

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT PERMIT

Permit Number: 040263

This is to certify that Bintliff's Restaurant Corporation / Rochester Custom Homes
has permission to Alter front exterior facade to resemble d
AT 40 Portland St 033 J001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in.
HEAR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

[Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0263	Issue Date: APR 05 2004	CEL: 03 J001001
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Location of Construction: 40 Portland St	Owner Name: Bintliff's Restaurant Corporation	Owner Address: 255 Main St	Phone: 2073633857
Business Name:	Contractor Name: Rocheleau Custom Homes	Contractor Address: PO Box 1010 York Harbor	Phone: 2073633857
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B2b

Past Use: Jasmine Restaurant	Proposed Use: Jasmine Restaurant w/alter front exterior facade to resemble diner	Permit Fee: \$246.00	Cost of Work: \$25,000.00	CEO District: 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: A-3 Type: 2C	

Proposed Project Description: Alter front exterior facade to resemble diner	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

Permit Taken By: kwd	Date Applied For: 03/17/2004	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: <i>ok 3/23/04</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>[Signature]</i></p>
	<p><i>Separate permits for any new signage</i></p>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0263	Date Applied For: 03/17/2004	CBL: 033 J001001
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Location of Construction: 40 Portland St	Owner Name: Bintliff's Restaurant Corporation	Owner Address: 255 Main St	Phone:
Business Name:	Contractor Name: Rocheleau Custom Homes	Contractor Address: PO Box 1010 York Harbor	Phone (207) 363-3857
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Portland Street Diner: alter front exterior facade to resemble diner	Proposed Project Description: Alter front exterior facade to resemble diner
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Dept: Zoning	Status: Approved	Reviewer: Marge Schmuckal	Approval Date: 03/23/2004	Ok to Issue: <input checked="" type="checkbox"/>
Note:				
Dept: Building	Status: Approved	Reviewer: Mike Nugent	Approval Date: 04/02/2004	Ok to Issue: <input checked="" type="checkbox"/>
Note:				
Dept: Fire	Status: Approved with Conditions	Reviewer: Lt. MacDougal	Approval Date: 03/23/2004	Ok to Issue: <input checked="" type="checkbox"/>
Note:				
1) Door shall swing in the direction of egress travel				

Comments: 3/18/2004-kwd: owes \$30.00 for permit, our arithmetic error. Called, left VM 3/18/2004. Kwd
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04-0263

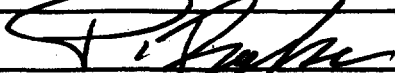
All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 40 PORTLAND ST.		
Total Square Footage of Proposed Structure 2500	Square Footage of Lot 2881	
Tax Assessor's Chart, Block & Lot Chart# 033 Block# J-001 Lot# 001	Owner: PORTLAND STREET PROPERTIES LLC	Telephone: 761-1811 363-3857
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: PATRICK ROCHELEAU P.O. BOX 903 (363-3857) YORK HARBOR, ME. 03911	Cost Of Work: \$ 25,000
Current use: RESTAURANT (JASMINE)	<div style="border: 1px solid black; padding: 5px; display: inline-block;"> RECEIVED MAR 17 2004 21600 </div>	<div style="border: 1px solid black; padding: 5px; display: inline-block;"> DEPT. OF BUILDING INSPECTION CITY OF PORTLAND, ME </div>
If the location is currently vacant, what was prior use: RESTAURANT		
Approximately how long has it been vacant: > 2 MONTHS		
Proposed use: PORTLAND ST. DINER	Project description: RENOVATE EXTERIOR TO RESEMBLE A CITY DINER SERVING BREAKFAST AND LUNCH	
Contractor's name, address & telephone: ROCHELEAU CUSTOM HOMES P.O. BOX 100 YORK HARBOR, ME. 03911		
Who should we contact when the permit is ready: PAT ROCHELEAU 363-3857		
Mailing address: SAME		
<p>We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 207-363-8857</p>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 3/12/04
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



3/17/04

Portland Building / Planning Department

PROJECT SCOPE:

Patrick and Paul Rocheleau , Portland St. Properties, LLC. plan to convert **40 Portland St.** (formerly JASMINE'S restaurant) to the new **PORTLAND ST. DINER.** Patrick Rocheleau , president of Rocheleau Custom Homes in York, Me. will be doing the renovations. Paul Rocheleau , a long time chef in the city of Portland , will be owner / operator of the new diner. Plans are to be open for breakfast and lunch from 6am-3pm. , seven days a week.

Our concept is to renovate the existing street side fascade to more closely resemble an " old-fashioned " city diner with larger glass, porthole windows and the use of stainless metal trim. The interior changes will be to take a part of the dining area and build a diner counter with service area. We also plan to remove the existing table and chair service and install diner booths. We plan to rebuild the office area that was original during the "Natashas" era in 1994, and later removed by subsequent tenants.

Both Paul and I look forward to being a part of the rejuvenation of 40 Porland St. and will be happy to meet to answer any questions you may have about **PORTLAND ST. DINER.**

Respectfully submitted ,

A handwritten signature in black ink, appearing to read "P. Rocheleau", written in a cursive style.

Patrick Rocheleau , President
Portland St. Properties, LLC.
Rocheleau Custom Homes



CONSTRUCTION DETAIL :

- A-1,A-2** Brick in existing windows to "port-hole" size as shown on the plan.
- B-1, B-2** Replace existing glass with new glass (same size) and add stainless metal trim.
- C** Remove existing entrance and replace new (same opening) but recessing entrance as shown on floor plan.
- D-1** Remove existing glass and replace with new glass that is the same width but is approximately 14 inches lower. No change to supporting Lintel. Add stainless metal trim.
- D-2** Remove existing window and enlarge to match D-1. See L&L Structural Report for removal And new Lintel installation.
- E** Remove and brick in as shown on Plan. Reviewed with Fire Marshall 3/16/04 for approval.

INTERIOR

Build new diner counter as shown on plan.

Remove existing tables and chairs and replace with booths .

Rebuild office area removed by previous tenants, see location on Plan.

CORPORATE DEED

THAT, BINTLIFF'S RESTAURANT CORPORATION, a Maine Corporation with the usual place of business at Portland, Maine and existing under the laws of the State of Maine in consideration of One Dollar and other valuable consideration paid by **PORTLAND STREET PROPERTIES, LLC**, a Maine Corporation and existing under the laws of the State of Maine with the usual place of business at 4507 York Street, York Harbor, Maine 03991, the receipt whereof it does hereby acknowledge, does hereby give, grant, bargain, sell and convey unto the said Portland Street Properties, LLC, its heirs and assigns forever the following described real estate, more particularly bounded and described as follows:

A certain lot or parcel of land with the buildings thereon situated on the southwesterly corner of Hanover and Portland Streets in said Portland, bounded and described as follows:

BEGINNING at the corner of said Streets; thence running eastward by said Portland Street to land of Agnes Loring, a distance of about eighty-seven (87) feet; thence southerly by said Loring land to land sold by Edward L. Goold to one Graham and now owned by Susan M. Pinkham, a distance of about thirty three and one half (33.5) feet; thence westerly by said Pinkham's land to Hanover Street, a distance of eighty-five (85) feet, more or less, thence northerly by said Hanover Street to the point of beginning.

Being the same premises conveyed to the Grantor by Kenneth S. Ray, Inc. by deed dated October 5, 1998 and recorded in the Cumberland County Registry of Deeds in Book 14845, Page 57, as amended by deed dated June 28, 2000 recorded in said Registry of Deeds in Book 15604, Page 237.

Being also the same premises conveyed by deed of S & K Partners, a Maine general partnership, to Bintliff's Restaurant Corporation dated June 28, 2001 and recorded in the Cumberland County Registry of Deeds in Book 16495, Page 341.

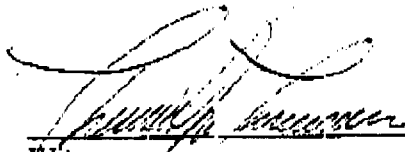
ALSO including an Easement from Kenneth S. Ray, Inc. to Bintliff's Restaurant Corporation to permit parking on the premises of five (5) motor vehicles dated June 28, 2001 and recorded in the Cumberland County Registry of Deeds in Book 16495, Page 34 and more particularly described in and Easement Deed from Scott P. Lalumiere and Judith A. Lalumiere dated November 23, 1994 and recorded in the Cumberland County Registry of Deeds in Book 11724, Page 218.

TO HAVE AND TO HOLD the aforegranted and bargained premises with all the privileges and appurtenances thereof, to the said Portland Street Properties, its heirs and assigns, to it and its use and behoof forever.

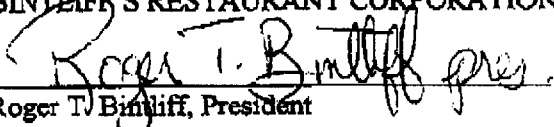
AND the said Grantor Corporation does hereby COVENANT with the said Grantee Corporation, its heirs and assigns, that it is lawfully seized in fee of the premises, that they are free of all incumbrances; that it has good right to sell and convey the same to the said Grantee Corporation to hold as aforesaid; and that it and its successors, shall and will WARRANT AND DEFEND the same to the said Grantee Corporation, its heirs and assigns forever, against the lawful claims and demands of all persons.

IN WITNESS WHEREOF, the said BINTLIFF'S RESTAURANT CORPORATION has caused this instrument to be sealed with its corporate seal and signed in its corporate name by ROGER T. BINTLIFF, its President, thereunto duly authorized, this 7th day of March, in the year Two thousand and four.

SIGNED, SEALED AND DELIVERED
IN PRESENCE OF:



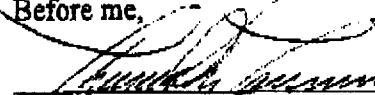
Witness

BINTLIFF'S RESTAURANT CORPORATION


Roger T. Bintliff, President

STATE OF MAINE
County of Cumberland, ss.

Then personally appeared the above named Roger T. Bintliff, President of said Grantor Corporation as aforesaid, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporation.

Before me,


Notary Public
Printed Name: Thomas W. TAVANAKIS
My commission expires: 12-11-04

MAINE REVENUE SERVICES

FILE BOTH COPIES
OF THIS FORM WITH
COUNTY REGISTRY OF DEEDS
DO NOT DETACH!



REAL ESTATE TRANSFER TAX DECLARATION

TITLE 36, M.R.S.A., SECTIONS 4641 through 4641-N

1. MUNICIPALITY OR TOWNSHIP Portland	COUNTY Cumberland	BOOK (REGISTRY USE ONLY)	PAGE (REGISTRY USE ONLY)
GRANTEE (BUYER)			
2. IDENTITY: NAME(S) (LAST, FIRST, INITIAL) AND SOCIAL SECURITY NUMBER(S) OR CORPORATE NAME(S) AND FEDERAL IDENTIFICATION NUMBER(S) PORTLAND STREET PROPERTIES, LLC			16 169 3069
3. NUMBER AND STREET 4507 York Street	CITY OR TOWN York Harbor	STATE AND ZIP CODE MAINE 03991	
GRANTOR (SELLER)			
4. IDENTITY: NAME(S) (LAST, FIRST, INITIAL) AND SOCIAL SECURITY NUMBER(S) OR CORPORATE NAME(S) AND FEDERAL IDENTIFICATION NUMBER(S) BINTLIFF'S RESTAURANT CORPORATION			01 051 8166
5. NUMBER AND STREET 255 Main Street	CITY OR TOWN Cumberland	STATE AND ZIP CODE Maine 04021	
PROPERTY	6. TAX MAP & LOT NUMBER (If municipality does not have maps, describe property)		WARNING TO BUYER! If the property is classified as Farmland, Open Space, or Tree Growth, a substantial financial penalty could be triggered by development, subdivision, partition, or change in use of the property. <input type="checkbox"/> Classified <input checked="" type="checkbox"/> Not Classified
	7. DATE OF TRANSFER		
		MO DAY YR. 3 9 04	
CONSIDERATION	8. Consideration meaning total amount or price paid, or required to be paid, for real property valued in money, whether received in money or otherwise and shall include the amount of any mortgage, liens or encumbrances thereon. If a gift or nominal consideration only is paid, consideration is based on the value of the property. Value is the estimated price the property would bring in the open market. (Tax will be collected at the registry when the deed is recorded. The tax rate is \$2.20 per \$500, or fractional part thereof, of consideration or value. The tax is equally divided between the buyer and the seller.) <u>If exempt, complete line 9</u>		
	FULL VALUE	\$ 186,400 ⁰⁰	TAXABLE CONSIDERATION \$ 186,400 ⁰⁰
EXEMPTION	9. EXPLAIN BASIS FOR EXEMPTION (Complete only if transfer is claimed to be fully or partially exempt pursuant to M.R.S.A. 36 §4641-C)		
SPECIAL CIRCUMSTANCES	10. Were there special circumstances in the transfer which suggest that the price of the property was either more or less than its fair market value. (Such as the fact that transfer was a forced sale, foreclosure, intercorporate sale, exchange, or transfer tax was based on estimate value.) <u>PLEASE EXPLAIN.</u> <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		
INCOME TAX WITHHELD	11. <input type="checkbox"/> Buyer(s) certify that they have withheld Maine income tax from the purchase price as required by § 5250-A and will remit to Maine Revenue Services within 30 days after date of transfer. <input checked="" type="checkbox"/> Buyer(s) not required to withhold Maine income tax because: <input type="checkbox"/> seller has qualified as a Maine resident. <input type="checkbox"/> a waiver has been received from the State Tax Assessor. <input type="checkbox"/> consideration for the property is less than \$50,000. <input type="checkbox"/> foreclosure sale; exempt per 36 MRSA §5250-A, sub§ 3-A		
OATH	12. Aware of penalties as set forth by Title 36, Section 4641-K, we hereby swear or affirm that we have each examined this return and to the best of our knowledge and belief, it is true, correct, and complete.		
	GRANTEE(S) or AUTHORIZED AGENT	DATE	GRANTOR(S) or AUTHORIZED AGENT
		3/9/04	
	Portland Street Properties, LLC		BINTLIFF'S RESTAURANT CORP.
PREPARER	13. Name and address of person or firm preparing this form. Office of TW Tavenner, 654 Wiscasset Rd, Boothbay, ME		

**L & L STRUCTURAL
ENGINEERING SERVICES, INC.**

Six Q Street
South Portland, ME 04106
Phone: (207) 767-4830
Fax: (207) 799-5432

**BUILDING LOCATED AT:
40 PORTLAND STREET
PORTLAND, MAINE**

**STRUCTURAL DRAWINGS
FOR
LINTEL ABOVE NEW EXTERIOR WALL PENETRATION**

Prepared for: Pat and Paul Rocheleau
Rocheleau Custom Homes
457 York Street
York Harbor, Maine 03911

Submission Date: March 11, 2004
Drawings Submitted: S1-S5



Handwritten signature of Joseph H. Leasure

GENERAL NOTES:

1. The notes on the drawings are not intended to replace specifications. See specifications for requirements in addition to general notes.
2. Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, chases, inserts, relets, sleeves, depressions, and other details not shown on structural drawings.
3. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work.
4. Do not scale plans.
5. Sections and details shown on any structural drawings shall be considered typical for similar conditions.
6. All proprietary products shall be installed in accordance with the manufacturers written instructions.
7. The structure is designed to be self supporting and stable after the Building is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting temporary bracing, guys or tie downs. Such material shall remain the property of the contractor after completion of the project.
8. All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

CONCRETE NOTES:

1. All concrete work shall conform to ACI 318--Latest Edition.
2. Concrete strength at 28 days shall be 3000 PSI.
3. All concrete shall be air entrained 4% to 6%.
4. Concrete shall not be placed in water or on frozen ground.
5. Provide PVC sleeves where pipes pass through concrete walls or slabs.
6. Reinforcing bars shall conform to ASTM A615 Grade 60 deformed bars, and shall be detailed, fabricated and erected in accordance with ACI 315--Latest edition.
7. Splices of reinforcing bars shall be in accordance with ACI 318.
8. Anchor bolts shall conform to ASTM A307 unless noted otherwise on plan.

designed by: JHL	BUILDING LOCATED AT: 40 PORTLAND STREET PORTLAND, MAINE	L & L STRUCTURAL ENGINEERING SERVICES, INC. 514 Q STREET SOUTH PORTLAND, MAINE 04106
drawn by: JHE		
checked by: MFL		
scale: NOTED		
date: 3/11/04		
GENERAL NOTES		PHONE: (207) 787-4830 FAX: (207) 799-5432 EMAIL: LLENG@AOL.COM
		S1

MASONRY NOTES:

1. All hollow load bearing concrete masonry units shall be ASTM C90 grade N, type I standard weight standard blocks including stretchers & corner blocks unless otherwise noted.
2. All load bearing concrete masonry units shall conform to ASTM C90 grade N, type I standard weight standard blocks including stretchers & corner blocks.
3. Masonry prism strength (fm) shall be 1,500 psi.
4. Mortar shall conform to ASTM Specification C270, type N or S.
5. Concrete masonry units shall be laid in running bond.
6. Wall penetrations shall be coordinated with the Architect and Owners vendors/designers and shall be field located.
7. Provide joint reinforcing per drawings & specifications in all concrete masonry unit construction.
8. All masonry reinforcement shall be spliced 48 bar diameters.
9. Reinforcing bars shall conform to ASTM A615 grade 60 deformed bars and shall be detailed, fabricated and placed in accordance with ACI 315--latest edition.
10. Masonry walls which support structural members shall have cells grouted solid full height under bearing with 2-#6 minimum vertical reinforcing bar in each cell unless otherwise noted in plan.
11. Bond beams shall be filled with grout capable of achieving 3,000 psi compressive strength at 28 days. Reinforcing shall be supported prior to placing concrete to provide a minimum 1/2" clearance around all bars.
12. Cells of masonry units containing vertical reinforcing shall be filled with grout unless otherwise noted. Maximum grout lift without cleanouts and inspection shall be 4'-0". Support all vertical bars in units as shown on the drawings.
13. Provide steel lintels for all masonry openings unless CMU lintel is indicated. Refer to lintel schedule for lintel sizes. All lintels used in exterior masonry walls shall be hot dipped galvanized.

STRUCTURAL STEEL NOTES:

1. Structural steel fabrication, erection, and connection design shall conform to AISC "Specification for the design, fabrication, and erection of structural steel"--Ninth edition.
2. Structural steel:
 - a. Structural steel shall conform to ASTM A-36.
 - b. Structural tubing shall conform to ASTM A-500 GR.B.
 - c. Structural pipe shall conform to ASTM A-53, TYPE E or S.
3. Design connections for the reactions shown on the drawings or the maximum end reaction that can be produced by a laterally supported uniformly loaded beam for each given beam size and span.
4. Field connections shall be bolted using 3/4"Ø ASTM A325 high strength bolts except where field welding is indicated on the drawings.
5. All welding shall conform to AWS D1.1--Latest edition. Welding electrodes shall be E70XX.

designed by:	JHL
drawn by:	JHL
checked by:	MFL
scale:	NOTED
date:	3/11/04

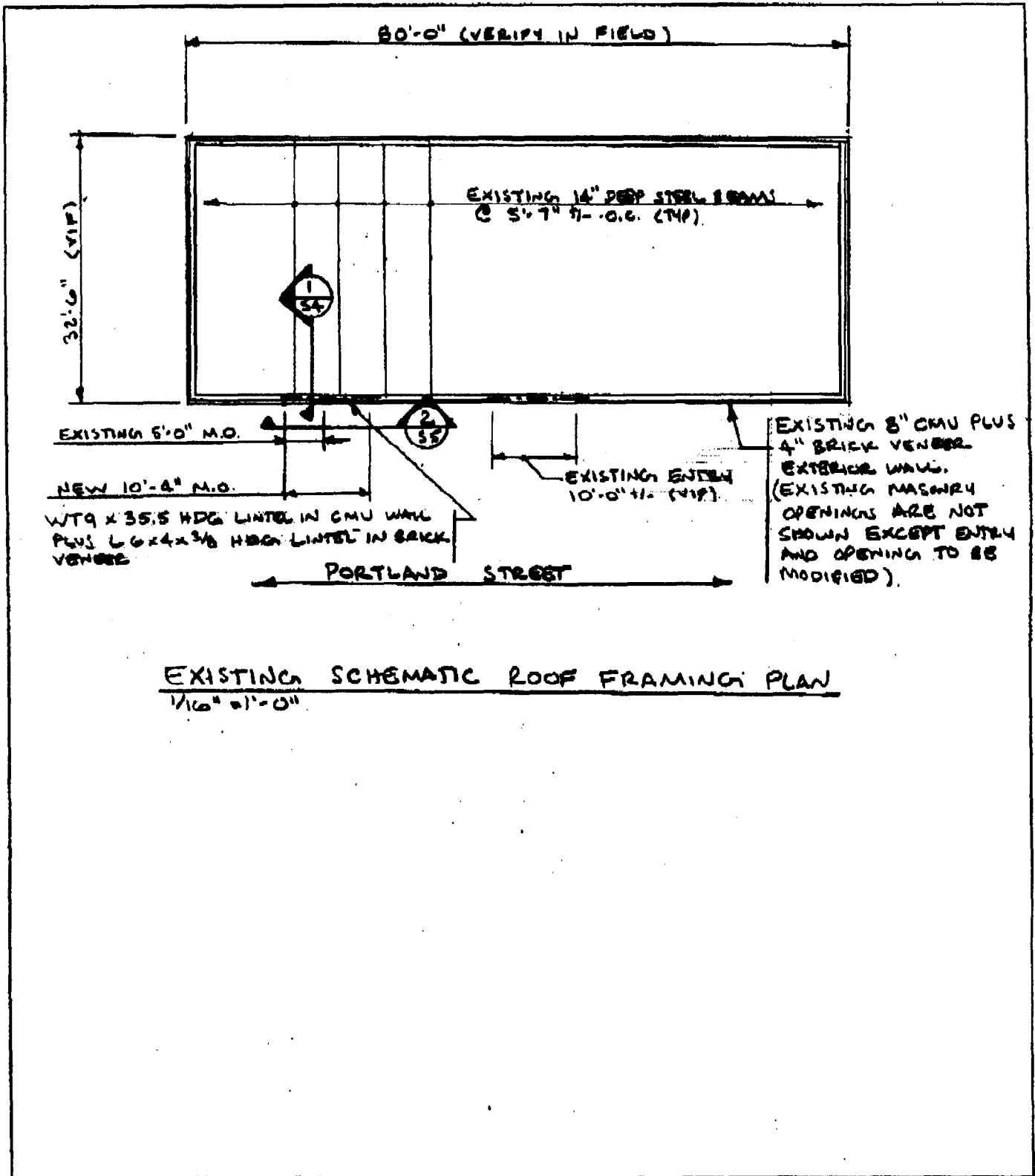
BUILDING LOCATED AT:
40 PORTLAND STREET
PORTLAND, MAINE

GENERAL NOTES

L & L STRUCTURAL
ENGINEERING SERVICES, INC.
SIX O STREET
SOUTH PORTLAND, MAINE 04106

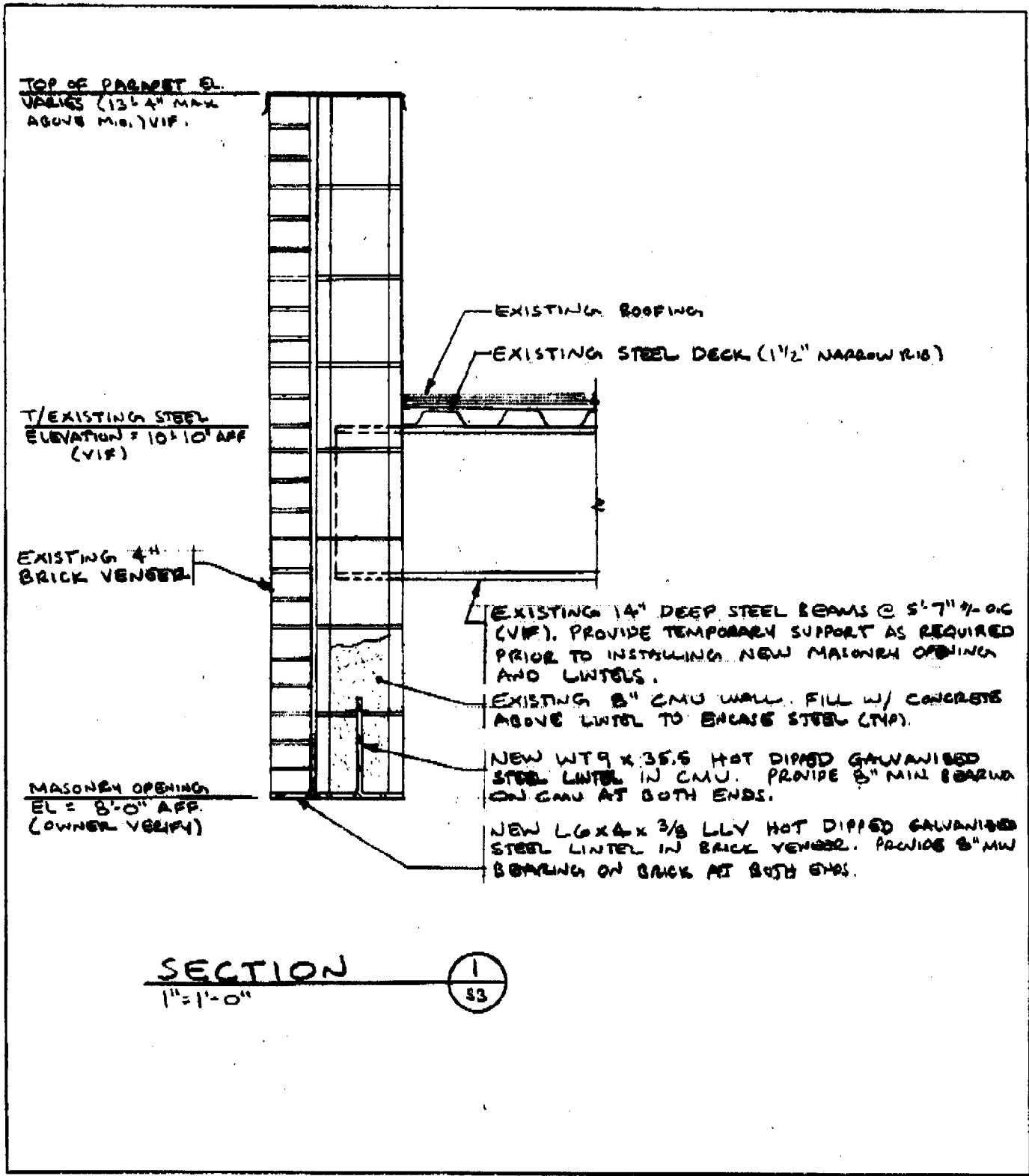
PHONE: (207) 787-4820
FAX: (207) 789-9432
EMAIL: LLEN@AOL.COM

S2



EXISTING SCHEMATIC ROOF FRAMING PLAN
 1/16" = 1'-0"

designed by: JHL	BUILDING LOCATED AT: 40 PORTLAND STREET PORTLAND, MAINE	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX O STREET SOUTH PORTLAND, MAINE 04106
drawn by: JHL		
checked by: MFL		
scale: NOTED		
date: 3/11/04		
EXIST. SCHEM. ROOF FRAMING PLAN		PHONE: (207) 767-4830 FAX: (207) 768-8432 EMAIL: LLE@L&L.COM
		S 3



designed by: JHL
 drawn by: JHL
 checked by: MFL
 scale: NOTED
 date: 3/11/04

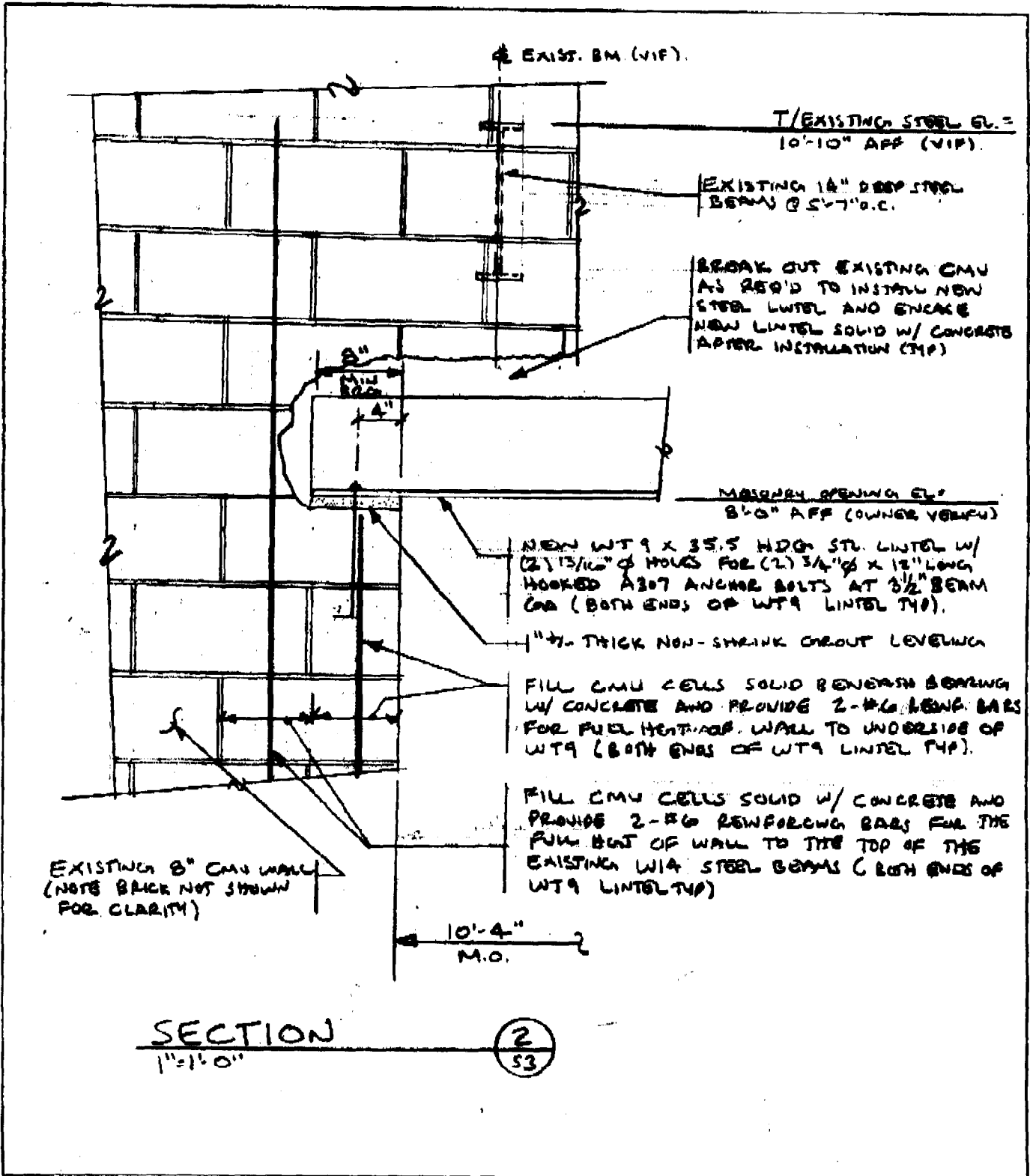
BUILDING LOCATED AT:
 40 PORTLAND STREET
 PORTLAND, MAINE

SECTIONS AND DETAILS

L & L STRUCTURAL ENGINEERING SERVICES, INC.
 SIX O STREET
 SOUTH PORTLAND, MAINE 04108

PHONE: (207) 757-1830
 FAX: (207) 758-5432
 EMAIL: LLD@L&L.COM

54



designed by: JHL	BUILDING LOCATED AT: 40 PORTLAND STREET PORTLAND, MAINE	L & L STRUCTURAL ENGINEERING SERVICES, INC. 516 O STREET SOUTH PORTLAND, MAINE 04106
drawn by: JHL		
checked by: MFL		
scale: NOTED		
date: 3/11/04		
SECTIONS AND DETAILS		PHONE: (207) 787-4830 FAX: (207) 789-8432 EMAIL: LLEN@L&L.COM
		55