

**REGULATORY AGENCIES & UTILITIES**

<b>ZONING / BUILDING DEPARTMENT:</b> City of Portland Inspections Division 389 Congress Street Portland, ME 04101 Tel: (207) 874-8703	<b>ENVIRONMENTAL HEALTH DEPARTMENT:</b> City of Portland Division of Business Licensing 389 Congress Street Portland, ME 04101 Janice Garder or Mike Russell Tel: (207) 756-8365	<b>ENVIRONMENTAL HEALTH DEPARTMENT:</b> Division of Environmental Health 285 Water Street 3rd Floor Augusta, ME 04333 Contact: Carol Gott Tel: (207) 287-5675
<b>FIRE DEPARTMENT:</b> City of Portland Inspections Division - Fire Inspections 389 Congress Street Room 315 Portland, ME 04101 Tel: (207) 874-8400	<b>FIRE DEPARTMENT:</b> Maine State Fire Marshal's Office 52 State House Station Augusta, ME 04333-0052 Contact: Richard Nason (207) 626-3884	<b>SEWER / WATER UTILITY:</b> Portland Water District 225 Douglas Street PO Box 2553 Portland, ME 04104 Contact: Donna Tel: (207) 761-8310
<b>NATURAL GAS UTILITY:</b> Unitil Gas Contact: Christine Tel: (866) 933-3821	<b>ELECTRICAL UTILITY:</b> Central Maine Power Tel: 1-800-565-3181	<b>TELEPHONE UTILITY:</b> Verizon Contact: Don Tel: (303) 305-5027



**Store Number: 2603**  
**PORTLAND MARGINAL WAY**  
**195 KENNEBEC ST**  
**PORTLAND, ME 04101**

**UTILITY COORDINATOR**

**NOTE to GC:**  
**FOR ALL WATER, SEWER, NATURAL GAS, & ELECTRICITY UTILITIES CONTACT:**  
 Gaucher & Associates Inc.  
 2060 Baldwin Court  
 Seaside, CA 93955  
 Contact: Paul or Meg Gaucher  
 paul@gaucherinc.com  
 Tel: (831) 393-1760  
 Fax: (831) 393-2858

**CODE AUTHORITIES**

BUILDING CODE:	2009 INTERNATIONAL BUILDING CODE
MECHANICAL CODE:	2009 INTERNATIONAL MECHANICAL CODE
PLUMBING CODE:	2009 INTERNATIONAL PLUMBING CODE
ENERGY CODE:	2009 INTERNATIONAL ENERGY CONSERVATION CODE
ELECTRICAL CODE:	2014 NATIONAL ELECTRIC CODE
FIRE CODE:	2009 NFPA
ACCESSIBILITY:	ANSI 117.1 2003

**ABBREVIATIONS**

CL CENTER LINE	HS HOOD SUPPLIER	T TENANT
(E) EXISTING CONSTRUCTION	HVAC HEATING AND VENTILATING	T.B.D. TO BE DETERMINED, SEE FIELD REFERENCE MANUAL
(N) NEW CONSTRUCTION	INT INTERIOR	TAB TENANT'S TEST & BALLANCE VENDOR
@ AT	KES KITCHEN EQUIPMENT SUPPLIER	TCC TENANT'S CABLING CONTRACTOR
Ø DIAMETER OR ROUND	MAX MAXIMUM	THS TENANT'S HARDWARE SUPPLIER
AFM ABOVE FINISH FLOOR	MECH MECHANICAL	TLS TENANT'S LIGHT/LAMP SUPPLIER
ALUM ALUMINUM	MFR MANUFACTURER	TMB TENANT'S MENU BOARD SUPPLIER
ARCH ARCHITECT(URAL)	MIN MINIMUM	TMS TENANT'S MILLWORK SUPPLIER
AS ART AND CHAIRS SUPPLIER	MISC MISCELLANEOUS	TP TENANT'S PHONE SUPPLIER
ASS ALARM SYSTEM SUPPLIER	MSS MUSIC SYSTEMS SUPPLIER	TRS TENANT'S RAILING SUPPLIER
		TSV TENANT'S SIGN VENDOR
		TYP TYPICAL
BD BOARD	N.I.C. NOT IN CONTRACT NUMBER	UPS UNINTERRUPTED POWER SUPPLY
BLDG BUILDING	OC ON CENTER	VAR VARIES
CMU CONCRETE MASONRY UNIT	OSB ORIENTED STRAND BOARD	W/ WITH
COZ COZ SUPPLIER	PHS PHOTOGRAPHY SUPPLIER	WA WASHROOM ACCESSORIES
CS CHEMICAL SUPPLIER	POS POINT OF SALE	WCS TENANT'S WALK-IN COOLER SUPPLIER
	PREP PREPARATION	WS TENANT'S WINDOW SHADE SUPPLIER
DIM DIMENSION(S)	PVC POLYVINYL CHLORIDE	
EA EACH	R RADIUS	
EL ELEVATION (VERTICAL HEIGHT)	RTU ROOF TOP UNITS	
ELEC ELECTRICAL	SIM SIMILAR	
ELEV ELEVATION	SPS SODA POP SUPPLIER	
EQ EQUAL	SS SUPPORT SIGNAGE	
EXT EXTERIOR	SSS CCTV AND SAFE/CASHBOX	
FRP FIBERGLASS REINFORCED PANEL	STR STRUCTURE	
FRT FIRE RETARDANT-TREATED		
GA GAUGE		
GALV GALVANIZED		
GC GENERAL CONTRACTOR		
GYP GYPSUM		

**BUILDING CODE & ZONING DATA**

1. OCCUPANCY GROUP:	A-2		
OCCUPANCY SEPARATION REQUIRED:	1-HOUR WITH SPRINKLER REDUCTION		
OCCUPANCY SEPARATION PROVIDED:	1-HOUR WITH SPRINKLER REDUCTION		
2. TYPE OF CONSTRUCTION:	II-B		
3. USE GROUP:	A-2		
ALLOWABLE AREA:	9,500 S.F.		
AREA INCREASE W/ SPRINKLERS:	45,125 S.F.		
ACTUAL AREA:	8,325 S.F.		
TENANT LEASE AREA:	2,500 S.F.		
4. ALLOWABLE NO. OF STORIES:	3 WITH SPRINKLER INCREASE		
ACTUAL NO. OF STORIES:	1		
ALLOWABLE BUILDING HEIGHT:	55'-0" MAXIMUM HEIGHT		
ACTUAL BUILDING HEIGHT:	19'-0"		
5. OCCUPANT LOAD, TENANT SPACE			
KITCHEN-COMMERCIAL:	898 SF / 200 = 4 OCC.		
DINING ROOM AND CIRCULATION:	1178 SF / 15 = 79 OCC.		
TOILET ROOMS AND CIRCULATION:	185 SF / 100 = 2 OCC.		
TOTAL OCCUPANT LOAD:	= 85 OCC.		
SEATING:			
INTERIOR:	51 SEATS		
PATIO:	26 SEATS		
TOTAL:	77 SEATS		
TOTAL OCCUPANT LOAD TO BE POSTED:	99 OCC. (MAX OCCUPANCY)		
THE CALCULATED OCCUPANT LOAD IS LESS THAN THE PROPOSED POSTED OCCUPANT LOAD. ALL LIFE SAFETY AND RESTROOM CALCULATIONS ARE BASED ON THE POSTED OCCUPANT LOAD.			
6. MEANS OF EGRESS REQUIRED:	2		
MEANS OF EGRESS PROVIDED:	3		
7. FIRE SPRINKLERS:	100% SPRINKLERED		
8. PLUMBING FIXTURES			
WATER CLOSETS	LAVATORIES	URINALS	
REQ'D	PROV'D	REQ'D	PROV'D
MEN'S: 1	1	1	0
WOMEN'S: 1	1	1	0

**SCOPE OF WORK**

TENANT INTERIOR AND EXTERIOR ALTERATION TO AN EXISTING SHELL BUILDING

GROUP	TENANT	USE
PREVIOUS USE:	N/A (FIRST TENANT)	N/A
PROPOSED USE:	CHIPOTLE MEXICAN GRILL	A-2

**LANDLORD REQUIRED SUBCONTRACTOR LIST**

NOTE: THE FOLLOWING SUBCONTRACTORS ARE REQUIRED BY THE LANDLORD TO BE USED BY THE TENANT G.C. VERIFY ALL REQUIRED LANDLORD SUB-CONTRACTORS WITH LANDLORD PRIOR TO BIDDING PROJECT.

<b>ROOFING SUBCONTRACTOR</b>	CO Beck & Sons Roofing 76 Eastern Ave Waterville Maine Tel: (207) 972-5861 Contact: Carl Beck
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**GRAPHIC SYMBOLS**

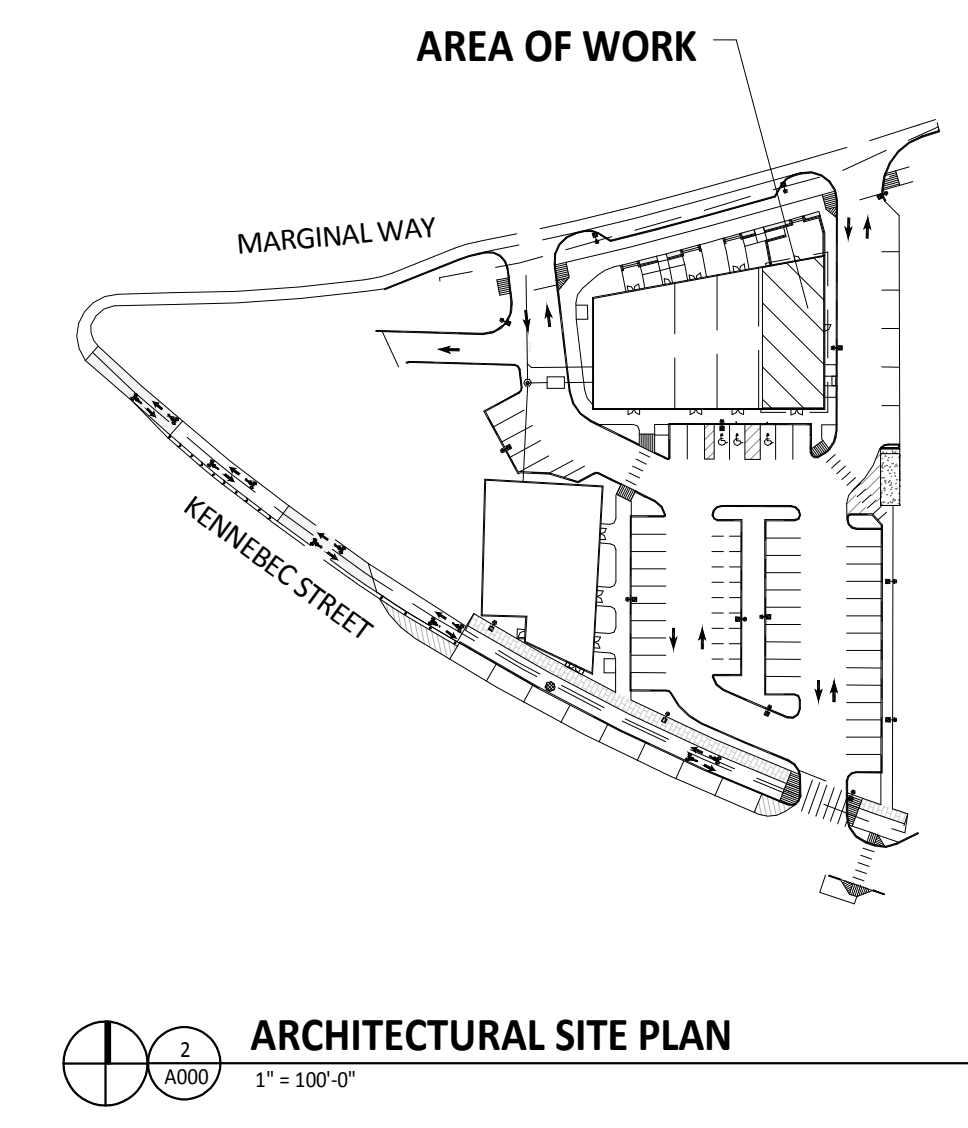
	EXTERIOR ELEVATION MARKER		ROOM NAME & NUMBER
	INTERIOR ELEVATION MARKER		REVISION NUMBER
	SECTION MARKER		DOOR NUMBER
	SECTION / DETAIL		MISCELLANEOUS EQUIPMENT NUMBER
	COLUMN GRID LABEL		FURNITURE NUMBER
	VIEW LABEL		KITCHEN EQUIPMENT NUMBER
	LEVEL MARKER		WASHROOM ACCESSORIES NUMBER
			WALL TAG
			LEVEL TARGET
			NORTH ARROW

DRAWING INDEX AND REVISIONS	
SHEET NO.	SHEET DESCRIPTION
A000	Project Data
A002	Accessibility Requirements
A003	Life Safety Plan
A010	Architectural Specifications
A011	Architectural Specifications
A012	Architectural Specifications
A013	Architectural Specifications
A014	Architectural Specifications
A015	Architectural Specifications
A016	Architectural Specifications
A100	Architectural Site Plan
A110	Slab Work Plan
A115	Architectural Floor Plan
A116	Architectural Wall Types
A117	Door & Hardware Schedule
A120	Finish Plan
A125	Finish Details
A126	Tile Details
A130	Fixtures, Furniture & Equipment Plan
A131	Fixtures, Furniture & Equipment Schedules
A140	Reflected Ceiling Plan
A141	Ceiling Details
A150	Architectural Roof Plan
A200	Exterior Elevations
A210	Elevations - Interior Dining
A211	Elevations - Interior Dining
A220	Elevations - Interior Kitchen
A230	Restroom Details
A300	Sections - Details
A400	Perspective Views
S100	Slab Plan
S105	Vestibule Framing Plan & Details
S110	Exist. Roof Framing Plan
S300	Roof Framing Details
F100	Fire Protection Plan
M010	Mechanical Specifications
M100	HVAC Plan
M200	HVAC Schedules
M300	HVAC Details
P010	Plumbing Specifications
P100	Plumbing Plan Water & Gas
P110	Plumbing Plan Waste & Vent
P200	Plumbing Schedule
P300	Plumbing Details
E010	Electrical Specifications
E100	Electrical Lighting Plan
E110	Electrical Power Plan
E200	Electrical Schedules & Details
E300	Electrical Details

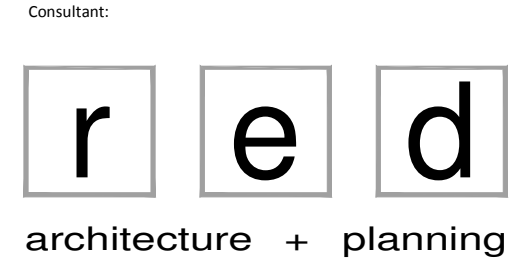
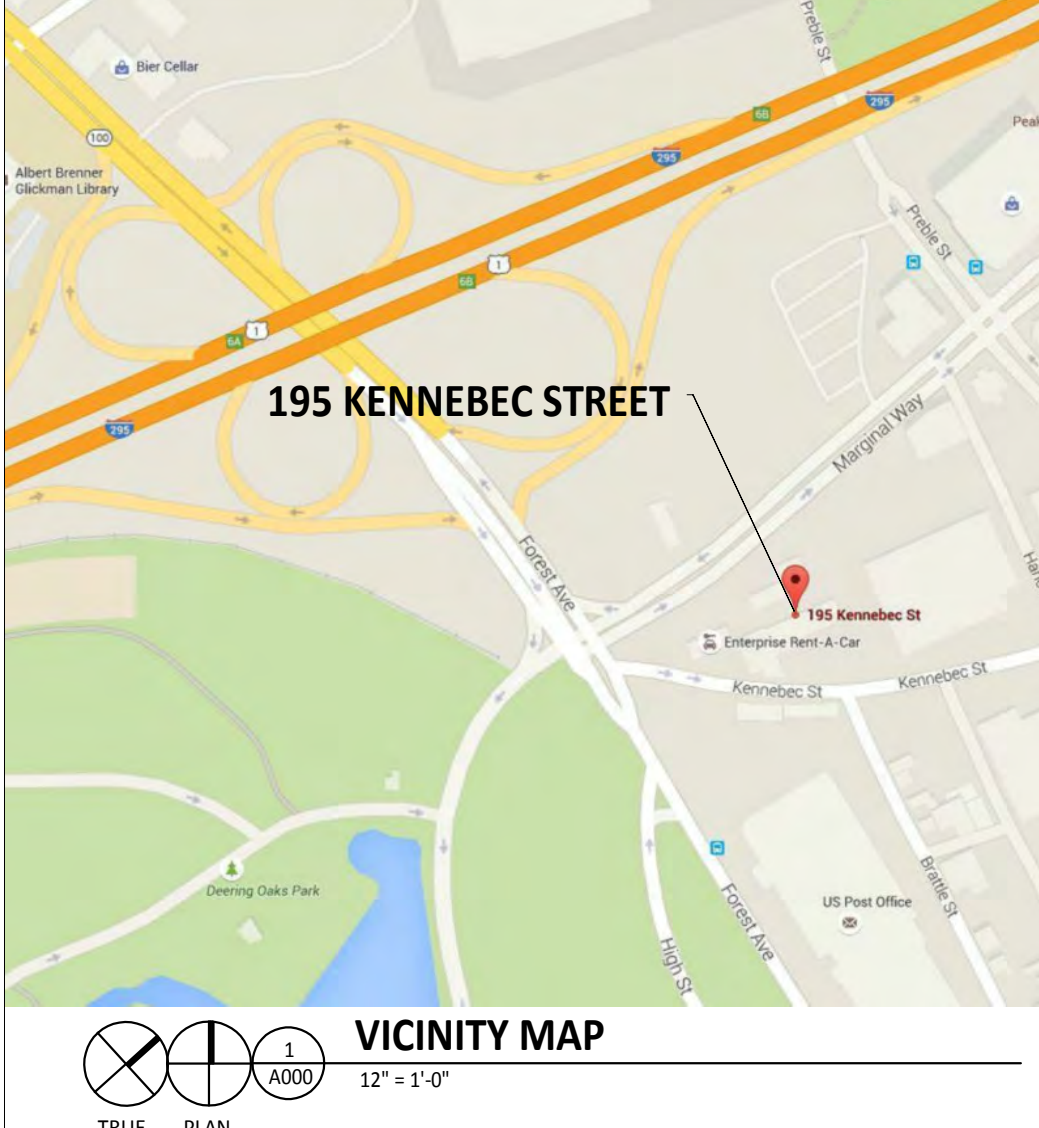
**PROJECT INFORMATION**

<b>LANDLORD:</b> Northland Enterprises LLC 17 South Street 3rd Floor Portland, ME 04101 Contact: Brad Flavin brad@northlandusd.com Tel: (207) 780-0223 ext. 204	<b>ARCHITECT:</b> r e d architecture + planning 855 Grandview Avenue Suite 295 Columbus, OH 43215 Contact: Tiffany Clapper tclapper@redarchitects.com Tel: (614) 487-8770 Fax: (614) 487-8777	<b>STRUCTURAL ENGINEER:</b> Jezerinac Geers & Associates 5640 Frantz Road Dublin, OH 43017 Contact: Andrew Heigley aheigley@jgaeng.com Tel: (614) 766-0066 Fax: (614) 481-1223
<b>TENANT:</b> Chipotle Mexican Grill 1401 Wynkoop Street Denver, CO 80202 Contact: Cory Flavin cflavin@chipotle.com Tel: (303) 222-5940	<b>MECHANICAL ELECTRICAL PLUMBING ENGINEER:</b> National Engineering 788 Morrison Road Columbus, OH 43230 Contact: Andrew Janosik ajanosik@nationalengineering.com Tel: (614) 328-2028	

**KEY PLAN**



**VICINITY MAP**



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Issue Record:

DATE	DESCRIPTION
09/15/15	PERMIT/LANDLORD REVIEW

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NO.	DATE	DESCRIPTION

Drawn: TC, BP, DP  
 Checked: KH, TC

Project No: CMG507

Contents:

Project Data

A000

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