2009
SCALE:	1/8" = 1'-0"
TITLE:	CEILING PLAN DETAIL
SK NO:	SK10A

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NOV 16 2009
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City of Portland Maine

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City of Portland Maine



REVISED FLOOR PLAN

3/32" = 1'-0"

NOTE: WALLS ADJACENT TO OFFICES ARE TO HAVE 1-HR CONSTRUCTION.

SK12 REV NOTE 01: ADD 1-HR WALL ENCLOSURE BETWEEN NEW OFFICE AND NEW UTILITY ROOM. PORTION OF RENOVATION PREVIOUSLY SUBMITTED FOR CITY APPROVAL AND PERMITTED CONTAINING CORRIDOR, RENOVATED RESTROOM, OFFICE AND BACK SHOWROOM, AS WELL AS, FIRST AND SECOND FLOOR CEILING ENCLOSURE SHALL NOT RECEIVE IMPROVEMENTS.

SK12 REV NOTE 02: ADD 1-HR WALL ENCLOSURE BETWEEN NEW UPPER SHOWROOM AND EXISTING ADJACENT OFFICE. INCREASE EXISTING RESTROOM AND UPGRADE TO COMPLY WITH ADA/WHEELCHAIR ACCESSIBILITY. SLOPE BETWEEN ROOMS NO GREATER THAN 1:20. INSTALL ACT CEILING GRID AND TILE, CARPET FLOOR AND REPAINT WALLS. INSTALL ZERO DEGREE CONCRETE ENTRANCE PAD AND RAISE ENTRANCE DOOR.

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PROJECT: SKILFULL FITOUT
PORTLAND, ME

DATE: 12.22.2009

SCALE: 3/32" = 1'-0"

TITLE: PLANS REVISIONS.

SK NO: SK12