

311 CUMBERLAND AVENUE

311 CUMBERLAND AVENUE

Pat. No. 2,820,544 Mar. 16, 1958. U.S. Pat. No. 2,820,544 Mar. 16, 1958. U.S. Pat. No. 2,820,544 Mar. 16, 1958.

this sign has
been erected

PERSUE
SEE LETTER

311 Cumberland Avenue

April 18, 1974

Gary Moro
101 Concord Street

cc to: Atlas Corporation,
315 Cumberland Avenue
cc to: Zuccino, 311 Cumberland Avenue
cc to: Coyne SignCo., 66 Cove Street
cc to: Eric Saunders, 1 Monument Sq.

Dear Mr. Moro:

We are unable to issue you a building permit to erect a projecting sign at the above named location because no permit has been issued for any use at this location. We sent you a letter on January 28, 1974 in which we asked what type of a use you proposed. At a later date, Mr. Eric Saunders, had a meeting with me here at this office, at which time he said plans would be submitted of the kitchen proposed at this location. I do not know what use you are proposing, if it is a restaurant use, as I have explained, in which a kitchen is involved, then we must have the approval of the Health Department. This is a B-3 Business Zone in which all business uses are allowed. No parking is required, therefore we will be glad to expedite this matter as soon as we get adequate information and plans.

Very truly yours,

A. Allan Soule
Asst. Director Building & Inspection Services

AAS:m



APPLICATION FOR PERMIT TO ERECT
SIGN OVER PUBLIC SIDEWALK OR STREET

Portland, Maine, April 18, 1974

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 311 Cumberland Avenue Within Fire Limits? _____ Dist. No. _____

Owner of building to which sign is to be attached Atlas Corp., 315 Cumberland Avenue

Name and address of owner of sign Atlas Corp., 311 Cumberland Ave.

Contractor's name and address Cover Sign Co., 66 Cove St. Telephone 772-1144

When does contractor's bond expire? Dec. 31, 1974

Information Concerning Building

No. stories 3 Material of wall to which sign is to be attached brick

Details of Sign and Connections

Building owner's consent and agreement filed with application yes

Electric? yes Vertical dimension after erection 5' Horizontal 6'

Weight 120 lbs. lbs., Will there be any hollow spaces? yes Any rigid frame? yes

Material of frame angle iron No. advertising faces 2 material plastic

No. rigid connections 2 Are they fastened directly to frame of sign? yes

No. through bolts 1 Size 3/4" Location, top or bottom top

No. guys 5 material all cable Size 1/4"

Minimum clear height above sidewalk or street 12'

Maximum projection into street 6' 6" Fee \$ 8.00

O.K. E.B. 4/18/74
INSPECTION COPY

Signature of contractor

[Handwritten Signature]

ZONING OK 4/18/74 M.C.D.

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED
TO BE ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE
PREMISES AT 311 Cumberland Ave IN PORTLAND, MAINE

Atlas Corp being the owner of the
premises at 311 Cumberland Ave in Portland, Maine hereby
gives consent to the erection of a certain sign owned by
Zuccini's projecting over the public sidewalk
from said premises as described in application to the Inspector
of Buildings of Portland, Maine for a permit to cover erection
of said sign:

And in consideration of the issuance of said permit
Atlas Corp, owner of said premises,
in event said sign shall cease to serve the purpose for which
it was erected or shall become dangerous and in event the owner
of said sign shall fail to remove said sign or make it permanently
safe in case the sign still serves the purpose for which it was
erected, hereby agrees for himself or itself, for his heirs,
its successors, and his or its assigns, to completely remove
said sign within ten days of notice from said Inspector of
Buildings that said sign is in such condition and of order from
him to remove it.

In Witness whereof, the owner of said premises has signed
this consent and agreement this eighteenth
day of April 1974 .

[Signature]
Witness

Atlas Corp
Owner
Charles P. [Signature]
Pres.

From the desk of —
A. Allan Soule

1/25/74

311 Cumberland Ave

HOLD
SEE LETTER

Health Dept. Ord.
received

Mr. Saunders will bring
in plans of Kitchen

102 -

Stacy Bonvin
Allan - 101 Canal
Please call

Harry Marshall
774-4155

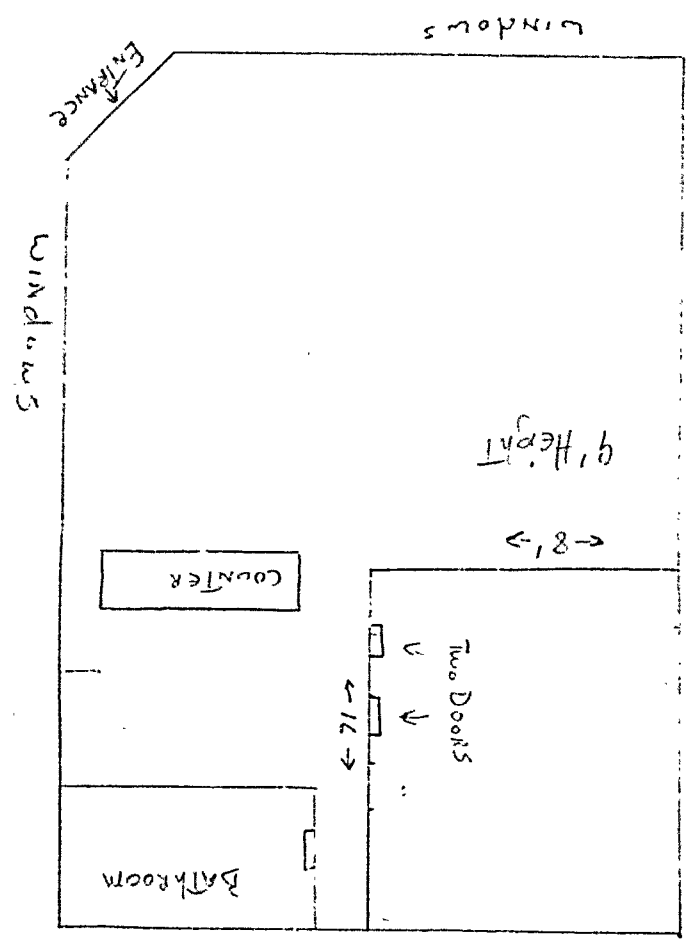
Sub - Shop

ERIC F. SAUNDERS

ONE MONUMENT SQUARE
PORTLAND, MAINE
BERNSTEIN, SHUR, SAWYER AND NELSON TEL. 207-774-6291

RECEIVED
JAN 24 1973
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

311 Commercial Ave.



311 Cumberland Avenue

Jan. 28, 1974

cc to: Cuda, John
8 Phillips Rd. Falmouth

Gary Mero
101 Concord Street

Dear Mr. Mero:

*Retail
Sub
shop
(restaurant)*
In checking your application for a change of use of the store on the first floor at the above named location we find we are unable to continue processing your application until we know the type of store that you propose, retail, wholesale or what use you propose to have at this location. We will be able to continue processing your application with the above information.

Very truly yours,

A. Allan Soule
Asst. Dir. Building & Inspection Services

AAS:m



APPLICATION FOR PERMIT

B.O.C.A. USE GROUP

B.G.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION _____ PORTLAND, MAINE, Jan. 24, 1974

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 311 Cumberland Ave.

1. Owner's name and address Gary Mero, Falmouth Fire District #1 #2

2. Lessee's name and address Telephone

3. Contractor's name and address Gary Mero 101 Concord St. Telephone 772-6728

4. Architect Specifications Plans No. of sheets

Proposed use of building store No. families

Last use antique store No. families

Material No. stories Heat Style of roof Roofing

Other building on same lot

Estimated contractual cost \$ 500. Fee \$ 3.00

FIELD INSPECTOR—Mr. Cartwright GENERAL DESCRIPTION

This application is for: @ 775-5451 Ext. 234 To erect partitions as per plan

Dwelling

Garage

Masonry Bldg.

Metal Bldg.

Alterations

Demolitions

Change of Use

Other

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4

Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?

Is connection to be made to public sewer? If not, what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing Lumber—Kind Dressed or full size? Corner posts Sills

Size Girder Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor 2nd 3rd roof

On centers: 1st floor 2nd 3rd roof

Maximum span: 1st floor 2nd 3rd roof

If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated ... number commercial cars to be accommodated ...

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

BUILDING INSPECTION—PLAN EXAMINER

ZONING:

BUILDING CODE:

Fire Dept.:

Health Dept.:

Others:

DATE

MISCELLANEOUS

Will work require disturbing of any tree on a public street? ..

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of Applicant Gary Mero Gary Mero Phone #

Type Name of above

1 2 3

Other

and Address

FIELD INSPECTOR'S COPY

P
Y
7-5-10

CITY OF PORTLAND, MAINE
Building & Inspection Services

311 Cumberland Avenue

April 18, 1974

C
O
P
Y

AAS:im

erry Mero
101 Concord Street

Dear Mr. Mero:

We are unable to issue you a building permit to erect a projecting sign at the above named location because no permit has been issued for any use at this location. We sent you a letter on January 28, 1974 in which we asked what type of a use you proposed. At a later date, Mr. Eric Saunders, had a meeting with me here at this office, at which time he said plans would be submitted of the kitchen proposed at this location. I do not know what use you are proposing, if it is a restaurant use, as I have explained, in which a kitchen is involved, then we must have the approval of the Health Department. This is a B-3 Business Zone in which all business uses are allowed. No parking is required, therefore we will be glad to expedite this matter as soon as we get adequate information and plans.

cc to: Atlas Corporation,
315 Cumberland Avenue
cc to: Zuccino, 311 Cumberland Avenue
cc to: Come SignCo., 66 Cove Street
cc to: Eric Saunders, 1 Monument Sq.

Very truly yours,

A. Allan Soule
Asst. Director Building & Inspection Services

(COPY)

CITY OF PORTLAND, MAINE
Department of Building Inspection



Certificate of Occupancy

LOCATION 311 Cumberland Avenue

Issued to Zuccino's Sub & Pizza House

Date of Issue April 12, 1974

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 74/132, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

first floor corner of building

APPROVED OCCUPANCY

luncheonette

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

4/10/74

(Date)

Nelson F. Cartwright

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



APPLICATION FOR PERMIT

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION
ZONING LOCATION PORTLAND, MAINE

PERMIT ISSUED
00432 1974
CITY of PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 311 Cumberland Avenue
1. Owner's name and address Service Oil Co., same
2. Lessee's name and address Zaccaro's Sub + Pizza House
3. Contractor's name and address Gaulrapp Sheet Metal, 4 Widgery Wharf, Portland
4. Architect Specifications Plans yes No. of sheets 1
Proposed use of building offices & stores restaurant 1st floor
Last use
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$ Fee \$ 10.00

FIELD INSPECTOR - Mr. Cartwright GENERAL DESCRIPTION

This application is for: @ 775-5451
Dwelling Ext. 234 To install hood and ventilation system as per plan first floor
Garage
Masonry Bldg. Stamp of Special Conditions
Metal Bldg.
Alterations
Demolitions
Change of Use
Other brick

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4
Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated . . . number commercial cars to be accommodated . . .
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: A.F.C. DATE 2-22-74 MISCELLANEOUS
BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street? . .
ZONING:
BUILDING CODE: OK N.F.S. Will there be in charge of the above work a person competent
Fire Dept.: to see that the State and City requirements pertaining thereto
Health Dept.: are observed? YES
Others: Gaulrapp Sheet Metal Co.

Signature of Applicant By: Jack Gaulrapp W.P.S. Phone # same
Type Name of above 1 2 3 4
Other and Address

FIELD INSPECTOR'S COPY

NOTES

88500

3-1-74 Hood up - no duct to
 4-10-74 Completed.
 C.O.D.
 C/O issued on 4/11/74
 P. M.

~~100~~

100

Permit No. 741132
 Location 311 Cumberland Ave
 Owner Service Day Co. Steinerborica
 Date of permit 2/25/74
 Approved

Restaurant Nelson

CITY OF PORTLAND, MAINE
Application for Permit to Install Wires

Permit No. 1103
 Issued 1/30/74
 1974

Portland, Maine

To the City Electrician, Portland, Maine:

The undersigned hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications:

(This form must be completely filled out — Minimum Fee, \$1.00)

Owner's Name and Address Steven Bonica 311 Clumb Ave
 Contractor's Name and Address Paul Bourget Tel. 883-6702
 Location 311 Cumberland Ave Use of Building SANDWICH STAND
 Number of Families . . . Apartments . . . Stores . . . Number of Stories . . .
 Description of Wiring: New Work . . . Additions . . . Alterations . . .
 Pipe . . . Cable . . . Metal Molding . . . BX Cable . . . Plug Molding (No. of feet) . . .
 No. Light Outlets . . . Plugs 6 . . . Light Circuits . . . Plug Circuits 6 . . .
 FIXTURES: No. . . . Fluor. or Strip Lighting (No. feet) . . .
 SERVICE: Pipe . . . Cable . . . Underground . . . No. of Wires . . . Size . . .
 METERS: Relocated . . . Added . . . Total No. Meters . . .
 MOTORS: Number . . . Phase . . . H. P. . . Amps . . . Volts . . . Starter . . .
 HEATING UNITS: Domestic (Oil) . . . No. Motors . . . Phase . . . H.P. . . .
 Commercial (Oil) . . . No. Motors . . . Phase . . . H.P. . . .
 Electric Heat (No. of Rooms) . . .
 APPLIANCES: No. Ranges . . . Watts . . . Brand Feeds (Size and No.) . . .
 Elec. Heaters . . . Watts . . .
 Miscellaneous . . . Watts . . . Extra Cabinets or Panels . . .
 Transformers . . . Air Conditioners (No. Units) . . . Signs (No. Units) . . .
 Will commence . . . 1974 . . . Ready to cover in . . . 1974 . . . Inspection . . . 1974 . . .
 Amount of Fee \$. . .

Signed Paul Bourget 2555
Charles A. Bourget

DO NOT WRITE BELOW THIS LINE

SERVICE METER GROUND
 VISITS: 1 2 3 4 5 6
 7 8 9 10 11 12

REMARKS:

INSPECTED BY Frank A. [Signature]
 (OVER)

CITY OF PORTLAND, MAINE
Department of Building Inspection

311 Cumberland Avenue

Jan. 28, 1974

Gary Mero
101 Concord Street

cc to: Cuddy Cohen
8 Phillips Rd. Falmouth

Dear Mr. Mero:

In checking your application for a change of use of the store on the first floor at the above named location we find we are unable to continue processing your application until we know the type of store that you propose, retail, wholesale or what use you propose to have at this location. We will be able to continue processing your application with the above information.

Very truly yours,

A. Allan Soule
Asst. Dir. Building & Inspection Services

AAS:m

C
O
P
Y



B3 BUSINESS ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED

MAR 8 1973

00212

CITY of PORTLAND

Class of Building or Type of Structure

Portland, Maine, March 7, 1973

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 311 Cumberland Ave. Within Fire Limits? Dist. No.

Owner's name and address Atlas Corp. Telephone

Lessee's name and address Roland Higgins, 311 Cumberland Ave. Telephone

Contractor's name and address Telephone

Architect Specifications Plans No. of sheets

Proposed use of building Antiques & used furniture store No. families

Last use Cleaning establishment No. families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated cost \$ Fee \$ EX \$5.00

General Description of New Work

To change use from cleaning plant to Antiques & used furniture store

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** Lessee

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Is connection to be made to public sewer? If not, what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing Lumber-Kind Dressed or full size? Corner posts Sills

Size Girder Columns under girders Size Max on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor 2nd 3rd roof

On centers: 1st floor 2nd 3rd roof

Maximum span: 1st floor 2nd 3rd roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

O.K. E.S. 3/7/73

Miscellaneous

Will work require disturbing of any tree on a public street?

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Roland Higgins

CS 301

INSPECTION COPY

Signature of owner

Roland Higgins

Permit No. 73/212

Location 311 Cumberland Ave

Owner Richard H. Payne

Date of permit 3/8/73

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

HUGH

NOTES

7/5/73

~~Notes section with a large handwritten 'X' over the lines.~~

PERMIT TO INSTALL PLUMBING

311 Cumberland Ave.

12837

Date Issued 5-24-63
 PORTLAND PLUMBING INSPECTOR
 Address 50 Elm Street
 Installation For: Harry Silverman
 Owner of Bldg. Harry Silverman
 Owner's Address: 50 Elm Street
 Plumber: Richard D. Valtz Date: 5-24-63

By J. P. Welch
 APPROVED FIRST INSPECTION

Date May 27-63
 By JOSEPH E. WELCH

APPROVED FINAL INSPECTION

Date June 6, 1963
 By JOSEPH E. WELCH

- By
- TYPE OF BUILDING
 - COMMERCIAL
 - RESIDENTIAL
 - SINGLE
 - MULTI FAMILY
 - NEW CONSTRUCTION
 - REMODELING

NEW	REPL	PROPOSED INSTALLATION	NUMBER	FEE
		SINKS		
		LAVATORIES		
		TOILETS		
		BATH TUBS		
		SHOWERS		
	2	DRAINS	2	\$ 4.00
		HOT WATER TANKS		
		TANKLESS WATER HEATERS		
		GARBAGE GRINDERS		
		SEPTIC TANKS		
		HOUSE SEWERS		
		ROOF LEADERS (Conn. to house drain)		

PORTLAND HEALTH DEPT. PLUMBING INSPECTION TOTAL ▶ \$ 4.00

3

Memorandum from Department of Building Inspection, Portland, Maine

AP- 48 Elm Street

May 10, 1963

Mr. Steven Skoolicas
Maine State Builders
181 Craigie Street

cc to: Service Tire Co.
315 Cumberland Ave.
cc to: Joseph Welch, Plumbing Inspector
Room 24, 369 Congress St.,

Dear Mr. Skoolicas:

Permit to cut in new garage door 10 feet wide and 8 feet high as per plan and application is being issued subject to compliance with the following conditions as to the car wash use proposed:

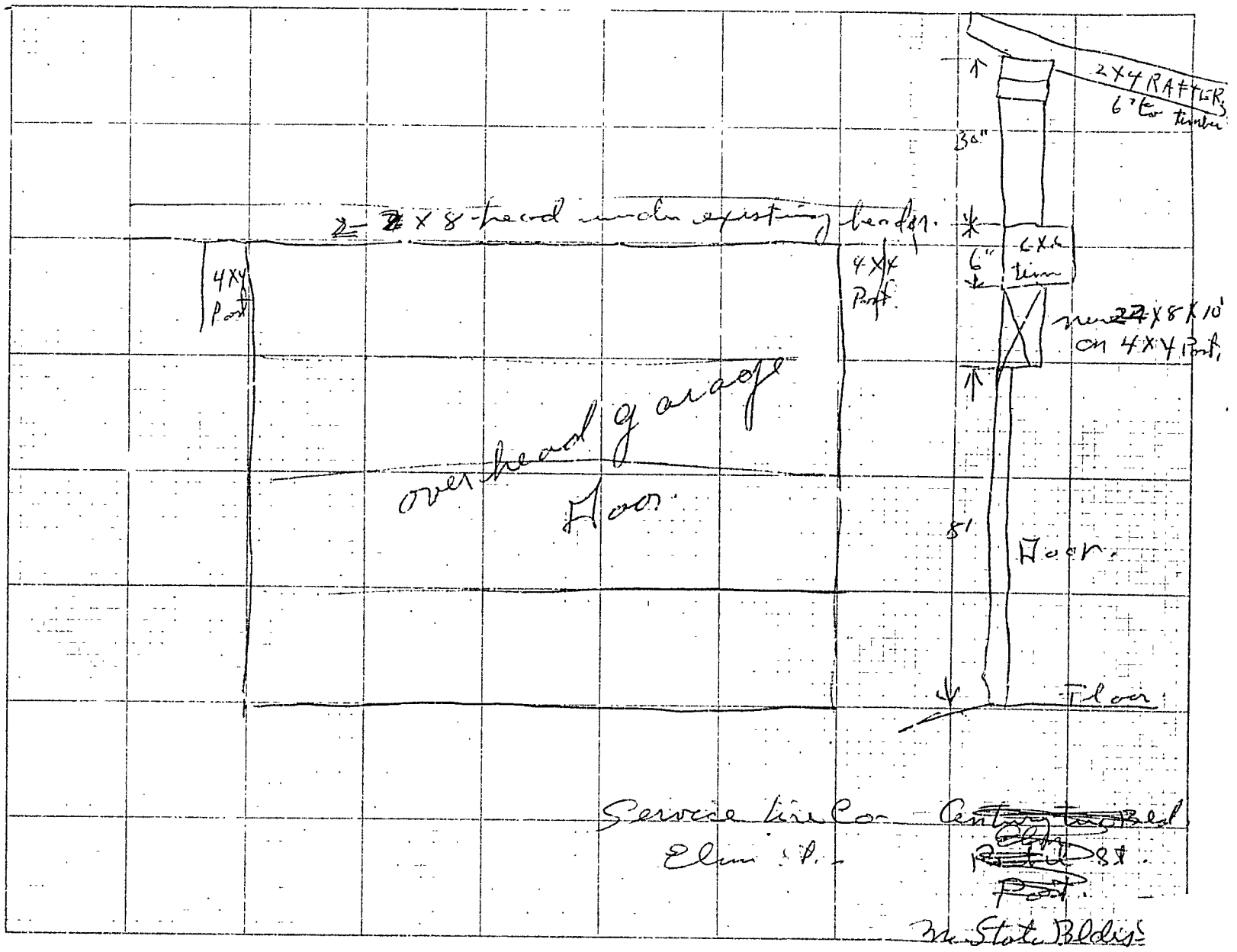
1. Any automobile washing apparatus will need to be arranged so that at no time during the washing operation will an automobile extend over the public sidewalk.
2. The curb at the overhead entrance door will need to remain so that water from the washing operation will not run upon sidewalk.
3. Before the washing use is started, the City of Portland Plumbing Inspector located in the Health Department, Room 24, City Hall, will need to be contacted so that a floor drain can be approved for the washing of automobiles.

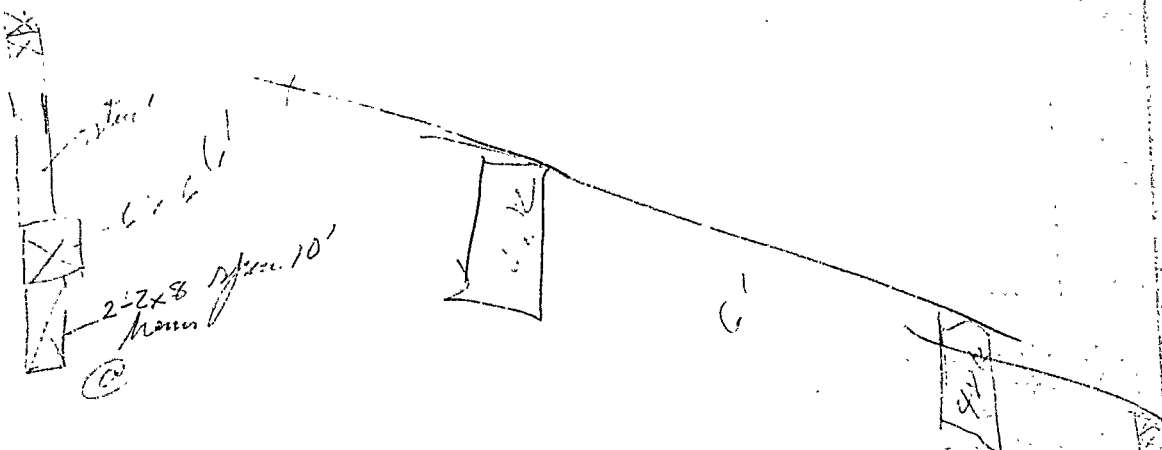
Very truly yours,

Gerald E. Mayberry
Deputy Building Inspector Director

CS-27

GEN:m





Wall. $2.5 \times 10 \times 17^4 = 425$
 Roof. $3' \times 10' \times 47^4 = \frac{1410}{1.35}$
 1117 2x8 Mem @ 10'
 2
2234

RECEIVED
 MAY 6 1907
 DEPT. OF BLD'G. INSP.
 CITY OF PORTLAND



83 BUSINESS ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED

00481

MAY 10 1963

Class of Building or Type of Structure Third Class
Portland, Maine May 6, 1963

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 48 Elm Street (311 CUMBERLAND AVE.) Within Fire Limits? _____ Dist. No. _____
Owner's name and address Service Tire Co., 315 Cumberland Ave. Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address Maine State Builders, 181 Craigie St. Telephone _____
Architect _____ Specifications _____ Plans yes No. of sheets 1
Proposed use of building Car wash No. families _____
Last use Storage of oil No. families _____
Material wood No. stories 1 Heat _____ Style of roof flat Roofing _____
Other buildings on same lot _____
Estimated cost \$ 150. Fee \$ 3.00

General Description of New Work

To cut in new garage door 10' wide and 8' high - 2-2x8 header

Permit Issued with Memo

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** Maine State Builders.

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

J. E. McNeil

Miscellaneous

Will work require disturbing of any tree on a public lot? _____
Will there be in charge of the above work a person who is not a registered professional engineer or architect?
see that the State and City requirements are observed? yes

Service Tire
Maine State

CS 301

INSPECTION COPY

Signature of owner By: _____

Steen Skool

C. T. 5-21-63

Permit No. 63/481

Location 48 6th St.

Owner Dennis Lee Gentry

Date of permit 5/10/63

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

NOTES

5-21-63 Door out. *JP*

closed. *JP*

6-6-63 Completed *JP*

X

B3 BUSINESS ZONE

APPLICATION FOR PERMIT TO ERECT
SIGN OVER PUBLIC SIDEWALK OR STREET

PERMIT ISSUED
00933
AUG 2 1961



Portland, Maine, July 12, 1961 CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location: 311 Cumberland Ave. Within Fire Limits? _____ Dist. No. _____
Owner of building to which sign is to be attached Service Oil Co., 311 Cumberland Ave.
Name and address of owner of sign Universal Laundry, 311 Cumberland Ave.
Contractor's name and address Coynes Sign Co., 195 St. John St. Telephone 2-4114
When does contractor's bond expire? Dec. 1961

Information Concerning Building

No. stories 3 Material of wall to which sign is to be attached brick

Details of Sign and Connections

Building owner's consent and agreement filed with application _____

Electric? no Vertical dimension after erection 9' Horizontal 6'

Weight _____ lbs. Will there be any hollow spaces? yes Any rigid frame? yes

Material of frame channel iron No. advertising faces 2 material metal

No. rigid connections 2 Are they fastened directly to frame of sign? yes

No. through bolts 3 Size 3/4" Location, top or bottom top

No. guys 5 material cable Size 5/16

Minimum clear height above sidewalk or street 12'

Maximum projection into street 6' Fee \$ 2.00

Signature of contractor J. D. Coynes

INSPECTION COPY

Approved H. E. Mc...

J. D. Coynes

54516
1214
Permit No. 61/833

Location 311 Cumberland Ave

Owner Universal Laundry

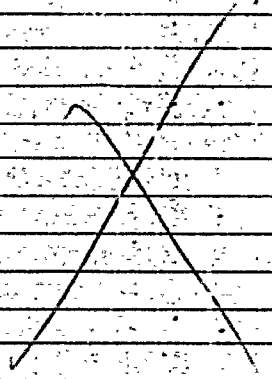
Date of permit 8/2/61

Sign Contractor

Final Inspn. 1-2/5/61

NOTES

12/5/61 - work done
P. S. S.



WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED TO BE
ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES

AT 311 Cumberland IN PORTLAND, MAINE

Atlas Corp., being the owner of the
premises at 311 Cumberland in Portland, Maine hereby gives
consent to the erection of a certain sign owned by _____
projecting over the public sidewalk from said premises as described in
application to the Inspector of Buildings of Portland, Maine for a permit
to cover erection of said sign;

And in consideration of the issuance of said permit _____
Atlas Corp., owner of said premises, in event said sign
shall cease to serve the purpose for which it was erected or shall become
dangerous and in event the owner of said sign shall fail to remove said sign
or make it permanently safe in case the sign still serves the purpose for
which it was erected, hereby agrees for himself or itself, for his heirs, its
successors, and his or its assigns, to completely remove said sign within ten
days of notice from said Inspector of Buildings that said sign is in such
condition and of order from him to remove it.

In Witness whereof the owner of said premises has signed this
consent and agreement this 2nd day of August, 1911.

Jerry A. Perry
Witness

Atlas Corp.
Samuel L. ...
Owner

LOCATION 315 Cumberland Ave

DATE April 23, 1949

PERMIT _____

INSURANCE _____

COMPLAINT _____

Talked with Mr. Cohen. He says from letter will file for permit to do the work. Assembly Hall is still in use at 311 Cumberland Ave. Fire escape still needed - Stairways at 311 and at 315 Cumberland Ave needs to be closed in - Allan

✓
11/6/59
a.a.l.

Records are what status of this building is now -
11/9/59 - 3rd floor closed off - Fire escape extends down on the roof in the rear, 5 feet from roof to concrete platform without any fire escape - Hardware & exit signs needed for access in hall to fire escape - Allan

4/8/59 - Talked with Sam Cohen. He is to close off the third floor and take steps immediately toward moving a fire escape to second floor. - J.P.

3/21/59 mail
to R. file
receipt with file copy
of this letter - please
make this red to come up a & -
to C.P.S. on 4/15/59
4/22/59
November 26, 1958
2-6525
4/22/59

BP-311-315 Cumberland Ave.-Violations of Building Code & order relating thereto:

Mr. Samuel J. Cohen, Treas.
Atlas Corporation
315 Cumberland Avenue

cc to: Mr. Philip F. Snow
477 Congress St.,
cc to: Corporation Counsel

Dear Mr. Cohen:

The interconnected buildings at 311-313 and 315 Cumberland Avenue, which you are reported to own or control in the name of Atlas Corporation, are found to be in violation of the Building Code of Portland in several particulars--from the standpoint of safety of the occupants and fire prevention and protection.

As authorized and directed by Section 109 of the Building Code (copy enclosed), you are hereby required to have these violations as indicated below, permanently corrected without delay; and you are further required to notify the undersigned in writing before Dec. 15, 1958 upon what date you can have these violations made good, and how you propose to do it.

This order has been the subject of a conference with our Legal Department, and unless you notify this department before Dec. 15, 1958 in detail how you propose to make good these violations, and furnish a date of completion satisfactory to the Legal Department, we have the assurance that legal proceedings will be initiated immediately to compel compliance with the Building Code.

These violations are as follows:

1. Both stories and basement of the 8-foot wide connection between the formerly separated buildings, the basement and second and third floors of the part numbered 311-313 Cumberland Avenue and the 313 part of the first story of this building have been changed as to use and are now being used for business purposes without having first secured the certificate of occupancy required by the Building Code--this requirement having been brought to your attention when the building permit for alterations of the buildings was issued.
2. The new 2-story and basement connecting portion of the combined structure and the entire building at 311-313 Cumberland Avenue, because of its floor area combined with that at 315 Cumberland Ave., and because of the height and stories of the building at 311-313 Cumberland Avenue, require a complete automatic sprinkler system (it is understood that the entire building at 315 Cumberland Ave. is so equipped with an automatic sprinkler system, if not, the system is required there also). This requirement was brought to your attention during the negotiation prior to issuing the building permit, you were notified in writing of this requirement when the permit was issued and by accepting the permit you tacitly agreed to installation of the system which has not yet been provided.

2-6525

3. The metal fire escape shown on your plan and agreed to on the application on your permit to serve as emergency means of egress from the second and third floors of the building at 311 Cumberland Avenue has never been built, but is required by the Building Code.
4. On second floor of the building at 311 Cumberland Avenue where the plan shows a general office at the front directly back of that an office and back of that a private office, the two front rooms have been converted to what the Building Code classifies as a minor assembly hall, and the entire floor is being used by a labor union. This enlarged front room contains more than 50 chairs, and this entire floor has only one means of egress via the entrance stairway from Cumberland Avenue—obviously a most hazardous situation for the occupant besides being contrary to Building Code requirements in that and a number of other particulars required because of the Assembly Hall. The entrance door from Cumberland Avenue to number 311 has two locks in it both of which can fasten the doors so that persons on the inside cannot open the door without a key or without being acquainted with the method of operation of the locks—contrary to Sec. 1122d.5 of the Code. This door requires only such locking devices as can be opened quickly by any person on the inside without requiring a key or any special knowledge and merely by turning the usual knob, or pressing on the usual thumb piece. If that section of the building is to accommodate more than 50 persons at one time (the small assembly hall on second floor has more than 50 chairs in it now), this entrance door is required to swing outwards. If the door were made to swing outwards in its present location, it would swing out over a step-down under the swing of the door which is also contrary to the Building Code.
5. The Class B (labeled by Underwriters' Laboratories, Inc., Automatic Fire Door shown on the plan in the new opening between the building at 315 Cumberland Avenue and the new connecting 2-story section has not been provided, and is required because of your decision to move the heating plant in the basement at number 311 and set up a new heating plant for the entire stand of buildings in the basement of number 315. The plan indicates the fire door on the side of the wall of 315 toward Elm Street. The fire door should be mounted on the heater room side of this wall, and if that is not possible, the fusible element which controls the closing of the door should be arranged so that it is exposed on the heater room side of the opening but fully capable of releasing the door for closing in case of fire on that side of the wall.
6. Several changes not mentioned above have been made from the plan of the proposed work to cover which the building permit was issued—this without securing approved amendments of the original permit to authorize these changes.

Nov. 26, 1958

- the former entrance door to number 313 from Cumberland Avenue has been removed and the opening closed up, presumably with wood covered with metal on the outside, and a cupboard provided directly inside of the doorway. This location is in Fire District 1B where closing permanently such an exterior opening in the masonry wall requires masonry no less than 8 inches in thickness.
- the heater room enclosure proposed under the plan and authorized under the permit in the basement of number 311 has not been built. However the heater has been removed so that the enclosure is no longer required by the Building Code; and the heating plant for the entire building has been set up in the basement of number 315. That is the reason why the Class B fire door indicated above is still necessary.
- the doorway at third floor level of number 311 which is at the top of the stairs from second floor has been crudely boarded up thus closing-off access to the third floor from the floors below. However, without securing a permit therefore, an opening has been cut at third floor level in the brick wall between number 311 and number 313 so that the third floor of number 311 as well as the third floor at number 313 can be reached by the stairway in number 313 thus making the third floor of both buildings available for use. In fact there was some storage on the third floor of number 313.

Since no work has been done on the project for a much longer period than the limit of 5 months set in Sec. 106e of the Building Code, the former permit has lapsed. In order to complete the work in compliance with the Building Code, it is therefore necessary to apply for a new permit and file plans with the application which will show in detail how you propose to clear up the above violations, and stating clearly on the plan what use all parts of the building are to have. If the second floor at number 311 is to be used as it is being used now, the one who makes your plan will have to consult the Building Code as to requirements for a minor Assembly Hall and fix up the plans accordingly.

It also must be borne in mind (as you were told a number of times before and when the original permit was issued, that installation of the sprinkler system requires a separate permit, issuable only to the actual installer, and with the application is required a plan of the installation bearing upon it the approval of the New England Fire Insurance Rating Assoc. Also, a separate permit is required for the fire escape which is to be applied for by and is issuable only to the actual fire escape contractor, and with his application should be filed a detailed plan of the fire escape, including the opening in the building to reach the fire escape.

Very truly yours,

Warren McDonald
Inspector of Buildings

WHcD:m
Enc: Sec. 109 of the
Building Code



B3 BUSINESS ZONE
CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION
COMPLAINT

Location:

INSPECTION COPY

COMPLAINT NO. 60/46

Date Received May 27, 1960

Location 311-317 Cumberland Ave., cor of Elm St. Use of Building Combination business bldg.
 Owner's name and address Atlas Corporation (Samuel J. Cohen, Treas.) Telephone _____
311 Cumberland Avenue Telephone _____
 Tenant's name and address _____ Telephone _____
 Complainant's name and address W McD Telephone _____

Descriptions With reference to building permit 55/2243 and particularly building inspectors letter of 11/26/58 and Mr. Cohen's letters of 12/15/58 and 1/31/59, the building is in violation of the Building Code:

- NOTES: The sections at 311, 313 put to use or changed as to use without certificate of occupancy.
 ✓ Second floor at 311 in use as minor assembly hall (Labor Union, more than 50 capacity).
 ✓ Rear exit wooden platform and stairs down to roof of one story building--no way of reaching ground but jumping (roof about 5 feet above loading platform).
 ✓ Entrance door at Cumberland Avenue and door to fire escape do not have safe hardware. No exit lights.
 ✓ Stairways from basement to third floor level side open to third floor instead of being enclosed.
 ✓ No fire door between boiler room in the basement at 315 and adjoining basement connecting directly with three story building at 311-313 which is classified as wooden frame construction.
 ✓ Roof opening cut in brick wall at third floor level between 313 & 311, and various alterations of the roof structure of the one story portion fronting on Elm Street--all without building permit.

1/13/61 - Minor assembly hall, 2nd floor. Corner of Cumberland Ave & Elm St
No exit signs -
Dead ends on rear exit door & front door -
Wooden fire escape on rear goes down to roof below 5' from stairs to platform.
3rd floor not in use.
Stairways blocked off to 3rd floor -
Allen

INQUIRY BLANK

ZONE B-3

FIRE DIST. 1

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

Date 1/20/59

Verbal
By Telephone
By letter

LOCATION 311-315 Cumberland Ave OWNER Atlas Corporation

MADE BY Samuel J. Cohen TEL. 2-6525

ADDRESS 315 Cumberland Ave

PRESENT USE OF BUILDING Warehouse + offices NO. STORIES 3

LAST USE OF BUILDING same CLASS OF CONSTRUCTION Second Buid

REMARKS _____

INQUIRY 1- If top story of that part of building were to be removed at 311-313 Cumberland Avenue so that no part of entire building would be more than two stories in height, would sprinkler system still be required?

ANSWER 1- See letter of 1/21/59

DATE OF REPLY 1/21/59 REPLY by A J S

^{Three story}
Study of Building at 311-315 Cumberland Ave. ^{1/21/59}

<p>1-Areas: - $38 \times 20 = 3070'$ $32 \times 36 = 1152'$ $5 \times 6 = 30'$ $22 \times 36 = 792'$ $20 \times 48 = 860'$ <u>5874'</u></p>	<p>Included all parts of stand of buildings</p>	<table style="margin-left: auto; margin-right: auto;"> <tr><td>36</td><td>36</td></tr> <tr><td>32</td><td>32</td></tr> <tr><td>72</td><td>72</td></tr> <tr><td>72</td><td>108</td></tr> <tr><td colspan="2"><hr/></td></tr> <tr><td>792</td><td>1152</td></tr> </table>	36	36	32	32	72	72	72	108	<hr/>		792	1152
36	36													
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792	1152													

Must be rated as Third Class because of wood frame dormers on roof of 311 and wood frame one story building at rear on Elm Street.

Section 302-g-2.6 - $4000' + .5(4000') = 6000'$ allowable area

Section 205-f-1 - Stairways required to be enclosed if building is more than two stories high and unsprinkled. 2-6525

Section 205-f-2 - Casting heater room area in building at 315 required to be cut off from new addition by at least one hour fire-resistant, meaning at least a Class "C" labeled door on opening between the two.

Conclusions:

If entire building were to be cut down to two stories, sprinkler system and fire door between 315 and recent addition would not be needed.

2/11/59 - Since upper stories of building were formerly used for laundry quarters, if third story were not to be used at all and the opening between was removed and opening closed over, leaving a scuttled least 2' x 3' in width in case of necessity, building can be cut down to two stories high and sprinkler system and fire door between

January 21, 1959

Inquiry-311-315 Cumberland Avenue

Mr. Samuel J. Cohen, Treas.
Atlas Corporation
315 Cumberland Avenue

cc to: Mr. Phillip P. Snow
477 Congress Street
cc to: Corporation Counsel

Dear Mr. Cohen:

In answer to your inquiry concerning what effect removal of the third story of your building at 311-315 Cumberland Avenue would have upon the requirement for installation of a sprinkler system in the building, we find that, if all parts of the upper story were to be removed so that no part of the building would be more than two stories high, the following conditions would prevail under the Building Code:

1. The installation of an automatic sprinkler system in that part of the building not now so protected would not be required.
2. The fire doors on the openings between that part of the building at 315 Cumberland Avenue and the newly constructed addition would not be required.
3. All other deficiencies mentioned in paragraphs 1, 3, 4 and 6 of our letter of November 26, 1958 would still need to be cared for as indicated.

Since the violations of the Building Code existing in this building are of such long standing, it is necessary that decision be made without delay if you are to remove the top story of the building and that application for a permit for such work and all other work necessary to bring the building into compliance with Code requirements be filed together with such plans as are needed to show required construction, this to be done before February 2, 1959.

It should be borne in mind that use of the second story of that part of the building at 311 Cumberland Avenue for assemblage of more than two persons is unlawful and is in no way authorized by this department for any length of time whatsoever. It should also be understood that in order to meet Building Code requirements for assembly hall use not only is a second means of egress required from this story, but also details of the entrance stairway including non-slip surfacing of stair treads, handrails on stairs, swing of and hardware on entrance door, exit signs and lights, etc. and strength of floor must be cared for as specified in Section 206 of the Code. Such details should be indicated on plans filed with application for new permit.

Very truly yours,

Albert J. Sears
Inspector of Buildings

AJS/jg



(C) GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class

Portland, Maine, Oct. 5, 1954

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~relocate~~ ~~rebuild~~ ~~reconstruct~~ ~~install~~ the following building structure ~~work~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 311-315 Cumberland Ave. Within Fire Limits? yes Dist. No. 1
 Owner's name and address Service Tire Corp., 315 Cumberland Ave. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Not let Telephone _____
 Architect _____ Specifications _____ Plans yes No. of sheets 2
 Proposed use of building warehouse No. families _____
 Last use " No. families _____
 Material brick No. stories 2 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 200. Fee \$ 2.00

General Description of New Work

To construct loading platform as per plan.

no reply to letter of 10/8/54
[Signature]

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Cn centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

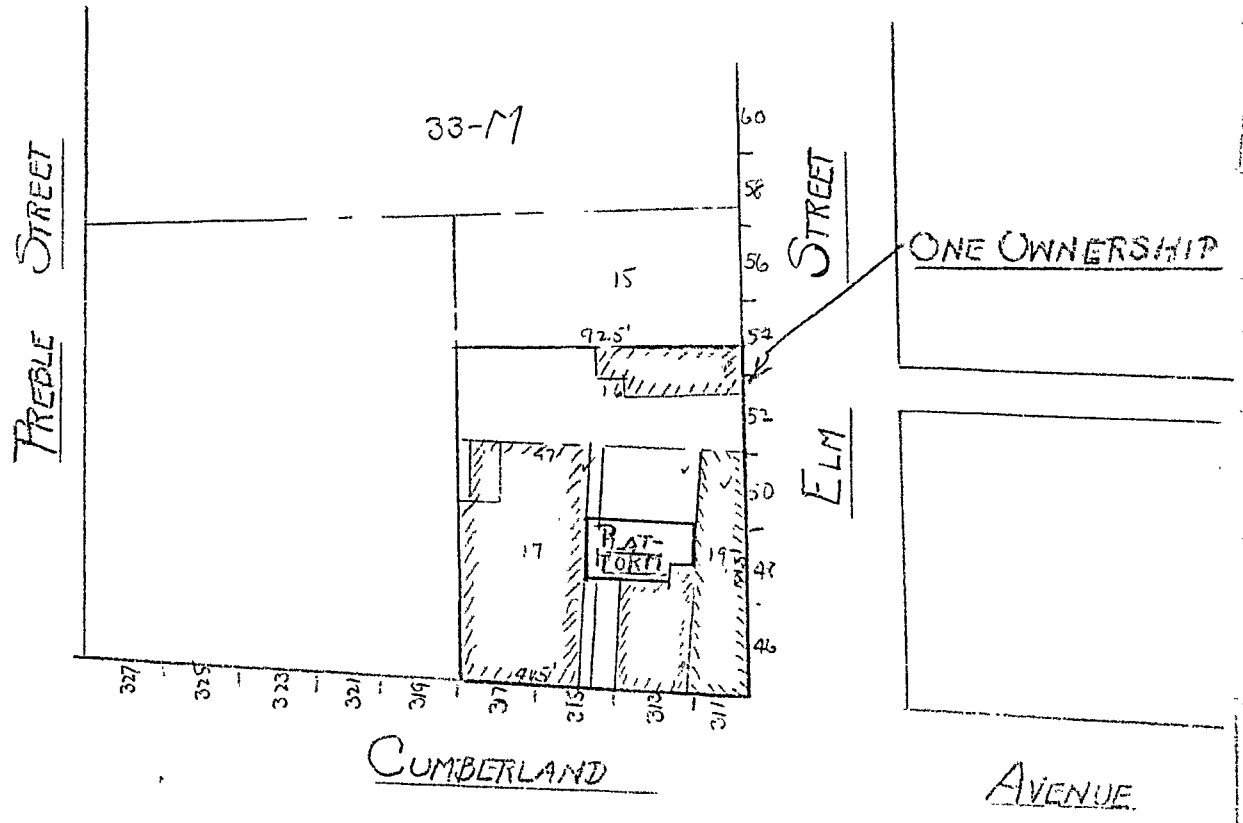
Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Service Tire Corp.

Signature of owner [Signature]

INSPECTION COPY



October 8, 1954

AP - 311-315 Cumberland Ave.

Owner - Service Tire Corp.
315 Cumberland Ave.

Plan Maker - M. Mack^c
150 Caleb St.

We are unable to issue a permit for a proposed loading platform at the rear of the building at the above location because the plan filed with the application for permit does not show compliance with Building Code requirements as regards the details listed below. Before a permit can be issued it is necessary that a fresh print of a revised plan with all of the information thereon printed from the original be furnished for checking and approval. Details in question are as follows:-

- the minimum allowable live load capacity of such a structure is 100 pounds per square foot instead of the 60 pounds indicated on plan. The 6x6 timbers indicated on the plan in crayon in place of the 4x8's originally shown are good for less than half of this required capacity on the basis of their spacing and the distance between supports. Therefore it is necessary that the entire structure be re-designed, bearing in mind that all such timbers must be dressed on all four sides and be not less than six inches nominal in least dimension to comply with Fire District regulations.
- the use of the 2x6 cross bracing for posts supporting platform is not permissible because the least dimension is less than six inches. We realize the purpose and probable need for bracing because of the construction planned, but if foundations extending into the ground at least four feet, if only cedar posts, were to be provided, it is likely that no bracing would be needed. It would then also be possible to support the inner ends of the beams on the masonry walls of the buildings and thus eliminate the need for beams and posts next to these walls.
- we would suggest that, if the platform is to be supported on top of the ground and independent of the building, the mud sills or sleepers be made thicker than the two inches shown, in order to better distribute the loads from the supporting posts over the ground and to provide a more permanent support for the posts.

Warren McDonald
Inspector of Buildings

AJS/G



PMMS

FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, Sept. 27, 1950

PERMIT ISSUED 01789

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 311 Cumberland Avenue Use of Building Restaurant No. Stories 2 1/2 New Building Existing "

Name and address of owner of appliance Ernest H. Brown, 311 Cumberland Avenue

Installer's name and address Owner Telephone 5-1485

Health Notices to Health Officer and tabs

General Description of Work

To install electric fired grille

IF HEATER, OR POWER BOILER

Location of appliance or source of heat Type of floor beneath appliance

If wood, how protected? Kind of fuel

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace

From top of smoke pipe From front of appliance From sides or back of appliance

Size of chimney flue Other connections to same flue

If gas fired, how vented? Rated maximum demand per hour

IF OIL BURNER

Permit issued with Memo

Name and type of burner Labelled by underwriter's laboratories?

Will operator be always in attendance? Does oil supply line feed from top or bottom of tank?

Type of floor beneath burner

Location of oil storage Number and capacity of tanks

If two 275-gallon tanks, will three-way valve be provided?

Will all tanks be more than five feet from any flame? How many tanks fire proofed?

Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance first floor Kind of fuel electricity Type of floor beneath appliance wooden

If wood, how protected? Grille sets on back bar covered with asbestos

Minimum distance to wood or combustible material from top of appliance 5' to hood

From front of appliance over 4' From sides and back over 3' brick From top of smokepipe 4'

Size of chimney flue 12x12 Other connections to same flue none

Is hood to be provided? yes If so, how vented? to chimney

If gas fired, how vented? to chimney Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of Installer

Ernest H. Brown

Permit No. 50/1789 11-6--50

Location 371 Cumberland Ave.

Owner Ernest A. Brown

Date of permit 9/27/50

Approved 4-20-51 P.M.

NOTES

10-20-50 No work
started. P.M.

10-23-50 Owner
is undecided about
having this appliance
installed. P.M.

4-20-51. P.M.
Out of business
Five 5 LTR AT Mount.
P.M.

Memorandum from Department of Building Inspection, Portland, Maine

311 Cumberland Avenue—Installation of electric grille for and by Ernest H. Brown—9/27/50

Building permit for the above installation is issued subject to the following:

The application for the permit does not make clear whether there is an existing hood over this grille or whether one is now to be provided. At any rate a hood and ventilation of it are required as described by Section 602c4 of the Building Code.

If the hood is to be a new one and is to have an electric fan connected with it, a separate permit from this department is required to cover installation of hood and fan, to be applied for by and issuable only to the actual installer. With the application is required a plan showing the entire situation as regards the relative area of hood and cooking appliances beneath it, clearance from hood to ceiling over, clearance from hood to any combustible material on the sides and the end and how in detail the hood is to be vented.

The application indicates that the hood is to be vented to a chimney flue. In that case the chimney flue to which it is to be connected must have no other connection.

If the hood is to be ventilated by an exhaust fan, the hood should be of such an area as to fully cover all appliances which it ventilates. If there is no mechanical ventilation of the hood, then the hood is required to extend at least 6" beyond the edges of all appliances which it ventilates.

Whether or not there is or is to be a fan to exhaust through the hood, no other type of mechanical ventilation is safe in any other part of the kitchen.

If this information is not understood, or if the owner is unwilling to abide by it, he should refrain from installing the grille and take the matter up immediately with this office.

WMcD/G
CC: William B. Bunting, Chief Inspector
Health Department

(Signed) Warren McDonald
Inspector of Buildings



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, August 7, 1947

PERMIT ISSUED 01935 AUG 8 1947

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 311 Cumberland Avenue Use of Building Store & Tenement No. Stories 3 New Building Existing
Name and address of owner of appliance Ernest H. Brown, 311 Cumberland Avenue
Installer's name and address Service Oil Company, 315 Cumberland Ave. Telephone 2-6525

General Description of Work

To install Oil burning equipment in connection with existing steam heat.

IF HEATER, OR POWER BOILER

Location of appliance or source of heat Type of floor beneath appliance
If wood, how protected? Kind of fuel
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace
From top of smoke pipe From front of appliance From sides or back of appliance
Size of chimney flue Other connections to same flue
If gas fired, how vented? Rated maximum demand per hour

IF OIL BURNER

Name and type of burner Quiet Heat Labelled by underwriter's laboratories? Yes
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? Bottom
Type of floor beneath burner Concrete
Location of oil storage Cellar Number and capacity of tanks 1-250 Gal.
If two 275-gallon tanks, will three-way valve be provided?
Will all tanks be more than five feet from any flame? Yes How many tanks fire proofed?
Total capacity of any existing storage tanks for furnace burners None

IF COOKING APPLIANCE

Location of appliance Kind of fuel Type of floor beneath appliance
If wood, how protected?
Minimum distance to wood or combustible material from top of appliance
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

OK 8-7-47 [Signature]

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Service Oil Company

Signature of Installer

[Signature of Maurice O. Cohen]

INSPECTION COPY

Permit No. 47/1935
Location 311 Cumb. Ave
Owner Ernest H. Brown
Date of permit 8/8/72
Approved 9-3-47 '17717

NOTES

- 1 Fill Pipe.....
- 2 Vent Pipe.....
- 3 Kind of Heat Steam
- 4 Burner Rigidity & Supports.....
- 5 Name & Label.....
- 6 Stack Control.....
- 7 High Limit Control.....
- 8 Remote Control.....
- 9 Piping Support & Protection.....
- 10 Valves in Supply Line.....
- 11 Capacity of Tanks.....
- 12 Tank Rigidity & Supports.....
- 13 Tank Controls.....
- 14.....
- 15.....
- 16.....
- 17.....
- 18.....
- 19.....
- 20.....



(G) GENERAL BUSINESS ZONE

PERMIT ISSUED

APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

Permit No. 00768 MAY 3 1946

Portland, Maine, May 2 19 46

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 311 Cumberland Avenue Within Fire Limits? yes Dist. No. 1B

Owner of building to which sign is to be attached F. N. Solomon

Name and address of owner of sign Bosco Variety Co., 311 Cumberland Ave.

Contractor's name and address Metro Neon, 96 Exchange Street Telephone 3-3052

When does contractor's bond expire? January 1, 1947 OK'd by AST 5/2/46

Information Concerning Building

No. stories 2 Material of wall to which sign is to be attached wood brick

Details of Sign and Connections

Electric? yes Vertical dimension after erection 3' Horizontal 6'

Weight 120 lbs., Will there be any hollow spaces? yes Any rigid frame? yes

Material of frame angle iron No. advertising faces 2, material metal

No. rigid connections 4 Are they fastened directly to frame of sign? yes

No. through bolts 1, Size 3/4", Location, top or bottom top

No. guys 3, material angle iron, Size 1 1/2 x 3/16"

Minimum clear height above sidewalk or street 10'

Maximum projection into street 6'

Fee \$ 1.00

Signature of contractor By: [Signature]

Metro Neon

[Signature]

ORIGINAL

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

Permit-No. 46/768

Location 311 Cumberland Ave

Owner Rose & Variety Co.

Date of permit 5/6/46

Sign Contractor

Final Inspn. 2/13/47. adg.

NOTES

5/13/46. Ad. insp. O.K.
2/13/47. Check. ad. insp. for
change in lot 686

700



FILL IN COMPLETELY AND SIGN WITH INK

PL. 11-18100

GENERAL PUBLIC PERMIT No. 1835

NOV 24 1941

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, November 22, 1941

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooling or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 50 Elm Street Use of Building Wash Stand No. Stories 1 Existing "
Name and address of owner of appliance Webber's Auto Laundry, 50 Elm St.
Installer's name and address A. Foster, 126 Woodlawn Avenue Telephone no

General Description of Work

To install oil fired heater - vent in bottom of heater to be protected by fine wire mesh screen (copper or brass)

IF HEATER, POWER BOILER OR COOKING DEVICE

Is appliance or source of heat to be in cellar? no If not, which story 1st Kind of Fuel Oil
Material of supports of appliance (concrete floor or what kind) concrete
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace, 4'
from top of smoke pipe 4' from front of appliance over 4' from sides or back of appliance 4'
Size of chimney flue 8x8 Other connections to same flue none

IF OIL BURNER

Name and type of burner Coleman R-501 Labeled and approved by Underwriters Laboratories? No
Approved by Fire Chief Sanborn
Will operator be always in attendance? tank attached to rear of heater - 12" back - insulated jacket
Type of oil feed (gravity or pressure) pressure
Location oil storage 1st floor No. and capacity of tanks 1 - 5 gal. tank
Will all tanks be more than seven feet from any flame? How many tanks fireproofed?

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

INSPECTION COPY

Signature of Installer Arthur L. Foster

Permit No. 411835

Location 50 Elm St.

Owner Welheis Auto Laundry

Date of Permit 11/24/41

Post Card sent _____

Notif. for insp. None

Approval Tag issued 12/4/41. eds.

Oil Burner Check List (date) 12/4/41.

1. Kind of heat _____

2. Label _____

3. Anti-siphon _____

4. Oil storage _____

5. Tank distance _____

6. Vent Pipe _____

7. Fill Pipe _____

8. Gauge _____

9. Rigidity _____

10. Feed safety _____

11. Pipe sizes and material _____

12. Control valve _____

13. Ash pit vent _____

14. Temp. or pressure safety _____

15. Instruction card _____

16. _____

NOTES



GENERAL BUSINESS CODE
APPLICATION FOR PERMIT

Permit No. 2007

Class of Building or Type of Structure Second Class **PERMIT ISSUED**

Portland, Maine, December 9, 1940

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

DEC 11 1940

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 311 Cumberland Avenue Within Fire Limits? yes Dist. No. 1
46 Elm Street
Owner's name and address Joseph Kallil, 617 Forest Avenue Telephone 2-1061
Contractor's name and address Ernest Morris, West Scarborough Telephone _____
Architect _____ Plans filed no No. of sheets _____
Proposed use of building Washing Stand, store and tenements No. families _____
Other buildings on same lot _____
Estimated cost \$ 25 Fee \$.25

Description of Present Building to be Altered

Material brick No. stories 2 1/2 Heat _____ Style of roof _____ Roofing _____
Last use Washing Stand, store and tenements No. families _____

General Description of New Work

To build one inside brick chimney

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

CERTIFICATE OF
REQUIREMENTS

Is any plumbing work involved in this work? _____
Is any electrical work involved in this work? _____ Height average grade to top of plate _____
Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? concrete slab earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys 1 Material of chimneys brick of lining tile
Kind of heat stove Type of fuel _____ Is gas fitting involved? _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner

Joseph Kallil

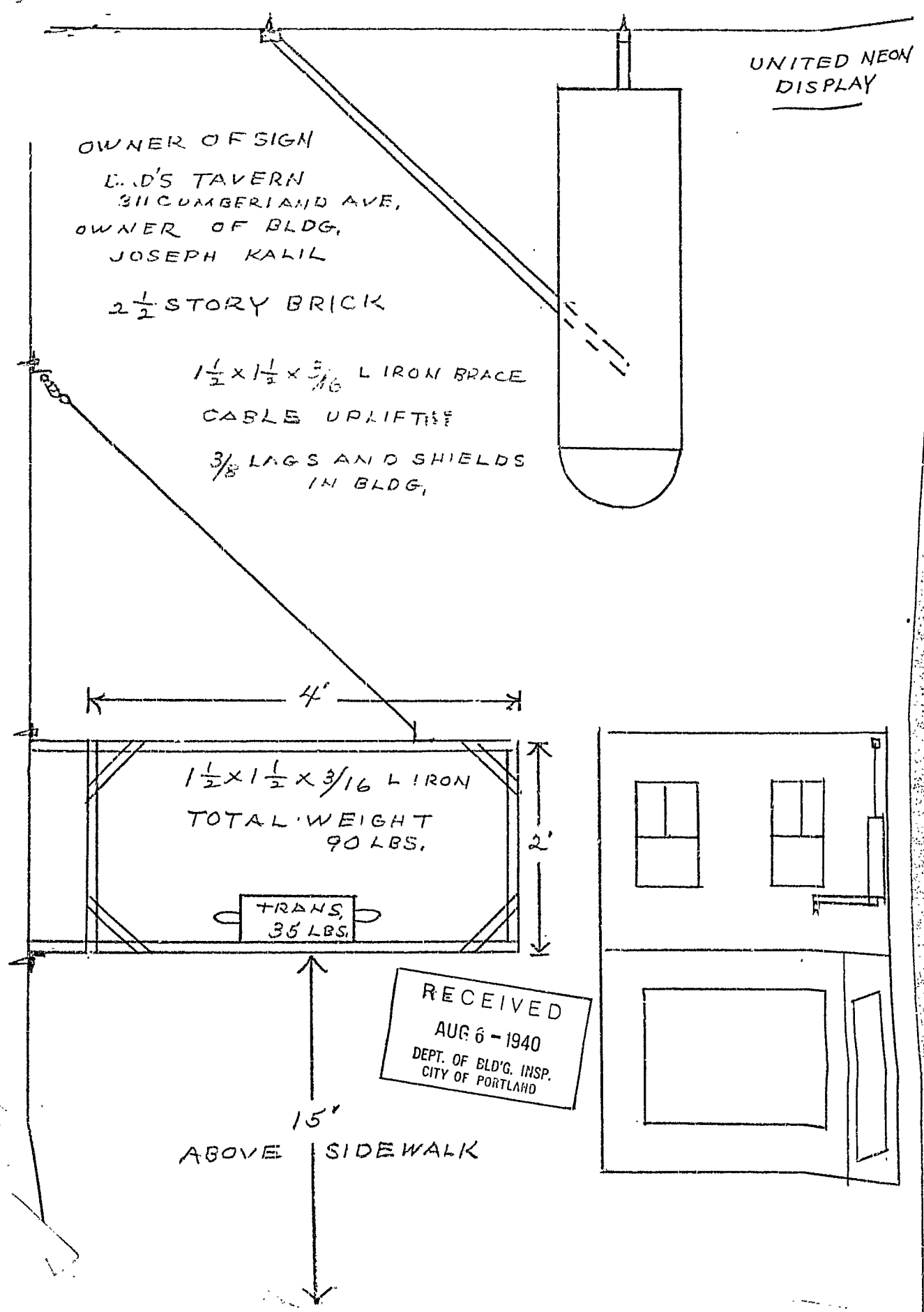
INSPECTION COPY

DATE August 6, 1940

As owner of the building at 311 Cumberland Ave
I, we hereby give consent to the erection of a sign projecting
over the public sidewalk for Dad's Tavern - Morris Tabachnick
a tenant of the building.

(Owner of building)

Joseph Kalil



PERMIT ISSUE



(G) GENERAL BUSINESS ZONE Permit No. 1135
AUG 7 1940
APPLICATION FOR PERMIT TO ERECT SIGN
OVER PUBLIC SIDEWALK OR STREET

Portland, Maine, August 6, 1940

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 311 Cumberland Avenue Within Fire Limits? yes Dist. No. 1
Owner of building to which sign is to be attached Joseph Kalil
Name and address of owner of sign Uncle's Tavern, Morris Tabachnick,
Contractor's name and address United Neon Display, 27 Monument Square Telephone 2-0695
When does contractor's bond expire? October 1940

Information Concerning Building

No. stories 2 1/2 Material of wall to which sign is to be attached brick

Details of Sign and Connections

Electric? yes Vertical dimension after erection 2' Horizontal 1'
Weight 90 lbs., Will there be any hollow spaces? yes Any rigid frame? yes
Material of frame angle iron No. advertising faces 2, material sheet metal
No. rigid connections 2 Are they fastened directly to frame of sign? yes
No. through bolts none, Size _____, Location, top or bottom _____
No. guys 2, material angle iron steel cable, Size 1/2 x 3/16 1/2"
Minimum clear height above sidewalk or street 15'
Maximum projection into street 4'6"

APPROVED

Alvin T. Suber
Signature of contractor

United Neon Display

By *Ralph Curry*

Fee \$ 1.00

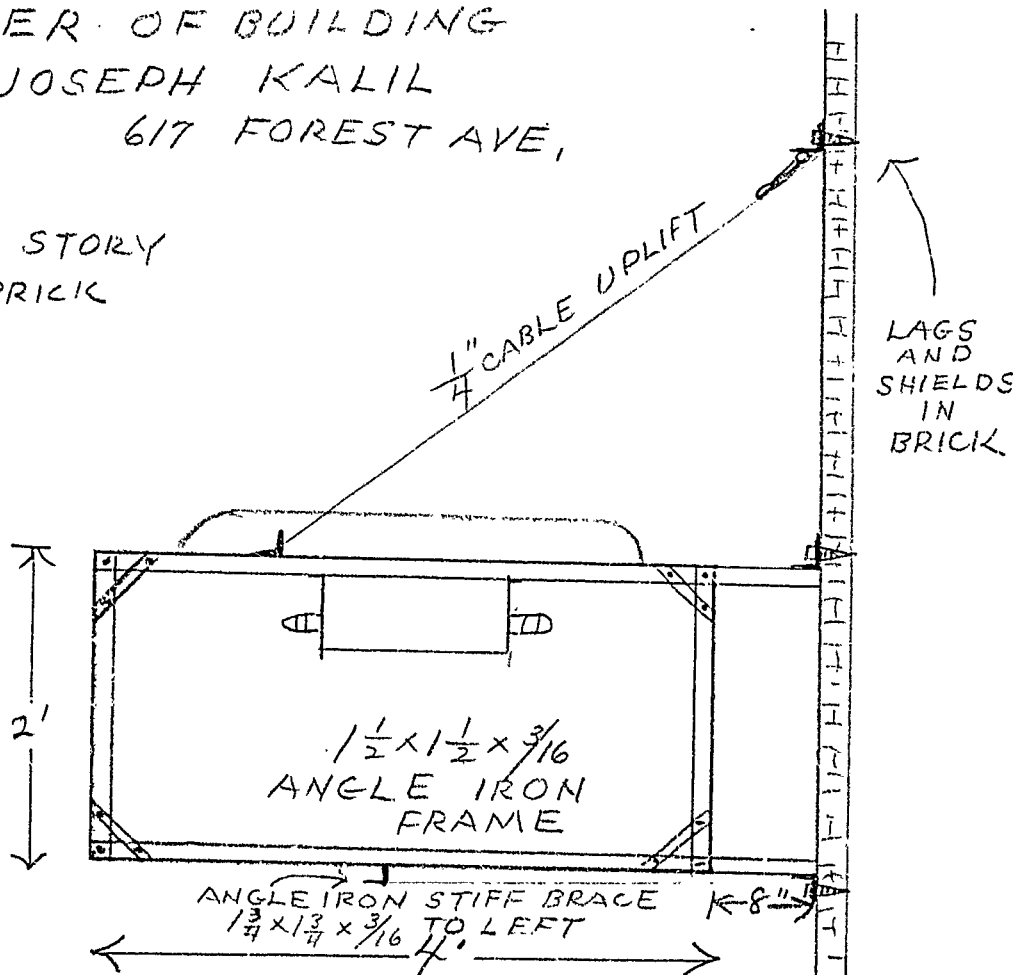
INSPECTION CORNER OF FIRE DEPT.

CERTIFICATE OF COMPLIANCE
REQUIREMENT IS WANTED

OWNER OF STORE! -
DAD'S TAVERN
311 CUMBERLAND AVE,

OWNER OF BUILDING
JOSEPH KALIL
617 FOREST AVE,

2 1/2 STORY
BRICK



RECEIVED
OCT 16 1937
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

THE KIMBALL SYSTEM

NOTE! -
OLD TOPPER SIGN JUST
REMOVED FROM THIS LOCATION

OWNER OF BUILDING:-
JOSEPH KALIL
617 FOREST AVE.

OWNER OF STORE:-
DAD'S TAVERN
311 CUMBERLAND AVE.

RECEIVED
OCT 16 1937
DEPT. OF BLDG. DEP.
CITY OF PORTLAND



(THE KIMBALL SYSTEM.)

GENERAL BUSINESS ZONE PERMIT ISSUED
Permit No. 1760

APPLICATION FOR PERMIT TO ERECT SIGN 1937
OVER PUBLIC SIDEWALK OR STREET

Portland, Maine, October 16, 1937

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 511 Cumberland Avenue Ward 4 Within Fire Limits? yes Dist. No. 1
Owner of building to which sign is to be attached Joseph Kall
Name and address of owner of sign Mad's Tavern, 511 Cumberland Avenue
Contractor's name and address Kimball System of Portland, 341 Fore St. Telephone 2-5047
When does contractor's bond expire? January 1938

Information Concerning Building

No. stories 2 1/2 Material of wall to which sign is to be attached brick

Details of Sign and Connections

Electric? yes Vertical dimension after erection 2' Horizontal 4'
Weight 80 lbs., Will there be any hollow spaces? yes Any rigid frame? yes
Material of frame angle iron No. advertising faces 2, material metal
No. rigid connections 2 Are they fastened directly to frame of sign? yes
No. through bolts none, Size _____, Location, top or bottom top
No. guys 2, material angle iron gable, Size 1 1/2" x 3/16" 1/2"
Minimum clear height above sidewalk or street 15'
Maximum projection into street 6'

CERTIFICATE OF INSPECTION
REQUIREMENT IS MET

Oliver O. Johnson

Kimball System of Portland Fee \$ 1.00

CHIEF OF FIRE DEPT.
INSPECTION COPY

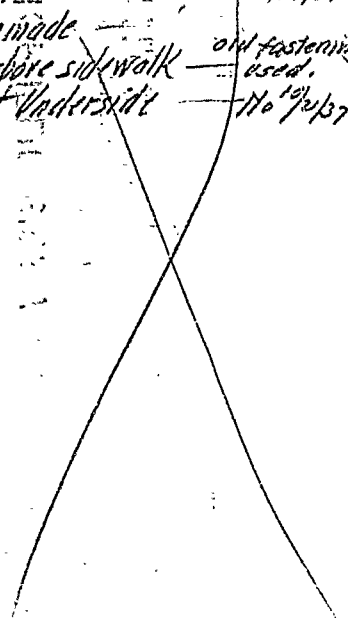
Signature of contractor By

T. E. Lanabe

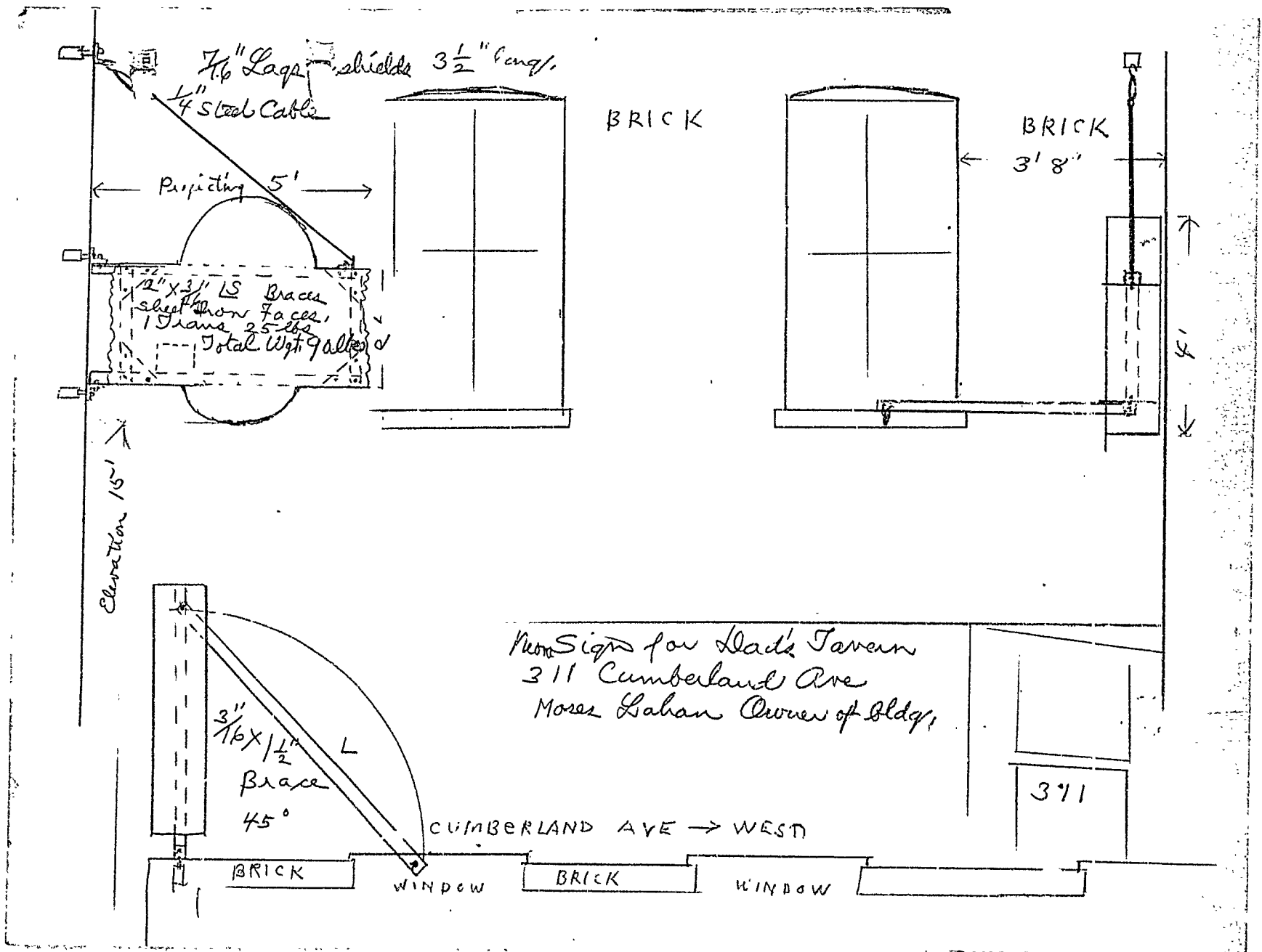
5-126

Ward 4 Permit No. 37/1760
Loc 311 Cumberland Ave
Owner Dad's Tavern
Date permit 10/18/37
Sign Contractor
Final Inspn.

St. clear
Elec. Insp. = before erecting
Shop Insp. = 10/19/37 ✓
Sign file plan made
Distance above sidewalk — old fastenings used ✓
Ornament underside — 11/0/37 ✓



Proposed



7/16" Lag shields 3 1/2" long

1/4" Steel Cable

Projecting 5'

BRICK

BRICK
3' 8"

2" x 3" LS Braces
sheet iron faces,
1 Trans 25 lbs
Total Wgt 9 lbs

Elevation 15'

From Signs for Glad's Tavern
311 Cumberland Ave
Moses Lahan Owner of Bldg

3/16" x 1/2" L
Brace
45°

CUMBERLAND AVE → WEST

BRICK

WINDOW

BRICK

WINDOW

311