

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

## BUILDING INSPECTION

### PERMIT

Permit Number: 070621

Please Read Application And Notes, If Any, Attached

This is to certify that SALVATION ARMY THE Edgewood Construction

has permission to 4 story, 14,137 sq ft addition

AT 2 CEDAR ST

033 N020001

**PERMIT ISSUED**

AUG 23 2007

CITY OF PORTLAND

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or service is closed-in. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

#### OTHER REQUIRED APPROVALS

Fire Dept. Craig

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_  
Department Name

*[Signature]*  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

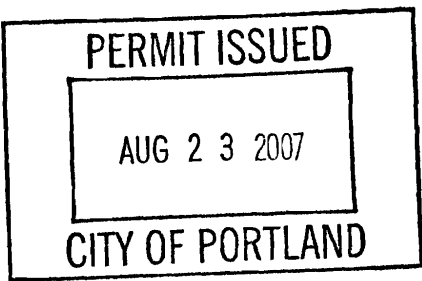
Permit No: 07-0621	Issue Date:	CBL: 033 N020001
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Location of Construction: 2 CEDAR ST	Owner Name: SALVATION ARMY THE	Owner Address: 88 PREBLE ST	Phone:
Business Name:	Contractor Name: Ledgewood Construction	Contractor Address: 27 Maine St. So. Portland	Phone: 2077671866
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	Zone: B-3
Past Use: Commercial	Proposed Use: Commercial - 4 story, 14,137 sq ft addition	Permit Fee: \$16,845.00	Cost of Work: \$1,675,000.00
Proposed Project Description: 4 story, 14,137 sq ft addition		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See Conditioning</i>	INSPECTION: Use Group: <i>B/A3</i> Type: <i>2B</i> <i>8/16/07</i>
		Signature: <i>Greg Cass</i>	Signature: <i>[Signature]</i>
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
		Signature:	Date:

Permit Taken By: Idobson	Date Applied For: 05/25/2007	<b>Zoning Approval</b>
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 13 zone C</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan Maj <input checked="" type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>8/16/07</i>	Zoning Appeal <input checked="" type="checkbox"/> Variance <i>setback</i> <input checked="" type="checkbox"/> Miscellaneous <i>Approval permitted 6/7/07</i> <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input checked="" type="checkbox"/> Approved <i>original 12/7/06</i> <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0621	Date Applied For: 05/25/2007	CBL: 033 N020001
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Location of Construction: 2 CEDAR ST	Owner Name: SALVATION ARMY THE	Owner Address: 88 PREBLE ST	Phone:
Business Name:	Contractor Name: Ledgewood Construction	Contractor Address: 27 Maine St. So. Portland	Phone (207) 767-1866
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	

Proposed Use: Commercial - 4 story, 14,137 sq ft addition	Proposed Project Description: 4 story, 14,137 sq ft addition
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 06/19/2007

**Note:** still waiting for a final stamped site plan approval      **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) Separate permits shall be required for any new signage.

**Dept:** Building      **Status:** Approved      **Reviewer:** Mike Nugent      **Approval Date:** 08/16/2007

**Note:**      **Ok to Issue:**

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Capt Greg Cass      **Approval Date:** 08/07/2007

**Note:**      **Ok to Issue:**

- 1) A single source supplier should be used for all through penetrations.  
I would ask this become a special inspection report.
- 2) Occupancies with an occupant load of 100 persons or more require panic hardware on all doors serving as a means of egress.
- 3) All construction shall comply with NFPA 101
- 4) New elevators are required to fit an 80" x 24" stretcher.
- 5) Installation of a Fire Alarm system requires a Knox Box to be installed per city ordinance
- 6) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance.  
Compliance letters are required.
- 7) The sprinkler system shall be installed in accordance with NFPA 13.
- 8) Application requires State Fire Marshal approval.
- 9) Cutting and welding operations require a separate {hotwork} permit from the Fire dept.
- 10) The fire alarm system shall comply with NFPA 72

**Dept:** Public Works      **Status:** Approved with Conditions      **Reviewer:**      **Approval Date:**

**Note:**      **Ok to Issue:**

**Dept:** Zoning      **Status:** Approved      **Reviewer:** Marge Schmuckal      **Approval Date:** 12/07/2006

**Note:**      **Ok to Issue:**

**Dept:** Parks      **Status:** Approved with Conditions      **Reviewer:** Jeff Tarling      **Approval Date:**

**Note:**      **Ok to Issue:**

<b>Location of Construction:</b> 2 CEDAR ST	<b>Owner Name:</b> SALVATION ARMY THE	<b>Owner Address:</b> 88 PREBLE ST	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Ledgewood Construction	<b>Contractor Address:</b> 27 Maine St. So. Portland	<b>Phone</b> (207) 767-1866
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Commercial	

**Dept:** Fire      **Status:** Approved      **Reviewer:** Cptn Greg Cass      **Approval Date:** 12/12/2006  
**Note:**      **Ok to Issue:**

**Dept:** DRC      **Status:** Approved      **Reviewer:** Philip DiPierro      **Approval Date:** 08/22/2007  
**Note:**      **Ok to Issue:**

**Dept:** Planning      **Status:** Approved with Conditions      **Reviewer:** Jean Fraser      **Approval Date:** 01/23/2007  
**Note:**      **Ok to Issue:**

- 1)  ALL CONDITIONS IN THIS SECTION 1.  That the applicant shall replace the sidewalk along the immediate frontage of the proposed building addition with a brick sidewalk, to be constructed in conformance with a detail for its construction to be submitted and approved by staff; and
2.  That the applicant shall repair the abutting sidewalks and construct new granite curbing in accordance with the memo from Public Works (Michael Farmer) dated January 19, 2007; and
3.  That the applicant shall obtain capacity to serve letters in respect of water and sewer capacity and submit these prior to the issuance of a building permit; and
4.  That the applicant shall submit, for review and approval prior to the issuance of a building permit, plans and details that address the memo from the DRC (Dan Goyette) dated January 18, 2007 in respect of the sanitary sewer line and storm line and sewer pipe sizing; and
5.  That the applicant shall plant 2-3 additional trees along the Oxford Street frontage either within the site or in the sidewalk, the locations to be agreed with Jeff Tarling, City Arborist; and
6.  That the guardrail along Oxford Street be replaced with an attractive bollard and cable system or similar amenity, to be reviewed and approved by staff, and that the site plan be amended accordingly.

**Comments:**

6/19/2007-mes: Original setback variance granted on 12/7/06. A miscellaneous appeal to grant a 6 month extension to the original approval was granted by ZBA on 6/7/07 - Variance is good until 12/7/07.

<b>Location of Construction:</b> 2 CEDAR ST	<b>Owner Name:</b> SALVATION ARMY THE	<b>Owner Address:</b> 88 PREBLE ST	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Ledgewood Construction	<b>Contractor Address:</b> 27 Maine St. So. Portland	<b>Phone</b> (207) 767-1866
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Commercial	

7/10/2007-ldobson: I have commenced the review and have the following questions or require the following information:

- 1) On the page 3 certification form, on the question as to whether this is to be reviewed as separated or non separated mixed uses, the answer you provided was "yes". Please review section 302.3 and provide the selection for review purposes with supporting code justification.
- 2) Please provide a statement of Special Inspections pursuant to section 1704 of the 2003 IBC.
- 3) Please provide Energy conservation code compliance information such as a COM Check report.
- 4) Because we are using existing egress components for the first and second floors, please provide the occupant load of the existing areas, the proposed areas and the measurements of the egress components.
- 5) What is the specific use of the classroom spaces and what age groups will they serve?

7/20/2007-ldobson: With regard to response 1 please provide the horizontal assembly with UL listing. There are numerous duct penetrations etc. Please provide a complete compliance package that addresses these items. Because the Offices occupy more than 10% of the fire area of the first level, please provide a code justification why they are not separated from the A us group. Also there are no dampers for the ducts penetrating the Storage room.

I think we'll need more specific info on the use of the two classrooms, do these serve populations that trigger either "E" issues or "I" issues? The answer was general.

Please provide an analysis of the occupant load for the first floor and the actual measurement of egress components, Please see Table 1005.1.

Is there no ventilation for the second floor (see MH 103...no duct work!

Thanks,

Mike

7/27/2007-mes: Planning gave me a stamped approved site plan. I gave to M.N. to put with the permit that he has.

8/16/2007-ldobson: HOLD for planning (DRC) spoke w/ Phil upstairs not ready

<b>Location of Construction:</b> 2 CEDAR ST	<b>Owner Name:</b> SALVATION ARMY THE	<b>Owner Address:</b> 88 PREBLE ST	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Ledgewood Construction	<b>Contractor Address:</b> 27 Maine St. So. Portland	<b>Phone</b> (207) 767-1866
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Commercial	

8/12/2007-ldobson: From: MIke Nugent [mailto:mjn@portlandmaine.gov]  
 Sent: Sunday, August 05, 2007 11:32 AM  
 To: Kristen Damuth  
 Cc: Gregory Cass; Jeanie Bourke; Lannie Dobson; Paul Stevens  
 Subject: Re: Salvation Army

A couple of things;

The Comcheck for the building envelope was not signed by the engineer.

Please provide another copy of the Statement of Special Inspections

Can you explain the "classroom" use a little better. I assume we are classifying the use (if it's less than 100 kids) as an A3, if so should we be separating it from the adjoining offices as well? (See Section 305.1)

Please provide a detail (w/UL listing) of the horizontal fire separation between the A and B use groups with a penetration protection plan.

Based on the square footage, what is the maximum potential occupant load of rooms 103 and 104 and the fellowship rooms below?

I'm going to bring this into Captain cass for his review. I'm essentially done with the exception of final exiting and fire separation questions.

Thanks!

Need to Determine

Applicant: Salvation Army <sup>completeness</sup>

Date: 10/31/06

met 11/6/06 with Severus

Address: 247 Cumberland Ave

C-B-L: 33-N-20

Barbara - Alex

Panel 13 ~~last~~ met

CHECK-LIST AGAINST ZONING ORDINANCE

33-N-16-17-25

Jer. F.

Date -

# 07-0621

Zone Location -

B-3/R-6

check use of old property along Cedar St

Interior or corner lot -  
get my old notes

Proposed Use/Work -

Addition Along Cedar St

Sevage Disposal -

~ 3,000<sup>+</sup> 4 story - ~ 14,000<sup>+</sup> total

Lot Street Frontage -

7-10-1 Cedar St - 33-N-17

no setbacks

Front Yard -

4-16 Cedar St - 33-N-16-25

OK Attached to Bldg

Side Yard

on a side st

not showing 10' req. received VARIANCE

Projections -

Width of Lot -

Height -

height 35' on dk

height 35' on dk

Lot Area -

BAyside

Lot Coverage/ Impervious Surface -

overlapy -

Area per Family -

of same use based on fixed seats in place of washup

~ 35' overlapy.

Off-street Parking -

REPLACING Ground / fixed seats in the ground

Loading Bays -

1/6 the - Am...

Site Plan - # 2006-0222

Shoreland Zoning/ Stream Protection -

NA

Flood Plains - Panel 13 Zone C

take my old notes...

**Height Districts**

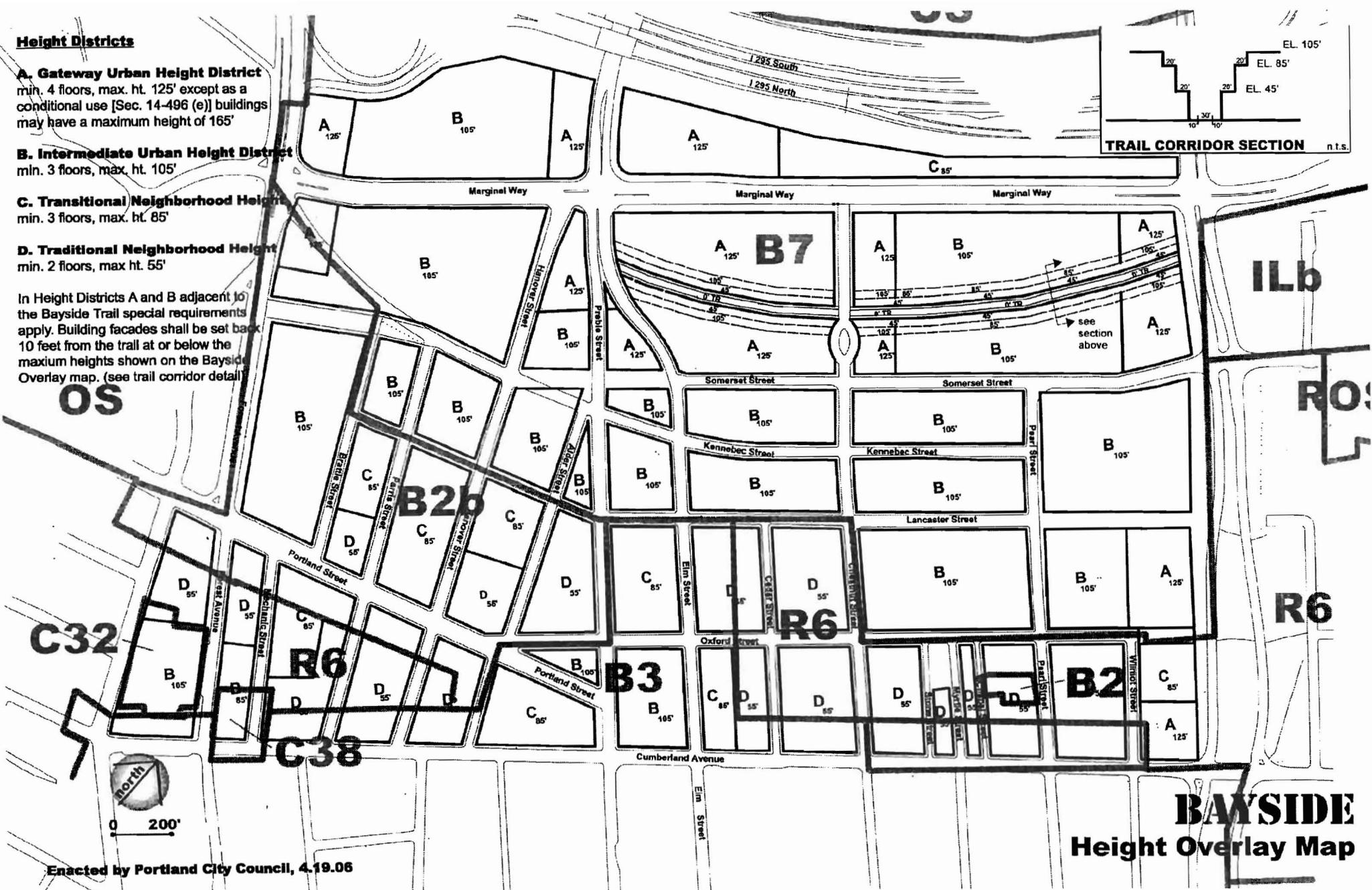
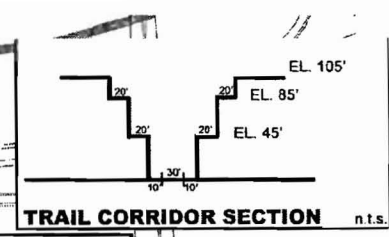
**A. Gateway Urban Height District**  
min. 4 floors, max. ht. 125' except as a conditional use [Sec. 14-496 (e)] buildings may have a maximum height of 165'

**B. Intermediate Urban Height District**  
min. 3 floors, max. ht. 105'

**C. Transitional Neighborhood Height District**  
min. 3 floors, max. ht. 85'

**D. Traditional Neighborhood Height District**  
min. 2 floors, max ht. 55'

In Height Districts A and B adjacent to the Bayside Trail special requirements apply. Building facades shall be set back 10 feet from the trail at or below the maximum heights shown on the Bayside Overlay map. (see trail corridor detail)



**BAYSIDE  
Height Overlay Map**

Enacted by Portland City Council, 4.19.06





10-12 Cedar St  
33-N-17

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

<b>Card Number</b>	1 of 1
<b>Parcel ID</b>	033 N017001
<b>Location</b>	10 CEDAR ST
<b>Land Use</b>	GOVERNMENTAL
<b>Owner Address</b>	SALVATION ARMY 440 WEST NYACK RD WEST NYACK NY 10994
<b>Book/Page</b>	11696/346
<b>Legal</b>	33-N-17 CEDAR ST 10-12 2678SF

**Current Assessed Valuation**

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$61,700	\$142,000	\$203,700

**Property Information**

<b>Year Built</b> 1918	<b>Style</b> Old Style	<b>Story Height</b> 3	<b>Sq. Ft.</b> 3840	<b>Total Acres</b> 0.061		
<b>Bedrooms</b> 9	<b>Full Baths</b> 3	<b>Half Baths</b>	<b>Total Rooms</b> 18	<b>Attic</b> None	<b>Basement</b> Full	

**Outbuildings**

<b>Type</b>	<b>Quantity</b>	<b>Year Built</b>	<b>Size</b>	<b>Grade</b>	<b>Condition</b>
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**Sales Information**

<b>Date</b> 11/01/1994	<b>Type</b> LAND + BLDING	<b>Price</b> \$25,000	<b>Book/Page</b> 11696-346
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**Picture and Sketch**

<b>Picture</b>	<b>Sketch</b>	<b>Tax Map</b>
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[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

**New Search!**

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

**Card Number** 1 of 1  
**Parcel ID** 033 N016001  
**Location** 14 CEDAR ST  
**Land Use** BENEVOLENT & CHARITABLE

**Owner Address** SALVATION ARMY THE  
 440 WEST NYACK RD  
 NYACK NY 10960

**Book/Page** 14109/209  
**Legal** 33-N-16-25  
 CEDAR ST 14-16  
 2371 SF

**Current Assessed Valuation**

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$9,500	\$ 0.00	\$9,500

**Property Information**

<b>Year Built</b>	<b>Style</b>	<b>Story Height</b>	<b>Sq. Ft.</b>	<b>Total Acres</b>	
		1.5		0.054	
<b>Bedrooms</b>	<b>Full Baths</b>	<b>Half Baths</b>	<b>Total Rooms</b>	<b>Attic</b>	<b>Basement</b>

**Outbuildings**

<b>Type</b>	<b>Quantity</b>	<b>Year Built</b>	<b>Size</b>	<b>Grade</b>	<b>Condition</b>
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**Sales Information**

<b>Date</b>	<b>Type</b>	<b>Price</b>	<b>Book/Page</b>
08/01/1998	LAND	\$85,000	14109-209

**Picture and Sketch**

<b>Picture</b>	<b>Sketch</b>	<b>Tax Map</b>
----------------	---------------	----------------

[Click here to view Tax Roll Information.](#)

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**New Search!**

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

**Card Number** 1 of 1  
**Parcel ID** 033 N020001  
**Location** 2 CEDAR ST  
**Land Use** BENEVOLENT & CHARITABLE

**Owner Address**  
 SALVATION ARMY THE  
 88 PREBLE ST  
 PORTLAND ME 04101

**Book/Page**  
**Legal** 33-N-20 CEDAR ST  
 2-8 & CUMBERLAND AVE  
 295-303 17712 SQ FT

**Current Assessed Valuation**

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$474,600	\$1,455,710	\$1,930,310

**Building Information**

Bldg #	Year Built	# Units	Bldg Sq. Ft.	Identical Units
1	1962	1	0	1

<b>Total Acres</b>	<b>Total Buildings</b>	<b>Sq. Ft.</b>	<b>Structure Type</b>	<b>Building Name</b>
0.407	0		OFFICE BUILDING - LOW-RISE	

**Exterior/Interior Information**

Section	Levels	Size	Use
1	01/01	4116	AUDITORIUM/THEATER
1	02/02	3360	MULTI-USE OFFICE
2	B2/B2	6282	MULTI-USE OFFICE
2	01/01	2712	MULTI-USE OFFICE
2	01/01	3570	RELIGIOUS INSTITUTION
2	02/02	2712	MULTI-USE OFFICE

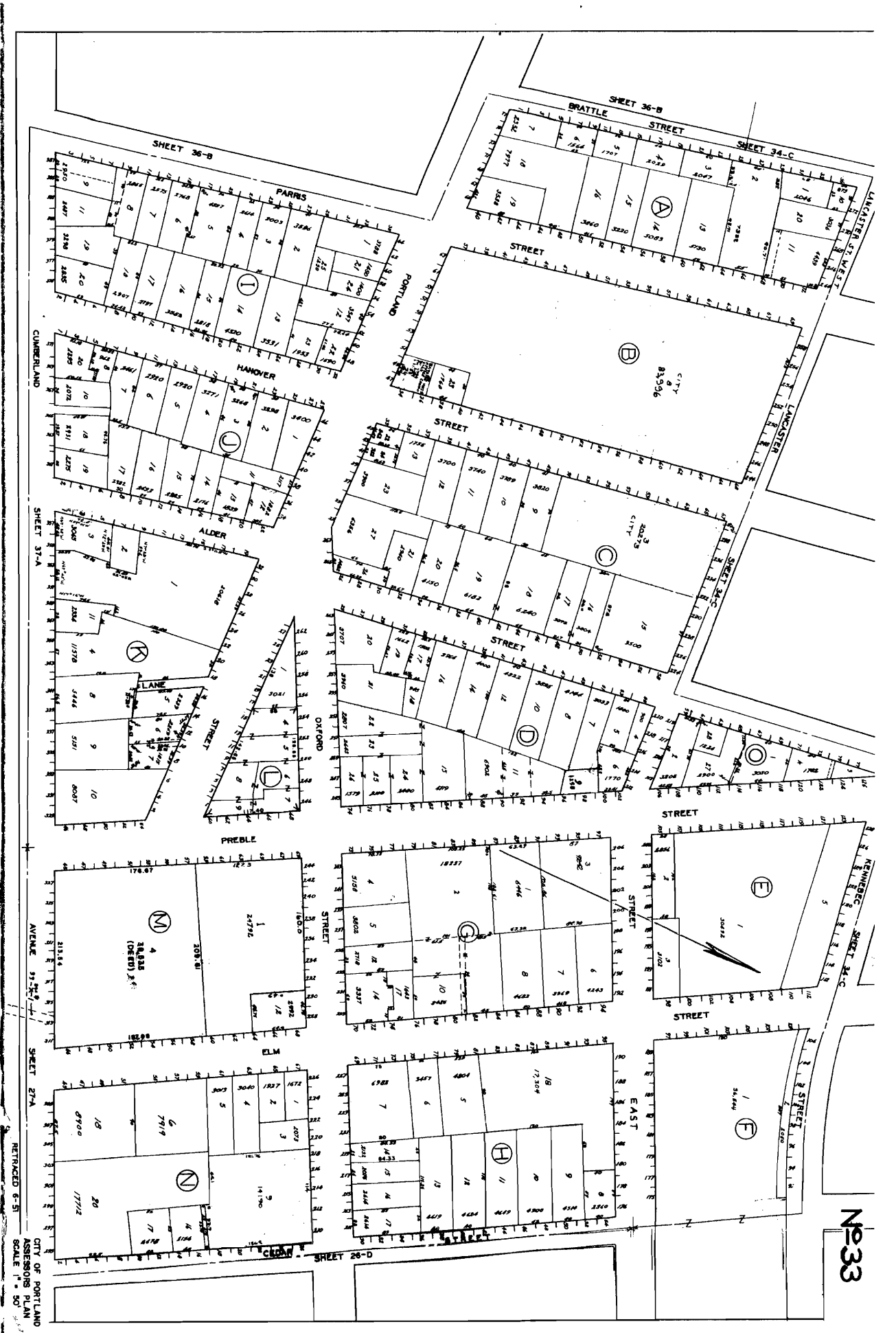
Height	Walls	Heating	A/C
30	BRICK/STONE	HW/STEAM	NONE
8	BRICK/STONE	HW/STEAM	UNIT
8		HW/STEAM	NONE
8	BRICK/STONE	HW/STEAM	NONE
14	BRICK/STONE	HW/STEAM	UNIT
8	BRICK/STONE	HW/STEAM	UNIT
		NONE	NONE
		NONE	NONE

**Building Other Features**

Line	Structure Type	Identical Units
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**Yard Improvements**

Year Built	Structure Type	Length or Sq. Ft.	# Units
1962	ASPHALT PARKING	4220	1



CITY OF PORTLAND  
ASSESSORS PLAN  
SCALE 1" = 50'

RETRACTED 6-51

No 33

W

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP .....

B.O.C.A. TYPE OF CONSTRUCTION ..... 1425

DEC 6 1985

ZONING LOCATION ..... PORTLAND, MAINE Dec. 4, 1985

City Of Portland

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 12 Cedar Street
1. Owner's name and address ... City Center - name ... Telephone ...
2. Lessee's name and address ... Telephone ...
3. Contractor's name and address ... Bay Street Metal CO. - 355 Commercial St. ... Telephone ...
Proposed use of building ... therapy center ... No. of sheets ...
Last use ... same ... No. families ...
Material ... No. stories ... Heat ... Style of roof ... Roofing ...
Other buildings on same lot ... \$70,00 ...
Estimated contractual cost \$ ...
FIELD INSPECTOR--Mr. ... @ 775-5451
Appeal Fees \$ 25.00
Base Fee
Late Fee
TOTAL \$

To install exhaust system as per plans 1 sheet of plans.

Stamp of Special Conditions

send permit to # 3 04101

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? no Is any electrical work involved in this work? yes
Is connection to be made to public sewer? ... If not, what is proposed for sewage? ...
Has septic tank notice been sent? ... Form notice sent? ...
Height average grade to top of plate ... Height average grade to highest point of roof ...
Size, front ... depth ... No. stories ... solid or filled land? ... earth or rock? ...
Material of foundation ... Thickness, top ... bottom ... cellar ...
Kind of roof ... Rise per foot ... Roof covering ...
No. of chimneys ... Material of chimneys ... of lining ... Kind of heat ... fuel ...
Framing Lumber--Kind ... Dressed or full size? ... Corner posts ... Sills ...
Size Girder ... Columns under girders ... Size ... Max. on centers ...
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor ... 2nd ... 3rd ... roof ...
On centers: 1st floor ... 2nd ... 3rd ... roof ...
Maximum span: 1st floor ... 2nd ... 3rd ... roof ...
If one story building with masonry walls, thickness of walls? ... height?

IF A GARAGE

No. cars now accommodated on same lot ... to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION--PLAN EXAMINER Will work require disturbing of any tree on a public street? no
ZONING:
BUILDING CODE: Will there be in charge of the above work a person competent
Fire Dept.: to see that the State and City requirements pertaining thereto
Health Dept.: are observed?



# APPLICATION FOR PERMIT

## PERMIT ISSUED

JUL 17 1985

B.O.C.A. USE GROUP .....

B.O.C.A. TYPE OF CONSTRUCTION ..... 0.7.3.8

ZONING LOCATION ... B-2 ..... PORTLAND, MAINE .. July 9, 1985

CITY of PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ... 12 CEDAR STREET ..... Fire District #1 , #2

1. Owner's name and address (Eutaw) Mark Stinson, Assoc. .... Telephone .. 774-6141

2. Lessee's name and address ..... 813 Washington Avenue ... 04103 ... Telephone .....

3. Contractor's name and address ..... (attn: Judith D'Amico) ..... Telephone .....

..... No. of sheets .....

Proposed use of building .. ~~3 unit~~ 1 dwelling, 2 educational ..... No. families .....

Last use ..... 3 ~~unit~~ dwelling units ..... No. families .....

Material ..... No. stories ..... Heat ..... Style of roof ..... Roofing .....

Other buildings on same lot .....

Estimated contractual cost \$ .....

FIELD INSPECTOR—Mr. .... Change of Use Fee \$ 25.00

@ 775-5451

Base Fee .....

Late Fee .....

change of use from 3 unit apartment house to 1 apartment and 2 educational units

TOTAL \$ 25.00

change of use only - will file for alterations

Stamp of Special Conditions

**NOTE TO APPLICANT:** Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

### DETAILS OF NEW WORK

Is any plumbing involved in this work? ..... Is any electrical work involved in this work? .....

Is connection to be made to public sewer? ..... If not, what is proposed for sewage? .....

Has septic tank notice been sent? ..... Form notice sent? .....

Height average grade to top of plate ..... Height average grade to highest point of roof .....

Size, front ..... depth ..... No. stories ..... solid or filled land? ..... earth or rock? .....

Material of foundation ..... Thickness, top ..... bottom ..... cellar .....

Kind of roof ..... Rise per foot ..... Roof covering .....

No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat ..... fuel .....

Framing Lumber—Kind ..... Dressed or full size? ..... Corner posts ..... Sills .....

Size Girder ..... Columns under girders ..... Size ..... Max. on centers .....

Studs (outside walls and carrying partitions) 2x4-16 O. C. Bridging in every floor and flat roof span over 8 feet .....

Joists and rafters: 1st floor ..... 2nd ..... 3rd ..... roof .....

On centers: 1st floor ..... 2nd ..... 3rd ..... roof .....

Maximum span: 1st floor ..... 2nd ..... 3rd ..... roof .....

If one story building with masonry walls, thickness of walls? ..... height? .....

### IF A GARAGE

No. cars now accommodated on same lot ..... to be accommodated ..... number commercial cars to be accommodated .....

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

APPROVALS BY ..... DATE

BUILDING INSPECTION—PLAN EXAMINER

ZONING

BUILDING CODE

Fire Dept.

Health Dept.

Other

### MISCELLANEOUS

Will work require disturbing of any tree on a public street? .....

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? .....

Signature of Applicant

Phone # 775-5654

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP ..... 001425 .....

B.O.C.A. TYPE OF CONSTRUCTION .....

DEC 6 1985

ZONING LOCATION ..... PORTLAND, MAINE .. Dec.. 4.. 1985

City Of Portland

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 12 Cedar Street
1. Owner's name and address Amity Center - same
2. Lessee's name and address
3. Contractor's name and address Bay Sheet Metal Co., 355 Commercial St.
Proposed use of building therapy center
Last use same
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$ 870.00

FIELD INSPECTOR-Mr. @ 775-5451
Appeal Fees \$
Base Fee 25.00
Late Fee
TOTAL \$

To install exhaust system as per plans
1 sheet of plans.

send permit to # 3 04101

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? no
Is any electrical work involved in this work? yes
Is connection to be made to public sewer?
Has septic tank notice been sent?
Height average grade to top of plate
Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber-Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION PLAN EXAMINER Will work require disturbing of any tree on a public street?
ZONING:
BUILDING CODE: Will there be in charge of the above work a person competent
Fire Dept. James Y. (signature) to see that the State and City requirements pertaining thereto
Health Dept. are observed? yes
Others:

Signature of Applicant Wayne Smith Phone # same
Type Name of above Wayne Smith for 1 2 3 4



James W. ...  
Peter Coyne  
Gordon Smith  
Jill Hunter

# CITY OF PORTLAND, MAINE

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## ZONING BOARD OF APPEALS

Extension of Variance:

Miscellaneous Appeal

### DECISION

Date of public hearing: June, 7, 2007

Name and address of applicant: Salvation Army  
297 Cumberland Ave  
Po Box 3647

Location of property under appeal: Portland ME 04104  
297 Cumberland Ave

For the Record:

Names and addresses of witnesses (proponents, opponents and others):

Mark Johnson  
SMRT  
144 Fore St  
Portland, ME 04104

Exhibits admitted (e.g. renderings, reports, etc.):

LAST VARIANCE

**COPY**

Findings of Fact and Conclusions of Law:

A. Standard for extension of variance time period pursuant to Portland City Code §14-473(e):

No variance permitting the erection or alteration of a building shall be valid for a period longer than six (6) months, or such other time as may be fixed at the time granted not to exceed two (2) years, unless a building permit for such erection or alteration is issued and construction is actually begun within that period and is thereafter diligently pursued to completion. **One (1) or more extensions of said expiration dates may be granted if the facts constituting the basis of the decision have not materially changed and the two-year period is not exceeded thereby.** No variance relating to the establishment or maintenance of a use not involving a building or structure shall be valid for a period longer than six (6) months, or such other time as may be fixed at the time granted not to exceed two (2) years, unless an occupancy permit is issued and a use commenced within such period; provided, however, that one (1) or more extensions of said time may be granted if the facts constituting the basis of the decision have not materially changed, and the two-year period is not exceeded thereby.

Satisfied  Not Satisfied

Reason:

Conclusion: (check one)

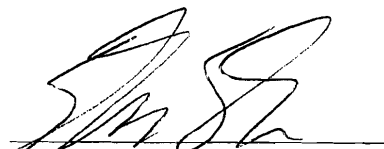
4-0

Option 1: The Board finds that the relevant standard described in section A above have been satisfied and therefore GRANTS the application.

Option 2: The Board finds that the relevant standard described in section A above have NOT been satisfied and therefore DENIES the application.

Dated:

6/17/07

  
Board Chair

**COPY**

# CITY OF PORTLAND, MAINE

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## ZONING BOARD OF APPEALS

### APPEAL AGENDA

The Board of Appeals will hold a public hearing on Thursday, June 7, 2007 at 6:30 p.m. on the second floor, Room 209, City Hall, 389 Congress Street, Portland, Maine to hear the following appeals:

To: City Clerk  
From: Marge Schmuckal, Zoning Administrator  
Date: June 8, 2007  
RE: Action taken by the Zoning Board of Appeals on June 7, 2007.

The meeting was called to order at 6:35pm.

Roll call as follows:

Members Present: David Dore, Peter Coyne (acting secretary), Jill Hunter and Gordon Smith.

Members Absent: Kate Knox, Philip Saucier and Peter Thornton.

#### 1. New Business:

##### A. Conditional Use Appeal:

95 Frances Street, Richard Tibbals, owner, Tax Map #186 Block B Lot #010 in the R3 Residential Zone. The appellant is seeking a Conditional Use Appeal under section 14-391 (g) of the City of Portland Zoning Ordinance. Appellant is requesting a change of use from a legal two unit to a legal three unit through legalization of non conforming dwelling unit. Representing the appeal is the owner. (Postponed from the May 17, 2007 meeting; due to a lack of quorum).

**Board voted 4-0 and granted the Conditional Use Appeal.**

##### B. Miscellaneous Appeal:

297 Cumberland Avenue / 2 Cedar Street, The Salvation Army, owner Tax Map #033 Block N Lot #020 in the B3 Downtown Business Zone and R6 Residential Zone is seeking a Miscellaneous Appeal under section 14-473 (e) of the City of Portland Zoning Ordinance. Appellant is requesting a six month extension of their required six month approval granted from the Practical Difficulty Variance Appeal on December 7, 2006, and the Certificate of Variance Approval, dated on December 14, 2006. Representing the Appeal is the owner and Mark Johnson of SMRT. **Board voted 4-0 and granted the Miscellaneous Appeal.**

##### C. Practical Difficulty Variance Appeal:

88-90 Kent Street Lauren and Michael Bove, owners, Tax Map #284 Block D Lot #029 in the R3 Residential Zone. The appellant is seeking a Practical Difficulty Variance Appeal under section 14-336 (a) of the City of Portland Zoning Ordinance. Appellant is requesting a set back variance, from the required 20' front yard set back, to a 12' front yard set back for an off street parking space which has a 19' required length. This will allow for the proposed conversion of the existing garage into a study. Representing the appeal is owners. **Board voted 4-0 and granted the Practical Difficulty Appeal.**

**COPY**



**CITY OF PORTLAND**

**CERTIFICATE OF VARIANCE APPROVAL**

I, David Dore, the duly appointed Chair of the Board of Appeals for the City of Portland, Cumberland County and State of Maine, hereby certify that on the 7<sup>th</sup> day of December, 2006, the following variance was granted pursuant to the provisions of 30-A M.R.S.A. Section 4353(5) and the City of Portland's Code of Ordinances.

1. **Current Property Owner: The Salvation Army**
2. **Property:** 297 Cumberland Avenue, 2-8 Cedar Street, Portland, ME **CBL: 033-N-020**  
Cumberland County Registry of Deeds, Book 2616, Page 317  
Last recorded deed in chain of Title: July 14, 1961
3. **Variance and Conditions of Variance:**  
To grant relief from section 14-139(d) of the City of Portland Land Use Ordinance to allow a zero (0) side yard setback on a side street instead of the required ten (10) foot side yard setback on a side street.

IN WITNESS WHEREOF, I have hereto set my hand and seal this 14th day of December, 2006.

, Chair of  
City of Portland Zoning Board, David Dore

DAVID DORE  
(Printed or Typed Name)

STATE OF MAINE  
Cumberland, ss.

Then personally appeared the above-named David Dore and acknowledged the above certificate to be his free act and deed in his capacity as Chairman of the Portland Board of Appeals, with his signature witnessed on December 14, 2006

Received  
Recorded Register of Deeds  
Jan 04, 2007 03:49:00P  
Cumberland County  
Panella E. Lovley

(Printed or Typed Name)

Notary Public  
Margaret Schmuckal

PURSUANT TO 30-A M.R.S.A. SECTION 4353(5), THIS CERTIFICATE MUST BE RECORDED BY THE PROPERTY OWNER IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS WITHIN 90 DAYS FROM FINAL WRITTEN APPROVAL FOR THE VARIANCE TO BE VALID. FURTHERMORE, THIS VARIANCE IS SUBJECT TO THE LIMITATIONS SET FORTH IN SECTION 14-474 OF THE CITY OF PORTLAND'S CODE OF ORDINANCES.

**From:** Barbara Barhydt  
**To:** Bourke, Jeanie; Fraser, Jean  
**Date:** 5/31/2007 11:28:31 AM  
**Subject:** Salvation Army Demolition Permit

Hi Jeanie and Jean:

I received a call from Mark Johnson, SMRT, regarding the Salvation Army project, which the Planning Board approved recently. He wanted to know if a demolition permit could be issued prior to submitting a performance guarantee. I have reread the site plan ordinance and it is my interpretation that the performance guarantee must be in place prior to the issuance of a demolition permit. I have left him that message for him. I believe my read of the ordinance is consistent with what has been done in the past.

Jean, since you were the planner on this project I told him you would be the contact.

Thanks.

Barbara

**CC:** Jaegerman , Alex; Schmuckal, Marge



**CITY OF PORTLAND**

**CERTIFICATE OF VARIANCE APPROVAL**

I, David Dore, the duly appointed Chair of the Board of Appeals for the City of Portland, Cumberland County and State of Maine, hereby certify that on the 7<sup>th</sup> day of December, 2006, the following variance was granted pursuant to the provisions of 30-A M.R.S.A. Section 4353(5) and the City of Portland's Code of Ordinances.

1. **Current Property Owner: The Salvation Army**
2. **Property:** 297 Cumberland Avenue, 2-8 Cedar Street, Portland, ME    **CBL: 033-N-020**  
Cumberland County Registry of Deeds, Book 2616, Page 317  
Last recorded deed in chain of Title: July 14, 1961
3. **Variance and Conditions of Variance:**  
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IN WITNESS WHEREOF, I have hereto set my hand and seal this                      14th day of December, 2006.

City of Portland Zoning Board, David Dore

David Dore  
(Printed or Typed Name)

STATE OF MAINE  
Cumberland, ss.

Then personally appeared the above-named David Dore and acknowledged the above certificate to be his free act and deed in his capacity as Chairman of the Portland Board of Appeals, with his signature witnessed on December 14, 2006

(Printed or Typed Name)

Notary Public

Margaret Schmuckal

PURSUANT TO 30-A M.R.S.A. SECTION 4353(5), THIS CERTIFICATE MUST BE RECORDED BY THE PROPERTY OWNER IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS WITHIN 90 DAYS FROM FINAL WRITTEN APPROVAL FOR THE VARIANCE TO BE VALID. FURTHERMORE, THIS VARIANCE IS SUBJECT TO THE LIMITATIONS SET FORTH IN SECTION 14-474 OF THE CITY OF PORTLAND'S CODE OF ORDINANCES.

# CITY OF PORTLAND, MAINE

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## ZONING BOARD OF APPEALS

### "Practical Difficulty" Variance Appeal

#### DECISION

Date of public hearing:

12/7/06

Name and address of applicant:

The Salvation Army, 297 Cumberland Avenue / 2 Cedar Street, Portland, ME

Location of property under appeal:

297 Cumberland Avenue / 2 Cedar Street, Portland, ME.

For the Record:

Names and addresses of witnesses (proponents, opponents and others):

Mark Johnson, Portland

Paul Stevens, Portland

Myr. Frank Kirk, Portland

Chris Varronis, Bernstein Shur

Exhibits admitted (e.g. renderings, reports, etc.):

Set of site plans

Findings of Fact and Conclusions of Law:

“Practical Difficulty” Variance standard pursuant to Portland City Code §14-473(c)(3):

1. The application is for a variance from dimensional standards of the zoning ordinance (lot area, lot coverage, frontage, or setback requirements).

Satisfied  Not Satisfied

Reason: Req't is for 10'; proposed setback is 0'.

2. Strict application of the provisions of the ordinance would create a practical difficulty, meaning it would both preclude a use of the property which is permitted in the zone in which it is located and also would result in significant economic injury to the applicant.

Satisfied  Not Satisfied

Reason: the costs of masonry, the particular site of the lot, + not grading would preclude use of the space.

3. The need for a variance is due to the unique circumstances of the property and not to the general conditions in the neighborhood.

Satisfied  Not Satisfied

Reason: uniquely situated 2 zones.

4. The granting of the variance will not produce an undesirable change in the character of the neighborhood and will not have an unreasonably detrimental effect on either the use or fair market value of abutting properties.

Satisfied  Not Satisfied

Reason: will make improvements in the area.



5. The practical difficulty is not the result of action taken by the applicant or a prior owner.

Satisfied  Not Satisfied

Reason: The zone line caused the practical difficulty.

6. No other feasible alternative is available to the applicant, except a variance.

Satisfied  Not Satisfied

Reason: Testing has been done it is not impossible but feasible if more defined as practical taking into consideration costs and other considerations.

7. The granting of a variance will not have an unreasonably adverse effect on the natural environment.

Satisfied  Not Satisfied

Reason: No natural environment, perhaps will be important.

8. The property is not located, in whole or in part, within a shoreland area, as defined in 38 M.R.S.A. § 435, nor within a shoreland zone or flood hazard zone.

Satisfied  Not Satisfied

Reason: Not in shoreland zone

**Conclusion:** (check one)

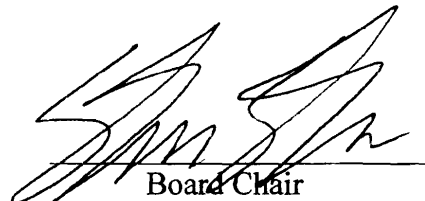
Option 1: The Board finds that the standards described above (1 through 8) have been satisfied and therefore GRANTS the application.

Option 2: The Board finds that while the standards described above (1 through 8) have been satisfied, certain additional conditions must be imposed to minimize adverse effects on other property in the neighborhood, and therefore GRANTS the application SUBJECT TO THE FOLLOWING CONDITIONS:

Option 3: The Board finds that the standards described above (1 through 8) have NOT all been satisfied and therefore DENIES the application.

Dated:

12/7/06

  
Board Chair



ARCHITECTURE  
ENGINEERING  
PLANNING

# Letter of Transmittal

ATTN:  
Company: **LEDGEWOOD**

Date: **18 May 07**  
From: **Kristen Damuth**  
Re:  
Project: **SALVATION ARMY**  
Job #: **05023**

- ▶ We are sending you:  Attached  Under separate cover via \_\_\_\_\_ the following:
- Shop drawings  Prints  Plans  Samples  Specifications
- Copy of letter  Change Order  Other: \_\_\_\_\_

Copies	Date	No	Description
1	5/16/07		IFC Band set

- ▶ These are transmitted as checked below:
- For approval  Approved as submitted  Resubmit \_\_\_\_\_ copies for approval
- For your use  Approved as noted  Submit \_\_\_\_\_ copies for distribution
- As requested  Returned for corrections  Return \_\_\_\_\_ corrected prints
- For review and comment  Other: \_\_\_\_\_
- For BIDS DUE \_\_\_\_\_, 20\_\_\_\_  Prints RETURNED AFTER LOAN to us

▶ Remarks:

cc: **For the City of Portland Bus. permit,**

Signature: **Kristen**

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

<b>Card Number</b>	1 of 1
<b>Parcel ID</b>	033 N017001
<b>Location</b>	10 CEDAR ST
<b>Land Use</b>	GOVERNMENTAL
 <b>Owner Address</b>	 SALVATION ARMY 440 WEST NYACK RD WEST NYACK NY 10994
 <b>Book/Page</b>	 11696/346
<b>Legal</b>	33-N-17 CEDAR ST 10-12 2678SF

Current Assessed Valuation

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$61,700	\$142,000	\$203,700

Property Information

<b>Year Built</b> 1918	<b>Style</b> Old Style	<b>Story Height</b> 3	<b>Sq. Ft.</b> 3840	<b>Total Acres</b> 0.061		
<b>Bedrooms</b> 9	<b>Full Baths</b> 3	<b>Half Baths</b>	<b>Total Rooms</b> 18	<b>Attic</b> None	<b>Basement</b> Full	

Outbuildings

<b>Type</b>	<b>Quantity</b>	<b>Year Built</b>	<b>Size</b>	<b>Grade</b>	<b>Condition</b>
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Sales Information

<b>Date</b> 11/01/1994	<b>Type</b> LAND + BLDING	<b>Price</b> \$25,000	<b>Book/Page</b> 11696-346
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Picture and Sketch

<b>Picture</b>	<b>Sketch</b>	<b>Tax Map</b>
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[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

**New Search!**

**From:** Marge Schmuckal  
**To:** ALEX JAEGERMAN; Barbara Barhydt; Jean Fraser; Lee Urban  
**Date:** 11/28/2006 4:21:54 PM  
**Subject:** 10-12 Cedar Street - Salvation Army

I have received nothing from SMRT as to the use of this building. Since tensions are rising, I have done the research. And this is what I found (do you hear the drum rolls?).

In July 1985, our office shows a permit to change the use from "3 dwelling units to 1 apartment and 2 educational units". I know your next question.... What is an educational unit? Let me go on.

In December 1985, our office shows a permit to install an exhaust unit for Amity Center. That permit considers the use to be a "therapy center". I am thinking that the two educational units were for instruction and were not residential dwelling units as the permit request reflects.

Based upon our records, I have determined that there was only one lawfully existing dwelling unit in this building (10-12 Cedar Street). The removal of one lawfully existing dwelling unit in a building does not trigger the requirement of replacement housing unless the intended use after demolition is for a parking lot. That is not the case here. After demolitions, there will be an addition to the Salvation Army building that basically encompassed the lot on which the building now stands. The replacement housing ordinance would not be a factor in this particular situation.

Marge



# CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT  
INSPECTION SERVICES DIVISION

July 10, 1985

Mark Stimson Associates  
813 Washington Avenue  
Portland, Maine 04103  
c/o Judith D'Amico

Re: 12 Cedar Street

Dear Ms. D'Amico:

Your application for a change of use of 12 Cedar Street from a three-family dwelling unit to a one-family with two adult education units has been reviewed and a permit for this change has been granted.

A permit to make the alterations for this change must be submitted, and approval of the alterations must be granted, before any work is started.

Sincerely,

P. Samuel Hoffses  
Chief of Inspection Services

772-1247  
**APPLICATION FOR PERMIT**

**PERMIT ISSUED**

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

0 738

ZONING LOCATION ... B-2

PORTLAND, MAINE JULY 9, 1985

CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications.

LOCATION ... 12 Cedar Street

Fire District #1  #2

1. Owner's name and address ((future) Mark Stimson Assoc.

Telephone 774-6141

2. Lessee's name and address 813 Washington Avenue, 04103

Telephone

3. Contractor's name and address (444) Judith D'Amico

Telephone

Proposed use of building ... ~~3 unit~~ 1 dwelling / 2 educational

No. of sheets

Last use ... 3 ~~unit~~ dwelling units

No. families

No. families

Material ... No. stories ... Heat ... Style of roof ... Roofing

Other buildings on same lot

Estimated contractual cost \$

Appeal Fees

\$

FIELD INSPECTOR—Mr.

Change of Use

25.00

Base Fee

Late Fee

TOTAL

\$ 25.00

change of use from 3 unit apartment house to 1 apartment and 2 educational units

change of use only - will file for alterations

Stamp of Special Conditions

**PERMIT ISSUED WITH LETTER**

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

**DETAILS OF NEW WORK**

Is any plumbing involved in this work? Is any electrical work involved in this work?  
Is connection to be made to public sewer? If not, what is proposed for sewage?  
Has septic tank notice been sent? Form notice sent?  
Height average grade to top of plate Height average grade to highest point of roof  
Size, front depth No. stories Solid or filled land? earth or rock?  
Material of foundation Thickness, top bottom cellar  
Kind of roof Rise per foot Roof covering  
No. of chimneys Material of chimney of lining Kind of heat fuel  
Framing Lumber—Kind Dressed or full size? Corner posts Sills  
Size Girder Columns under girders Size Max. on centers  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet  
Joists and rafters: 1st floor 2nd 3rd roof  
On centers: 1st floor 2nd 3rd roof  
Maximum span: 1st floor 2nd 3rd roof  
If one story building with masonry walls, thickness of walls? height?

**IF A GARAGE**

No. cars now accommodated on same lot, to be accommodated, number commercial cars to be accommodated  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

DATE

MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER

Will work require disturbing of any tree on a public street?

ZONING: *[Signature]*

Will there be in charge of the above work a person competent

BUILDING CODE:

with the State and City requirements pertaining thereto

Fire Dept.:

Approved

Health Dept.:

Others:

Signature of Applicant

*[Signature]*

774-6141  
775-5654

Type Name of above

JUDITH D'AMICO

Other and Address

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP ..... 001425

DEC 6 1985

B.O.C.A. TYPE OF CONSTRUCTION .....

ZONING LOCATION ..... PORTLAND, MAINE .. Dec 4, 1985

City Of Portland

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 12 Cedar Street Fire District #1  #2

1. Owner's name and address Amity Center - same Telephone no phone yet

2. Lessee's name and address Telephone 751-2092

3. Contractor's name and address Bay Sheet Metal Co. - 355 Commercial St. Telephone 751-2092

Proposed use of building therapy center No. of sheets

Last use same No. families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated contractual cost \$ 870.00 Appeal Fees \$

FIELD INSPECTOR-Mr. @ 775-5451 Base Fee 25.00

Late Fee

TOTAL \$

To install exhaust system as per plans 1 sheet of plans.

Stamp of Special Conditions

send permit to # 3 04101

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? ... no. Is any electrical work involved in this work? YES

Is connection to be made to public sewer? If not, what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness top bottom cellar

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing Lumber—Kind Dressed or full size? Corner posts Sills

Size Girder Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet

Joists and rafters: 1st floor 2nd 3rd roof

On centers: 1st floor 2nd 3rd roof

Maximum span: 1st floor 2nd 3rd roof

If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS

BUILDING INSPECTION PLAN EXAMINER Will work require disturbing of any tree on a public street? NO

ZONING: Will there be in charge of the above work a person competent

BUILDING CODE: to see that the State and City requirements pertaining thereto

Fire Dept: are observed? YES

Health Dept: Others:

Signature of Applicant [Signature] Phone # Same

Name Smith for 10 27 15 40





APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP .....

B.O.C.A. TYPE OF CONSTRUCTION .....

DEC 8 1985

ZONING LOCATION .....

PORTLAND, MAINE

Dec. 1, 1985

City Of Portland

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 12 ... CENTER - name ... Fire District #1 [ ] #2 [ ]

1. Owner's name and address ... Telephone ...

2. Lessee's name and address ... Telephone ...

3. Contractor's name and address ... Telephone ...

Proposed use of building ... No. of sheets ...

Last use ... No. families ...

Material ... No. stories ... Heat ... Style of roof ... Roofing ...

Other buildings on same lot ...

Estimated contractual cost \$ ...

FIELD INSPECTOR Mr. ... Appeal Fees \$ ...

Base Fee ...

Late Fee ...

TOTAL \$ ...

To inst ll exhaust system as per plans

1 sheet of plans.

Stamp of Special Conditions

send permit to # 3 04101

NOTE TO APPLICANT Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? ... Is any electrical work involved in this work? ...
Is connection to be made to public sewer? ... If not, what is proposed for sewage? ...
Has septic tank notice been sent? ... Form notice sent? ...
Height average grade to top of plate ... Height average grade to highest point of roof ...
Size, front ... depth ... No. stories ... solid or filled land? ... earth or rock? ...
Material of foundation ... Thickness, top ... bottom ... cellar ...
Kind of roof ... Rise per foot ... Roof covering ...
No. of chimneys ... Material of chimneys ... of lining ... Kind of heat ... fuel ...
Framing Lumber Kind ... Dressed or full size? ... Corner posts ... Sills ...
Size Girder ... Columns under girders ... Size ... Max. on centers ...
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters. 1st floor ... 2nd ... 3rd ... roof ...
On centers 1st floor ... 2nd ... 3rd ... roof ...
Maximum span. 1st floor ... 2nd ... 3rd ... roof ...
If one story building with no-ony walls. Thickness of walls? ... height? ...

IF A GARAGE

No. cars now accommodated on same lot ... to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? ...

APPROVALS BY DATE
BUILDING INSPECTION PLAN EXAMINER
ZONING
BUILDING CODE
Fire Dept.
Health Dept.
Others

MISCELLANEOUS
Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant Wayne Smith For Phone
No. of sheets 1 2 3 4



# APPLICATION FOR PERMIT

860 PERMIT ISSUED

B.O.C.A. USE GROUP .....  
B.O.C.A. TYPE OF CONSTRUCTION .....

AUG 6 1985

ZONING LOCATION ..... PORTLAND, MAINE August 1, 1985 City Of Portland

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 12 Cedar St. Fire District #1  #2

1. Owner's name and address Mark Stinson Associates - 813 Washington Aven Telephone 774-6141  
2. Lessee's name and address ..... Telephone .....  
3. Contractor's name and address Owner Telephone .....

Proposed use of building 1 apt & 2 educational units No. of sheets .....  
Last use same No. families .....

Material ..... No. stories ..... Heat ..... Style of roof ..... Roofing .....

Other buildings on same lot .....  
Estimated contractual cost \$ 1,000 Appeal Fees \$ .....

FIELD INSPECTOR - Mr. .... @ 775-5451  
Base Fee 25.00  
Late Fee .....  
TOTAL \$ .....

To make alterations to existing apt and 2 educational units as per plans. 3 sheets of plans..

Stamp of Special Conditions

chang of use applied for on 7-9-85 permit # 738 send permit to # 104103

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

### DETAILS OF NEW WORK

Is any plumbing involved in this work? no Is any electrical work involved in this work? yes  
Is connection to be made to public sewer? ..... If not, what is proposed for sewage? .....  
Has septic tank notice been sent? ..... Form notice sent? .....  
Height average grade to top of plate ..... Height average grade to highest point of roof .....  
Size, front ..... depth ..... No. stories ..... solid or filled land? ..... earth or rock? .....  
Material of foundation ..... Thickness, top ..... bottom ..... cellar .....  
Kind of roof ..... Rise per foot ..... Roof covering .....  
No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat ..... fuel .....  
Framing Lumber—Kind ..... Dressed or full size? ..... Corner posts ..... Sills .....  
Size Girder ..... Columns under girders ..... Size ..... Max. on centers .....  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor ..... 2nd ..... 3rd ..... roof .....  
On centers: 1st floor ..... 2nd ..... 3rd ..... roof .....  
Maximum span: 1st floor ..... 2nd ..... 3rd ..... roof .....  
If one story building with masonry walls, thickness of walls? ..... height? .....

### IF A GARAGE

No. cars now accommodated on same lot ..... to be accommodated ..... number commercial cars to be accommodated .....  
Will automobiles repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

APPROVALS BY: DATE MISCELLANEOUS  
BUILDING INSPECTION—PLAN EXAMINER ..... Will work require disturbing of any tree on a public street? no  
ZONING: .....  
BUILDING CODE: ..... Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?  
Fire Dept.: .....  
Health Dept.: .....  
Others: .....

Signature of Applicant John Robinson for Phone # same  
Type Name of above alliance for mentally ill of maine 1  2  3  4



APPLICATION FOR PERMIT

PERMIT ISSUED

JUL 11 1985

B.O.C.A. USE GROUP .....
B.O.C.A. TYPE OF CONSTRUCTION ..... 0738
ZONING LOCATION ... B-2 ... PORTLAND, MAINE ... July 9, 1985

CITY of PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

- LOCATION ... 12 Cedar Street ... Fire District #1 [ ], #2 [ ]
1. Owner's name and address (future) Mark Stinson Assoc. Telephone .774-6141.
2. Lessee's name and address 813 Washington Avenue ... 04103 ... Telephone ...
3. Contractor's name and address (attn: Judith D'Amico) Telephone ...

Proposed use of building ... 1 dwelling, 2 educational ... No. of sheets ...
Last use ... 3 unit dwelling units ... No. families ...
Material ... No. stories ... Heat ... Style of roof ... Roofing ...
Other buildings on same lot ...
Estimated contractual cost \$ ...

FIELD INSPECTOR - Mr. ... @ 775-5451
Change of Use Appeal Fees \$ 25.00
Base Fee
Late Fee
TOTAL \$ 25.00
change of use from 3 unit apartment house to 1 apartment and 2 educational units

change of use only - will file for alterations Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? ... Is any electrical work involved in this work? ...
Is connection to be made to public sewer? ... If not, what is proposed for sewage? ...
Has septic tank notice been sent? ... Form notice sent? ...
Height average grade to top of plate ... Height average grade to highest point of roof ...
Size, front ... depth ... No. stories ... solid or filled land? ... earth or rock? ...
Material of foundation ... Thickness, top ... bottom ... cellar ...
Kind of roof ... Rise per foot ... Roof covering ...
No. of chimneys ... Material of chimneys ... of lining ... Kind of heat ... fuel ...
Framing Lumber—Kind ... Dressed or full size? ... Corner posts ... Sills ...
Size Girder ... Columns under girders ... Size ... Max. on centers ...
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor ... 2nd ... 3rd ... roof ...
On centers: 1st floor ... 2nd ... 3rd ... roof ...
Maximum span: 1st floor ... 2nd ... 3rd ... roof ...
If one story building with masonry walls, thickness of walls? ... height? ...

IF A GARAGE

No. cars now accommodated on same lot ... to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? ...

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION—PLANNING EXAMINER ... Will work require disturbing of any tree on a public street? ...
ZONING: ...
BUILDING CODE: ... Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? ...
Fire Dept.: ...
Health Dept.: ...
Others: ...

Signature of Applicant [Handwritten Signature] Phone # 774-6141 775-5654
Type Name of above [Handwritten Name]
Other [ ] [ ] [ ] [ ]

INQUIRY BLANK

ZONE R-6

FIRE DIST. \_\_\_\_\_

CITY OF PORTLAND, MAINE  
DEPARTMENT OF BUILDING INSPECTION

Letter  
verbal  
by telephone

Date March 17 1958

LOCATION 12 Cedar Street OWNER Earl L. Briggs

MADE BY \_\_\_\_\_ TEL. \_\_\_\_\_

ADDRESS \_\_\_\_\_

PRESENT USE OF BUILDING 3 apts. NO. STORIES \_\_\_\_\_

LAST USE OF BUILDING \_\_\_\_\_ CLASS OF CONSTRUCTION \_\_\_\_\_

REMARKS Mr. Briggs has used this three apartment house for several years  
and is employed in some type of electrical work by one of the plants in South  
Portland.

INQUIRY How would Zoning Ordinance and Building Code affect establishing his  
own business shop in the rear part of the cellar for repairing electrical  
appliances like sweepers, irons, etc., and small motor repair work?

ANSWER Under the Zoning Ordinance this is not allowed in the R-6 Zone  
where the property is located, and an appeal at this time would be of no avail  
because the Board are not allowed to permit a business use in a residential  
zone. There is a revision of the ordinance in prospect which may change the  
situation as to the powers of the Board of Appeals.

Under the Building Code, if allowed by the Zoning Ordinance the shop  
would have to be separated from the balance of the cellar and from the floors  
above by a ceiling, fire resistive partition and fire doors, the ceiling and  
partitions should be rated the 1-hour fire resistance or more.

DATE OF REPLY March 17, 1958 REPLY BY \_\_\_\_\_



R6 RESIDENCE ZONE

# APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class  
Portland, Maine, August 4, 1958

PERMIT ISSUED

01006  
AUG 5 1958

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 12 Cedar Street Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
 Owner's name and address Earl Briggs, 12 Cedar St. Telephone \_\_\_\_\_  
 Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
 Contractor's name and address OWNER Telephone \_\_\_\_\_  
 Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans no No. of sheets \_\_\_\_\_  
 Proposed use of building Tenement No. families 3  
 Last use \_\_\_\_\_ " \_\_\_\_\_ No. families 3  
 Material frame \_\_\_\_\_ No. stories 3 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Other buildings on same lot \_\_\_\_\_  
 Estimated cost \$ 500. Fee \$ 2.00

### General Description of New Work

- To construct concrete foundation wall under existing rear piazza replacing wood foundations
- To cut in new door from piazza
- To change existing window to door rear of building to lead to cellar stairs
- To change existing wood floor of piazza to concrete floor, level with ground

Permit Issued to \_\_\_\_\_

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** owner

### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
 Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
 Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? yes  
 Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
 Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of foundation concrete at least 4' below grade Thickness, top \_\_\_\_\_ bottom 10" cellar no  
 Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
 No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
 Framing Lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_ Corner posts \_\_\_\_\_ Sills \_\_\_\_\_  
 Size Girder \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Kind and thickness of outside sheathing of exterior walls? \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters. 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

W. J. [Signature] - 8-5-58 TTR

### Miscellaneous

Will work require disturbing of any tree on a public street? no  
 Will there be in charge of the above work a person competent to \_\_\_\_\_

Inspection Services  
Samuel P. Hoffses  
Chief



Planning and Urban Development  
Joseph E. Gray Jr.  
Director

CITY OF PORTLAND

February 11, 1994

ALLIANCE FOR THE MENTALLY  
ILL OF MAINE INC  
PO BOX 4155  
PORTLAND ME 04101

Re: 10 Cedar St  
CBL: 033- - N-017-001-01  
DU:

Dear Sir,

I am sending you this letter to request an inspection at the property which you own or manage at the above referenced address.

This is for the City of Portland's program to inspect all multi-family buildings in the City every three years.

Please contact me in this office at 874-8300 X8706 between 8:00-9:00AM or 4:00-5:00PM to make arrangements to inspect the building.

Sincerely,

*Tammy Murson*

Tammy Murson  
Code Enforcement Officer

**CITY OF PORTLAND, MAINE**  
**PLANNING BOARD**

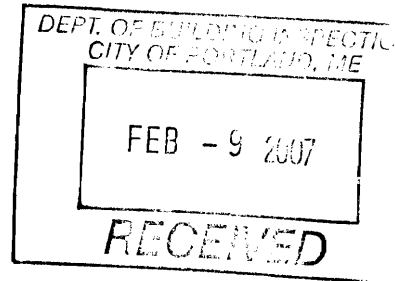
*Marge*

Michael Patterson, Chair  
Janice E. Tevanian, Vice Chair  
Kevin Beal  
Bill Hall  
Lee Lowry III  
Shalom Odokara  
David Silk

February 6, 2007

Mark Johnson, ASLA  
SMRT Architects and Engineers  
144 Fore Street, PO Box 618  
Portland, ME 04104

The Salvation Army  
297 Cumberland Avenue  
Portland, ME 04101



RE: **297 Cumberland Avenue (Salvation Army Building Addition)**  
**Conditional Use and Site Plan Application #2006-0222**  
**CBL: 033 N009001**

Dear Mr. Johnson:

On January 23, 2007 the Portland Planning Board considered the proposal for a new three story (13,076 sq ft) building addition to the rear of the existing Salvation Army main building on Cumberland Avenue, for uses classified as accessory uses to the existing Salvation Army Church Use. Approval was granted for the project by the following motions:

- i. The Portland Planning Board voted 7-0 that the proposal to build a 13,976 sq ft addition for uses classified as accessory uses to the existing Salvation Army Church Use, is in conformance with the Conditional Use Standards of the Land Use Code.
- ii. The Portland Planning Board voted 7-0 to waive the Technical Standard (Section III 3 A) of the City's Technical and Design Standards and Guidelines, which requires a parking space to be 9 feet wide by 19 feet long, to allow 5 spaces to be 8.5 feet wide in the third row from Oxford Street, as shown in the site plan.
- iii. That pursuant to Section 14-525 (i) of the Land Use Code, the Portland Planning Board voted 7-0 to waive the Site Lighting Standards contained within the City's Technical and Design Standards and Guidelines (Section XV) to 1) allow minor light trespass but not to exceed the readings shown on the lighting photometric plan ES101 dated October 27, 2006 and 2) to exceed the maximum illumination levels but not to exceed those levels shown on the lighting photometric plan ES101 dated October 27, 2006, so as to secure the public interest in a safe environment.
- iv. The Portland Planning Board voted 7-0 that the plan is in conformance with the site plan standards of the land use code, with the following conditions of approval:
  1. That the applicant shall replace the sidewalk along the immediate frontage of the proposed building addition with a brick sidewalk, to be constructed in conformance with a detail for its construction to be submitted and approved by staff; and

2. That the applicant shall repair the abutting sidewalks and construct new granite curbing in accordance with the memo from Public Works (Michael Farmer) dated January 19, 2007; and
3. That the applicant shall obtain capacity to serve letters in respect of water and sewer capacity and submit these prior to the issuance of a building permit; and
4. That the applicant shall submit, for review and approval prior to the issuance of a building permit, plans and details that address the memo from the DRC (Dan Goyette) dated January 18, 2007 in respect of the sanitary sewer line and storm line and sewer pipe sizing; and
5. That the applicant shall plant 2-3 additional trees along the Oxford Street frontage either within the site or in the sidewalk, the locations to be agreed with Jeff Tarling, City Arborist; and
6. That the guardrail along Oxford Street be replaced with an attractive bollard and cable system or similar amenity, to be reviewed and approved by staff, and that the site plan be amended accordingly.

The approval is based on the application, plans, reports and other information submitted by the applicant and on staff comments and recommendations contained in Planning Report #04-07, standards for conditional use and site plan review, and other applicable regulations, and the testimony presented at the Planning Board Hearing.

Please note the following provisions and requirements for all site plan approvals:

1. Where submission drawings are available in electronic form, the applicant shall submit any available electronic Autocad files (\*.dwg), release 14 or greater, with seven (7) sets of the final plans.
2. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.
3. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
4. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
5. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the



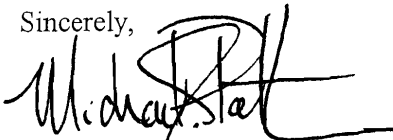
construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.

6. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Department at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions related to the conditions of approval or otherwise please contact Jean Fraser at 874-8728 or [jf@portlandmaine.gov](mailto:jf@portlandmaine.gov).

Sincerely,



Michael J. Patterson, Chair  
Portland Planning Board

Attached: Memo from Mike Farmer, PW dated January 18, 2007  
Memo from Dan Goyette, PE – Development Review Engineer, Woodard & Curran

Enclosed: Planning Board Hearing Report #04-07

cc: Lee D. Urban, Planning and Development Department Director  
Alexander Jaegerman, Planning Division Director  
Barbara Barhydt, Development Review Services Manager  
Jean Fraser, Planner  
Development Review Coordinator  
Marge Schmuckal, Zoning Administrator  
Inspections Division  
Michael Bobinsky, Public Works Director  
Kathi Early, Public Works Engineering Manager  
Jim Carmody, City Transportation Engineer  
Mike Farmer, Public Works Project Engineer  
Dan Goyette, DRC  
Jeff Tarling, City Arborist  
Penny Littell, Associate Corporation Counsel  
Greg Cass, Fire Prevention  
Assessor's Office  
Approval Letter File

**M E M O**

TO: Jean Fraser  
FROM: Michael Farmer, Project Engineer,  
Department of Public Works, Engineering Division  
DATE: January 19, 2007

**RE: Salvation Army Sidewalk and Curbing**

Upon review of the project and related correspondence, I recommend that the requirements be made conditions of approval for this project.

1. The applicant should be required to construct 58 feet, more or less, of new brick sidewalk along Cedar Street adjacent to the proposed building addition. The sidewalk shall extend in width from the granite curb to the building face.
2. The applicant shall replace an existing, rough, 40-inch by 60-inch section of concrete sidewalk located on Cedar Street with new concrete sidewalk. This rough section of concrete sidewalk is located about 14 feet southeasterly of the existing building corner that is on Cedar Street adjacent to the location of the proposed addition. The applicant shall also replace the three existing concrete sidewalk panels adjacent to the 40-inch by 60-inch rough section.
3. The applicant shall repair the existing asphalt sidewalk with new asphalt sidewalk at the location of the proposed storm drain and sanitary sewer connections.
4. The applicant shall be required to construct about 58 feet of new granite curbing along Cedar Street adjacent to the proposed building addition. The existing curb pieces can be reused if they are in good condition. The applicant shall also replace any other existing granite curbing disturbed by construction.
5. All sidewalk and curb construction shall conform to City standards.

## MEMORANDUM

**TO:** Jean Fraser, City of Portland Planner  
**FROM:** Dan Goyette, PE – Development Review Engineer, Woodard & Curran  
**DATE:** January 18, 2007  
**RE:** Salvation Army Building Addition

---

Woodard & Curran has reviewed the Site Plan submission for the proposed expansion of Salvation Army.

### **Documents Reviewed**

- Response to Comments Package, dated January 9, 2007 prepared by Mark Johnson, SMRT. Engineering Plan Sheets included in package, ES101, LP101, CP101, CG101, C501, C502 and by SMRT.

### **Detail Comments**

- A detail for the construction of the new brick sidewalks, consistent with the City of Portland's standards, should be provided.

### **Plan Comments**

- The sanitary sewer line should be constructed as a straight line connecting into the existing main. The storm line should connect into the sewer line at the property line. From that connection point, the pvc sewer pipe size should be increased to accommodate the stormwater flows.

Please contact our office if you have any questions.

DRG  
203848.86

**CONDITIONAL USE AND SITE PLAN REVIEW**

**SALVATION ARMY BUILDING ADDITION**

**VICINITY OF 297 CUMBERLAND AVE AND 10-14 CEDAR STREET**

**THE SALVATION ARMY, APPLICANT**

Submitted to:

Portland Planning Board  
Portland, Maine

January 23, 2007

---

## I. INTRODUCTION

On behalf of the applicant The Salvation Army, SMRT Architects and Engineers has requested Site Plan and Conditional Use approval for a proposed new three story building addition (totaling 13,076 sq ft of new space) to the rear of the existing Cumberland Avenue church building. The proposed building addition would be on the site of 10-14 Cedar Street (an existing 3 story building) and form an extension to the main building at 297 Cumberland Avenue.

The building addition requires the demolition of the existing 3 story building and loss of a parking space to integrate it into the existing site, which extends to Oxford Street and includes 54 parking spaces.

The overall site falls within both the R-6 and B-3 zones and is within the Bayside Height Overlay Map area where minimum and maximum heights are specified. The actual building addition is on the R-6 part of the zoning but is attached to a building that lies within the B-3 area (indicative boundaries shown in the submitted plan CP101 in Attachment 24).

The plan will be reviewed for conformance with the conditional use and site plan standards of the Land Use Code.

A total of 183 notices were sent to area residents and concerned citizens. A notice also appeared in the *Portland Press Herald*. One written representation was received from the members of the Bayside Neighborhood Association (Attachment 17). A Neighborhood Meeting was held on January 11<sup>th</sup>, 2007 at the Salvation Army building and attended by seven neighbors; notes of the meeting are included in Attachment 16.

The applicant has provided evidence of financial and technical capacity, as included in Attachment 1.

## II. SUMMARY OF FINDINGS

Zoning:	Part B-3 and part R-6
Parcel Size:	37,075 sq ft (.85 acre)
Parking Spaces:	Existing 54; proposed 53 (including 15 @8.5 ft wide)
Building Addition Floor Area:	13,076 sq ft
Building Addition Height:	34 ft at highest point (to match existing building)
Uses:	Offices, Fellowship and Support uses ancillary to the Church Use

## III. PROPOSED DEVELOPMENT

Currently the site comprises the main Salvation Army building (facing Cumberland Avenue) and the separate 3 story residential scale structure and a parking lot of 54 parking spaces with connecting asphalt walkways and access lanes. There is no landscaping within the site except the vestiges of two grassed areas within the 7-car parking area nearest the proposed new building.

The site shares a chain link fence along the boundary with the Avesta Housing building/parking within the same block. The opposite side of Cedar Street is primarily 2-3 story residential buildings at the back of the sidewalk (see photograph in Attachment 12 and location in Attachment 24). Opposite the site on Oxford Street is a derelict building and a parking lot which will most likely change as Bayside develops.

The applicant has described the site and proposals in Attachment 1 (Preliminary Written Statements) which relates to the boundary and topographic survey (Attachment 26). In summary:

- The existing building (10,284 sq ft footprint) is located along the north side of Cumberland Avenue; it is relatively modern and currently houses the church chapel (160 seats) plus fellowship halls, meeting rooms, a multi purpose room, lunch room, classrooms, offices and a conference space. This building is to be retained with no changes.
- A three story wood shingle detached building dating from 1918 stands adjacent to the existing main building. Its footprint is about 1225 sq ft and its lawful use is as a single residential unit and two educational units (permitted in 1985). This building is proposed to be demolished. The new 3 story building addition will be constructed to a larger footprint (3401 sq ft) in the same location and linked into the existing building. The proposal includes small 1<sup>st</sup> and 2<sup>nd</sup> floor extensions to the existing building on the north elevation as explained in the letter from SMRT of 11.30.2006 item 5 in Attachment 4). The new addition faces the parking lot and will be used for the same types of accessory use to the church as the main building (eg fellowship, kitchen, classrooms, offices, work areas and stations, conference space).
- The remainder of the site (almost half an acre) is paved and marked for 54 parking spaces. Due to the change in grade towards Oxford Street, the parking is divided into two levels, each with access from Cedar Street with ramps and stairways between them. Due to the constrained nature of the parking and access routes, extensive protective guardrailing has been placed throughout and around the site with no trees or landscaping within the site. The applicants propose to provide three landscaped spaces with trees along Cedar Street and corner of Oxford Street at the back of the sidewalk (within the site), and provide a concrete walk in from Cedar Street to the new secondary entrance facing the parking area.
- The proposals include replacement of the sidewalk in front of the building addition along Cedar Street with concrete.
- The overall parking is reduced by one space to give a total of 53 spaces.

#### IV ZONING

The proposed building addition is located just within the R-6 zone but is attached and integrated with the existing building which is located within the B-3 zone fronting Cumberland Avenue.

The Zoning Administrator has reviewed the proposals for compliance with the R-6 Zoning requirements and she has commented (Attachment 5):

“This project is currently pending Zoning Board of Appeals approval for a variance appeal to allow an approximate 2' side yard setback instead of the required 10' setback. This is an expansion of the institutional church use which is a conditional use to the planning board within the R-6 zone. There are no additional parking requirements under the zoning ordinance. Parking requirements for churches and their accessory uses are based upon the principal place of assemblage for worship in the church. The expansion is not an expansion of the principal place of assemblage for worship.

Pending the variance approval, all other setbacks and minimum and maximum heights are being met in both the R-6 and B-3 zones.” The variance was approved by the Zoning Board on December 7, 2006.

The Replacement Housing Ordinance does not apply in this case as the building to be demolished includes only one lawfully existing dwelling unit (Attachment 5).

The uses of the proposed building addition (see applicant’s narrative in Attachment 1) are classified as accessory uses to the Church Use, which (under Section 14-137 c *Institutional*) requires Conditional Use approval with the Planning Board substituting for the Board of Appeals as the reviewing authority. An analysis of the proposal against the Conditional Use standards and conditions is included in this Memorandum.

## V. STAFF REVIEW

The proposed development has been reviewed by staff for conformance with the relevant review standards of the conditional use and site plan ordinances. Staff comments are highlighted in this report.

## VI. CONDTIONAL USE REVIEW

### Sec. 14-137 c Institutional

Such uses shall be subject to the following conditions and standards in addition to the provisions of section 14-474:

- a. *In the case of expansion onto land of existing such uses other than the lot on which the principal use is located, it shall be demonstrated that the proposed use cannot reasonably be accommodated on the existing site through more efficient utilization of land or buildings, and will not cause significant physical encroachment into established residential areas; and*

This does not apply as the proposed building addition is on the same lot as the principal use. It is understood the building proposed for demolition has been in Salvation Army use since 1994.

- b. *The proposed use will not cause significant displacement or conversion of residential uses existing as of June 1, 1983, or thereafter; and*

Although as of June 1, 1983 there were three dwelling units, the current proposal will not be causing the displacement/conversion of three dwelling units because the property was already legally converted to one dwelling and two educational units in 1985 which was prior to its acquisition by the Salvation Army in 1994. The displacement of one dwelling unit is considered by staff to be less than “significant”.

- c. *In the case of a use or use expansion which constitutes a combination of the above-listed uses with capacity for concurrent operations, the applicable minimum lot sizes shall be cumulative.*

This clause is not applicable to this case.

**Sec. 14-474. Conditional uses.**

(c) *Conditions for conditional uses:*

(2) *Standards. Upon a showing that a proposed use is a conditional use under this article, a conditional use permit shall be granted unless the board determines that:*

- a. *There are unique or distinctive characteristics or effects associated with the proposed conditional use;*

The proposed expansion of the conditional use is understood to largely be addressing the need for extra space for existing uses and related programs, and therefore will not alter the characteristics or effects of the expanded conditional use.

- b. *There will be an adverse impact upon the health, safety, or welfare of the public or the surrounding area; and*

The “institutional” character of the existing facility is brought nearer to the adjacent residential neighborhood and the building design and site landscaping have been added since the Workshop to create a more “friendly” face to the neighborhood and minimize the impact of the expanded use.

The existing building already generates traffic and activity and the question is whether this will be substantially increased as a result of the building addition. The applicants have described the increased level of anticipated use in letters of 12.12.2006 and 1.9.2007 (Attachments 11 and 15) and indicated that additional day time parking might be up to 14 vehicles. The increase does not appear to be substantial and the parking lot appears to be sufficient (see below under ‘Site Review’).

- c. *Such impact differs substantially from the impact which would normally occur from such a use in that zone.*

The impact may differ in this location because of the proximity of residential properties and the prominence of the site as viewed from the north (Bayside) which is zoned R-6 to the northeast of the site (see photograph in Attachment 4). The proposed buffer landscape will help screen the parking lot from nearby residential properties while maintaining security.

- (d) *Conditions on conditional use permits. The board of appeals may impose such reasonable conditions upon the premises benefited by a conditional use as may be necessary to prevent or minimize adverse effects therefrom upon other property in the neighborhood. Such conditions shall be expressly set forth in the resolution authorizing the conditional use permit and in the*



*permit. Violation of such conditions shall be a violation of this article.*

The Board may wish to impose conditions that require further measures to minimize adverse effects of the expanded use. The letter from three members of the Bayside neighborhood Association ([Attachment 17](#)) suggests that the Salvation Army should be more open to the community using this facility (item 3). Making parts of the facility available to community groups might be a way of mediating the “institutional” impact of a large building/large parking lot with associated visitors and servicing activity.

## VII. SITE PLAN REVIEW

### 1/2. Traffic

The building addition fronts onto the existing parking lot (facing Oxford Street) with the side of the building addition facing directly onto Cedar Street. Vehicular access to the parking area will continue as existing via Cedar Street and Oxford Street, but pedestrian access will be modified by the provision of a secondary building entrance directly from the parking lot.

The access and curbcuts for most of the parking area were expressly approved in 1996. In 1999 the parking area adjacent to the proposed building footprint was approved with another exit curbcut and some landscaping (summarized in [Attachment 10](#)).

The Transportation/Traffic Reviewers raised concerns regarding the adequacy of parking for the range and scale of accessory uses proposed. The parking requirements of the zoning code for a Church Use are based upon the number of seats in the chapel. Thus a total of 32 spaces are required to meeting zoning.

The City’s Site Plan standards (Section 14-526 (a) (2) (a) states “Where construction is proposed of ... building additions having a total floor area in excess of five thousand (5,000) square feet, and the provisions for off-street parking under article III (zoning) do not require off-street parking or are determined to be insufficient, the site plan shall provide sufficient parking to satisfy the reasonably foreseeable demand for parking which will be generated by the proposed development”.

To help assess whether the existing parking lot would be sufficient for the expanded Salvation Army building, the Traffic Engineering Reviewer (Jim Carmody) has reviewed the proposal in terms of the ITE recommended parking provision for various uses. Initially he considered that the proposed accessory uses are akin to “offices” and on that basis the required number of parking spaces would be 58 ([Attachment 8](#)). In light of the variety of uses proposed within the expanded building the applicant was asked to provide further information on the uses ([Attachment 14](#)) so that a more refined assessment would be possible. Further information was included in the letter of 1.9.2007 ([Attachment 15](#)) and Jim Carmody has revised the indicative parking requirement to 52 spaces ([Attachment 20](#)).

The applicant has also provided an explanation of the staff and visitors anticipated to be using this facility and parking lot in their letters of 12.12.2006 ([Attachment 11](#)) and 1.9.2007 ([Attachment 15](#)). These letters estimate a range of likely parking need and the upper end of the range is suggested by the applicant to be about 55 spaces.

The revised proposal shows 53 spaces with 15 of these being at 8.5 feet wide and the subject of the waiver request made by the applicant in item 3 of their letter of 1.9.2007 ([Attachment 15](#)). The request has been made to facilitate provision of landscaping without losing parking spaces.

The waiver request for 10 of these spaces nearest Oxford Street is not supported by the Traffic Engineering Reviewer because the spaces would be too narrow for the existing conditions in that section of the parking lot ([Attachment 20](#)). If the Board agrees to the waiver for the remaining 5 spaces, the total available and usable spaces would be 52 (as 1 parking space would be lost to allow the landscaping at the corner of Oxford Street and Cedar Street). Staff suggests that this number of spaces is sufficient given that the Salvation Army also have an "overflow" parking lot available as described [Attachment 15](#). Also it should be noted that 32 spaces would be the requirement if based on the zoning (church).

3. Bulk, Location, Health, Safety Air / 4. Bulk, Location, Height of Proposed Buildings

The proposed building addition is a three-story structure with a basement, though due to the change in levels it is not three stories over the whole of the footprint (see elevation in [Attachment 13](#)). The height of the building is 34 feet (highest point above ground level) and has been designed to match the existing main Salvation Army building. Where the new building adjoins the existing building the intent has been to create a unified design.

The overall height of the new structure is similar to the building to be demolished except that the new building addition results in the 3-story height over a larger footprint which "fills in" an existing paved "alley" of about 25 feet wide leading off of Cedar Street (see photograph of this area in [Attachment 12](#)). This area is the "side yard" that is the subject of the practical difficulty appeal.

The existing relationship between the Salvation Army site and its neighbors is illustrated in the Photographs in [Attachment 4d](#) and [Attachment 12](#)). Elevations of the proposed building addition are shown in [Attachment 25](#) and the materials are of brick veneer and stucco to match the existing main building. The elevation onto Cedar Street is opposite a three story apartment building and associated parking area (the wall of the new building is about 37 feet from the residential windows).

In the Planning Board Memo staff raised concerns that the "face" of the building addition towards Cedar Street was somewhat severe, especially at ground level. Carrie Marsh, the City's Urban Designer, had commented ([Attachment 7](#)) that "Opportunities for greater fenestration should be considered, particularly along the first floor of the exterior" to address the proposed blank walls at the pedestrian level...". In addition she raised a concern regarding the materials surrounding the entrance to the building facing Oxford Street.

The fenestration on the East Elevation along Cedar Street has been revised to include more windows and the materials surrounding the new entrance have been improved, and the proposals are considered by staff to be acceptable (see updated comments in [Attachment 19](#)).

The letter of 1.16.2007 from three members of the Bayside Neighborhood Association ([Attachment 17](#)) asked that the Planning Board "work further with The Salvation Army to come to a mutually satisfying placement of the building's entry onto Cedar Street, rather than facing the parking lot." While the B-3

design guidelines would seek an entrance on the street, staff have not raised this as a concern and do not support this request because:

- The proposed new entrance is a secondary entrance and is clearly intended to be convenient to the parking lot; the main entrance already exists onto the street (ie Cumberland Avenue);
- A review of the internal layout (see floor plans in Attachment 27) indicates that to create an entrance onto Cedar Street would require relocation of key uses that have a functional inter-relationship with those in the existing building;
- Any new entrance onto Cedar Street would exit onto a sloped sidewalk which would present difficulties for access, especially by infirm and handicapped persons;
- The building addition is not within the B-3 zone.

5. Sewers, Stormdrains, Water

The proposals are acceptable except for details of the stormdrain and sanitary sewer line connections as described in comments from the Engineering Reviewer in Attachment 21. Existing utilities will serve the new addition although capacity to serve letters have not been received. Suggested conditions of approval have been included to address these points.

The applicant is maintaining the existing wood slat enclosed dumpster for solid waste disposal on-site with no change regarding its location or access. A letter confirming the private waste contractor's capacity is included in Attachment 4.

6. Landscaping and Existing Vegetation

The existing parking lot and surrounds of the existing building do not meet current landscape requirements and present a bleak and unattractive face to the adjacent residential neighborhood. This is exacerbated by the narrowness of Cedar Street and the limited scope for street tree planting (three have been planted but are struggling).

The parking area nearest the proposed addition no longer incorporates the planting and landscaping as shown on the approved 1999 site plan (Attachment 10). However, as this area will be disturbed during the construction of the building addition any remedial works now need to be coordinated with the overall site and included on the site plan for this proposal.

Jeff Tarling met with the applicant on site to review the opportunities to provide adequate buffering in relation to this site and to help soften the impact of the expanded "institutional" use. The need to retain as much parking as possible is a constraint, as is the slope of the site and the need to retain pedestrian access and adequate drainage. Within the proposed layout (which retains the parking lot as existing) there is no available space for planting unless parking spaces/pedestrian routes are taken out of use.

Based on this site discussion Staff recommended at the Workshop that the emphasis be placed on landscaping along Cedar Street which is the main interface with the residential area. In this location it is suggested solid fencing be avoided in order to improve security.

Since the Workshop the applicant has submitted a Planting Plan ([Attachment 28g](#)) which incorporates most of the suggestions made by staff and proposes:

- Provision of three linear areas of tree and shrub planting along the back edge of the Cedar Street sidewalk adjacent to the Salvation Army parking area (between the curbcuts). The request for a waiver of parking space widths for 5 spaces results from this proposal.
- Removes the boundary guard rails along Cedar Street and near the corner to Oxford Street as these are unattractive, sharp and are not necessary
- Reorganizes and improves the area at the corner of Cedar Street and Oxford Street. This proposal results in the loss of a parking space and the request for re-striping to create narrower parking spaces along Oxford Street (subject of the waiver request for 10 spaces).

The Bayside Neighborhood Association members letter of 1.16.2007 ([Attachment 17](#)) asks that landscaping be added to the Oxford Street side of the property. The applicant has added a landscaped area on Oxford Street at the corner with Cedar Street but no other planting along that frontage. Jeff Tarling, City Arborist has commented that while that proposed planting is a welcome improvement he would recommend asking the applicant to find space and plant two to three more trees along Oxford Street ([Attachment 23](#)).

#### 7. Soils and Drainage

The site is at present entirely paved and does not trigger the need for storm water quality treatment. However, some improvement to stormwater management has been included in proposals and have been reviewed under 5. above.

#### 8. Exterior Lighting

The proposal retains the existing lighting within the parking lot which comprises 4 tall poles with lamps of the cut off design. As noted at the Neighborhood Meeting ([Attachment 16](#)) the parking lot attracts "loiterers" and the lighting is needed to discourage unwanted activities

The proposed building addition will have two wall-mounted lights on the north elevation (facing the parking lot) as described in [Attachment 4](#) and shown on the Plan in [Attachment 28h](#). These replace existing lights of a poorer design.

Staff requested ([Attachment 13](#)) a photometric plan showing the lighting levels based on retention of the existing parking lot lights along with the proposed wall mounted lights. This was requested in order to establish whether there was any substantial light trespass which needed to be addressed as part of the proposals.

The Photometric Plan (ES101) is not attached as it would be unreadable if reduced but a full scale copy will be available at the Planning Board Hearing. The City technical standards require that the level of 0.1 foot candles be reached at the property line. The submitted photometric plan shows that:

- On the western property line with the Avesta parking lot the levels range from 0.1 to 1.6
- On the northern property line at the back of the sidewalk the levels range from 0.2 to 0.8; the level of 0.1 is not reached until the sidewalk on the other side of Oxford Street
- On the eastern property line with the back of the sidewalk along Cedar Street the levels range from 0.2 to just over 1.0, with the 0.1 reached in the sidewalk on the other side of Cedar Street (with the 0.1 is at the front of three of the houses on the other side of Cedar Street.) The new wall-mounted lights appear to contribute to the light trespass along this side. The proposed tree planting may help somewhat in reducing the trespass along part of this frontage.

The Board may wish to request the applicants to modify the existing and proposed lighting to more closely meet the current lighting standards.

#### 9. Fire /Blasting

The City's Fire Prevention Officer has approved the proposals (Attachment 18).

It is noted that blasting will be required to expand the basement area for the new building and that this is very close to residential properties. The City's Blasting Ordinance will apply and a suggested condition clarifies this point.

#### 10. City Infrastructure

The existing sidewalk along the site along Cedar Street is three different materials and of mixed condition, including some sections of brick (see the Survey is Attachment 24). The sidewalk on the opposite side of Cedar Street (in front of residential properties) is in brick (uneven). Oxford Street sidewalks are bituminous and mostly in fair condition; the Cumberland Avenue sidewalks are concrete in good condition.

The applicant is proposing that the existing sidewalk be replaced with a concrete sidewalk over the section in front of the new building on Cedar Street, which would remove a small section of existing brick sidewalk.

Public Works have requested further information detailing the condition of the existing sidewalks in Cedar Street and Oxford Street (Attachment 6). Because the site is located on the peninsula, the sidewalk policy requires brick sidewalk along the frontages of the site where it is to be replaced.

After careful review of the existing conditions, staff recommends that the sidewalk along the immediate frontage of the new building should be replaced with brick as it is in poor condition and the replacement material should meet the City's policy. Elsewhere the sidewalk is basically in reasonable condition, so Public Works have requested that the applicant carry out specific repairs as set out in their comments (Attachment 22). A suggested condition of approval is included to require these works to the sidewalks.

## VIII. MOTIONS FOR THE BOARD TO CONSIDER

On the basis of the application, plans, reports and other information submitted by the applicant and on staff comments and recommendations contained in Planning Report #04-07, standards for conditional use and site plan review, and other applicable regulations, and the testimony presented at the Planning Board Hearing, the Planning Board finds:

- i. That the proposal to build a 13,976 sq ft addition for uses classified as accessory uses to the existing Salvation Army Church Use is/is not in conformance with the Conditional Use Standards of the Land Use Code.
- ii. That the Planning Board does/does not waive the Technical Standard (Section III 3 A) which requires a parking space to be 9 feet wide by 19 feet long, to allow 5 spaces to be 8.5 feet wide in the row not adjacent to Oxford Street, as shown in the approved site plan.
- iii. That the plan is/is not in conformance with the Site Plan Standards of the Land Use Code.

### Potential Conditions of Approval

1. That the applicant shall replace the sidewalk along the immediate frontage of the proposed building addition with a brick sidewalk, not to be constructed until a detail for its construction is submitted and approved; and
2. That the applicant shall repair the abutting sidewalks and construct new granite curbing in accordance with the memo form Public Works (Michael Farmer) dated January 19, 2007; and
3. That the applicant shall obtain capacity to serve letters in respect of water and sewer capacity and submit these prior to the issuance of a building permit; and
4. That the applicant shall submit, for review and approval prior to the issuance of a building permit, plans and details that address the Memo from the DRC (Dan Goyette) dated January 18, 2007 in respect of the sanitary sewer line and storm line and sewer pipe sizing; and
5. That the applicant shall plant 2-3 additional trees along the Oxford Street frontage either within the site or in the sidewalk, the locations to be agreed with Jeff Tarling, City Arborist; and
6. That the planting shown on Plan LP101 and that subject of Condition 5 be planted within one year of the issuance of the Certificate of Occupancy; and
7. All blasting will be in accordance with the City's "Regulation of Explosives" Ordinance (§14-583 et. Seq.) and each stage will require separate permits as required by the Ordinance.

**Attachments:**

Previously included in PB Workshop Memo

1. Submitted Application and Checklist
  - Supporting documents: SMRT letter of October 27, 2006 and Written Statement
  - Supporting documents: Financial Capacity, Technical Capability (resumes) and Deed Documents
2. Jean Fraser, City Planner, letter of November 22, 2006
3. SMRT Telephone memo dated November 29, 2006 (Jean Fraser confirmed as an accurate record)
4. SMRT letter dated November 30, 2006:
  - Cover letter/Permits issued in the past
  - Lighting proposals
  - Photographs (SK-3)
5. Reviewer: Marge Schmuckal, Zoning Administrator
6. Reviewer Dan Goyette, City Engineering/PW, memorandum of November 28, 2006
7. Reviewer Carrie Marsh, Urban Designer, e-mail of December 5, 2006
8. Reviewer James Carmody, City Transportation Engineer, e-mails of December 6 & 7, 2006
9. Reviewer Jeff Tarling, City Arborist; e-mail of December 8, 2006 circulated at the Workshop
10. Previous approvals for existing parking lot (summary)
11. SMRT letter of December 12, 2006, (circulated at the Workshop - re Parking information)
12. Photographs by City Staff

Received since the PB Workshop

13. City staff letter of December 22, 2006
14. City staff e-mail of December 28, 2006 re parking information
15. SMRT letter of January 9, 2007 (Attached plans of revised elevations are in Attachment 25 below)
  - Description of revisions & Landscape Plan
  - Waiver Request
  - Deeds relating to amity House (to be demolished)
  - Floorspace and other information to assist in determining parking need
16. Neighborhood Meeting Certification dated January 13, 2007 including Invitation, sign in sheet and minutes of the meeting
17. Public Comment: Colette Bouchard; Alex Landry; Stephen Hirshon, Bayside Neighborhood Association letter dated January 16, 2007
18. Reviewer Captain Greg Cass, Fire Department UI approval December 12, 2006
19. Reviewer Carrie Marsh, Urban Designer, e-mail of January 17, 2007
20. Reviewer James Carmody, City Transportation Engineer, e-mail of January 18, 2007
21. Reviewer Dan Goyette, Engineering Reviewer, memo of January 18, 2007
22. Reviewer Mike Farmer, Public Works, re Sidewalks, e-mail of January 19, 2007
23. Reviewer Jeff Tarling, City Arborist; e-mail of January 18, 2007
24. Plans circulated by applicant at December 12, 2006 Workshop, including surrounding building footprints and former elevations of the proposed building addition
25. Revised elevations as submitted with SMRT letter of January 9, 2007 (above)

- East Elevation
- North Elevation
- West elevation

26. Boundary Survey

27. Floor Plans

- a) Basement Level (Floor) Plan AE100
- b) Ground Floor (Floor) Plan AE 101
- c) First Floor (Floor) Plan AE 102
- d) Second Floor (Floor) Plan AE 103

28. Final Plan Set

- a) Cover Sheet G001
- b) Notes and legend C001
- c) Layout & Materials Plan (with zoning info) CP101 Rev 4
- d) Grading & Utilities Plan CG101 Rev 2
- e) Details Sheet C501 Rev 2
- f) Details Sheet C502
- g) Planting Plan LP101
- h) Exterior Lighting Locations (large version) SK



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## MEMORANDUM

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**To:** FILE

**From:** Marge Schmuckal

**Dept:** Zoning

**Subject:** Application ID: 2006-0222

**Date:** 12/1/2006

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This project is currently pending Zoning Board of Appeals approval for a variance appeal to allow an approximate 2' side yard setback instead of the required 10' setback. This project is the removal of an existing, detached building to allow an addition to the existing Salvation Army building. This is an expansion of the institutional church use which is a conditional use to the planning board within the R-6 zone. There are no additional parking requirements under the zoning ordinance. Parking requirements for churches and their accessory uses are based upon the principal place of assemblage for worship in the church. The expansion is not an expansion of the principal place of assemblage for worship.

Pending the variance approval, all other setbacks and minimum and maximum heights are being met in both the R-6 and B-3 zones.

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## MEMORANDUM

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**To:** FILE

**From:** Marge Schmuckal

**Dept:** Zoning

**Subject:** Application ID: 2006-0222

**Date:** 11/28/2006

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The ZBA is set to hear the setback appeal on Dec 7, 2006. SMRT never submitted use information which they said that they had, so I did some zoning forensics. Our microfiche shows a permit in 1985 to change the use from 3 D.U. to one apartment and 2 educational units, which I take to be different from a residential dwelling unit. Therefore only one lawfully existing dwelling unit exists within this building. There is no requirement under the replacement housing ordinance to replace the loss of one dwelling unit.

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## MEMORANDUM

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**To:** FILE

**From:** Marge Schmuckal

**Dept:** Zoning

**Subject:** Application ID: 2006-0222

**Date:** 11/8/2006

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The removal and new addition of a new building creates some zoning problems. The applicant will give me documentation concerning the old use. The R-6 zone requires 10' sideyard setback on a side street. The setback shown is less than that. The applicant will do a practical difficulty appeal for that setback.

**From:** Jean Fraser  
**To:** Schmuckal, Marge  
**Date:** 11/30/2006 3:55:41 PM  
**Subject:** Re: 10-12 Cedar Street - Salvation Army

Marge,

This (which you have also put in UI but nothing else) answers the question about whether housing replacement is triggered, but what about the question as to whether this is a change of use (ie from residential/educational to church)? Under 14-137 it appears a conditional use and the Board will be looking for comments from you on this (or at least confirmation as to what the Planning board is reviewing as you did for Starbucks)- I am assuming that Planning is reviewing this under 14-474c2.

Could you also provide comments regarding all of the R-6 issues (height, setbacks etc) and clarify why they need to have the Practical Difficulty Variance so the Board has your determination on the matter- it goes to the Zoning Board on the 7th but I have to print my PB Memo on the 8th!!!!

thanks  
Jean

>>> Marge Schmuckal 11/28/2006 4:21:47 PM >>>

I have received nothing from SMRT as to the use of this building. Since tensions are rising, I have done the research. And this is what I found (do you hear the drum rolls?).

In July 1985, our office shows a permit to change the use from "3 dwelling units to 1 apartment and 2 educational units". I know your next question.... What is an educational unit? Let me go on.

In December 1985, our office shows a permit to install an exhaust unit for Amity Center. That permit considers the use to be a "therapy center". I am thinking that the two educational units were for instruction and were not residential dwelling units as the permit request reflects.

Based upon our records, I have determined that there was only one lawfully existing dwelling unit in this building (10-12 Cedar Street). The removal of one lawfully existing dwelling unit in a building does not trigger the requirement of replacement housing unless the intended use after demolition is for a parking lot. That is not the case here. After demolitions, there will be an addition to the Salvation Army building that basically encompassed the lot on which the building now stands. The replacement housing ordinance would not be a factor in this particular situation.

Marge

**CC:** Barhydt, Barbara

Application ID Number: 2006-0222

Reviewer

Add Review

Current Status: Comments Submitted

Distribution: 11/08/2006

Approval Date

Department: Zoning

Expiration Date

Extension Date

OK to Issue Permit Name: marge schmuckal Date: 11/08/2006 Date 2:

Comments

Reviewer: marge schmuckal Status: Comments Submitted Date: 11/08/2006

Comment:

The removal and new addition of a new building creates some zoning problems. The applicant will give me documentation concerning the old use. The R-6 zone requires 10' sideyard setback on a side street. The setback shown is less than that. The applicant will do a practical difficulty appeal for that setback.



Memo



Conditions

Create Date: 11/07/2006 By: jimy Update Date: By:

**From:** Marge Schmuckal  
**To:** ALEX JAEGERMAN; Barbara Barhydt ; Jean Fraser; Lee Urban  
**Date:** 11/28/2006 4:21:54 PM  
**Subject:** 10-12 Cedar Street - Salvation Army

I have received nothing from SMRT as to the use of this building. Since tensions are rising, I have done the research. And this is what I found (do you hear the drum rolls?).

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Marge



APPLICATION FOR PERMIT

860 PERMIT ISSUED

0 860

AUG 6 1985

B.O.C.A. USE GROUP .....
B.O.C.A. TYPE OF CONSTRUCTION .....

ZONING LOCATION ..... PORTLAND, MAINE August 1, 1985 City Of Portland

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 12 Cedar St. - Fire District #1 [ ] #2 [ ]
1. Owner's name and address Mark Stimson Associates - 813 Washington Aven Telephone 274-6141
2. Lessee's name and address Telephone
3. Contractor's name and address Owner Telephone
Proposed use of building 1 apt & 2 educational units No. of sheets
Last use same No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$ 1,000

FIELD INSPECTOR-- Mr. @ 775-5451
Appeal Fees \$
Base Fee 25.00
Late Fee
TOTAL \$

To make alterations to existing apt and 2 educational units as per plans. 3 sheets of plans..

Stamp of Special Conditions

chang of use applied for on 7-9-85 permit # 738 send permit to # 104103

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? no Is any electrical work involved in this work? yes
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber--Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION--PLAN EXAMINER Will work require disturbing of any tree on a public street? no
ZONING:
BUILDING CODE: Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?
Fire Dept.:
Health Dept.:
Others:

Signature of Applicant John Robinson for Alliance for Mentally Ill of Maine Phone # same
Type Name of above 1 [ ] 2 [ ] 3 [ ] 4 [ ]



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP .....

B.O.C.A. TYPE OF CONSTRUCTION ..... 0738

JUL 11 1985

ZONING LOCATION ... B-2 ... PORTLAND, MAINE ... July 9, 1985

CITY of PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ... 12 Cedar Street ... Fire District #1 , #2

1. Owner's name and address (future) Mark Stinson Assoc. Telephone 774-6141

2. Lessee's name and address 813 Washington Avenue, R4103 Telephone

3. Contractor's name and address (attn: Judith D'Amico Telephone

Proposed use of building ... 1 dwelling, 2 educational ... No. of sheets

Last use ... 3 unit dwelling units ... No. families

Material ... No. stories ... Heat ... Style of roof ... Roofing

Other buildings on same lot

Estimated contractual cost \$

FIELD INSPECTOR - Mr. @ 775-5451

Table with columns: Change of Use, Appeal Fees, Base Fee, Late Fee, TOTAL. Values: \$25.00, \$25.00

change of use from 3 unit apartment house to 1 apartment and 2 educational units

change of use only - will file for alterations

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work? Is connection to be made to public sewer? If not, what is proposed for sewage? Has septic tank notice been sent? Form notice sent? Height average grade to top of plate Height average grade to highest point of roof Size, front depth No. stories solid or filled land? earth or rock? Material of foundation Thickness, top bottom cellar Kind of roof Rise per foot Roof covering No. of chimneys Material of chimneys of lining Kind of heat fuel Framing Lumber - Kind Dressed or full size? Corner posts Sills Size Girder Columns under girders Size Max. on centers Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet. Joists and rafters: 1st floor, 2nd, 3rd, roof On center: 1st floor, 2nd, 3rd, roof Maximum span: 1st floor, 2nd, 3rd, roof If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

DATE

MISCELLANEOUS

BUILDING INSPECTION - PLANNING EXAMINER Will work require disturbing of any tree on a public street?

ZONING: Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

BUILDING CODE: Fire Dept.: Health Dept.: Others:

Signature of Applicant

Type Name of above

Handwritten signature of Judith D'Amico

Phone # 775-5654

Handwritten phone number 774-6141

Handwritten phone number 775-5654

1  2  3  4



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

<b>Card Number</b>	1 of 1
<b>Parcel ID</b>	033 N017001
<b>Location</b>	10 CEDAR ST
<b>Land Use</b>	GOVERNMENTAL
<b>Owner Address</b>	SALVATION ARMY 440 WEST NYACK RD WEST NYACK NY 10994
<b>Book/Page</b>	11696/346
<b>Legal</b>	33-N-17 CEDAR ST 10-12 2678SF

*6.10.06*

**Current Assessed Valuation**

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$61,700	\$142,000	\$203,700

**Property Information**

<b>Year Built</b> 1918	<b>Style</b> Old Style	<b>Story Height</b> 3	<b>Sq. Ft.</b> 3840	<b>Total Acres</b> 0.061		
<b>Bedrooms</b> 9	<b>Full Baths</b> 3	<b>Half Baths</b>	<b>Total Rooms</b> 18	<b>Attic</b> None	<b>Basement</b> Full	

**Outbuildings**

<b>Type</b>	<b>Quantity</b>	<b>Year Built</b>	<b>Size</b>	<b>Grade</b>	<b>Condition</b>
-------------	-----------------	-------------------	-------------	--------------	------------------

**Sales Information**

<b>Date</b> 11/01/1994	<b>Type</b> LAND + BLDING	<b>Price</b> \$25,000	<b>Book/Page</b> 11696-346
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**Picture and Sketch**

<a href="#">Picture</a>	<a href="#">Sketch</a>	<a href="#">Tax Map</a>
-------------------------	------------------------	-------------------------

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

**New Search!**



# CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT  
INSPECTION SERVICES DIVISION

July 10, 1985

Mark Stimson Associates  
813 Washington Avenue  
Portland, Maine 04103  
c/o Judith D'Amico

Re: 12 Cedar Street

Dear Ms. D'Amico:

Your application for a change of use of 12 Cedar Street from a three-family dwelling unit to a one-family with two adult education units has been reviewed and a permit for this change has been granted.

A permit to make the alterations for this change must be submitted, and approval of the alterations must be granted, before any work is started.

Sincerely,

P. Samuel Hoffses  
Chief of Inspection Services

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

0 738

JUL 31 1985

ZONING LOCATION ... B-2 ... PORTLAND, MAINE July 9, 1985

CITY of PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ... 12 Cedar Street

Fire District #1  #2

- 1. Owner's name and address ((future) Mark Scimmon Assoc.
2. Lessee's name and address 813 Washington Avenue, 04103
3. Contractor's name and address (attn: Judith D'Amico)

Telephone 774-6141
Telephone
Telephone

Proposed use of building ... 1 dwelling, 2 educational

No. of sheets
No. families

Last use ... 3. 4 unit dwelling units

No. families

Material ... No. stories ... Heat ... Style of roof ... Roofing

Other buildings on same lot

Estimated contractual cost \$

Appeal Fees
Change of Use Base Fee 25.00

FIELD INSPECTOR—Mr.

@ 775-5451

Late Fee
TOTAL \$ 25.00

change of use from 3 unit apartment house to 1 apartment and 2 educational units

change of use only - will file for alterations

Stamp of Special Conditions

PERMIT ISSUED WITH LETTER

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate? Height average grade to highest point of roof?
Size front... depth... No. stories... Solid or filled land? earth or rock?
Material of foundation... Thickness top... bottom... cellar...
Kind of roof... Rise per foot... Roof covering...
No. of chimneys... Material of chimneys... of lining... Kind of heat... fuel...
Framing Lumber—Kind... Dressed or full size? Corner posts... Sills...
Size Girder... Columns under girders... Size... Max. on centers...
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor... 2nd... 3rd... roof...
On centers: 1st floor... 2nd... 3rd... roof...
Maximum span: 1st floor... 2nd... 3rd... roof...
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot... to be accommodated... number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE
BUILDING INSPECTION—PLAN EXAMINER
ZONING:
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others:

MISCELLANEOUS
Will work require disturbing of any tree on a public area?
Will there be in charge of the above work a person competent to meet the State and City requirements pertaining thereto?
Yes

Signature of Applicant
Type Name of above
Other
and Address

20

# APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP .....  
B.O.C.A. TYPE OF CONSTRUCTION ..... 1425

DEC 6 1985

ZONING LOCATION ..... PORTLAND, MAINE Dec. 1, 1985 City Of Portland

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 12 Cedar Street  
1. Owner's name and address ..... City Center - name ..... Telephone OR. PHONE yet  
2. Lessee's name and address .....  
3. Contractor's name and address ..... Fry Street Metal CO. - 355 Commercial Telephone 701-2092

Proposed use of building therapy center No. of sheets .....  
Last use same No. families .....  
Material ..... No. stories ..... Heat ..... Style of roof ..... Roofing .....  
Other buildings on same lot ..... 870.30  
Estimated contractual cost \$.....

FIELD INSPECTOR - Mr. ....  
@ 775-5451

Appeal Fees \$ .....  
Base Fee .....  
Late Fee .....  
TOTAL \$ .....

To install exhaust system as per plans  
1 sheet of plans.

Stamp of Special Conditions

send permit to # 3 04101

**NOTE TO APPLICANT:** Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

### DETAILS OF NEW WORK

Is any plumbing involved in this work?  no  yes  
Is any electrical work involved in this work? .....  
Is connection to be made to public sewer? ..... If not, what is proposed for sewage? .....  
Has septic tank notice been sent? ..... Form notice sent? .....  
Height average grade to top of plate ..... Height average grade to highest point of roof .....  
Size, front ..... depth ..... No. stories ..... solid or filled land? ..... earth or rock? .....  
Material of foundation ..... Thickness, top ..... bottom ..... cellar .....  
Kind of roof ..... Rise per foot ..... Roof covering .....  
No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat ..... fuel .....  
Framing Lumber- Kind ..... Dressed or full size? ..... Corner posts ..... Sills .....  
Size Girder ..... Columns under girders ..... Size ..... Max. on centers .....  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor ..... 2nd ..... 3rd ..... roof .....  
On centers: 1st floor ..... 2nd ..... 3rd ..... roof .....  
Maximum span: 1st floor ..... 2nd ..... 3rd ..... roof .....  
If one story building with masonry walls, thickness of walls? ..... height? .....

### IF A GARAGE

No. cars now accommodated on same lot ..... to be accommodated ..... number commercial cars to be accommodated .....  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

### APPROVALS BY:

DATE

### MISCELLANEOUS

BUILDING INSPECTION-PLAN EXAMINER ..... Will work require disturbing of any tree on a public street?  no  
ZONING: .....  
BUILDING CODE: ..... Will there be in charge of the above work a person competent  
Fire Dept.: ..... to see that the State and City requirements pertaining thereto  
Health Dept.: ..... are observed?  
Others: .....

Signature of Applicant Wayne Smith EOL Phone # same

Type Name of above Fry Street Metal 1  2  3  4

Handwritten note: 11/29/06

From: "Mark Johnson" <MJohnson@SMRTInc.com>  
To: "Portland (Jean Fraser) (E-mail)" <JF@portlandmaine.gov>  
Date: 11/29/2006 10:34:16 AM  
Subject: Salvation Army - site items

Hi Jean,

We are in receipt of your letter of 11/22. Most questions/comments we believe are readily addressable - some have been submitted actually in the ZBA package - but we require some clarification on others. Specifically:

ck Marge

Item 1: We are not aware of a request for zoning information from Marge Schmuckal, with whom we have met on three occasions. Please clarify her request or, if you prefer, direct us to contact her directly.

Item 4: We have a city peninsula map (CADD file obtained from the city) based on aerial survey which we can use for the buildings across Cedar Street. We presume this level of accuracy will be sufficient, versus having them located by a surveyor. Please confirm.

Item 7: We will confirm existence of a basement in the old Amity House (I believe there is one). Ledge removal is anticipated for building and utility work. Please direct us to specific city requirements regarding same.

ck Jim

Item 8: Regarding parking, we will provide information requested. As part of this, we propose to provide documentation of current parking use relative to capacity, and projected. To document current conditions (anecdotally, this morning it was only at approximately 2/3 capacity), we propose to do a series of counts representative of typical use periods. Will the city accept our own counts, or will we be required to hire a third party to do this? Please let us know. Note also that the use of the facility by ordinance is a church. As such, the existing parking on site meets the required number, as submitted in the application.

Under comments concerning landscaping, buffering, etc.:

ck Penny

Item 1: We are somewhat confused as to your stated requirement for extensive site improvements in the existing parking area when no work other than utility connections is proposed. We do not find reference to this requirement in the ordinance and consider it unwarranted. Please clarify basis for this requirement.

ck PW

Item 2: We understand the city requirement for sidewalk replacement in brick, and propose to comply for the section shown currently as concrete on the layout plan. Where new utility work crosses the walk, we propose to replace the surface in kind to match existing, as this is purely a "cut and patch" condition.

ck PW

Item 3: We have made numerous requests regarding the city's position on need for stormwater treatment on the site and have received no direction. Too, because no more impervious surface is being added, basic drainage patterns are being maintained, and overall disturbance falls below applicable rules that would trigger state storm rules, we propose that simple separation of storm and sanitary lines is all that should be required.

We will get as much material to you by end of day tomorrow as possible. This will include revised drawings and a letter responding to your comments. Please provide responses to the concerns above at your earliest convenience.

Thanks!

Mark G. Johnson, ASLA  
Landscape Architect / Planner

SMRT, Inc.  
144 Fore Street



# As sent

November 22nd, 2006

Mark Johnson, ASLA  
SMRT  
144 Fore Street  
PO Box 618  
Portland, ME 04104

RE: Salvation Army Building Addition  
ID #2006-0222, CBL #033-N-9001

Dear Mr. Johnson,

I confirm receipt of the Site Plan Application for the Building Addition adjacent to the Salvation Army Church Building. An initial review has been undertaken and the following information is requested in order to continue with the Major Site Plan review:

### Site Plan Submittals

1. The proposed use of the building addition is for an expansion of the church use, which is a conditional use within the R-6 zone. I understand that the Zoning Administrator has requested further information to clarify the zoning status of the existing building.
2. I understand that you have requested a variance from the side yard requirements for the reason of practical difficulty and that this will be determined on December 7<sup>th</sup>, 2006.
3. As mentioned in the discussions last week, replacement for the housing may be required and confirmation of the previous use(s) of the building to be demolished should be submitted so a determination may be made.
4. Please show the existing buildings along the other side of Cedar Street on the Layout Plan to assist in assessing the impact of the proposal on neighbors. Also please show the zoning boundaries (B3/R6) on the site layout plan, including the Bayside height overlay boundary.
5. The Layout Plan shows the footprint of the proposed addition as 3,041 SF while three of the new floors are indicated as larger. Please clarify the plans/narrative to help us understand the proposal.

6. Please submit the information on the attached Fire Department checklist if not yet submitted direct to the Fire Department.
7. Please confirm whether or not the existing building (to be demolished) has a basement and whether construction of the new building addition will require blasting.
8. Staff observation of the existing parking area shows that it appears to be at capacity. The scale and use of the proposed addition (with the additional offices, classrooms and conference/fellowship areas) is likely to generate substantial parking need that may not be met by the existing parking lot. Where parking is deemed insufficient, the City requires that the site plan shall provide sufficient parking to satisfy the reasonably foreseeable demand for parking which will be generated by the proposed development (see Land Use Ordinance under Site Plan Standards 14-5261a.).  
  
Please submit further information/documentation to clarify the proposed uses and the likely additional parking need associated with the new addition. The information should include the number of additional employees/visitors and the hours of operation in relation to both the addition and the entire facility.
9. Please also submit capacity to serve letters in respect of water supply and sanitary waste.
10. Please provide details of the proposed wall mounted lighting.
11. We note that letter confirming the solid waste management arrangements will be forwarded to us.

Initial comments are outlined below in respect of landscaping/buffering, storm water treatment and sidewalk replacement:

1. I am unable to find a site plan approval for the remainder of the parking lot though a small part of it was approved in 1999 and included landscaped areas. The submitted proposals include works in the parking lot. Improvements will be required (eg street tree planting, landscaping, screening, improved fencing, and possibly lighting etc.) to the existing parking area and further comments will be forwarded as soon as they are available.
2. The City's sidewalk policy states that on the peninsula, all sidewalks shall consist of brick material and any replacement should be of brick. Replacement brick sidewalks will be required for the section of Cedar Street between the proposed sewer works and the south corner of proposed building addition.
3. Storm water treatment may be required as modifications (catch basins and sewer connections) are proposed to the existing lot. Public Works will clarify on this point next week.

This project is scheduled for a Planning Board Workshop on December 12<sup>th</sup>, 2006 and please submit as much additional information as possible by November 30<sup>th</sup>, 2006 so it can be reviewed and included in the Memorandum for the Planning Board.

It is noted that your timetable indicates that demolition is scheduled for January 2007 and if demolition starts prior to the completion of the site review process you will need to obtain a letter from the Director of Planning that authorizes demolition to proceed. You will need to confirm the arrangements for site stabilization and security between the demolition and construction of the new building.

A neighborhood meeting will be required for this project. The neighborhood meeting requirements will be forwarded next week for information.

Any further comments shall be sent to you as soon as they are received. If you have any questions, please do not hesitate to contact me at 874-8728.

Sincerely,

Jean Fraser  
Planner

CC: Alexander Jaegerman, Planning Division Director  
Barbara Barhydt, Acting Development Review Services Manager  
Marge Schmuckal, Zoning Administrator  
Rick Knowland, Senior Planner  
Eric Labelle, City Engineer  
Jim Carmody, City Transportation Engineer



CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM

Zoning Copy

2006-0222

Application I. D. Number

11/7/2006

Application Date

Salvation Army Building Addition

Project Name/Description

*Comments submitted*

*11/8/06*

The Salvation Army

Applicant

297 Cumberland Avenue, Portland, ME 04101

Applicant's Mailing Address

Consultant/Agent

Applicant Ph: (207) 774-3483 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

297 - 297 Cumberland Avenue, Portland, Maine

Address of Proposed Site

033 N009001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail

Manufacturing  Warehouse/Distribution  Parking Lot  Apt 0  Condo 0  Other (specify) Improved & expanded space

Proposed Building square Feet or # of Units

Acreage of Site

B3/R6

Zoning

Check Review Required:

- Site Plan (major/minor)  Zoning Conditional - PB  Subdivision # of lots \_\_\_\_\_
- Amendment to Plan - Board Review  Zoning Conditional - ZBA  Shoreland  Historic Preservation  DEP Local Certification
- Amendment to Plan - Staff Review  Zoning Variance  Flood Hazard  Site Location
- After the Fact - Major  Stormwater  Traffic Movement  Other \_\_\_\_\_
- After the Fact - Minor  PAD Review  14-403 Streets Review

Fees Paid: Site Plan \$500.00 Subdivision \_\_\_\_\_ Engineer Review \_\_\_\_\_ Date 11/7/2006

Zoning Approval Status:

Reviewer Marge S. - Inap.

- Approved  Approved w/Conditions See Attached  Denied

Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached

Condition Compliance \_\_\_\_\_ signature \_\_\_\_\_ date \_\_\_\_\_

Performance Guarantee  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

Performance Guarantee Accepted

SECTION 01800

INTERIM LIFE SAFETY MEASURES (ILSM)

PART 1 - GENERAL

1.01 RELATED DOCUMENTS:

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 1 Specification sections, apply to work of this section.
- B. Contract Documents: Indicate the work of the Contract and related requirements and conditions that have an impact on the project. Related requirements and conditions that are indicated on the Contract Documents include, but are not necessarily limited to the following:
  - 1. Existing conditions and restrictions on the use of the floor.
  - 2. Requirements for partial Owner occupancy of portions of the work prior to substantial completion of the Contract Work.

1.02 SUMMARY OF LIFE SAFETY MEASURES

- A. The work of this section can be summarized as follows:
  - 1. The purpose of this Section is to develop and implement actions required to be taken to compensate for hazards posed by Life Safety Code (LSC) Deficiencies whenever they occur during construction, alteration, and/or demolition activities.
  - 2. Exits shall be maintained to provide free and unobstructed egress at all times. If alternative exits must be designated, all construction personnel in adjoining areas shall receive training for egress. Such training shall be provided and documented by the Contractor. Salvation Army staff shall receive training for egress.
  - 3. Means of egress in construction areas shall be inspected weekly by the Contractor and a weekly log of these inspections shall be kept by the Contractor.
  - 4. Emergency departments (fire, rescue, security, etc.) shall be provided with free and unobstructed access for emergency services.
  - 5. All fire alarm, detection, and suppression systems shall not be impaired without prior approval by the Salvation Army. Temporary systems shall be provided by the Contractor if a fire system is impaired for more than twenty four (24) hours. Any temporary systems shall be inspected and tested monthly by the Contractor; all inspections and tests shall be fully documented. Temporary systems shall be approved by the Salvation Army and Architect.
  - 6. All temporary construction partitions that compromise a fire or smoke barrier shall be maintained smoke-tight and constructed of non-combustible or limited-combustible

2. Provide hand-carried portable, UL-rated, Class "A" fire extinguishers for temporary offices and similar spaces. In other locations, provide hand-carried, portable, UL-rated, Class "ABC" dry chemical extinguishers of NFPA recommended classes for exposures.
  3. Locate fire extinguishers where convenient and effective for their intended purpose, but not less than one extinguisher on each floor at or near each usable stair.
  4. Store flammable materials in metal containers in fire-safe locations.
  5. Maintain unobstructed access to fire extinguishers, fire hydrants, temporary fire protection facilities, stairs, and other access routes for fighting fires.
  6. Provide supervision of welding operations, combustion type temporary heating units, and similar sources of fire ignition. Comply with Salvation Army open flame procedure.
  7. Collect waste from construction areas daily. Comply with requirements of NFPA 241 for removal of combustible waste material and debris, enforcing requirements strictly. Handle hazardous, dangerous, or unsanitary waste materials separately from other waste by containerizing properly. Dispose of all waste materials in a lawful manner.
- B. Observation: Regular observation of the construction site will be done by Architect and Engineers. Documentation of deficiencies in life safety and the use of hazardous materials will be completed and sent to the Contractor.

PART 2 - PRODUCTS (Not applicable).

PART 3 - EXECUTION (Reserved).

**END OF SECTION 01800**



# General Building Permit Application

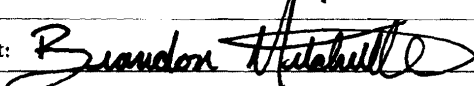
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <b>297 Cumberland Avenue, Portland, ME</b>		
Total Square Footage of Proposed Structure <b>14,137</b>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <b>33</b> Block# <b>N</b> Lot# <b>20</b>	Owner: <b>The Salvation Army 297 Cumberland Ave. Portland, Maine</b>	Telephone:
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <b>Brandon Mitchell 27 Main Street South Portland, ME 04106</b>	Cost Of Work: <b>\$1,675,000.00</b> Fee: <b>\$16,845.00</b> C of O Fee: <b>\$Included</b>
Current legal use (i.e. single family) <b>Commercial Bldg.</b> If vacant, what was the previous use? Proposed Specific use: Is property part of a subdivision? If yes, please name Project description: <b>Construction of a 4-story, 14,137 s/f addition to the existing Salvation Army Bldg. including site, architectural, structural, electrical and mechanical construction</b>		
Contractor's name, address & telephone: <b>Ledgewood Construction - 27 Main Street South Portland, ME 04106</b>		
Who should we contact when the permit is ready: <b>Brandon Mitchell</b> Mailing address: <b>27 Main Street South Portland, ME 04106</b> Phone: <b>(207) 415-7982</b>		

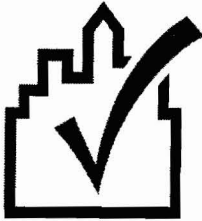
Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <b>5/22/07</b>
---	----------------------

**This is not a permit; you may not commence ANY work until the permit is issued.**



# COMcheck Software Version 3.4.1 Envelope Compliance Certificate

## 90.1 (2001) Standard

Report Date: 07/10/07

Data filename: H:\Projects 2005\05023\_Salvation Army 297 Cumberland Avenue\10 Project Development\17 Engineering Calculations\17.3 MEP\Mech\Salvation Army Reno.cck

### Section 1: Project Information

Project Title: Salvation Army Renovaton

Construction Site:  
297 Cumberland Ave  
Portland, ME

Owner/Agent:

Designer/Contractor:  
SMRT  
144 Fore St  
Portland, ME 04104

### Section 2: General Information

Building Location (for weather data): **Portland, Maine**  
 Heating Degree Days (base 65 degrees F): **7378**  
 Cooling Degree Days (base 50 degrees F): **1943**  
 Building Type for Envelope Requirements: **Non-Residential Addition**  
 Project Type: **Addition**  
 Vertical Glazing / Wall Area Pct.: **19%**

<b>Building Type</b>	<b>Floor Area</b>
Office	14137

### Section 3: Requirements Checklist

**Envelope PASSES:** Design 17% better than code.

#### Climate-Specific Requirements:

Component Name/Description	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor
Roof 1: Insulation Entirely Above Deck	3292	---	20.0	0.048	0.063
Exterior Wall 1: Metal Frame, 16" o.c.	3831	15.0	10.0	0.054	0.084
Window 1: Metal Frame with Thermal Break:Double Pane with Low-E, Clear, Fixed, SHGC 0.40	1082	---	---	0.350	0.570
Door 1: Glass, Clear, SHGC 0.50	42	---	---	0.400	0.570
Basement Wall 1: Solid Concrete:8" Thickness, Medium Density, Furring: None, Wall Ht 10.0, Depth B.G. 10.0	2040	---	0.0	0.570	0.579

(a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.

#### Insulation:

- 1. Open-blown or poured loose-fill insulation has not been used in attic roof spaces with ceiling slope greater than 3 in 12.
- 2. Wherever vents occur, they are baffled to deflect incoming air above the insulation.
- 3. Recessed lights, equipment and ducts are not affecting insulation thickness.
- 4. No roof insulation is installed on a suspended ceiling with removable ceiling panels.
- 5. All exterior insulation is covered with protective material.
- 6. Cargo and loading dock doors are equipped with weather seals.

#### Fenestration and Doors:

- 7. Windows and skylights are labeled and certified by the manufacturer for U-factor and SHGC.

- 8. Fixed windows and skylights unlabeled by the manufacturer have been site labeled using the default U-factor and SHGC.
- 9. Other unlabeled vertical fenestration, operable and fixed, that are unlabeled by the manufacturer have been site labeled using the default U-factor and SHGC. No credit has been given for metal frames with thermal breaks, low-emissivity coatings, gas fillings, or insulating spacers.

**Air Leakage and Component Certification:**

- 10. All joints and penetrations are caulked, gasketed, weather-stripped, or otherwise sealed.
- 11. Windows, doors, and skylights certified as meeting leakage requirements.
- 12. Component R-values & U-factors labeled as certified.
- 13. Building entrance doors have a vestibule and equipped with closing devices.

*Exceptions:*

Buildings less than four stories above grade. Building entrances with revolving doors.

Doors that open directly from a space less than 3000 sq. ft. in area.

- 14. Insulation installed according to manufacturer's instructions, in substantial contact with the surface being insulated, and in a manner that achieves the rated R-value without compressing the insulation.

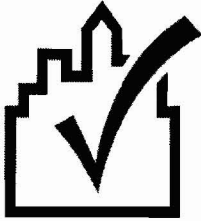
**Section 4: Compliance Statement**

*Compliance Statement:* The proposed envelope design represented in this document is consistent with the building plans, specifications and other calculations submitted with this permit application. The proposed envelope system has been designed to meet the 90.1 (2001) Standard requirements in COMcheck Version 3.4.1 and to comply with the mandatory requirements in the Requirements Checklist.

\_\_\_\_\_  
Name - Title

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date



COMcheck Software Version 3.4.1

# Mechanical Compliance Certificate

## 90.1 (2001) Standard

Report Date: 07/10/07

Data filename: C:\Program Files\Check\COMcheck\Salvation Army Reno.cck

## Section 1: Project Information

Project Title: Salvation Army Renovaton

Construction Site:  
297 Cumberland Ave  
Portland, ME

Owner/Agent:

Designer/Contractor:  
SMRT  
144 Fore St  
Portland, ME 04104

## Section 2: General Information

Building Location (for weather data): **Portland, Maine**  
Heating Degree Days (base 65 degrees F): **7378**  
Cooling Degree Days (base 50 degrees F): **1943**  
Project Type: **Addition**

## Section 3: Mechanical Systems List

### Quantity System Type & Description

- 1 HVAC System 1: Heating: Hydronic or Steam Coil, Hot Water, Heating Capacity  $\geq 225$  kBtu/h / Cooling: Split System, Capacity  $\geq 240$  -  $< 760$  kBtu/h, Air-Cooled Condenser / Multiple-Zone w/ Perimeter System
- 1 Plant 1: Heating: Hot Water Boiler, Capacity  $\geq 600$  kBtu/h, Gas
- 3 Storage Water Heater 1: Gas Storage Water Heater, Capacity: 120 gallons, Input Rating: 75000 Btu/h, Combined Space/SWH System w/ Circulation Pump

## Section 4: Requirements Checklist

### Requirements Specific To: HVAC System 1 :

1. Minimum one temperature control device per zone
  - Exception: System is an independent perimeter system and must have at least one temperature control per building exposure over 50 lineal ft and facing one orientation
2. Equipment minimum efficiency: Split System: 9.3 EER, 9.5 IPLV
3. Integrated air economizer required
4. Systems serving more than one zone must be VAV systems
5. Single-duct VAV terminals reduce primary air before reheating
6. VAV fan equipped with mechanical or electrical adjustable speed drives.

### Requirements Specific To: Plant 1 :

1. Equipment minimum efficiency: Boiler Thermal Efficiency  $\geq 75\%$  Et

### Requirements Specific To: Storage Water Heater 1 :

1. Gas Storage Water Heater efficiency  $\geq 0.39$  EF **(N/A)**
2. All piping in circulating system insulated
3. Hot water storage temperature adjustable down to 120 degrees F or lower **(Stored at 140° to prevent Legionella)**
4. Automatic time control of heat tapes and recirculating systems present
5. Controls will shut off operation of circulating pump between water heater/boiler and storage tanks within 5 minutes after end of heating cycle
6. Combined space/swh system uses of a single heat source that will consume less energy than separate units

7. Hot water system sized per manufacturer's sizing guide or engineering standards acceptable to the adopting authority.

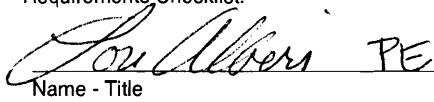
**Generic Requirements: Must be met by all systems to which the requirement is applicable:**


1. Load calculations per 2001 ASHRAE Fundamentals
2. Minimum one temperature control device per system
3. Thermostatic controls has 5 degrees F deadband
- Exception: Thermostats requiring manual changeover between heating and cooling
4. Automatic Controls: Setback to 55 degrees F (heat) and 85 degrees F (cool); 7-day clock, 2-hour occupant override, 10-hour backup
- Exception: Continuously operating zones
  - Exception: Residential occupancies may use controls that can start and stop the system under two different time schedules per week.
5. Hot water pipe insulation: 1 in. for pipes <=1.5 in. and 2 in. for pipes >1.5 in. Chilled water/refrigerant/brine pipe insulation: 1 in. for pipes <=1.5 in. and 1.5 in. for pipes >1.5 in. Steam pipe insulation: 1.5 in. for pipes <=1.5 in. and 3 in. for pipes >1.5 in.
- Exception: Piping within HVAC equipment
  - Exception: Fluid temperatures between 55 and 105 degrees F
  - Exception: Fluid not heated or cooled
  - Exception: Runouts <4 ft in length
6. Piping, insulated to 1/2 in. if nominal diameter of pipe is <1.5 in.; Larger pipe insulated to 1 in. thickness
7. Lavatory faucet outlet temperatures in public restrooms limited to 110 degrees F (43 degrees C)
8. Load calculations per acceptable engineering standards and handbooks
9. Hot water distribution systems >=300 kBtu/h must have one of the following: a) controls that reset supply water temperature by 25% of supply/return delta T b) mechanical or electrical adjustable-speed pump drive(s) c) two-way valves at all heating coils d) multiple-stage pumps e) other system controls that reduce pump flow by at least 50% based on load - calculations required
10. Pumping system balancing required. Means for measurement or testing pressure across each pump required
11. Where separate thermostats are used for heating and cooling, acceptable measures are used to prevent simultaneous heating and cooling **NA**
12. Motorized, automatic shutoff dampers required on exhaust and outdoor air supply openings
- Exception: Gravity dampers acceptable in buildings <3 stories
  - Exception: Gravity (non-motorized) dampers are acceptable in systems with a design outside air intake or exhaust capacity of 300 cfm (140 L/s) or less.
13. Stair and elevator shaft vents are equipped with motorized dampers **NA**
14. Acceptable measures used to prevent simultaneous humidification and dehumidification **NA**
- Exception: Desiccant systems and systems for uses requiring specific humidity levels (approval required)
15. Automatic controls for freeze protection systems present
16. Automatic ventilation controls (e.g., CO2 controls) or exhaust air heat recovery present for high design occupancy areas (>100 person/1000 ft2) with >3,000 cfm outside air capacities. **NA**
17. Duct, plenum, and piping insulation surfaces suitably protected from weather, moisture, or likely damage
18. R-6 supply and return air ducts in unconditioned spaces R-8 supply and return air ducts outside the building R-8 insulation between ducts and the building exterior when ducts are part of a building assembly R-3.5 supply and return air ducts insulation underground
19. Duct Sealing: Pressure sensitive tape is not used as the primary sealant Longitudinal and transverse seams for ducts in unconditioned spaces Longitudinal and transverse seams and duct wall penetrations for ducts outside the building Transverse seams on buried ducts
20. Three-pipe systems not used
21. Humidistat controls prevent reheating, recooling, and mixing of mechanically heated air with mechanically cooled air. **NA**
22. Hotwater pumping systems with multiple boilers automatically reduce hot water flow rates proportionately when boilers are not operating **NA**
23. Exhaust air heat recovery included for systems 5,000 cfm or greater with more than 70% outside air fraction or specifically exempted **NA**
24. Kitchen hoods >5,000 cfm provided with 50% makeup air that is uncooled and heated to no more than 60 degrees F unless specifically exempted
25. Buildings with fume hood systems must have variable air volume hood design, exhaust heat recovery, or separate makeup air supply meeting the following: a) 75% make up air quantity, and /or b) within 2 degrees F of room temperature and/or c) no humidification d) no simultaneous heating and cooling **NA**

## Section 5: Compliance Statement



*Compliance Statement:* The proposed mechanical design represented in this document is consistent with the building plans, specifications and other calculations submitted with this permit application. The proposed mechanical systems have been designed to meet the 90.1 (2001) Standard requirements in COMcheck Version 3.4.1 and to comply with the mandatory requirements in the Requirements Checklist.

 PE  
Name - Title

  
Signature

7/10/07  
Date

## Section 6: Post Construction Compliance Statement

- HVAC record drawings of the actual installation and performance data for each equipment provided to the owner within 90 days after system acceptance.
- HVAC O&M documents for all mechanical equipment and system provided to the owner within 90 days after system acceptance.
- Written HVAC balancing report provided to the owner.



# Certificate of Design

Date: 22 MAY 07

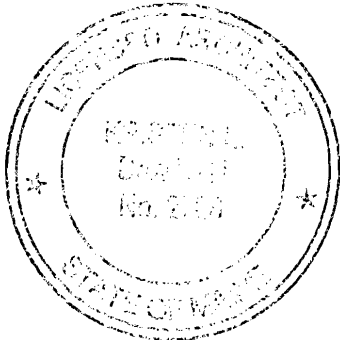
From: KRISTEN DAMUTH, SMRT inc.

These plans and / or specifications covering construction work on:

THE SALVATION ARMY ADDITION

297 CUMBERLAND AVE

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2003 International Building Code** and local amendments.



(SEAL)

Signature: Kristen Damuth

Title: ARCHITECT

Firm: SMRT inc

Address: 144 FORE ST

PORTLAND, ME 04104

Phone: 207-772-3846

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



# Accessibility Building Code Certificate

Designer: SMART inc / KRISTEN DAMUTH

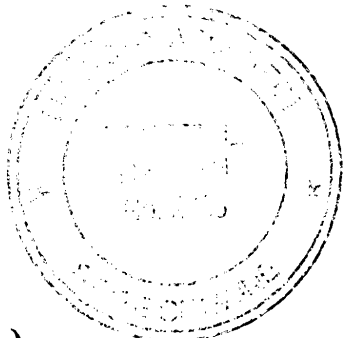
Address of Project: 297 CUMBERLAND AVE

Nature of Project: SALVATION ARMY <sup>RENOVATION &</sup> ADDITION

\_\_\_\_\_

\_\_\_\_\_

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



(SEAL)

Signature: Kristen Damuth

Title: ARCHITECT

Firm: SMART inc

Address: 144 FORE ST  
PORTLAND, ME 04104

Phone: 207-772-3846

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



ARCHITECTURE  
ENGINEERING  
PLANNING

# Memo

**Date:** 11 July 2007

**To:** Mike Nugent, City of Portland

**From:** Kristen Damuth *KD*.

**Job #:** 05023

**Job Name:** Salvation Army addition

**Re:** Responses to Questions (*questions next page*)

- 
1. Separated Uses: we do have separated uses. B, G and first floor are A-3. Second floor is B. A one-hour separation is required making use of the reduction allowed by the exception for a sprinkler system in 302.3.2.
  2. Statement of Special Inspections is attached.
  3. ComCheck envelope compliance and mechanical compliance certificates are attached.
  4. The occupant load of the second floor is 94 and the first is 461. Stair 1 and Stair 3 are both 38" wide.
  5. Per the Salvation Army, the two classrooms are general purpose and serve all ages (elementary to adult).

If you have any other questions, please let me know.

cc: file  
*Hand-delivered*



# Certificate of Design Application

From Designer:

SMPT INC. / KRISTEN DAMUTH

Date:

22 MAY 07

Job Name:

SALVATION ARMY RENOVATION + ADDITION

Address of Construction:

297 CUMBERLAND AVE

## 2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) BUSINESS, A-3 CHURCH

Type of Construction UNPROTECTED NON COMBUSTIBLE TYPE II (000)

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC N/A

Is the Structure mixed use? Yes If yes, separated or non separated or non separated (section 302.3) YES

Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) YES

### Structural Design Calculations

Submitted for all structural members (106.1 - 106.11)

### Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>Mechanical Rooms</u>	<u>125 PSF</u>
<u>Electrical Rooms</u>	<u>125 PSF</u>
<u>Assembly</u>	<u>100 PSF</u>
<u>File Storage</u>	<u>125 PSF</u>
<u>All others</u>	<u>80 PSF</u>

### Wind loads (1603.1.4, 1609)

Analytical Procedure Design option utilized (1609.1.1, 1609.6)

100 mph Basic wind speed (1809.3)

Category III,  $I_w = 1.15$  Building category and wind importance Factor,  $I_w$  table 1604.5, 1609.5)

Exposure B Wind exposure category (1609.4)

±.18 Internal pressure coefficient (ASCE 7)

±22 PSF / ±21 PSF Component and cladding pressures (1609.1.1, 1609.6.2.2)

±16 PSF Main force wind pressures (7603.1.1, 1609.6.2.1)

### Earth design data (1603.1.5, 1614-1623)

Equivalent lateral Force Procedure Design option utilized (1614.1)

USE GROUP II (Category B) Seismic use group ("Category")

S<sub>DS</sub> = .25 S<sub>SI</sub> = .07 Spectral response coefficients, S<sub>DS</sub> & S<sub>DI</sub> (1615.1)

Class B Site class (1615.1.5)

PER CODE Live load reduction

N/A Roof live loads (1603.1.2, 1607.11)

39 PSF Roof snow loads (1603.7.3, 1608)

50 PSF Ground snow load, P<sub>g</sub> (1608.2)

39 PSF If P<sub>g</sub> > 10 psf, flat-roof snow load  $P_f$

1.0 If P<sub>g</sub> > 10 psf, snow exposure factor, C<sub>e</sub>

1.1 If P<sub>g</sub> > 10 psf, snow load importance factor, I<sub>s</sub>

1.0 Roof thermal factor, C<sub>t</sub> (1608.4)

N/A Sloped roof snowload, P<sub>s</sub> (1608.4)

B Seismic design category (1616.3)

3 Basic seismic force resisting system (1617.6.2)

3 Response modification coefficient, R<sub>m</sub> and

deflection amplification factor C<sub>d</sub> (1617.6.2)

Equivalent Lateral Force Procedure Analysis procedure (1616.6, 1617.5)

9.5k/37.5k Design base shear (1617.4, 16175.5.1)

### Flood loads (1803.1.6, 1612)

N/A Flood Hazard area (1612.3)

N/A Elevation of structure

### Other loads

N/A Concentrated loads (1607.4)

inc. in live load Partition loads (1607.5)

N/A Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

STRUCTURAL  
STEEL SYSTEMS  
NOT SPECIFICALLY  
DETAILED  
FOR  
SEISMIC  
RESISTANCE





ARCHITECTURE  
ENGINEERING  
PLANNING

# Letter of Transmittal

ATTN: MIKE NOBENT  
Company: CITY OF PORTLAND

Date: 6 AUG 07  
From: KRISTEN DAMUTH  
Re: SAWATION ARMY  
Project:  
Job #:

- ▶ We are sending you:  Attached  Under separate cover via \_\_\_\_\_ the following:
- Shop drawings  Prints  Plans  Samples  Specifications
- Copy of letter  Change Order  Other: \_\_\_\_\_

Copies	Date	No	Description
2			COMCHECK REPORTS SIGNED
1			STATEMENT OF SPECIAL INSPECTIONS
1			EMAIL + RESPONSES TO YOUR QUESTIONS

- ▶ These are transmitted as checked below:
- For approval  Approved as submitted  Resubmit \_\_\_\_\_ copies for approval
- For your use  Approved as noted  Submit \_\_\_\_\_ copies for distribution
- As requested  Returned for corrections  Return \_\_\_\_\_ corrected prints
- For review and comment  Other: \_\_\_\_\_
- For BIDS DUE \_\_\_\_\_, 20\_\_\_\_\_  Prints RETURNED AFTER LOAN to us

▶ Remarks:

cc: \_\_\_\_\_, File

297 River Street  
Troy, NY 12180

☎ 518-266-1194  
☎ 518-266-11960

www.smrtinc.com

Signature: Kristen Damuth



ARCHITECTURE  
ENGINEERING  
PLANNING

# Memo

**Date:** 3 August 2007

**To:** Mike Nugent, City of Portland

**From:** Kristen Damuth *KD*

**Job #:** 05023

**Job Name:** Salvation Army addition

**Re:** Responses to Questions - second round

- 
1. Separated Uses: I reviewed spec section 302.3 again and we satisfy the requirements of 302.3.1 for non-separated uses. Using the increases allowed for frontage and sprinklers, type 2B construction meets the area and story amounts needed for both Business and A-3 occupancies for the entire building. My supporting calculations are attached.
  2. Fire dampers: will no longer be required between the first and second floor since the uses are non-separated. Fire Dampers for the Storage room are shown in the enlarged plan on M401.
  3. Classrooms: the area of the classrooms is 250 square feet over the 10% amount allowed for accessory use. Since the classes are for both children and adults, we are assuming educational occupancy as the worst-case scenario and we will separate the two rooms from the rest with 1 hour rated construction (which takes the 1 hour credit for sprinklers) .
  4. First floor egress components: please refer to the attached sheet with the floor plans. I have traced the exit path for all floors through the stairs and the door exits. The revision that is required is to include the landlocked stair #2 as part of the exiting. This means that the stair will need to be enclosed on the ground floor and double doors will be added on each side. Lobby 020 will also require 1 hour rating as part of the egress route. The calculations show that the doors and stairs are essentially at maximum capacity.

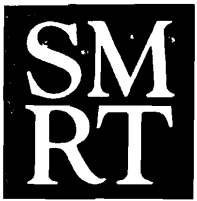
144 Fore Street  
PO Box 618  
Portland, Maine 04104

☎ 207 772-3846  
☎ 207 772-1070

www.smrtinc.com

cc: file, PSS





ARCHITECTURE  
ENGINEERING  
PLANNING

2 aug 07

SA Area Increases IBC 2003 506

• Frontage

$$I_f = 100 \left[ \frac{F}{P} - .25 \right] \frac{W}{30}$$

F = 370' open perm.

P = 485' total perm.

$\frac{W}{30} \leq 1$  W = width of open

$$100 \left[ \frac{370}{485} - .25 \right] \frac{30}{30} = \boxed{51 = I_f}$$

.76 - .25

• Sprinkler

$$I_s = 200$$

• Total Area Increase

$$A_a = A_t + \left[ \frac{A_t I_f}{100} \right] + \left[ \frac{A_t I_s}{100} \right]$$

$A_t$  = tabular Area

$$A_t = A-3 \text{ Type 2B} = 9500$$

$$A_a = 9500 + \left[ \frac{9500 \cdot 51}{100} \right] + \left[ \frac{9500 \cdot 200}{100} \right]$$

$$9500 + 4845 + 19000 = \boxed{33,345 = A_a}$$

• Height Increase - 1 story for sprinklers

	table	modified
A-3, Type 2B	2 stories, 9500 Ⓢ	3 stories, 33,345 Ⓢ
B, Type 2B	4 stories 23000 Ⓢ	

max plate ± 13500

Bld. satisfies both A-3 + B for entire bld.

∴ non separated per 3.0.2.3.1

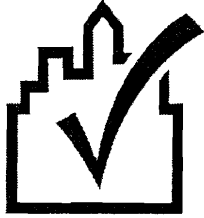
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☎ 207 772-3846  
☎ 207 772-1070

297 River Street  
Troy, New York 12180

☎ 518 266-1194  
☎ 518 266-1196

www.smrinc.com



COMcheck Software Version 3.4.1

# Mechanical Compliance Certificate

## 90.1 (2001) Standard

Report Date: 07/10/07

Data filename: C:\Program Files\Check\COMcheck\Salvation Army Reno.cck

## Section 1: Project Information

Project Title: Salvation Army Renovaton

Construction Site:  
297 Cumberland Ave  
Portland, ME

Owner/Agent:

Designer/Contractor:  
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Portland, ME 04104

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Project Type: **Addition**

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Quantity	System Type & Description
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1	Plant 1: Heating: Hot Water Boiler, Capacity $\geq 600$ kBtu/h, Gas
3	Storage Water Heater 1: Gas Storage Water Heater, Capacity: 120 gallons, Input Rating: 75000 Btu/h, Combined Space/SWH System w/ Circulation Pump

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- 1. Minimum one temperature control device per zone
  - Exception: System is an independent perimeter system and must have at least one temperature control per building exposure over 50 lineal ft and facing one orientation
- 2. Equipment minimum efficiency: Split System: 9.3 EER, 9.5 IPLV
- 3. Integrated air economizer required
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- 6. VAV fan equipped with mechanical or electrical adjustable speed drives.

### Requirements Specific To: Plant 1 :

- 1. Equipment minimum efficiency: Boiler Thermal Efficiency  $\geq 75\%$  Et

### Requirements Specific To: Storage Water Heater 1 :

- 1. Gas Storage Water Heater efficiency  $\geq 0.39$  EF **(N/A)**
- 2. All piping in circulating system insulated
- 3. Hot water storage temperature adjustable down to 120 degrees F or lower **(Stored at 140° to prevent Legionella)**
- 4. Automatic time control of heat tapes and recirculating systems present
- 5. Controls will shut off operation of circulating pump between water heater/boiler and storage tanks within 5 minutes after end of heating cycle
- 6. Combined space/swh system uses of a single heat source that will consume less energy than separate units

- 7. Hot water system sized per manufacturer's sizing guide or engineering standards acceptable to the adopting authority.

**Generic Requirements: Must be met by all systems to which the requirement is applicable:**

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- 3. Thermostatic controls has 5 degrees F deadband
  - Exception: Thermostats requiring manual changeover between heating and cooling
- 4. Automatic Controls: Setback to 55 degrees F (heat) and 85 degrees F (cool); 7-day clock, 2-hour occupant override, 10-hour backup
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  - Exception: Piping within HVAC equipment
  - Exception: Fluid temperatures between 55 and 105 degrees F
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  - Exception: Runouts <4 ft in length
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- 7. Lavatory faucet outlet temperatures in public restrooms limited to 110 degrees F (43 degrees C)
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- 10. Pumping system balancing required. Means for measurement or testing pressure across each pump required
- 11. Where separate thermostats are used for heating and cooling, acceptable measures are used to prevent simultaneous heating and cooling **NA**
- 12. Motorized, automatic shutoff dampers required on exhaust and outdoor air supply openings
  - Exception: Gravity dampers acceptable in buildings <3 stories
  - Exception: Gravity (non-motorized) dampers are acceptable in systems with a design outside air intake or exhaust capacity of 300 cfm (140 L/s) or less.
- 13. Stair and elevator shaft vents are equipped with motorized dampers **NA**
- 14. Acceptable measures used to prevent simultaneous humidification and dehumidification **NA**
  - Exception: Desiccant systems and systems for uses requiring specific humidity levels (approval required)
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- 16. Automatic ventilation controls (e.g., CO2 controls) or exhaust air heat recovery present for high design occupancy areas (>100 person/1000 ft2) with >3,000 cfm outside air capacities **NA**
- 17. Duct, plenum, and piping insulation surfaces suitably protected from weather, moisture, or likely damage
- 18. R-6 supply and return air ducts in unconditioned spaces R-8 supply and return air ducts outside the building R-8 insulation between ducts and the building exterior when ducts are part of a building assembly R-3.5 supply and return air ducts insulation underground
- 19. Duct Sealing: Pressure sensitive tape is not used as the primary sealant Longitudinal and transverse seams for ducts in unconditioned spaces Longitudinal and transverse seams and duct wall penetrations for ducts outside the building Transverse seams on buried ducts
- 20. Three-pipe systems not used
- 21. Humidistat controls prevent reheating, recooling, and mixing of mechanically heated air with mechanically cooled air **NA**
- 22. Hotwater pumping systems with multiple boilers automatically reduce hot water flow rates proportionately when boilers are not operating **NA**
- 23. Exhaust air heat recovery included for systems 5,000 cfm or greater with more than 70% outside air fraction or specifically exempted **NA**
- 24. Kitchen hoods >5,000 cfm provided with 50% makeup air that is uncooled and heated to no more than 60 degrees F unless specifically exempted
- 25. Buildings with fume hood systems must have variable air volume hood design, exhaust heat recovery, or separate makeup air supply meeting the following: a) 75% make up air quantity, and /or b) within 2 degrees F of room temperature and/or c) no humidification d) no simultaneous heating and cooling **NA**

## Section 5: Compliance Statement

*Compliance Statement:* The proposed mechanical design represented in this document is consistent with the building plans, specifications and other calculations submitted with this permit application. The proposed mechanical systems have been designed to meet the 90.1 (2001) Standard requirements in COMcheck Version 3.4.1 and to comply with the mandatory requirements in the Requirements Checklist.

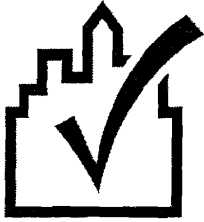
Jon Alberi PE  
Name - Title

Jon Alberi  
Signature

7/10/07  
Date

## Section 6: Post Construction Compliance Statement

- HVAC record drawings of the actual installation and performance data for each equipment provided to the owner within 90 days after system acceptance.
- HVAC O&M documents for all mechanical equipment and system provided to the owner within 90 days after system acceptance.
- Written HVAC balancing report provided to the owner.



COMcheck Software Version 3.4.1

# Mechanical Compliance Certificate

## 90.1 (2001) Standard

Report Date: 07/10/07

Data filename: C:\Program Files\Check\COMcheck\Salvation Army Reno.cck

## Section 1: Project Information

Project Title: Salvation Army Renovaton

Construction Site:  
297 Cumberland Ave  
Portland, ME

Owner/Agent:

Designer/Contractor:  
SMRT  
144 Fore St  
Portland, ME 04104

## Section 2: General Information

Building Location (for weather data): **Portland, Maine**  
Heating Degree Days (base 65 degrees F): **7378**  
Cooling Degree Days (base 50 degrees F): **1943**  
Project Type: **Addition**

## Section 3: Mechanical Systems List

### Quantity System Type & Description

- | Quantity | System Type & Description   |
|----------|---|
| 1        | HVAC System 1: Heating: Hydronic or Steam Coil, Hot Water, Heating Capacity $\geq 225$ kBtu/h / Cooling: Split System, Capacity $\geq 240$ - $< 760$ kBtu/h, Air-Cooled Condenser / Multiple-Zone w/ Perimeter System |
| 1        | Plant 1: Heating: Hot Water Boiler, Capacity $\geq 600$ kBtu/h, Gas   |
| 3        | Storage Water Heater 1: Gas Storage Water Heater, Capacity: 120 gallons, Input Rating: 75000 Btu/h, Combined Space/SWH System w/ Circulation Pump   |

## Section 4: Requirements Checklist

### Requirements Specific To: HVAC System 1 :

- 1. Minimum one temperature control device per zone
  - Exception: System is an independent perimeter system and must have at least one temperature control per building exposure over 50 lineal ft and facing one orientation
- 2. Equipment minimum efficiency: Split System: 9.3 EER, 9.5 IPLV
- 3. Integrated air economizer required
- 4. Systems serving more than one zone must be VAV systems
- 5. Single-duct VAV terminals reduce primary air before reheating
- 6. VAV fan equipped with mechanical or electrical adjustable speed drives.

### Requirements Specific To: Plant 1 :

- 1. Equipment minimum efficiency: Boiler Thermal Efficiency  $\geq 75\%$  Et

### Requirements Specific To: Storage Water Heater 1 :

- 1. Gas Storage Water Heater efficiency  $\geq 0.39$  EF **(N/A)**
- 2. All piping in circulating system insulated
- 3. Hot water storage temperature adjustable down to 120 degrees F or lower **(Stored at 140° to prevent Legionella)**
- 4. Automatic time control of heat tapes and recirculating systems present
- 5. Controls will shut off operation of circulating pump between water heater/boiler and storage tanks within 5 minutes after end of heating cycle
- 6. Combined space/swh system uses of a single heat source that will consume less energy than separate units

7. Hot water system sized per manufacturer's sizing guide or engineering standards acceptable to the adopting authority.

**Generic Requirements: Must be met by all systems to which the requirement is applicable:**

1. Load calculations per 2001 ASHRAE Fundamentals
2. Minimum one temperature control device per system
3. Thermostatic controls has 5 degrees F deadband
- Exception: Thermostats requiring manual changeover between heating and cooling
4. Automatic Controls: Setback to 55 degrees F (heat) and 85 degrees F (cool); 7-day clock, 2-hour occupant override, 10-hour backup
- Exception: Continuously operating zones
  - Exception: Residential occupancies may use controls that can start and stop the system under two different time schedules per week.
5. Hot water pipe insulation: 1 in. for pipes  $\leq 1.5$  in. and 2 in. for pipes  $> 1.5$  in. Chilled water/refrigerant/brine pipe insulation: 1 in. for pipes  $\leq 1.5$  in. and 1.5 in. for pipes  $> 1.5$  in. Steam pipe insulation: 1.5 in. for pipes  $\leq 1.5$  in. and 3 in. for pipes  $> 1.5$  in.
- Exception: Piping within HVAC equipment
  - Exception: Fluid temperatures between 55 and 105 degrees F
  - Exception: Fluid not heated or cooled
  - Exception: Runouts  $< 4$  ft in length
6. Piping, insulated to 1/2 in. if nominal diameter of pipe is  $< 1.5$  in.; Larger pipe insulated to 1 in. thickness
7. Lavatory faucet outlet temperatures in public restrooms limited to 110 degrees F (43 degrees C)
8. Load calculations per acceptable engineering standards and handbooks
9. Hot water distribution systems  $\geq 300$  kBtu/h must have one of the following: a) controls that reset supply water temperature by 25% of supply/return delta T b) mechanical or electrical adjustable-speed pump drive(s) c) two-way valves at all heating coils d) multiple-stage pumps e) other system controls that reduce pump flow by at least 50% based on load - calculations required
10. Pumping system balancing required. Means for measurement or testing pressure across each pump required
11. Where separate thermostats are used for heating and cooling, acceptable measures are used to prevent simultaneous heating and cooling **NA**
12. Motorized, automatic shutoff dampers required on exhaust and outdoor air supply openings
- Exception: Gravity dampers acceptable in buildings  $< 3$  stories
  - Exception: Gravity (non-motorized) dampers are acceptable in systems with a design outside air intake or exhaust capacity of 300 cfm (140 L/s) or less.
13. Stair and elevator shaft vents are equipped with motorized dampers **NA**
14. Acceptable measures used to prevent simultaneous humidification and dehumidification **NA**
- Exception: Desiccant systems and systems for uses requiring specific humidity levels (approval required)
15. Automatic controls for freeze protection systems present
16. Automatic ventilation controls (e.g., CO2 controls) or exhaust air heat recovery present for high design occupancy areas ( $> 100$  person/1000 ft<sup>2</sup>) with  $> 3,000$  cfm outside air capacities **NA**
17. Duct, plenum, and piping insulation surfaces suitably protected from weather, moisture, or likely damage
18. R-6 supply and return air ducts in unconditioned spaces R-8 supply and return air ducts outside the building R-8 insulation between ducts and the building exterior when ducts are part of a building assembly R-3.5 supply and return air ducts insulation underground
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## Section 5: Compliance Statement

*Compliance Statement:* The proposed mechanical design represented in this document is consistent with the building plans, specifications and other calculations submitted with this permit application. The proposed mechanical systems have been designed to meet the 90.1 (2001) Standard requirements in COMcheck Version 3.4.1 and to comply with the mandatory requirements in the Requirements Checklist.

Jon Albers PE                      Jon Albers                      7/10/07  
Name - Title                                      Signature                                      Date

## Section 6: Post Construction Compliance Statement

- HVAC record drawings of the actual installation and performance data for each equipment provided to the owner within 90 days after system acceptance.
- HVAC O&M documents for all mechanical equipment and system provided to the owner within 90 days after system acceptance.
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# COMcheck Software Version 3.4.1 Envelope Compliance Certificate

## 90.1 (2001) Standard

Report Date: 07/10/07

Data filename: H:\Projects 2005\05023\_Salvation Army 297 Cumberland Avenue\10 Project Development\17 Engineering Calculations\17.3 MEP\Mech\Salvation Army Reno.cck

### Section 1: Project Information

Project Title: Salvation Army Renovaton

Construction Site:  
297 Cumberland Ave  
Portland, ME

Owner/Agent:

Designer/Contractor:  
SMRT  
144 Fore St  
Portland, ME 04104

### Section 2: General Information

Building Location (for weather data): **Portland, Maine**  
Heating Degree Days (base 65 degrees F): **7378**  
Cooling Degree Days (base 50 degrees F): **1943**  
Building Type for Envelope Requirements: **Non-Residential**  
Project Type: **Addition**  
Vertical Glazing / Wall Area Pct.: **19%**

#### Building Type

Office

#### Floor Area

14137

### Section 3: Requirements Checklist

**Envelope PASSES: Design 17% better than code.**

#### Climate-Specific Requirements:

Component Name/Description	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor
Roof 1: Insulation Entirely Above Deck	3292	---	20.0	0.048	0.063
Exterior Wall 1: Metal Frame, 16" o.c.	3831	15.0	10.0	0.054	0.084
Window 1: Metal Frame with Thermal Break: Double Pane with Low-E, Clear, Fixed, SHGC 0.40	1082	---	---	0.350	0.570
Door 1: Glass, Clear, SHGC 0.50	42	---	---	0.400	0.570
Basement Wall 1: Solid Concrete: 8" Thickness, Medium Density, Furring: None, Wall Ht 10.0, Depth B.G. 10.0	2040	---	0.0	0.570	0.579

(a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.

#### Insulation:

- 1. Open-blown or poured loose-fill insulation has not been used in attic roof spaces with ceiling slope greater than 3 in 12.
- 2. Wherever vents occur, they are baffled to deflect incoming air above the insulation.
- 3. Recessed lights, equipment and ducts are not affecting insulation thickness.
- 4. No roof insulation is installed on a suspended ceiling with removable ceiling panels.
- 5. All exterior insulation is covered with protective material.
- 6. Cargo and loading dock doors are equipped with weather seals.

#### Fenestration and Doors:

- 7. Windows and skylights are labeled and certified by the manufacturer for U-factor and SHGC.



- 8. Fixed windows and skylights unlabeled by the manufacturer have been site labeled using the default U-factor and SHGC.
- 9. Other unlabeled vertical fenestration, operable and fixed, that are unlabeled by the manufacturer have been site labeled using the default U-factor and SHGC. No credit has been given for metal frames with thermal breaks, low-emissivity coatings, gas fillings, or insulating spacers.

**Air Leakage and Component Certification:**

- 10. All joints and penetrations are caulked, gasketed, weather-stripped, or otherwise sealed.
- 11. Windows, doors, and skylights certified as meeting leakage requirements.
- 12. Component R-values & U-factors labeled as certified.
- 13. Building entrance doors have a vestibule and equipped with closing devices.

*Exceptions:*

Buildings less than four stories above grade. Building entrances with revolving doors.

Doors that open directly from a space less than 3000 sq. ft. in area.

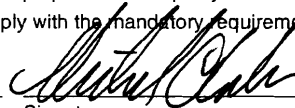
- 14. Insulation installed according to manufacturer's instructions, in substantial contact with the surface being insulated, and in a manner that achieves the rated R-value without compressing the insulation.

**Section 4: Compliance Statement**

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Michael Chonko

PE



8/6/07

Name - Title

Signature

Date



# COMcheck Software Version 3.4.1 Envelope Compliance Certificate

## 90.1 (2001) Standard

Report Date: 07/10/07

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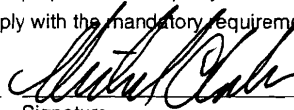
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Michael Chonko  
Name - Title

PE

  
Signature

8/6/07  
Date

## STATEMENT OF SPECIAL INSPECTIONS

<b>PROJECT:</b>	Salvation Army Addition/Renovation
<b>LOCATION:</b>	297 Cumberland Avenue Portland, Maine
<b>PERMIT APPLICANT:</b>	Ledgewood Construction
<b>APPLICANT'S ADDRESS:</b>	27 Main Street South Portland, Maine 04106

**Structural Engineer of Record:**

Michael A. Cunningham, P.E.

SMRT, Inc.

Name

Firm

**Architect of Record:**

Kristen Damuth

SMRT, Inc.

Name

Firm

This Statement of Special Inspections is submitted in accordance with Section 1704 of the 2003 International Building Code. It includes a "Schedule of Special Inspections" and a "Special Inspections List of Agents" specific to this project. The Special Inspector is identified in the "List of Agents."

The Special Inspector shall keep records of all inspections listed herein, and shall furnish inspection reports to the Code Official and to the Structural Engineer of Record. All discrepancies will be brought to the immediate attention of the Contractor for correction. If the discrepancies are not corrected, the discrepancies shall be brought to the attention of the Structural Engineer of Record and Code Official. Interim reports shall be submitted to the Structural Engineer of Record and the Code Official.

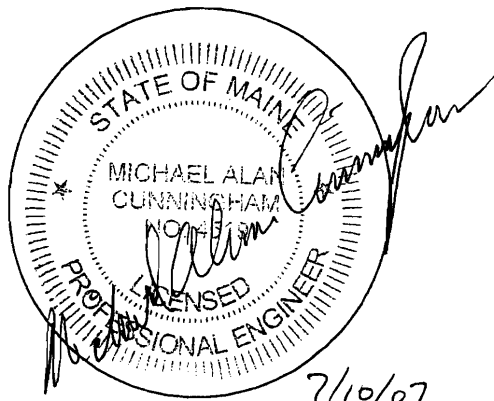
Job site safety is solely the responsibility of the Contractor. Materials and activities to be inspected are not to include the Contractor's equipment and methods used to erect and install the materials listed.

Prepared by: *(Structural Engineer of Record)*

Michael A. Cunningham, P.E.

(Name)

*Michael A. Cunningham* 7/10/07  
(Signature) (Date)



*Structural Engineer of Record's  
P.E. Seal*



## Kristen Damuth

---

**From:** Mike Nugent [mjn@portlandmaine.gov]  
**Sent:** Saturday, June 30, 2007 4:59 PM  
**To:** Kristen Damuth  
**Cc:** Donna Martin; Jeanie Bourke; Lannie Dobson  
**Subject:** Re: Salvation Army Addition

I have commenced the review and have the following questions or require the following information:

- 1) On the page 3 certification form, on the question as to whether this is to be reviewed as separated or non separated mixed uses, the answer you provided was "yes". Please review section 302.3 and provide the selection for review purposes with supporting code justification.
- 2) Please provide a statement of Special Inspections pursuant to section 1704 of the 2003 IBC.
- 3) Please provide Energy conservation code compliance information such as a COM Check report.
- 4) Because we are using existing egress components for the first and second floors, please provide the occupant load of the existing areas, the proposed areas and the measurements of the egress components.
- 5) What is the specific use of the classroom spaces and what age groups will they serve?

## Reply

**N**

To:

KDamuth@smrtinc.com

CC:

BC:

PStevens@SMRTInc.com, GE

Subject:

Re: Salvation Army



Message:

A couple of things;

The Comcheck for the building envelope was not signed by the engineer.

Please provide another copy of the Statement of Special Inspections

Can you explain the "classroom" use a little better. I assume we are classifying the use (if it's less than 100 kids) as an A3, if so should we be separating it from the adjoining offices as well? (See Section 305.1)

Please provide a detail (w/UL listing) of the horizontal fire separation between the A and B use groups with a penetration protection plan.

Based on the square footage, what is the maximum potential occupant load of rooms 103 and 104 and the fellowship rooms below?

I'm going to bring this into Captain Cass for his review. I'm essentially done with the





MATERIAL/ACTIVITY	ITEM	SERVICE	EXTENT
<b>SECTION 1 - STEEL CONSTRUCTION (IBC 2003 - 1704.3)</b>			
<p>STRUCTURAL STEEL - Fabrication</p> <p>NOTE: SER may waive Fabricator shop inspection if Fabricator is currently certified through the AISC Quality Certification Program.</p> <p>If shop inspection is waived, the Fabricator shall submit a letter certifying that the fabricated steel complies with the contract documents.</p>	1.1a	Review Fabricator QA/QC procedures manual.	Shop inspection required.
	1.1b	Review Fabricator QA/QC procedures implementation and conformance.	Shop inspection required. Visual inspection of shop conformance.
	1.1c	Review material certificates of compliance (bolts, nuts, washers, structural steel and weld filler material).	Verify that certificates of compliance and mill test reports have been approved.
	1.1d	Review welder certification.	Obtain certification numbers for all welders and all steel. Verify qualification in accordance with AWS D1.1.
	1.1e	Review shop drawings.	Verify approval.
	1.1f	Inspect welded connections	Verify correct weld filler processes and weld rod storage. Perform continuous inspection of complete and partial penetration groove for fillet welds greater than 5/16". Periodically inspect fillet or less than 5/16". Visually inspect all welds after completion.
	1.1g	Inspect bolted connections.	During installation, verify bolts, nuts, washers, paint, bolted plate installation and tightening procedures are in compliance with standards. Periodically inspect the installation of snug-tightener connections. Verify that all plies of all snug-tightened connections are drawn together. At pretensioned bolted connections, observe installation testing and calibration procedures when such procedures are required for the installation method. Provide continuous monitoring of pretensioned connections utilizing calibrated wrench method or nut method without matchmarking. Provide periodic monitoring of pretensioned bolted connections utilizing the turn of the nut or matchmarking techniques, the direct tension indicator method or off bolt method.
	1.1h	Verify steel material.	Identify markings to conform to ASTM standards specified in contract documents.
	1.1i	Review structural steel and fabrication for conformance to approved shop drawings.	Verify member sizes, piece marks and connection details match shop drawings. Visually inspect bolts and welds.
	1.1j	Review Certificate of Compliance.	Verify submission of certificate of compliance that fabricated steel complies with contract documents.

MATERIAL/ACTIVITY	ITEM	SERVICE	APPLICABLE
			EXTENT
STRUCTURAL STEEL - Erection	1.2a	Review welder certification.	Obtain certification numbers for all welders and all steel. Verify qualification in accordance with AWS D1.1
	1.2b	Review materials certificates of compliance (bolts, nuts, washers, and weld filler material) and steel mill test reports.	Verify that certificates of compliance and steel mill test reports are approved.
	1.2c	Review structural steel and erection for conformance to approved shop drawings.	Verify all member sizes, piece marks and connection details.
	1.2d	Inspect welded connections.	Verify correct weld filler processes and weld rod storage. Perform continuous inspection of complete and partial penetration groove for fillet welds greater than 5/16". Periodically inspect fillet or less than 5/16". Visually inspect all welds after completion.
	1.2e	Inspect field bolting installation in accordance with Section 9 of RCSC <i>Specification for Structural Joints Using ASTM A325 or A490 Bolts.</i>	Visually inspect all bolts. During installation, verify bolts, nut, paint, bolted parts and installation and tightening procedures compliance with referenced standards. Periodically inspect of snug-tightened connections. Verify that all plies of all snug connections are drawn together. At pretensioned bolted connections observe the pre-installation testing and calibration procedure. If procedures are required for the installation method. Provide monitoring for pretensioned connections utilizing calibrated wrench or turn of the nut method without matchmarking. Provide periodic monitoring of pretensioned bolted connections utilizing the turn of the nut method, or the twist-off bolt method.
	1.2f	Review Bracing connections.	Visually inspect all.
	1.2h	Review shear connections	Visually inspect all.
	1.2i	Review Moment connections.	Visually inspect all.
	STEEL STAIRS AND GUARDRAILS NOTE: special inspector may waive Fabricator shop inspection if the fabricator is currently certified through the AISC Quality Certification program.	1.5a	Review Fabricator QA/QC Procedures manual.
1.5b		Review Fabricator QA/QC procedures implementation and conformance.	One shop inspection required. Visual inspection of shop conformance.
1.5c		Review welder certifications.	Verify welder qualification in accordance with AWS D1.1. Obtain certification numbers for all welders.
1.5d		Review shop drawings.	Verify approval
1.5e		Inspect welded connections.	Perform continuous inspection of complete and partial penetration groove welds and fillet welds larger than 5/16". Perform periodic inspection of fillet welds 5/16" and smaller. Visually inspect all welds after completion.
1.5f		Inspect bolted connections utilizing high-strength bolts.	Periodically inspect installation of high-strength bolts. Verify that all connections are drawn together.

MATERIAL/ACTIVITY	ITEM	SERVICE	APPLICABLE
			EXTENT
Steel Stairs and Guardrail Systems - Erection	1.6a	Review welder certification.	Verify welder qualification in accordance with AWS D1.1. Obtain certification numbers for all welders.
	1.6b	Inspect welded connections.	Perform continuous inspection of complete and partial penetration welds and fillet welds larger than 5/16". Perform periodic inspection of installation of fillet welds 5/16" and smaller. Visually inspect at completion.
	1.6c	Inspect bolted connections utilizing high-strength bolts.	Periodically inspect installation of high strength bolts. Verify bolts are drawn together.
	1.6d	Inspect installation.	Perform periodic inspection in progress and at completion verifying all members and connections conform with documents and approved shop drawings.
SECONDARY / MISC STRUCTURAL STEEL	1.7a	Review welder certification.	Obtain certification numbers for all welders.
	1.7b	Review precast concrete support angle connections/installation.	Visually inspect all. Verify member size and connections to structural field connections in accordance with 1.2d and 1.2e as applicable.
	1.7c	Inspect bolted connections utilizing high-strength bolts.	Periodically inspect installation of high-strength bolts. Verify bolts of all connections are drawn together.
	1.7d	Review fabrication for conformance with approved shop drawings.	Verify member sizes, piece marks, and connection details match shop drawings.
Steel Deck Erection	1.8a	Review steel deck shop drawings.	Verify approval.
	1.8b	Review welder certification.	Verify welder qualification in accordance with AWS D1.1. Obtain certification numbers of all welders.
	1.8c	Verify number, type, and location of steel deck connection to framing and side lap fasteners.	Visually inspect all. Verify welds comply with AWS D1.3 requirements.
	1.8d	Inspect installation of shear connectors.	Prior to starting, verify materials and weld processes are in conformance with AWS requirements and construction documents. Periodically inspect connector installation. Inspect soundness of all welds. Verify location of all. Random test 20% of all connectors in accordance with Chapter 5.

MATERIAL/ACTIVITY	ITEM	SERVICE	APPLICABLE
			EXTENT
<b>SECTION 2 - CONCRETE CONSTRUCTION (IBC 2003 - 1704.4)</b>			
CONCRETE MATERIALS	2.1a	Review mix design.	Verify approval of all mixes intended for use.
	2.1b	Review reinforcement grade.	Inspect identifying marks on reinforcing steel.
	2.1c	Review submittals.	Verify acceptance of propriety products and reinforcing steel Review requirements of reinforcing steel on placement drawings.
REINFORCING AND PRESTRESSING STEEL	2.2a	Inspect condition and placement of reinforcing steel.	All reinforcing steel at walls, spread footings, columns and beams, piers, and elevated slabs. Check prior to each concrete placement.
FORMWORK	2.3a	Verify acceptability of substrate.	Prior to each concrete placement.
	2.3b	Verify dimensions and materials acceptability.	Prior to each concrete placement.
	2.3c	Inspect removal of formwork.	Verify timing of removal for compliance with specifications.
EMBEDMENTS	2.4a	Inspect installation of anchor bolts and other embedded items.	Inspect for each concrete placement. Verify size, layout and depth.
CONCRETE OPERATIONS	2.5a	Field testing of concrete slump, temperature, and air content.	All concrete placements.
	2.5b	Take concrete cylinder samples and perform compressive strength test.	All concrete placements.
	2.5c	Observe concrete placement.	Inspect placement procedures at all concrete placements.
	2.5d	Observe concrete curing technique and temperature.	Once daily when air temperature is above 32°F. Twice daily when temperature is below 32°F.
ELEVATED CONCRETE	2.6a	Inspect placement of elevated concrete for compliance with contract documents.	Visually inspect all placement and curing.
PRECAST CONCRETE ERECTION	2.9a	Review submittals.	Verify acceptance of proprietary products and erection drawings.
	2.9b	Review precast erection.	Visually inspect installation of ties secured to structure.
<b>SECTION 3 - MASONRY CONSTRUCTION (IBC 2003 - 1704.5)</b>			
MASONRY ERECTION	3.1a	Review submittals.	Verify approval of mortar mixes, mortar ingredients, reinforcing steel, drawings, veneer anchor assemblies, and other items requiring approval per the Construction Documents.
	3.1d	Inspect installation of veneer anchors.	Periodically inspect material, location, and attachment of veneer anchors.

MATERIAL/ACTIVITY	ITEM	SERVICE	EXTENT	APPLICAB
<b>SECTION 5 - SOILS (IBC 2003 - 1704.7)</b>				
SOILS	5.1a	Review design submittals for ledge reinforcement and shoring.	Verify approval.	
	5.1b	Inspect site preparation and soil conditions prior to placement of fill for conformance with contract documents and soils report.	All under building footprint. Verify depth of excavation and a substrate.	
	5.1c	Inspect installation of ledge reinforcement.	Continuously inspect anchor installation and other aspects of i	
	5.1d	Verify approval of fill materials.	Prior to installation.	
	5.1e	Inspect fill placement for fill more than 12 inches deep.	Continuously inspect use of proper materials, lift thickness, ar method.	
	5.1f	Field testing of fill more than 12 inches deep.	Test compaction and gradation in accordance with contract d geotechnical report.	
<b>SECTION 7 - SPRAYED FIRE-RESISTANT MATERIALS (IBC 2003 - 1704.11)</b>				
SPRAYED-ON FIREPROOFING	7.1a	Inspect surface of structural members to be sprayed for conformance with contract documents.	Visually inspect all.	
	7.1b	Observed application conditions for conformance with the approved manufacturer's written instructions.	At each fireproofing application.	
	7.1c	Observe field-testing of thickness, density, and bond strength of the sprayed fire resistive material for compliance with contract documents.	As specified in IBC 2003, Section 1704.11.3, 1704.11.4 and 170	