

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

Permit Number: 030441

Please Read Application And Notes, If Any, Attached

This is to certify that Preble Street Resource/Wright Ryan Construction, Inc
has permission to 17,000 sq. Ft. of renovations
AT 9 Portland St 033 L004001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission proceeds before this building or part thereof is used or otherwise closed-in. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. W.H.M.C.
Health Dept. _____
Appeal Board _____
Other _____
Department Name

W. J. Chung 5/29/23
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0441	Issue Date:	CBL: 033 L004001
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Location of Construction: 9 Portland St	Owner Name: Preble Street Resource	Owner Address: 331 Cumberland Ave	Phone: 207-775-0026
Business Name: n/a	Contractor Name: Wright Ryan Construction, Inc	Contractor Address: 10 Danforth Street Portland	Phone: 2077733625
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Alterations - Commercial	Zone: B2

Past Use: Commercial / Resource Center	Proposed Use: Resource Center / 17,000 sq. ft. of renovations	Permit Fee: \$9,123.00	Cost of Work: \$1,300,000.00	CEO District: 2
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: B Type: 3B 5/29/03	

Proposed Project Description: 17,000 sq. Ft. of renovations	Signature: <i>[Handwritten Signature]</i>	Signature: <i>[Handwritten Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: <i>[Handwritten Signature]</i>		Date:

Permit Taken By: gg	Date Applied For: 05/06/2003	<i>Separate permit for me required for my new sign</i> Zoning Approval
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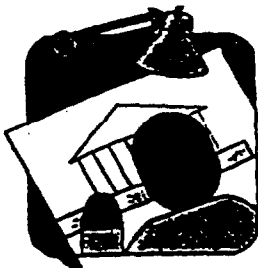
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 13 Zone C</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2003-0063</i> Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> <i>OK me 5/6/03</i> Date:	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Handwritten Signature]</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE



CITY OF PORTLAND MAINE

389 Congress St., Rm 315

Portland, ME 04101

Tel. - 207-874-8704

Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services

FROM DESIGNER: James Sterling Architect

142 High Street Portland

DATE: 06 MAY 2003

Job Name: Building Renovations and Additions/Preble Street Resource Center

Address of Construction: 5 Portland Street

THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION

Construction project was designed according to the building code criteria listed below:

Building Code and Year 1999 Use Group Classification(s) B

Type of Construction III (200) Bldg. Height 2 storey Bldg. Sq. Footage 2,000 +/-

Seismic Zone 2 (Av=1.10) Group Class 2

Roof Snow Load Per Sq. Ft. 42#/sf Dead Load Per Sq. Ft. 15#/sf

Basic Wind Speed (mph) 85 mph Effective Velocity Pressure Per Sq. Ft. 25#/sf

Floor Live Load Per Sq. Ft. 100 lbs/sf gross

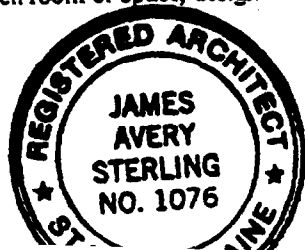
Structure has full sprinkler system? Yes No Alarm System? Yes No
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building: Yes No

If mixed use, what subsection of 313 is being considered NA

List Occupant loading for each room or space, designed into this Project.

PSH 6/07/2K



(Designers Stamp & Signature)

JAMES A. STERLING
Architect AIA
142 High Street
P.O. Box 7305
Portland, Maine 04112
207 772.0037
FAX 773.8545
cheehaak@gwi.net

06 May
2003

Mike Nugent
Building Inspections Department
Portland City Hall

Re: CRC Renovations
5 Portland St.

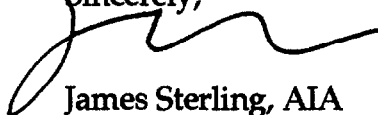
Dear Mike:

As a next phase in upgrading Preble Street's physical plant, we are proposing extensive renovations to the 5 Portland Street as described in the drawings and specifications. We have received approval from the Planning Department and our next step is applying for a building permit.

The project consists of major renovations to the day shelter, food storage, dining area and minor renovations to the existing clinic space. There will be no work in the kitchen area. Additions to the building include space for clothing storage and distribution, an entry foyer and coordinator's offices. The old and new spaces will be fully sprinkled and accessible. Site work is limited to new paving and a ramp as shown.

If you have any question please phone (772-0037) or email (cheehaak@gwi.net).

Sincerely,



James Sterling, AIA
Architect

Short Form Warranty Deed

2607
MAINE REAL ESTATE TAX PAID

STAMCO, a Maine general partnership with a place of business in Portland, Maine, FOR CONSIDERATION PAID, grants to Preble Street Resource Center, Inc. a Maine non-profit corporation with a mailing address of P.O. Box 1459, Portland, ME 04104, with WARRANTY COVENANTS, the following described real property located in Portland, County of Cumberland, Maine:


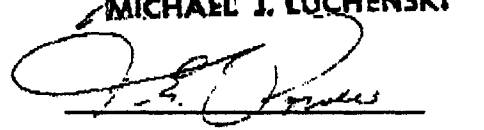
A certain lot or parcel of land together with the buildings thereon, being more particularly described as follows:

No. 1-15 Portland Street, No. 60-68 Preble Street and 246-254 Oxford Street, Portland, Maine, containing eleven thousand one hundred thirty-four (11,134) square feet more or less, all according to the City of Portland valuation plans. The said easterly line on Preble Street is 117.14 feet more or less; the said northerly line on Oxford Street is 126.66 feet more or less; the said southerly line on Portland Street is 142.63 feet more or less; the said westerly line extending through from Portland Street to Oxford Street is 54.2 feet more or less.

Being the same premises conveyed to the Grantor herein by deed of Edward C. Gall dated June 27, 1983 and recorded in the Cumberland County Registry of Deeds in Book 6204, Page 167.

WITNESS our hands and seals this 11th day of January, 1993.


WITNESS


MICHAEL I. LUCHENSKI


STAMCO, a Maine General Partnership

by: T.S.W. Corp., General Partner

by: 
Stephen Webber, It's President

by: 
William Webber, Gen. Partner
Being all of the Partners of STAMCO

State of Maine
Cumberland, ss.

January 11, 1993

Recorded
Cumberland County
Registry of Deeds
01/13/93 09:06:48
John B. O'Brien
Register

Personally appeared William Webber in his capacity as general partner of STAMCO and acknowledged the foregoing instrument to be his free act and deed on behalf of STAMCO.


Notary Public/Attorney

PATRICIA M. POWERS, NOTARY PUBLIC
STATE OF MAINE
MY COMMISSION EXPIRES 12/21/96

**L & L STRUCTURAL
ENGINEERING SERVICES, INC.**

Six Q Street
South Portland, ME 04106
Phone: (207) 767-4830
Fax: (207) 799-5432

May 20, 2003

Mike Nugent
City of Portland - Inspections Office
Portland, Maine 04101

Subject: PSRC (Preble Street Resources Center)

Dear Mr. Nugent,

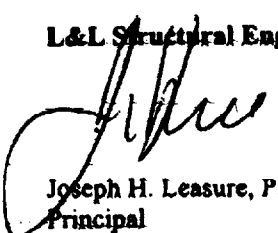
At your request we are writing to inform you of our intent to perform special inspections for the above referenced project in accordance with Boca 1999, Chapter 17, Section 1705.0. In conversation with our client, James Sterling Architects, they have authorized our firm to proceed with these inspections. We will be responsible for the inspection of the following.

1. Verify that the concrete mix design meets the requirements of the design drawings.
2. Review the formwork and placement of reinforcement prior to placing concrete.
3. Review the concrete masonry reinforcing and grouting.
4. Review the installation of the Structural Steel framing and connections.
5. Review the installation of the light gage steel framing.
6. Review the installation of the Steel Joist framing and connections.
7. Review the installation of the Steel Deck Units and connections.

If you have any questions or require additional information, please do not hesitate to call

Sincerely,

L&L Structural Engineering Services, Inc.



Joseph H. Leasure, P.E.
Principal



**CITY OF PORTLAND
ACCESSIBILITY CERTIFICATE**

Designer: James Sterling AIA

Address of Project 5 Portland Street

Nature of Project Renovation

Building Renovations and Additions/Preble Street Resource Center

Date 05 MAY 2003

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

(SEAL)

Signature 

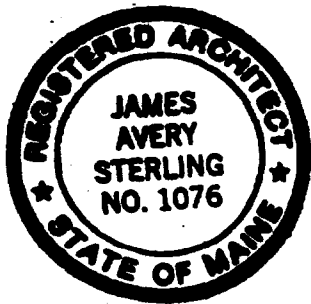
Title Architect

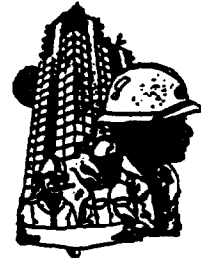
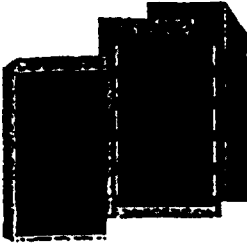
Firm James Sterling Architect

Address P.O. Box 7305

Portland, ME 04112

Telephone 772-0037





**CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Rm 315
Portland, ME 04101**

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: James Sterling Architect

RE: Certificate of Design

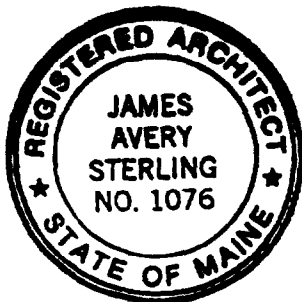
DATE: 06 MAY 2003

These plans and/or specifications covering construction work on:

Building Renovations and Additions/Preble Street Resource Center

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and local amendments.

(SEAL)



Signature *James Avery Sterling*

Title Architect

Firm James Sterling Architect

Address P.O. Box 7305, Portland, ME

04112

As per Maine State Law:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

Applicant: Preble Street Resources

Date: 4/29/03

Address: 9 Portland St

C-B-L: 033-L-004

CHECK-LIST AGAINST ZONING ORDINANCE

Date - existing building

Zone Location - B-3

Interior or corner lot -

Proposed Use/Work - Storage & office

Sevage Disposal - City

Lot Street Frontage - 10' of frontage req.

Front Yard -

Rear Yard -

Side Yard -

Projections -

Width of Lot - NA

Height -

Lot Area - 100%

Lot Coverage/Impervious Surface -

Area per Family -

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning/ Stream Protection -

Flood Plains -

build to line - within 5' req.

NA

NO new construction of any building shall be less than thirty-five (35) feet in height within fifty (50) feet of any street frontage except for a sign. Advertisment boards or blank (emblem) tallent buildings

NA

14-220
100

min height 35 → 22 height 5/5/3 This section applies only to new development not additions to existing structures

Office area = 455 sq ft = 400 = 1 pkgs. 3 parking spaces shown

used this previously on Boys & Girls Club & of Custom House what

From: Marge Schmuckal
To: Kandi Talbot
Date: Mon, May 5, 2003 11:30 AM
Subject: Preble Street Resources

Kandi,

I have met with Jim Sterling and Natalie Burns to further discuss this project. First of all Jim will be submitting a revised plan showing the actual survey as it relates to this addition.

I have reconsidered the interpretation of 14-220 (which I still think Planning needs to reword for clarification - I am asking again on this point). As I have interpreted previously, this is only an addition and not a new development building. It is part of an existing building. Therefore this minimum height requirement does not apply.

The new office area is approximately 455 sq. ft. which translates into only one required parking space. The rest of the area is storage. There are no specific parking regulations for just storage. They are showing three on site parking spaces. This project complies with the parking requirement.

All other zoning requirements are being met.

Marge Schmuckal
Zoning Administrator
5/5/03

CC: Sarah Hopkins

From: Marge Schmuckal
To: Kandi Talbot
Date: Tue, Apr 29, 2003 11:38 AM
Subject: 9 Portland Street - Preble Resource Center

Kandi,

I have reviewed this site plan submittal. There is one zoning violation concerning height. Section 14-220 states: " No new construction of any building shall be less than thirty-five (35) in height within fifty (50) feet of any street frontage except for parking adendant booths or bank remote teller facilites". I am measuring only 22 feet in height.

I also do not see actual lot lines shown on the site plan. On both Preble and Portland Streets, the plans are labeled that the addition is set back to property lines. But the building looks setback to some other given line. Don't you require actual property lines to be shown on submittals?

I am also uncertain as to parking requirements. I need some clarification as to labeled uses shown on the plans. On the upper level renovation area that is labeled "coordinaters", is that office space? Is the "clothing bank" area a public assembly area? On the lower level renovation area, what is the food pantry area? Is it a public assembly area, or is it a storage area?

These are the zoning concerns that I have on this project.

Marge

CC: Sarah Hopkins

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2003-0063
Application I. D. Number
03/31/2003
Application Date
Renovations
Project Name/Description

Preble Street Resource
Applicant
331 Cumberland Ave, Portland, ME 04101
Applicant's Mailing Address

Consultant/Agent
Agent Ph: _____ **Agent Fax:** _____
Applicant or Agent Daytime Telephone, Fax

9 - 9 Portland St, Portland, Maine
Address of Proposed Site
033 L004001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

Proposed Building square Feet or # of Units _____ Acreage of Site _____ **B-3**
Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan \$400.00 Subdivision _____ Engineer Review _____ Date 04/03/2003

Zoning Approval Status:

Reviewer Marge Schmuckel

- Approved Approved w/Conditions
See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets
Attached
 Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	



Contract Administration G810 Transmittal Letter

(Instructions on the reverse side)

PROJECT (Name and address): CRC: RENOVATIONS
5 POWELL BLVD ST.

TO (Name and address): SARAH HOPKINS
PLANNING DEPT.

FROM (Name and address): JAMES STANLEY

- WE TRANSMIT: Attached Under separate cover
- VIA: Overnight delivery Mail E-mail Courier Fax Other
- FOR: Approval / Action Information Use as requested
 Comment Distribution Other
- THE FOLLOWING: Drawings Specifications Digital files Submittals Other

NO. OF COPIES	DATE	FORMAT	DESCRIPTION
9	02/14/03	SET	DRAWINGS: PLANS/REVISIONS.
9	02/14/03	COTER LETTER	
9	02/14/03	APPK.	MUSEUM SITE REVIEW
1	02/14/03		APPK. FEE \$400

REMARKS:

BY:

COPIES TO:

City of Portland Site Plan Application

If you or the property owner owe real estate taxes, personal property taxes or user charges on any property within the City of Portland, payment arrangements must be made before permit applications can be received by the Inspections Dept.

Address of Construction: <u>5 PORTLAND ST</u>	Zone: <u>B3</u>
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Total Square Footage of Proposed Structure	Square Footage of Lot <u>10,864 SF</u>
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Tax Assessor's Chart, Block & Lot Chart# <u>33</u> Block# <u>L</u> Lot# <u>4</u>	Property owner, mailing address: <u>PEOPLE ST. RESOURCE CTR</u> <u>SPRING ST. P.O. BOX 1459 (AICI)</u>	Telephone: <u>775,0036</u>
--	--	-------------------------------

Consultant/Agent, mailing address, phone & contact person <u>JAMES STERLING AIA</u>	Applicant name, mailing address, telephone #/Fax#/Pager#: <u>772-0037</u> <u>(F) 773-8545</u>	Project name: <u>CRU RENOVATION</u>
--	---	--

Proposed Development (check all that apply) New Building Building Addition Change of Use

Residential Office Retail Manufacturing Warehouse/Distribution Parking lot

Subdivision, amount of lots \$25.00 per lot \$

Site Location of Development \$3,000, except for residential lots which are then \$200 per lot

Traffic Movement \$1,000 Stormwater Quality \$250.00 Other

After the fact review - Major project \$1,500.00 After the fact review - Minor project \$1,200.00

Major Development \$500.00 Minor Development \$400.00

Plan Amendments: Board review \$200.00 Staff review \$100.00

Who billing will be sent to: JAMES STERLING, ARCHITECT

Mailing address: P.O. BOX 7305

State and Zip: PORTLAND, MAINE 04112

Contact person: _____ Phone: _____

Submittals shall include (9) separate folded packets of the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans check list

Amendment to Plans: Amendment applications should include 6 separate packets of the above (a, b, and c)

ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process, copies are available at the counter at .50 per page (8.5 x11) you may also visit the web site: ci.portland.me.us chapter 14

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>21 MARCH 2003</u>
--	----------------------------

JAMES A. STERLING
Architect A I A
142 High Street
P.O. Box 7305
Portland, Maine 04112
207 772.0037
FAX 773.8545
cheehaak@gwi.net

31 March
2003

Sarah Hopkins
Portland Planning Department
Portland City Hall

Re: CRC Renovations
5 Portland St.

Dear Sarah:

I have enclosed 9 sets of drawings for our proposed renovations to the existing Preble Street Resource Center (CRC). Renovations include basic upgrading of finishes, lighting and mechanical systems at the lower level; expansion of the day shelter, additional showers and bathrooms and minor renovations to the existing clinic space. We are also proposing expanding the building footprint which will house the clothing drop-off, sorting and distribution on the east, entry in the middle and volunteer space on the west. This will reduce the paved area from 4,000 sf to approximately 2,000 sf.

The purpose of this submittal at this point is to achieve the following:

- a. Have the Planning Dept. review the scheme and identify any problems.
- b. Determine whether we need the remaining paved area to be engineered.
- c. To inform any abutters of the proposal as might be required.

Finally, I should point out that there is no change in function of the building. We are undertaking this effort to better serve the increasing population of people in need of Preble Street's services.

Sincerely,



James Sterling, AIA
Architect

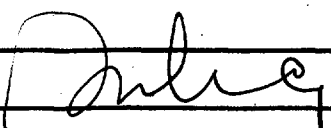
All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: # PORTLAND ST		
Total Square Footage of Proposed Structure EXISTING 6000 + ADDITIONS 2000	Square Footage of Lot 10864 SF +/-	
Tax Assessor's Chart, Block & Lot Chart# 033 Block# 004 Lot# 004	Owner: PEOPLE ST. RESOURCE CENTER	Telephone: 715 0026
Lessee/Buyer's Name (if Applicable) ---	Applicant name, address & telephone: JAMES STERLING AIA 142 HIGH ST. PORTLAND 04101 772 0037	Cost Of Work: \$ 1.3 MILLION Fee: \$ 9123.00
Current use: SOCIAL SERVICE / BUSINESS		
If the location is currently vacant, what was prior use: ---		EMAIL: CHEEHAAK @ GWI.NET
Approximately how long has it been vacant: ---		
Proposed use: SAME		
Project description:		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: WRIGHT/RYAN, INC.		
Mailing address: 10 DANFORTH ST. PORTLAND ME 04101		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 773 3625		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 06 MAY 03
---	------------------------

**This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the
Planning Department on the 4th floor of City Hall**

drawings:

site survey (owen-haskell)
LA-1 site plan

A-0.1 demolition plan: upper
A-0.2 demolition plan: lower
A-1.0 foundation plan
A-1.1 upper level plan
A-1.2 lower level plan
A-1.3 roof plan
A-1.4 ceiling plan
A-1.5 finish schedule, wall types
A-1.6 door/window schedule

A-2.1 exterior elevations
A-2.2 exterior elevations
A-2.3 elevation images

A3.1 building sections A + AA
A3.2 building sections B + BB
A3.2 reserved

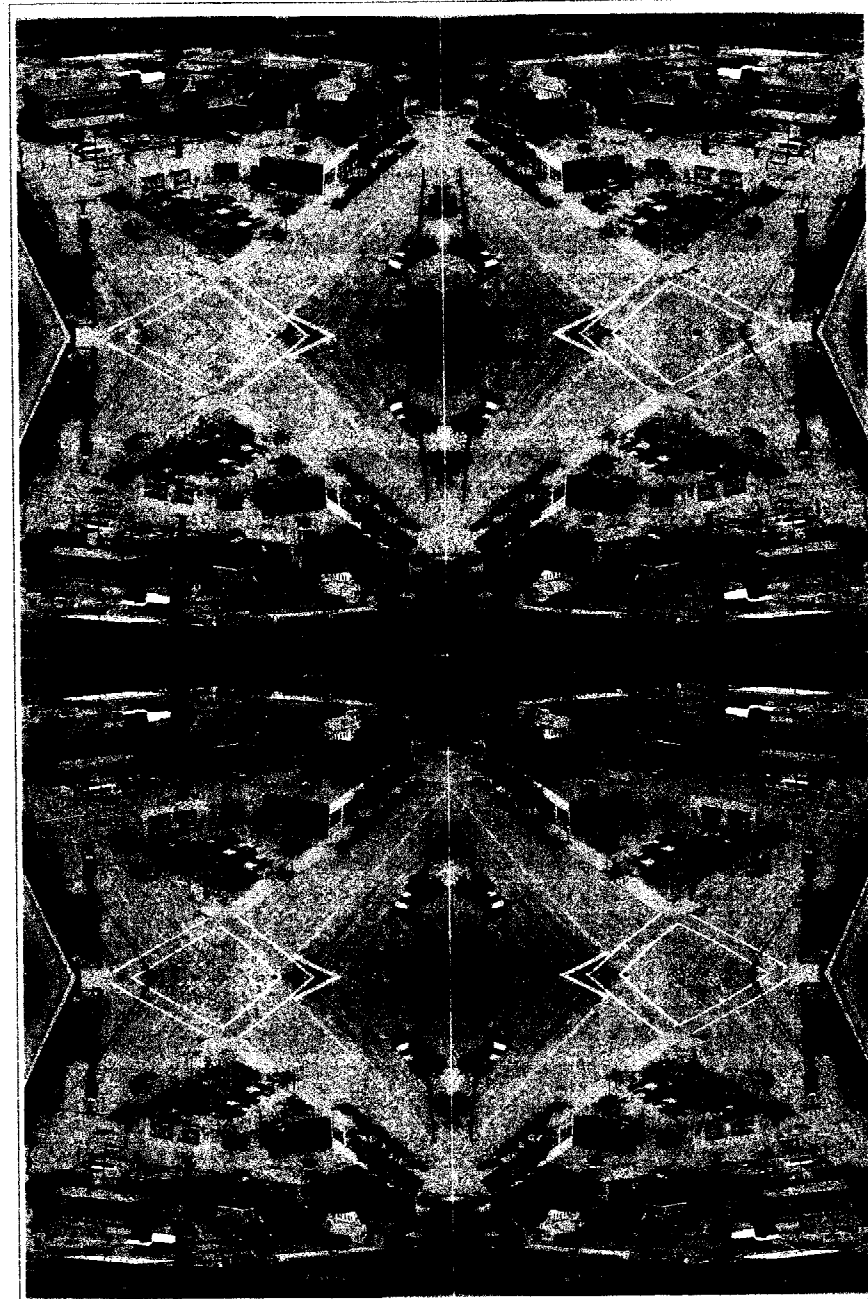
A-4.1 interior elevations - ada requirements
A-4.2 interior elevations

A-5.1 elevator details

S-1 structural
S-2 structural foundation plan
S-3 structural first floor framing
S-4 structural roof framing
S-5 structural sections + details

M-1 mechanical
M-2 mechanical
M-3 mechanical
M-4 mechanical

E-1.1 electrical
E-1.2 electrical
E-2.1 electrical
E-2.2 electrical
E-3.1 electrical



PSRC RENOVATIONS 5 PORTLAND STREET PORTLAND, MAINE

OWNER:
PREBLE STREET RESOURCE CENTER
PORTLAND, MAINE

ARCHITECT:
JAMES STERLING, AIA
142 HIGH STREET
PORTLAND, MAINE 04101
772-0037

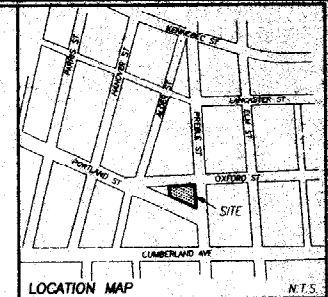
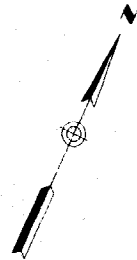
CONTRACTOR:
WRIGHT - RYAN, INC.
10 DANFORTH STREET
PORTLAND, MAINE 04101
773-3625

MECHANICAL:
JOHNSON & JORDAN
18 MUSSEY ROAD
SCARBOROUGH, MAINE 04074
883-8345

STRUCTURAL:
L+L ENGINEERING
6 Q STREET
SOUTH PORTLAND, MAINE 04106
767-4830

ELECTRICAL:
THOMAS ENGINEERING
175 CARLSON STREET
WESTBROOK, MAINE 04092
878-4407

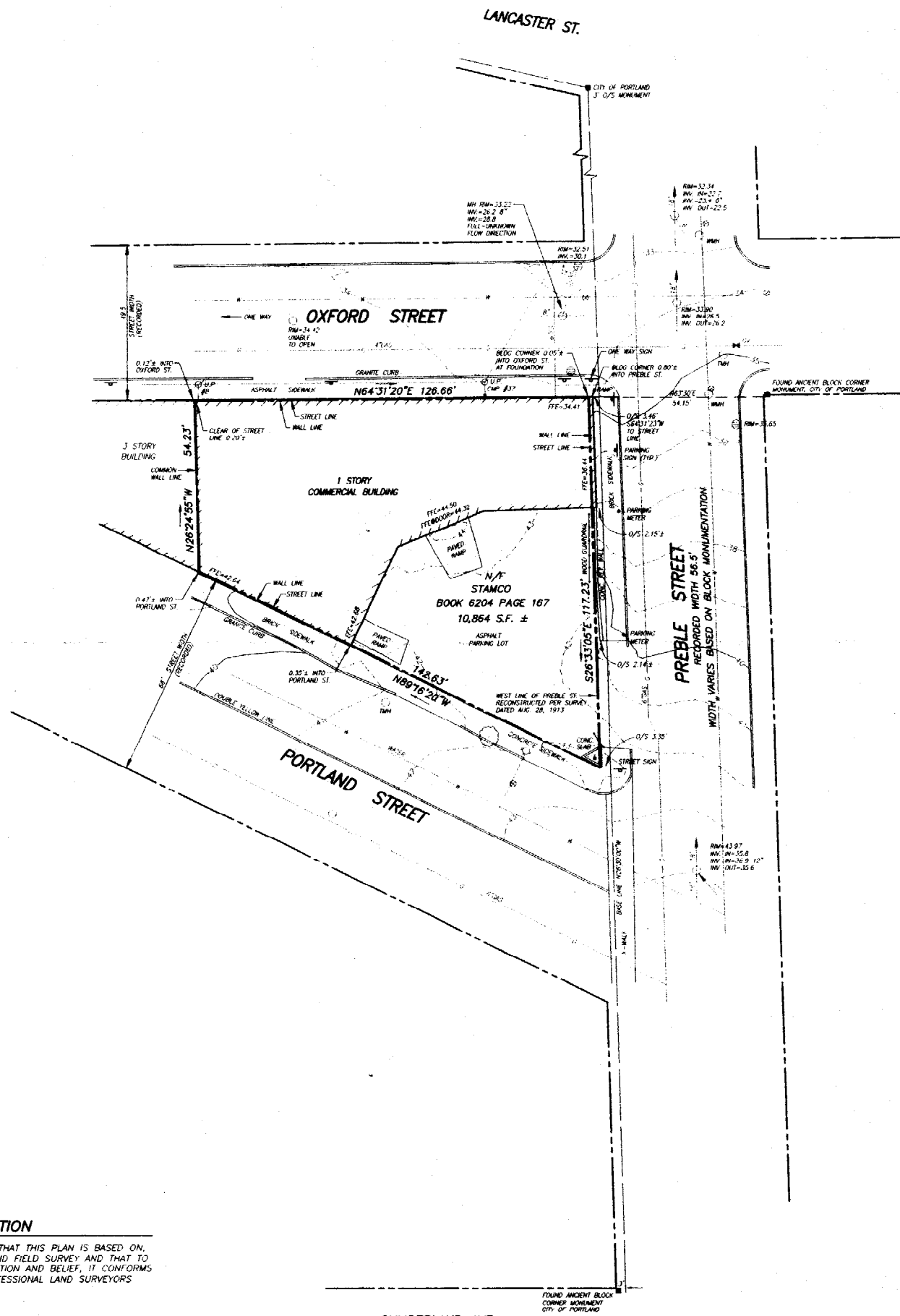
PERMIT SET
SUBMITTAL DATE: 22 APRIL 2003



- LEGEND:**
- WATER VALVE
 - ◇ HYDRANT
 - ◇ UTILITY POLE
 - MANHOLE
 - CATCH BASIN
 - SIGN

NOTES

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE BOUNDARY LINES AS DESCRIBED IN DEED VOLUME 6204 PAGE 167 AS SURVEYED ON DEC. 1992. THE BOUNDARIES ARE BASED ON A RECONSTRUCTION OF THOSE SURVEYED FOR E.C. JORDAN, AND SHOWN ON PLAN #130 OF E.C. JORDAN.
2. POSSIBLE EASEMENTS OF RECORD APPURTENANT TO OR ENCUMBERING THIS PROPERTY ARE NOT DETERMINED BY THIS SURVEY.
3. STREET LINES WERE RECONSTRUCTED FROM RECORDS ON FILE AT THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT.
4. THE EXACT POSITION OF THE COMMON WALL LINE IN RELATION TO THE WEST BOUNDARY LINE CROSSING THIS PROPERTY IS NOT DETERMINED BY THIS SURVEY.
5. OFFSET MEASUREMENTS SHOWN FROM STREET LINES TO EXISTING WALL LINES MAY VARY DEPENDING ON WHERE MEASUREMENTS ARE TAKEN ON THE WALL.
6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A LEGAL TITLE ABSTRACT OR PROFESSIONAL TITLE OPINION.
7. DUE TO EXISTING CONDITIONS OF PROPERTY SHOWN, PROPERTY CORNERS ARE NOT SET. CORNERS CAN BE ESTABLISHED BY TIES TO OFFSITE MONUMENTATION AS INDICATED.
8. BENCH MARK: USGS DISC 4163 AT PORTLAND POST OFFICE ELEVATION 38.47 CITY DATUM.
9. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.



CERTIFICATION

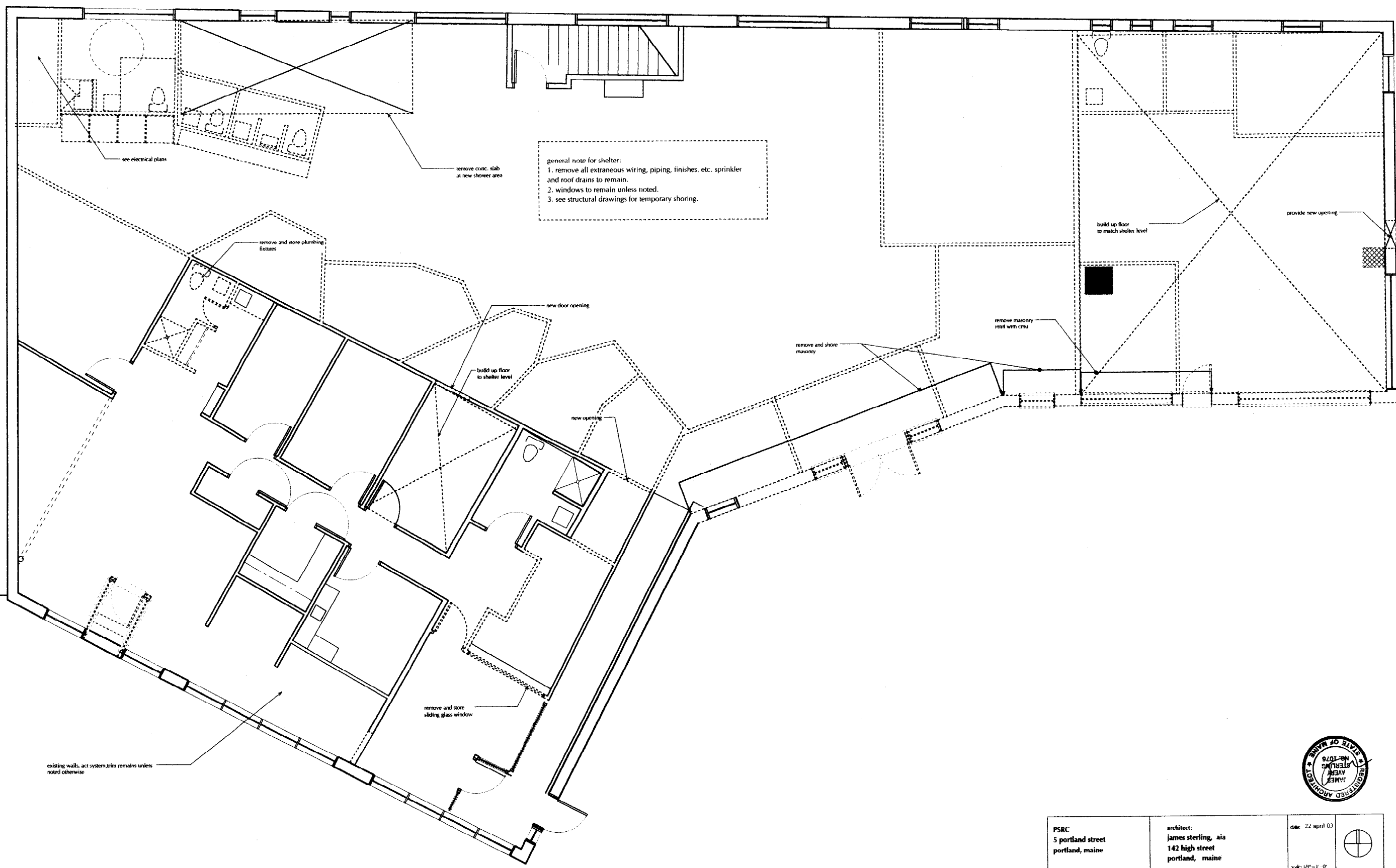
OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

DATE _____ JOHN W. SWAN, PLS #1038

CUMBERLAND AVE.




REV 1 03-21-03 TOPOGRAPHY ADDED		
STANDARD BOUNDARY SURVEY		
AT PORTLAND & PREBLE STREET PORTLAND, MAINE MADE FOR PREBLE STREET RESOURCE CENTER		
OWEN HASKELL, INC. 16 CASCO ST., PORTLAND, ME 04101 (207) 774-0484 PROFESSIONAL LAND SURVEYORS		
Drawn By: OHI	Date: DEC 14, 1992	Job No.: 92207P
Trace By: JLW	Scale: 1" = 20'	Drawn No.: 1
Check By: JWS		
Book No.: 621		

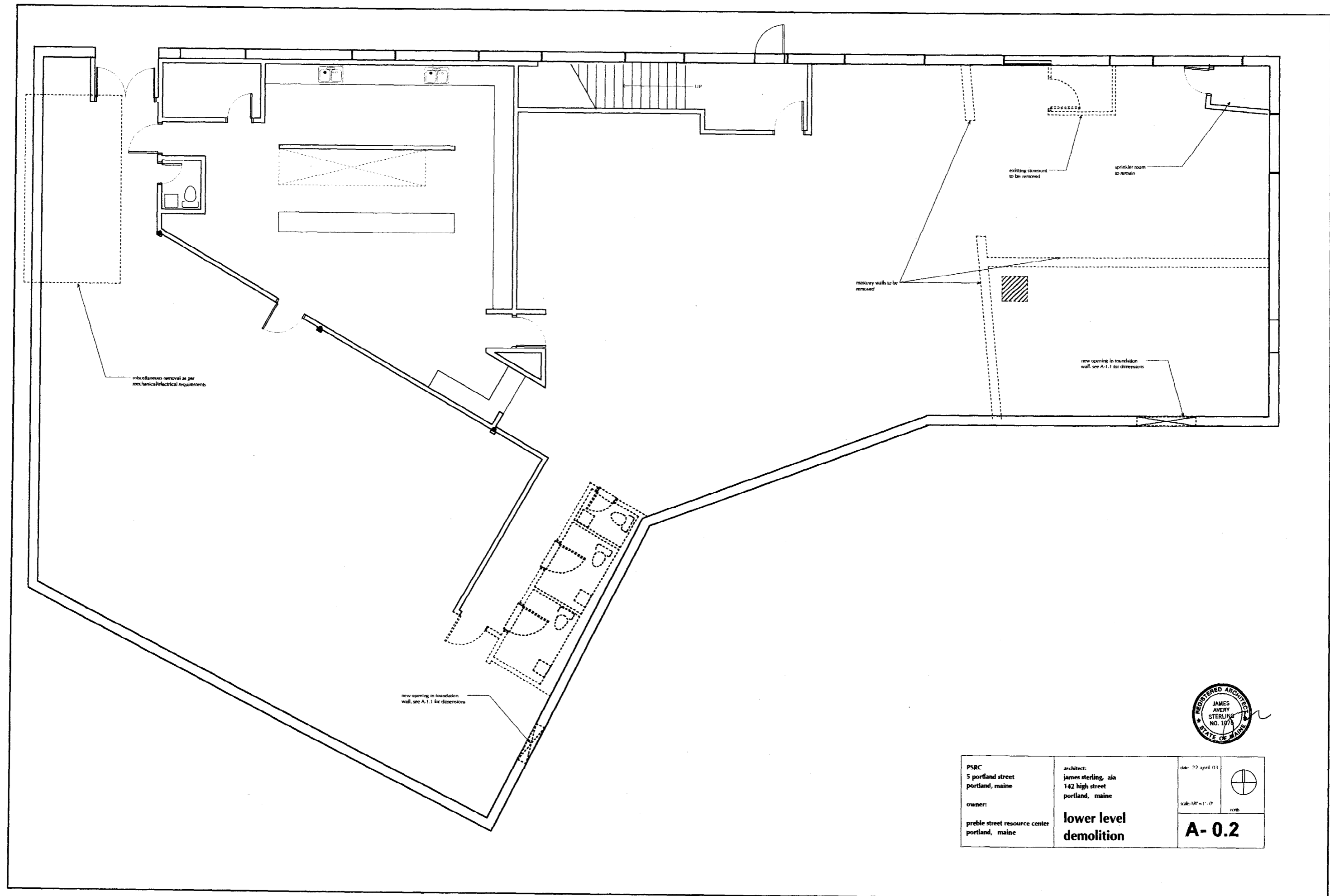



general note for shelter:
 1. remove all extraneous wiring, piping, finishes, etc. sprinkler and roof drains to remain.
 2. windows to remain unless noted.
 3. see structural drawings for temporary shoring.

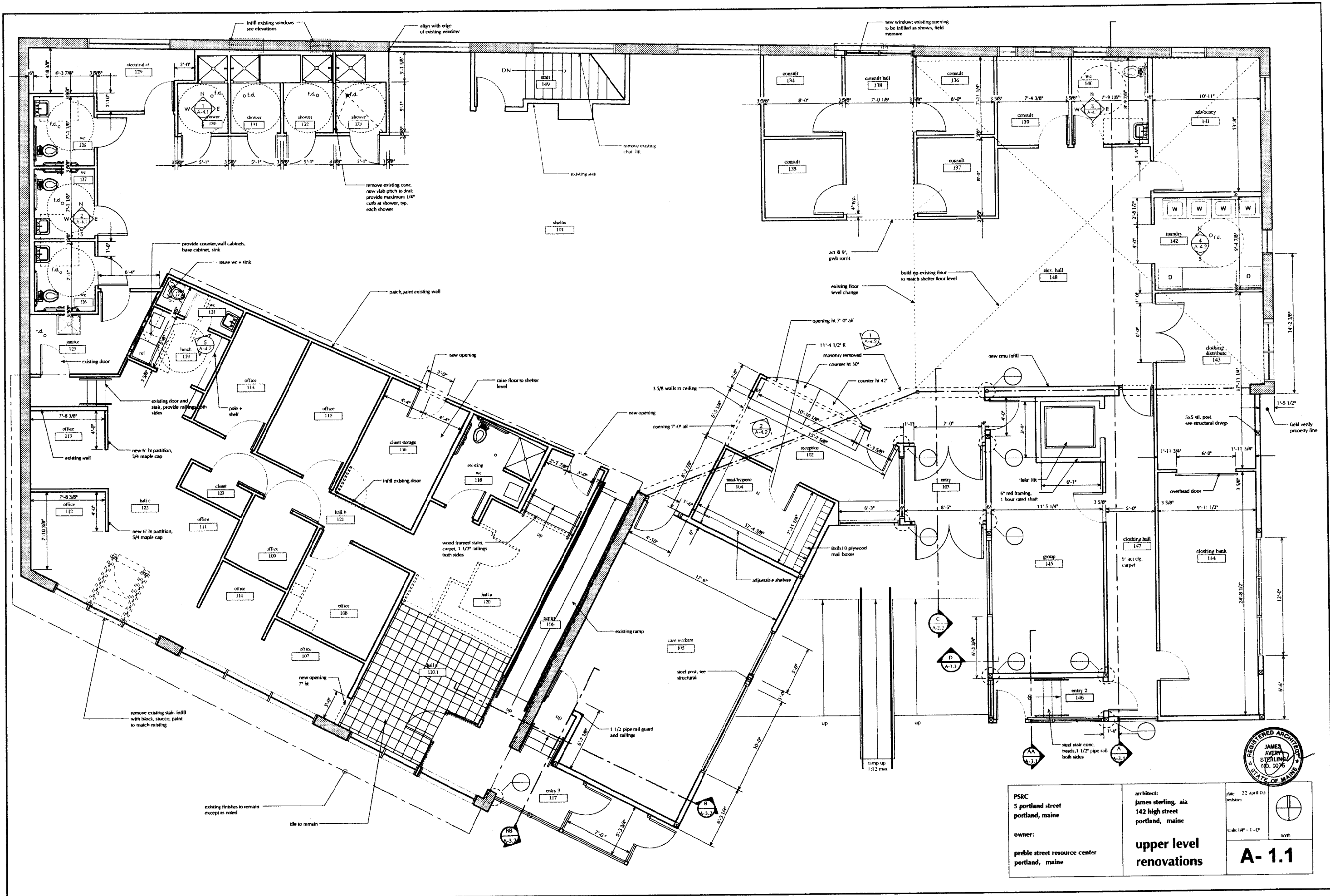
existing walls, act system, trim remains unless noted otherwise



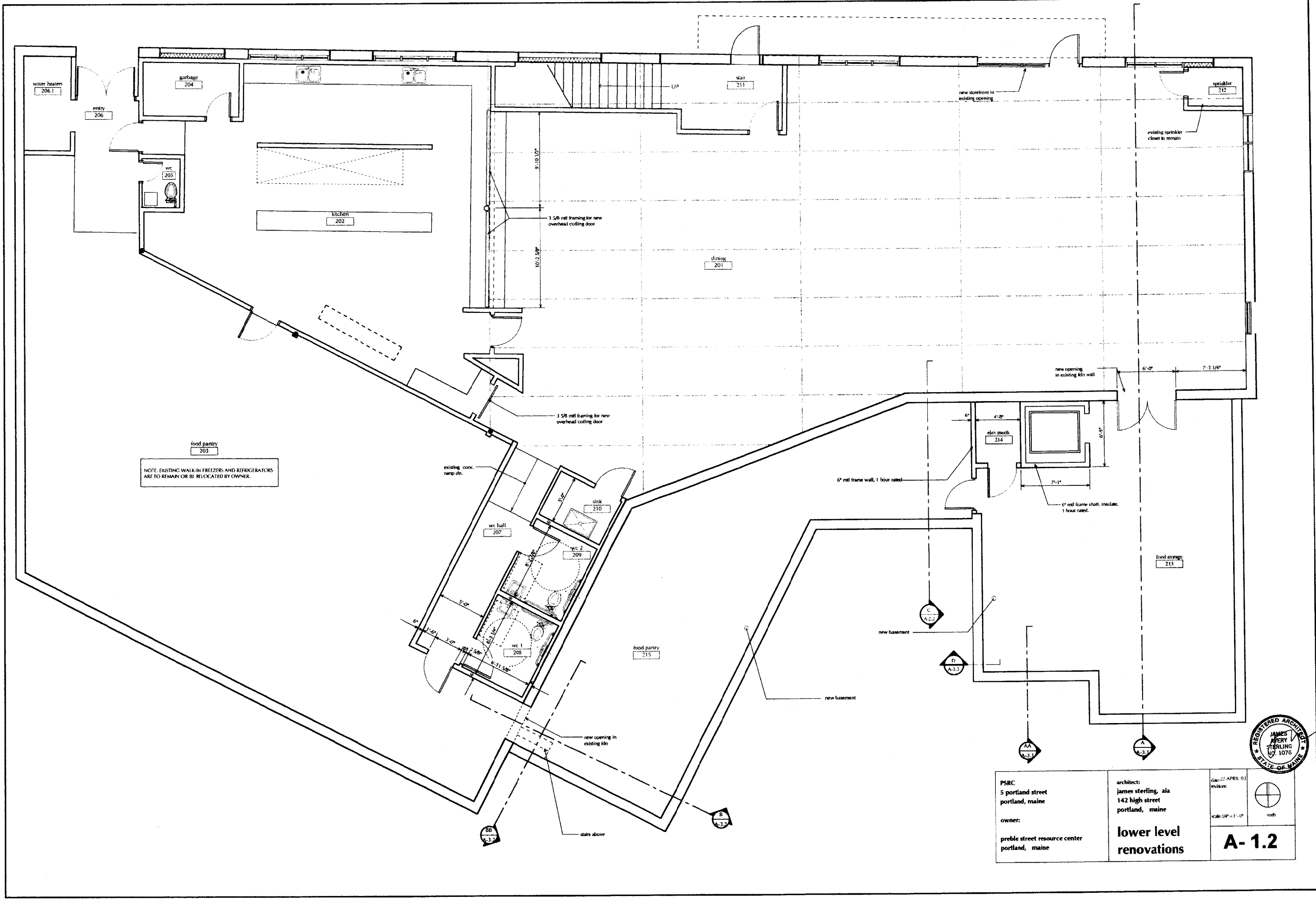
PSRC 5 portland street portland, maine	architect: james sterling, aia 142 high street portland, maine	date: 22 april 03  north
owner: preble street resource center portland, maine	upper level demolition A-0.1	




<p>PSRC 5 portland street portland, maine</p>	<p>architect: james sterling, aia 142 high street portland, maine</p>	<p>date: 22 april 03</p>	
<p>owner: preble street resource center portland, maine</p>	<p>lower level demolition</p>	<p>scale: 1/4" = 1' - 0"</p>	<p>north</p>
		<p>A- 0.2</p>	

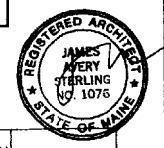


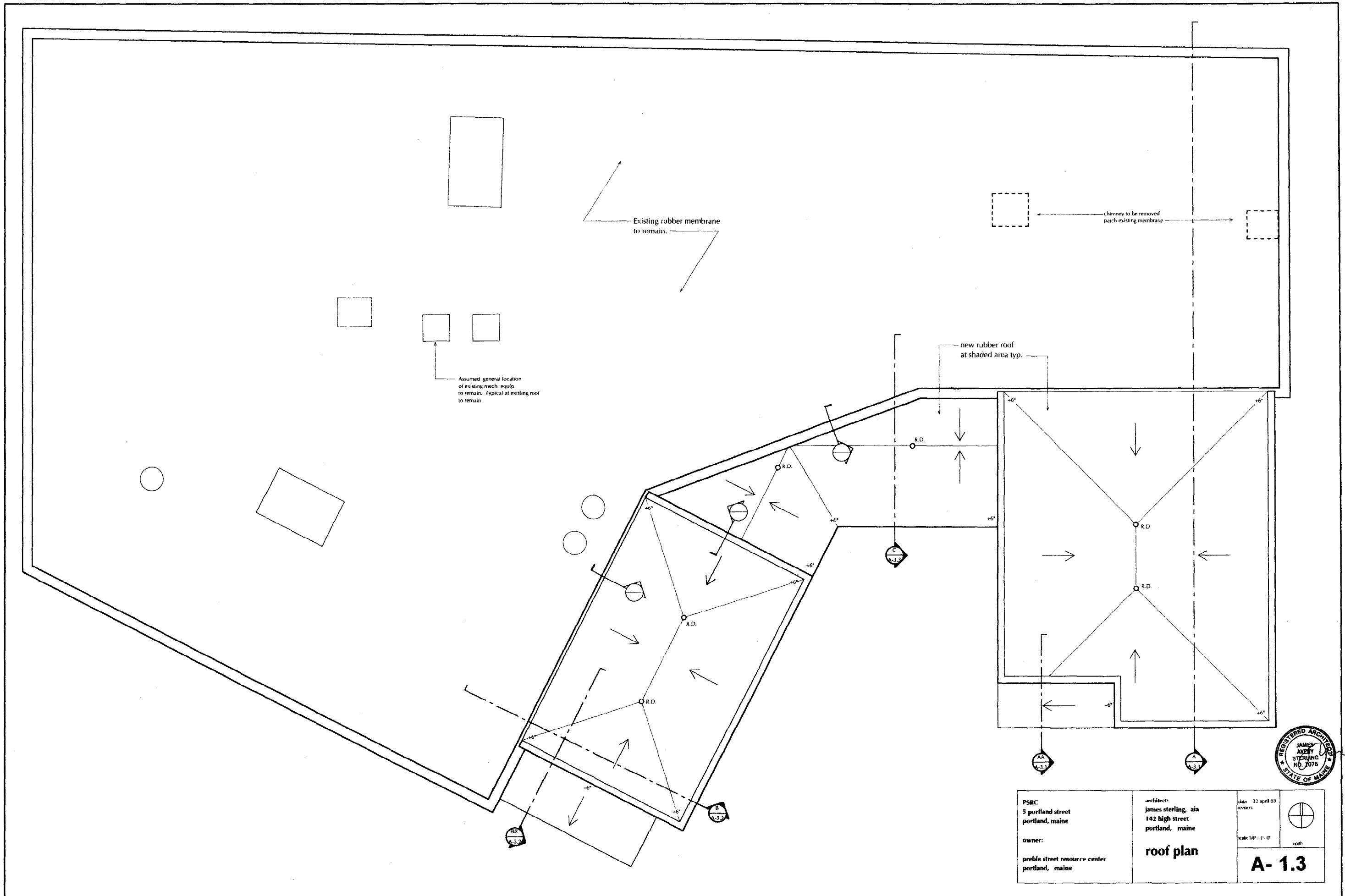
<p>PSRC 5 portland street portland, maine</p> <p>owner: preble street resource center portland, maine</p>	<p>architect: james sterling, aia 142 high street portland, maine</p> <p>upper level renovations</p>	<p>date: 22 april 03 revision:</p> <p>scale: 1/4" = 1'-0"</p> <p>sheet A- 1.1</p>
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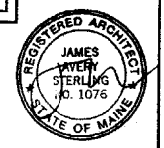
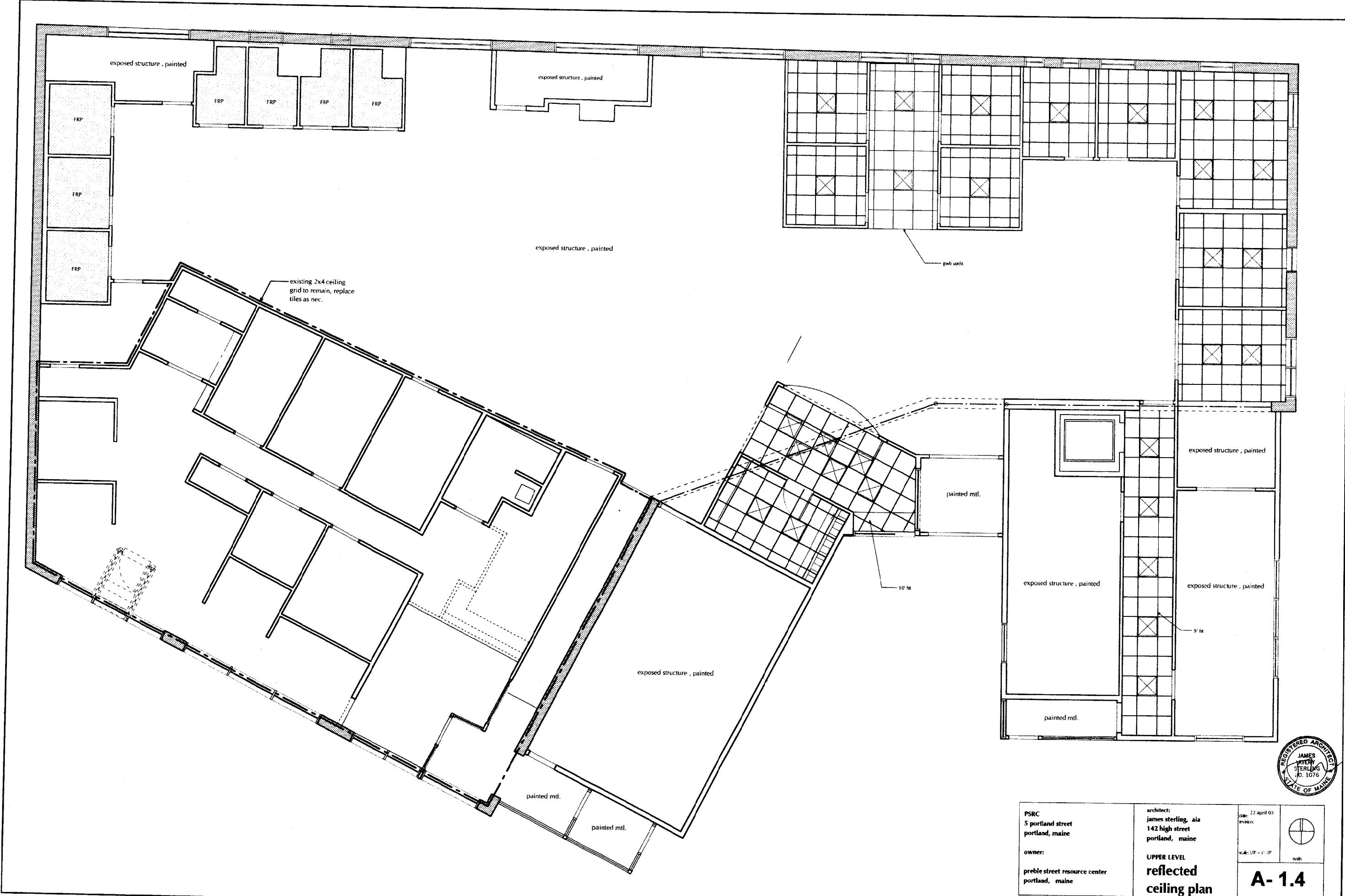
NOTE: EXISTING WALK-IN FREEZERS AND REFRIGERATORS ARE TO REMAIN OR BE RELOCATED BY OWNER.

PSRC 5 portland street portland, maine owner: preble street resource center portland, maine	architect: james sterling, aia 142 high street portland, maine lower level renovations	date: 22 APRIL 03 revision: scale: 1/4" = 1'-0" north <div style="text-align: center;">  A-1.2 </div>
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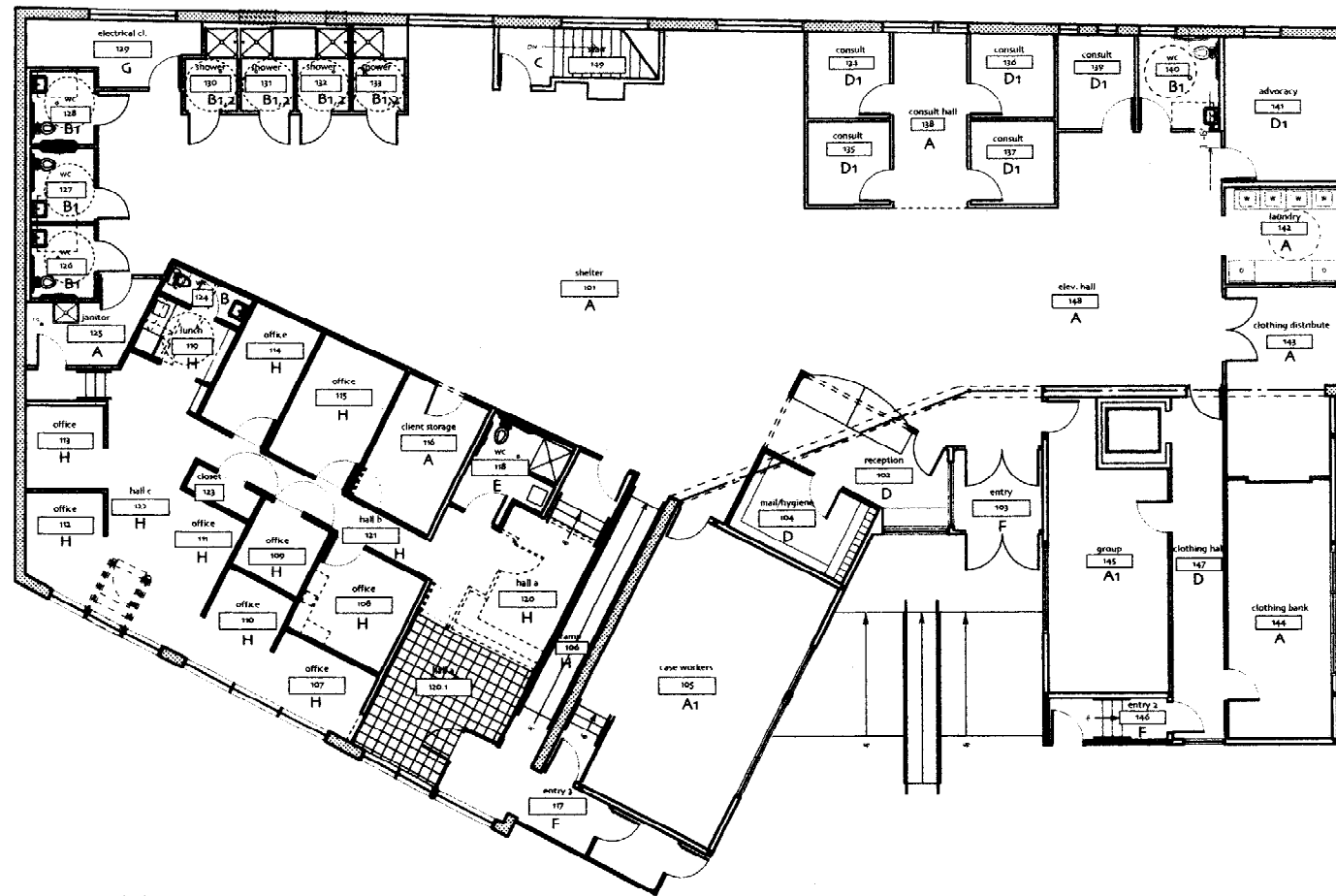




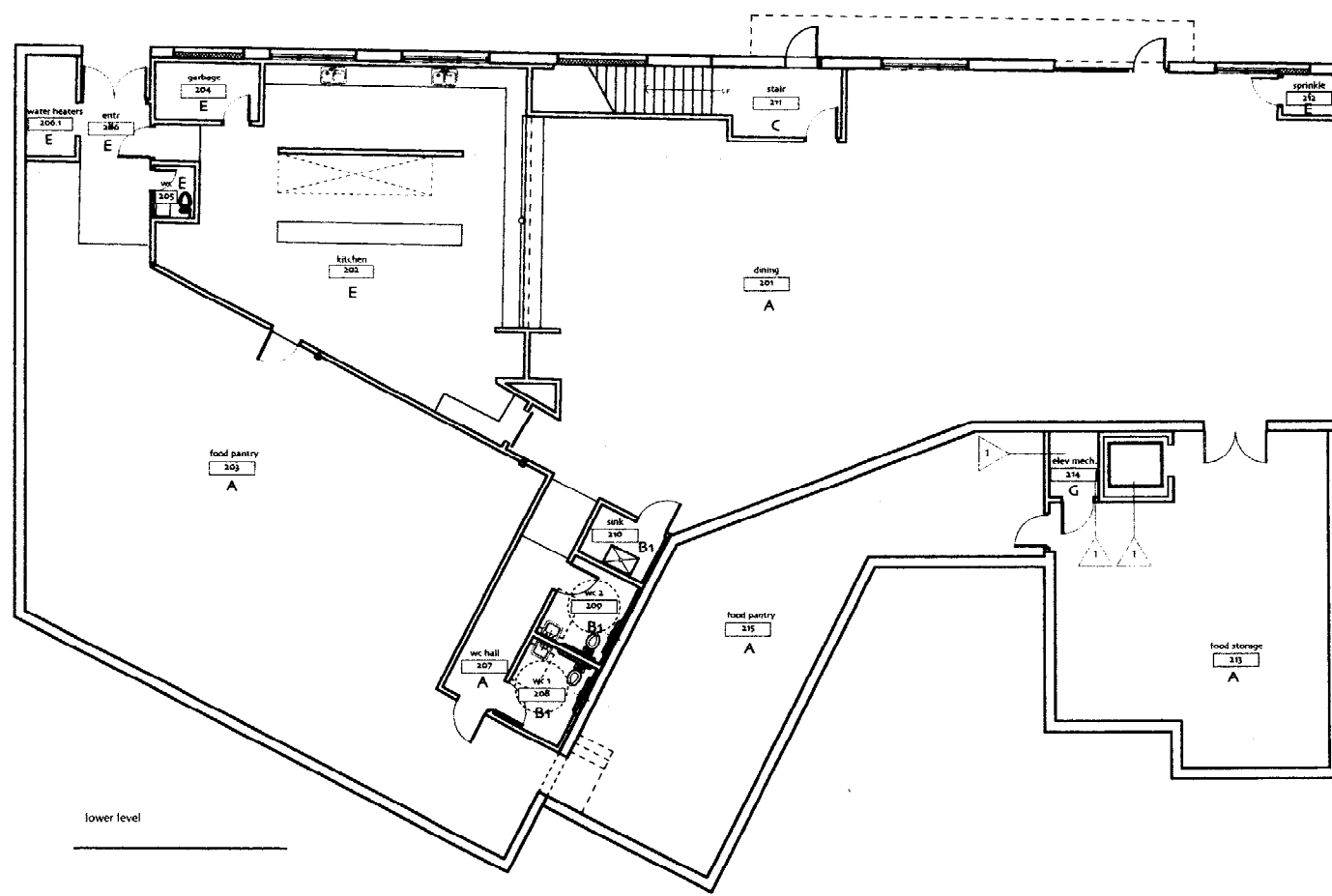
<p>PSRC 5 portland street portland, maine</p> <p>owner: preble street resource center portland, maine</p>	<p>architect: james sterling, aia 142 high street portland, maine</p> <p>roof plan</p>	<p>date: 22 april 03 revision:</p> <p>scale: 1/4" = 1'-0"</p> <p>sheet: A- 1.3</p>
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<p>PSRC 5 portland street portland, maine</p> <p>owner: preble street resource center portland, maine</p>	<p>architect: james sterling, aia 142 high street portland, maine</p> <p>UPPER LEVEL reflected ceiling plan</p>	<p>date: 22 april 03 revision:</p> <p>scale: 1/8" = 1'-0" nsh</p> <p>A-1.4</p>
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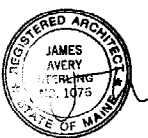
upper level



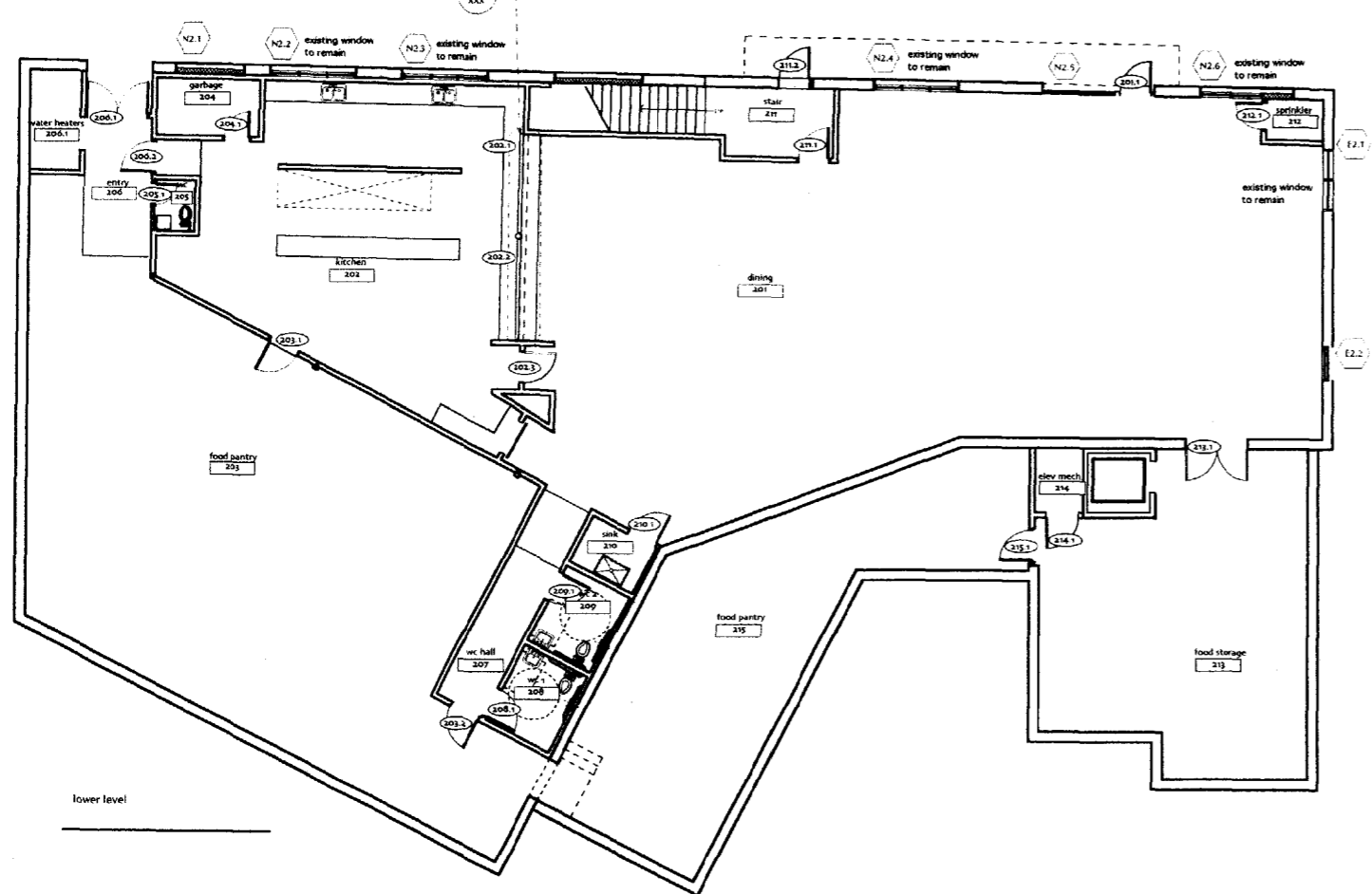
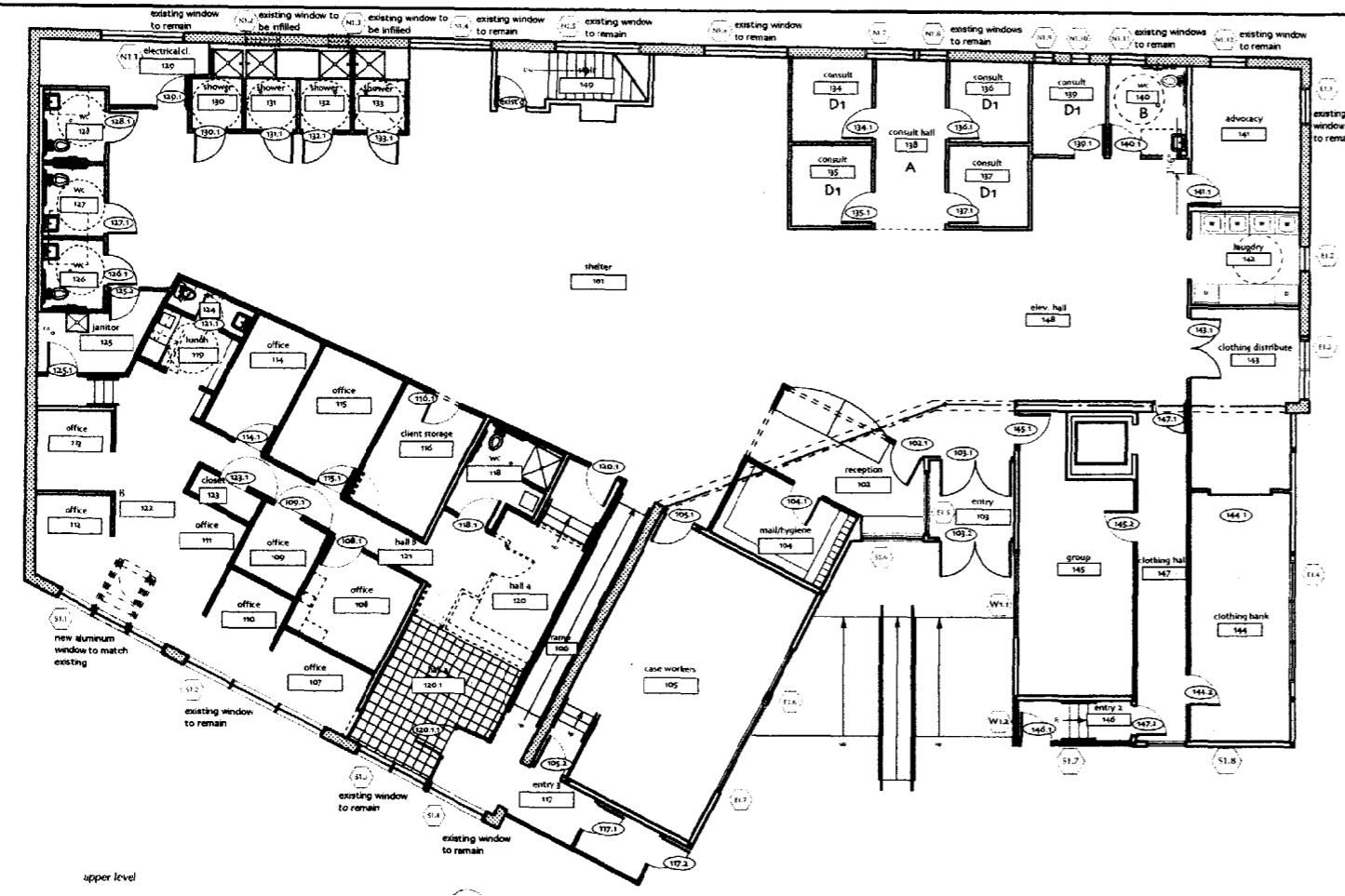
lower level

Finish Schedule-Upper Level		
number	room name	finish package
101	shelter	A
102	reception	B
103	entry	F
104	mail/hygiene	D
105	case workers	A
106	ramp	H
107	office	H
108	office	H
109	office	H
110	office	H
111	office	H
112	office	H
113	office	H
114	office	H
115	office	H
116	client storage	A
117	entry 3	F
118	wc	E
119	lunch	H
120	hall a	H
120.1	hall a	H
121	hall b	H
122	hall c	H
123	closet	H
124	wc	B
125	janitor	A
126	wc	B1
127	wc	B1
128	wc	B1
129	electrical cl.	G
130	showe	B1
131	showe	B1
132	showe	B1
133	showe	B1
134	consult	D1
135	consult	D1
136	consult	D1
137	consult	D1
138	consult hall	A
139	consult	D1
140	wc	B1
141	advocacy	D1
142	laundry	A
143	clothing distribute	A
144	clothing bank	A
145	group	A1
146	entry 2	F
147	clothing hall	D
148	elev. hall	A
149	stair	C
150	closet	H
Finish Schedule-Lower Level		
		PACKAGE H (existing clinic)
number	room name	finish package
201	dining	A
202	kitchen	E
203	food pantry	A
204	garbage	E
205	wc	E
206	entry	E
206.1	water heaters	E
207	wc hall	A
208	wc 1	B1
209	wc 2	B1
210	sink	B1
211	stair	C
212	sprinkler	E
213	food storage	A
214	elev. mech.	A
215	food pantry	B

1 hour 3/8" CWB, fire insulated



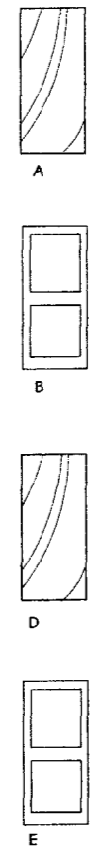
PSRC 5 portland street portland, maine owner: preble street resource center portland, maine	architect: james sterling, aia 142 high street portland, maine finish schedule	date: 22 April 03 revision:	 north
		scale: 1/8" = 1' - 0" A-1.5	



Door Schedule - Upper Level				
door number	room	door	size	hardware (ADA compliant)
102.1	reception	E	3'0" X 6'8"	F86
103.1	entry	B	(2) 3'0" X 7'0"	F8i incl.
103.2	entry	B	(2) 3'0" X 7'0"	F8i incl.
104.1	mail/hygiene	A	3'0" X 6'8"	F86
105.1	coordinators	E	3'0" X 6'8"	F86
105.2	coordinators	E	3'0" X 6'8"	F86
108.1	office	to remain	3'0" X 6'8"	
109.1	office	to remain	3'0" X 6'8"	
114.1	office	to remain	3'0" X 6'8"	
115.1	office	to remain	3'0" X 6'8"	
116.1	client storage	move ex. door	3'0" X 6'8"	F82
117.1	entry 3	B	3'0" X 7'0"	F8i incl.
117.2	entry 3	B	3'0" X 7'0"	F8i incl.
118.1	wc	B	3'0" X 6'8"	F76
120.1	hall a	B	3'0" X 6'8"	F82
120.1.1	hall a	existing	3'0" X 6'8"	
120.1.2	janitor	A	3'0" X 6'8"	F82
125.2	janitor	A	3'0" X 6'8"	F82
126.1	wc	A	3'0" X 6'8"	F76
127.1	wc	A	3'0" X 6'8"	F76
128.1	wc	A	3'0" X 6'8"	F76
129.1	electrical cl.	A	3'0" X 6'8"	F91
130.1	shower	A	3'0" X 6'8"	F76
131.1	shower	A	3'0" X 6'8"	F76
132.1	shower	A	3'0" X 6'8"	F76
133.1	shower	A	3'0" X 6'8"	F76
134.1	consult	A	3'0" X 6'8"	F76
135.1	consult	A	3'0" X 6'8"	F76
136.1	consult	A	3'0" X 6'8"	F76
137.1	consult	A	3'0" X 6'8"	F76
138.1	consult hall	A	3'0" X 6'8"	F76
139.1	consult	A	3'0" X 6'8"	F76
140.1	wc	A	3'0" X 6'8"	F76
141.1	advocacy	A	3'0" X 6'8"	F76
143.1	clothing distribute	A	(2) 3'0" X 6'8"	F86
144.1	clothing bank	C	6'0" X 8'0"	N/A
144.2	clothing bank	A	3'0" X 6'8"	F86
145.1	group	A	3'0" X 6'8"	F82
146.1	entry 2	B	3'0" X 7'0"	F82
147.1	clothing hall	E	3'0" X 6'8"	?
147.2	clothing hall	E	3'0" X 6'8"	F8i incl.
149.1	stair	D	3'0" X 6'8"	F8i incl.

Door Schedule - Lower Level				
door number	room	type	size	func.
201.1	dining	B	3'0" X 6'8"	F8i incl.
202.1	kitchen	F	field measure	
202.2	kitchen	F	field measure	
202.3	kitchen	to remain	3'0" X 6'8"	
203.1	food pantry	to remain	3'0" X 6'8"	
203.2	food pantry	to remain	3'0" X 6'8"	F82
204.1	garbage	to remain	3'0" X 6'8"	
205.1	wc	to remain	3'0" X 6'8"	
206.1	entry	to remain	3'0" X 6'8"	
206.2	entry	to remain	3'0" X 6'8"	
207.1	wc hall	to remain	3'0" X 6'8"	
208.1	wc 1	to remain	3'0" X 6'8"	
209.1	wc 2	to remain	3'0" X 6'8"	
210.1	sink	to remain	3'0" X 6'8"	
211.1	stair	to remain	3'0" X 6'8"	
211.2	stair	to remain	3'0" X 6'8"	
212.1	sprinkler	D	3'0" X 6'8"	F91
213.1	food storage	A	(2) 3'0" X 6'8"	F86
214.1	elev. mech.	U	3'0" X 6'8"	F91
215.1	food pantry	A	3'0" X 6'8"	F80

NOTES
 1. threshold/transition strip at doors between materials at WC, showers.
 2. provide weighted closers and silencers at all doors with metal frames.
 3. provide closer at all read doors.

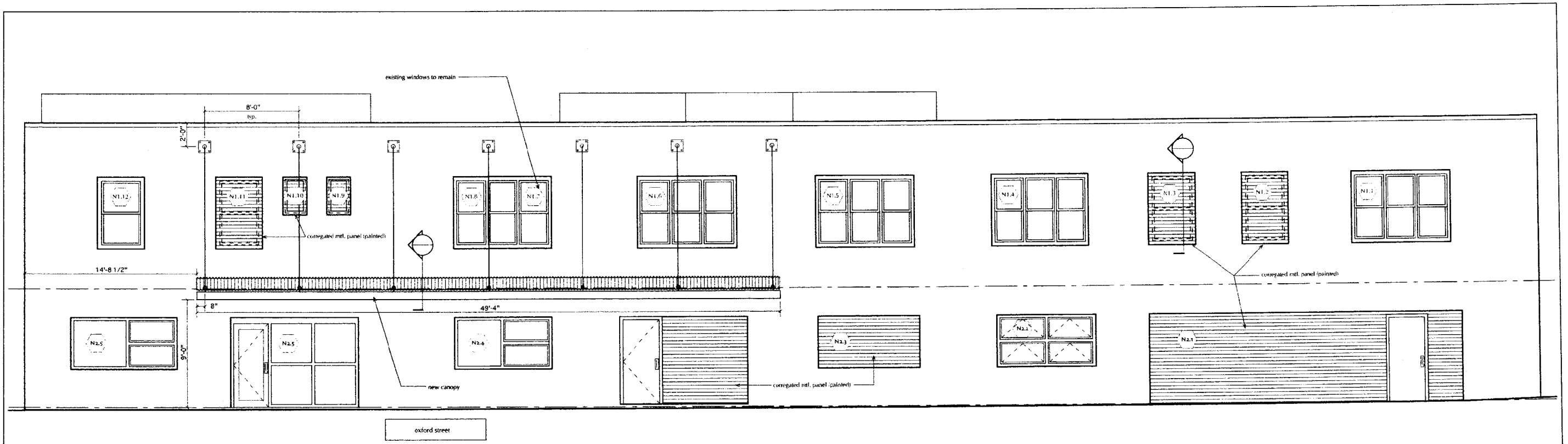


Window Schedule - Upper Level			
location	window	notes	window type
N1.1	to remain		WINDOW A
N1.2	infill		?
N1.3	infill		unit opening see detail xx
N1.4	to remain		description vinyl infill window
N1.5	to remain		
N1.6	to remain		WINDOW B
N1.7	infill/new A	see detail xx	type fixed/awning below
N1.8	to remain		description vinyl infill window
N1.9	infill		
N1.10	infill		
N1.11	infill		WINDOW C
N1.12	to remain		type awning
E1.1	B	existing opening, 1.	
E1.2	C	new opening, 1.	
E1.3	B	1.	WINDOW
E1.4	F	1.	type glazing system
E1.5	I	1.	description aluminum
E1.6	B	1.	
E1.7	B	1.	
S1.1	I		
S1.2	to remain		WINDOW E
S1.3	to remain		type fixed/awning below
S1.4	to remain		description aluminum windows
S1.5	F	see detail xx	
S1.6	G	see detail xx, includes door	
S1.7	E	1.	WINDOW E
S1.8	G	see detail xx	type fixed
			description vinyl window
W1.1	E	1.	
W1.2	G	1.	WINDOW G
			type storm front
			description aluminum

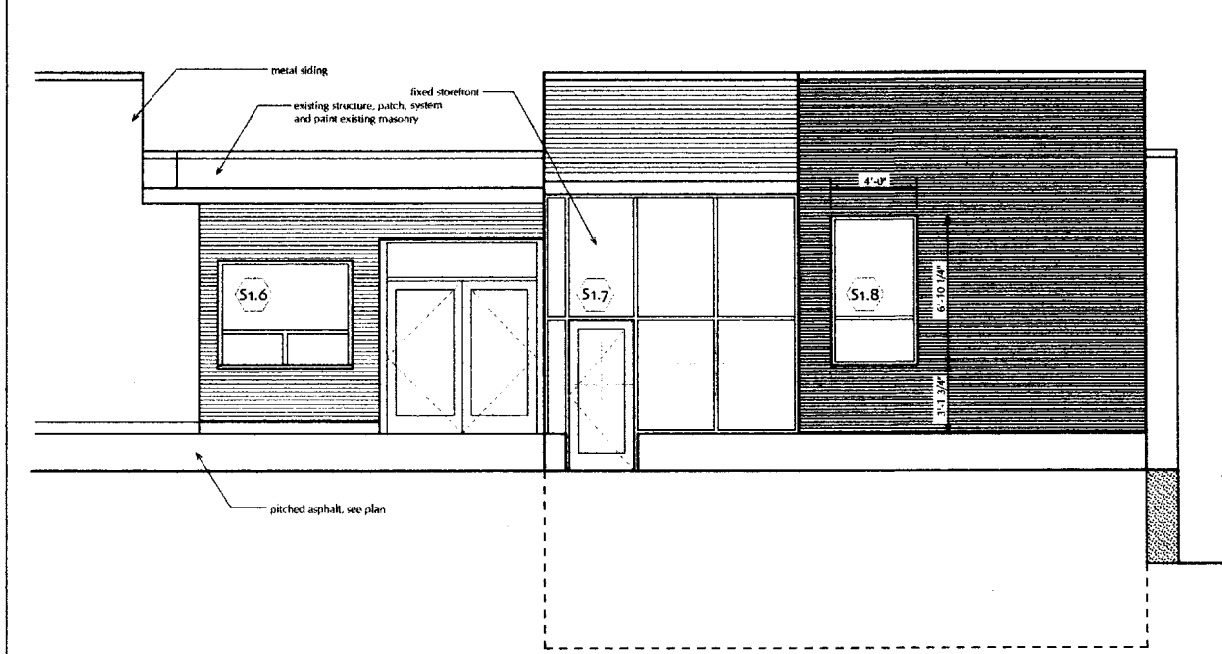
NOTES:
 1. see elevations for unit opening dimensions.
 2. replacement and new windows in existing building to be white vinyl.
 3. windows in new construction to be thermally broken, aluminum, mill finish, insulated tempered glass.

PSRC 5 portland street portland, maine owner: preble street resource center portland, maine	architect: james sterling, aia 142 high street portland, maine door schedule	date: 22 april 03 revision: scale: 1/8" = 1'-0" north A-1.6
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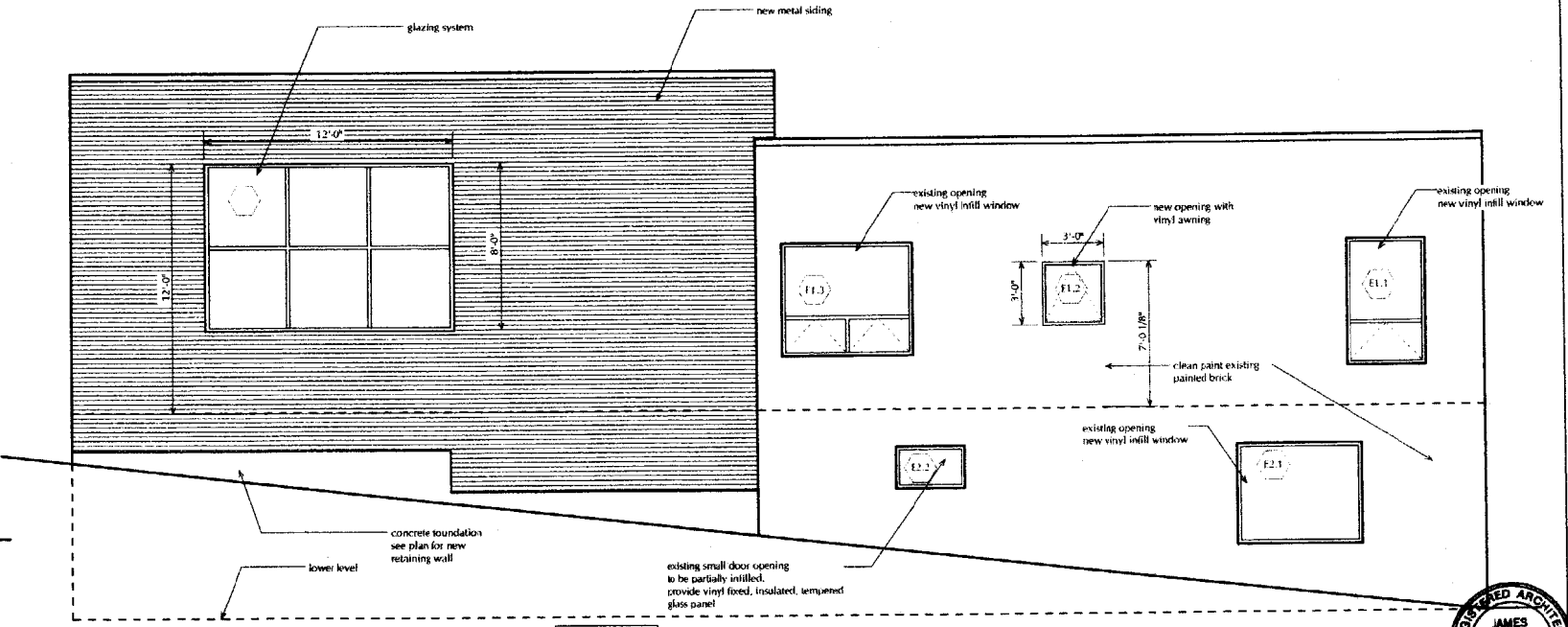




NORTH ELEVATION

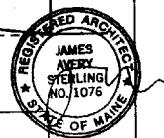


SOUTH ELEVATION

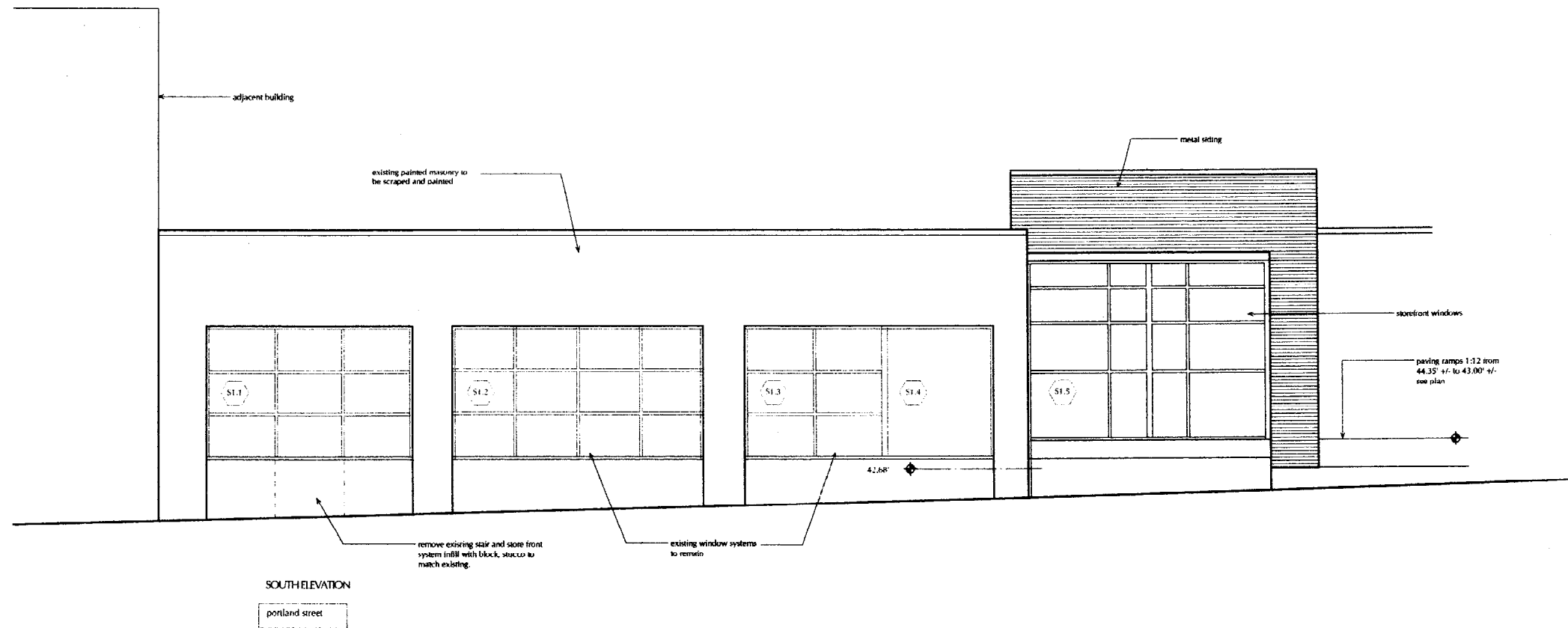


EAST ELEVATION

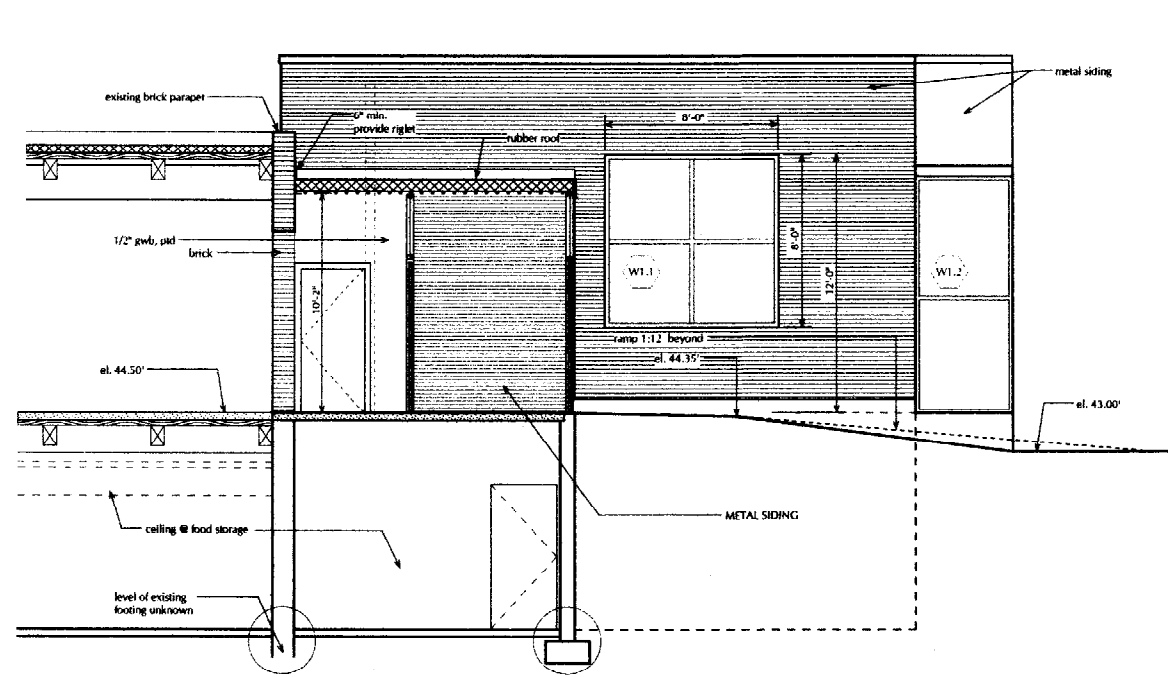
PSRC 5 portland street portland, maine owner: preble street resource center portland, maine	architect: james sterling, aia 142 high street portland, maine elevations	date: 22 april 03 scale: 1/4" = 1'-0" A-2.1
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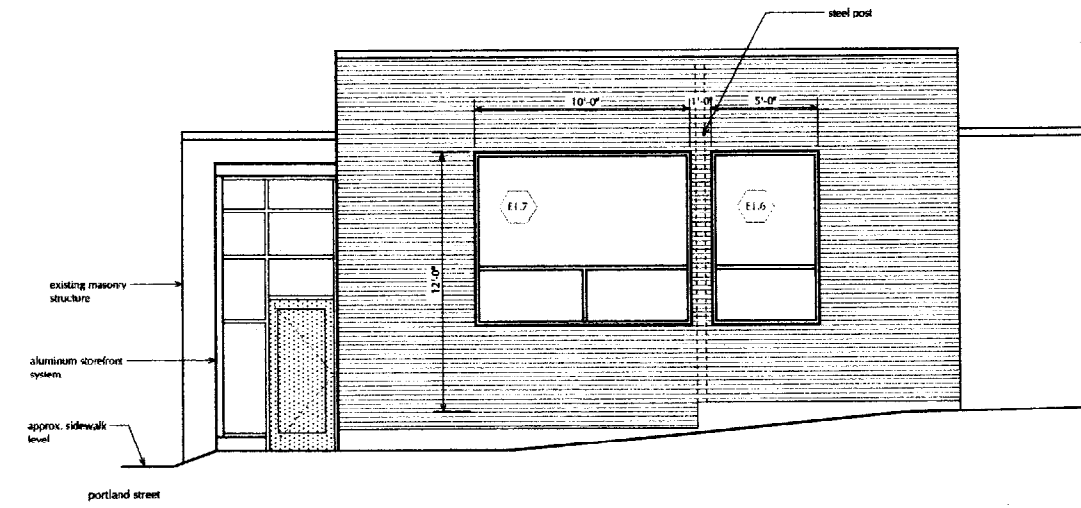


SOUTH ELEVATION

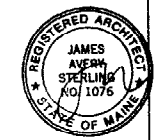


WEST COURT ELEVATION

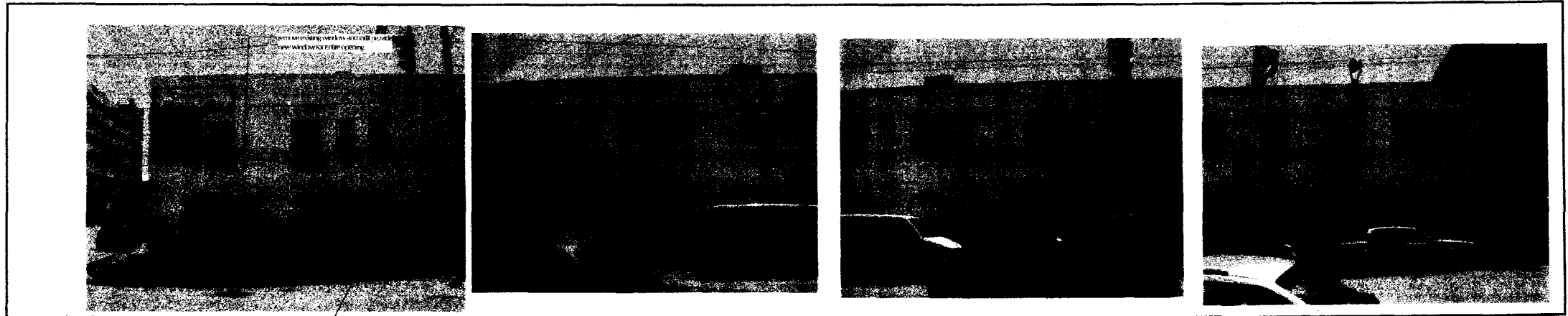
SECTION C



EAST COURT ELEVATION

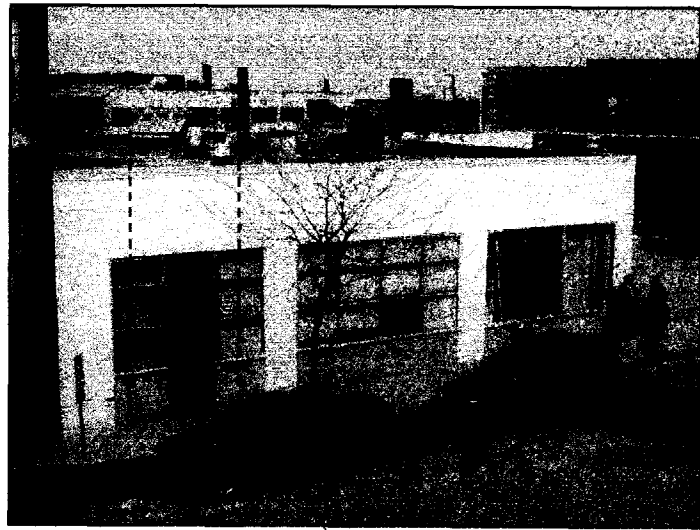


PSRC 5 portland street portland, maine owner: preble street resource center portland, maine	architect: james sterling, ala 142 high street portland, maine elevations	date: 22 april 03	
		scale: 1/4" = 1'-0"	A-2.2



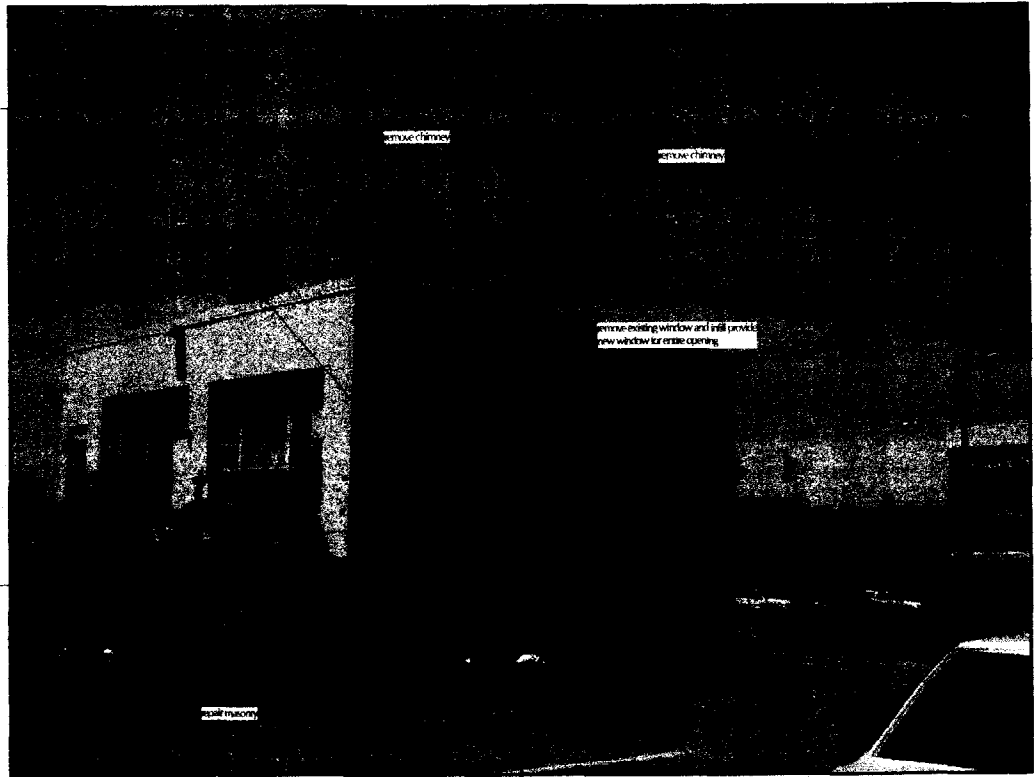
remove existing window and install new window for crane opening

Existing Oxford Street Elevation (north)

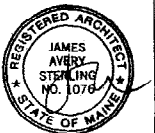


Existing Portland Street Elevation (south)

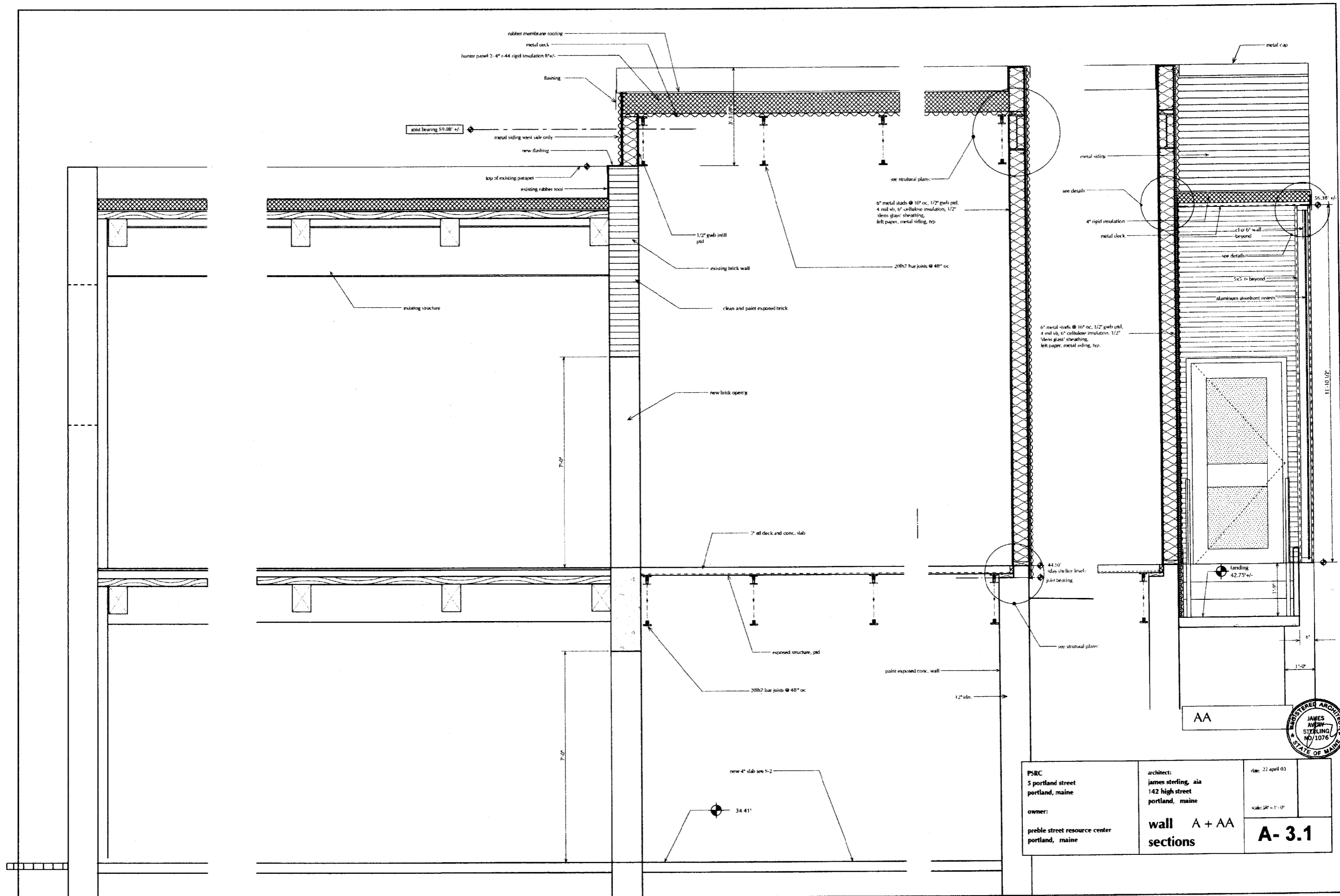
remove stair well to match existing



Existing Preble Street Elevation (east)

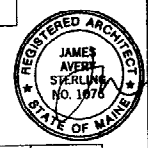
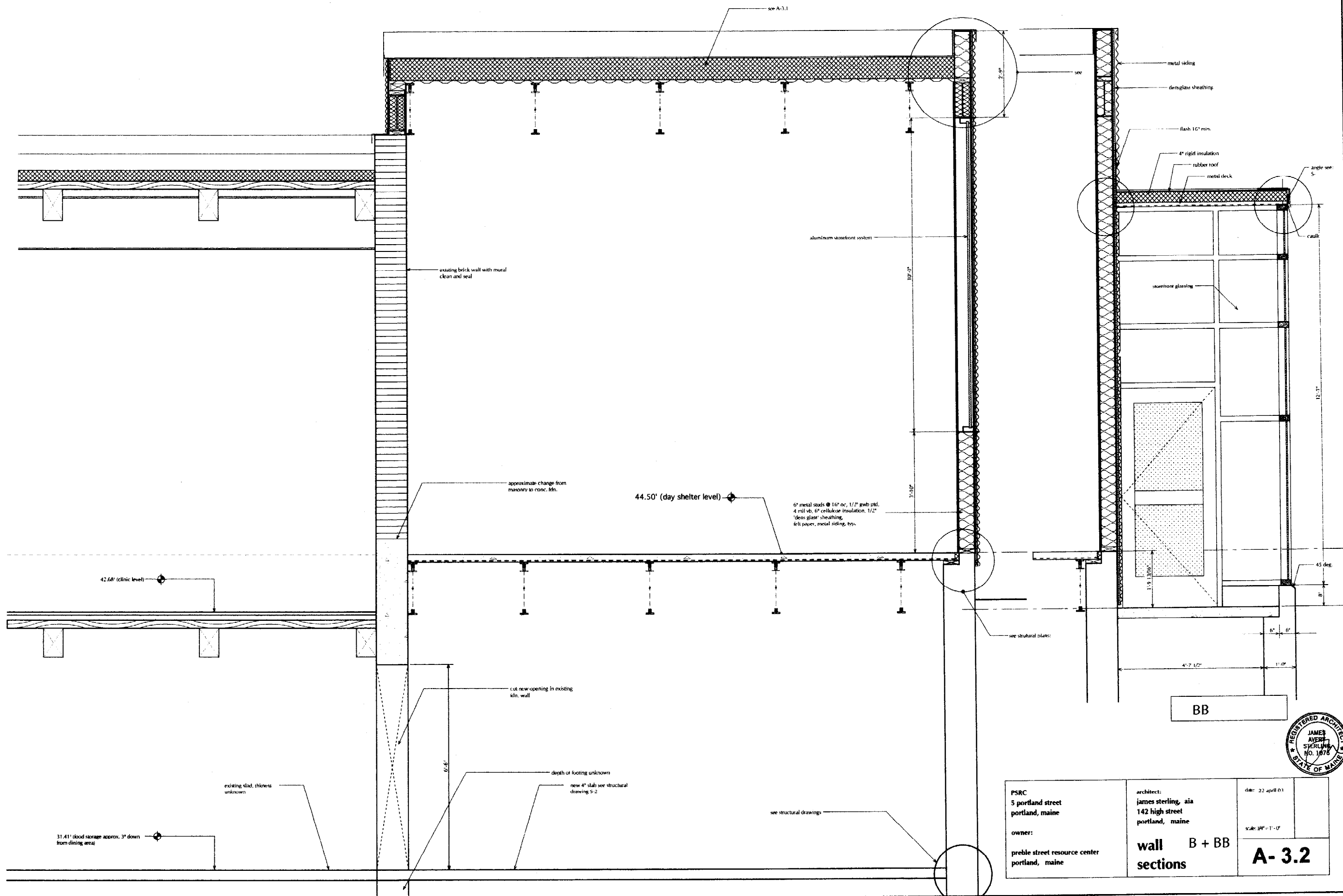


PSRC 5 portland street portland, maine owner: preble street resource center portland, maine	architect: james sterling, aia 142 high street portland, maine upper level renovations	date: 22 april 03 msk:rc: scale: 1/4" = 1'-0" A- 2.3
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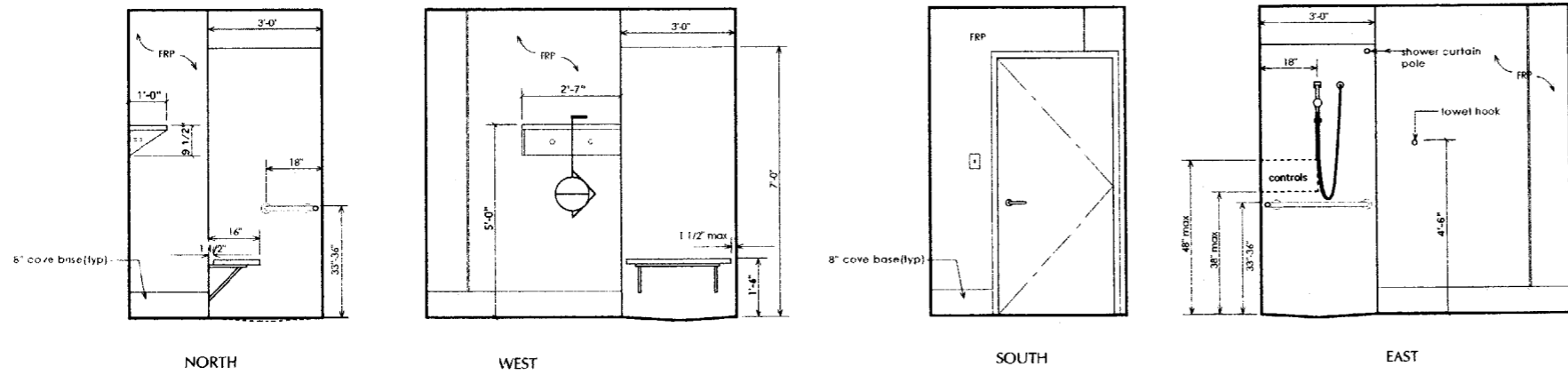


PSRC 5 portland street portland, maine owner: preble street resource center portland, maine	architect: james sterling, aia 142 high street portland, maine	date: 22 april 03 scale: 3/8" = 1'-0"
	wall sections A + AA	A-3.1

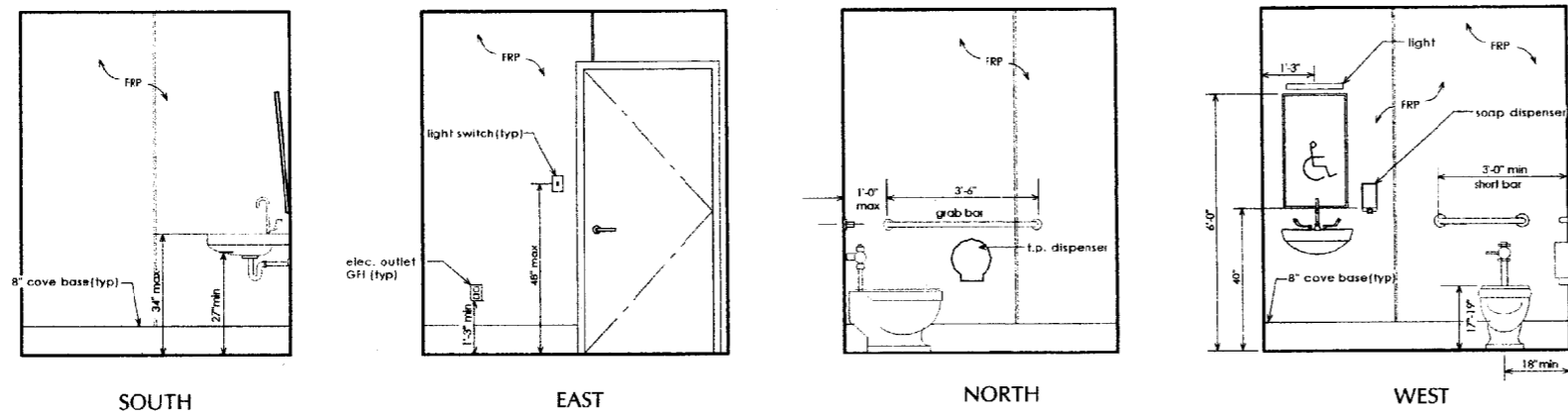




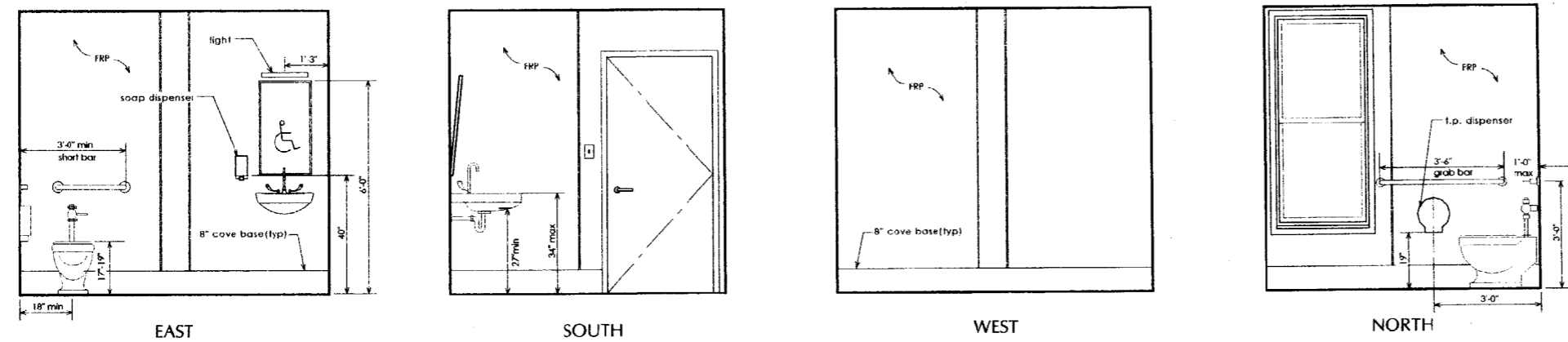
PSRC 5 portland street portland, maine owner: preble street resource center portland, maine	architect: james sterling, aia 142 high street portland, maine wall B + BB sections	date: 22 april 03 scale: 3/4" = 1'-0" A- 3.2
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1 TYPICAL SHOWER ROOM



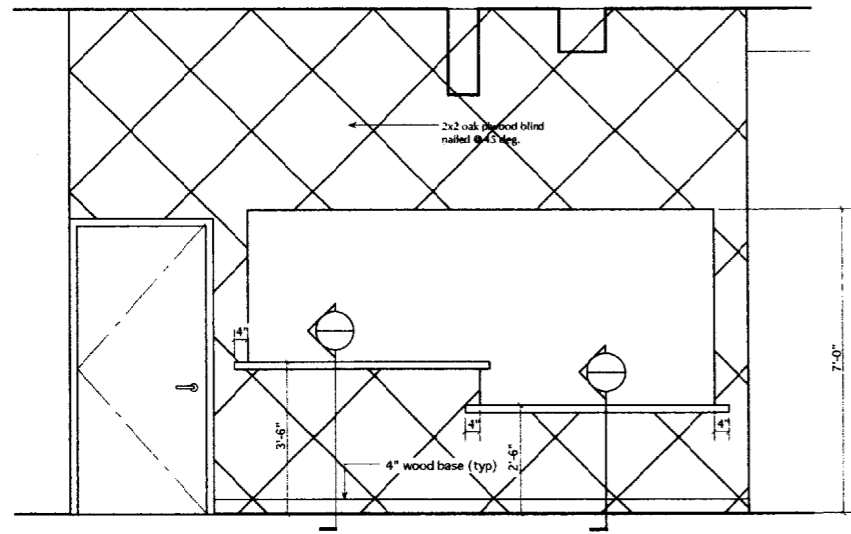
2 TYPICAL TOILET ROOM



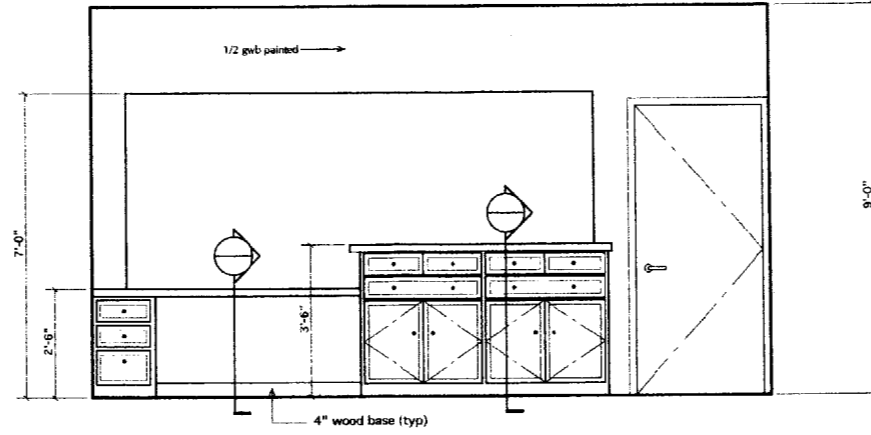
3 TOILET ROOM



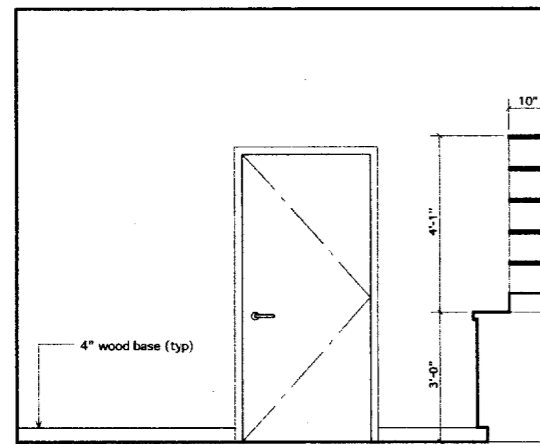
PSRC 5 portland street portland, maine owner: preble street resource center portland, maine	architect: james sterling, aia 142 high street portland, maine	date: 22 april 03 scale: 1/2" = 1'-0" north	
Interior Elevations		A- 4.1	



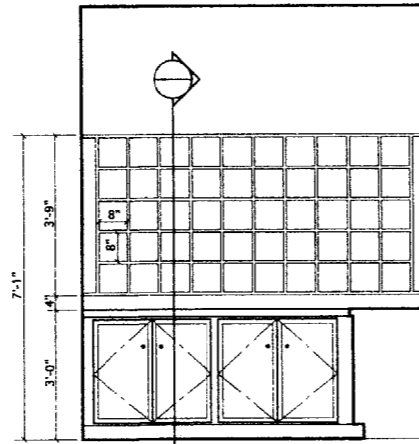
1 RECEPTION (OUTSIDE)



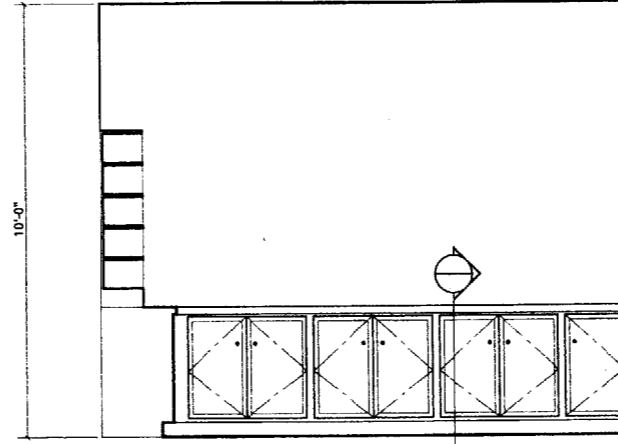
2 RECEPTION ROOM (INSIDE)



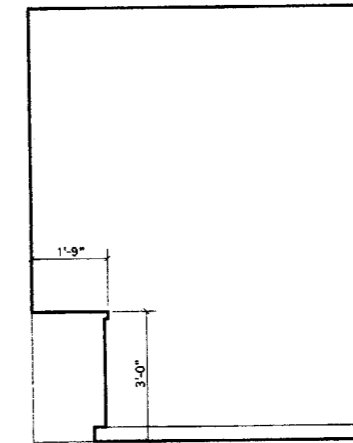
SOUTH



EAST

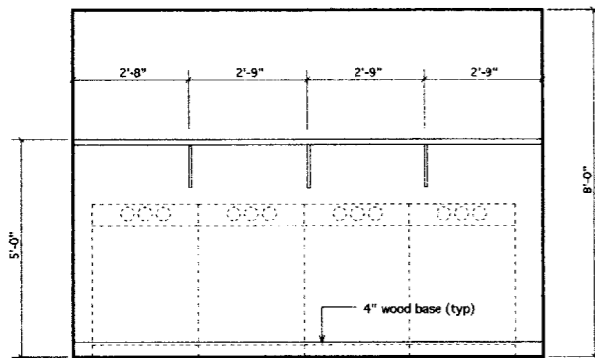


NORTH

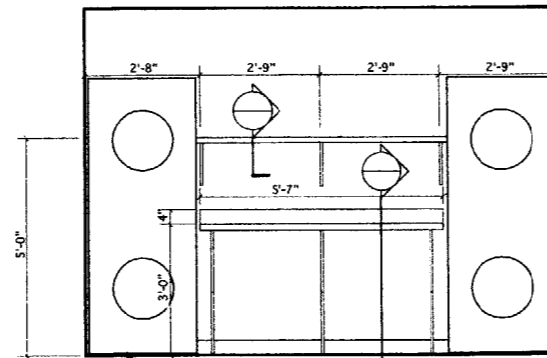


WEST

3 MAIL ROOM

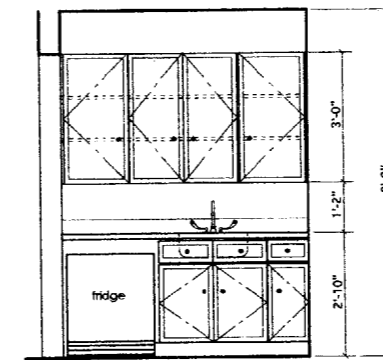


NORTH



SOUTH

4 LAUNDRY ROOM



5 CLINIC KITCHENETTE



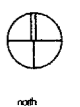
PSRC
5 portland street
portland, maine

architect:
james sterling, aia
142 high street
portland, maine

date: 22 april 03

revision:

scale: 1/2" = 1'-0"



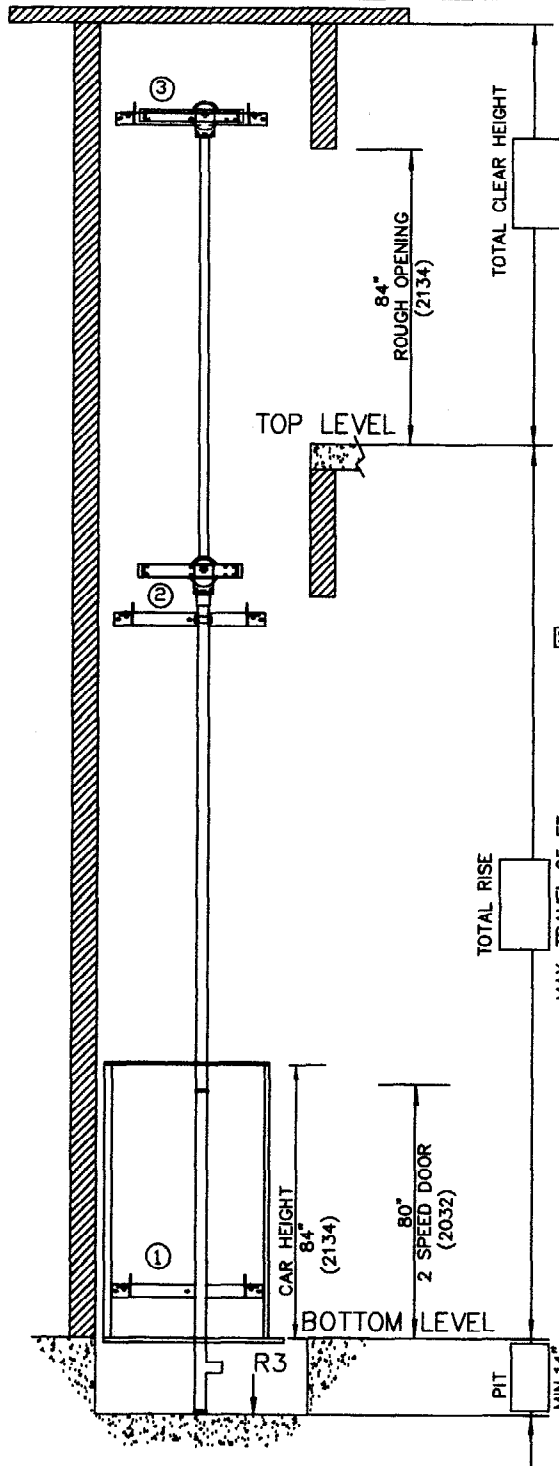
north

Interior
Elevations

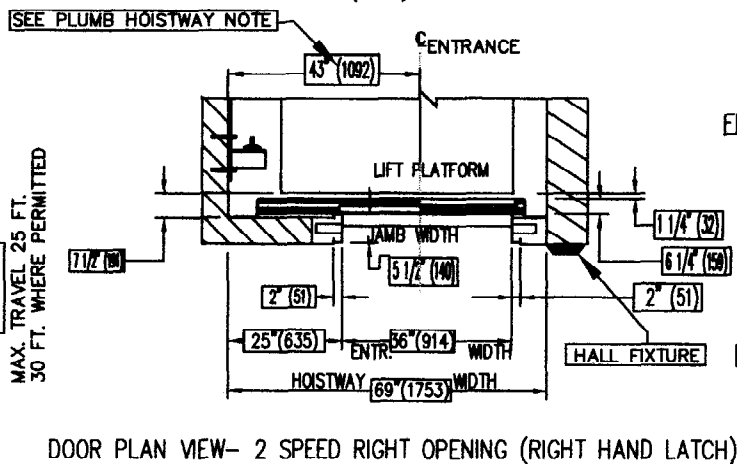
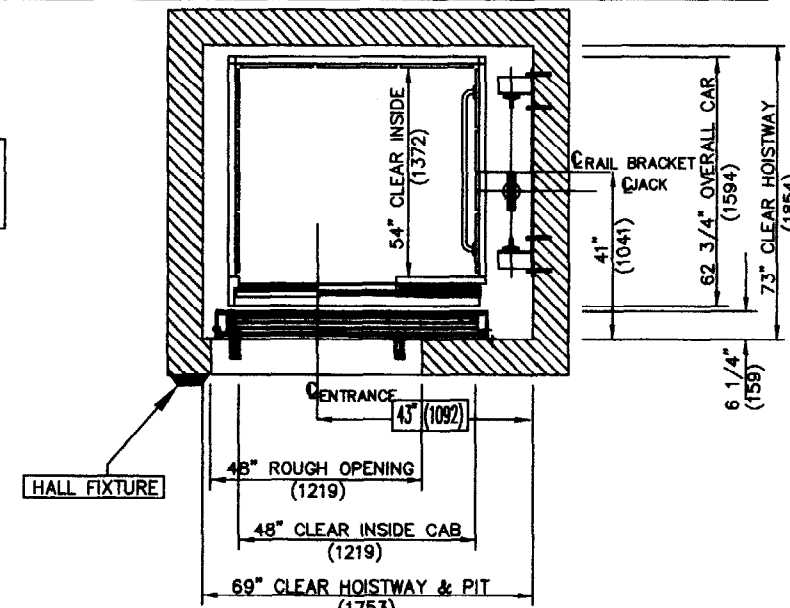
A- 4.2

owner:
preble street resource center
portland, maine

SECTIONAL VIEW - ORION-4854

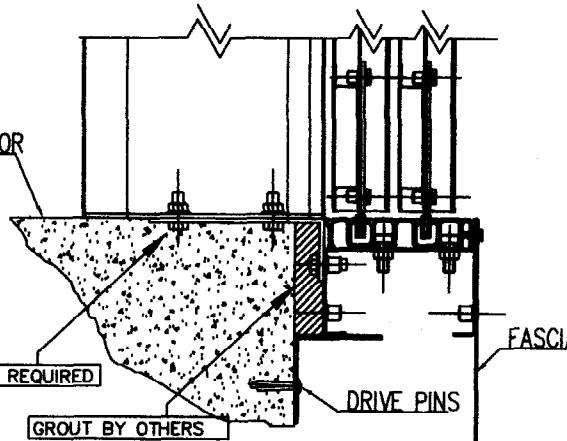
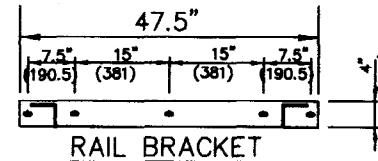
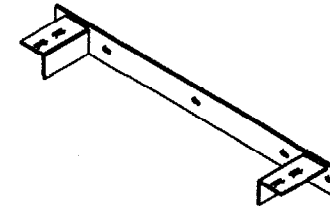


PLAN VIEW - ORION-4854 2 SPEED LEFT HAND OPENING



RAIL FORCES	
*R1	*R2
720 lbf	260 lbf
RAIL WEIGHT: 80 lbs / ft	

R3 NOTE:
PIT FLOOR TO SUPPORT LOAD OF:
10 kips * (INCLUDES IMPACT)
FOR TOTAL PULL-OUT FORCE ON RAIL BRACKET,
R1 MUST BE DOUBLED eg. 1440LBS



PROVISIONS BY OTHERS

***GENERAL**
HOISTWAY- THE HOISTWAY MUST BE IN ACCORDANCE WITH "SAFETY CODE FOR ELEVATORS AND ESCALATORS" (ASME A17.1) AND ALL STATE AND LOCAL CODES.
PLUMB HOISTWAY- DUE TO CLOSE RUNNING CLEARANCES OWNER/AGENT MUST ENSURE THAT HOISTWAY AND PIT (WHERE PROVIDED) ARE LEVEL, PLUMB AND SQUARE AND ARE IN ACCORDANCE WITH THE DIMENSIONS ON THESE DRAWINGS.
MINIMUM OVERHEAD CLEARANCE- OWNER/AGENT MUST ENSURE MINIMUM OVERHEAD CLEARANCE IS IN COMPLIANCE WITH CODES.
CONSTRUCTION SITE- OWNER/AGENT TO PROVIDE ALL MASONRY, CARPENTRY AND DRYWALL WORK AS REQUIRED AND SHALL PATCH AND MAKE GOOD (INCLUDING FINISH PAINTING) ALL AREAS WHERE WALLS/FLOORS MAY REQUIRE TO BE CUT, DRILLED OR ALTERED IN ANY WAY TO PERMIT THE PROPER INSTALLATION OF THE LIFT.
DIMENSIONS
 CONTRACTOR/CUSTOMER TO VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO OUR OFFICE IMMEDIATELY.

***STRUCTURAL**
FLOOR/SUPPORT WALL LOADS- STRUCTURAL ENGINEER TO ASSURE THAT BUILDING AND SHAFT WILL SAFELY SUPPORT ALL LOADS IMPOSED BY THE LIFT EQUIPMENT. REFER TO THE TABLES ON THIS DRAWING FOR LOADS IMPOSED BY THE EQUIPMENT.
DOORS-SUITABLE LINTELS MUST BE PROVIDED BY OWNER/AGENT. DOOR FRAMES ARE NOT DESIGNED TO SUPPORT OVERHEAD WALL LOADS.

***MACHINE ROOM**
LOCATION / ACCESS- MACHINE ROOM LOCATED AT THE LOWEST LEVEL ADJACENT TO HOISTWAY, UNLESS SHOWN OTHERWISE ON THE LAYOUT DRAWINGS. FIELD ADJUSTMENT BY INSTALLER MAY BE NECESSARY TO MEET JOB SITE CONDITIONS OR REGULATIONS. ACCESS TO MACHINE ROOM TO BE THROUGH A SELF CLOSING AND SELF LOCKING DOOR.
SLEEVES FOR OIL & ELECTRIC LINES- PROVIDED BY OTHERS, FROM MACHINE ROOM TO HOISTWAY. (POSITION PER INSTALLERS INSTRUCTIONS).

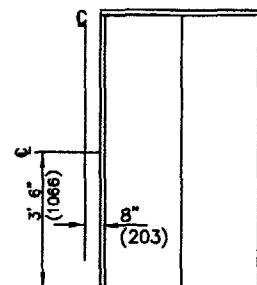
	TIME DELAY	FUSE SIZE	VOLTS	PHASE	AMPERAGE
MOTOR & EQUIP.	30AMPS/50AMPS	208V/230V	3PH/1PH	16.7AMPS/28AMPS	
CAB LIGHTS	15 AMPS	115 V	1		

***ELECTRICAL**
POWER SUPPLY- (SEE SPECIFICATIONS) LOCKABLE FUSED DISCONNECT WITH AUXILIARY CONTACT TO BRAKE THE BATTERY FEED, OR CIRCUIT BREAKERS WITH A 3-POLE BREAKER FOR BATTERY FEED REQUIRED, IN COMPLIANCE WITH ELECTRICAL CODE, AS FOLLOWS: (LOCATED ON WALL ON LOCK JAMB SIDE OF MACHINE ROOM DOOR)
PERMANENT POWER- BEFORE INSTALLATION CAN BEGIN, PERMANENT POWER MUST BE SUPPLIED.
LIGHTING- OWNER/AGENT TO ENSURE AT LEAST 5 FTC OR 54 LUX AMBIENT LIGHTING OVER ELEVATOR AREA.

***ENTRANCES**
FASCIA PANEL BELOW UPPER LEVEL ENTRANCE- WHERE REQUIRED, FASCIA PANEL MUST BE FASTENED TO A SOLID WALL AND BE PERPENDICULAR TO THE FLOOR AND WALLS. HOISTWAY FASCIA IS NOT SELF-SUPPORTING FOR LONG, CONTINUOUS RUNS VOID OF ENTRANCES. ADEQUATE SUPPORT AND THE FASCIA MUST BE PROVIDED BY OTHERS.
ENTRANCE ASSEMBLIES- ENTRANCE ASSEMBLIES MUST BE ADJUSTED TO ALIGN WITH PLATFORM AND INTERLOCK EQUIPMENT. OTHERS TO ALLOW AN ADEQUATE ROUGH OPENING.
RETURN WALLS- RETURN WALLS AT ENTRANCES MUST BE BUILT-IN BY OTHERS AFTER ENTRANCE ASSEMBLIES ARE IN PLACE. ENTRANCE ASSEMBLY MUST BE SECURELY FASTENED TO WALLS BY ELEVATOR CONTRACTOR.

TOP RAIL BRACKET ③	AT TOP OF HOISTWAY CONSULT YOUR CONCORD REPRESENTATIVE FOR EXACT LOCATION
INTERMEDIATE RAIL BRACKET ②	48" INTERVALS ABOVE BOTTOM BRACKET
BOTTOM RAIL BRACKET ①	24" ABOVE PIT FLOOR

FLOOR No.	FLOOR HEIGHT
REAR	
FRONT	
TOTAL RISE	



NOTE A
 WHERE SMOKE DETECTORS ARE REQUIRED, WIRING FROM A NORMALLY CLOSED CONTACT AT BOTH THE DESIGNATED RETURN LANDING, SMOKE DETECTORS AND ALTERNATE RETURN LANDING SMOKE DETECTOR SHALL BE PROVIDED TO THE CONTROLLER. A NORMALLY CLOSED CONTACT REPRESENTING ALL OTHER SMOKE DETECTORS MUST BE PROVIDED TO THE CONTROLLER.

HALL FIXTURE LOCATION NOTE B
 LEFT HAND AS SHOWN
 RIGHT HAND OPPOSITE

ALL INFORMATION IS SUBJECT TO CHANGE.
 PLEASE REFERENCE OUR ON-LINE DRAWINGS AT www.concordlevator.com FOR THE MOST RECENT UPDATES

PIT / OVERHEAD REQUIREMENTS				
MAX. SPEED (ft/min)	PIT	TOTAL TRAVEL	OVERHEAD	
			NEW BLDG	EXISTING BLDG
30	14" ***		131"(3327)	120"(3048)

*** NOTE: Additional pit equipment required when over 36" deep, consult your local dealer for details

LULA
 ORION MODEL 4854

CUSTOMER:	DATE: CLAP 05	CONCORD	SHEET No.
PROJECT:	REVISION DATE:		
LOCATION:	COMPLETED BY:	JOB No.	

A-5.1

GENERAL NOTES:

- The notes on the drawings are not intended to replace specifications. See specifications for requirements in addition to general notes.
- Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, chases, inserts, registers, sleeves, depressions, and other details not shown on structural drawings.
- All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work.
- Do not scale plans.
- Sections and details shown on any structural drawings shall be considered typical for similar conditions.
- All proprietary products shall be installed in accordance with the manufacturer's written instructions.
- The structure is designed to be self supporting and stable after the erection is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting, temporary bracing, guys or tiebacks. Such material shall remain the property of the contractor after completion of the project.
- All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

DESIGN LOADS:

- Building code: BOCA Basic Building Code (1996)
- Design Live Loads: (Ground Snow load = 60 psf)
 - Roof 42 psf + drift
 - Office areas 50 psf + partition
 - Corridors 80 psf
 - Common areas 100 psf
 - Stairs & exit ways 100 PSF
 - Storage areas 125 PSF
 - Kitchen area 150 PSF
- Design wind loads are based on exposure B using 83 mph basic wind speed.
- Seismic Design Utilizes the following design criteria:
 - Building framing system: Concentric & Eccentrically braced frames, moment-resisting connections at columns away from link beams.
 - Analyze Procedure: Equivalent Lateral Force Procedure.
 - Seismic Hazard Exposure Group: "I"
 - Seismic performance category: "C"
 - Soil profile type: "S1"
 - Peak velocity-related acceleration (Av): "0.10"
 - Peak acceleration (Aa): "0.10"
 - Response modification factor (R): "7"
 - Detection amplification factor (Cd): "4"

FOUNDATION NOTES:

- Foundations have been designed to conform with the requirements provided in the geotechnical report prepared by Jacques Whitford, 21 March, 2003.
- Interior spread footings and exterior strip footings shall be founded on compacted structural fill or native soil.
- Exterior strip and spread footings shall be founded a minimum of 4'-6" below finished grade.
- Slabs on grade shall bear on a minimum of 8" of compacted structural fill overlaid with 4" sand. If loose or undesirable fills are encountered at the slab subgrade level, they shall be over excavated to the surface of the natural soil and replaced with structural fill. Refer to drawings and specifications for vapor barrier requirements.
- Structural fill shall be used at all locations below footings and slabs and adjacent to the foundation walls. Prior to placement of structural fill, remove all topsoil and other unsuitable material. Compacted structural fill shall consist of clean granular material free of organics, loam, trash, snow, ice, frozen soil or any other objectionable material. It shall be well graded within the following limits:

SCREEN OR SEIVE SIZE	PERCENT FINER BY WEIGHT
6 INCH	100
3 INCH	70-100
NO. 4	35-70
NO. 40	5-35
NO. 200	0-5

- Structural fill beneath slabs shall be placed in layers not exceeding 8 inches in loose measure and compacted by self-propelled compaction equipment at approximate optimum moisture content to a dry density of at least 95% of the maximum in place dry density as determined by the modified proctor test (ASTM D-1557).
- Underdrains shall be placed as shown on the site drawings. Underdrains shall be installed to positively drain to a suitable discharge point away from the structure. Refer to site drawings.
- Exterior concrete slabs on grade shall be underlain by at least 4 feet of structural fill meeting gradation and compaction requirements noted above. Reinforce top of slabs with 6x5 - W1.6x11.4 WWF.
- Backfill both sides of foundation walls simultaneously.
- Do not backfill basement walls until the first floor elevated slab and basement slab have been installed & the concrete walls have attained a minimum compressive stress of 3,000 psi.

CONCRETE NOTES:

- All concrete work shall conform to ACI 318—Latest Edition.
- Concrete strength at 28 days shall be:
 - 4000 psi for basement walls;
 - 3000 psi for footings, frost walls & exterior piers;
 - 4000 psi for all elevated slabs;
 - 4000 psi for all slabs on grade.
- All concrete shall be air entrained per the specifications.
- Concrete shall not be placed in water or on frozen ground.
- Provide PVC sleeves where pipes pass through concrete walls or slabs.
- Reinforcing bars shall conform to ASTM A615 Grade 60 deformed bars, and shall be detailed, fabricated and erected in accordance with ACI 318—Latest edition.
- Welded wire fabric shall be provided in flat slabs.
- Fiber reinforced concrete shall conform to ASTM C-1116.
- Complete shop drawings and schedules of all reinforcing steel shall be prepared by the contractor and submitted to the engineer for review prior to commencement of that portion of the work. All accessories must be shown on the shop drawings. Submit (8) blue line prints and (1) reproducible (sepio) to the Architect.
- Splices of reinforcing bars shall be in accordance with ACI 318. Splices of WWF shall be 6" minimum.
- Concrete finishes: See specifications and Architectural drawings for applicable finishes.
- Anchor bolts shall conform to ASTM A307 unless noted otherwise on plan. Anchor bolts at all bracing locations shall conform to ASTM A36.
- Provide control/construction joints in foundation walls at a maximum spacing of 15 ft. from any corner or 30 ft. along length of wall. At corner joints, discontinue every other horizontal bar. At construction joints all reinforcing shall be continuous through the joint.
- The general contractor shall be responsible for coordination of floor bondouts, slab depression & other required bondouts. Coordinate location of bondouts with Architectural, Mechanical & Plumbing, Electrical and kitchen equipment vendors as necessary to properly install each specific item.

STRUCTURAL STEEL NOTES:

- Structural steel fabrication, erection, and connection design shall conform to AISC "Specification for the design, fabrication, and erection of structural steel"—latest edition.
- Structural steel:
 - Structural steel shall conform to ASTM A-36.
 - Structural tubing shall conform to ASTM A-500 GR-B
 - Structural pipe shall conform to ASTM A-53, TYPE E OR S
- Design connections for the reactions shown on the drawings or the minimum and reaction that can be produced by a laterally supported uniformly loaded beam for each given beam size and span.
- Field connections shall be bolted using 3/4" diameter ASTM A325 high strength bolts except where field welding is indicated on the drawings.
- All welding shall conform to AWS D1.1—Latest edition. Welding electrodes shall be E70XX.

METAL DECK NOTES:

- Steel floor deck shall be as indicated on plan by Vulcraft or approved alternate. Steel deck units shall conform with the latest edition of the "Design Manual for floor and roof decks" by the steel deck institute. Steel floor deck shall be galvanized in accordance with ASTM A525 G60 coating.
- Fasten metal deck to all steel supports with 5/8" diameter paddle welds at 12" o.c. unless otherwise indicated on plan. Provide welding washers on all deck units 24 gage and lighter.
- All welding shall conform to AWS D1.1—Latest edition. Welding electrodes shall be E70XX.

OPEN WEB STEEL JOIST NOTES:

- Open web steel joists shall conform to steel joist institute "Standard Specification for steel joist and joist girders."
- All bridging and bridging anchors shall be completely installed before construction loads are placed on the joists. Bridging shall support the top chord against lateral movement during the construction period and shall hold the joist in approximate location as shown on the plans. Bridging shall be as called out on the plans.
- Items attached to steel joists shall be attached to panel points of joists only, or an additional web member shall be added to the joist at the location of the concentrated load. The joist manufacturer shall be responsible for supplying the proper additional web member size.
- Loads shall not be placed on joists unless the joist has been designed to support the load.
- Steel joists shall be shop primed per specifications.
- All welding shall conform to AWS D1.1—Latest edition. Welding electrodes shall be E70XX.

LIGHT GAUGE METAL FRAMING:

General:

- Acceptable light gage Manufacturer: See Specifications
- The extent of the work for the exterior metal stud wall system is detailed on the Architectural drawings. These notes shall be worked in conjunction with those drawings and the specifications.
- The following specifications and publications shall be followed:
 - American iron and steel institute cold form design manual, specification for the design of cold form steel structural members - latest edition.
 - American society for testing and materials (ASTM).
 - American institute of steel construction Manual of Steel Construction - 9TH Edition.
- Fabrication of light gage steel shall conform with requirements of ASTM A448 with the following minimum yield points (Fy):
 - 18 gage, end header - Fy = 50,000 psi (Grade D)
 - 18 gage - Fy = 33,000 Psi (Grade A)
 - 20 gage - Fy = 33,000 PSI (Grade A)
- Manufacturer of studs, runners, tracks and other framing members shall comply with ASTM C605.
- Framing components and accessories shall be galvanized per ASTM A525 minimum G60 coating.
- Screws and other attachment devices shall have a protective coating equivalent to cadmium or zinc plating and shall comply with ASTM A165 Type HS, self tapping screws shall be of the minimum diameter as indicated on the design drawings for each specific attachment detail. Penetration through joist materials shall not be less than three exposed threads.
- Standard steel shapes, plates, etc. shall conform to the material and finish specifications under Division 5.

Exterior curtain walls:

- Provide channel shaped studs, joists, runners, tracks, blocking, clip angles, shoes, reinforcements, fasteners and other accessories recommended by the manufacturer for a complete framing system.
- The exterior stud framing subcontractor shall submit shop drawings and design calculations as specified in the previous mentioned specifications and publications. These drawings shall illustrate the design of the steel stud exterior wall framing and sheathing including steel studs and all necessary structural steel stiffening and bracing.
- The exterior wall system shall be designed for a maximum allowable deflection, either horizontal or vertical, of 1/360 of the span in inches measured from point of attachment to structural steel or concrete including effect of studs only, not sheathing board or facing material. Refer to specifications for interior partition design criteria.
- The design wind pressure shall be as indicated in the specifications.
- Securely anchor studs in track to floor construction and overhead structure. Provide slip joints where nonbearing vertical studs meet floor or roof structural members allow for 1/2" of vertical live load deflection of slip joints. Do not install steel studs until all dead load has been applied to the structure.
- Frame all openings larger than two feet with a minimum of double studs or as determined by the design submitted.
- Welding of framing components will be permitted only where indicated on structural drawings or as approved by the Engineer of Record.
- Field cutting of holes in steel framing members shall not be permitted.
- Touch up all steel bored by welding with zinc rich paint.
- Splices of axially loaded members shall not be permitted.
- Wire tying of members is not permitted.
- Complete bearing on supports shall be maintained for studs in axially loaded assemblies.

Exterior Roof Framing System:

- Provide channel shaped studs, joists, runners, tracks, blocking, clip angles, shoes, reinforcements, fasteners and other accessories recommended by the manufacturer for a complete framing system.
- The exterior stud framing subcontractor shall submit shop drawings and design calculations as specified in the previous mentioned specifications and publications. These drawings shall illustrate the design of the steel stud exterior roof framing where indicated on the drawings. Connection design shall be based on the design load plus any additional dead or snow drift load in accordance with Boce 1996.

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 SOUTH PORTLAND, MAINE 04106
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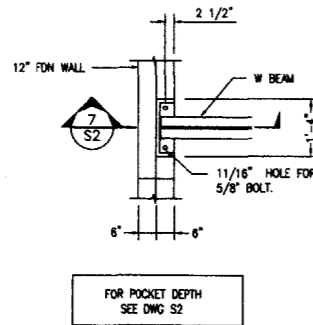
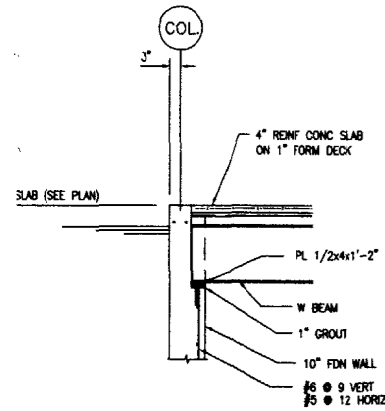


app'd	date	description
JHL	4/22/03	FOR PERMITTING

designed by: JHL	checked by: JHL
drawn by: JHL	scale: 1/4" = 1'-0"
date: 4/22/03	plot date:
project #: 23047	

PSRC
 5 PORTLAND STREET
 PORTLAND, MAINE
GENERAL NOTES

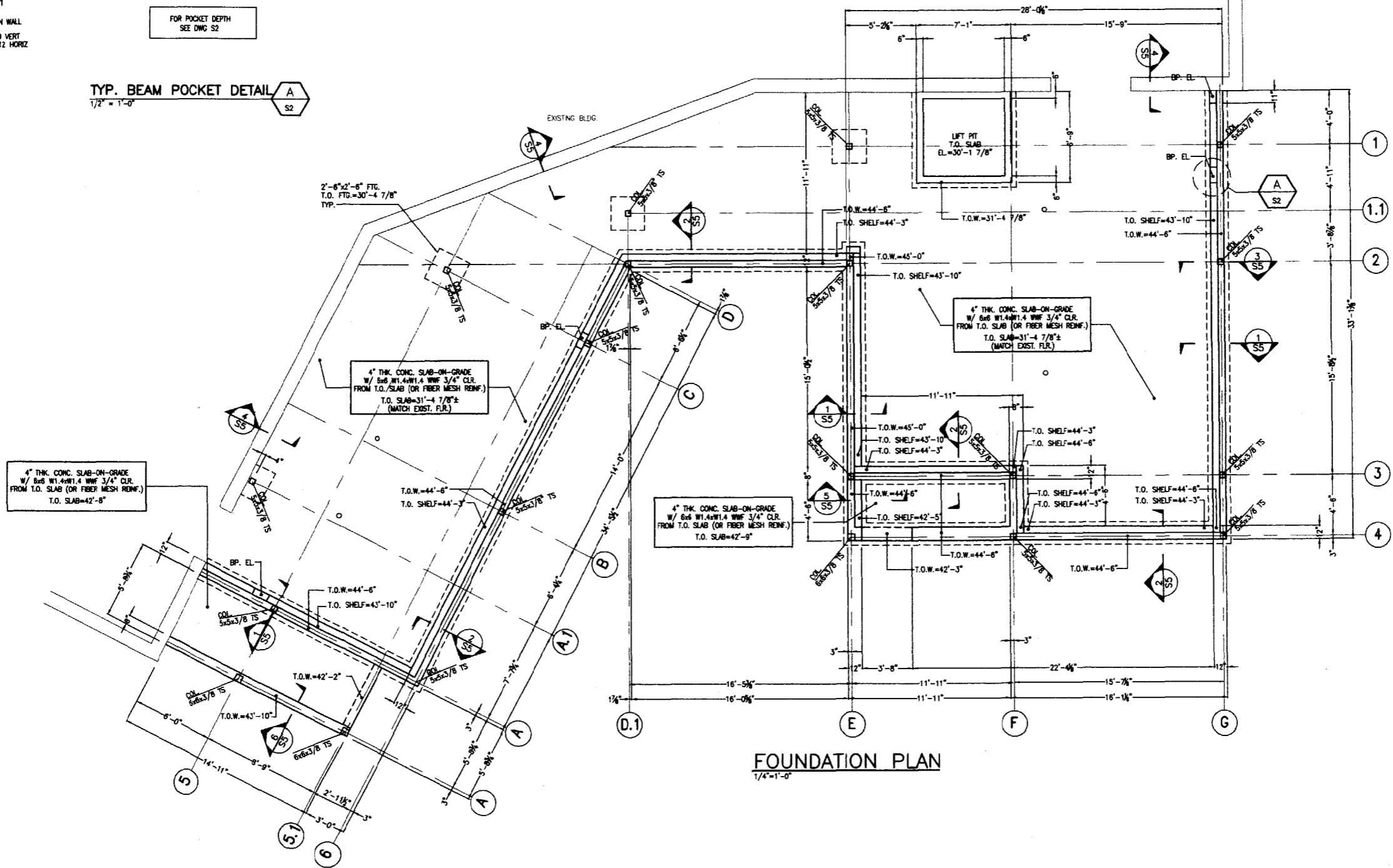
S1



SECTION
1/2" = 1'-0"

NOTE: 1. FASTEN BRG PLATE TO FDN W/ 5/8" THREADED ROD INSTALLED USING RAIL FOR-FAST EPOXY SYSTEM (EMBED 3").
2. REFER TO TYP. BEAM POCKET DETAIL FOR PLAN VIEW.

TYP. BEAM POCKET DETAIL A
1/2" = 1'-0"



FOUNDATION PLAN
1/4" = 1'-0"

- NOTES:**
- SEE GENERAL NOTES NO DWG. S1
 - "CJ" INDICATES CONTROL JOINT

THESE DRAWINGS HAVE BEEN DEVELOPED BY L & L STRUCTURAL ENGINEERING SERVICES, INC. FOR THE PROJECT DESCRIBED HEREIN. THE CLIENT HAS REVIEWED AND APPROVED THESE DRAWINGS. THE CLIENT'S REVIEW DOES NOT CONSTITUTE AN ENDORSEMENT OR A GUARANTEE OF THE ACCURACY OR COMPLETENESS OF THESE DRAWINGS. THE CLIENT'S REVIEW IS LIMITED TO THE INFORMATION PROVIDED TO L & L STRUCTURAL ENGINEERING SERVICES, INC. BY THE CLIENT. L & L STRUCTURAL ENGINEERING SERVICES, INC. IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS THAT MAY BE CAUSED BY INCOMPLETE OR MISLEADING INFORMATION PROVIDED TO L & L STRUCTURAL ENGINEERING SERVICES, INC. BY THE CLIENT.

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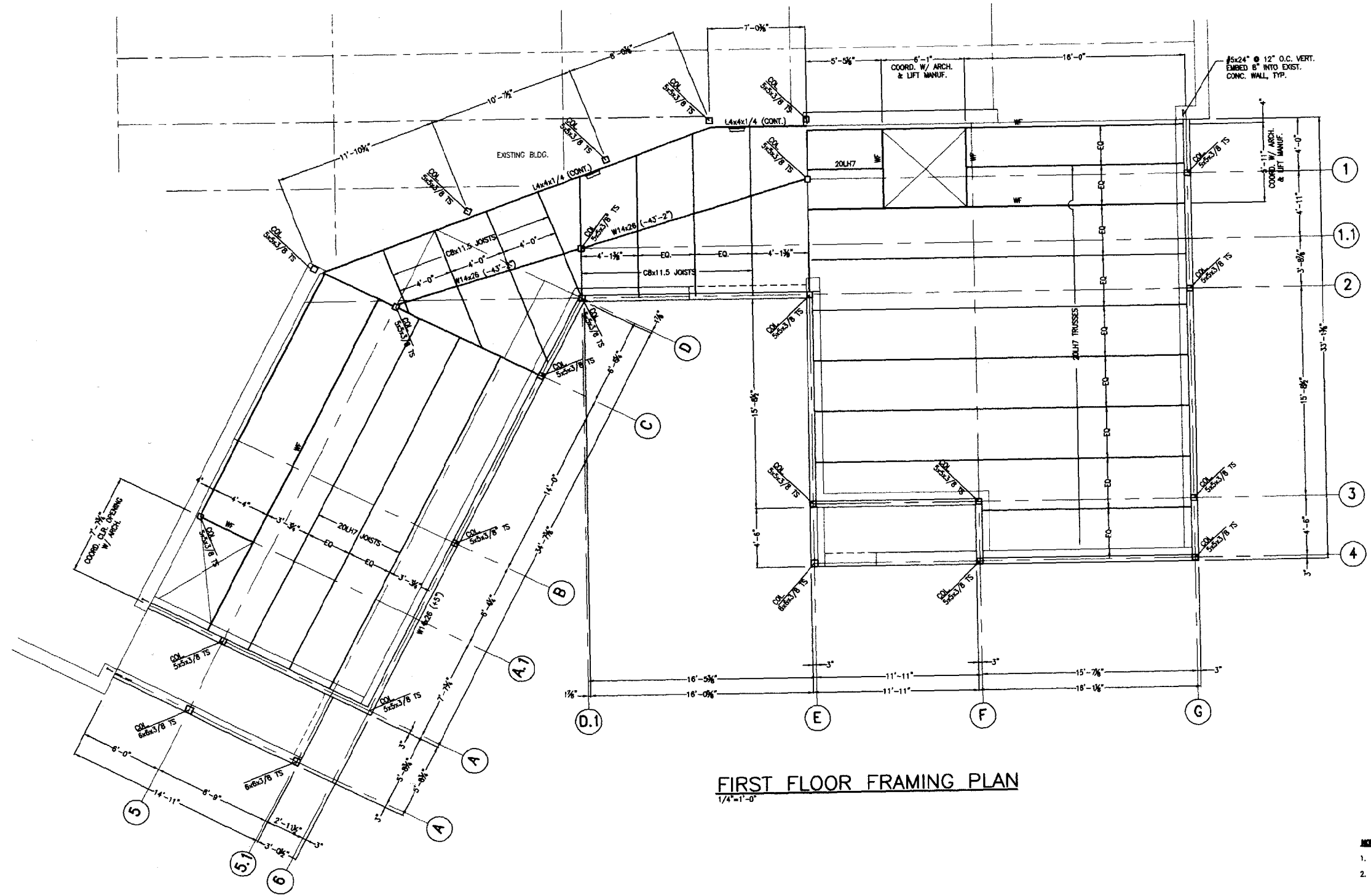


rev.	date	description
A	4/22/03	FOR PERMITTING

designed by: JHL
checked by: JHL
scale: 1/4" = 1'-0"
date: 4/22/03
plot date:
project #: 23047

PSRC
5 PORTLAND STREET
PORTLAND, MAINE
FOUNDATION PLAN

S2



FIRST FLOOR FRAMING PLAN
1/4"=1'-0"

- NOTES**
1. SEE GENERAL NOTES NO DWG. 51
 2. T/STEEL EL=43'-10" (± XX'-XX")

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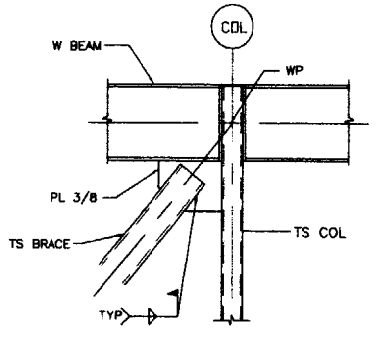
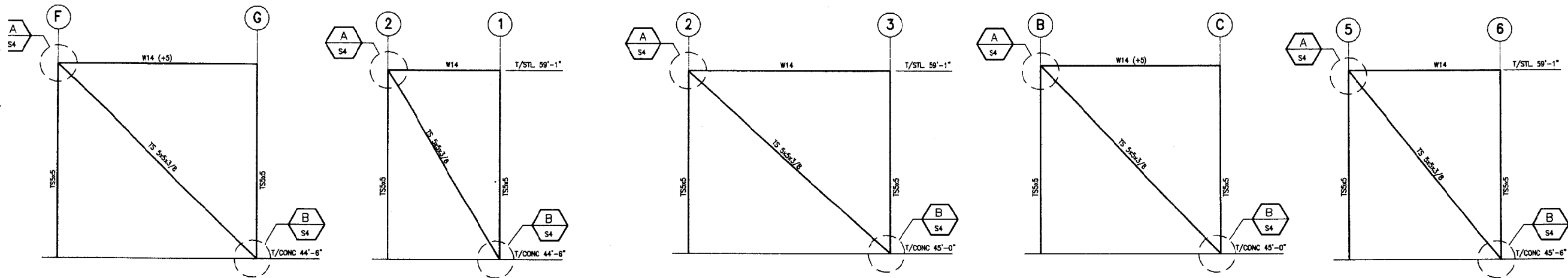


designed by: JLL	rev.:	date:	description:	app'd:
drawn by: JPH	A	4/22/03	FOR PERMITTING	JLL
checked by: JLL				
scale: 1/4" = 1'-0"				
date: 4/22/03				
plot date:				
project #: 23017				

PSRC
5 PORTLAND STREET
PORTLAND, MAINE
FIRST FLOOR FRAMING PLAN



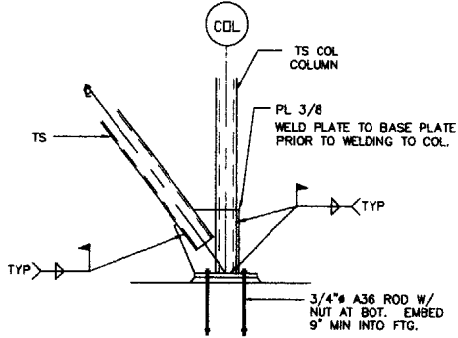
ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE STRUCTURAL STEEL FRAMEWORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PROTECTION OF ALL UTILITIES AND ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES AND UTILITIES.



DETAIL A

3/4" = 1'-0"

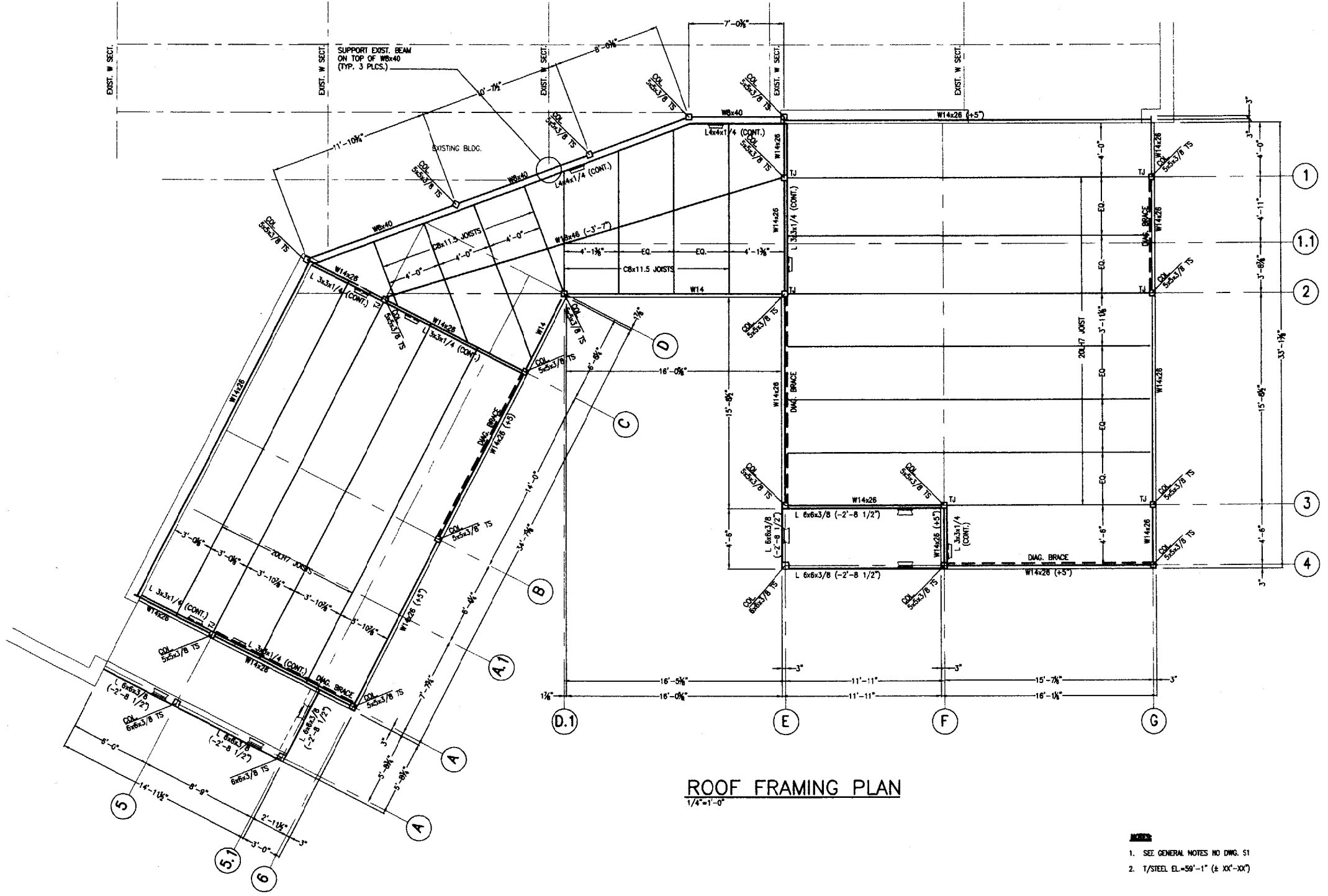
NOTES: 1. CONNECTIONS SHALL BE DESIGNED BY THE STEEL FABRICATOR FOR THE REACTIONS SHOWN ON THE BRACE ELEVATIONS.



DETAIL B

3/4" = 1'-0"

NOTES: 1. CONNECTIONS SHALL BE DESIGNED BY THE STEEL FABRICATOR FOR THE REACTIONS SHOWN ON THE BRACE ELEVATIONS.



ROOF FRAMING PLAN

1/4" = 1'-0"

- 1. SEE GENERAL NOTES NO DWG. S1
- 2. T/STEEL EL.-59'-1" (+ XX'-XX")

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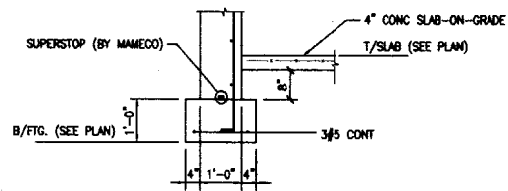
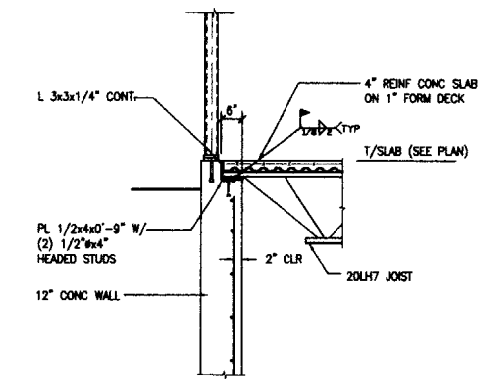
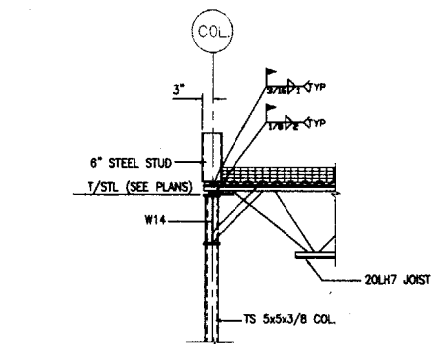


rev.	date	description
A	4/22/03	PERMITTING

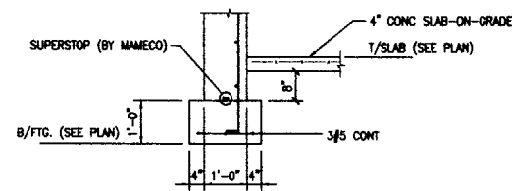
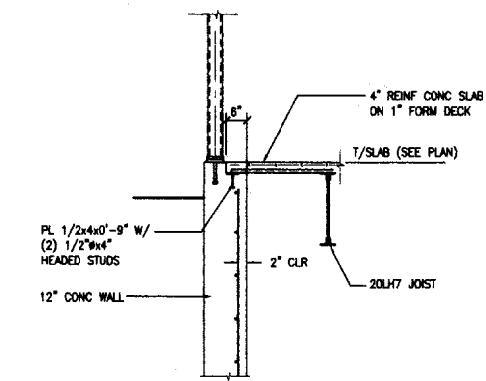
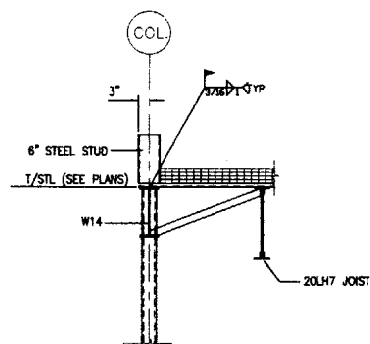
designed by: JHL
 drawn by: JHL
 checked by: JHL
 scale: 1/4" = 1'-0"
 date: 4/22/03
 plot date:
 project #: 23047

PSRC
 5 PORTLAND STREET
 PORTLAND, MAINE
ROOF FRAMING PLAN

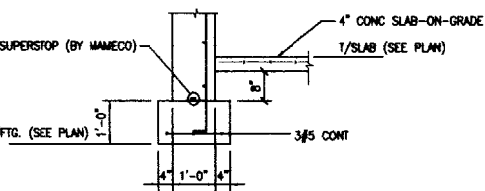
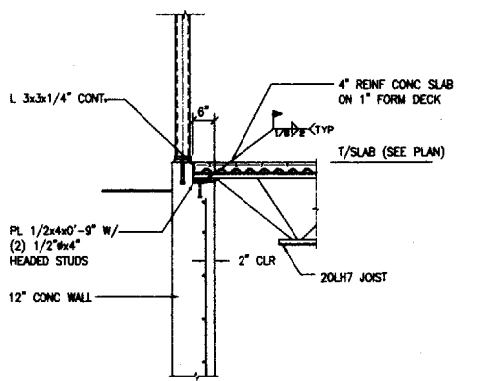
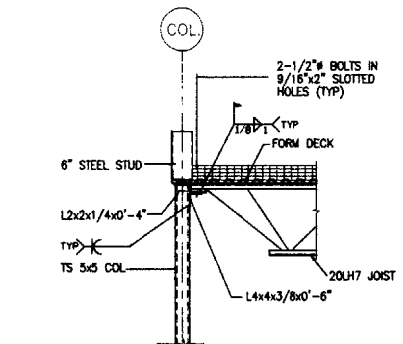
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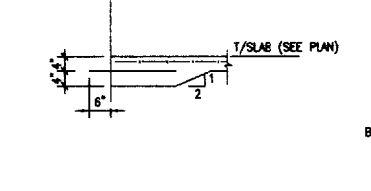
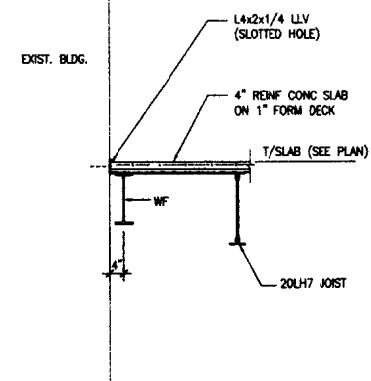
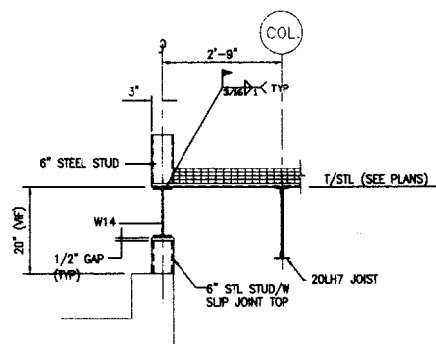
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1/2" = 1'-0"



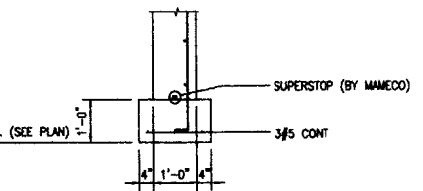
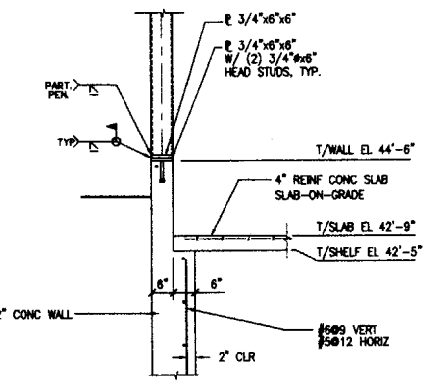
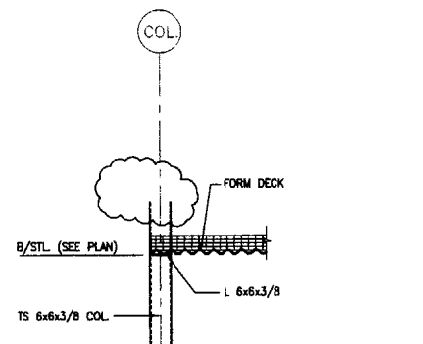
SECTION 2
1/2" = 1'-0"



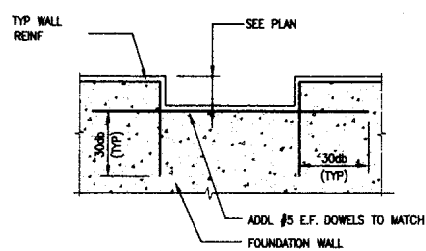
SECTION 3
1/2" = 1'-0"



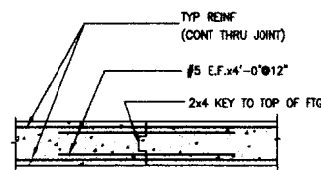
SECTION 4
1/2" = 1'-0"



SECTION 5
1/2" = 1'-0"

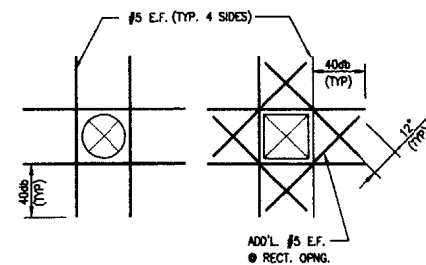


TYP. WALL DEPRESSION WALL DETAIL
N.T.S.



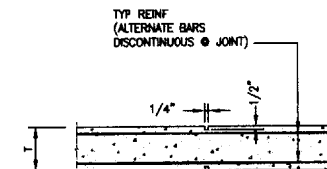
TYP. CONSTRUCTION JOINT IN WALL
N.T.S.

- NOTES:
1. CONST JOINT DOES NOT EXTEND THRU FTG
 2. DISTANCE BETWEEN CONST JOINTS IN STRAIGHT LENGTHS OF WALL NOT TO EXCEED 60'-0"

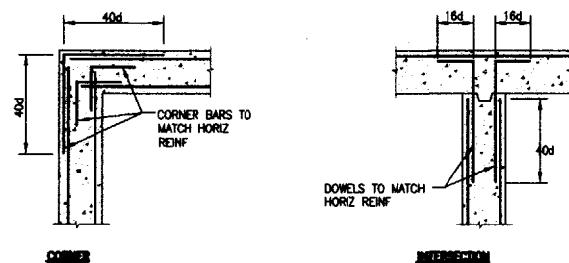


TYP. OPENING IN WALL OR SLAB
N.T.S.

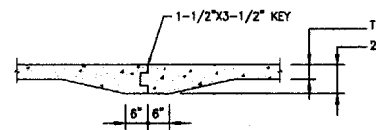
- NOTE: OPENING IN SLAB APPLIES @ ALL OPENINGS INCLUDING STAIRS, ELEVATORS & HVAC OPENINGS. PLACE REINF IN MIDDLE OF SLAB @ SLAB OPENINGS.



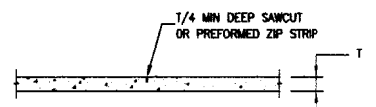
TYP. CONTROL JOINT IN WALL
N.T.S.



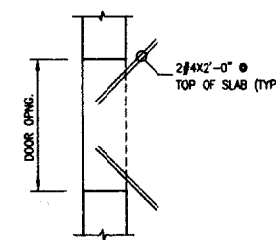
TYP. WALL REINF DETAILS
N.T.S.



TYP. CONSTRUCTION JOINT DETAIL
N.T.S.



TYP. CONTROL JOINT DETAIL
N.T.S.

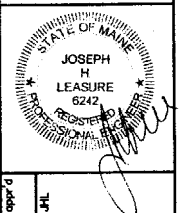


TYP. SLAB CORNER DETAIL @ DOOR
N.T.S.

- NOTE: PROVIDE 2#4x4'-0" (TOP) IN SLAB AT INSIDE CORNERS. SEE PLAN.

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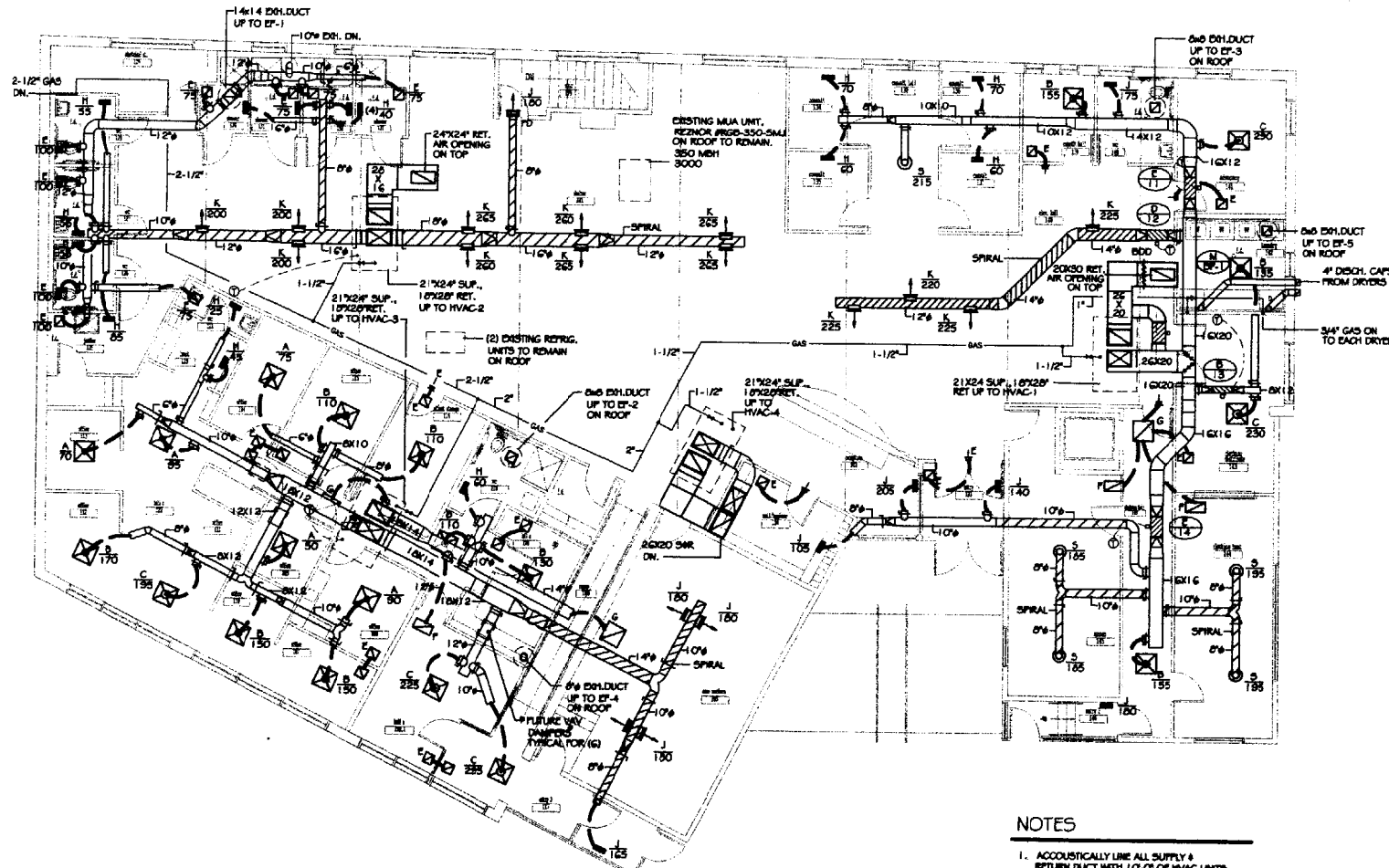
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PSRC
5 PORTLAND STREET
PORTLAND, MAINE
SECTIONS & DETAILS

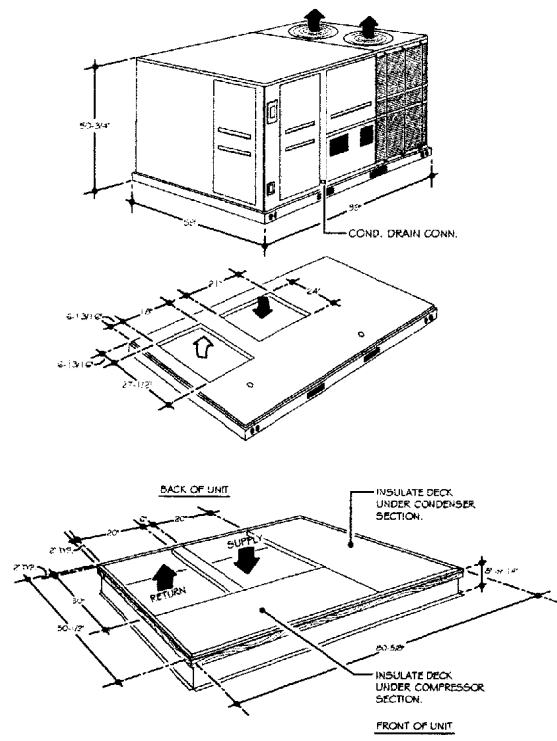
S5



- NOTES**
1. ACOUSTICALLY LINE ALL SUPPLY & RETURN DUCT WITH 1 1/2" OF HVAC UNITS
 2. EXPOSED SPIRAL DUCT SHALL BE UNINSULATED
 3. DISCONNECT MECHANICAL SYSTEMS NO SCHEDULED FOR RE-USE

UPPER FLOOR PLAN

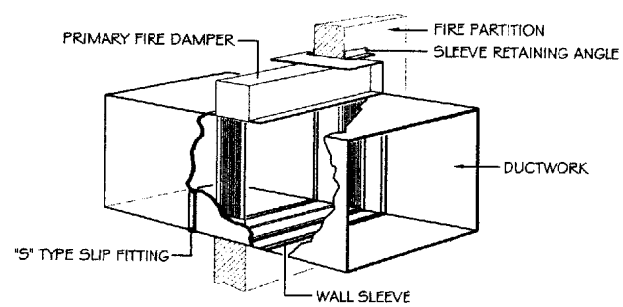
SCALE 1/8"=1'-0"



YORK 6-1/2 THRU 12-1/2 TON ROOF CURB

FAN SCHEDULE									
SYMBOL	MFG.	MOD. NO.	CFM	S.P.	HP/W	RPM	ELEC.	REMARKS	
EP-1	FEHN	OK145	1000	0.4	1/8	1300	120/160	①	②
EP-2	FEHN	OK115	150	0.3	1/11	1300	120/160	①	②
EP-3	FEHN	OK115	150	0.3	1/11	1300	120/160	①	②
EP-4	FEHN	OK115	200	0.4	1/11	1300	120/160	①	②
EP-5	FEHN	OK115	150	0.3	1/11	1300	120/160	①	②
EP-6	FEHN	21GH	300	0.3	3/80	1550	120/160	①	②

① DIRECT DRIVE ③ V-BELT ⑤ SPEED CONTROL
 ② BACKDRAFT DAMPER ④ ROOF CURB ⑥ T-STAT CONTROL



PRIMARY FIRE DAMPER DETAIL
TYPE "B" 100% FREE AREA

HVAC-2 # 3

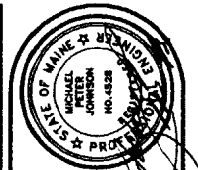
PRODUCT DATA	
MODEL NO. DM090N15	
COOLING PERFORMANCE	
TOTAL CAPACITY	90 MBH
SENSIBLE CAPACITY	68 MBH
OUTDOOR DESIGN TEMP.	95/72 DEG. F DBWB
TOTAL SUPPLY AIR	3000 CFM
TEMP. OF AIR ENTERING EVAPORATOR COIL	80/67 DEG. F DBWB
POWER INPUT REQUIREMENT (LESS BLOWER MOTOR)	--- KW
HEATING PERFORMANCE	
GAS-FIRED HEAT EXCHANGER INPUT CAPACITY	180 MBH
SUPPLY AIR BLOWER PERFORMANCE	
TOTAL SUPPLY AIR	3000 CFM
TOTAL RESISTANCE EXTERNAL TO UNIT	1.2 IWG
BLOWER SPEED	1220 RPM
POWER OUTPUT REQUIREMENT	2.1 BHP
MOTOR RATING	2 HP
POWER INPUT REQUIREMENT	--- KW
ELECTRICAL DATA	
POWER SUPPLY	208/360
TOTAL UNIT AMPACITY	42.9 AMPS
MINIMUM WIRE SIZE	--- AWG
MAXIMUM OVERCURRENT DEVICE	50 AMPS
■ FUSES ■ HACR BREAKER	50 AMPS
TOTAL UNIT WEIGHT	1351 LBS.

HVAC-1 # 4

PRODUCT DATA	
MODEL NO. DM120N20	
COOLING PERFORMANCE	
TOTAL CAPACITY	120 MBH
SENSIBLE CAPACITY	90 MBH
OUTDOOR DESIGN TEMP.	95/72 DEG. F DBWB
TOTAL SUPPLY AIR	3990 CFM
TEMP. OF AIR ENTERING EVAPORATOR COIL	80/67 DEG. F DBWB
POWER INPUT REQUIREMENT (LESS BLOWER MOTOR)	--- KW
HEATING PERFORMANCE	
GAS-FIRED HEAT EXCHANGER INPUT CAPACITY	240 MBH
SUPPLY AIR BLOWER PERFORMANCE	
TOTAL SUPPLY AIR	3990 CFM
TOTAL RESISTANCE EXTERNAL TO UNIT	1.2 IWG
BLOWER SPEED	1220 RPM
POWER OUTPUT REQUIREMENT	3.0 BHP
MOTOR RATING	3 HP
POWER INPUT REQUIREMENT	--- KW
ELECTRICAL DATA	
POWER SUPPLY	208/360
TOTAL UNIT AMPACITY	55.7 AMPS
MINIMUM WIRE SIZE	--- AWG
MAXIMUM OVERCURRENT DEVICE	70 AMPS
■ FUSES ■ HACR BREAKER	70 AMPS
TOTAL UNIT WEIGHT	1416 LBS.

UNITS # HVAC-1 COMPLETE WITH ECONOMIZER, POWER EXHAUST, HIGH SPEED DRIVE, CURB, SMOKE DETECTOR, & 120V1 SERVICE OUTLET

UNITS # HVAC-2, 3, & 4 COMPLETE WITH ECONOMIZER, RELIEF DAMPER, HIGH SPEED DRIVE, CURB, SMOKE DETECTOR, & 120V1 SERVICE OUTLET



JOHNSON & JORDAN
MECHANICAL CONTRACTORS
18 MUSSEY ROAD
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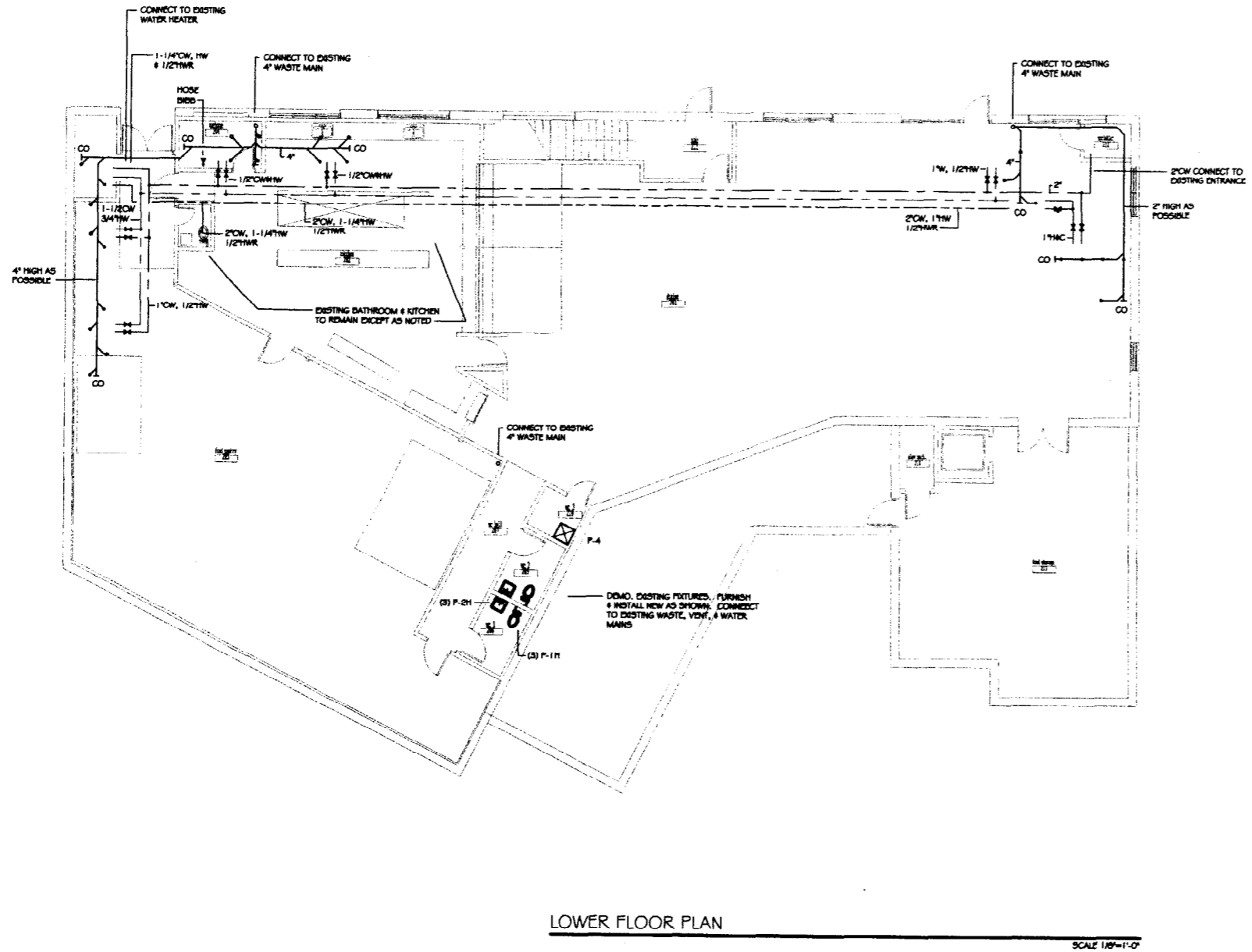
PERMIT SET
4-22-03

UPPER FLOOR MECHANICAL PLANS & DETAILS

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CHECKED: []
SCALE: 1/8"=1'-0"
DATE: 4-22-03
PROJECT: 03055

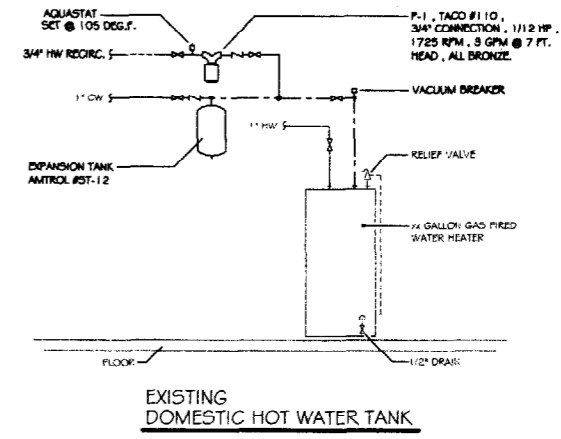
PROJECT: PSRC
5 PORTLAND ST
PORTLAND, MAINE

SHEET: M-2
OF 2



LOWER FLOOR PLAN

SCALE 1/8"=1'-0"



EXISTING DOMESTIC HOT WATER TANK

PLUMBING FIXTURES

- P-1H HANDICAPPED FLOOR MOUNT FLUSH VALVE TOILET: KOHLER #K4360CT WHITE, 1.3 GPT OLOAN ROYAL 111 WATER SAVER FLUSH VALVE, OLSOMITE 95 WHITE ELONGATED SEAT, 3" WASTE, 2" VENT, 1" WATER SUPPLY.
- P-2H HANDICAPPED WALL HUNG LAVATORY: KOHLER K2005 WHITE, ZURN #Z61104 FAUCET, MCGUIRE 155 WC DRAIN, 8902 TRAP, 1704X SUPPLES, TRUBO T-102 AND T-105 TRAP AND SUPPLY KIT, 1-P WASTE, 1-1/2" VENT, 2" HOT AND COLD WATER SUPPLY - ZURN CARRIER.
- P-3H ACCESSIBLE SHOWER: LUSCO #1608CFS WITH SEAT AND GRAB BAR, SYMONDS #596300303X VALVE, #5108282 DRAIN, 3" WASTE, 2" VENT, 2" HOT AND COLD WATER SUPPLY.
- P-4 SERVICE SINK: FAY #W58-24B4, FAY #650-AA FAUCET, FAY #659-CC HANGER BRACKET, FAY #652-AA HOSE AND BRACKET, 3" WASTE, 2" VENT, 2" HOT AND COLD WATER SUPPLY.
- P-6 LAUNDRY CONNECTION: OATY #55084, 1-1/2" VENT, 2" HOT AND COLD WATER SUPPLY.
- P-14 WATER HEATER: STATE #80F 80-180 NE, 80 GALLON CAPACITY, 180 MBH INPUT, 28" DIA X 73-1/2" HIGH, 6" DIA. FLUE, 645 POUNDS.

- MISC. ITEMS:
- FLOOR CLEAN-OUTS: ZURN #Z81400RH.
 - FLOOR DRAINS: ZURN #Z-415RH, 3".
 - BACKFLOW PREVENTER: ZUNK-WILKINS #975 WITH AIR GAP FITTING AND STRAINER.

PLUMBING SYMBOLS LEGEND

=====	SOIL OR WASTE ABOVE FLOOR
-----	SOIL OR WASTE BELOW FLOOR
=====	ROOF DRAIN ABOVE FLOOR
-----	ROOF DRAIN BELOW FLOOR
-----	VENT ABOVE FLOOR
-----	VENT BELOW FLOOR
-----	COLD WATER
-----	HOT WATER
-----	HOT WATER RECIRCULATION
-----	TEMPERED HOT WATER
-----	TEMPERED HOT WATER RECIRCULATION
-----	GATE VALVE
-----	CHECK VALVE
-----	GLOBE VALVE
-----	BACKWATER VALVE
-----	GAS PIPING
-----	AIR PIPING
-----	CLEAN-OUT END OF MAIN
-----	CLEAN-OUT FLUSH WITH FLOOR
-----	ANTI-SIPHON TRAP
-----	FLOOR DRAIN
-----	ROOF DRAIN
-----	SPRINKLER



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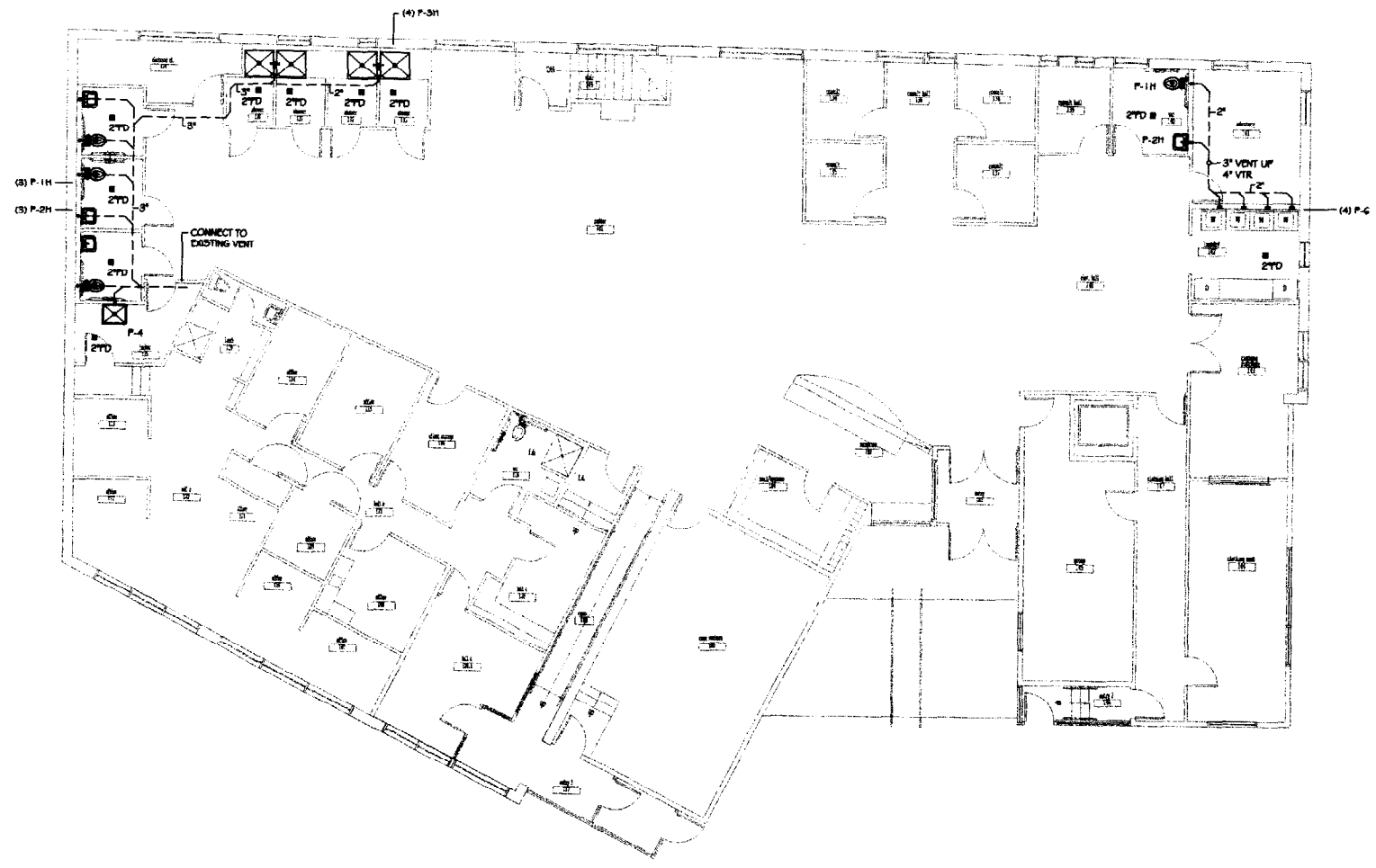
PERMIT SET
4-22-03

LOWER FLOOR
PLUMBING PLANS &
DETAILS

DRAWN: M.F.J. M.F.J.
CHECKED: M.F.J. M.F.J.
SCALE: 1/8"=1'-0"
DATE: 4-22-03
PROJECT: 03055

PROJECT:
PSRC
5 PORTLAND ST
PORTLAND, MAINE

SHEET #
M-3
OF 4



UPPER FLOOR PLAN

SCALE 1/8"=1'-0"

HEATING SYMBOLS LEGEND

	HOT WATER HEATING SUPPLY MAIN
	HOT WATER HEATING RETURN MAIN
	STEAM MAIN
	CONDENSATE RETURN
	CHILLED WATER SUPPLY
	CHILLED WATER RETURN
	GATE VALVE
	CHECK VALVE
	BALANCING COCK
	MOTORIZED CONTROL VALVE
	GLOBE VALVE
	O.S. & Y VALVE
	RELIEF VALVE
	THERMOSTAT
	THERMOSTAT W/ GAURD
	THERMOMETER
	PRESSURE GAUGE
	AIR PIPING
	GAS PIPING
	BALANCING DAMPER IN DUCT
	FIRE DAMPER IN DUCT
	BUTTERFLY VALVE
	ECCENTRIC REDUCER
	AIR VENT
	PUMPED CONDENSATE RETURN

HOSE BIBB AT LAVS
RMD #100, 110, & 112
KEY OPERATED



JOHNSON & JORDAN
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19 MUSSET ROAD
SCARBOROUGH, MAINE 04074
TEL: (207) 888-8886 FAX: (207) 888-8810

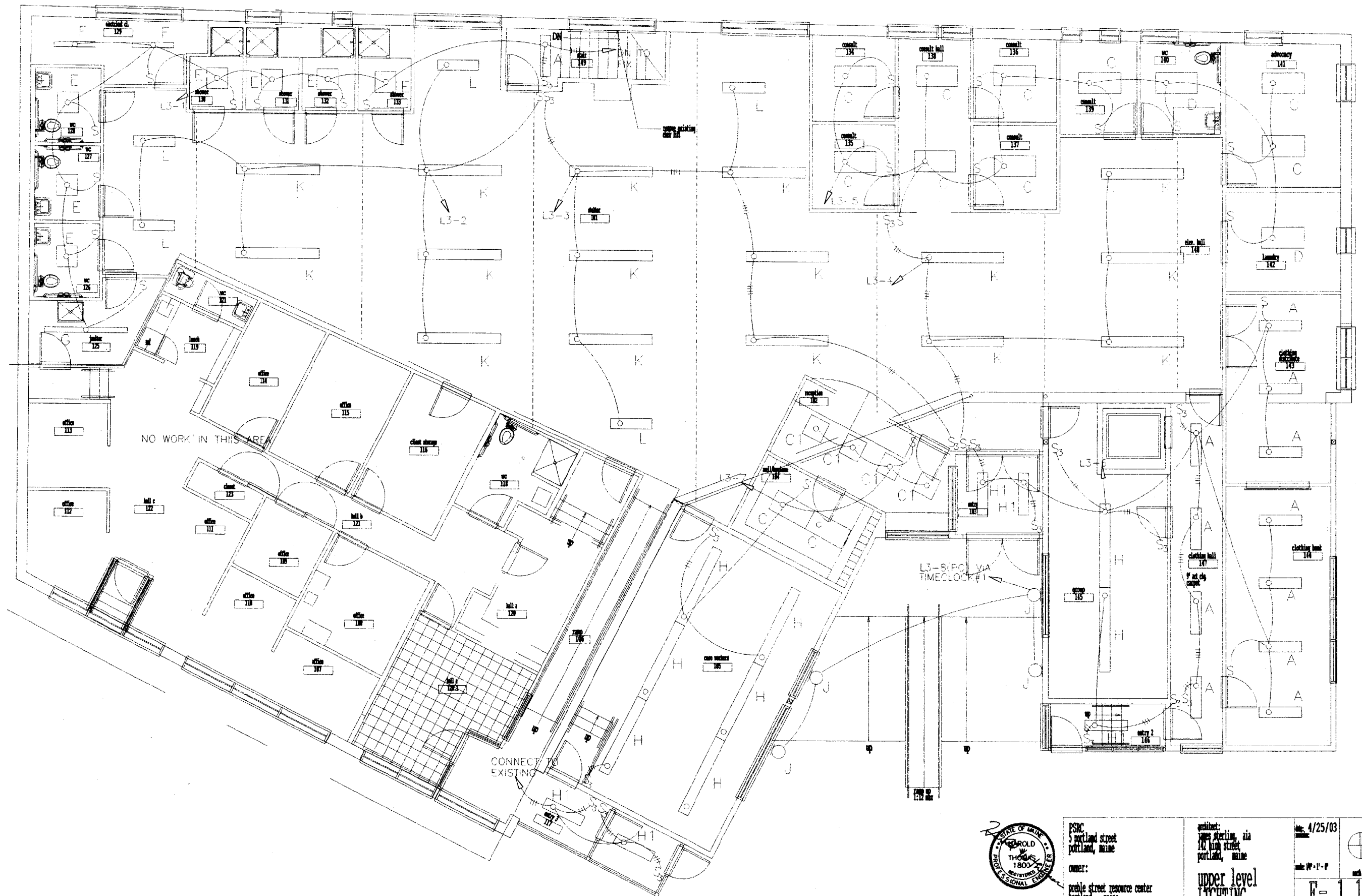
PERMIT SET
4-22-03

UPPER FLOOR
MECHANICAL PLANS &
DETAILS

DRAWN: MPJ
CHECKED: MPJ
SCALE: 1/8"=1'-0"
DATE: 4-22-03
PROJECT: 03055

PSRC
5 PORTLAND ST
PORTLAND, MAINE

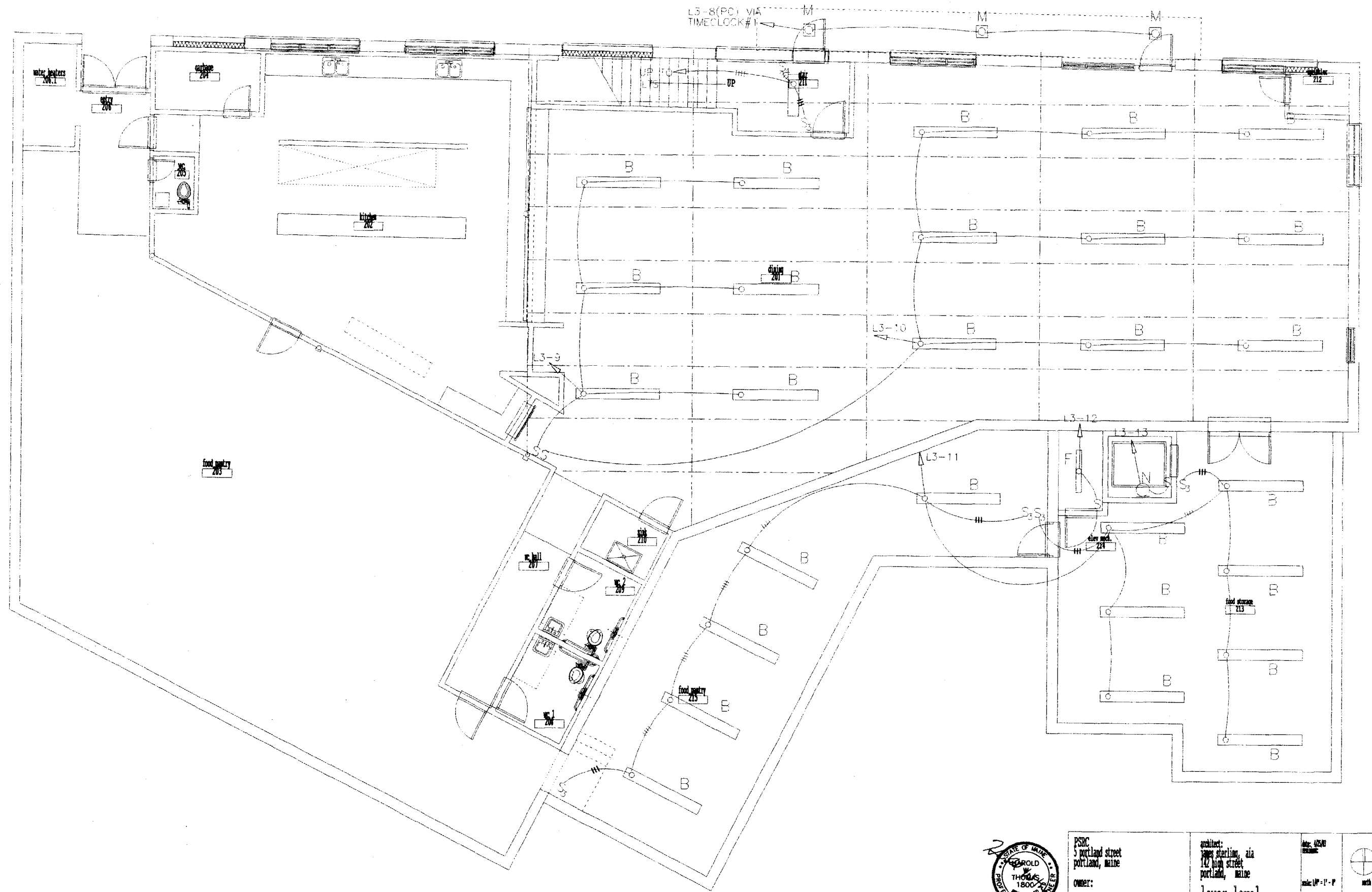
M-4
OF 2



PSRC
 5 portland street
 portland, maine
 owner:
 portland street resource center
 portland, maine

architect:
 JAMES STERLING, AIA
 127 HIGH STREET
 PORTLAND, MAINE
**UPPER LEVEL
 LIGHTING**

date: 4/25/03
 scale: 1/4" = 1'-0"
 sheet: E-1.1



PSRC
 5 portland street
 portland, maine
 OWNER:
 preble street resource center
 portland, maine

architect:
 james sterling, aia
 142 high street
 portland, maine
 lower level
 lighting

date: 12/80
 scale: 1/8" = 1' - 0"
 north
 E-12

