

Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND PERMIT ISSUED

Please Read
Application And
Notes, If Any,
Attached

BUILDING PERMIT

MAR 9 2010
Permit Number: 100224

This is to certify that Century Fire Co/T. E. Low, Inc. City of Portland
has permission to Rebuild 39' x 17' (8" thick) concrete block wall that collapsed
AT 195 Kennebec St E 034 C009001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise used-in. 2 HOUSING NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. Hansen

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0224	Issue Date:	CBL: 034 C009001
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Location of Construction: 195 Kennebec St (185)	Owner Name: Century Tire Co	Owner Address: 185 Kennebec Street	Phone: 207-775-3777
Business Name: Tire / Auto Services	Contractor Name: T. E. Low, Inc	Contractor Address: 36 Walnut Hill Parkway North Yarmo	Phone: 2078296648
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-7

Past Use: Commercial / Century Tire	Proposed Use: Commercial / Century Tire - Rebuild concrete block wall -	Permit Fee: \$190.00	Cost of Work: \$17,000.00	CEO District: 1
Proposed Project Description: Rebuild 39' x 17' (8" thick) concrete block wall that collapsed		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>* See Conditions</i>	INSPECTION: Use Group: <i>U</i> Type: <i>SB</i> <i>IBC 2003</i>	
		Signature: <i>(Signature)</i>	Signature: <i>(Signature)</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
		Signature: _____ Date: _____		

Permit Taken By: gg	Date Applied For: 03/09/2010	Zoning Approval		
<ol style="list-style-type: none">This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.Building permits do not include plumbing, septic or electrical work.Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Special Zone or Reviews	Zoning Appeal	Historic Preservation
		<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/ condition</i> Date: <i>3/9/10</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABN</i> Date: _____

PERMIT ISSUED

MAR 9 2010

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

DATE

PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

DATE

PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Richard J. Cronin

Signature of Applicant/Designee

3/2/10

Date

Signature of Inspections Official

Date

PERMIT ISSUED

MAR 9 2010

City of Portland

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Date Applied For:	CBL:
10-0224	03/09/2010	034 C009001

Location of Construction:	Owner Name:	Owner Address:	Phone:
195 Kennebec St	Century Tire Co	185 Kennebec Street	207-775-3777
Business Name:	Contractor Name:	Contractor Address:	Phone
Tire / Auto Services	T. E. Low, Inc	36 Walnut Hill Parkway North Yarmo	(207) 829-6648
Lessee/Buyer's Name	Phone:	Permit Type:	
		Alterations - Commercial	

Proposed Use:	Proposed Project Description:
Commercial / Century Tire - Rebuild concrete block wall -	Rebuild 39' x 17' (8" thick) concrete block wall that collapsed

Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 03/09/2010
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) This permit is being issued with the condition that all the work is taking place within the existing footprint.			
2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
Dept: Building	Status: Approved with Conditions	Reviewer: Tammy Munson	Approval Date: 03/17/2010
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.			
2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			
Dept: Fire	Status: Approved with Conditions	Reviewer: Capt Keith Gautreau	Approval Date: 03/10/2010
Note:			Ok to Issue: <input checked="" type="checkbox"/>

PERMIT ISSUED

MAR 9 2010

City of Portland

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 100224

Please Read
Application And
Notes, If Any,
Attached

This is to certify that Century Tire Co/T. E. Low, Inc.
has permission to Rebuild 39' x 17' (8" thick) concrete block wall that collapsed
AT 195 Kennebec St 034 C009001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

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A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

[Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

PERMIT ISSUED

MAR 9 2010

City of Portland

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Date Applied For:	CBL:
10-0224	03/09/2010	034 C009001

Location of Construction: 195 Kennebec St	Owner Name: Century Tire Co	Owner Address: 185 Kennebec Street	Phone: 207-775-3777
Business Name: Tire / Auto Services	Contractor Name: T. E. Low, Inc	Contractor Address: 36 Walnut Hill Parkway North Yarmo	Phone (207) 829-6648
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

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Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 03/10/2010**Note:** **Ok to Issue:** ☒**PERMIT ISSUED**

MAR 9 2010

City of Portland



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

21-35 Marginal

Location/Address of Construction: <u>CENTURY TIRE CO 185 KENNEBEC ST way</u>			
Total Square Footage of Proposed Structure/Area		Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# <u>034</u> Block# <u>C</u> Lot# <u>009</u>		Applicant *must be owner, Lessee or Buyer* Name <u>CENTURY TIRE CO</u> Address <u>185 KENNEBEC ST</u> City, State & Zip <u>PORTLAND, ME</u>	
Telephone: <u>207 775-3777</u>			
Lessee/DBA (If Applicable) RECEIVED MAR -9 2010 Dept. of Building Inspections City of Portland Maine		Owner (if different from Applicant) Name Address City, State & Zip	
Cost Of Work: \$ <u>17,000⁺</u>		C of O Fee: \$ Total Fee: \$ <u>190.00</u>	
Current legal use (i.e. single family) <u>TIRE/AUTO SERVICE</u> Number of Residential Units <u>NA</u>			
If vacant, what was the previous use?			
Proposed Specific use: <u>TIRE STORAGE</u>			
Is property part of a subdivision? <u>-</u> If yes, please name <u>-</u>			
Project description: <u>REBUILD OF FALLEN 8" CONCRETE BLOCK WALL</u> <u>SEE ATTACHED SCOPE OF WORK 39' LONG X 17' WALL</u>			
Contractor's name: <u>T.E. LOW, INC</u>			
Address: <u>36 WALNUT HILL PARKWAY</u>			
City, State & Zip: <u>NORTH YARMOUTH ME 04097</u>		Telephone: <u>207 829-6448</u>	
Who should we contact when the permit is ready: <u>Ed Low</u> <u>TXman</u>		Telephone: <u>207 415-4583</u>	
Mailing address: <u>PO BOX 218 CUMBERLAND CT ME 04021</u>			

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature]

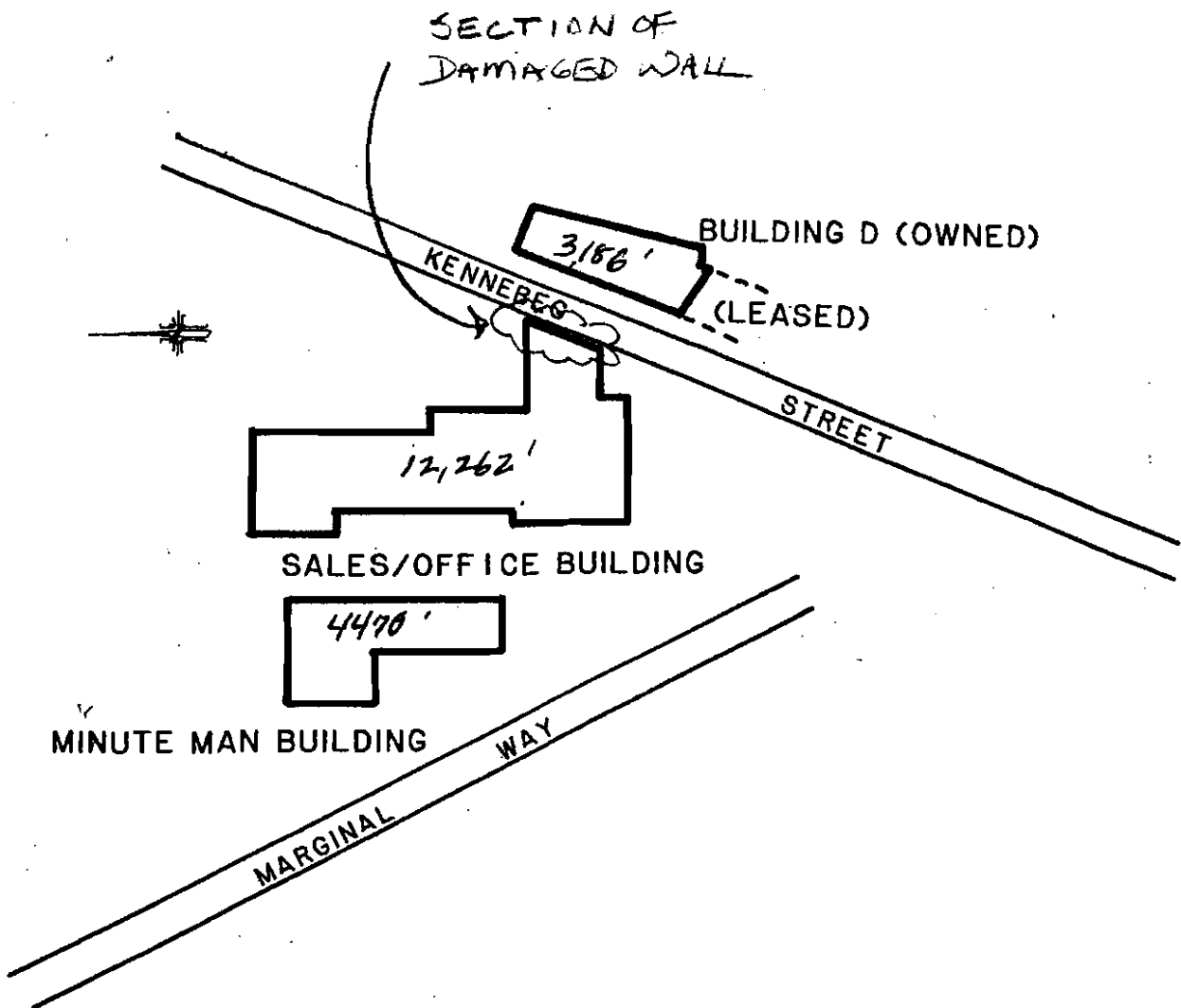
Date: 3/9/2010

This is not a permit; you may not commence ANY work until the permit is issued

T.E. Low, Inc.
P.O. Box 218
Cumberland Center, Maine 04021
(207) 829-6648

Scope of Work:

1. Removal of fallen 8" split/rough face concrete block wall was completed on Fri Feb 26, 2010 to remove debris from Kennebec st. and adjoining sidewalk.
2. A temporary wood stud/plywood sheathing and poly enclosure was constructed on Feb 26th for security and weather protection purposes.
3. The cmu wall that fell was not bearing and was not tied to the existing timber framed structure. The cmu walls including the wall that fell essentially create the shell for the building. The cmu walls are only connected to the wood framing at the location where the walls intersect with the roof structure.
4. Per the enclosed drawings the new wall will be built with new 8" concrete block. They will be normal weight and smooth (Not split face/rock face as existing. These block cannot be duplicated). An approximate 5 ft section at the left of the existing elevation will remain as this section of wall is sound. The intersection of the new and old at this location will consist of a toothed joint as indicated on the drawings. The existing 4ft +/- section at the right elevation will be removed as will a section about 2ft 8in returning around the corner. The 2ft 8in section at the north elevation will be toothed with the old.
5. The new cmu wall will end approximately 1ft above the roof level at the highest roof elevation and approx. 3 to 4ft at the lowest roof level. This will create a parapet wall matching what was existing prior to the wall falling.
6. The owner has elected to include no windows in the new rebuild as this section of building is only for tire storage.
7. The Top of the cmu wall will be capped with metal cap flashing to match what was existing. The existing rubber roofing will be reconnected to the cmu wall also to match what was existing.
8. The new cmu wall will be painted to match existing.



CENTURY TIRE COMPANY

185 KENNEBEC STREET
PORTLAND, MAINE



CONTRACT

M00103-01

APPRAISAL DATE

JANUARY 18, 1982

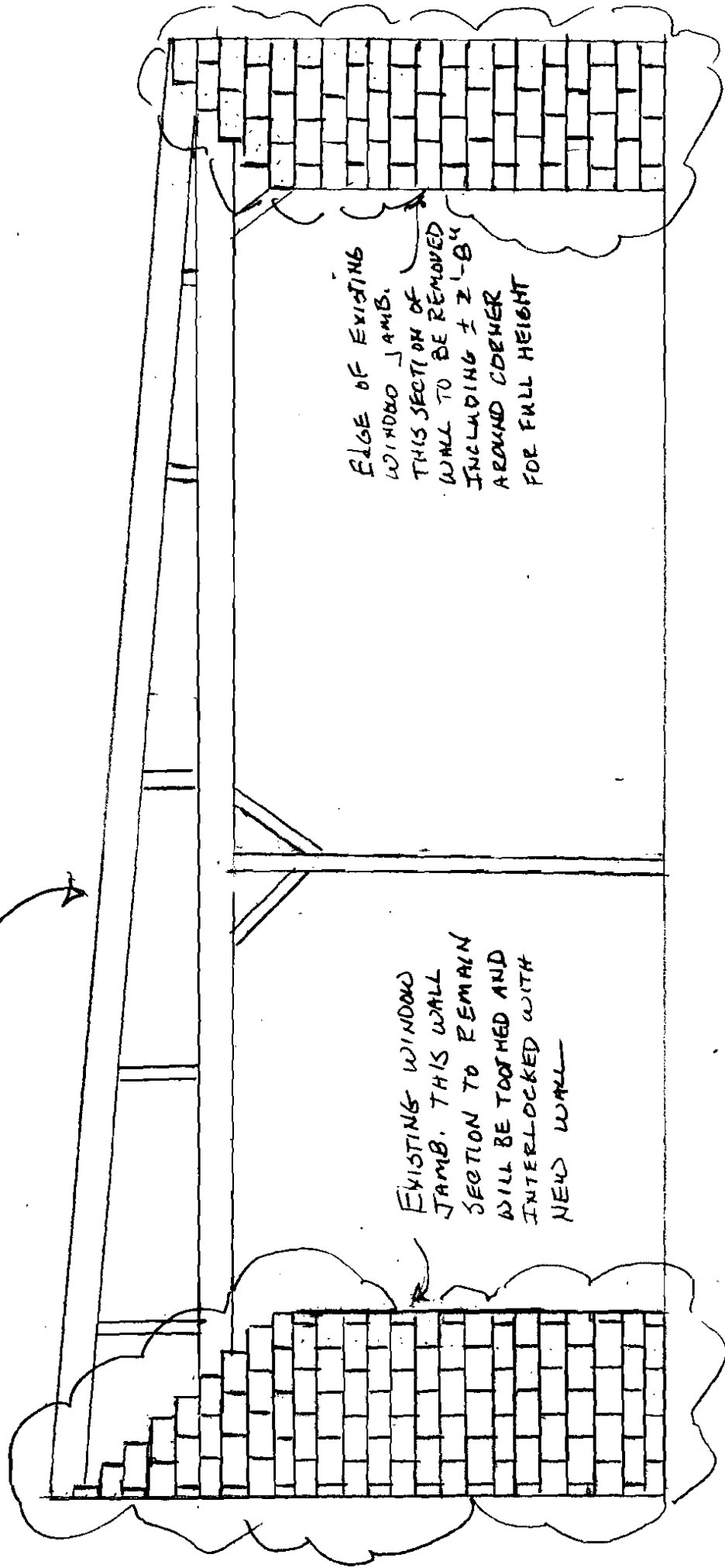
SCALE 0'

100'

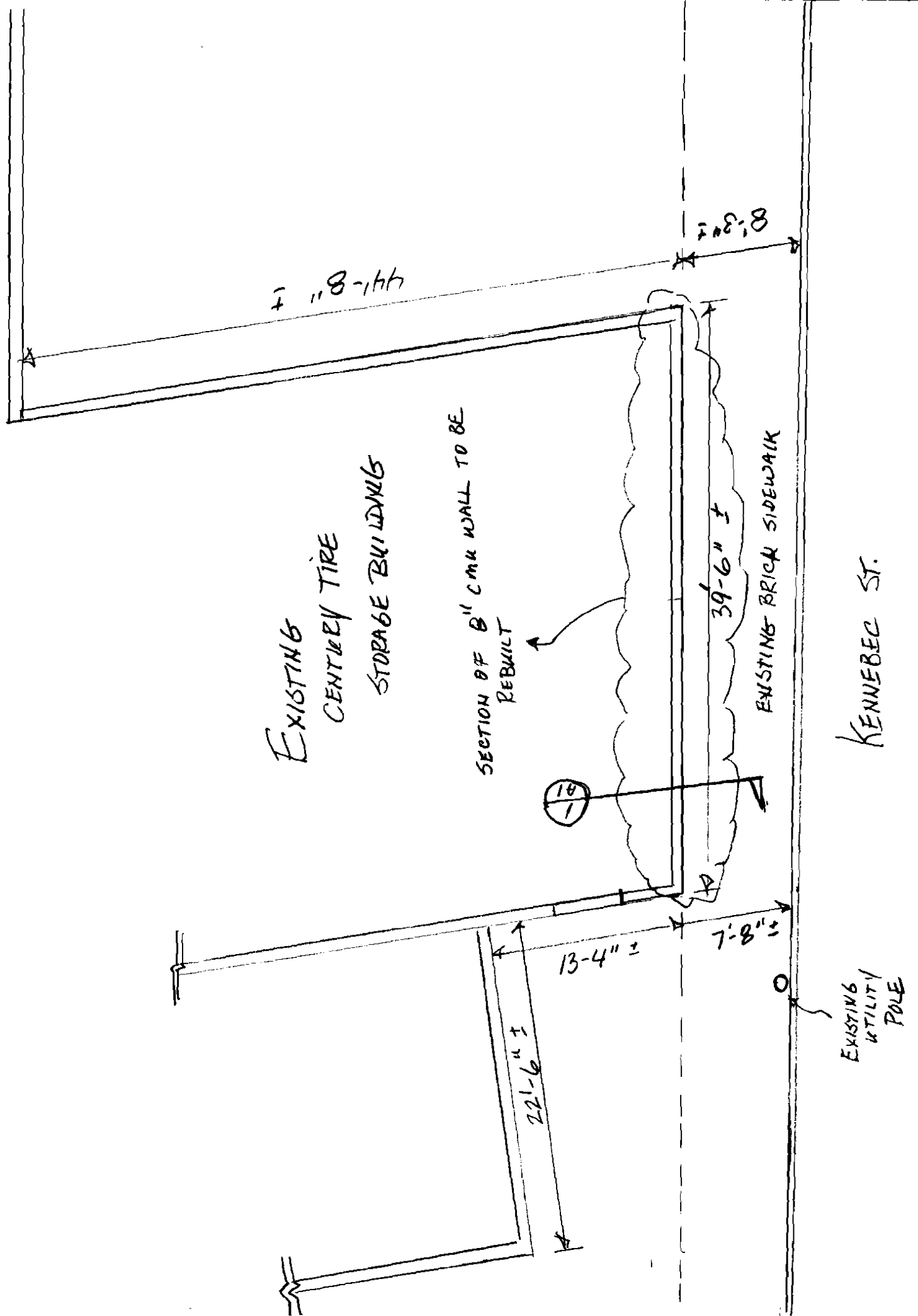


KENNEBEC ST ELEVATION
AFTER WALL COLLAPSE

EXISTING ROOF
STRUCTURE



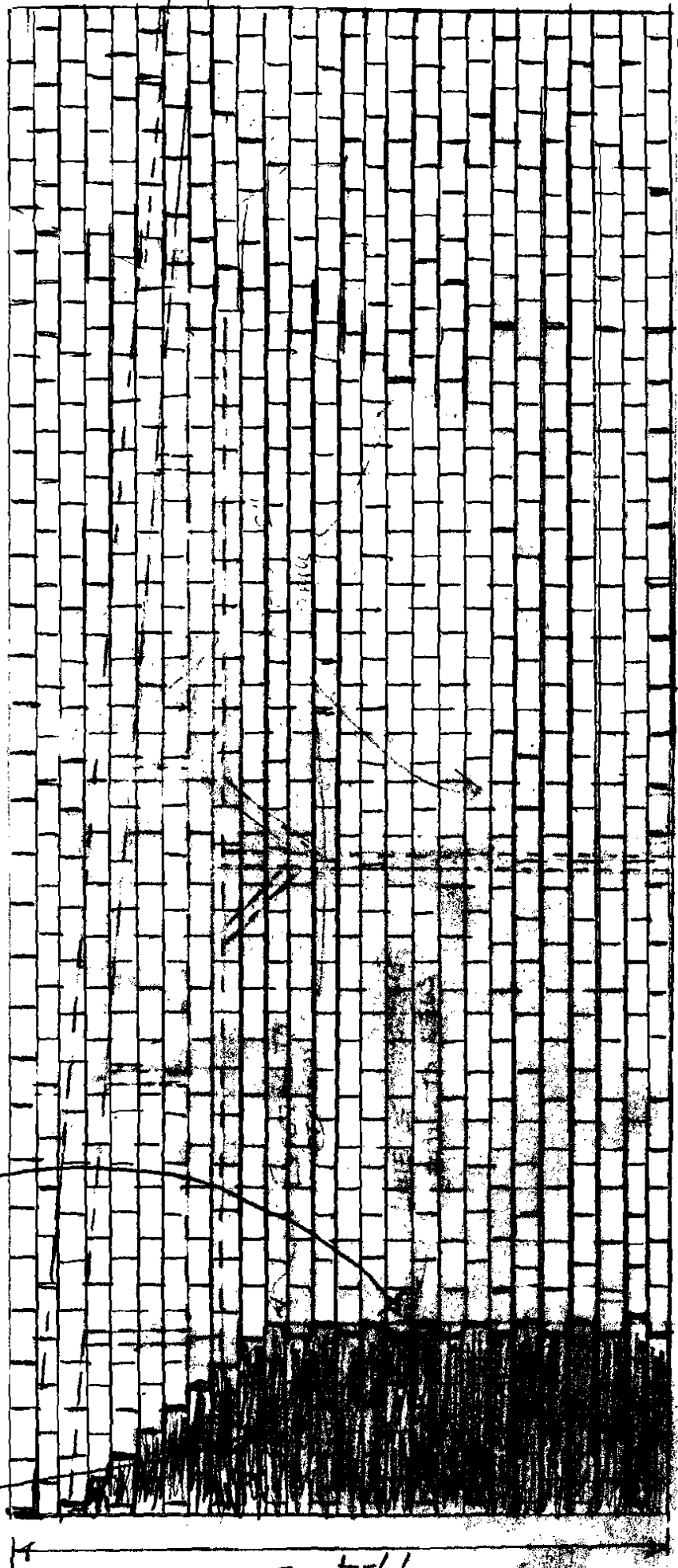
EXISTING SITE / FLOOR PLAN



NEW / REBUILT
ELEVATION

LINE OF TOOTHED
OLD TO NEW

EXISTING
CMU



17'-4"

39'-6" ±

1/2" x 8" dia
ANCHOR BOLTS
@ 32" O.C.

TOP WALL 17'-4"

BOND BEAM
w/ 2 # 5 BARS

DETAIL A2

WALL CONSTRUCTION

8" CMU: ASTM C90 1900 PSI
NORMAL WEIGHT

MORTAR: TYPE S ASTM C270

GROUT: ASTM C476

VERTICAL REINFORCING:
#5 AT 32" O.C.

2 #5 AT BOND BEAMS

HORIZONTAL REINFORCEMENT:
#9 x 9 HOT DIPPED LADDER
@ 16" O.C.

BOND BEAM w/ 2 # 5 BARS
TOP OF BB 12'-8"

#5 VERTICAL
@ 32" O.C.

#9 x 9 HOT DIPPED
LADDER REINFORCEMENT
@ 16" O.C.

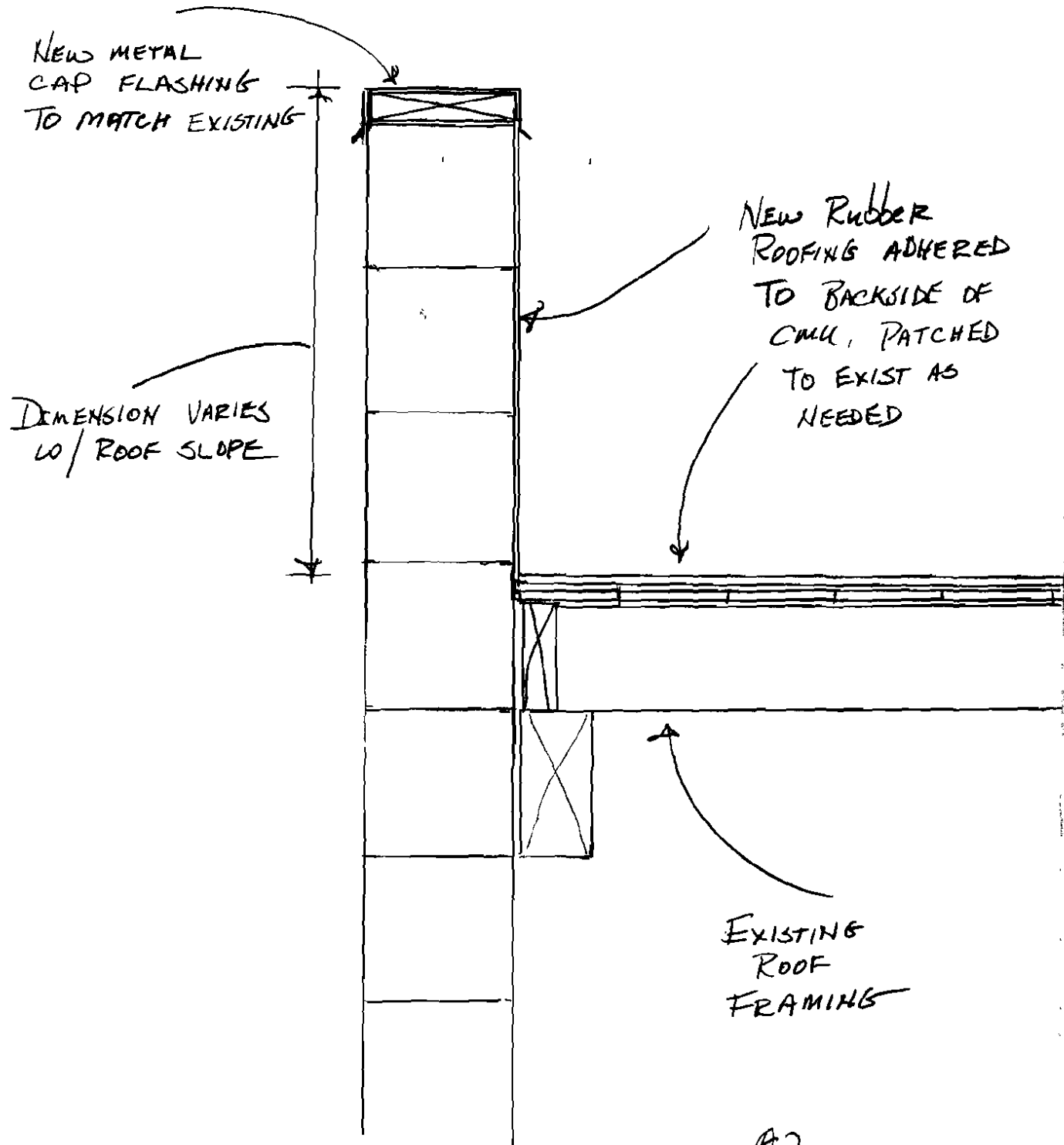
1ST COURSE GROUTED
SOLID

#5 DOWELS @ 16" O.C.
12" INBED @ EXIST
FOUNDATION

SECTION 1

A1

PARAPET / ROOF DETAIL



From: "Ed Low" <elow2@maine.rr.com>
To: <jmb@portlandmaine.gov>
Date: 3/8/2010 5:08 PM
Subject: Building permit for Century Tire cmu wall rebuild
Attachments: DSC00891.JPG; DSC00892.JPG; DSC00893.JPG; DSC00894.JPG; DSC00895.JPG; DSC00882.JPG

Jeanie,

We had spoken previously about the concrete block wall that had fallen over on Feb 25th.

I will be bringing the application in to you tomorrow morning.

In the mean time I have attached photos for your use of the current conditions of the building.

If you need more photos I believe Dick Aronson has some I could forward to you.

Also, Aaron Wilson a structural engineer from Associated Design Partners visited the site on Friday Feb 26.

The drawings for reconstruction of the cmu wall are based on my discussions with him.

Thanks,

Ed Low
T.E.Low, Inc.
415-4583

