City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716 Owner Location of Construction: Phone: Permit No: 353 Camberland Ave. Goodwill 774-6323 Owner Address: Lessee/Buyer's Name: BusinessName: Phone: Phone: Contractor Name: Address: Maine Bay Canvas COST OF WORK: PERMIT FEE: Past Use: Proposed Use: \$ 35.00 3,375 Rerail Same FIRE DEPT. Approved INSPECTION: Use Group: MType: 34 □ Denied Signature: Zoning Approval Proposed Project Description: PEDESTRIAN ACTIVITIES DISTRICT (P. J.D. П Action: Approved Special Zone or Reviews: Approved with Conditions: □ Shoreland Install Canopy / Awaing Denied □Wetland TFlood Zone ☐ Subdivision Signature: Date: ☐ Site Plan mai ☐minor ☐mm ☐ Permit Taken By: Date Applied For: H SP 10-29-98 Zoning Appeal □ Variance This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules. □ Miscellaneous 2. Building permits do not include plumbing, septic or electrical work. ☐ Conditional Use 3. □ Interpretation Building permits are void if work is not started within six (6) months of the date of issuance. False informa-□Approved tion may invalidate a building permit and stop all work... □ Denied Historic Preservation □ Not in District or Landmark ☐ Does Not Require Review ☐ Requires Review Action: CERTIFICATION □Appoved □ Approved with Conditions I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been □ Denied authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all Date: areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit 10-29-98 SIGNATURE OF APPLICANT ADDRESS: DATE: PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

CEO DISTRICT

PHONE:

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

Building or Use Permit Pre-Application Attached Single Family Dwellings/Two-Family Dwelling Multi-Family or Commercial Structures and Additions Thereto

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTE**If you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Addressof Construction (include Portion of Building):	353 Comba	and Ave 04/01
Total Square Footage of Proposed Structure 178	Square Footage of Lot	100 \$ 400'=
Tax Assessor's Chart, Block & Lot Number	Owner:	Telephone#:
Chart# 033 Block# / Lot# 00/	* Good will	774-6323
Owner's Address:	Lessee/Buyer's Name (If Applicable)	Cost Of Work: Fee
R Bo. Hand mo		\$ 3375-\$
Proposed Project Description:(Please be as specific as possible)	install Ca	nopylawne
Contractor's Name, Address & Telephone	Bar Carvas	Rec'd By
Current Use:		Xm e
•All Electrical Installation must comply w •HVAC(Heating, Ventililation and Air Condition must Include the following with you application	cted in compliance with the State of M vith the 1996 National Electrical Code : itioning) installation must comply with 1:	aine Plumbing Code. as amended by Section 6-Art III. h the 1993 BOCA Mechanical Code.
•All plumbing must be conduct •All Electrical Installation must comply we •HVAC(Heating, Ventililation and Air Conductor ou must Include the following with you application 1) ACopy of Y 2) A Copy of Minor or Major site plan review will be required for hecklist outlines the minimum standards for a site property of the standards.	cted in compliance with the State of M with the 1996 National Electrical Code itioning) installation must comply with the Cour Deed or Purchase and Sale Agree f your Construction Contract, if availance 3) A Plot Plan/Site Plan the above proposed projects. The attached and Building Plans	Code as amended by Section 6-Art II. aine Plumbing Code. as amended by Section 6-Art III. the 1993 BOCA Mechanical Code.
•All plumbing must be conducted. •All Electrical Installation must comply we only the HVAC (Heating, Ventililation and Air Conduction on must include the following with you application 1) A Copy of Ye 2) A Copy of Minor or Major site plan review will be required for the checklist outlines the minimum standards for a site purpose. Unless exempted by State Law, constructions.	cted in compliance with the State of M with the 1996 National Electrical Code itioning) installation must comply with the Deed or Purchase and Sale Agree f your Construction Contract, if availance 3) A Plot Plan/Site Plan the above proposed projects. The attached and Building Plans ection documents must be designed by a	Code as amended by Section 6-Art II. aine Plumbing Code. as amended by Section 6-Art III. the 1993 BOCA Mechanical Code. ment ble code are given by the section of the sec
•All plumbing must be conducted. •All Electrical Installation must comply wto HVAC (Heating, Ventification and Air Conducted our must Include the following with you application 1) A Copy of Yto 2) A Copy of Yto 2) A Copy of the chief outlines the minimum standards for a site purpose of the construction drawings showing all Cross Sections w/Framing details (including the conducted including the conducted includi	cted in compliance with the State of M with the 1996 National Electrical Code itioning) installation must comply with it. Your Deed or Purchase and Sale Agree f your Construction Contract, if availance 3) A Plot Plan/Site Plan the above proposed projects. The attached and Building Plans are to documents must be designed by a lof the following elements of construction	Code as amended by Section 6-Art II. aine Plumbing Code. as amended by Section 6-Art III. in the 1993 BOCA Mechanical Code. ment ble code of the section of
•All plumbing must be conducted. •All Electrical Installation must comply we •HVAC (Heating, Ventililation and Air Conducted ou must Include the following with you application 1) ACopy of Ye 2) A Copy of Ye 2) A Copy of the conducted for mecklist outlines the minimum standards for a site pure the complete set of construction drawings showing all Cross Sections w/Framing details (includity Floor Plans & Elevations	cted in compliance with the State of M with the 1996 National Electrical Code itioning) installation must comply with it. Your Deed or Purchase and Sale Agree f your Construction Contract, if availance 3) A Plot Plan/Site Plan the above proposed projects. The attached and Building Plans are to documents must be designed by a lof the following elements of construction	Code as amended by Section 6-Art II. aine Plumbing Code. as amended by Section 6-Art III. in the 1993 BOCA Mechanical Code. ment ble cd Code as a section of the section of
•All plumbing must be conducted. •All Electrical Installation must comply we •HVAC(Heating, Ventililation and Air Conducted our must Include the following with you application 1) ACopy of Ye 2) A Copy of Ye 2) A Copy of Innor or Major site plan review will be required for necklist outlines the minimum standards for a site purpose to the complete set of construction drawings showing all Cross Sections w/Framing details (includite Floor Plans & Elevations Window and door schedules	cted in compliance with the State of M with the 1996 National Electrical Code itioning) installation must comply with a cour Deed or Purchase and Sale Agree f your Construction Contract, if availa 3) A Plot Plan/Site Plan the above proposed projects. The attached an A Building Plans ction documents must be designed by a lof the following elements of constructioning porches, decks w/railings, and access	Code as amended by Section 6-Art II. aine Plumbing Code. as amended by Section 6-Art III. in the 1993 BOCA Mechanical Code. ment ble cd Code as a section of the section of
•All plumbing must be conducted. •All Electrical Installation must comply we •HVAC (Heating, Ventililation and Air Conduction must Include the following with you application 1) ACopy of Ye 2) A Copy of Ye 2	cted in compliance with the State of M with the 1996 National Electrical Code itioning) installation must comply with a cour Deed or Purchase and Sale Agree of your Construction Contract, if availanthe above proposed projects. The attached and the above proposed projects. The attached lan. 4) Building Plans a ction documents must be designed by a lof the following elements of constructioning porches, decks w/railings, and access and dampproofing	Code as amended by Section 6-Art II. aine Plumbing Code. as amended by Section 6-Art III. In the 1993 BOCA Mechanical Code. ment ble cd
•All plumbing must be conducted. •All Electrical Installation must comply we •HVAC(Heating, Ventililation and Air Conduction ou must Include the following with you application 1) ACopy of Ye 2) A Copy of Ye	cted in compliance with the State of M with the 1996 National Electrical Code itioning) installation must comply with a cour Deed or Purchase and Sale Agree of your Construction Contract, if availance 3) A Plot Plan/Site Plan the above proposed projects. The attached and the above proposed projects. The attached lan. A) Building Plans are too the following elements of constructioning porches, decks w/ railings, and access and dampproofing all drawings for any specialized equipments.	Code as amended by Section 6-Art II. aine Plumbing Code. as amended by Section 6-Art III. in the 1993 BOCA Mechanical Code. ment ble ad occ 28 1998 registered design professional. cory structures) occ 2 9 1998 at such as furnaces, chimneys, gas
•All plumbing must be conducted. •All Electrical Installation must comply we •HVAC(Heating, Ventililation and Air Conducted our must Include the following with you application 1) ACopy of Ye 2) A Copy of Ye 2) A Copy of Minor or Major site plan review will be required for hecklist outlines the minimum standards for a site purpose of the complete set of construction drawings showing all Cross Sections w/Framing details (including Floor Plans & Elevations Window and door schedules Foundation plans with required drainage as	cted in compliance with the State of Medith the 1996 National Electrical Code in the 2007 National Electrical Code in the 2007 National Electrical Code in the 2007 National Electrical Agree of your Construction Contract, if availant 3) A Plot Plan/Site Plan the 2007 National Electrical Plans (2007 National Electrical Plans Electrical E	Code as amended by Section 6-Art II. aine Plumbing Code. as amended by Section 6-Art III. In the 1993 BOCA Mechanical Code. ment ble d registered design professional. cry structures ory structures ott such as furnaces, chimneys, gas e special review must be included. where of record and that I have been authorized by the on. In addition, if a permit for work described in the content of

Building Permit Fee: \$25.00 for the 1st \$1000.cost plus \$5.00 per \$1,000.00 construction cost thereafter.

Additional Site review and related fees are attached on a separate addendum

1

BUILDING PERMIT REPORT

Ð	DATE: 30 OCT	. 98 ADDRE	Ess: 353 Cumberland AVE_ CBL \$33-K-901
p	PEASON FOR PERMIT	1. Install Cano	py/Anny
ı	CASON JON 1 EMM1	0 / 1/ 5 2	
В	BUILDING OWNER:_	(roodwill of M	PAINC
C	CONTRACTOR: //	ne. Bay Canva	<u>y</u>
P	PERMIT APPLICANT:	<u> </u>	
U	JSE GROUP/	ВОС.	A 1996 CONSTRUCTION TYPE 3
		CONDIT	ION(S) OF APPROVAL
Т	This Permit is being is	sued with the understanding tha	at the following conditions are met:
	~		*
A	Approved with the foll	owing conditions: *//	
V.			
<u>L</u> 1.	. Inis permit do		meeting applicable State and Federal rules and laws. als from the Development Review Coordinator and Inspection Services
2.		ed. (A 24 hour notice is required	
2.			imeter of a foundation that consists of gravel or crushed stone containing
			rough a No. 4 sieve. The drain shall extend a minimum of 12 inches
			kness shall be such that the bottom of the drain is not higher than the
			op of the drain is not less than 6 inches above the top of the footing. The
			ed filter membrane material. Where a drain tile or perforated pipe is used,
			han the floor elevation. The top of joints or top of perforations shall be
			erial. The pipe or tile shall be placed on not less than 2" of gravel or than 6" of the same material. Section 1813.5.2
2.			in diameter, 7" into the foundation wall, minimum of 12" from corners of
2.		a maximum 6 'o.c. between bolts.	
3.		st be taken to protect concrete from	
4.			d surveyor check all foundation forms before concrete is placed. This is
	-	hat the proper setbacks are mainta	
5.	0 0		in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from
			or/ceiling assembly which are constructed with not less than 1-hour fire
			y-side to rooms in the above occupancies shall be completely separated from
			f ½ inch gypsum board or the equivalent applied to the garage means of ½ he garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
6.			aintained as per Chapter 12 of the City's Mechanical Code. (The BOCA
0.		anical Code/1993). Chapter 12 &	
7.			ng shall be done in accordance with Chapter 12 section 1214.0 of the city's
	building code.		•
8.			a system of building components located near the open sides of elevated
	0		the possibility of an accidental fall from the walking surface to the lower
			ept Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-
			cing structures, open guards shall have balusters or be of solid material such brough any opening. Guards shall not have an ornamental pattern that
			be a minimum of 34" but not more than 38". Use Group R-3 shall not be
			grip size shall have a circular cross section with an outside diameter of at
		,	21 & 1022.0) - Handrails shall be on both sides of stairway. (Section
	1014.7)	. (630	
9.	9.50	abitable space is a minimum of 7'6	6". (Section 1204.0)
10	O. Stair construction	on in Use Group R-3 & R-4 is a m	ninimum of 10" tread and 7 3/4" maximum rise. All other Use group
	minimum 11" ti	read. 7" maximum rise.(Section 1	1014.0)

The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6' 8") 1014.4

SIGNAGE PRE-APPLICATION

PLEASE ANSWER ALL QUESTIONS
ADDRESS: 353 Combarland And ZONE: 3-3
OWNER: Goodwill and Murice
APPLICANT: Bruce Stores
ASSESSOR NO.
PLEASE CIRCLE APPROPRIATE ANSWER
SINGLE TENANT LOT? YES NO MULTI-TENANT LOT? YES NO
FREESTANDING SIGN? (ex. Pole Sign) YES NO DIMENSIONS HEIGHT
MORE THAN ONE SIGN? YES NO DIMENSIONS HEIGHT
SIGN ATTACHED TO BLDG.? YES NO DIMENSIONS
MORE THAN ONE SIGN? YES NO DIMENSIONS
AWNING: YES NO IS AWNING BACKLIT? YES NO HEIGHT OFF SIDEWALK 8 WILLIAM IS THERE ANY MESSAGE, TRADEMARK OR SYMBOL ON 15?
LIST ALL EXISTING SIGNAGE AND THEIR DIMENSIONS:
32 x12" - Retail Stores + Redic Stores
= \$2 45 m
*** TENANT BLDG. FRONTAGE (IN FEET): 40 X Z = 804 Allowed of
*** REQUIRED INFORMATION

AREA FOR COMPUTATION

YOU SHALL PROVIDE:

A SITE SKETCH AND BUILDING SKETCH SHOWING EXACTLY WHERE EXISTING AND NEW SIGNAGE IS LOCATED MUST BE PROVIDED. SKETCHES AND/OR PICTURES OF PROPOSED ARE ALSO REQUIRED.

CICNATUDE OF ADDITIONALT.	15/1/2	DATE: 10-78-9	5
SIGNATURE OF APPLICANT:		DATE:	

SIGNAGE APPLICATION

ADDRESS:	GOODWALL FERENCE SE		
OWNER:	P.O.BOY 83/0	-	
APPLICANT:	DRTLAND, ME USIDS-38	200	
ASSESSORS NO.:			
SINGLE TENANT LOT?	YES:	140:	
MULTI-TENANT LOT?	YES:	NO:	
FREESTANDING SIGN?	YES:	N5: X	DIMENSIONS:
	MORE THAN ONE S	SIGN?	DIMENSIONS:
BLDG. WALL SIGN?	YES:	NO: X	DIMENSIONS:
	MORE THAN ONE S	BIGN?	DIMENSIONS:
LIST ALL EXISTING S	IGNAGE, INCLUDIA	NG THEIR DIMENSIC	ns:
			·
LOT FRONTAGE (IN FE	ET): 105	1+	<u> </u>
BLDG FRONTAGE (IN F	EET): 40'	t e	
AWNING? YES: 1	ND:	15 AWNING BA	CKLIT? YES: NO:
	AWNING: <u>6 10</u>		
IS THERE A	NY CUMM. MESSAGE	E, TRADEMARK, OR	SOMBOL ON 178 See attached
PLEASE PROVIDE A SI	TE SKETCH AND A	BUILDING SKETCH,	SHOWING EXACTLY WHERE

PLEASE PROVIDE A SITE SKETCH AND A BUILDING SKETCH, SHOWING EXACTLY WHERE EXISTING AND NEW SIGNAGE IS LOCATED.

WE WILL NEED SKETCHES AND/OR PICTURES OF THE PROPOSED SIGNS INCLUDING STRUCTURAL COMPONENTS.

Landlord Release Form

CHECKER LICENSES AND AND ASSESSMENT OF THE SECOND S

11.5

SHIPS THE STATE OF THE STATE OF

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED TO BE
the state of the s
ERECTED ON A BUILDING AT 353 CUMBERLAS. AUE.
IN PORTLAND, MAINE Goodwill being the owner of the premises
at 353 Cumberland Live. in Portland, Maine hereby gives consent to the
erection of a certain sign owned by Goodwill over th
public sidewalk or on the building from said premises as described in
application to the Division of Inspection Services of Portland, Maine for a
permit to cover erection of said sign: GOODWILL INDUSTRIES OF NORTHERN NEW ENGLAR 353 CUMBERLAND AVE PO BOX 8600
And in consideration of the issuance of said permit PORTLAND, ME 04104-8500
owner of said premises, in event said sign shall cease to serve the purpose
for which it was erected or shall become dangerous and in event the owner of
said sign shall fail to remove said sign or make it permanently safe in case
the sign still serves the purpose for which it was erected, hereby agrees
for himself or itself, for his heirs, its successors, and his or its
assigns, to completely remove said sign within ten days of notice from said
Inspector of Buildings that said sign is in such condition and of order income
nim to remove it.
In Witness whereof the owner of said premises has signed this consent and

In Witness whereof, the owner of said premises has signed this consent and agreement this 27th day of October 1995

Durita of Property Mom T.

ESTIMATE - CONTRACT

SOLD TO:	Goodwill Industries
DEL. ADDRESS	353 Cumberland Ave.
	Portland, Me.
MAIL ADDRESS	152 High Street
	South Portland, Me. 04106

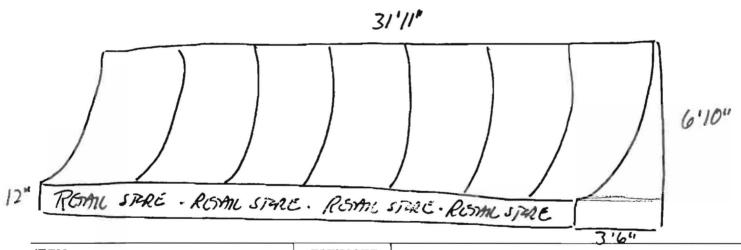
W.O. #
JQB#
DATE9/18/98
EST. DEL. DATE 3 Weeks
HOME PHONE 767-6308
BUS. PHONE 443-4668
FRAMESTYLE Welded Concave
FABRIC & COLOR Sunbrela FR
FABRIC STYLE # Burgundy

Fabricate and install concave awning...31'11" \times 6'10" high \times 3'6" projection, with a 12" solid reveal.

The fabric will be Sunbrela Firesist, burgundy woven acrylic.

The frame will be made from 1" square galvanized steel tubing; bent, welded, brushed, ground and painted as needed. Bent rafters will be no more than 30" apart.

"RETAIL STORE" will be painted in white on the front reveal 3 or 4 times in your choice of font.



ITEM:	ESTIMATE
AS ADOUC	\$ 3375.00
TAX EXEMPT	
ESTIMATE TOTAL	#3375.00
LESS DEPOSIT	1687.50
DUE UPON INSTALLATION	4 1687.50

CONTRACT AGREEMENT

Maine Bay Canvas, Inc. agrees to sell, deliver and install to the Buyer, and the Buyer agrees to purchase and accept from Maine Bay Canvas, Inc. the above described goods or property, subject to and upon the terms and conditions hereof expressed. Any alteration or deviation from specifications involving extra costs will become an additional charge over and above the quote.

Until the said total balance is paid in full and all of the conditions hereof are fully performed title to and ownership of the property purchased under this contract shall be and remain the property of Maine Bay Canvas, Inc.

No cancellations will be accepted after work has started, or on special order merchandles. Delivery dates shown are approximate unless otherwise stated.

Estimates do not include applicable taxes.

SELLER FINE ROYCOMOS

53 Industrial Way Portland, Maine 04103 207-878-8888

Certificate of Flame Resistance



REGISTERED APPLICATION CONCERN No.

FA-36801

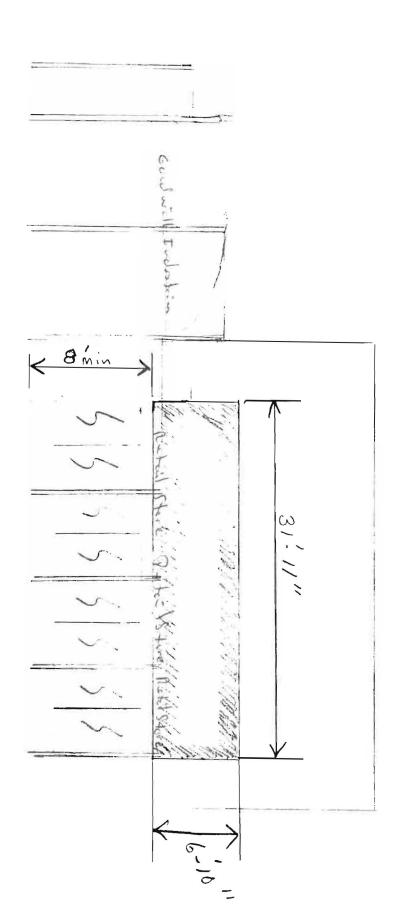
ISSUED BY

Glen Raven Mills, Inc. 1831 N. Park Avenue Glen Raven, NC 27217

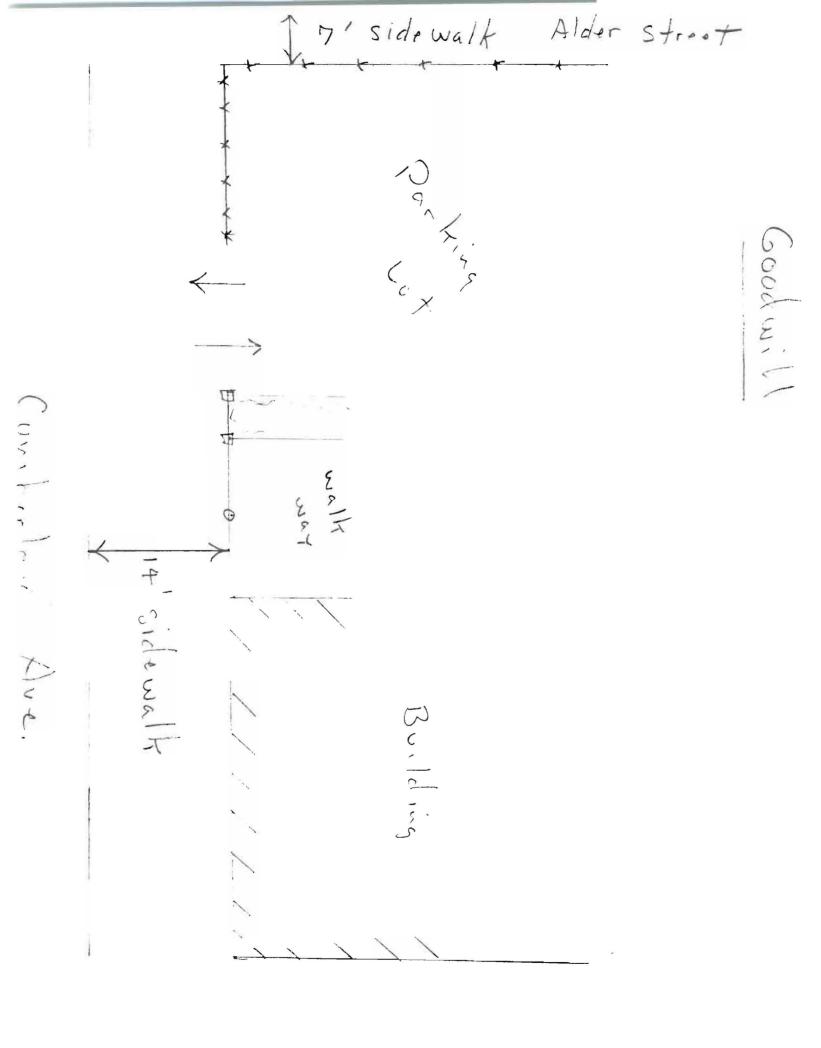
(Phone) 910/227-6211 (Fax) 910/229-4039

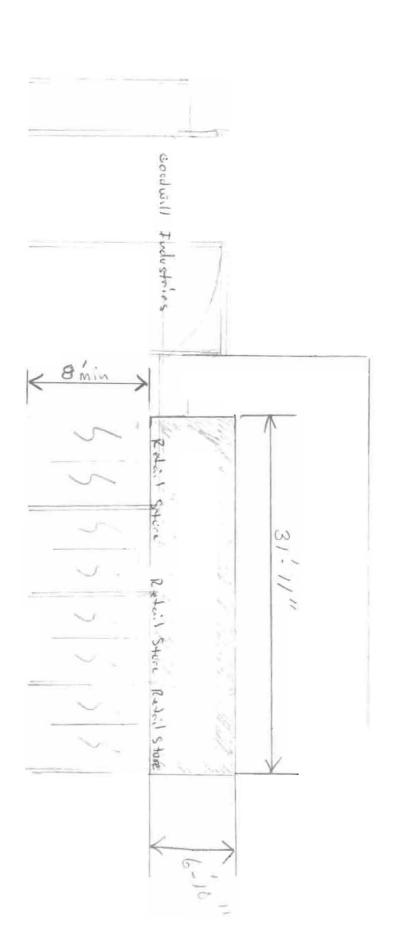
Date treated or manufactured

FOR		ADDRESS
CITY		STATE
	Certification is hereby made that: (Chec	ck "a" or "b")
	chemical approved and registered by the	of this Certificate have been treated with a flame-retardant State Fire Marshal and that the application of said chemi- is of the State of California and the Rules and Regulations
	Name of chemical used	Chem. Reg. No.
	Method of application	
X	(b) The articles described on the reverse sid registered and approved by the State Fire	e hereof are made from a flame-resistant fabric or material a Marshal for such use.
	Trade name of flame-resistant fabric or m	aterial used FR Sunbrella® Reg. No. FA-36801
		Jsed will not (will or will not) Be Removed By Washing
	Glen Raven Mills, Inc.	By DATE A. FASCO
	Name of Applicator or Production Superintendent	Title DIV. MGR.



 \sim





Alder Street 17' side walk

· · · · · · · · · · · · · · · · · · ·	HAMOSEE SESSEE SESSEE		Comparing Arms 1	William Store Control	ASSESSMENT OF THE SECOND SECON	- 8- 6-80 - 000 - 000 - 100 -	A.S. A.S.
AGO	rd, Gerne	to Change On State Control of the Co	BURANCE			10/28/1998	8
	Insurance Agen Box 279	cy	CONFERS NO PAGHTS	UPON THE CER	ATTER OF INFORMAT TIFICATE HOLDER TO THE COVERAGE AF	ION ONLY AND	
Pittsfield, ME 04967 207-487-5167		7	COM	MPANIES AFF	ORDING COVERA	GE	
			COUPANY A ASSU	rance Co.	of America		
INSUMED	the second of th		COMPANY B				
Maine	Bay Canvas, I	nc.	COMPANY C			nessuin tar t star t ···	
	ndustrial Way land, Maine 041	.03	CONPANY D		#		
			COMPANY E	**		Sec.	
CEPTIFI	TO CERTIFY THAT THE POLICIE TED, NOTWITHSTANDING ANY R CATE MAY BE ISSUED OR MAY BIONS AND CONDITIONS OF SU	EQUIREMENT, TERM OR COND PERTAIN, THE INSURANCE AF	OW HAVE BEEN ISSUED TO ITTION OF ANY CONTRACT O FORDED BY THE POLICIES	OR OTHER DOCUMEN DESCRIBED HEREIN	T WITH RESPECT TO WHI	CH THIS	
TR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLEY EXPIRATION DATE (MY/DD/YY)	UM	ms	
Section 1	L LIABILITY DIMERCIAL GENERAL L'ABILITY CLAINS MADE : X OCCUR	PPS32961913	05/07/00	05/01/00	GENERAL AGGREGATE PRODUCTS-COMPAOP AGG. PERSONAL & ADV. BILLITY	\$ 2,000,0 \$ 2,000,0 \$ 1,000,0	000
٥	MNER'S & CONTRACTOR'S PROT.		05/01/98	05/01/99	FIRE DAMAGE (Any one fire)	s 50,	000
primary.	OKE LIABILITY	PP\$32981913			MED. EXPENSE (Any one pera COMBINED SANGLE LIMIT	1,000,	000
X 50	LL OWNED AUTOS CHEDULED AUTOS		05/01/98	05/01/99	RODILY NURY (Pel person)		
ΧN	PED AUTOS ON-OWNED AUTOS ARAGE LIABILITY			:	aodily injury (Per accident)	3	
EXCESS	LIABILITY		:		PROPERTY DAMAGE EACH OCCUMUNIONCE	\$ 1,000,	000
	zerella form Then Than Umbrella forn	PPS32981913	05/01/98	05/01/99	* **** ********************************	Landa Transport	en en en Oguação
A W	ORKER'S COMPENSATION	TC9 98895940	05/01/98	05/01/99	X STATUTORY LIMITS EACH ACCIDENT	: 100,	000
	EMPLOYERS: LIABILITY				DISEASE - POLICY LIMIT DISEASE - EACH EMPLOYEE	s 500,	000
OTHER							
DESCRIPTION Pr	N OF OPERATIONS/LOCATIONS/VEHI Oject: Awning v	vork at 353 Cu	mberland Aven	ue, Portla	and, Maine		
CERTIFIC	ATE HOLDER		262.7	E ABOVE DESCRIBE	D POLICIES BE CANCELLE G COMPANY WILL ENDEA	D BEFORE THE	6.03-x - 4.0 6.03-x - 2.32 6.03-x - 2.32
ATTN:	ill Industries Bruce	of NNE	MAIL <u>10</u> DAYS LEFT, BUT FAILURE	WRITTEN NOTICE TO TO MAIL SUCH NOTI	THE CERTIFICATE HOLDI CE SHALL IMPOSE NO OI PANY, ITS AGENTS OR RE	ER NAMED TO THE BLIGATION OR	
	igh Street rtland, Maine	04106	AUTHORIZED REPRESEN	27477 7400 30410144 274 316			
ACORD	25-8 (7)00) · · · · ·				BACORD	CORPORATION:	1990

ACORD, CERTIF	ICATE OF LIABI	ITY INS	URANCI	E		ATE (MM/DD/YY) D/29/98
FRODUCER Sedgwick Risk Sr Telephone: 207	vcs. of Maine 774~5911	HOLDER, 1	CONFERS NO	UED AS A MATTER (O RIGHTS UPON T ATE DOES NOT AME AFFORDED BY THE R	DF IN	NFORMATION CERTIFICATE EXTEND OR
P. B. Box 9755	ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. INSURERS AFFORDING COVERAGE					
Portland, Maine	04104-5055	INSUREA A.	TRAVEL	ERS INSURANC	E	COMPANY
GOODWILL INDUSTR NORTHERN NEW EN		INSURER C				
P.O. BOX 8600	War water	INSURER D				
PORTLAND COVERAGES	ME 04104	INSURER E	-		-	· ·
THE POLICIES OF INSURANCE LISTED ANY REQUIREMENT, TERM OR CONT MAY PERTAIN, THE INSURANCE AFFO	D BELOW HAVE BEEN ISSUED TO THE IN DITION OF ANY CONTRACT OR OTHER DRDED BY THE POLICIES DESCRIBED I VN MAY HAVE BEEN REDUCED BY PAID	R DOCUMENT WITH HEREIN IS SUBJECT I CLAIMS.	RESPECT TO WH TO ALL THE TERM	HICH THIS CEPTIFICATE	MAY	BE ISSUED OR
TYPE OF INSURANCE	POLICY NUMBER	DATE (MM/DD/YY)	DATE (MM/DD/YY)	LIM	175	
A GENERAL LIABILITY	630926656998	10/01/98	10/01/99	EACH OCCUPRENCE	5	1000000
X COMMERCIAL GENERAL LIABIL TY				FIRE DAMAGE (Any one fire)	3	300000
CLAIMS MADE X OCCUR				MED EXP (Any one person)	5	5000
				PERSONAL & ADV INJURY	\$	1000000
				GENERAL AGGREGATE		5000000
GEN' AGGREGATE UMIT APPUES PER: POLICY PRO- LOC				PRODUCTS - COMPIOP AGG	3	5000000
AUTOMOBILE LIABILITY ANY AUTO				OOMBINED SINGLE LIMIT (Ea applicant)	5	h where
ALL OWNED AUTOS				BODILY INJURY (Per person)	5	
HIRED AUTOS				BODILY INJURY (Per accident)	3	
				PROPERTY DAMAGE (Per accident)	3	
GARAGE LIABILITY				AUTO ONLY - EA AGGIDENT	5	
ANY AUTO				OTHER THAN AUTO ONLY:		
EKCESS LIABILITY				ÉACH CCOURRENCE	ls	
SCAM SMIALD SCAM SMIADE				AGGREGATE	S	
					5	
DEDUCTIBLE					*	
WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATU- TORY LINITS EF	4+ }	-
Carciatene Capitali				ET EACH ACCIDEN.	5	
				E.L DISEASE - EA EMPLOYE		
PEHTO			-	E.L. DISEASE - POLICY LIMIT	TS	
DESCRIPTION OF OPERATIONS/LOCATIONS/VE	HICKERY VEIDNE ADDED BY ENDORSEL	MT/SDSCIAL SPANISHA				
CERTIFICATE HOLDER	15 ADDITIONAL INSC SURED'S 353 CUMBERLA	RED AS RE	SPECTS TO		ION	
CERTIFICATE HOLDER X ADI	DITIONAL INSURED; INSURER LETTER:	CANCELLAT	ION			
				BED POLICIES BE CANCELLE		L'Experie
CITY OF PORTLAND ATTN: MARY GRESIK 389 CONGRESS ST.		DATE THEREOF, THE SSUING INSURER WILL CHOEAVOR TO MAIL 1 DRAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHAI MPOSE NO DELLETON OF LABOURY OF THE METERS OF THE METERS. ITS ADMITS				
PORTLAND, ME 0410	1	REPRESENTATI	VES.	1.10.	B	
			10 ld	Dance		
ACORD 25-9 (7/97)	960/	-7	/	@ ACORD	COR	PORAT

ACORD CERTI	FICATE OF LIAB	ILITY INS	URANCI	E		(MM/DD/YY) 29/98
	rvcs, of Maine 774-5911	ONLY AND HOLDER, T	CONFERS N	UED AS A MATTER OF RIGHTS UPON THATE DOES NOT AME	OF INFO	RMATION RTIFICATE TEND OR
P. O. Box 9755 Portland, Maine		INSURERS AFFORDING COVERAGE				
NSURED TO LIGHT HOLINE	04104-5055	INSURER A.	TRAVEL	ERS INSURANC	E CO	MPANY
GOODWILL INDUSTR	RIES OF	INSURER B.	-			
NORTHERN NEW EI	INSURER C					
P.O. BOX 8600	ME 04104	INSURER D				
PORTLAND COVERAGES	ME 04104	INSURER E				
THE POLICIES OF INSURANCE LISTE ANY REQUIREMENT, TERM OR COMMAY PERTAIN, THE INSURANCE AFF	ED BELOW HAVE BEEN ISSUED TO THE NDITION OF ANY CONTRACT OR OTH FORDED BY THE POLICIES DESCRIBED WN MAY HAVE BEEN REDUCED BY PA	ER DOCUMENT WITH D HEREIN IS SUBJECT	RESPECT TO WE	HICH THIS CERTIFICATE	MAY BE	ISSUED OR
TR TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE I DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMI	TS	
A GENERAL LIABILITY	630926G56998	10/01/98	10/01/99	EACH OCCURRENCE		000000
X COMMERCIAL GENERAL LIABILITY				FIRE DAMAGE (Any one lire)		300000
CLAIMS MADE X OCCUR				MED EXP (Any one person)	S 11	5000
				PERSONAL & ADV INJURY GENERAL AGGREGATE		000000
GEN'L AGGREGATE LIMIT APPLIES PER	i de la companya de l			PRODUCTS - COMP/OP AGG	-	000000
POLICY PRO- LOC				There is some of her		
AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT (Ea accident)	5	
ANY AUTO				(Ea ricident)		alani
ALL OWNED AUTOS SCHEDULED AUTOS				BODILY INJURY (Per person)	S	
HIRED AUTOS				Man various	_	
NON-OWNED AUTOS				(Per accident)	5	
				PROPERTY DAMAGE	3	
*				(Per accident)	3	
GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	5	
ANY AUTO				OTHER THAN EA ACC		
A EXCESS LIABILITY				EACH OCCURRENCE	8	
OCCUR CLAIMS MADE				AGGREGATE	S	
					. \$	
DEDUCTIBLE					\$	
RETENTION S				A CONTRACTOR OF THE CONTRACTOR	S	
WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATU- OTH TORY LIMITS ER		
				E.L. EACH ACCIDENT	S	
				EL DISEASE - EA EMPLOYE		
OTHER				E.L. DISEASE - POLICY LIMIT	3	
OF OPERATIONS/LOCATIONS/V	EHICLES/EXCLUSIONS ADDED BY ENDORSEN	MENT/SPECIAL PROVISIONS	S			
	R IS ADDITIONAL INS	The second second second				
FROM INS	BURED'S 353 CUMBERL	AND AVENUE,	PORTLAN	D, ME LOCATI	DN	
_	"ITIONAL INSURED; INSURER LETTER:	CANCELLATI	ON			
	THE REPORT OF THE PARTY OF THE			ED POLICIES BE CANCELLED	BEFORE T	HE EXPIRATION
	>	The second second second		ER WILL ENDEAVOR TO MAIL		
		NOTICE TO THE O	CERTIFICATE HOLDER	R NAMED TO THE LEFT, BUT F	AILURE TO	DO SO SHALL
/-		IMPOSE NO DEL	GATION OF LIABILIT	Y OF ANY KIND UPON THE I	VSURER, I	TS AGENTS OR
		REPRESENTATIV		, , , , ,		
		AUTHORIZED REPI	RESENTATIVE	Timber Come.	1	
/ -			LUI	Dalling	00000	
	geg/	-		@ ACORD C	OHPOR	ATION 198

aumini oum bulka of Set To we need permit 5 ye Ar Insvelladion M

- 12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610nm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1018.6)
- Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. Section 1010.1
- 14. All vertical openings shall be enclosed with construction having a fire rating of at lest one (1)hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) Section 710.0
- 15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment. Table 302.1.1
- 16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19 (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2

- A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. Section 921.0
- The Fire Alarm System shall be maintained to NFPA #72 Standard.
- The Sprinkler System shall maintained to NFPA #13 Standard.
- 20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
- 21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
- 23. Ventilation shall meet the requirements of Chapter 12 Sections 1210. Of the City's Building Code. (crawl spaces & attics)
- 24. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade.
- 25. All requirements must be met before a final Certificate of Occupancy is issued.
- 26. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).
- 27. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- 28. Please read and implement the attached Land Use-Zoning report requirements.
- Boring, cutting and notching shall be done in accordance with Sections 2305.4.4, 2305.5.1 and 2305.3. of the City's building code.

25 per section
uilding Codo/190
1 7
_

Samuel Houses, Building Inspector

cc: Lt. McDougall, PFD

Marge Schmuckal, Zoning Administrator

33.

Tax 761-8460

INFORMATION REQUIREMENTS FOR SIGN PERMIT APPLICATION

Applicants for a sign permit will be asked to submit the following information to the Code Enforcement Office:

- 1. Proof of insurance
- 2. Letter of permission from the owner
- A sketch plan of lot, indicating location of buildings, driveways and any abutting streets or right of ways. Lengths of building frontages and street frontages should be noted. (see attached)
- 4. Indicate on the plan all existing and proposed signs
- 5. Computation of the following:
 - A) Sign area of each existing and proposed building sign
 - B) Sign area height and setback of each existing and proposed freestanding sign
- A sketch of any proposed sign(s), indicating dimensions, materials, source of illumination and construction method (see attached).
- Zertificate of flammability required for awning/canopy at time of application.
- 8. UL # required for lighted signs at the time of application.

Fee for permit - \$25.00 plus \$0.20 per square foot

Fee for awning based on cost of work - \$25.00 for the first \$1,000.00, \$5.00 for each additional \$1,000.000.

NOTE: Once a sketch plan has been filed for a property, the code enforcement office will keep a record of the plan so that a new sketch plan will not be required for later changes to signage on the property. In such an instance, applicants will only be required to submit information applicable to the new sign.