

**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 197 Cumberland Ave		Owner: Salvation Army		Phone: 761-9468		Permit No: <b>9 80836</b> <b>PERMIT ISSUED</b> Permit Issued: <b>AUG - 3 1998</b> <b>CITY OF PORTLAND</b> Zone: <b>B-3</b> CBL: <b>033-A-110</b>		
Owner Address: SAs		Lessee/Buyer's Name:		Phone:			BusinessName:	
Contractor Name: Atlantic Coast Contractors		Address: P.O. Box 10792 Portland, ME 04104		Phone: 761-9468				
Past Use: Office		Proposed Use: Same		COST OF WORK: \$ 250,600.00			PERMIT FEE: \$ 1,270.00	
Proposed Project Description: Renovations to 2nd floor, New sprinkler system & YA System for entire building				FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: Type:		
				Signature: <i>[Signature]</i>		Signature: <i>[Signature]</i>		
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied				Signature: _____ Date: _____		Zoning Approval: <input type="checkbox"/> Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>		
Permit Taken By: NG		Date Applied For: 24 July 1998						

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

27 July 1998

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS: \_\_\_\_\_ DATE: \_\_\_\_\_ PHONE: \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ PHONE: \_\_\_\_\_

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

**Zoning Appeal**

- Variance
- Miscellaneous
- Conditional Use
- Interpretation
- Approved
- Denied

**Historic Preservation**

- Not in District or Landmark
- Does Not Require Review
- Requires Review

**Action:**

- Approved
- Approved with Conditions
- Denied

Date: 3

CEO DISTRICT

AR/DC



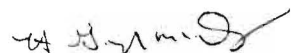
# PORTLAND FIRE DEPARTMENT

Review Date: 7/29/98 Contractor: Atlantic Coast Contractors

Address: 297 Cumberland CBL: C33-N-020

## Please note marked Conditions of Approval

- \* The boiler or furnace shall be protected by enclosing with one hour fire rated construction including fire doors and ceiling or by providing automatic extinguishment and smoke protected enclosure. Sprinkler piping serving not more than six sprinklers may be connected to a domestic water supply system having a capacity sufficient to provide a 0.15 gpm per sq ft of floor throughout the entire area. An indicating shut-off valve shall be installed in an accessible location between the sprinkler and the connection to the domestic water supply. Minimum pipe size shall be 3/4" copper or 1" steel. Maximum coverage area of a residential sprinkler is 144 sq ft per sprinkler.
- (\*) All required fire alarm systems shall have the capacity of zone disconnect via switches or key pad program provided the method is approved by the Fire Prevention Bureau.
- (\*) All remote annunciators shall have a visible trouble indicator along with the fire alarm zone indicators.
- (\*) Any master box connected to the municipal fire alarm system shall have a supervised municipal disconnect switch.
- (\*) All master box locations shall be approved by the Fire Dept. Director of Communications.
- (\*) A master box shall be located so that the center of the box is five feet above finished floor.
- (\*) All master box locations are required to have a Knox box.
- (\*) A fire alarm acceptance report shall be submitted to the Portland Fire Department.
- \* All underground tank removal(s) and/or installation(s) shall be done in accordance with the Department of Environmental Protection and Regulation (Chapter 691).
- \* No cutting of tanks on site. Cutting of tanks to be done at an approved disposal site.
- \* The fire dispatcher must be notified at least 48 hrs in advance of removal or transportation of tanks.
- \* All above ground L/P tanks shall be located in accordance with NFPA 58 standards.
- \* Any tank located near the path of vehicle movement shall be protected.
- \* All piping shall be protected from possible mechanical damage and vandalism.
- (\*) A 4" storz fire department connection is required.
- \* Any renovation of sprinkler system over 20 heads must have State Fire Marshall approval.
- (\*) A sprinkler performance test shall be submitted to the P.F.D. after completion of work.
- \* State Fire Marshall approval is required for this project.



Lt. Gaylen Mc Dougall  
Portland Fire Prevention Bureau



## SPRINKLER SERVICES

P.O. BOX 809 • 5 LAMB STREET  
WINDHAM, ME 04062  
1-207-892-1415 • 1-800-400-1415  
FAX 1-207-892-2707

Oct. 28, 1998

### Certificate of Installation

Ref: Salvation Army Headquarters  
297 Cumberland Ave.  
Portland, ME

This certificate of installation is to confirm that the sprinkler system at the above mentioned facility has been designed and installed in accordance with or exceeds all applicable codes as listed below

1. N.F.P.A. 13
2. State and Local Codes
3. Contract Specifications
4. Instructions from the General Contractor

Sprinkler Services

Signature

*Don Weatherly*

Title

*Gen. Manager*

Date

*Oct 28 - 1998*



# CONTRACTOR'S MATERIAL & TEST CERTIFICATE SPRINKLER SYSTEMS - WATER SPRAY SYSTEMS PART "A" GENERAL

**PROCEDURE**  
UPON COMPLETION OF WORK, INSPECTION AND TESTS SHOULD BE MADE BY CONTRACTOR'S REPRESENTATIVE AND WITNESSED BY AN OWNER'S REPRESENTATIVE. ALL DEFECTS SHOULD BE CORRECTED AND SYSTEM LEFT IN SERVICE BEFORE CONTRACTOR'S MEN FINALLY LEAVE THE JOB.

A CERTIFICATE SHOULD BE FILLED OUT AND SIGNED BY BOTH REPRESENTATIVES. COPIES SHOULD BE PREPARED FOR INSPECTING AUTHORITIES, OWNER AND CONTRACTOR. IT IS UNDERSTOOD THE OWNER'S REPRESENTATIVE'S SIGNATURE IN NO WAY PREJUDICES ANY CLAIM AGAINST CONTRACTOR FOR FAULTY MATERIAL, POOR WORKMANSHIP OR FAILURE TO COMPLY WITH INSPECTING AUTHORITY'S REQUIREMENTS OR LOCAL ORDINANCES.

PROPERTY NAME: THE SALVATION ARMY HEADQUARTERS DATE: 10/23/98

PROPERTY ADDRESS: 297 CUMBELLAND AVE, PORTLAND, ME 04110

ACCEPTED BY INSPECTION AUTHORITY (NAME): DEPARTMENT OF PUBLIC SAFETY - LTJ

ADDRESS: PO Box 498, GARDINER, ME 04845-0498

PLANS:  INSTALLATION CONFORMS TO ACCEPTED PLANS  YES  NO

EQUIPMENT USED IS APPROVED  YES  NO

IF NO, STATE DEVIATION: \_\_\_\_\_

INSTRUC-TIONS: HAS PERSON IN CHARGE OF FIRE EQUIPMENT BEEN INSTRUCTED AS TO LOCATION OF CONTROL VALVES AND CARE OF THIS NEW EQUIPMENT?  YES  NO

HAS A COPY OF INSTRUCTION AND MAINTENANCE CHART BEEN LEFT AT PLANT?  YES  NO

IF NO, EXPLAIN: N/A

TEST DESCRIP-TION: **FLUSHING:** Flow the required rate until mains are clear as indicated by no collection of foreign material in burley bags at outlets such as hydrants and flow-alarms.

Flush at flow not less than 750 GPM for 6-inch pipe and smaller, 1000 GPM for 8-inch, 1500 GPM for 10-inch, 2000 GPM for 12-inch. Where supply cannot produce stipulated flow rate, obtain maximum available by using properly sized discharge device.

**HYDROSTATIC:** Hydrostatic test should be made at not less than 200 PSI for two hours or 50 PSI above static pressure in excess of 150 PSI. Differential dry-pipe valve clappers should be left open during test to prevent damage. All above ground piping leakage should be stopped.

**LEAKAGE:** New pipe laid with rubber gasketed joints should, if the workmanship is satisfactory, have no leakage at the joints. Unsatisfactory amounts of leakage usually result from twisted, pinched or cut gaskets. However, some leakage might result from small amounts of grit or small imperfections. The amount of leakage at the joints should not exceed 1 quart per hour per 100 joints irrespective of pipe diameter. The leakage should be distributed over all joints. If such leakage occurs at a few joints the installation should be considered unsatisfactory and necessary repairs made. New pipe laid with caulked lead or lead-substitute joints should, if the workmanship is satisfactory, have little or no leakage at the joints. Any joint having leakage or more than a "slight drip" or "weeping" should be repaired. Leakage should not exceed 1 oz. (liquid measure) per hour per inch of pipe diameter per joint. The leakage should be distributed over all joints. If such leakage occurs almost entirely at a few joints, the installation should be considered unsatisfactory and necessary repairs made.

**PNEUMATIC:** Establish 40 PSI air pressure and measure pressure drop which should not exceed 1 1/2 PSI in 24 hours. Test pressure tank at normal water level and air pressure, and measure air pressure drop which should not exceed 1 1/2 PSI in 24 hours.

**PART "B" - UNDERGROUND PIPING**

LOCATION: FEED BLDG BY OTHERS

UNDERGROUND PIPES AND JOINTS: PIPE TYPE AND CLASS: \_\_\_\_\_ TYPE JOINT: \_\_\_\_\_

CONFORMS TO STANDARD?  YES  NO

IF NO, EXPLAIN: N/A

JOINTS NEEDING ANCHORAGE CLAMPED, STRAPPED OR BACKED IN ACCORDANCE WITH STANDARD?  YES  NO

IF NO, EXPLAIN: \_\_\_\_\_

TESTS REQUIRED: **FLUSHING** **HYDROSTATIC** **LEAKAGE**

NEW UNDERGROUND PIPING FLUSHED ACCORDING TO \_\_\_\_\_ STANDARD?  YES

HOW WAS FLUSHING FLOW OBTAINED: PUBLIC WATER  TANK OR RESERVOIR  FIRE PUMP

THROUGH WHAT TYPE OPENING: \_\_\_\_\_

TESTS: LEAKING FLUSHED ACCORDING TO \_\_\_\_\_ STANDARD?  YES

HOW WAS FLUSHING FLOW OBTAINED: PUBLIC WATER  TANK OR RESERVOIR  FIRE PUMP

THROUGH WHAT TYPE OPENING: \_\_\_\_\_

Y CONN. TO FLANGE & SPOUT  OPEN PIPE



HYDROSTATIC TEST	ALL NEW PIPING HYDROSTATICALLY TESTED AT P.S.I. _____ FOR _____ HOURS
LEAKAGE TEST	TOTAL AMOUNT OF LEAKAGE MEASURED _____ GALLONS _____ HOURS ALLOWABLE LEAKAGE _____ GALLONS <b>N/A</b> _____ HOURS
HYDRANTS	NUMBER INSTALLED _____ TYPE AND MAKE _____ ALL OPERATE SATISFACTORILY YES <input type="checkbox"/> NO <input type="checkbox"/>
CONTROL VALVES	WATER CONTROL VALVES LEFT WIDE OPEN IF NO, STATE REASON YES <input type="checkbox"/> NO <input type="checkbox"/>
REMARKS	DATE LEFT IN SERVICE _____ <b>By others</b>
PARTS A & B	NAME OF SPRINKLER CONTRACTOR _____ FOR PROPERTY OWNER (CHECKED) TITLE _____
SIGNATURES	FOR SPRINKLER CONTRACTOR (SIGNED) _____ DATE _____

**PART "C" SPRINKLER & WATER SPRAY ABOVE GROUND PIPING (FILL OUT SEPARATE PART "C" FOR EACH RISER)**

LOCATION	SERVES BLDGS. <b>ENTIRE</b>													
TESTS REQUIRED	1 HYDROSTATIC TEST OF ALL PIPING 2 PNEUMATIC TEST OF ALL DRY PIPING 3 EQUIPMENT OPERATION TESTS OF ALL EQUIPMENT													
SPRINKLERS OR SPRAY NOZZLES	MAKE	MODEL	SIZE	QUANTITY	TEMPERATURE RATING									
	<b>AUTOMATIC</b>	<b>"1" DR UP</b>	<b>1/2" x 1/2"</b>	<b>114</b>	<b>155°</b>									
	<b>LAINBULL</b>	<b>QR BU</b>	<b>1/2" x 1/2"</b>	<b>33</b>	<b>155°</b>									
	<b>LAINBULL</b>	<b>QR VSW</b>	<b>1/2" x 1/2"</b>	<b>15</b>	<b>155°</b>									
PIPE AND FITTINGS	MATERIAL AND KING CONFORM TO <b>NEPA + ASTM</b> STANDARD IF NONE, EXPLAIN _____													
ALARM VALVE OR FLOW INDICATOR	ALARM DEVICE			MAXIMUM TIME TO OPERATE THROUGH TEST PIPE										
	TYPE	MAKE	MODEL	MIN.			SEC.							
	<b>Flow switch</b>	<b>SYSTEM</b>	<b>SENSOR</b>	<b>0</b>			<b>15</b>							
DRY PIPE VALVES	OPERATING TEST RESULTS			WATER PRES.	AIR PRES.	TRIP POINT AIR PRES.	TIME WATER REACHED TEST OUTLET	ALARM OPERATED PROPERLY						
	MAKE	MODEL	NO.	TIME TO TRIP THROUGH TEST PIPE										
				WITHOUT Q. O. D.	WITH Q. O. D.									
				MIN.	SEC.	MIN.	SEC.	P.S.I.	P.S.I.	P.S.I.	MIN.	SEC.	YES	NO
	IF NO, EXPLAIN _____													
DELUGE & PREACTION VALVES	OPERATION			PNEUMATIC <input type="checkbox"/>			ELECTRIC <input type="checkbox"/>			HYDRAULIC <input type="checkbox"/>				
	PIPING SUPERVISED			YES <input type="checkbox"/> NO <input type="checkbox"/>			DIRECTING MEDIA SUPERVISED			YES <input type="checkbox"/> NO <input type="checkbox"/>				
	DOES VALVE OPERATE FROM THE MANUAL TRIP AND/OR REMOTE CONTROL STATIONS			YES <input type="checkbox"/> NO <input type="checkbox"/>						YES <input type="checkbox"/> NO <input type="checkbox"/>				
	IS THERE AN ACCESSIBLE FACILITY IN EACH CIRCUIT FOR TESTING			YES <input type="checkbox"/> NO <input type="checkbox"/>						YES <input type="checkbox"/> NO <input type="checkbox"/>				
	IF NO, EXPLAIN _____													
	MAKE	MODEL	DOES EACH CIRCUIT OPERATE SUPERVISION LOSS ALARM		DOES EACH CIRCUIT OPERATE VALVE RELEASE		MAXIMUM TIME TO OPERATE RELEASE							
			YES	NO	YES	NO	MIN.		SEC.					
TESTS	ALL PIPING HYDROSTATICALLY TESTED AT _____ P.S.I. FOR _____ HOURS DRY PIPING PNEUMATICALLY TESTED _____ P.S.I. FOR _____ HOURS EQUIPMENT OPERATE PROPERLY YES <input type="checkbox"/> NO <input type="checkbox"/> IF NO, STATE REASON _____													
	DRAIN TEST _____ IF GAGE LOCATED NEAR WATER SUPPLY TEST PIPE: _____ P.S.I. STATIC PRESSURE _____ P.S.I. RESIDUAL PRESSURE WITH VALVE IN TEST PIPE OPEN WIDE: _____ P.S.I.													
BLANK TESTING GASKETS	NUMBER USED	LOCATIONS				NUMBER REMOVED								
	<b>NIA</b>													
REMARKS	DATE LEFT IN SERVICE WITH ALL CONTROL VALVES OPEN. <b>10-23-98</b>													
PART "C" SIGNATURES	NAME OF SPRINKLER CONTRACTOR <b>Sprinkler Services</b>						FOR PROPERTY OWNER (SIGNED) <b>Donna A. Hensert</b>						TITLE _____	
	FOR SPRINKLER CONTRACTOR (SIGNED) <b>[Signature]</b>													



*AIA Document A101*

# Standard Form of Agreement Between Owner and Contractor

*where the basis of payment is a  
STIPULATED SUM*

**1987 EDITION**

*THIS DOCUMENT HAS IMPORTANT LEGAL CONSEQUENCES; CONSULTATION WITH AN ATTORNEY IS ENCOURAGED WITH RESPECT TO ITS COMPLETION OR MODIFICATION.*

*The 1987 Edition of AIA Document A201, General Conditions of the Contract for Construction, is adopted in this document by reference. Do not use with other general conditions unless this document is modified.*

*This document has been approved and endorsed by The Associated General Contractors of America.*

## AGREEMENT

made as of the                      Fifteenth                      day of                      July                      in the year of  
Nineteen Hundred and                      Ninety-Eight

**BETWEEN** the Owner:  
*(Name and address)*

The Salvation Army  
Eastern Territory Headquarters  
440 West Nyack Road  
West Nyack, NY 10994

and the Contractor:  
*(Name and address)*

Atlantic Coast Contractors  
550 Forest Avenue, Suite 202  
Portland, ME 04104

The Project is:  
*(Name and location)*

Second Floor Renovations to the  
Salvation Army headquarters  
297 Cumberland Avenue  
Portland, ME 04101

The Architect is:  
*(Name and address)*

Grant Hays Associates  
P.O. Box 6179  
Falmouth, ME 04105

The Owner and Contractor agree as set forth below.

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**ARTICLE 1**  
**THE CONTRACT DOCUMENTS**

The Contract Documents consist of this Agreement, Conditions of the Contract (General, Supplementary and other Conditions), Drawings, Specifications, Addenda issued prior to execution of this Agreement, other documents listed in this Agreement and Modifications issued after execution of this Agreement; these form the Contract, and are as fully a part of the Contract as if attached to this Agreement or repeated herein. The Contract represents the entire and integrated agreement between the parties hereto and supersedes prior negotiations, representations or agreements, either written or oral. An enumeration of the Contract Documents, other than Modifications, appears in Article 9.

**ARTICLE 2**  
**THE WORK OF THIS CONTRACT**

The Contractor shall execute the entire Work described in the Contract Documents, except to the extent specifically indicated in the Contract Documents to be the responsibility of others, or as follows:

The work shall be as described in the Contract Documents and Article 9.

**ARTICLE 3**  
**DATE OF COMMENCEMENT AND SUBSTANTIAL COMPLETION**

**3.1** The date of commencement is the date from which the Contract Time of Paragraph 3.2 is measured, and shall be the date of this Agreement, as first written above, unless a different date is stated below or provision is made for the date to be fixed in a notice to proceed issued by the Owner.

*(Insert the date of commencement, if it differs from the date of this Agreement or, if applicable, state that the date will be fixed in a notice to proceed.)*

The Date of Commencement shall be no later than Monday, August 3, 1998

Unless the date of commencement is established by a notice to proceed issued by the Owner, the Contractor shall notify the Owner in writing not less than five days before commencing the Work to permit the timely filing of mortgages, mechanic's liens and other security interests.

**3.2** The Contractor shall achieve Substantial Completion of the entire Work not later than

*(Insert the calendar date or number of calendar days after the date of commencement. Also insert any requirements for earlier Substantial Completion of certain portions of the Work, if not stated elsewhere in the Contract Documents.)*

The Date of Substantial Completion shall be no later than Monday, October 26, 1998

, subject to adjustments of this Contract Time as provided in the Contract Documents.

*(Insert provisions, if any, for liquidated damages relating to failure to complete on time.)*



**ARTICLE 4**  
**CONTRACT SUM**

**4.1** The Owner shall pay the Contractor in current funds for the Contractor's performance of the Contract the Contract Sum of Two Hundred Ninety One Thousand Nine Hundred Ninety Eight and no/100 Dollars (\$ 291,998.00 ), subject to additions and deductions as provided in the Contract Documents.

**4.2** The Contract Sum is based upon the following alternates, if any, which are described in the Contract Documents and are hereby accepted by the Owner:

*(State the numbers or other identification of accepted alternates. If decisions on other alternates are to be made by the Owner subsequent to the execution of this Agreement, attach a schedule of such other alternates showing the amount for each and the date until which that amount is valid.)*

Alternate #1 – Glazed HM Doors; Alternate #2 – Residential Equipment; and Alternate #3 – Dual Switched Lights are hereby included in this Contract Sum as stated in paragraph 4.1.

**4.3** Unit prices, if any, are as follows:

Not Applicable



**ARTICLE 6**  
**FINAL PAYMENT**

Final payment, constituting the entire unpaid balance of the Contract Sum, shall be made by the Owner to the Contractor when (1) the Contract has been fully performed by the Contractor except for the Contractor's responsibility to correct nonconforming Work as provided in Subparagraph 12.2.2 of the General Conditions and to satisfy other requirements, if any, which necessarily survive final payment; and (2) a final Certificate for Payment has been issued by the Architect; such final payment shall be made by the Owner not more than 30 days after the issuance of the Architect's final Certificate for Payment, or as follows:

**ARTICLE 7**  
**MISCELLANEOUS PROVISIONS**

**7.1** Where reference is made in this Agreement to a provision of the General Conditions or another Contract Document, the reference refers to that provision as amended or supplemented by other provisions of the Contract Documents.

**7.2** Payments due and unpaid under the Contract shall bear interest from the date payment is due at the rate stated below, or in the absence thereof, at the legal rate prevailing from time to time at the place where the Project is located.

*(Insert rate of interest agreed upon, if any.)*

Not Applicable

*(Usury laws and requirements under the Federal Truth in Lending Act, similar state and local consumer credit laws and other regulations at the Owner's and Contractor's principal places of business, the location of the Project and elsewhere may affect the validity of this provision. Legal advice should be obtained with respect to deletions or modifications, and also regarding requirements such as written disclosures or waivers.)*

**7.3** Other provisions:

Not Applicable

**ARTICLE 8**  
**TERMINATION OR SUSPENSION**

**8.1** The Contract may be terminated by the Owner or the Contractor as provided in Article 14 of the General Conditions.

**8.2** The Work may be suspended by the Owner as provided in Article 14 of the General Conditions.



**ARTICLE 9**  
**ENUMERATION OF CONTRACT DOCUMENTS**

9.1 The Contract Documents, except for Modifications issued after execution of this Agreement, are enumerated as follows:

9.1.1 The Agreement is this executed Standard Form of Agreement Between Owner and Contractor, AIA Document A101, 1987 Edition.

9.1.2 The General Conditions are the General Conditions of the Contract for Construction, AIA Document A201, 1987 Edition.

9.1.3 The Supplementary and other Conditions of the Contract are those contained in the Project Manual dated June 8, 1998, and are as follows:

Document	Title	Pages
	Supplementary Conditions to the Conditions of the Contract	4

9.1.4 The Specifications are those contained in the Project Manual dated as in Subparagraph 9.1.3, and are as follows:  
*(Either list the Specifications here or refer to an exhibit attached to this Agreement)*

Section	Title	Pages
---------	-------	-------

See Attachment A

**9.1.5** The Drawings are as follows, and are dated  
*(Either list the Drawings here or refer to an exhibit attached to this Agreement.)*

unless a different date is shown below:

Number	Title	Date
--------	-------	------

See Attachment B

**9.1.6** The Addenda, if any, are as follows:

Number	Date	Pages
--------	------	-------

See Attachment C

Portions of Addenda relating to bidding requirements are not part of the Contract Documents unless the bidding requirements are also enumerated in this Article 9.

**9.1.7** Other documents, if any, forming part of the Contract Documents are as follows:

*(List here any additional documents which are intended to form part of the Contract Documents. The General Conditions provide that bidding requirements such as advertisement or invitation to bid, Instructions to Bidders, sample forms and the Contractor's bid are not part of the Contract Documents unless enumerated in this Agreement. They should be listed here only if intended to be part of the Contract Documents.)*

The Mechanical Design-Build Scope of Work dated June 14, 1998 by HVAC Services Inc., and as attached, shall be made part of this Contract in its entirety. See Attachment D.

This Agreement is entered into as of the day and year first written above and is executed in at least three original copies of which one is to be delivered to the Contractor, one to the Architect for use in the administration of the Contract, and the remainder to the Owner.

OWNER

CONTRACTOR

\_\_\_\_\_  
The Salvation Army

\_\_\_\_\_  
Atlantic Coast Contractors

\_\_\_\_\_  
*(Printed name and title)*

\_\_\_\_\_  
*(Printed name and title)*



**ADDENDUM #1**

DR# 98-074-4574

33-N-020

# 98-0831

TO THE CONTRACT DOCUMENTS FOR:  
SECOND FLOOR RENOVATIONS TO THE  
SALVATION ARMY HEADQUARTERS  
297 CUMBERLAND AVENUE  
PORTLAND, MAINE

ARCHITECT'S PROJECT NUMBER 021098

GRANT HAYS ASSOCIATES  
P. O. BOX 6179  
BALMOUTH, MAINE 04105  
207-871-5900  
207-871-9308 FAX

JUNE 23, 1998

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This addendum modifies, amends, and supplements designated parts of the Contract Documents, Project Specifications, and Drawings for the Second Floor Renovations to the Salvation Army Headquarters, 297 Cumberland Avenue, Portland, Maine dated June 8, 1998, and is hereby made part thereof by reference and shall be as binding as though inserted in its entirety in the locations specified herein. It shall be the responsibility of the Contractor to notify all subcontractors and suppliers he/she proposes to use for the various parts of the work of any changes or modifications contained in this addendum.

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**Addendum #1****CHANGES TO THE SPECIFICATIONS**Section 00100 - Invitation to Bid

1. Revise the bid submission date from Thursday, July 2, 1998 to Thursday, July 9, 1998

Supplemental Conditions to the Conditions of the Contract for Construction

1. Article 14 - Time:

Change 14.4 - Date of Commencement from Monday, July 13, 1998 to Monday, July 20, 1998

Change 14.5 - Date of Substantial Completion from Friday, October 1, 1998 to Friday, October 8, 1998.

Section 09511 - Suspended Acoustical Ceilings

1. ADD to 2.2 as follows:

2. SAT B: Item # 1716 & 1721; Clean Room Mylar; 24" x 48" x 3/4"; square lay-in tile in 15/16" grid.

Section 15100 - Design-Build Fire Sprinkler System

ADD in its entirety as attached.

Section 16000 - Design-Build Electrical

ADD in its entirety as attached.

**CHANGES TO THE DRAWINGS**Sheet A4 - Lower Level Reflected Ceiling Plan

1. ADD ASK - 1 Revision to Kitchen 004 in its entirety as attached.

End of Addendum

## SECTION 15100

### DESIGN - BUILD FIRE SPRINKLERS

1. The design and installation of the fire sprinkler system shall be the responsibility of the sprinkler contractor. Design shall be in conformance with NFPA, BOCA, and the City of Portland Ordinances. Provide a full NFPA 13 Commercial system.
2. Sprinkler contractor shall design the complete fire sprinkler system and obtain construction approval from the Maine State Fire Marshal's Office and the City of Portland prior to starting the work. The sprinkler contractor shall be responsible for all fees associated with the work. Submit shop drawings and calculations for review and approval. Copy the Architect after approvals have been obtained.
3. This contractor shall verify the existing water supply to the building has sufficient capacity for the domestic water needs of the facility and the new fire sprinkler system.
4. The existing building will receive new ceilings in some areas, while other areas will maintain the existing ceilings. The new sprinkler system shall be coordinated with the work performed in each area of the building.
5. Provide fire alarm system tie-in per codes and ordinances as determined by the Fire Marshal's Office and the City of Portland Fire Chief.

END OF SECTION

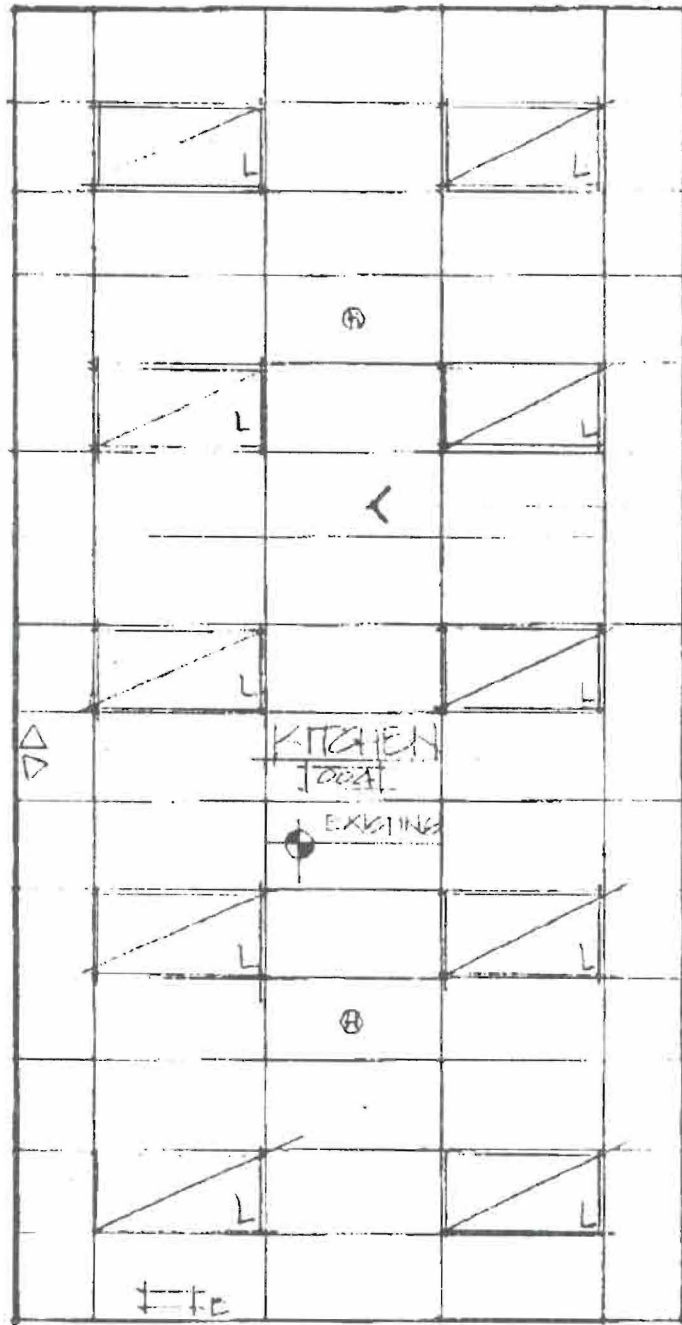


## SECTION 16000

## DESIGN - BUILD ELECTRICAL

1. The design and installation of the electrical systems shall be the responsibility of the electrical contractor. Design shall be in conformance with NFPA 101, '94 Edition; BOCA, '93 Edition; and the National Electric Code (latest edition). The electrical systems shall consist of:
  - A. Electrical power for lighting, outlets, fire alarm, and mechanical systems, including dedicated "clean" power circuits for desktop PC type computer system.
  - B. Fire alarm, heat & smoke detection system as approved by Maine State Fire Marshal and City of Portland Fire Chief and City of Portland Electrical Inspector.
2. The drawings reflect a design layout of fire alarm components and lighting fixtures, as required by the Owner. This section includes a schedule of power requirements, voice-data outlet locations, and specialty switching requirements. Drawings are diagrammatic in nature and indicate approximate locations of electrical work. Because of small scale of drawings some detail has been omitted, but must be furnished to complete the systems without additional cost to Owner. Submit to the Architect for approval the following:
  - A. Product literature describing all fixtures and equipment.
  - B. Layout drawing indicating locations of all electrical outlets, voice & data components, switches and panel locations.
3. The electrical contractor shall test all systems for conformance to all codes and ordinances. This contractor shall be responsible for all fees and permits related to this portion of the work.
4. The electrical contractor shall warranty the work for (1) one year from the date of written owner acceptance.
5. Power and Lighting Requirements:
  - A. All new outlets and switches shall match existing in color and profile except at dedicated circuit locations, which shall be an alternate color as selected by the Architect.

- B. All lights shall be single switched except dual-switched at Alternate #3 fixtures as indicated in the fixture schedule. Switches shall be located on the latch side of doorways; standard mounting height; within room of lighting circuit.
  - C. Provide voice/data double boxes at all areas. Install boxes with conduit to top of wall for Owner's separate network contractor wiring. Boxes shall be located in the field by the Owner, Architect, and Network Consultant prior to rough-in electrical phase.
  - D. All wiring and equipment shall be new.
  - E. Duplex outlets shall be 18" AFF.
  - F. Toilets shall have one GFI outlet 8" above countertop.
6. Smoke/Heat/Fire Alarm Requirements:
- A. Provide new heat and smoke detectors as indicated. All detectors shall be hard wired to the pull/horn/light alarm system.
  - B. Electrical Contractor shall verify location of fire alarm system panels with the City of Portland Fire Chief.
  - C. Electrical Contractor shall provide alarm system design drawings and data prepared by a registered professional electrical engineer licensed to practice in the State of Maine as required by the City of Portland Code Enforcement Department.
7. Mechanical Controls:
- A. This Contractor is responsible to coordinate and provide any power requirements needed by the mechanical systems and controls. Refer to Mr. Robert Mitchell at HVAC Services, Portland, Maine.



CAT 'B'

PARTIAL REFLECTED CELL LAYOUT  
 KITCHEN 004  
 APPENDUM #1 6-23-98

**ASK-1**

# GRANT HAYS ASSOCIATES

ARCHITECTURE ♦ INTERIOR DESIGN

**ADDENDUM #2**98.074.4524  
BIM #2

TO THE CONTRACT DOCUMENTS FOR:  
SECOND FLOOR RENOVATIONS TO THE  
SALVATION ARMY HEADQUARTERS  
297 CUMBERLAND AVENUE  
PORTLAND, MAINE

ARCHITECT'S PROJECT NUMBER 021098

GRANT HAYS ASSOCIATES  
P. O. BOX 6179  
PALMOUTH, MAINE 04105  
207-871-5900  
207-871-9308 FAX

JULY 2, 1998

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This addendum modifies, amends, and supplements designated parts of the Contract Documents, Project Specifications, and Drawings for the Second Floor Renovations to the Salvation Army Headquarters, 297 Cumberland Avenue, Portland, Maine dated June 8, 1998, and is hereby made part thereof by reference and shall be as binding as though inserted in its entirety in the locations specified herein. It shall be the responsibility of the Contractor to notify all subcontractors and suppliers he/she proposes to use for the various parts of the work of any changes or modifications contained in this addendum.

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Addendum #2

## CHANGES TO THE SPECIFICATIONS

### Section 00100 - Invitation to Bid

1. Revise the bid submission date from Thursday, July 9, 1998 to Monday, July 13, 1998.

### Section 01010 - Summary of the Work

Clarification: The work shall be phased as follows:

Phase 1 - First & Second Floor Work

Phase 2 - Lower Level & Second Floor Work

Kitchen Work shall be limited to Friday 2PM through Sunday Midnight.

### Section 15100 - Design-Build Fire Sprinkler System

Clarification: All sprinkler piping shall be concealed except in rooms where the entire ceiling is sheet rock, where sprinkler piping shall be exposed. All exposed piping, hangers, and accessories shall be painted to match sheet rock ceiling color.

Clarification: Sprinkler piping at Lower Level Gymnasium shall be exposed at ceiling. Paint as noted above.

Clarification: Design-build sprinkler system shall have sufficient capacity to accommodate the future three (3) story addition. The addition shall have a footprint of 50' x 60' with a total area of 9,000 square feet. This contractor shall be responsible for all work necessary for upgrading the existing 4" water entrance to accommodate the new sprinkler system, including securing all permits from the authorities having jurisdiction.

### Section 16000 - Design-Build Electrical

Replace the Light Fixture Schedule from Addendum #1 with the Light Fixture Schedule attached herein in its entirety.

Clarification: Provide new lighting switching system for all fixtures at Stage 126 and Chapel 125. New switching system shall be "Multiset" by Lightolier and shall include a master keypad, dimmers, and multi-circuit remote operator. Re-wire existing circuits to new switching location indicated on the drawings. Install blank plates at abandoned switches. Re-wire existing ceiling fan switches to new location as indicated on the drawings.

## CHANGES TO THE DRAWINGS

### Sheet A1 - Second Floor Plan & Details

1. Remove 150 linear feet of free-standing metal 48" high furniture partitions at Open Area 207.
2. Remove wallpaper mural at Staff 219 east wall. Prepare wall surface to receive new finish.

Sheet A5 - Lower Level Reflected Ceilings

1. Clarification: Replace all existing suspended ceiling tile with SAT A or SAT B (match existing sizes) to accommodate installation of new fire alarm and sprinkler systems. Existing suspended ceiling grid to remain. Remove and reinstall grid sections as needed to facilitate the work. Suspended ceiling grid shall be cleaned and touch-up painted where damaged or where ceiling tile removal has caused blemishes prior to installation of new ceiling tiles.

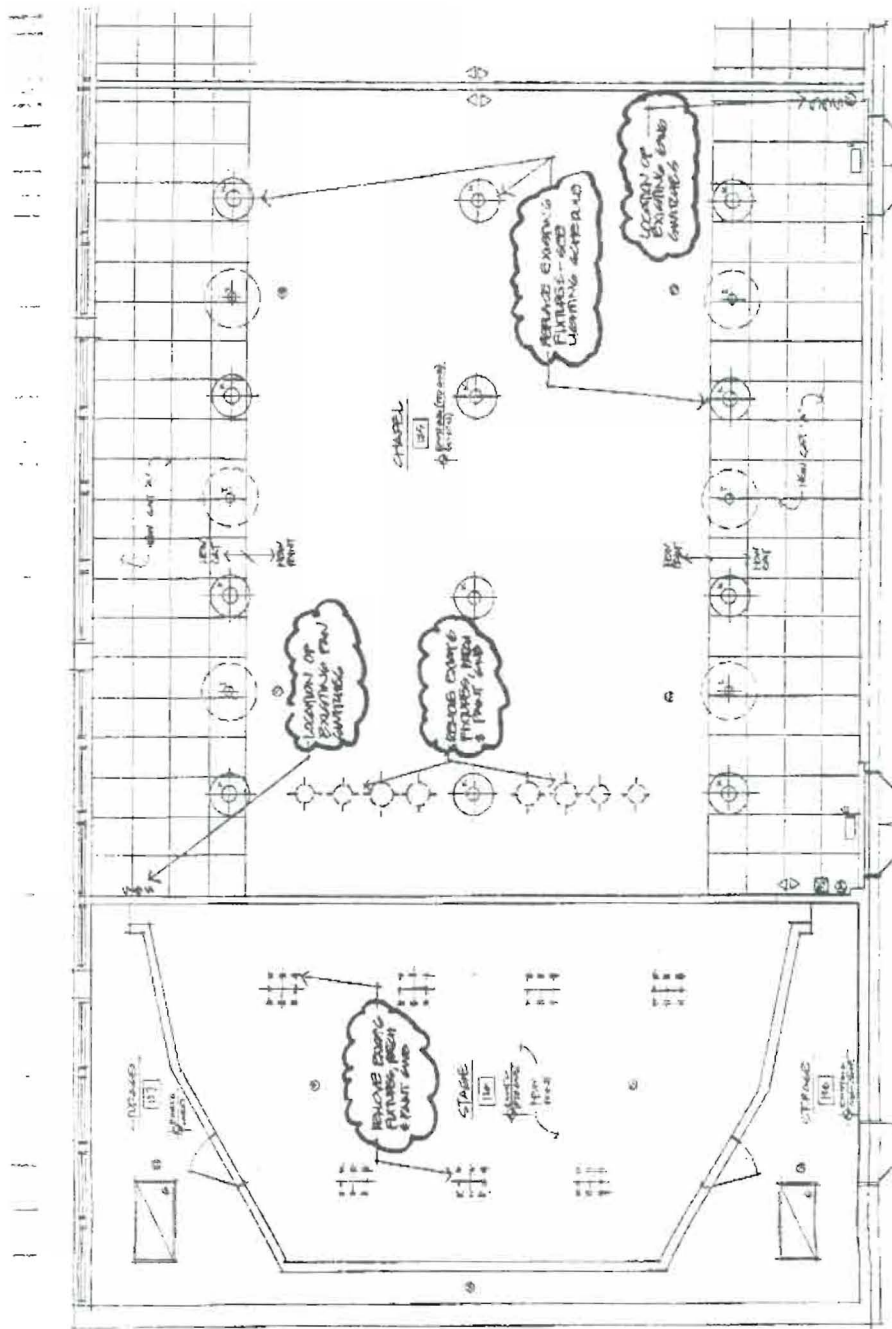
Sheet A7 - Lower Level & First Floor Partial Reflected Ceilings

1. Revise Stage 126 and Chapel 125 lighting layout and switching per ASK - 2 & ASK - 3 as attached in their entirety. Patch & paint sheet rock ceilings to match adjacent surfaces at removed fixtures.
2. Clarification: Replace all existing suspended ceiling tile with SAT A or SAT B (match existing sizes) to accommodate installation of new fire alarm and sprinkler systems. Existing suspended ceiling grid to remain. Remove and reinstall grid sections as needed to facilitate the work. Suspended ceiling grid shall be cleaned and touch-up painted where damaged or where ceiling tile removal has caused blemishes prior to installation of new ceiling tiles.

End of Addendum

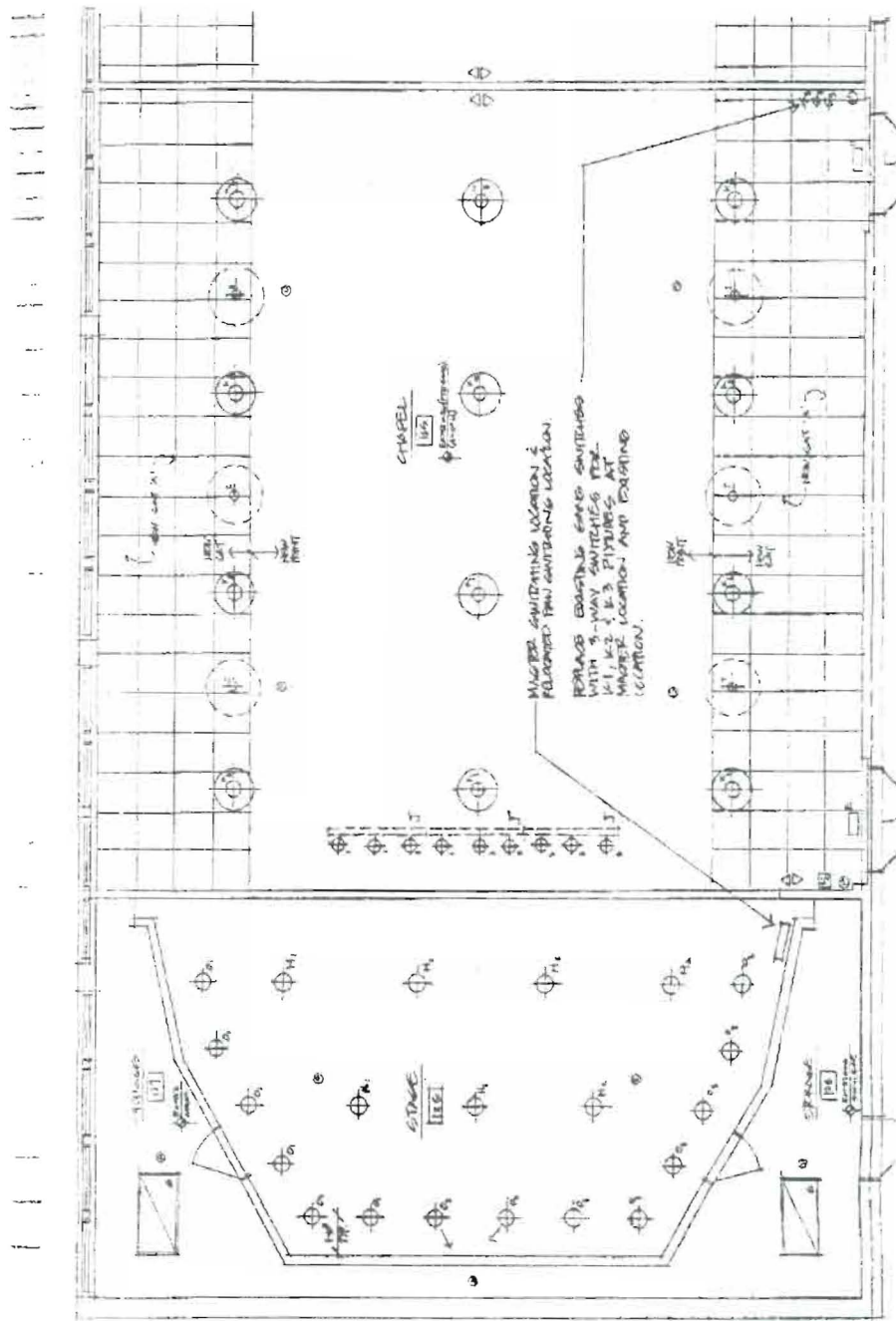
# LIGHT FIXTURE SCHEDULE

TYPE	SYMBOL	MANUFACTURER	MODEL #	TRIM #	WATTS	LAMP	REMARKS	
A		LIGHTOLIER	VRA2G9LP320SO		20W	T8 BI TUBE		
B		LIGHTOLIER	VRA2G18LP34012005		32W	3-T8		
C		LIGHTOLIER	VPS8G10MR240SO		32W	2 T8		
D		LIGHTOLIER	1002P1	1013	75W	PAR30	DIMMER	
E		YORKLIGHT	ELXSPWRU ELXSPWRU-WG-EXL at Gym				EXIT LIGHTS	
F		LIGHTOLIER	1002P1	1048	75W	PAR30	DIMMER	
G		LIGHTOLIER	WA240120SO		32W	T8	SURFACE MID	
H		LIGHTOLIER	1102P1	1113	90W	PAR38	2 DIMMER CIRCUITS	
I		EXISTING FANS						CLEAN FIXTURE
J		LIGHTOLIER	6102WH/6103WH TRACK 8201WH/8247WH		90W	PAR38	2 DIMMER CIRCUITS	
K		LIGHTOLIER	F550-32		75W	T4	3 DIMMER CIRCUITS	
L		LIGHTOLIER	QVS2GPFOS240120SO		32W	T8		
M		LIGHTOLIER	KWS240RS120SOAH5		32W	T8		
N		YORKLIGHT	VAN2WH		11W		EMERG LIGHT	
O		LIGHTOLIER	2000P1	2029CL	50W	PAR20	3 DIMMER CIRCUITS	



<b>GRANT HAYS ASSOCIATES</b> ARCHITECTURE & INTERIOR DESIGN P. O. BOX 6179 FALLOUT, MS 04105 (875) 871-5900 fax (207) 871-9308		<b>JOB TITLE</b> SECOND FLOOR RENOVATIONS TO THE EVACUATION ARMY HEADQUARTERS	
<b>DATE</b> 7-2-98	<b>SCALE</b> NONE	<b>JOB NO.</b> 021019	<b>DRAWING TITLE</b> RENOVATIONS TO PARTIAL REPEATED OLD @ FIRST FLR.
			<b>DRAWING NO.</b> A04 2





<b>GRANT HAYS ASSOCIATES</b> ARCHITECTURE & INTERIOR DESIGN P. O. BOX 6179 FALMOUTH, ME 04105 (207) 871-9300 • FAX (207) 871-9308			<b>JOB TITLE</b> SECOND FLOOR RENOVATIONS TO THE SALVATION ARMY HEADQUARTERS	
<b>DATE</b> 7.2.98	<b>SCALE</b> NONE	<b>JOB NO.</b> 021075	<b>DRAWING TITLE</b> REVISIONS TO THE PARTIAL REAR PORCH LOUNGE & REST ROOM - NEW LIGHTING	
			<b>DRAWING NO.</b> 452 3	

98-0744524  
Bm #2

**ADDENDUM #3**

TO THE CONTRACT DOCUMENTS FOR:  
SECOND FLOOR RENOVATIONS TO THE  
SALVATION ARMY HEADQUARTERS  
297 CUMBERLAND AVENUE  
PORTLAND, MAINE

ARCHITECT'S PROJECT NUMBER 021098

GRANT HAYS ASSOCIATES  
P. O. BOX 6179  
FALMOUTH, MAINE 04105  
207-871-5900  
207-871-9308 FAX

JULY 9, 1998

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This addendum modifies, amends, and supplements designated parts of the Contract Documents, Project Specifications, and Drawings for the Second Floor Renovations to the Salvation Army Headquarters, 297 Cumberland Avenue, Portland, Maine dated June 8, 1998, and is hereby made part thereof by reference and shall be as binding as though inserted in its entirety in the locations specified herein. It shall be the responsibility of the Contractor to notify all subcontractors and suppliers he/she proposes to use for the various parts of the work of any changes or modifications contained in this addendum.

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Addendum #3

**CHANGES TO THE SPECIFICATIONS**

Section 00100 - Invitation to Bid

The Salvation Army is a non-profit sales tax exempt entity. The successful bidder will be provided with the necessary documentation upon execution of the Contract.

Section 09835 - Paint Coat Systems

Clarification: PCS - 1 shall be selected by the Architect from the 400 Series; PCS - 2 shall be selected by the Architect from the 6000 series.

Section 15100 - Design-Build Fire Sprinkler System

Clarification: Design-build sprinkler system shall have sufficient capacity to accommodate the future three (3) story addition. The addition shall have a footprint of 50' x 60' with a total area of 9,000 square feet. This contractor shall be responsible for all work necessary for upgrading the existing water entrance as required to accommodate the new sprinkler system, including securing all permits from the authorities having jurisdiction. Contractor shall be responsible for site work and relocation of existing water entrance from Stair 029 to new enclosed utility closet at the existing storage off Gym 006. See ASK - 4.

Section 16000 - Design-Build Electrical

Clarification: New fire alarm system shall be designed and installed in compliance with the Americans with Disabilities Act and 1996 NFPA 72. Submit full set of layout plans indicating location of all equipment, panels, and devices to the Architect. Provide manufacturer's product data for all proposed components. Submittals shall include detector locations, manual pull locations, horn and strobe locations with candela rating noted on each device.

Clarification: Delete Area of Refuge Communicator devices as the building will be fully sprinkled. Delete detectors as allowed in the case of a fully sprinkled building. Sprinkler system shall be installed to accommodate full supervision by Owner's separate security monitoring contract.

Clarification: Gym 006 shall have ESS or Master Box system.

Add: One fire alarm pull station at Storage 128 and at Kitchen 004 doors.

**CHANGES TO THE DRAWINGS**

Sheet A4 - Lower Level Reflected Ceiling Plan

Add Ask - 4 in its entirety.

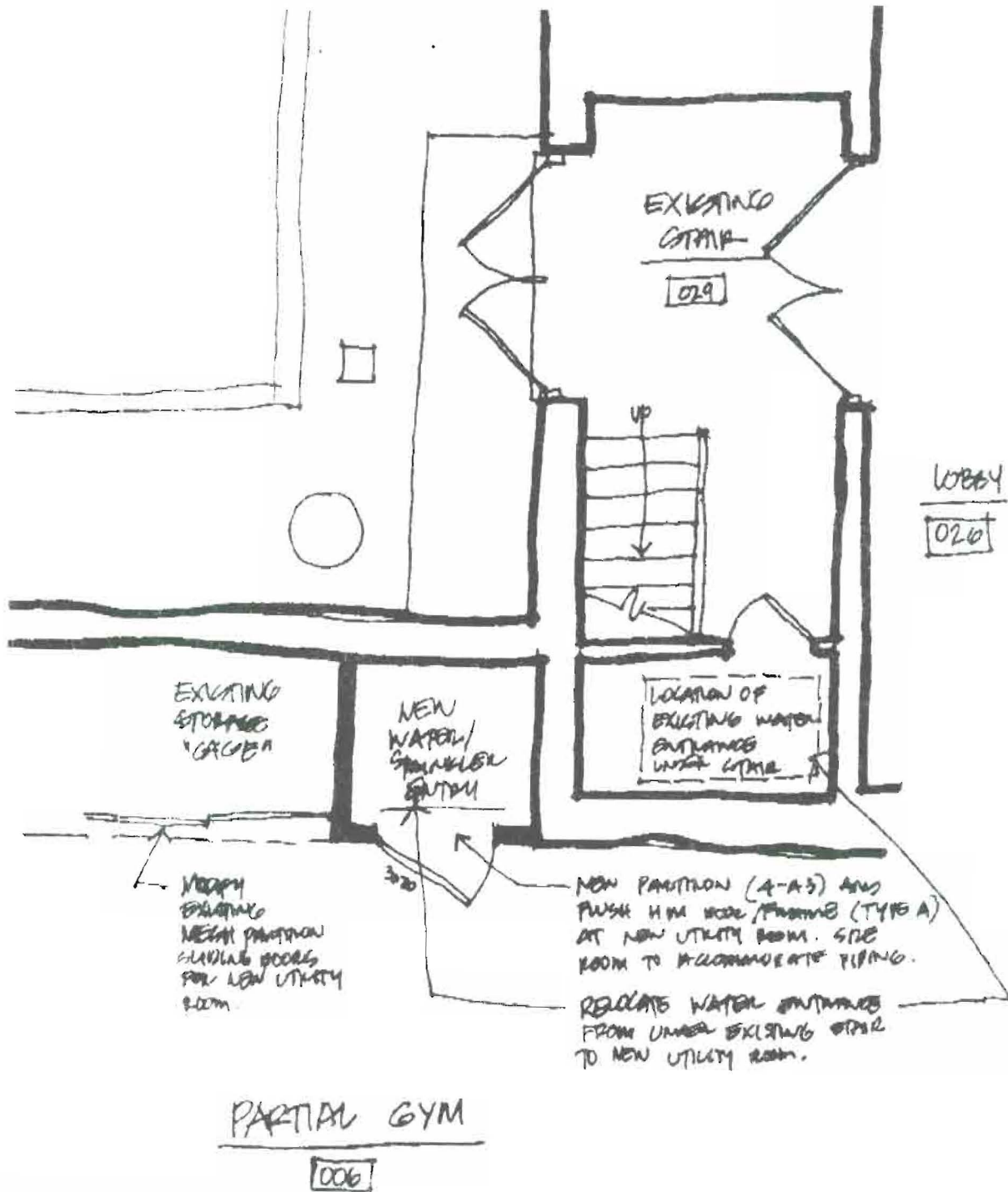
Sheet A2 - Second Floor Plan & Details

Delete Area of Refuge 206. Stair 205 door shall remain in present location (all new work to the door shall remain as specified). Fire Extinguisher and cabinet shall be installed at adjacent chase wall.

Delete plan renovations at Stair 223 and Open Area 224. Existing conditions layout shall remain as is. Areas of refuge not required in a monitored, fully sprinkled building.

End of Addendum





<b>GRANT HAYS ASSOCIATES</b> ARCHITECTURE & INTERIOR DESIGN		<b>JOB TITLE</b> RENOVATIONS TO THE SECOND FLOOR OF THE SALVATION ARMY H.Q.	
P. O. BOX 6179 FALMOUTH, ME 04105 (207) 871-5900 • fax (207) 871-9308		<b>DRAWING TITLE</b> PARTIAL LOWER LEVEL PLAN REVISIONS AT WATER SERVICE	
<b>DATE</b> 7.9.98	<b>SCALE</b> NTG	<b>JOB NO.</b> 021098	<b>DRAWING NO.</b> ASK-4

# BUILDING PERMIT REPORT

DATE: 7/24/94 ADDRESS: 297 Columbia Ave (633-N-020)  
REASON FOR PERMIT: renovation  
BUILDING OWNER: Salvation Army  
CONTRACTOR: Atlanta Coast Contractors  
PERMIT APPLICANT: \_\_\_\_\_  
USE GROUP B BOCA 1996 CONSTRUCTION TYPE 3B

## CONDITION(S) OF APPROVAL

This Permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: \*1, \*8, \*17, \*18, \*19, \*20, \*24, \*26, \*27

- \*1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- 2.5. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material.
3. Precaution must be taken to protect concrete from freezing.
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of ½ inch gypsum board or the equivalent applied to the garage means of ½ inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993).
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
- \*8. **Guardrails & Handrails:** A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38") Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2".
9. Headroom in habitable space is a minimum of 7'6"
10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread, 7" maximum rise.
11. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6' 8")
12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension



**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED**

**Building or Use Permit Pre-Application  
Attached Single Family Dwellings/Two-Family Dwelling  
Multi-Family or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

**NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction (include Portion of Building): <i>297 Combauld Ave, Portland, ME</i>			
Total Square Footage of Proposed Structure		Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Number Chart# <i>033</i> Block# <i>N</i> Lot# <i>020</i>		Owner: <i>Salvation Army Hq</i>	Telephone#: <i>761-9468</i>
Owner's Address: <i>297 Combauld Ave. Portland, ME</i>		Lessee/Buyer's Name (If Applicable)	Cost Of Work:      Fee <i>\$ 250,000.00</i> <i>\$ 127000</i>
Proposed Project Description:(Please be as specific as possible) <i>Renovations to 2nd floor New Sprinkler System &amp; FA System for entire building</i>			
Contractor's Name, Address & Telephone <i>Atlantic Coast Contractors PO Box 10792 Portland ME 04104</i>		<i>761-9468</i>	Rec'd By <i>[Signature]</i>
Current Use: <i>Office</i>		Proposed Use: <i>Office</i>	

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC(Heating, Ventillation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan/Site Plan

Minor or Major site plan review will be required for the above proposed projects. The attached checklist outlines the minimum standards for a site plan.

**4) Building Plans**

**Unless exempted by State Law, construction documents must be designed by a registered design professional.**

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

**Certification**

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>[Signature]</i>	Date: <i>7-27-98</i>
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Building Permit Fee: \$25.00 for the 1st \$1000.cost plus \$5.00 per \$1,000.00 construction cost thereafter.

Additional Site review and related fees are attached on a separate addendum

*033-N-020*



shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.

- 13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
- 14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.)
- 15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.

16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)

17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.

18. The Fire Alarm System shall be maintained to NFPA #72 Standard.

19. The Sprinkler System shall maintained to NFPA #13 Standard.

20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)

21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".

22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.

~~23.~~ Ventilation shall meet the requirements of Chapter 12 Sections 1210. Of the City's Building Code. (crawl spaces & attics)

~~24.~~ All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade.


25. All requirements must be met before a final Certificate of Occupancy is issued.

~~26.~~ All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).

~~27.~~ Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993).

28. Please read and implement the attached Land Use-Zoning report requirements.

- 29. \_\_\_\_\_
- 30. \_\_\_\_\_
- 31. \_\_\_\_\_
- 32. \_\_\_\_\_

  
P. Samuel Hoffes, Building Inspector

cc: Lt. McDougall, PFD  
Marge Schmuckal





CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION 297 Cumberland Ave (033-N-020)

Issued to Salvation Arm Date of Issue 06 November 1998

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 980836, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Second Floor

APPROVED OCCUPANCY

Office Space  
Use Group: B Type: 3B  
BOCA 96

Limiting Conditions:

This certificate supersedes  
certificate issued

Approved:

11/6/98  
.....  
(Date)

.....  
Inspector

.....  
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

ATD