



May 20, 2015

Ms. Helen Donaldson
Planning and Development Department
City of Portland, Maine
389 Congress Street
Portland, Maine 04101-3509

**Subject: Century Tire Plaza – 195 Kennebec Street
Project ID# 2015-027
Review Comments Received May 7, 2015**

Dear Ms. Donaldson:

We have received and reviewed the City's review comments and offer our responses to these comments. For ease of reference we have repeated each comment in *italics* with our response following.

Traffic Comments – Tom Errico, P.E.

Comment 1:

5/7/2015 Status: The applicant should include a pavement marking plan for Marginal Way for review and comment.

Response

A Sketch Plan showing the proposed pavement marking was provided on May 7, 2015. The response to this submission did not indicate any further revisions are required. The updated plans include the pavement markings as presented on the May 7, 2015 Sketch Plan.

Comment 2:

5/7/2015 Status: The pedestrian path located on site along the easterly property boundary shall have a curb or other physical element that prevents vehicle encroachment. A plan shall be provided for review and approval.

Response

A curb is shown along the eastern edge of the parking lot to provide separation between the parking area and the adjacent sidewalk.

Comment 3:

5/7/2015 Status: I find the revised configuration of the parking spaces to be acceptable with the removal of the parking space nearest Marginal Way.

Response

The parking space nearest Marginal Way has been removed on the revised plan sheet.

Ms. Helen Donaldson
May 20, 2015
Page 2

Comment 4:

5/7/2015 Status: The applicant should provide feedback as it relates to the type of time-limit parking regulations. The curb extension is generally acceptable. The plans should be revised to include a short sidewalk connection to the sidewalk on Brattle Street and the sidewalk ramp configuration on the opposite of Kennebec Street needs to be ADA compliant so the flares of the ramp are not in the pedestrian travel path. For the cycle-track the following details should be incorporated. I would suggest that the applicant provide a sketch for review and comment before finalizing (the details below are subject to change as the design develops).

- 1. 10 foot surface path*
- 2. 2-foot buffer space. Two 4 inch lines – dashed at driveways 7 to 8 foot parking will be permitted on the outside of the cycle-track where driveways do not exist.*
- 3. The cycle-track shall have green paint across driveways. Bollards shall be installed in the buffer area. The bollards will be permanently attached to the pavement. I will provide a specification for installation. It should be assumed that they will be located every 20 feet.*
- 4. All paint shall be durable long-lasting paint. I will provide a specification for installation.*

Response:

A Sketch Plan was provided for review on May 7, 2015.

Additional Comments on the Sketch Plan Provided May 7, 2015

The City has reviewed the cycle track path concept provided by you and please note the following comments.

Comment 1:

The green paint shall extend all the way to Forest Avenue from the Enterprise driveway. Attached is the green paint product that should be installed.

Response

The location of the green paint has been modified as requested to extend to the Forest Avenue intersection.

Comment 2:

There should be a 4" yellow dashed line dividing the cycle track with bike lane markings (helmeted cyclist and arrows) indicating a two-way cycle track.

Response

A yellow dashed centerline has been added to the bike lane as requested.

Comment 3:

The attached sign shall be installed at Forest Avenue/Kennebec Street intersection on that corner illustrating two-way bicycle traffic to motor vehicles. The sign size shall be 24" x 24".

Ms. Helen Donaldson
May 20, 2015
Page 3

Response

The sign has been added on the revised plan sheet.

Comment 4:

Bollards shall be spaced 15 feet apart. Green colored 42-inch high bollards should be installed per the attached standard.

Response

Delineation bollards have been added in the buffer zone between the bike lane and the travel lane, as requested.

Comment 5:

The 2-foot buffer between the parked vehicles and the raised path needs to be removed per Fire Department comments (they are fine with the bollard area).

Response

The buffer zone has been eliminated alongside the raised path at the request of the Fire Department. It should be noted that this creates a potential conflict between open car doors and bicyclists traveling along the raised path.

Comment 6:

The plan should note that the project shall be responsible for a bituminous patching within the cycle track before the suggested treatment is installed. The limits, extent, and methods of patching shall be coordinated with DPS.

Response

A note has been added to plan to this effect.

Comment 7:

The buffer space shall have chevron markings. A six-inch white gore line should be provided every 15 feet.

Response

Chevron markings at 15-foot intervals have been added along the buffer zone, as requested.

Comment 8:

The outside line of the cycle track shall be 6" wide and the inside line shall be 4" wide.

Response

The revised plan shows the striping designation, as requested.

Comment 9:

The dashed lines at the driveways shall be a 2-foot stripe with a 2-foot gap.

Ms. Helen Donaldson
May 20, 2015
Page 4

Response

Dashed lines are shown and noted on the revised site plan. A note has been added indicating all snow will be removed from the site.

Planning Department – Nell Donaldson

Comment 1:

The lights on Kennebec Street should be the medium Bayside fixtures, and I believe your specs are correct, but you list the lights on both streets as 'large scale' on the site plan. Could you revise your note to clarify this?

Response

The note has been revised on the plan sheet to reflect the correct designations for the light poles.

Comment 2:

The snow storage note still appears on the landscape plan, as do references to Note #18 (which has been removed). Could you revise? Since you're planning to remove all snow from the site, could you add a note as such?

Response

The note and references to the note have been eliminated from the revised Landscape Plan.

Department of Public Services – David Margolis-Pineo

Comment 1:

- 1. On Marginal Way, where does the proposed electrical conduit connect to the existing lighting circuit? Show the location and details of the connection. Show the location of the conduit to be installed.*
- 2. On Kennebec Street, show connection from the proposed meter to the utility power grid. Show the electrical panel design details.*
- 3. Specify the conduit size, type, and provide installation detail showing the depth of cover (minimum of 36"), conduit encasement, and marker tape.*
- 4. Specify and show the conduit location with respect to right of way or some other reference.*
- 5. Are light fixtures, poles, and pole foundations details provided?*
- 6. The applicant will be responsible for all connections, wiring and any other ancillary work required for a complete street project. Please delete reference that the City is responsible for such work.*
- 7. It is understood that all street lighting will have LED fixtures, all circuits metered for City billing and please not that a 120v outlet per pole is not required*

Response

Please see revised electrical plan from Bennett Engineering that addresses these comments.

FAY, SPOFFORD & THORNDIKE

Ms. Helen Donaldson
May 20, 2015
Page 5

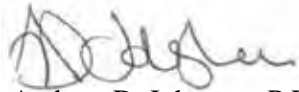
Additional Item

Please note that we have also added a single sheet (C-4.1 Marginal Way Entrance Detail) to the plan set. This clarifies the configuration of the entrances to Building B from Marginal Way.

If you have any questions with regards to the information provided, please contact our office.

Sincerely,

FAY, SPOFFORD & THORNDIKE

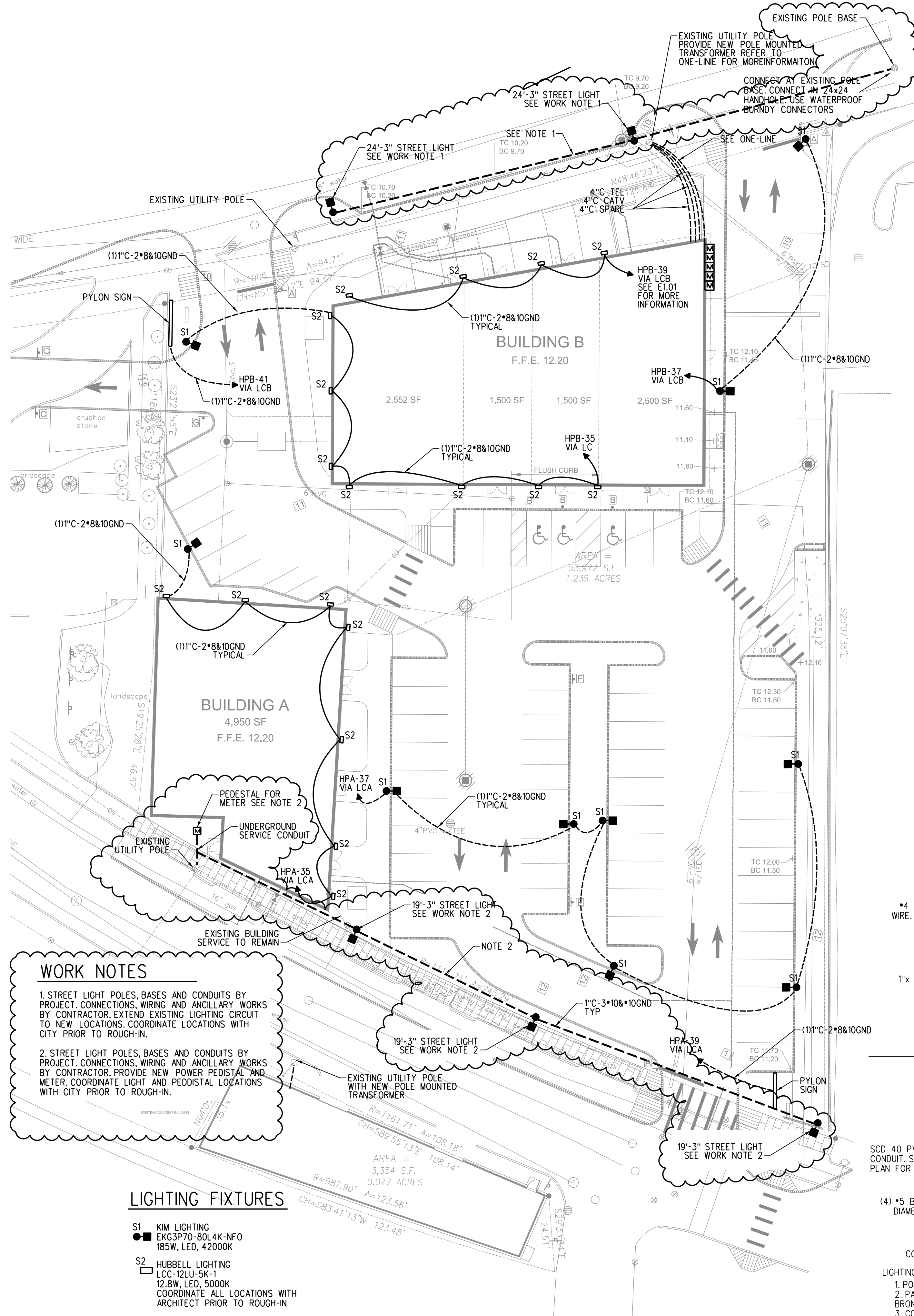


Andrew D. Johnston, P.E.
Principal Engineer

ADJ/cmd

Enclosure

c: Brad Fries



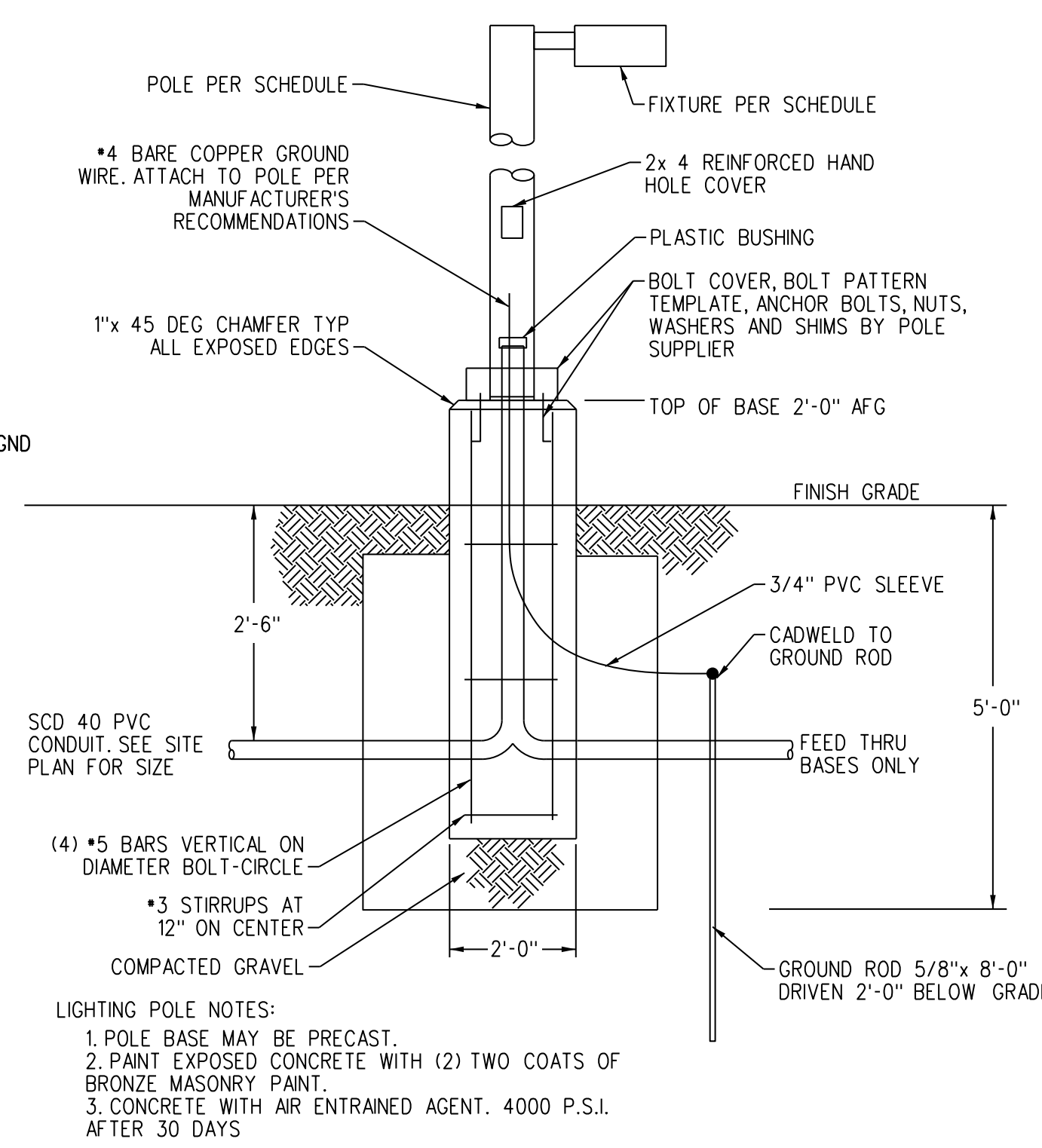
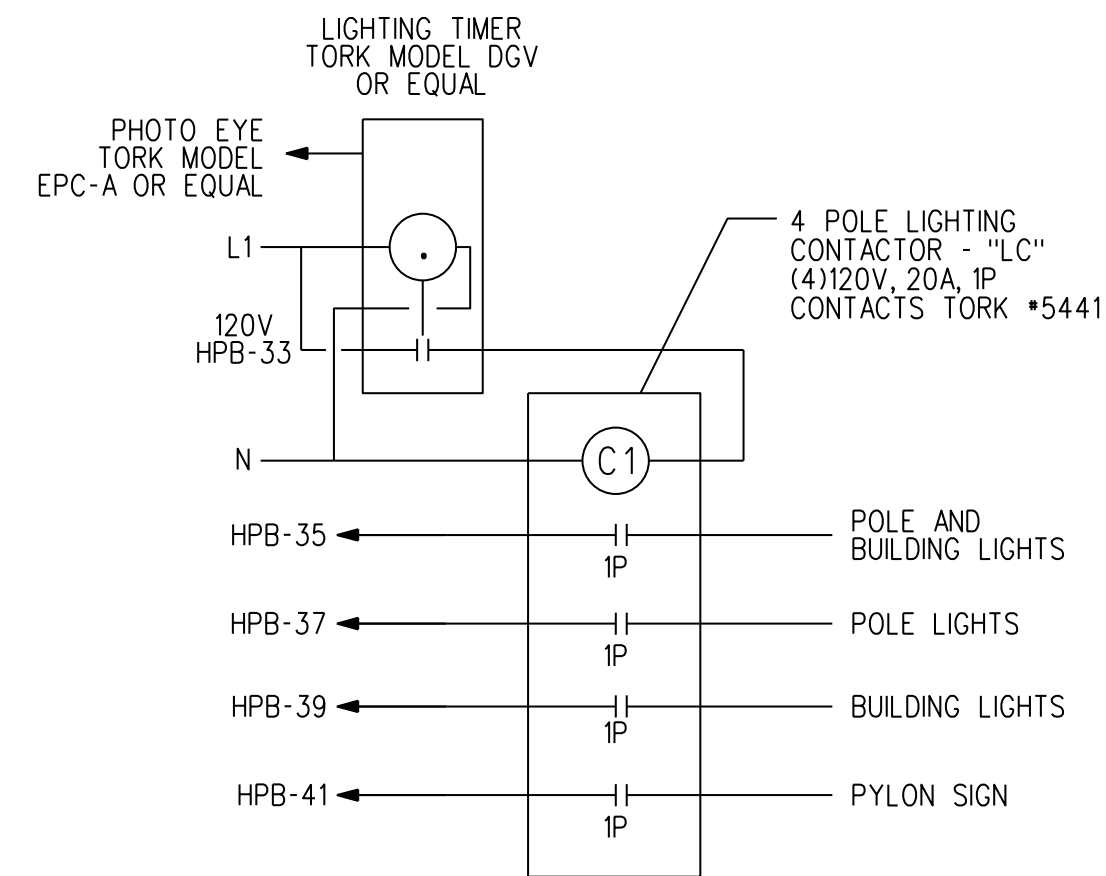
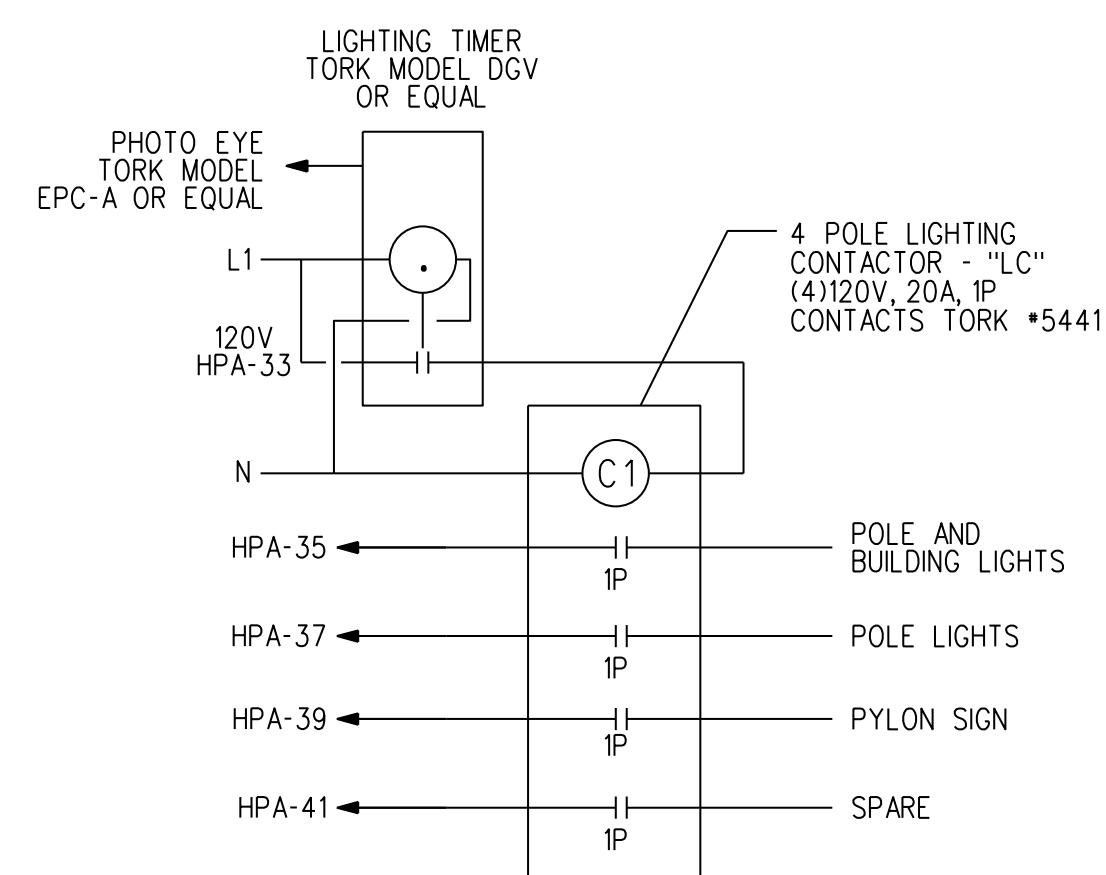
WORK NOTES

1. STREET LIGHT POLES, BASES AND CONDUITS BY PROJECT. CONNECTIONS, WIRING AND ANCILLARY WORKS BY CONTRACTOR. EXTEND EXISTING LIGHTING CIRCUIT TO NEW LOCATIONS. COORDINATE LOCATIONS WITH CITY PRIOR TO ROUGH-IN.

2. STREET LIGHT POLES, BASES AND CONDUITS BY PROJECT. CONNECTIONS, WIRING AND ANCILLARY WORKS BY CONTRACTOR. PROVIDE NEW POWER PEDISTAL AND METER. COORDINATE LIGHT AND PEDISTAL LOCATIONS WITH CITY PRIOR TO ROUGH-IN.

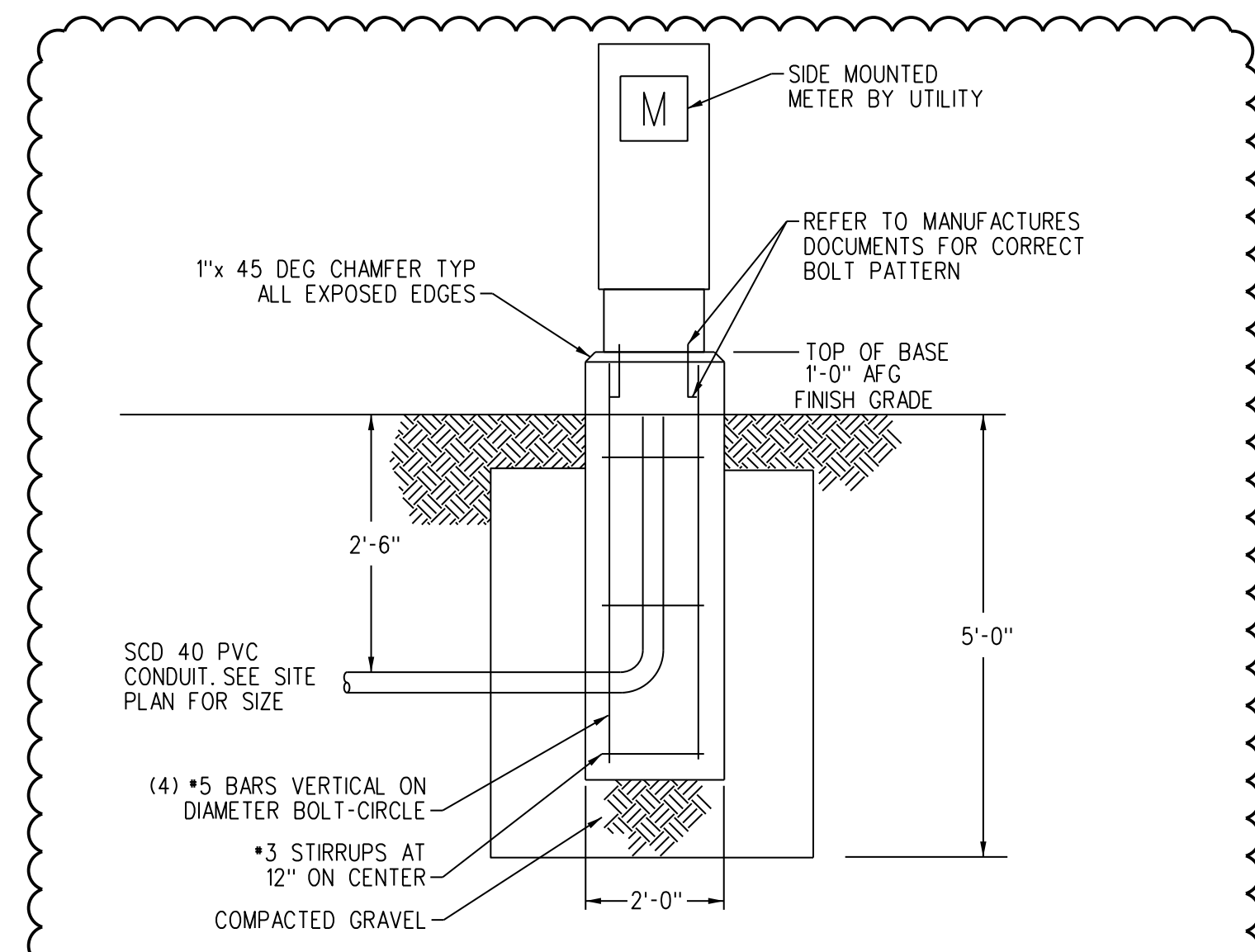
- LIGHTING FIXTURES**
- S1 KIM LIGHTING
EKG3P70-80L4K-NFO
185W, LED, 42000K
 - S2 HUBBELL LIGHTING
LCC-12LU-5K-1
12.8W, LED, 5000K
COORDINATE ALL LOCATIONS WITH ARCHITECT PRIOR TO ROUGH-IN

SITE PLAN
SCALE: 1"=20'



GENERAL NOTES - SITE ELECTRICAL

- THE COMPLETE INSTALLATION SHALL CONFORM WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, CODES AND ORDINANCES, INCLUDED BUT NOT LIMITED TO APPROVED EDITIONS OF THE FOLLOWING: NATIONAL ELECTRICAL SAFETY CODE (ANSI C2); NATIONAL ELECTRICAL CODE (NFPA 70); OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) AND ALL AMENDMENTS THERETO. NOTHING CONTAINED IN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONSTRUED TO CONFLICT WITH THESE LAWS, CODES, AND ORDINANCES, AND THEY ARE THEREBY INCLUDED IN THESE SPECIFICATIONS. OBTAIN PERMITS AND REQUEST INSPECTIONS FROM ALL AUTHORITIES HAVING JURISDICTION. COMPLY WITH ALL POWER, TELEPHONE, CABLE TELEVISION PROVIDER REGULATIONS AND STANDARDS.
- THE FOLLOWING ELECTRICAL WORK SHALL BE PERFORMED UNDER THIS CONTRACT: UNDERGROUND CONDUIT, FITTINGS, AND ALL DEVICES; PROVISION OF HAND HOLES, NEW LIGHTING FIXTURES, POLES WITH ALL ACCESSORIES INCLUDING ANCHOR BOLTS AND POLE BASES; PROVISION OF UNDERGROUND CONDUIT AND WIRE TO SERVE NEW LIGHTING EQUIPMENT AND RECEPTACLES; PROVISION OF SERVICE EQUIPMENT, INCLUDING OUTDOOR CABINETS, INGROUND SPLICE BOXES, GROUNDING, METER ENCLOSURES, AND WEATHERPROOF RECEPTACLES.
- ELECTRICAL UTILITY SHALL PROVIDE ALL ASSOCIATED OVERHEAD AND UNDERGROUND PRIMARY WIRING, PRIMARY TERMINATIONS, TRANSFORMERS, AND CONNECTIONS TO EXISTING OVERHEAD LINES. CONTRACTOR SHALL PROVIDE UNDERGROUND CONDUIT AND SECONDARY WORK.
- PROVIDE UNDERGROUND ELECTRICAL WARNING TAPE: 6" WIDE PLASTIC TAPE, COLORED RED WITH SUITABLE LEGEND DESCRIBING BURIED ELECTRICAL LINES FOR ALL UNDERGROUND CONDUITS. LOCATE 6 INCHES BELOW FINISHED GRADE.
- REFER TO CIVIL DRAWINGS FOR EXCAVATION AND BACKFILL OF ALL UNDERGROUND WORK.
- EXISTING UTILITY LOCATIONS ARE APPROXIMATE AND SHALL BE FIELD VERIFIED. CONTRACTORS SHALL CONTACT DIG SAFE BEFORE BEGINNING ANY EXCAVATIONS.
- FINAL LOCATION OF NEW UTILITIES MAY VARY FROM PLANS PENDING UTILITY COMPANY FIELD COORDINATION.
- THE LOCAL TELEPHONE AND CABLE TELEVISION SERVICE PROVIDERS SHALL PROVIDE AND INSTALL ALL THE SITE UTILITY SERVICE CABLE TO NEW BACKBOARD IN THE CONDUITS PROVIDED BY THE CONTRACTOR AS PART OF THE SITE WORK.
- UNDERGROUND CONDUIT SHALL BE SCHED 40 PVC. ABOVE GRADE CONDUIT SHALL BE RGS. ALL CONDUIT SWEEPS SHALL BE RGS LONG SWEEPS.
- PROVIDE EXPANSION FITTINGS FOR ALL UNDERGROUND CONDUIT CONNECTED TO FIXED ABOVE GROUND STRUCTURES.
- PROVIDE A LISTED INTERSYSTEM BONDING TERMINAL AT THE SERVICE ENTRANCE. INSTALL IN ACCORDANCE WITH NFPA 70, 250.94
- REFER TO ONE-LINE DIAGRAM FOR ADDITIONAL INFORMATION.



CABINET SPECS

THE CITY OF PORTLAND STANDARD CABINET SPECS ARE THE FOLLOWING:

CABINET APX ENCLOSURES, INC

- CABINET No 1-850-000062
- PEDESTAL BASE No 1-060-00190

CABINET BASE CAN BE STANDALONE TYPE OTHER THAN ABOVE PROVIDED IT'S NOT IN A SIDE WALK OR ON THE EDGE OF A PLOWED PATH WAY, STREET OR PARKING LOT. CIRCUITS MAY ALSO BE WIRED INTO EXISTING TRAFFIC SIGNAL BOXES OR OTHER LIGHTING CIRCUIT BOXES. THIS WOULD HAVE TO BE DETERMINED ON A CASE BY CASE BASIS.

2" INCH CONDUIT UNDERGROUND IN LIGHT POLE BASES CABINET BASE.

EACH LIGHT FUSED INDIVIDUALLY AT BASE FUSE HOLDER TYPE IS A (BUCHANAN 65 KIT CAT No 65U)

PROVIDE OUTLET AT ONE POLE ON MARGINAL WAY AND AT ONE POLE ON KENNEBEC STREET JUST BELOW THE FIXTURE. COORDINATE WITH CITY FOR POLE LOCATION.

SIGNAL PHOTO CELL CONTROL FOR ALL LIGHTS IN CABINET, RATED FOR THE CIRCUIT THAT MAY REQUIRE AN ALL PURPOSE CONTACTOR

MOUNTED ON THE BACK SIDE OF SIDEWALK WITH DOOR FACING THE STREET METER FACING BUILDING DESIRED.

IF BOX HAS TO BE ON THE SIDEWALK DOOR SHOULD FACE BUILDING AND METER SHOULD BE MOUNTED OPPOSITE SIDE OF TRAVEL DIRECTION.

INSTALL 100A, 1-PHASE, 120/2089V PANEL WITH (6) 20A 1-POLE BREAKERS..

Prepared For:

BENNETT ENGINEERING
MECHANICAL - ELECTRICAL
(207) 865-9475

Consulting Engineer:

ARCHETYPE architects
48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

Architect:

Project:

CENTURY TIRE
PORTLAND, MAINE

Revisions:

ISSUED FOR CONSTRUCTION

Date:

May 8, 2015

Scale:

As Noted

SITE ELECTRICAL PLAN

E1.00

PROJECT PARCEL SITE
CITY OF PORTLAND TAX ASSESSOR'S MAP & LOT NUMBERS

MAP LOT
34 C-9

OWNER

ATLANTIC BAYSIDE INVESTMENTS, LLC

SOUTH PORTLAND PIER, SUITE 400

PORTLAND, MAINE 04101

207.828.5512

ATTN: JAMES HAMLEY

APPLICANT

NORTHLAND ENTERPRISES, LLC

17 SOUTH STREET, 3RD FLOOR

PORTLAND, MAINE 04101

207.780.0223

ATTN: BRAD FRIES

SITE DEVELOPMENT PLANS

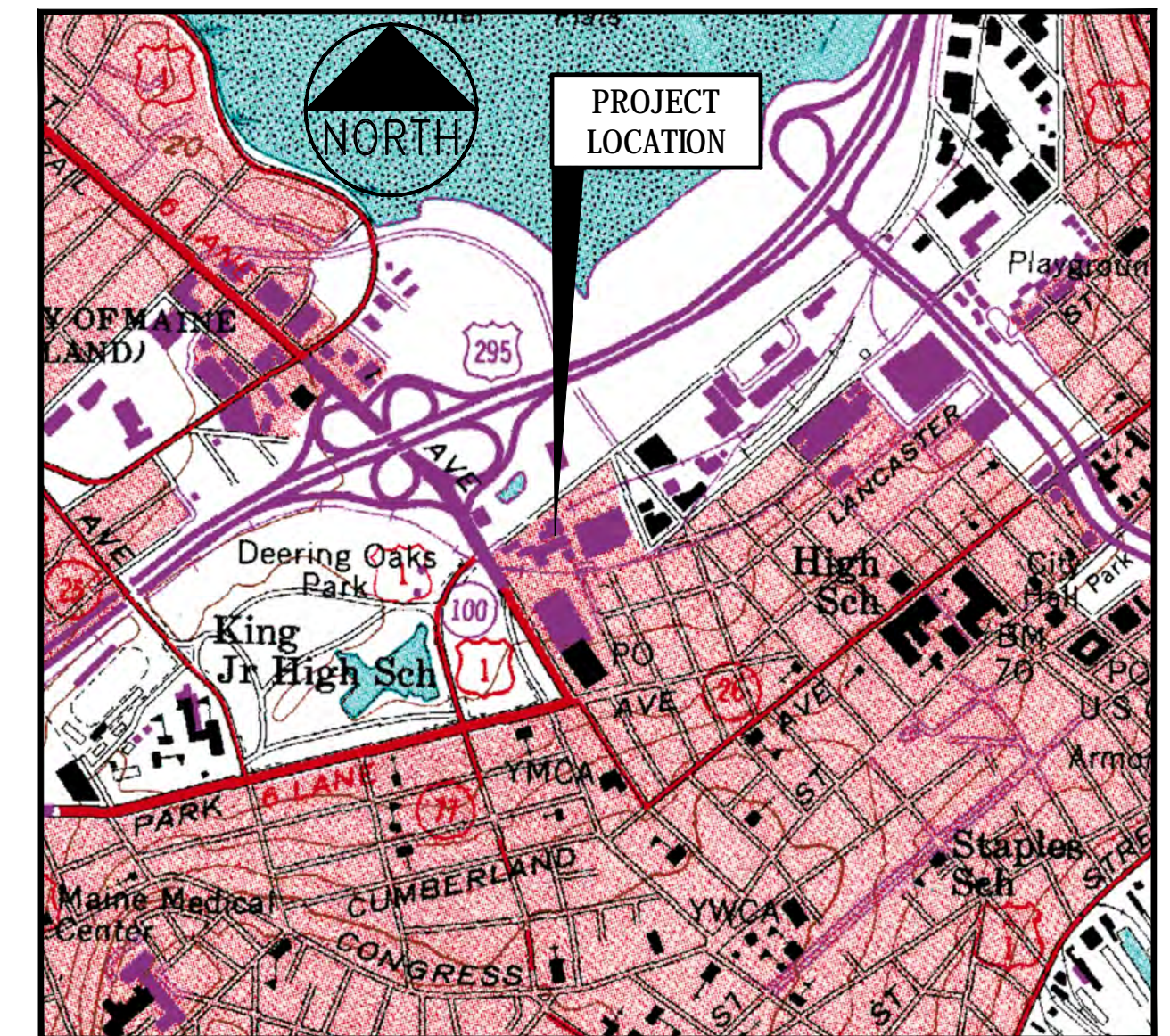
FOR

CENTURY TIRE PLAZA

PORTLAND, MAINE

LEVEL II SITE PLAN SUBMISSION

FEBRUARY 12, 2015



LOCATION MAP
N.T.S.

INDEX	
C-1.0	COVER SHEET
C-1.1	GENERAL NOTES AND LEGEND
C-2.0	BOUNDARY SURVEY
C-2.1	EXISTING CONDITIONS AND DEMOLITION PLAN
C-3.0	SITE LAYOUT AND UTILITY PLAN
C-4.0	GRADING AND DRAINAGE PLAN
C-4.1	MARGINAL WAY ENTRANCE DETAIL
C-5.0	EROSION AND SEDIMENT CONTROL PLAN
C-6.0	LANDSCAPE PLAN
C-7.0	DETAILS
C-7.1	DETAILS
C-7.2	DETAILS
C-7.3	EROSION CONTROL DETAILS

UTILITIES

SEWER

CITY OF PORTLAND
PUBLIC SERVICES ENGINEERING DEPARTMENT
55 PORTLAND STREET
PORTLAND, MAINE 04102
207.874.8850
ATTN: DAVID MARGOLIS-PINEO, P.E.

WATER

PORTLAND WATER DISTRICT
225 DOUGLAS STREET
P.O. BOX 3533
PORTLAND, MAINE 04104
207.761.8310
ATTN: GLISSEN HAVU

POWER

CENTRAL MAINE POWER
162 CANCO ROAD
PORTLAND, MAINE 04103
207.791.1023
ATTN: JAMIE COUGH

TELEPHONE

FAIRPOINT COMMUNICATIONS
FIVE DAVIS FARM ROAD
PORTLAND, MAINE 04103
207.797.1842
ATTN: SUE SERRETTE

CABLE

TIME WARNER CABLE
118 JOHNSON ROAD
PORTLAND, MAINE 04102
877.546.0962
ATTN: ANDREW TROTTIER

NATURAL GAS

UNITIL
1075 FOREST AVENUE
PORTLAND, MAINE 04103
207.797.8002 EXT 6620
ATTN: ALEX SMITH

CALL BEFORE YOU DIG

1.888.DIGSAFE
1.888.344.7233
DIG SAFE MAINE

PERMITS / APPROVALS

LOCAL

SITE PLAN APPROVAL

GOVERNING BODY

CITY OF PORTLAND PLANNING DEPARTMENT
CITY HALL
389 CONGRESS STREET
PORTLAND, MAINE 04101
207.874.8719
ATTN: BARBARA BARHYDT

STATUS

INITIAL SUBMISSION 02.13.15

BUILDING PERMIT

CITY OF PORTLAND CODE ENFORCEMENT OFFICE
CITY HALL
389 CONGRESS STREET
PORTLAND, MAINE 04101
207.874.8703

BY CONTRACTOR - PRIOR TO CONSTRUCTION

STREET OPENING PERMIT

CITY OF PORTLAND CODE ENFORCEMENT OFFICE
CITY HALL
389 CONGRESS STREET
PORTLAND, MAINE 04101
207.874.8703

PRIOR TO CONSTRUCTION

PREPARED BY

CIVIL ENGINEER

FAY, SPOFFORD & THORNDIKE

778 MAIN STREET, SUITE 8
SOUTH PORTLAND, MAINE 04106
207.775.1121

ATTN: ANDREW JOHNSTON, P.E.

ARCHITECT

ARCHETYPE ARCHITECTS

48 UNION WHARF
207.772.6022
PORTLAND, MAINE 04101

ATTN: DAVID LLOYD

SURVEYOR

OWEN HASKELL, INC.

390 U.S. ROUTE 1, SUITE 10
FALMOUTH, MAINE 04105
207.774.0424

LANDSCAPE ARCHITECT

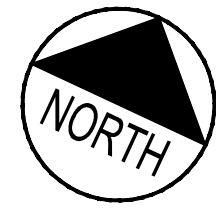
LAND DESIGN SOLUTIONS

160 LONGWOODS RD
CUMBERLAND, MAINE 04021
207.939.1717

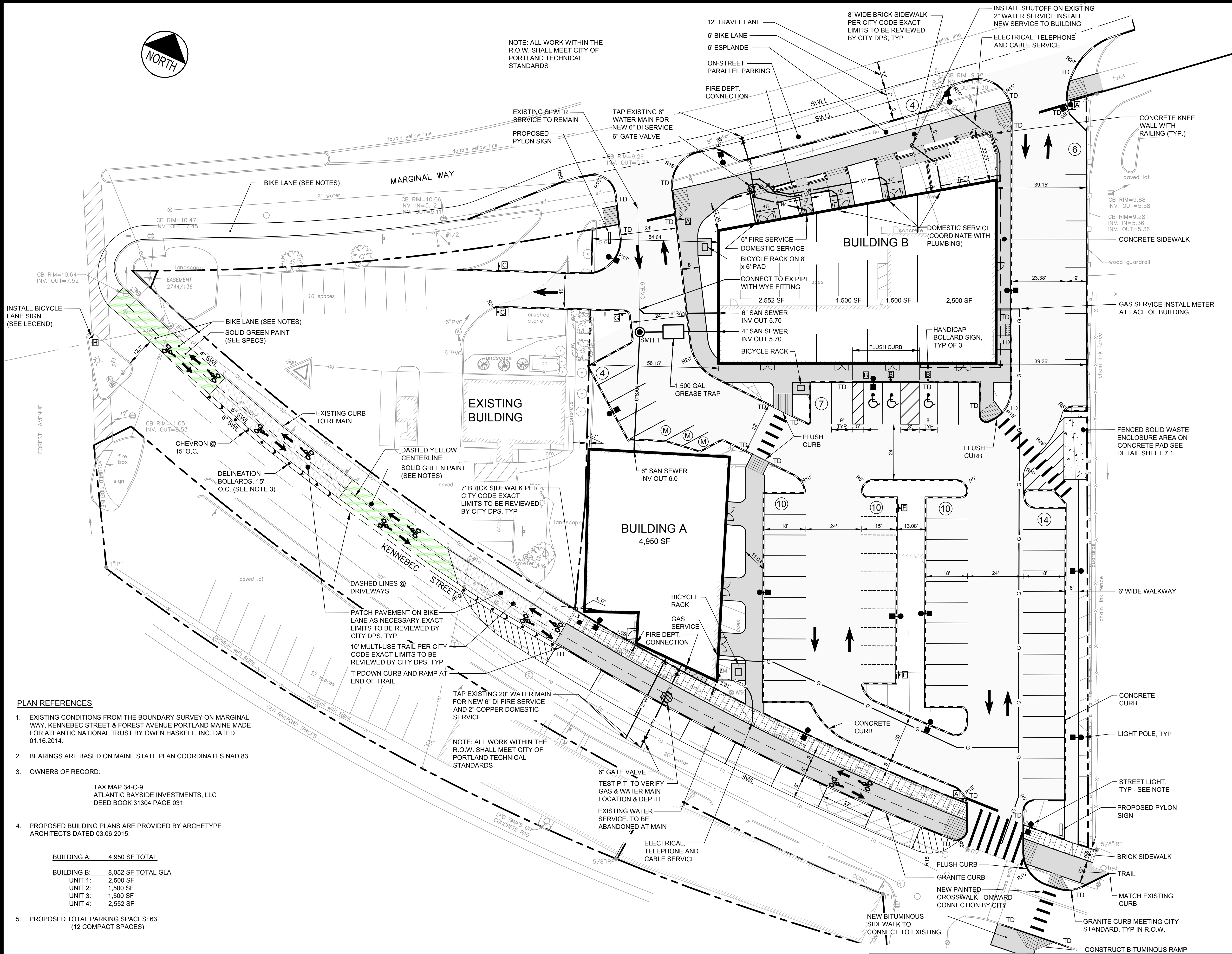
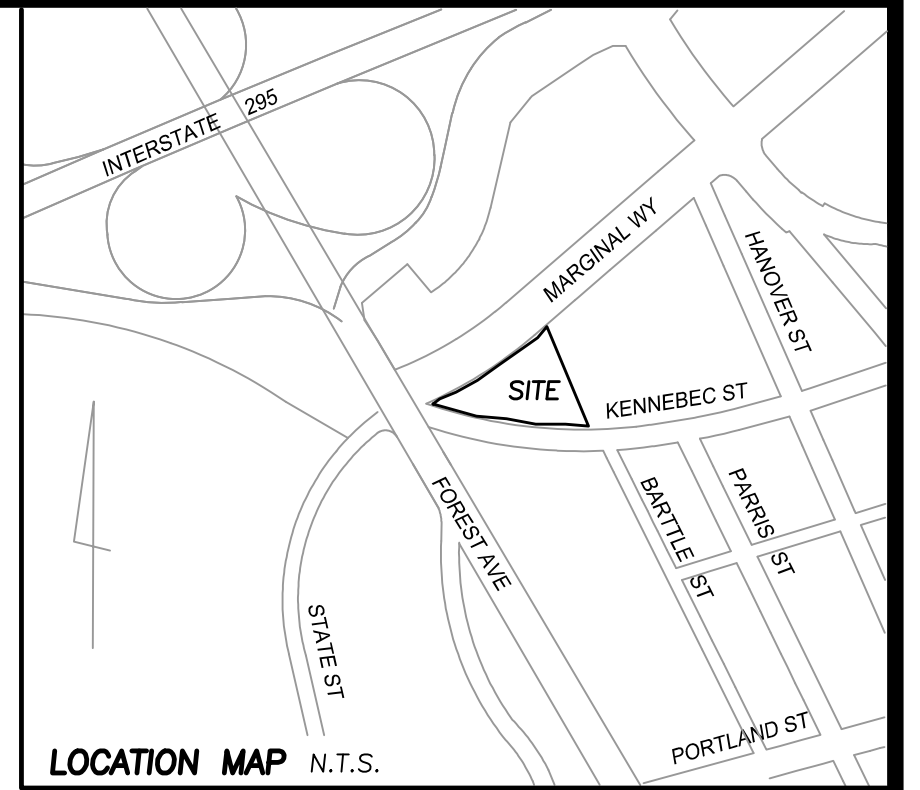
PRELIMINARY NOT FOR CONSTRUCTION

I HEREBY ACKNOWLEDGE THAT THESE PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MAINE AND THAT I AM COMPETENT TO PREPARE THIS DOCUMENT.

			PROJECT CENTURY TIRE PLAZA 195 KENNEBEC STREET, PORTLAND, ME	FAY, SPOFFORD & THORNDIKE ENGINEERS • PLANNERS • SCIENTISTS 778 MAIN ST, SUITE 8, SOUTH PORTLAND, ME 04106
SHEET TITLE COVER SHEET			DRAWN: DED DATE: 11.25.14 DESIGNED: ADJ SCALE: N.T.S. CHECKED: ADJ JOB NO. SP-M160	
CLIENT NORTHLAND ENTERPRISES, LLC			FILE NAME: SP-M160 BASE	SHEET C-1.0
3 05.18.15 REVISED FOR FINAL CITY COMMENTS 2 04.01.15 REVISED PER CITY COMMENTS 1 02.13.15 ISSUED FOR CITY PERMIT	REVISIONS		P.E. ANDREW D. JOHNSTON LIC. #9994	



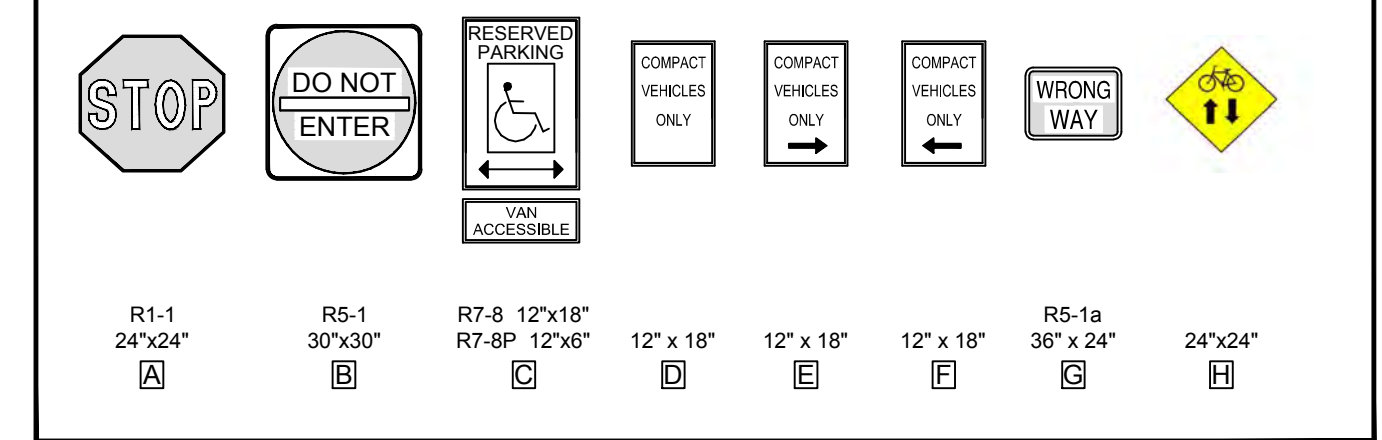
NOTE: ALL WORK WITHIN THE R.O.W. SHALL MEET CITY OF PORTLAND TECHNICAL STANDARDS



NOTE:

- STREET LIGHTS ON MARGINAL WAY SHALL BE: BAYSIDE DISTRICT LARGE SCALE LIGHT LUMINAIRE : HOLOPHANE MODEL ESU175MH12A4-R-RAL 6012 COLOR : TIGER DRY/LAC OLD NAVY SILVER YR93J POLE: TAPERED 24\"/>

SIGN LEGEND



CENTURY TIRE SEWER SCHEDULE						
STRUCTURE	RIM	INV IN	DIR	INV OUT	SUMP	SIZE
GREASE TR	10.70	5.43	E	5.10	N/A	1500
SMH 1	10.65	5.06	S	5.00	N/A	4' ID
		5.05	E			
PIPE FROM	PIPE TO	LENGTH	SLOPE	US INV	DS INV	SIZE
BLDG B	GREASE	16	0.017	5.70	5.43	4\"/>

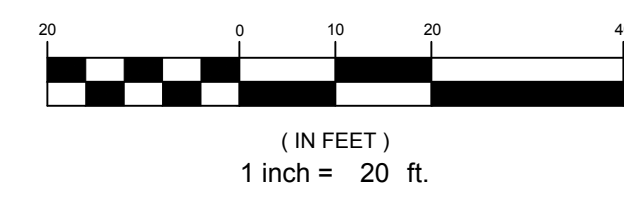
PLAN REFERENCES

- EXISTING CONDITIONS FROM THE BOUNDARY SURVEY ON MARGINAL WAY, KENNEBEC STREET & FOREST AVENUE PORTLAND MAINE MADE FOR ATLANTIC NATIONAL TRUST BY OWEN HASKELL, INC. DATED 01.16.2014.
- BEARINGS ARE BASED ON MAINE STATE PLAN COORDINATES NAD 83.
- OWNERS OF RECORD:
TAX MAP 34-C-9
ATLANTIC BAYSIDE INVESTMENTS, LLC
DEED BOOK 31304 PAGE 031
- PROPOSED BUILDING PLANS ARE PROVIDED BY ARCHETYPE ARCHITECTS DATED 03.06.2015:

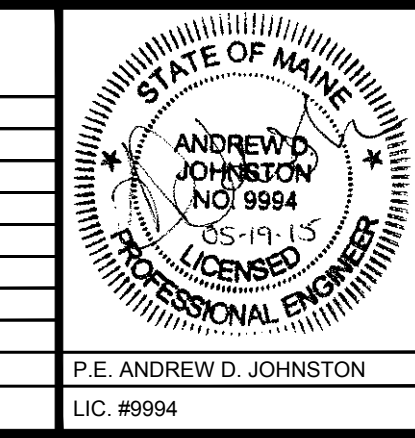
BUILDING A:	4,950 SF TOTAL
BUILDING B:	8,052 SF TOTAL GLA
UNIT 1:	2,500 SF
UNIT 2:	1,500 SF
UNIT 3:	1,500 SF
UNIT 4:	2,552 SF

FLOOD ZONE NOTE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE C OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051 13B, WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1986 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.



REV	DATE	DESCRIPTION	REVISIONS
8	05.18.15	REVISED FOR FINAL CITY COMMENTS	
7	04.24.15	ISSUED FOR CONSTRUCTION	
6	04.10.15	REVISED PER CITY COMMENTS	
5	04.01.15	REVISED PER CITY COMMENTS	
4	03.03.15	MINOR REVISIONS TO PARKING AND RAMPS	
3	02.13.15	ISSUED FOR CITY PERMIT	
2	12.31.14	ISSUED FOR CLIENT REVIEW	
1	11.28.14	RELEASED FOR CLIENT REVIEW	



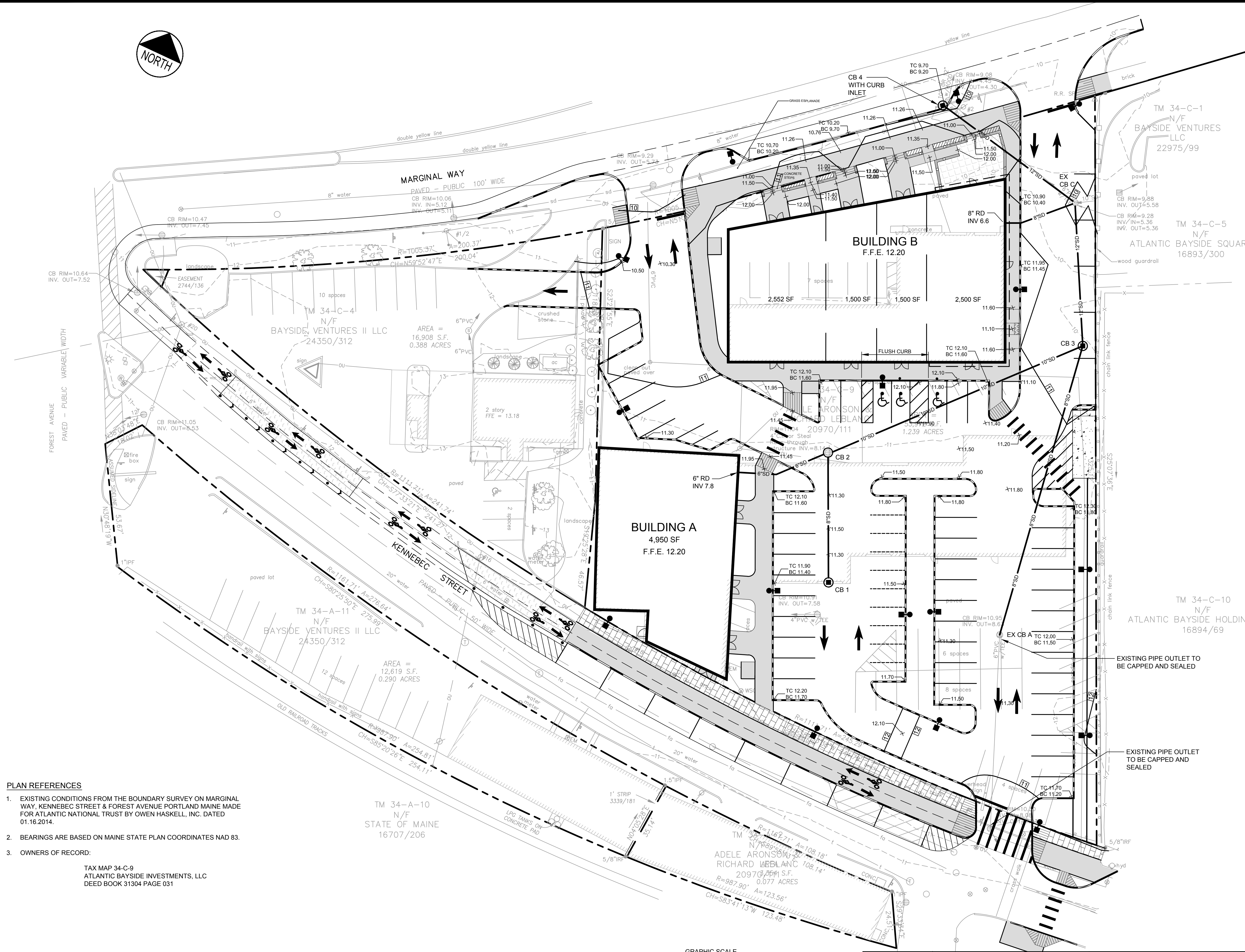
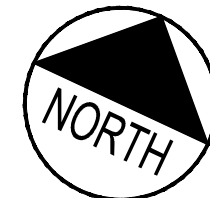
PROJECT: **CENTURY TIRE PLAZA**
195 KENNEBEC STREET, PORTLAND, ME

SHEET TITLE: **SITE LAYOUT AND UTILITY PLAN**

CLIENT: **NORTHLAND ENTERPRISES, LLC**

FST **FAY, SPOFFORD & THORNDIKE**
ENGINEERS • PLANNERS • SCIENTISTS
778 MAIN ST, SUITE 8, SOUTH PORTLAND, ME 04106

DRAWN: ADJ DATE: 11.25.14
DESIGNED: ADJ SCALE: 1" = 20'
CHECKED: ADJ JOB NO.: SP-M160
FILE NAME: SP-M160 BASE
SHEET: **C-3.0**

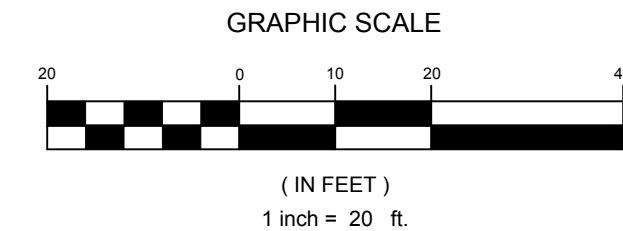


STRUCTURE	RIM	INV IN	DIR	INV OUT	SUMP	SIZE
NEW CB A	11.00	N/A	N/A	7.32	4.32	4"ID
NEW CB 1	11.10	N/A	N/A	7.82	4.82	4"ID
NEW CB 2	11.10	7.40	W	7.30	4.30	4"ID
		7.40	S			
NEW CB 3	10.20	6.38	W	6.20	3.50	4"ID
		6.30	S			
EX CB C	9.90	6.00	W	5.50	EX	EX
		5.60	S			
NEW CB 4	9.20	4.48	SE	4.30	1.3	4"ID
PIPE FROM	PIPE TO	LENGTH	SLOPE	US INV	DS INV	SIZE
NEW CB 1	NEW CB 2	53	0.008	7.82	7.40	6"PVC
RD A	NEW CB 2	40	0.01	7.80	7.40	6"PVC
NEW CB 2	NEW CB 3	115	0.008	7.30	6.38	10"HDPE
NEW CB A	NEW CB 3	128	0.008	7.32	6.30	8"HDPE
NEW CB 3	EX CB C	60	0.01	6.20	5.60	12"HDPE
RD B	EX CB C	30	0.02	6.60	6.00	8"PVC
EX CB C	NEW CB 4	68	0.015	5.50	4.48	12"HDPE

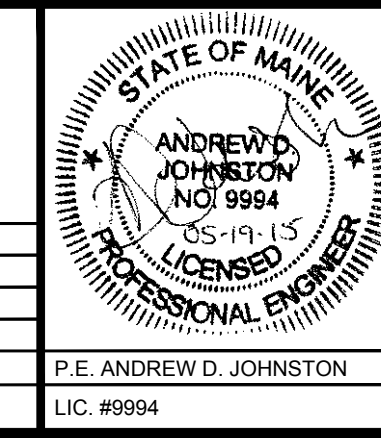
PLAN REFERENCES

- EXISTING CONDITIONS FROM THE BOUNDARY SURVEY ON MARGINAL WAY, KENNEBEC STREET & FOREST AVENUE PORTLAND MAINE MADE FOR ATLANTIC NATIONAL TRUST BY OWEN HASKELL, INC. DATED 01.16.2014.
- BEARINGS ARE BASED ON MAINE STATE PLAN COORDINATES NAD 83.
- OWNERS OF RECORD:
TAX MAP 34-C-9
ATLANTIC BAYSIDE INVESTMENTS, LLC
DEED BOOK 31304 PAGE 031

FLOOD ZONE NOTE
BY GRAPHIC PLOTTING ONLY. THIS PROPERTY IS IN ZONE C OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051138, WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1986 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.



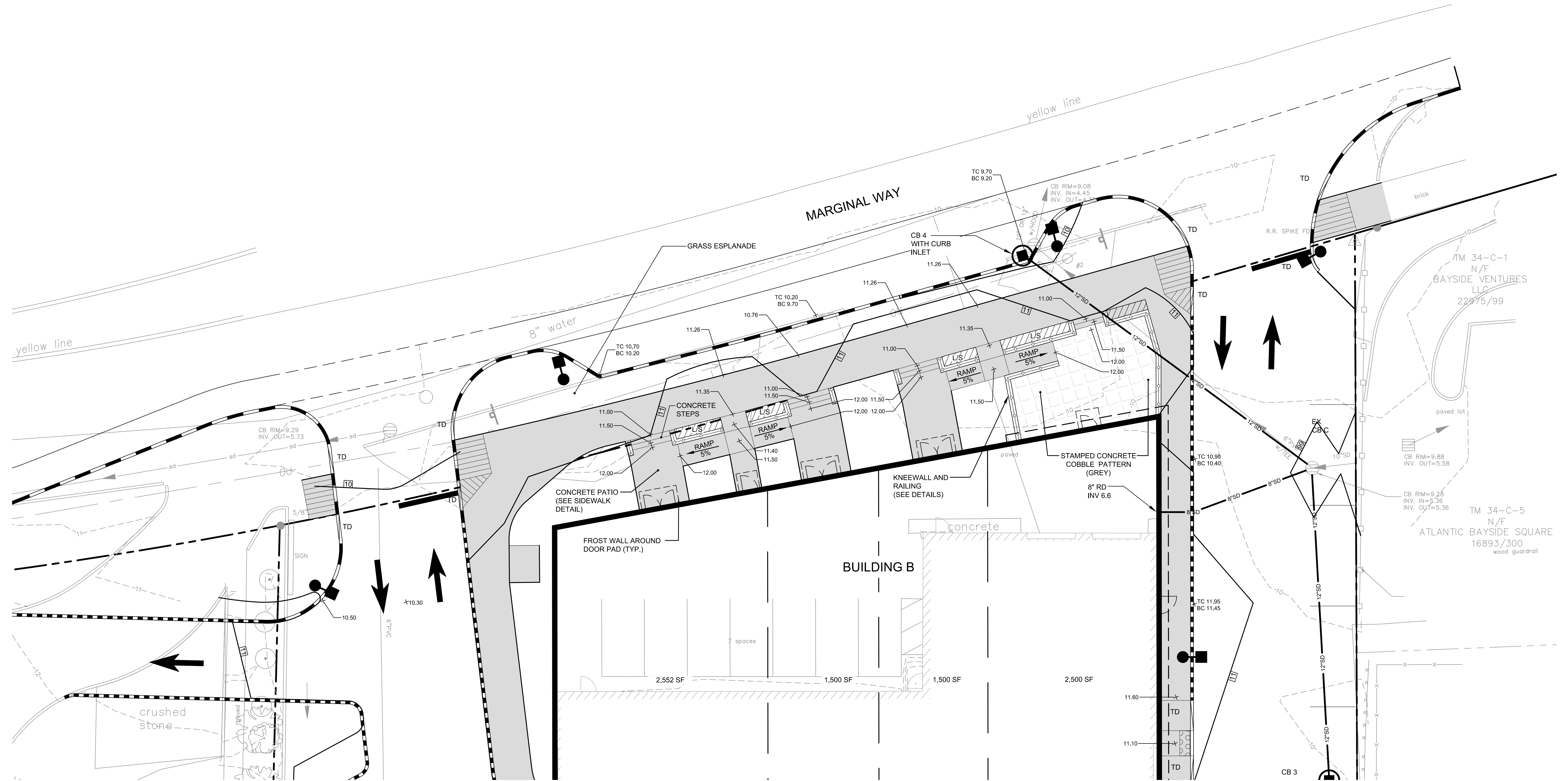
REV	DATE	DESCRIPTION
4	06.18.15	REVISED FOR FINAL CITY COMMENTS
3	04.24.15	ISSUED FOR CONSTRUCTION
2	04.01.15	REVISED PER CITY COMMENTS
1	02.13.15	ISSUED FOR CITY PERMIT



PROJECT: CENTURY TIRE PLAZA
195 KENNEBEC STREET, PORTLAND, ME
SHEET TITLE: GRADING AND DRAINAGE PLAN
CLIENT: NORTHLAND ENTERPRISES, LLC

FST 100 YEARS
FAY, SPOFFORD & THORNDIKE
ENGINEERS • PLANNERS • SCIENTISTS
778 MAIN ST., SUITE 8, SOUTH PORTLAND, ME 04106

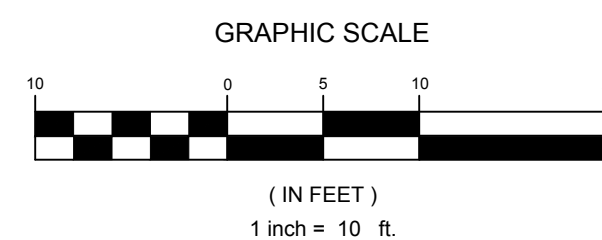
DRAWN: DED	DATE: 11.25.14
DESIGNED: ADJ	SCALE: 1" = 20'
CHECKED: ADJ	JOB NO.: SP-M160
FILE NAME: SP-M160 BASE	
SHEET: C-4.0	



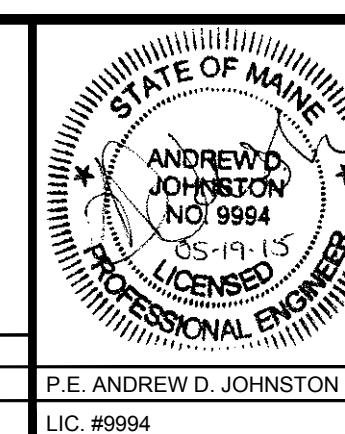
FLOOD ZONE NOTE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE C OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051 13B, WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1986 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

NOTE: ALL CONCRETE AREAS SHALL BE TREATED WITH SALTGUARD & SEALER.



REV	DATE	DESCRIPTION
1	05.18.15	REVISED FOR FINAL CITY COMMENTS



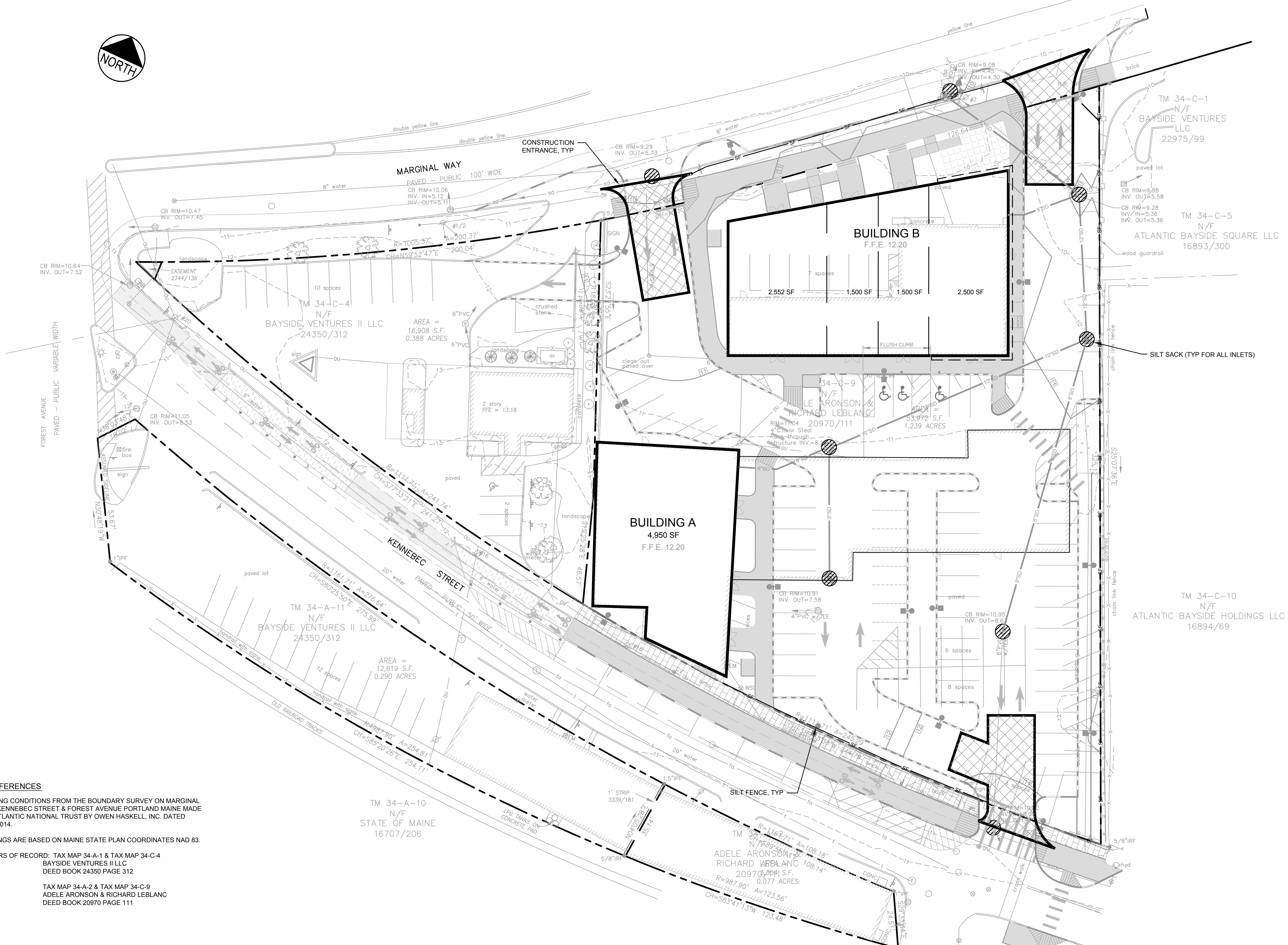
PROJECT
CENTURY TIRE PLAZA
 195 KENNEBEC STREET, PORTLAND, ME

SHEET TITLE
MARGINAL WAY ENTRANCE DETAIL

CLIENT
NORTHLAND ENTERPRISES, LLC

FST 100 YEARS
FAY, SPOFFORD & THORNDIKE
 ENGINEERS • PLANNERS • SCIENTISTS
 778 MAIN ST, SUITE 8, SOUTH PORTLAND, ME 04106

DRAWN: ADJ	DATE: 11.25.14
DESIGNED: ADJ	SCALE: 1" = 20'
CHECKED: ADJ	JOB NO. SP-M160
FILE NAME: SP-M160 BASE	
SHEET	C-4.1

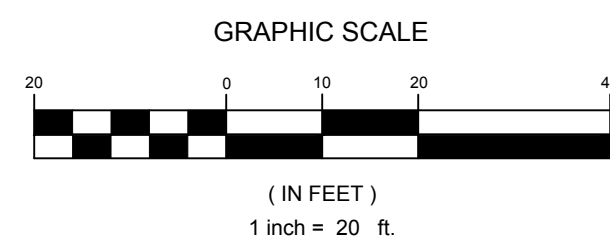


PLAN REFERENCES

- EXISTING CONDITIONS FROM THE BOUNDARY SURVEY ON MARGINAL WAY, KENNEBEC STREET & FOREST AVENUE PORTLAND MAINE MADE FOR ATLANTIC NATIONAL TRUST BY OWEN HASKELL, INC. DATED 01.16.2014.
- BEARINGS ARE BASED ON MAINE STATE PLAN COORDINATES NAD 83.
- OWNERS OF RECORD: TAX MAP 34-A-1 & TAX MAP 34-C-4 BAYSIDE VENTURES II LLC DEED BOOK 24350 PAGE 312
TAX MAP 34-A-2 & TAX MAP 34-C-9 ADELE ARONSON & RICHARD LEBLANC DEED BOOK 20970 PAGE 111

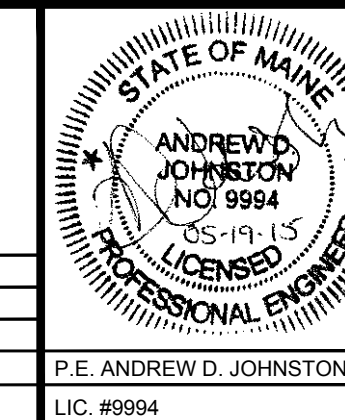
FLOOD ZONE NOTE

BY GRAPHIC PLOTTING ONLY. THIS PROPERTY IS IN ZONE C OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051 13B, WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1986 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.



PRELIMINARY - NOT FOR CONSTRUCTION

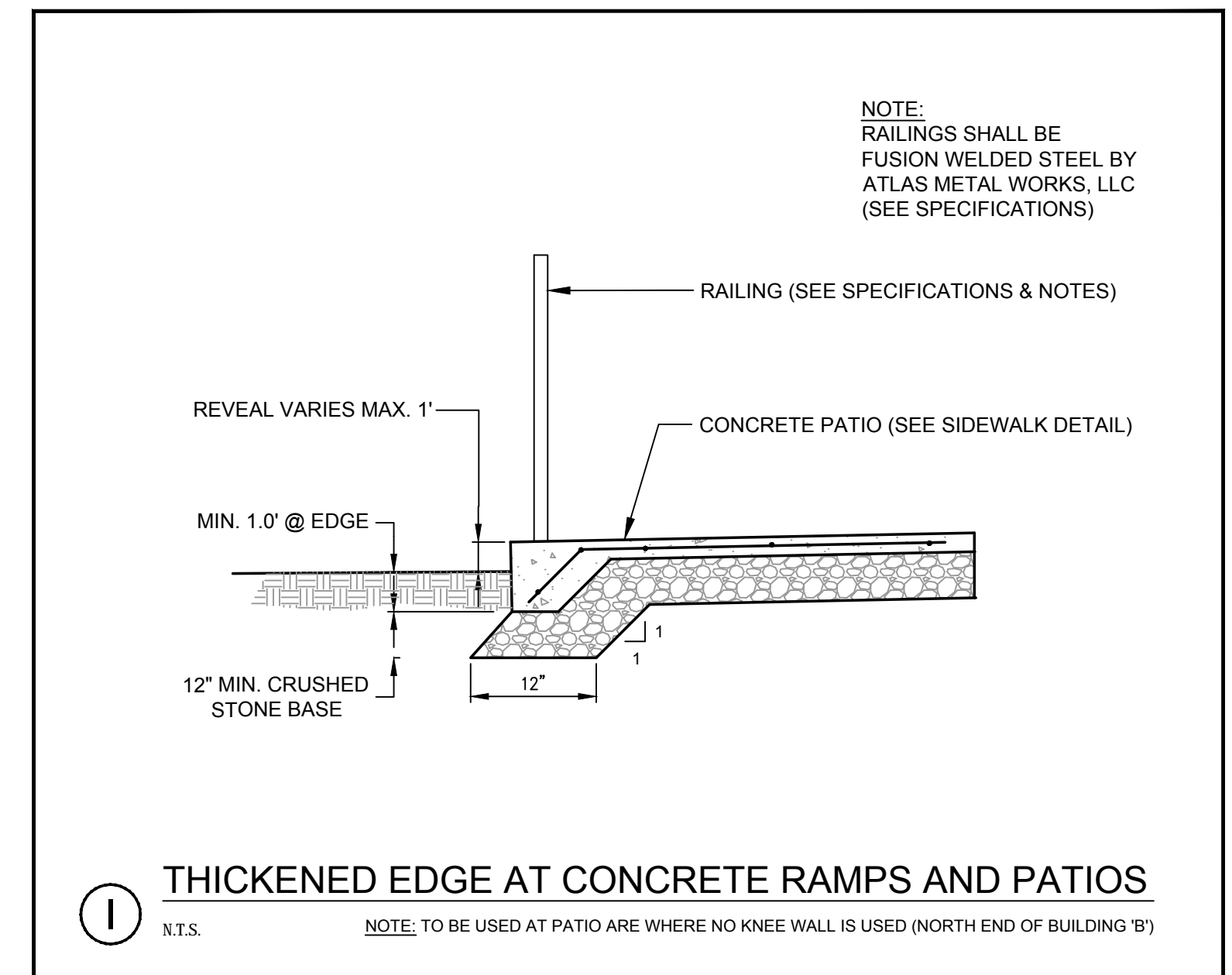
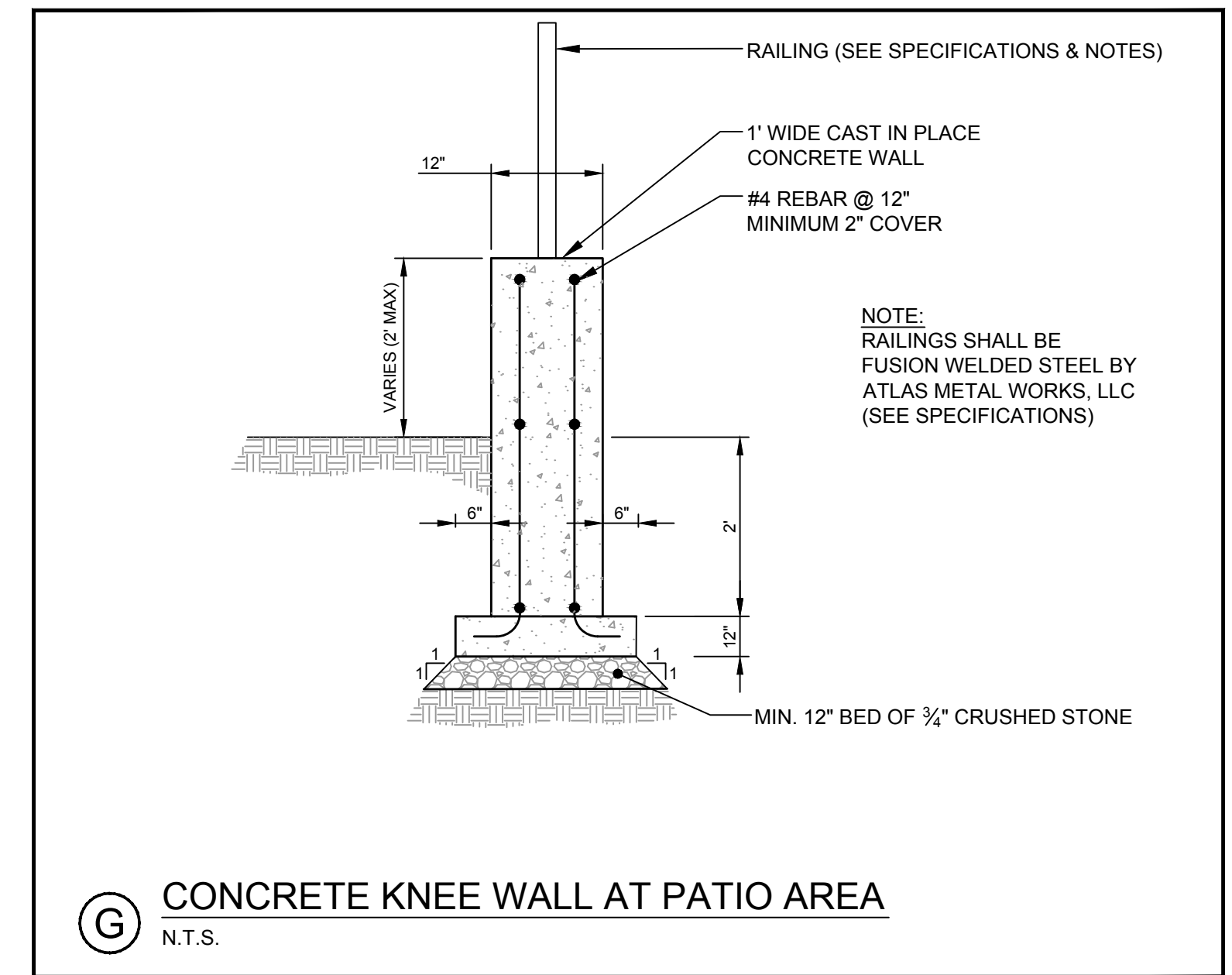
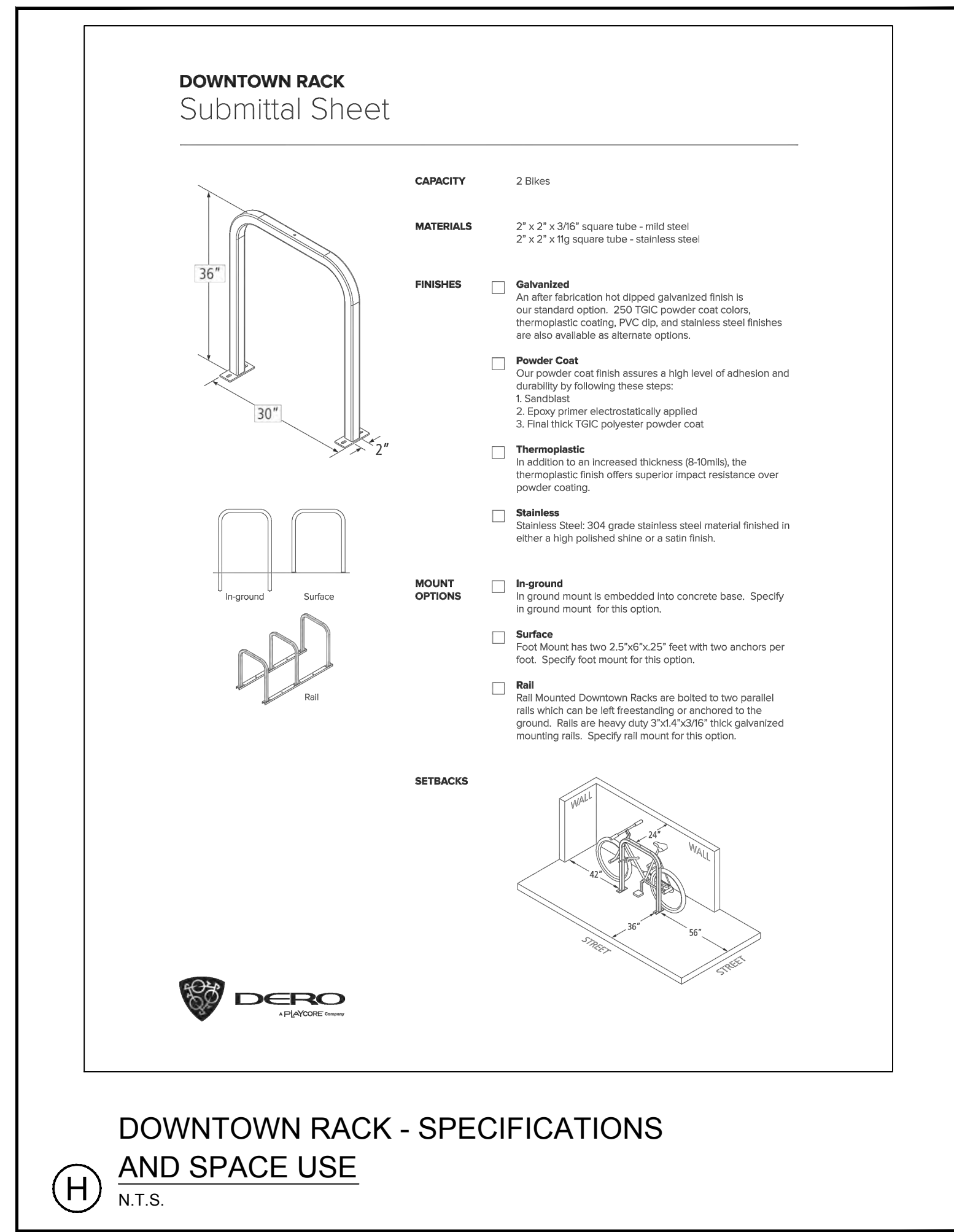
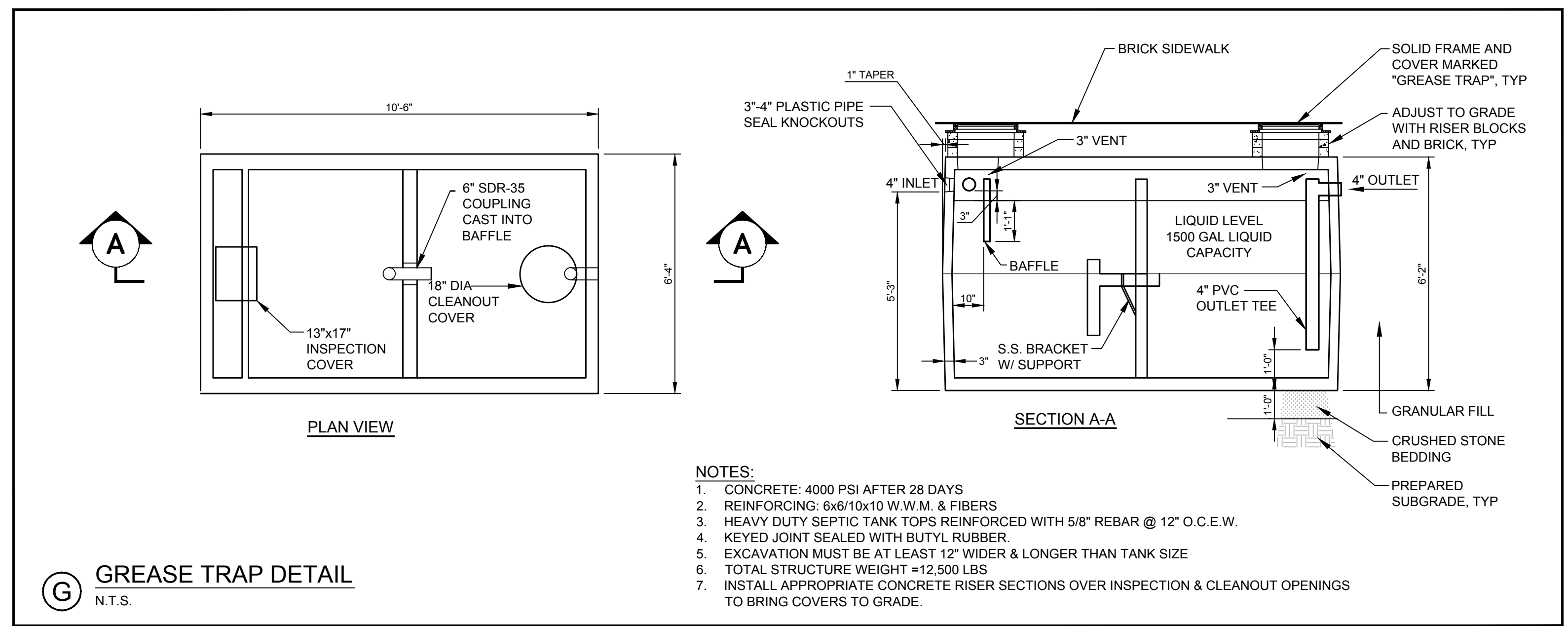
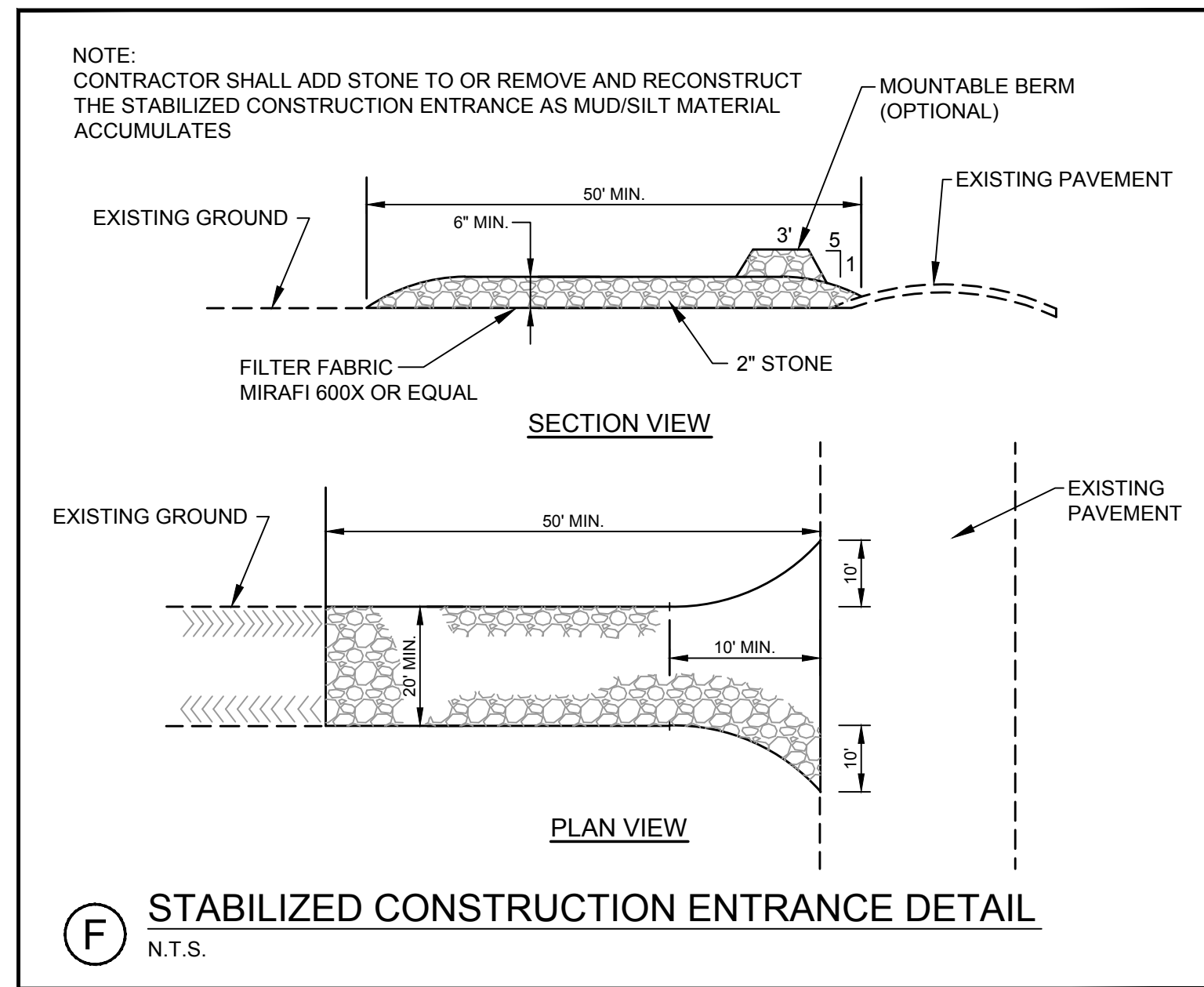
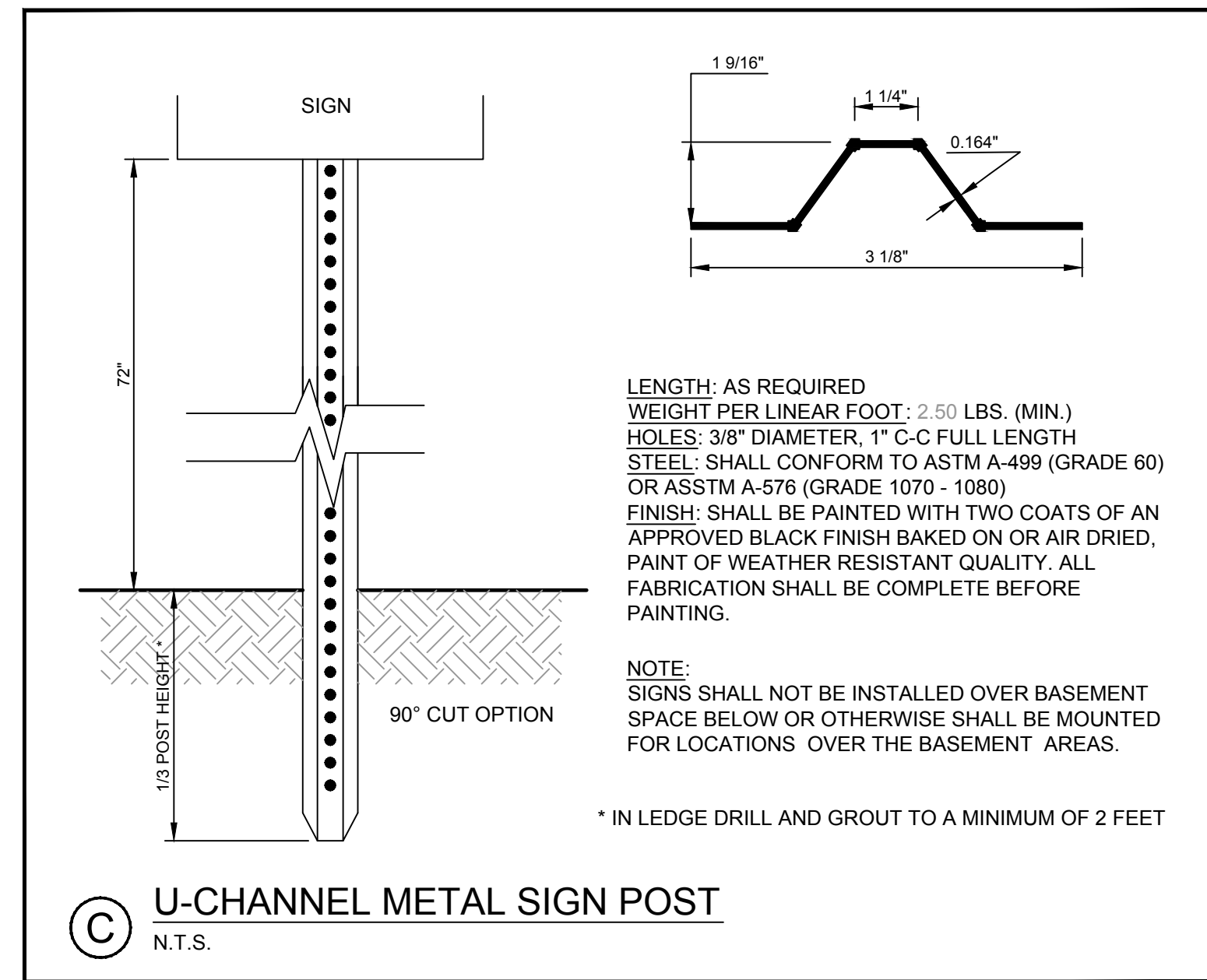
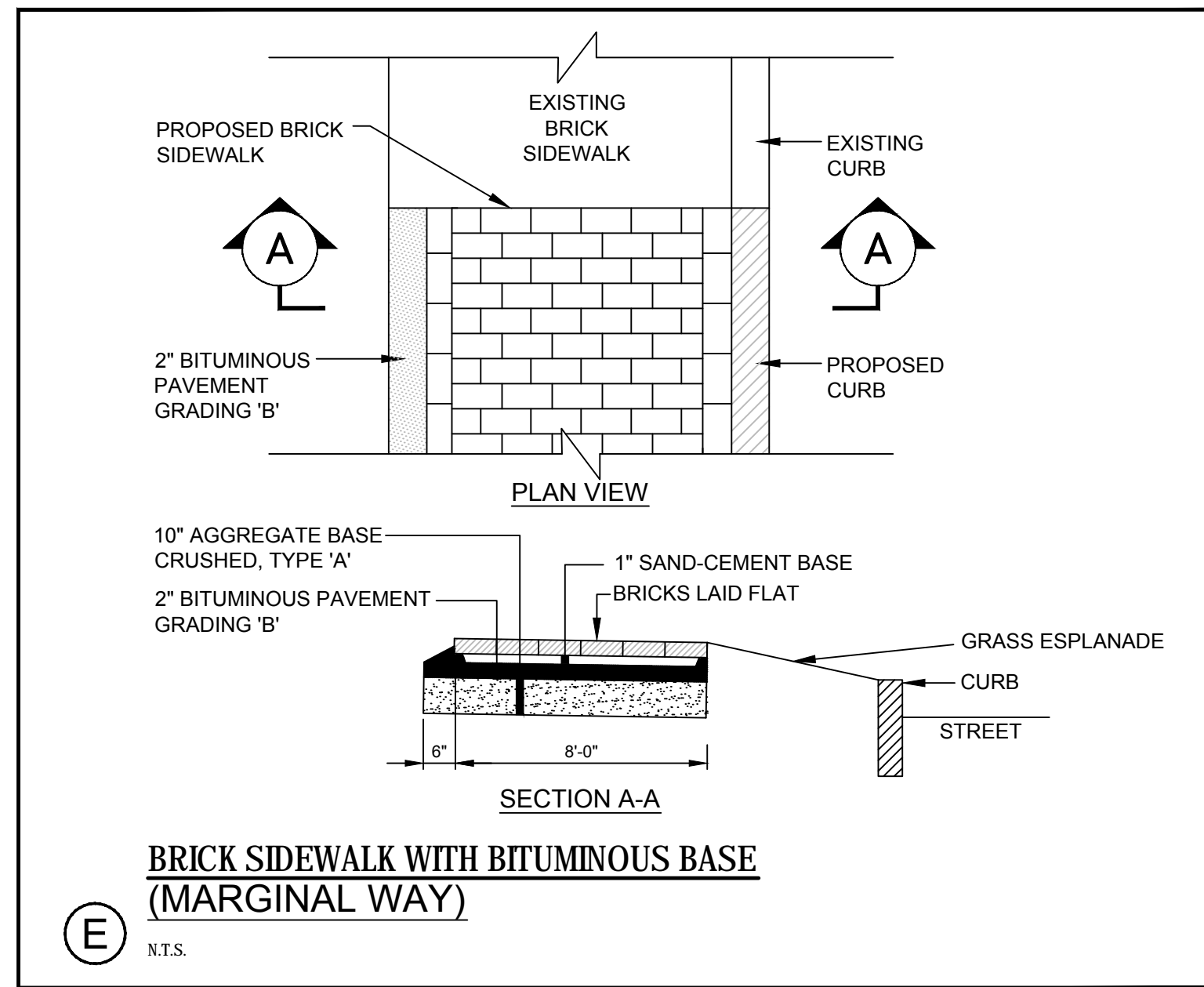
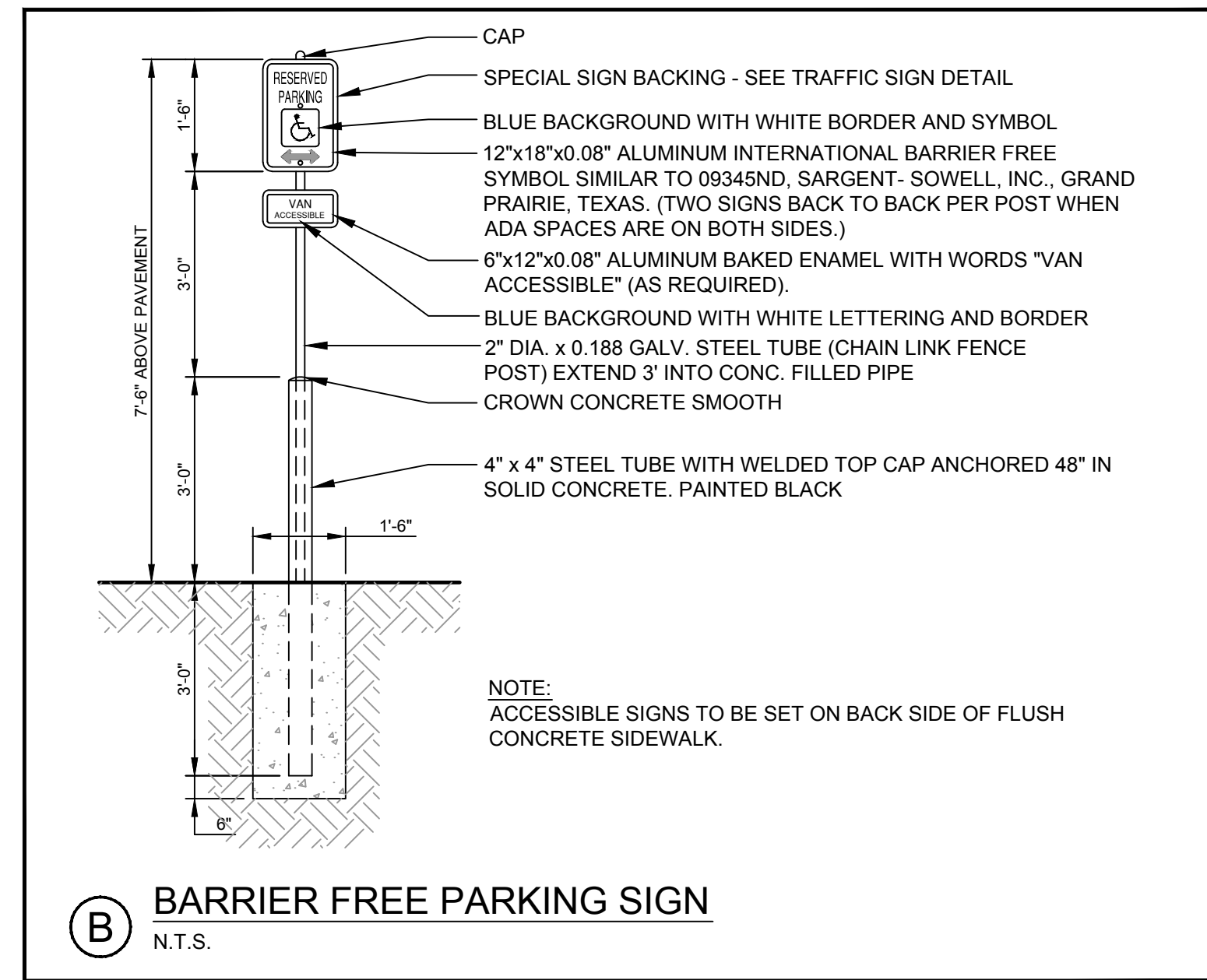
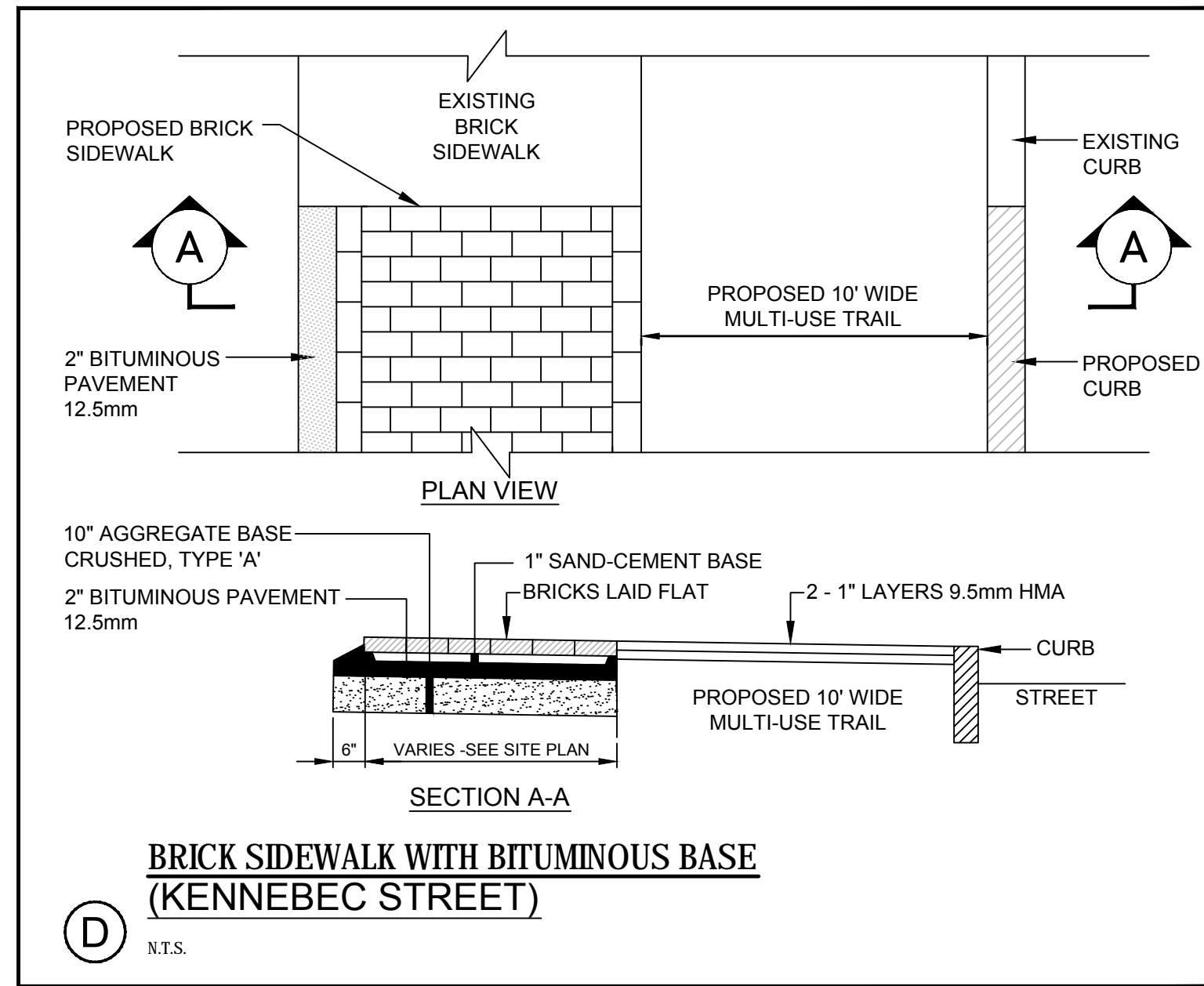
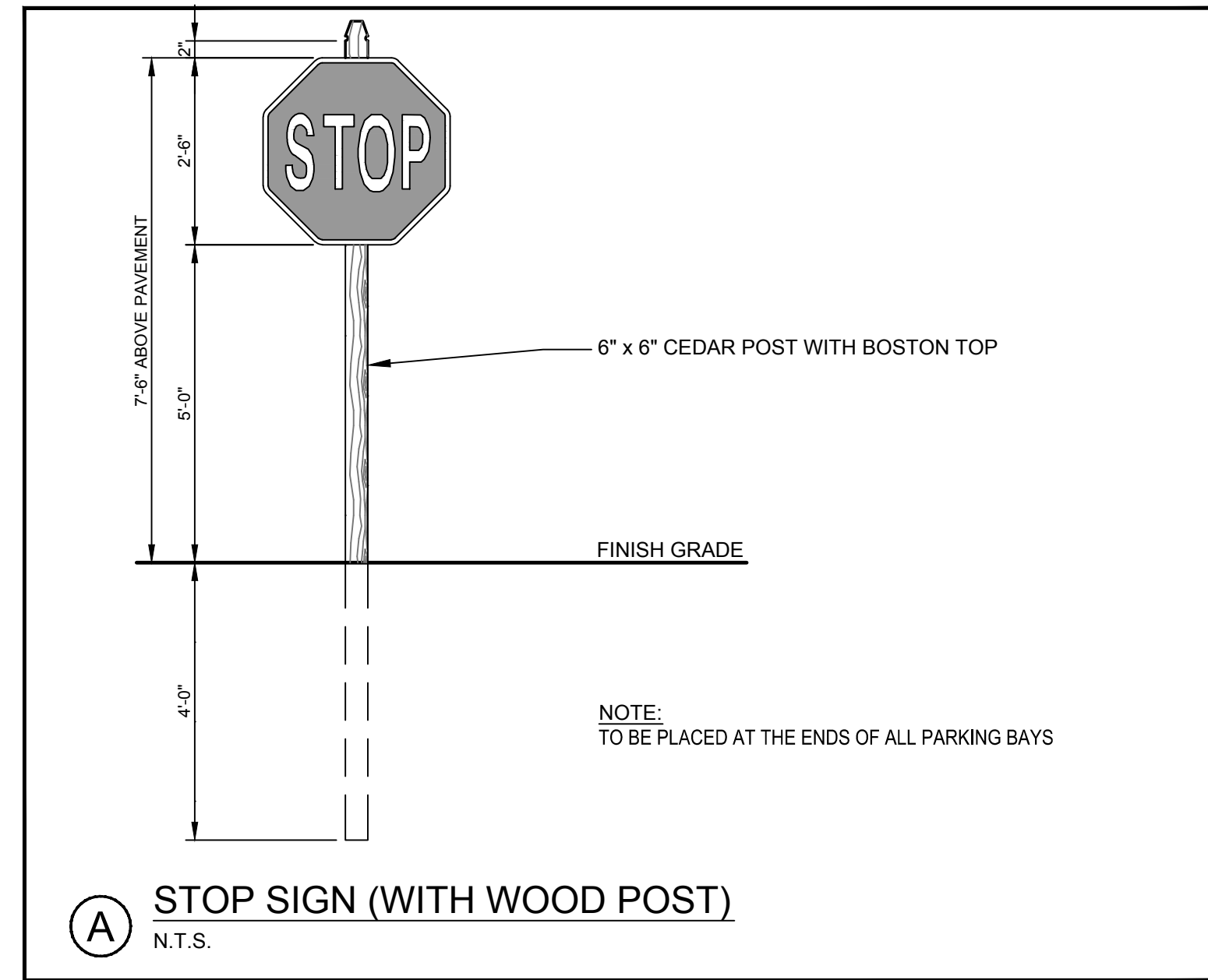
REV	DATE	DESCRIPTION
3	05.18.15	REVISED FOR FINAL CITY COMMENTS
2	04.01.15	REVISED PER CITY COMMENTS
1	02.13.15	ISSUED FOR CITY PERMIT



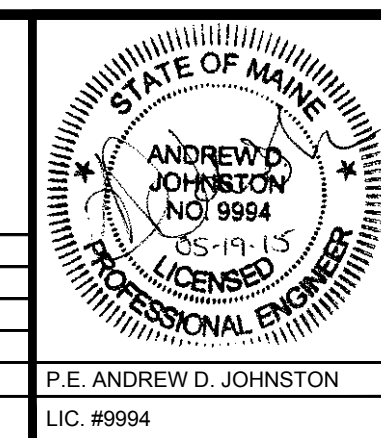
PROJECT	CENTURY TIRE PLAZA 195 KENNEBEC STREET, PORTLAND, ME
SHEET TITLE	EROSION AND SEDIMENT CONTROL PLAN
CLIENT	NORTHLAND ENTERPRISES, LLC

FST FAY, SPOFFORD & THORNDIKE ENGINEERS • PLANNERS • SCIENTISTS 778 MAIN ST., SUITE 8, SOUTH PORTLAND, ME 04106	
DRAWN: DED	DATE: 11.25.14
DESIGNED: ADJ	SCALE: 1" = 20'
CHECKED: ADJ	JOB NO. SP-M160
FILE NAME: SP-M160 BASE	
SHEET	C-5.0

PRELIMINARY - NOT FOR CONSTRUCTION



REV	DATE	DESCRIPTION
4	05.18.15	REVISED FOR FINAL CITY COMMENTS
3	04.10.15	REVISED PER CITY COMMENTS
2	04.01.15	REVISED PER CITY COMMENTS
1	02.13.15	ISSUED FOR CITY PERMIT



PROJECT
CENTURY TIRE PLAZA
195 KENNEBEC STREET, PORTLAND, ME

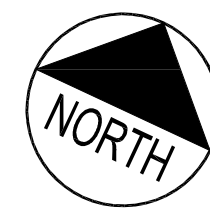
SHEET TITLE
DETAILS

CLIENT
NORTHLAND ENTERPRISES, LLC

FST
100 YEARS

FAY, SPOFFORD & THORNDIKE
ENGINEERS - PLANNERS - SCIENTISTS
778 MAIN ST, SUITE 8, SOUTH PORTLAND, ME 04106

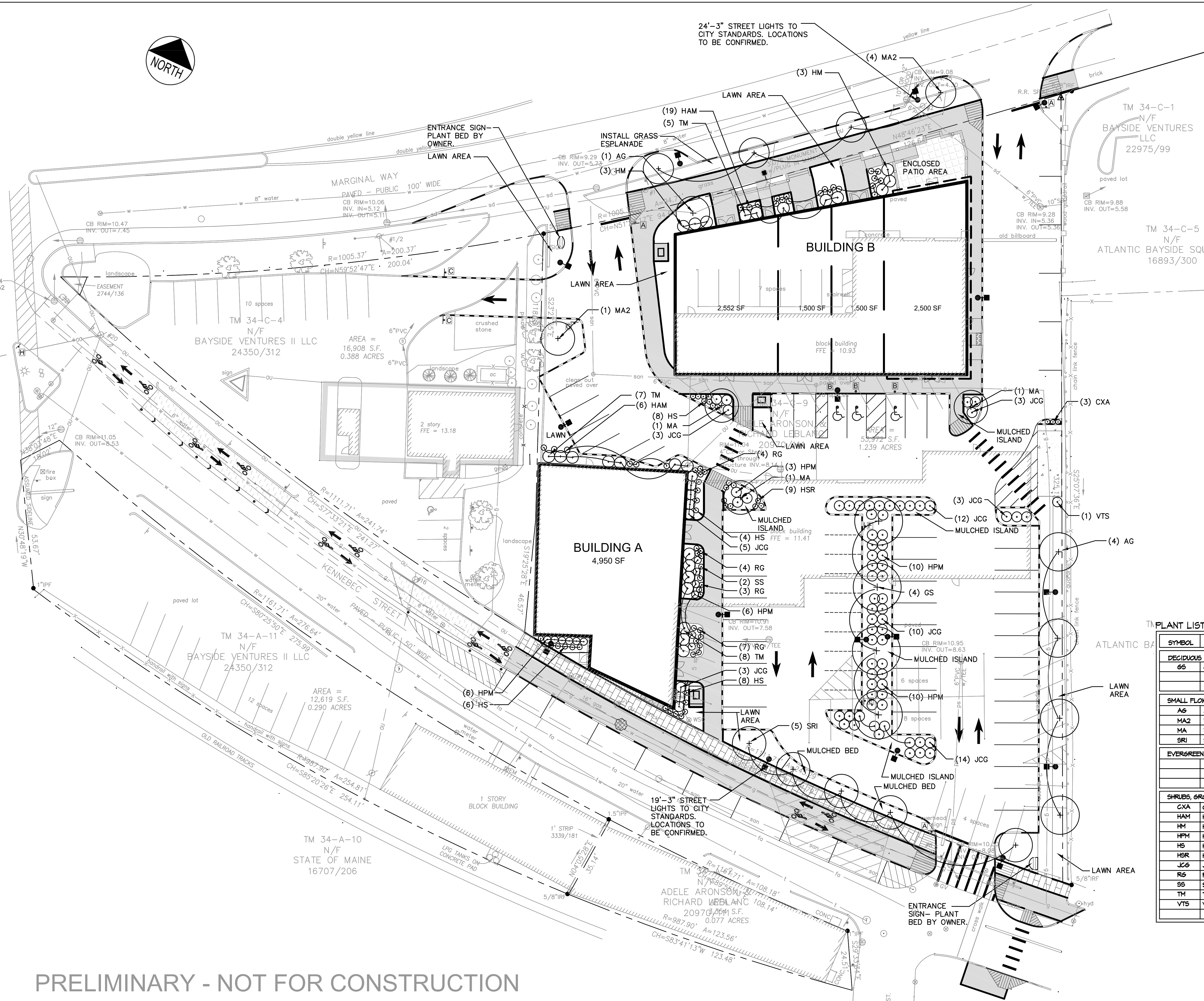
DRAWN: KCS DATE: 11.25.14
DESIGNED: ADJ SCALE: NTS
CHECKED: ADJ JOB NO. SP-M160
FILE NAME: SP-M160 DETAILS
SHEET **C-7.2**



24'-3" STREET LIGHTS TO CITY STANDARDS. LOCATIONS TO BE CONFIRMED.

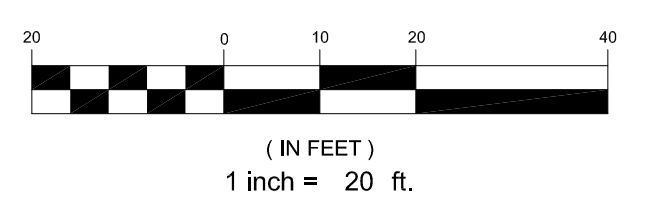
LANDSCAPE NOTES:

- PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DIGSAFE AND BE PROVIDED WITH A DIGSAFE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
- LANDSCAPE CONTRACTOR IS ENCOURAGED TO PROVIDE THE LANDSCAPE ARCHITECT WITH CONCERNS AND/OR SUGGESTIONS WITH REGARDS TO PROPOSED PLANT MATERIAL SELECTION PRIOR TO PLACING A PURCHASE ORDER.
- THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN GRAPHICALLY ON THIS DRAWING. CLARIFY ANY DISCREPANCIES WITH THE LANDSCAPE ARCHITECT PRIOR TO PRICING ANY PLANT MATERIAL.
- ALL PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S 'AMERICAN STANDARD OF NURSERY STOCK'.
- ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE AT THE SITE. PLANTS WHICH ARE REJECTED SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- ALL TREES AND SHRUBS TO BE BALLED IN BURLAP OR CONTAINERIZED.
- MULCH FOR PLANTED AREAS TO BE AGED SPRUCE AND FIR BARK, PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.
- NO PLANTS SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADINGS AND BEFORE CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL SHRUB GROUPINGS SHALL BE INCORPORATED INTO BEDS. WHERE MULCHED PLANT BED ABUTS LAWN, CONTRACTOR SHALL PROVIDE A TURF CUT EDGE.
- ALL TREES ALONG WALK AND PARKING AREAS SHALL BEGIN BRANCHING AT 6' HT. MIN.
- ALL PLANT MATERIAL OR REPRESENTATIVE SAMPLES SHALL BE LEGIBLY TAGGED WITH PROPER COMMON AND BOTANICAL NAMES. TAGS SHALL REMAIN ON THE PLANTS UNTIL FINAL ACCEPTANCE.
- CONTRACTOR SHALL LOAMEX DISTURBED AREAS AS FOLLOWS:
 - LAWN AREAS 6" DEPTH OF TOPSOIL
 - CURBED PARKING LOT ISLANDS 24" DEPTH OF TOPSOIL
 - NARROW PLANTING STRIPS 24" DEPTH OF TOPSOIL FOR 10' EITHER SIDE OF TREE.
 - SHRUB BEDS 18" DEPTH TOPSOIL.
- LAWN AREAS SHALL BE SEEDED WITH (SEED TYPE % BY WEIGHT)
 - CREEPING RED FESCUE (MIN. 2 VARIETIES) 55%
 - KENTUCKY BLUEGRASS (MIN. 2 VARIETIES) 30%
 - PERENNIAL RYE GRASS 15%
 - SEEDING RATE PER 1000 SQ.FT. 4 LBS. MIN.
- CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND WILL CONTINUE UNTIL FINAL ACCEPTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF WATERING AND MAINTENANCE.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF FINAL ACCEPTANCE.
- SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND OR CAPPED OR DEMOLISHED AS REQUIRED.
- ALL SNOW SHALL BE REMOVED FROM THE SITE.



PLANT LIST:

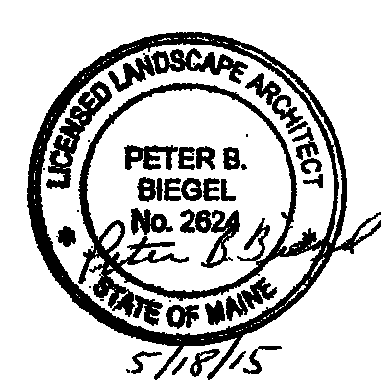
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	COMMENTS
DECIDUOUS TREES					
GS	GLEITSIA 'T. STREETKEEPER'	STREETKEEPER HONEYLOCUST	4	9' GAL.	SINGLE LEADER, B4B
SMALL FLOWERING ORNAMENTAL TREES					
AG	AMELANCHIER X G. 'ROBIN HILL'	ROBIN HILL AMELANCHIER	5	6'-10' HT.	SINGLE LEADER, B4B
MA2	MALUS ADIRONDACK	ADIRONDACK CRABAPPLE	5	2' GAL.	SPECIMEN, B4B
MA	MAACKIA AMURENSE	AMUR MAACKIA	3	2' GAL.	SINGLE LEADER, B4B, SPECIMEN
SRI	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	5	2' GAL.	SINGLE LEADER, B4B, SPECIMEN
EVERGREEN TREES					
SHRUBS, GROUNDCOVERS & HERBACEOUS MATERIALS					
CXA	CALAMAGROSTIS X A. 'AVALANCHE'	AVALANCHE FEATHER REED GRASS	3	2 GAL.	-
HAM	HOSTA 'AUTUMN MOON'	AUTUMN MOON HOSTA	28	2 GAL.	FULL & BUSHY
HM	HYDRANGEA M. 'TWIST N SHOUT'	TWIST N SHOUT HYDRANGEA	6	5 GAL.	FULL & BUSHY
HPM	HYDRANGEA M. 'MINI PENNY'	MINI PENNY HYDRANGEA	35	5 GAL.	FULL & BUSHY
HS	HEMEROCALLIS 'STELLA D' ORO'	STELLA D' ORO DAYLILY	26	1 GAL.	-
HR	HEMEROCALLIS 'ROSY RETURNS'	ROSY RETURNS DAYLILY	4	1 GAL.	-
JCG	JUNIPERUS CHINENSIS 'CASINO GOLD'	CASINO GOLD CHINESE JUNIPER	42	24" SPD.	FULL & BUSHY
RG	RUDBECKIA FULGIDA 'GOLDSTURM'	GOLDSTURM BLACK EYED SUSAN	18	1 GAL.	-
SS	SEDUM SPECTABILE 'BRILLIANT'	BRILLIANT SEDUM	2	1 GAL.	-
TM	TAXUS M. 'BROWNII'	BROWNII YEW	20	24" HT.	FULL & BUSHY
VTS	VIBURNUM P. T. 'SNOWFLAKE'	SNOWFLAKE DOUBLEFILE VIBURNUM	1	30" HT.	FULL & BUSHY



PRELIMINARY - NOT FOR CONSTRUCTION

Date: 5/18/15
 Design: PBB
 Drawn: DEPT.
 Checked: PBB
 Date: JAN 2015
 Scale: 1"=20'
 Project No.:
 Drawing No.: L1.1
 Rev.: D

REV.	DATE	STATUS	BY	CHKD.	APPD.	REV.	DATE	STATUS	BY	CHKD.	APPD.
D	5/18/15	REVISED PER FINAL CITY COMMENTS	DEPT.	PBB	PBB						
C	4/10/15	REVISED PER CITY STAFF COMMENTS AND RESUBMITTED	DEPT.	PBB	PBB						
B	4/1/15	REVISED PER CITY STAFF COMMENTS AND RESUBMITTED	DEPT.	PBB	PBB						
A	2/13/15	ISSUED TO THE CITY OF PORTLAND FOR SITE PLAN REVIEW	DEPT.	PBB	PBB						



LAND DESIGN SOLUTIONS
 LAND PLANNING, SITE PLANNING & LANDSCAPE ARCHITECTURE
 P.O. Box 916, 160 Longnoode Road, Cumberland, ME 04081 tel: (207) 494-1717
 CLIENT: **FAY, SPOFFORD & THORNDIKE**
 778 MAIN STREET, SUITE 8, SOUTH PORTLAND, MAINE 04106

DESIGN: PBB
 DRAWN: DEPT.
 CHKD: PBB
 DATE: JAN 2015
 SCALE: 1"=20'
 PROJECT NO.:
 DRAWING NO.: L1.1
 REV.: D

CENTURY TIRE SITE RENOVATION
 MARGINAL WAY, PORTLAND, MAINE
LANDSCAPE PLAN