

DEMO LEGEND

- TO BE DEMOLISHED (DASHED)
- EXISTING CONSTRUCTION TO REMAIN
- NOT-IN-SCOPE (CONFIRM WORK REQUIRED FOR ALL DOORS WITH DOOR SCHEDULE)

GENERAL DEMOLITION AND REMOVAL NOTES

1. The demolition drawings provide general coordination information only, and are schematic in nature. They do not identify all individual items to be removed. In instances where walls are indicated for removal, remove all doors, windows, and miscellaneous hardware, electrical and mechanical items contained within the wall. Remove any existing construction which logically is in the way of new construction or prohibits the new construction shown on the Architectural floor plans.
3. Verify existing structural conditions prior to demolition or removals.
4. Protect from damage and weather any existing building components, which are exposed as a result of demolition or removals.
5. Coordinate and schedule all work in existing occupied portions of the building with the Owner.
6. Notify the Architect and Owner immediately upon discovery of any existing building material that may contain asbestos, lead, or other materials hazardous to the health of workers or building occupants.
7. Concrete slab removals are required and may not be shown on the demolition drawings. Coordinate the extent of slab removals with Structural, Mechanical, Plumbing, and Electrical Plans.
8. Refer to Plumbing, Mechanical, Structural and Electrical plans for additional demolition information. Coordinate the information on drawings and report any discrepancies to the Architect prior to proceeding with the Work.
9. Removal of the materials as indicated shall be done without disturbing adjacent surfaces to remain or the current condition of the building elements.
10. The Owner shall remove furniture and other movable and/or fixed equipment prior to new work in any area, except for mechanical, electrical or minor work not requiring the Owner to completely vacate the premises. Notify the Owner of schedule for new work and extent of Owner removals necessary.
11. Remove all damaged, discarded, or abandoned building construction material from concealed spaces. Prior to closing- or sealing-off concealed spaces, the Contractor shall allow for an inspection of components which will not be visible when the spaces have been sealed.
12. Cut trenches in existing concrete floors with no more than a 1:2 slope. Patch concrete to match adjacent thickness and finish prior to the installation of underlayment or new finishes.
13. Provide metal cover plates at all abandoned electrical devices, finished to match wall.
14. All demolition/removal debris is the property of the Contractor, unless noted otherwise. Materials noted to be salvaged shall be removed, protected, and turned over to the owner at the designated on-site location as agreed upon by the Owner.
15. The Contractor may replace salvaged items with new and identical materials only with the Architect's prior approval.
16. Remove existing room signage at each room and return to Owner.
17. Remove existing corner guards.
18. Remove existing GWB in all Quiet Spaces. Replace with plywood per A600.
19. All excess doors, frames, and hardware which are removed but not re-installed, shall remain the property of the Owner.

GENERAL PATCHING AND REPAIRING NOTES

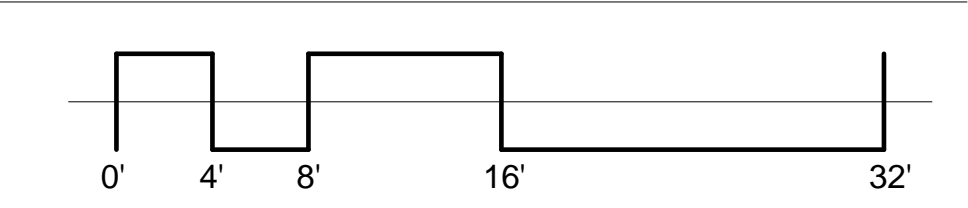
1. Where new construction either infills or abuts existing construction, the finished faces shall align, and the surfaces shall be finished to match.
2. Patch and level existing floors to receive new finishes as indicated in the room finish schedule.
3. After removal of building components, any resulting holes shall be patched. Maintain existing fire- or smoke-ratings as indicated. Such patches shall be flush with adjacent surfaces and finished to match.

DEMOLITION KEYNOTE LEGEND

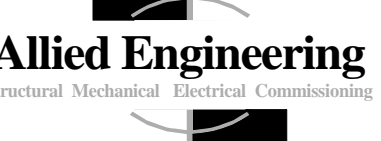
WT	Keynote Text
02.A1	Remove Existing Equipment Complete. Salvage And Safeguard And Return to Owner
02.C1	Ceiling And Grid To Be Removed, Including Associated Suspension Items. Salvage and Safeguard All Ceiling Tiles For Reinstallation. Coordinate Storage Location With Owner.
02.C2	Gyp. Soffit To Be Removed, Including Associated Suspension Items.
02.D1	Door Slab To Be Removed By Owner, Salvaged, And Safeguarded. See Door Schedule A601
02.D2	Door Slab, Frame, And Hardware To Be Removed By Owner, Salvaged, And Safeguarded. Re-purpose Doors and Frames When Possible
02.D3	Remove And Relocate Door, Hardware, And Frame. Safeguard. See Drawing Sheet A100.A For New Location.
02.D4	Door Slab, Frame, And Hardware To Be Removed.
02.F1	Flooring To Be Removed To Slab Or Subfloor, Including All Trim, Base, Sleepers, And Associated Items
02.F2	Concrete Slab To Be Removed
02.F3	Resilient Tile Or Sheet Flooring To Be Removed As Part of Controlled Removals.
02.M1	Casework To Be Removed By Owner
02.P1	See MEP Plumbing Demo Sheet
02.P2	Remove Plumbing Fixture Complete. Relocate To Room A123 Per A100. A. See MEP Plumbing Demo Sheet
02.P4	Remove Sink, Reinstall At 34" A.F.F. Per ADA Requirements. See B1/A401
02.W1	Wall To Be Removed, Including All Associated Finishes and Trim
02.W2	Window, Frame, And Hardware To Be Removed Complete
02.W3	Operable Partition To Be Removed Complete Including Track and Hardware
02.W5	Remove Wainscot Complete. Patch, Repair, and Paint
02.W6	Remove Wainscot And Other Bathroom Accessories
02.W7	Remove Portion of Partition Wall For New Door. Patch And Repair To Match Adjacent.
02.W8	Existing Frame To Be Removed and Salvaged. Alternate 4-Replace Glazing With One-Way Tempered And Reinstall.
02.W9	Remove Two Layers Of GWB. Replace With 1-layer Of GWB and 1-layer Of Plywood. V.I.F.
02.W10	Remove Portion Of Exterior Wall, Including CMU, concrete beam, brick, plaster And All Associated Items As Required For New Door and Lintel. Cut, Patch And Repair.
02.W11	Remove Chair Rail Complete Where Indicated, By Owner



1 FIRST FLOOR DEMO PLAN
1/8" = 1'-0"



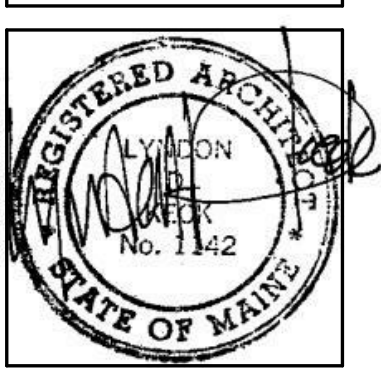
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JOB NO.
14018

DRWN. CHK
AJK

SCALE:
As indicated

ISSUE
BID DOCUMENTS
MARCH 12, 2014

TITLE
FIRST FLOOR
DEMO PLAN

SHEET

AD100.A

Revised
03/19/2014