

APPLICABLE CODES:
 NFPA 101 - 2009
 Architectural Barriers Act Accessibility Standard (ABAAS)
 IBC 2009

GENERAL SCOPE OF WORK:
 Renovate vacated Goodwill Industries office space into the Portland Public Schools K-12 West Program on the 1st Floor.

AREA OF MAJOR RENOVATION: 6,338 S.F.

IBC 2009 BUILDING CODE ANALYSIS SUMMARY (FIRST FLOOR):

GROSS FLOOR AREA: 15,270 S.F.

CONSTRUCTION TYPE: 1B (ASSUMED)
 FLOOR FRAMING: CAST IN PLACE CONCRETE BEAMS & DECK
 STRUCTURAL FRAME: CAST IN PLACE CONCRETE
 EXTERIOR WALLS: SOLID MASONRY
 INTERIOR PARTITIONS: MASONRY / LGMF
 ROOF FRAMING: CAST IN PLACE CONCRETE

FULLY SPRINKLERED: YES

OCCUPANCY: EDUCATIONAL GROUP E

OCCUPANT LOAD FACTOR: 20 NET S.F./PERSON/CLASSROOMS

CALCULATED OCCUPANCY: 286 PERSONS

EXISTING EXITS FROM 1ST FLOOR: 2

REQUIRED EXITS FROM RENOVATED AREA: 2

NUMBER OF EXITS PROVIDED FROM RENOVATION AREA: 2

MIN. ALLOWED REMOTENESS OF EXITS FROM RENOVATED AREA: 62' (1/3 MAX. DIAGONAL OF LOCAL FLOOR AREA)

ACTUAL REMOTENESS OF EXITS IN RENOVATED AREA: 116'

MAX. ALLOWED TRAVEL DISTANCE TO EXIT: 250'

ACTUAL MAX. TRAVEL DISTANCE TO EXIT: 143'

MAX. ALLOWED COMMON PATH OF TRAVEL: 75'

ACTUAL MAX. COMMON PATH OF TRAVEL: 60'

MAX DEAD END CORRIDOR: 50'

ACTUAL DEAD END CORRIDOR: 26'

NFPA 101, 2009 LIFE SAFETY CODE ANALYSIS SUMMARY (1st FLOOR):

CONSTRUCTION TYPE: TYPE II (222) (ASSUMED) FLOOR FRAMING: CAST IN PLACE CONCRETE BEAMS & DECK
 STRUCTURAL FRAME: CAST IN PLACE CONCRETE
 EXTERIOR WALLS: SOLID MASONRY
 INTERIOR PARTITIONS: MASONRY / LGMF
 ROOF FRAMING: CAST IN PLACE CONCRETE

FULLY SPRINKLERED: YES

OCCUPANCY: EDUCATIONAL

OCCUPANT LOAD FACTOR: 20 NET S.F./PERSON/CLASSROOMS

CALCULATED OCCUPANCY: 286 PERSONS

REQUIRED EXITS FROM AREA OF RENO.: 2

NUMBER OF EXITS PROVIDED FROM RENOVATION AREA: 2

MIN. ALLOWED REMOTENESS OF EXITS FROM RENOVATED AREA: 62' (1/3 DIAGONAL DISTANCE OF FLOOR AREA)

ACTUAL REMOTENESS OF EXITS IN RENOVATED AREA: 116'

MAX. ALLOWED TRAVEL DISTANCE TO EXIT: 200'

ACTUAL MAX. TRAVEL DISTANCE TO EXIT: 143'

MAX. ALLOWED COMMON PATH OF TRAVEL: 100'

ACTUAL MAX. COMMON PATH OF TRAVEL: 60'

MAX DEAD END CORRIDOR: 50'

ACTUAL DEAD END CORRIDOR: 26'

NOTES: SEE MEP DRAWINGS FOR CODE INFORMATION REGARDING LIFE SAFETY, FIRE SUPPRESSION AND ENUNCIATION.

GC TO TO CONFIRM THE CONTINUITY OF ALL INTERIOR PARTITIONS AT EXISTING STAIRS, BOILER ROOM, TANK ROOM, ELEVATOR HOISTWAY, AND ELEVATOR MACHINE ROOM SO AS TO ENSURE A 1 HOUR FIRE RATINGS AT EACH. PROVIDE FIRE-SEALANT AND INFILL OF LIKE CONSTRUCTION AS REQUIRED.

LEGEND:

EXTENT OF MAJOR RENOVATIONS
 6,338 S.F.
 (FOR CODE PURPOSES ONLY)

MAX TRAVEL DISTANCE = 143'

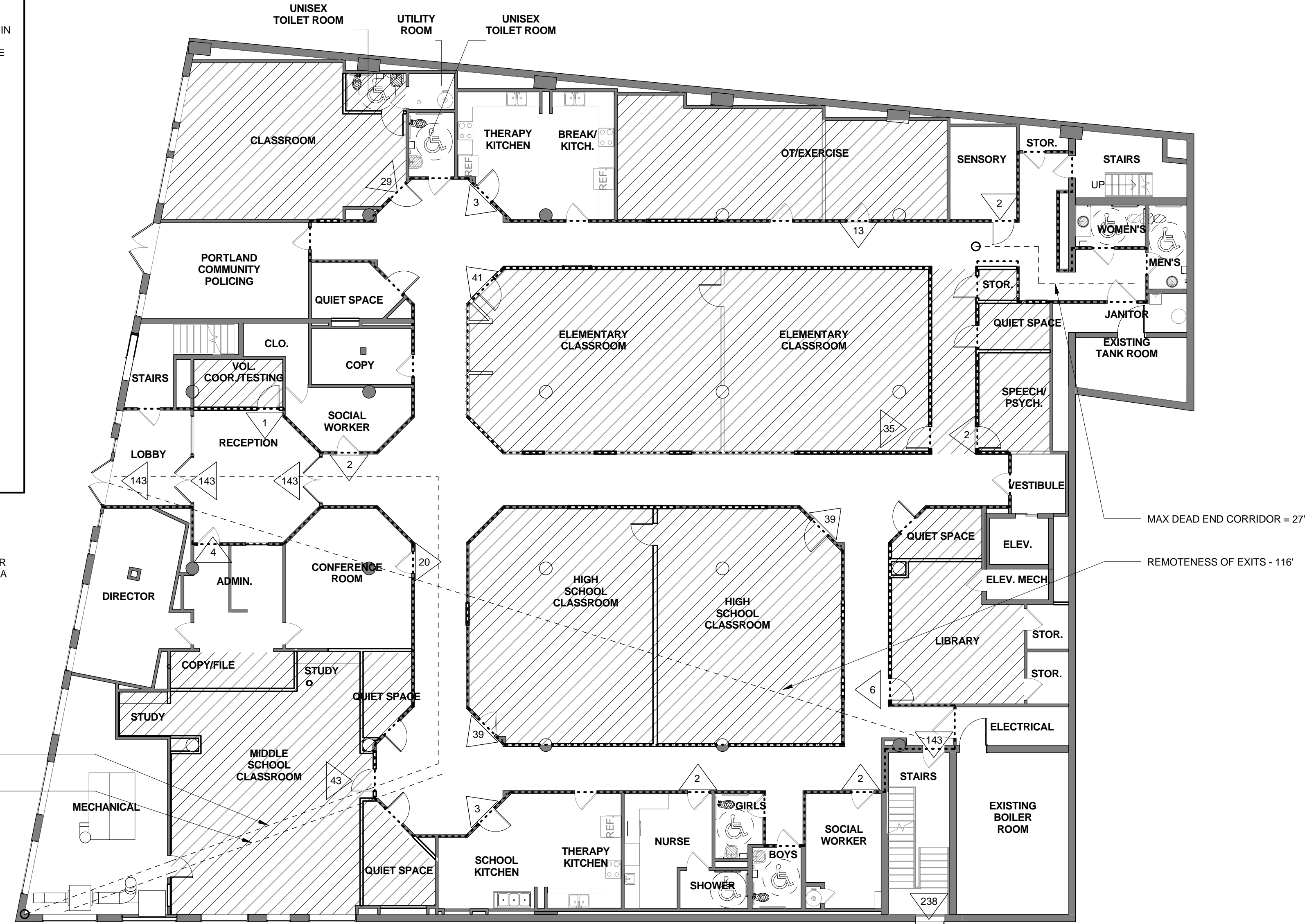
COMMON PATH OF TRAVEL = 60'

CODE SUMMARY LEGEND

--- LIFE SAFETY DISTANCE CHECK (AS NOTED)

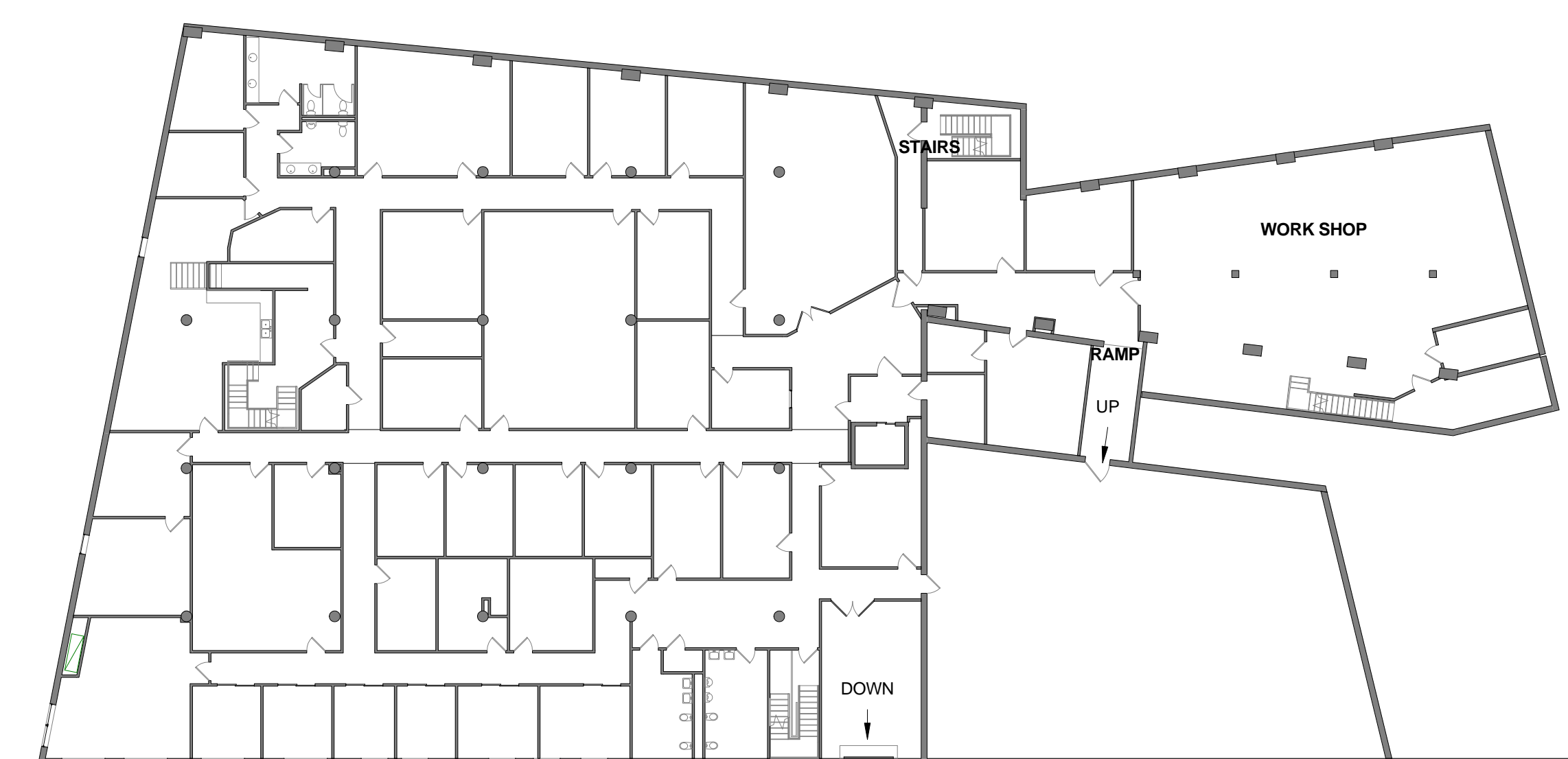
--- NEW SMOKE PARTITION

INDICATES ROOM OCCUPANT LOAD AND EGRESS TOTAL FROM DOOR



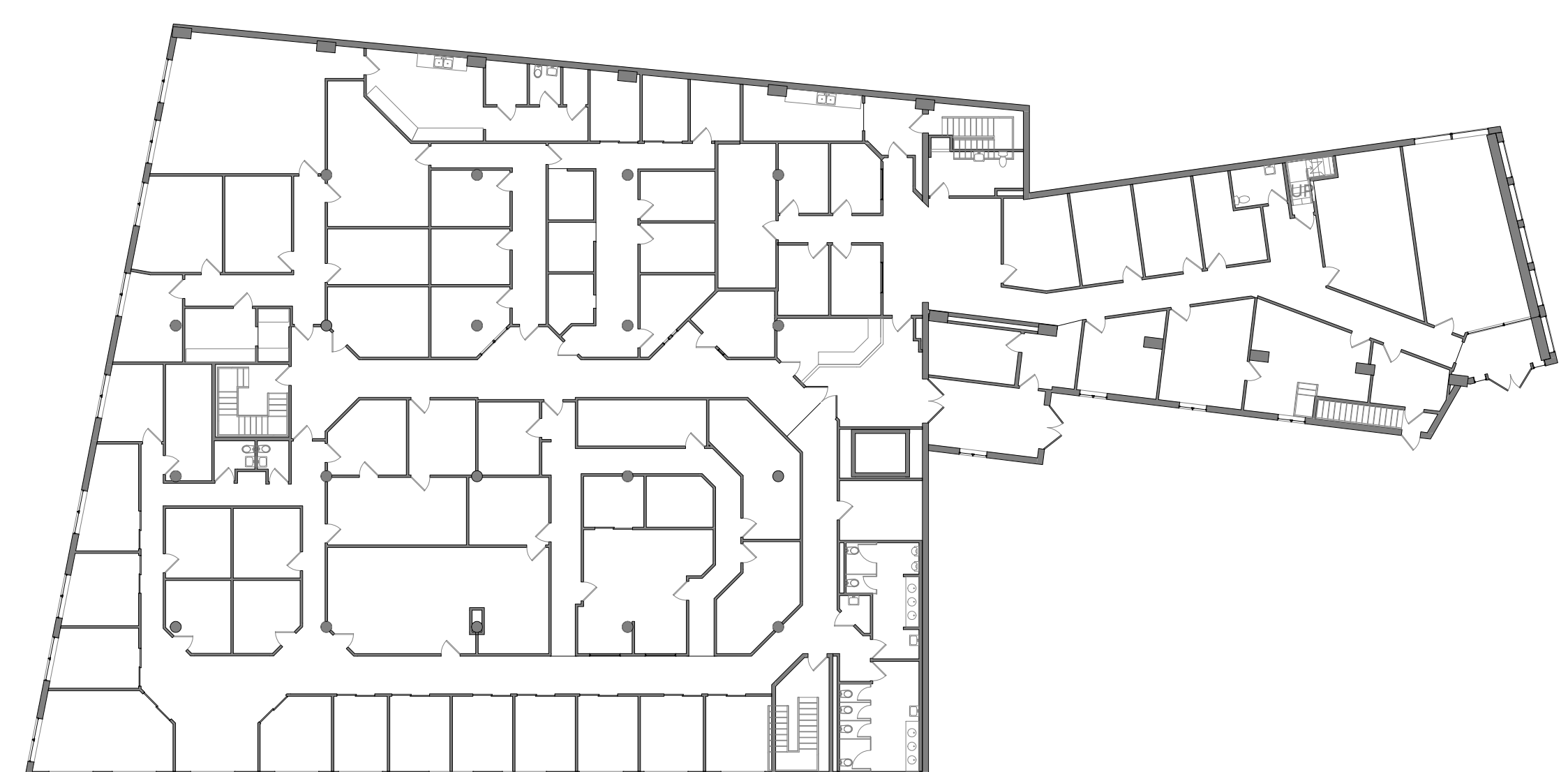
EDUCATIONAL OCCUPANCY
 15, 270 SF - OCCUPANT LOAD: 286 (ACTUAL PROGRAM LOAD: 60 STUDENTS + 30 STAFF)

1 FIRST FLOOR CODE PLAN
 3/32" = 1'-0"



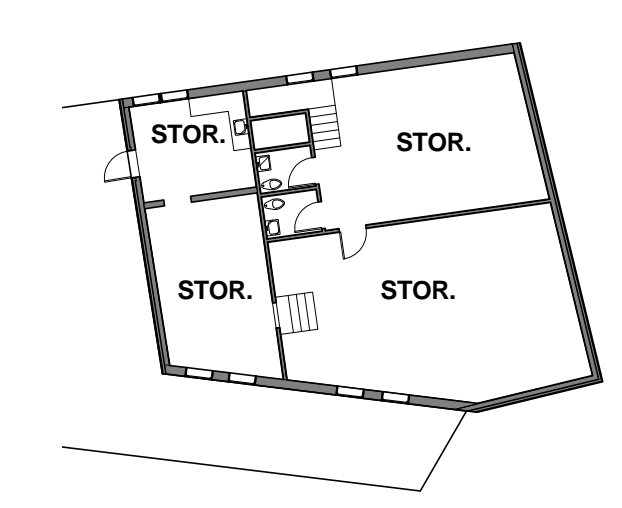
EXISTING BUSINESS OCCUPANCY - NO WORK THIS FLOOR.
 18, 983 SF - OCCUPANT LOAD: 190

2 SECOND FLOOR CODE PLAN
 3/64" = 1'-0"



EXISTING BUSINESS OCCUPANCY - NO WORK THIS FLOOR.
 18, 630 SF - OCCUPANT LOAD: 186

3 THIRD FLOOR CODE PLAN
 3/64" = 1'-0"



UNOCCUPIED STORAGE - NO WORK THIS FLOOR.

4 EXISTING FOURTH FLOOR PLAN
 3/64" = 1'-0"



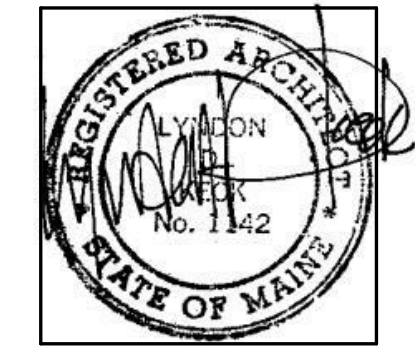
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Portland Public Schools' Downtown Project
 353 CUMBERLAND AVE., PORTLAND, MAINE 04101



JOB NO. 14018

DRWN. CHK. AJK

SCALE: As indicated

ISSUE BID DOCUMENTS MARCH 12, 2014

TITLE CODE SHEET

SHEET A002