

HERRIGEL OYSTER BAR

Portland, Maine

MAY 18, 2018

PROJECT CONTACTS

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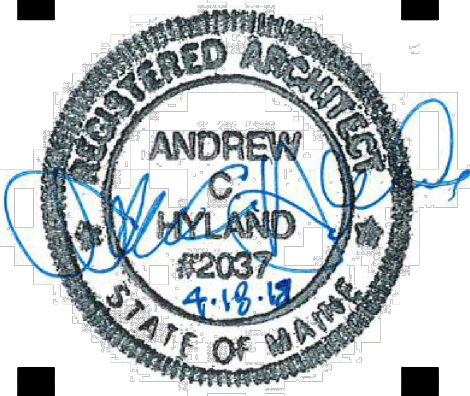


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06/04/2018



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DWG. NO.	DRAWING TITLE	REV. 1	REV. 2	REV. 3	REV. 4	REV. 5
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PROJECT SUMMARY

EXISTING CONDITIONS:
THE CURRENT BUILDING IS A 2-STORY BRICK/WOOD STRUCTURE (WITH A BASEMENT CRAWL SPACE), FORMALLY USED AS A MIXED USE BUSINESS/APARTMENT.

PROJECT DESCRIPTION:
THIS PROJECT WILL CHANGE THE OCCUPANCY FROM A FORMER ANTIQUE SHOP/USE GROUP M) TO A OYSTER BAR (USE GROUP B). THE UPPER LEVEL OF THE CURRENT STRUCTURE WILL REMAIN AN APARTMENT. THE BASEMENT WILL USED FOR STORAGE AND NOT OPEN TO THE PUBLIC. NEW RESTROOMS WILL ALSO BE INSTALLED.

MECHANICAL, ELECTRICAL AND PLUMBING:
THIS PROJECT DOES NOT INCLUDE MECHANICAL, ELECTRICAL OR PLUMBING WORK. ANY MODIFICATIONS TO THESE SYSTEMS WILL REQUIRE ADDITIONAL PERMITS AND WILL BE THE RESPONSIBILITY OF THE CONTRACTORS PERFORMING THE WORK.

SPRINKLER SYSTEM:
NOT APPLICABLE (THERE IS CURRENTLY NO SPRINKLER SYSTEM AND ONE IS NOT REQUIRED).

FIRE ALARM SYSTEM:
NOT APPLICABLE (THERE IS CURRENTLY NO ALARM SYSTEM AND ONE IS NOT REQUIRED).

CIVIL ENGINEERING:
NO EXTERIOR MODIFICATIONS TO THE EXISTING GRADES AND NO CHANGES TO PERVIOUS/IMPERVIOUS SURFACES ARE PROPOSED.

ZONING:
THERE IS NO CHANGE OF USE.

ADA:
ANY AND ALL NEW CONSTRUCTION COVERED ON THESE PLANS SHALL BE ADA COMPLIANT TO THE FURTHEST EXTENT POSSIBLE. ADA RESTROOMS WILL BE ADDED TO THE CURRENT BUILDING.

LEGEND

- DETAIL NUMBER
- SHEET WHERE DETAIL IS DRAWN
- SHEET WHERE DETAIL IS TAKEN
- INDICATES BUILDING SECTION OR BUILDING ELEVATION
- BUILDING SECTION LETTER
- SHEET WHERE BUILDING SECTION IS DRAWN
- SHEET WHERE BUILDING SECTION IS TAKEN
- INTERIOR ELEVATION NUMBER
- SHEET WHERE ELEVATION IS DRAWN
- DEMO WALL FINISH
- EXISTING EXTERIOR WALL
- EXISTING WALL TO BE REMOVED
- EXISTING INTERIOR WALL
- LOBBY ROOM NAME AND NUMBER
- KEY NOTE
- DOOR NUMBER
- COLUMN GRID LINE
- ELEVATION TARGET
- WALL TYPE
- WINDOW TYPE

GENERAL NOTES

- ALL MATERIALS, COMPONENTS, AND WORK ARE NEW AND SHALL BE PROVIDED IN THIS CONTRACT BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
- ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL STATE, NATIONAL AND OTHER CODES AND ORDINANCES WHICH APPLY TO THIS PROJECT.
- IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC. TO COMPLETE A COMPLETE JOB TO INDUSTRY STANDARD IN A PROFESSIONAL WORKMANLIKE MANNER.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCY(IES) IMMEDIATELY TO THE ARCHITECT.
- AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A NEAT AND CLEAN MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS WHICH ARE REQUIRED FOR THE SATISFACTORY COMPLETION OF THE WORK AND FOR PAYING ALL FEES, HOOK UP CHARGES, ETC. (STATE FIRE MARSHAL PERMIT BY OWNER)
- THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER FOR THE SEQUENCE AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. AREAS FOR STAGING ETC. MUST BE APPROVED BY THE OWNER.
- THE CONTRACTOR SHALL DISPOSE OF AND / OR RECYCLE ANY CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY THE STATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DISPOSAL PERMITS WHICH ARE REQUIRED. CONSTRUCTION DEBRIS FROM THE PROJECT SITE SHALL BE DISPOSED OF IN A STATE APPROVED LANDFILL.
- ROOM NUMBERS ON THE DRAWING ARE FOR COORDINATION PURPOSES AND DO NOT NECESSARILY CORRESPOND TO ACTUAL ROOM NUMBERS.
- DUTY OF COOPERATION: RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, THE CONTRACTOR, THE ARCHITECT AND HIS CONSULTANTS. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE OWNER. FAILURE TO NOTIFY THE OWNER COMPOUNDS MISUNDERSTANDING AND MAY INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE OWNER SHALL RELIEVE THE OWNER AND THE ARCHITECT FROM RESPONSIBILITY FROM ALL COSTS.
- THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
- ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL PAYMENT.
- ALL DOORS SHOULD HAVE ADA COMPLIANT LEVER HANDLES.

TYPICAL ABBREVIATIONS

4 AND	DWG DRAWING	IBC INSTALLED BY CONTRACTOR	S SOUTH
ANG ANGLE	E EAST	IN INCHES	SAT SUSPENDED ACOUSTICAL TILE
@ AT	EA EACH	INSUL INSULATION	SCHED SCHEDULE
ADA AMERICAN DISABILITIES ACT	EJ EXPANSION JOINT	INT INTERIOR	SD STORM DRAIN
ADJ ADJUST OR ADJACENT	ELEC ELECTRIC	JT JOINT	SECT SECTION
AFF ABOVE FINISH FLOOR	ELEV ELEVATION	LAM LAMINATED	SF SQUARE FEET
ALUM ALUMINUM	EMP EMPLOYEE	LB POUNDS	SIM SIMILAR
ARCH ARCHITECT OR ARCHITECTURAL	ENCL ENCLOSE	LF LINEAR FEET	SP SHELL PACKAGE
AVG AVERAGE	ENT ENTRY OF ENTRANCE	LL LIVE LOAD	SPEC SPECIFICATIONS
BD BOARD	EQ EQUAL	LWC LIGHT WEIGHT CONCRETE	SS STAINLESS STEEL
BLDG BUILDING	EQUIP EQUIPMENT	MAX MAXIMUM	SQ SQUARE
BLKG BLOCKING	EWC ELECTRIC WATER COOLER	MECH MECHANICAL	STD STANDARD
BM BEAM	EXH EXHAUST	MFG MANUFACTURE	STL STEEL
BO BOTTOM OF	EXIST EXISTING	MH MAN HOLE	STRUC STRUCTURAL
C CENTER LINE	EXP EXPANSION	MIL MILLIMETER	SUSP SUSPENDED
CAB CABINET	EXT EXTERIOR	MIN MINIMUM	SYMM SYMMETRICAL
CLG CEILING	FBO FURNISHED BY OWNER	MSB MAIN SWITCH BOARD	T THERMOSTAT
CLR CLEAR	FDN FOUNDATION	MTD MOUNTED	T & B TOP AND BOTTOM
CMU CONCRETE MASONRY UNIT	FF FINISH FLOOR	MTL METAL	TEL TELEPHONE
CNTR COUNTER	FFE FINISH FLOOR ELEVATION	MW MICROWAVE	TGL TEMPERED GLASS
COL COLUMN	FIN FINISH	N NORTH	THICK THICKNESS
CONC CONCRETE	FIXT FIXTURE	N/A NOT APPLICABLE	TI TENANT IMPROVEMENTS
CONT CONTINUOUS	FLG FLOORING	NAT NATURAL	T.O. TOP OF
COORD COORDINATE	FLR FLOOR	NIC NOT IN CONTRACT	TOJ TOP OF JOIST
COR CORNER	FLUOR FLUORESCENT	* NUMBER	TOS TOP OF STEEL
CPT CARPET	FT FOOT or FEET	NTS NOT TO SCALE	TYP TYPICAL
CW COLD WATER	GA GAUGE	OC ON CENTER	UL UNDERWRITERS LABORATORIES, INC
DBL DOUBLE	GALV GALVANIZED	OH OVER HEAD	UNO UNLESS NOTED OTHERWISE
DEG DEGREE	GC GENERAL CONTRACTOR	PAR PARALLEL	VB VINYL BASE
DHW DOMESTIC HOT WATER	GL GLASS	P/C PRECAST CONCRETE	VERT VERTICAL
DIA DIAMETER	GWB GYPSUM WALL BOARD	PERF PERFORATED	VCT VINYL COMPOSITE TILE
DIM DIMENSION	HGT HEIGHT	PERP PERPENDICULAR	VIF VERIFY IN FIELD
DN DOWN	HM HOLLOW METAL	PL PLATE	W WIDE or WEST
DR DOOR	HORIZ HORIZONTAL	P-LAM PLASTIC LAMINATE	WD WOOD
DS DOWN SPOUT	HR HOUR	PLAS PLASTER	WC WATER COOLER
DW DISH WASHER	HVAC HEATING, VENTILATION & AIR CONDITION	PLEG PLUMBING	W/ WITH
			W/O WITHOUT
			X EXISTING

PERMIT SET - FOR CONSTRUCTION

REVISIONS		
No.	Description	Date

PERMIT SET

HERRIGEL OYSTER BAR
PORTLAND, MAINE

OYSTER BAR

TITLE SHEET

Project Number **18206**
Date **May 18, 2018**
Drawn by **CR**
Checked by **AH**

T1.1

Scale **AS NOTED**

CODE REVIEW

Code Review - IEBC 2009

Chapter 4 - Classification of Work

Section 406.2 - The building shall comply with Chapter 9.

Chapter 9 - Change of Occupancy

Section 912.1.1.1 - The building shall also comply with Chapter 8 of this code (Alterations - Level 3).

Section 912.2.1 - A sprinkler system is not required as the assembly fire area is under 5,000 sf and under 100 occupants and is not above or below the Level of Exit Discharge (see IBC Table 903.2).

Table 912.4 - There is no change to the Means of Egress Classification
Section 912.4.2 - Existing egress elements shall comply with IEBC Section 805. New egress elements shall comply with IBC Chapter 10.

Section 805.1 - Means of egress shall comply with IEBC Section 705 (existing egress elements).

Section 705.3.1.1(1) - Two means of egress from the main level are not required as the occupant load does not exceed 50.

Section 705.6 - Dead-end corridors shall not exceed 35'.

Section 705.9.1 - The stair off the existing exterior deck is required to have a handrail on (at least) one side.

Section 805.2 - Means of egress lighting is required on the work floor (this will be included in the electrical portion of the work and under a separate permit).

Section 805.3 - Exit signage is required (see Floor Plan for locations).

Table 912.5 - The building is not increasing the Height/Area Hazard Category (A-3 to A-2 is a Relative Hazard 2).

Section 912.5.2 - The height and area of the existing building is acceptable.

Table 912.6 - There is no change to the Exposure of Exterior Walls Hazard Category (all Assembly is a Relative Hazard 3).

Section 912.6.2 - The existing exterior walls (including openings) shall be accepted.

Section 912.7.2 - Due to the unchanged Means of Egress Hazard Category (Table 912.4), the existing interior stair is not required to be enclosed. Note: A door at the top of the stair will be installed to prevent the passage of smoke from the lower level to the upper level.

Section 912.8.2 - See notes under Section 310.4.2.

Code Review - NFPA 101 (Life Safety) 2009

Chapter 6 - Classification of Occupancy

Section 6.1.1.4.2.3 - A multiple occupancy where the occupancies are separated by fire resistance-rated assemblies.

Table 6.1.1.4.4.1 - A 2-hr rated ceiling is required to separate the apartment occupancy from the restaurant below.

Chapter 43 - Building Rehabilitation

Section 43.1.2.2 - This project shall comply with Section 43.7 due to the Change of Use (Business to Restaurant).

Section 43.7.1.1 - The Change of Use does not involve a change of occupancy classification per Table 43.7.3 and shall comply with Chapter 13 (Existing Mercantile Occupancies).

Section 43.7.2.1 - The Change of Use does not involve a change of occupancy classification per Table 43.7.3 and shall comply with Chapter 36 (Existing Mercantile Occupancies) and Chapter 37 (New Mercantile Occupancies) for the sprinkler and fire alarm systems.

Table 43.7.3 - The Change of Use does involve a change of occupancy classification as the previous use (Retail) is business and the new restaurant use is Mercantile (per A.3.3.187.2).

Chapter 36 - New Mercantile Occupancies

Note - Per Chapter 43, only the sprinkler and fire alarm/communications requirements of this chapter shall apply.

Section 36.3.4.1 - A fire alarm is not required.

Section 36.3.5.1 - A sprinkler system is not required as the use is not any of the uses listed.

Chapter 37 - Existing Mercantile Occupancies (Class - C)

Section 37.2.4.1 - Not less than 2 exits shall be provided from every story.

Section 37.2.5.2 - Dead end corridors shall not exceed 50 feet.

Section 37.2.5.3.2 - Common Path of travel shall not exceed 75 feet.

Section 37.2.6.2 - Travel distance to an exit shall not exceed 150 feet.

Section 37.3.4 - A fire alarm system is not required.

Section 37.3.5 - A sprinkler system is not required.

Section 37.3.5.3 - Portable fire extinguishers shall be provided in all mercantile occupancies in accordance with 9.7.4.1.

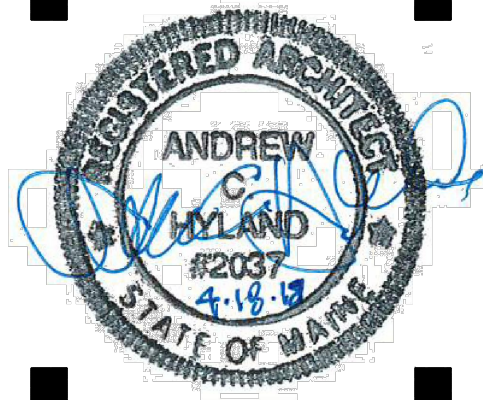


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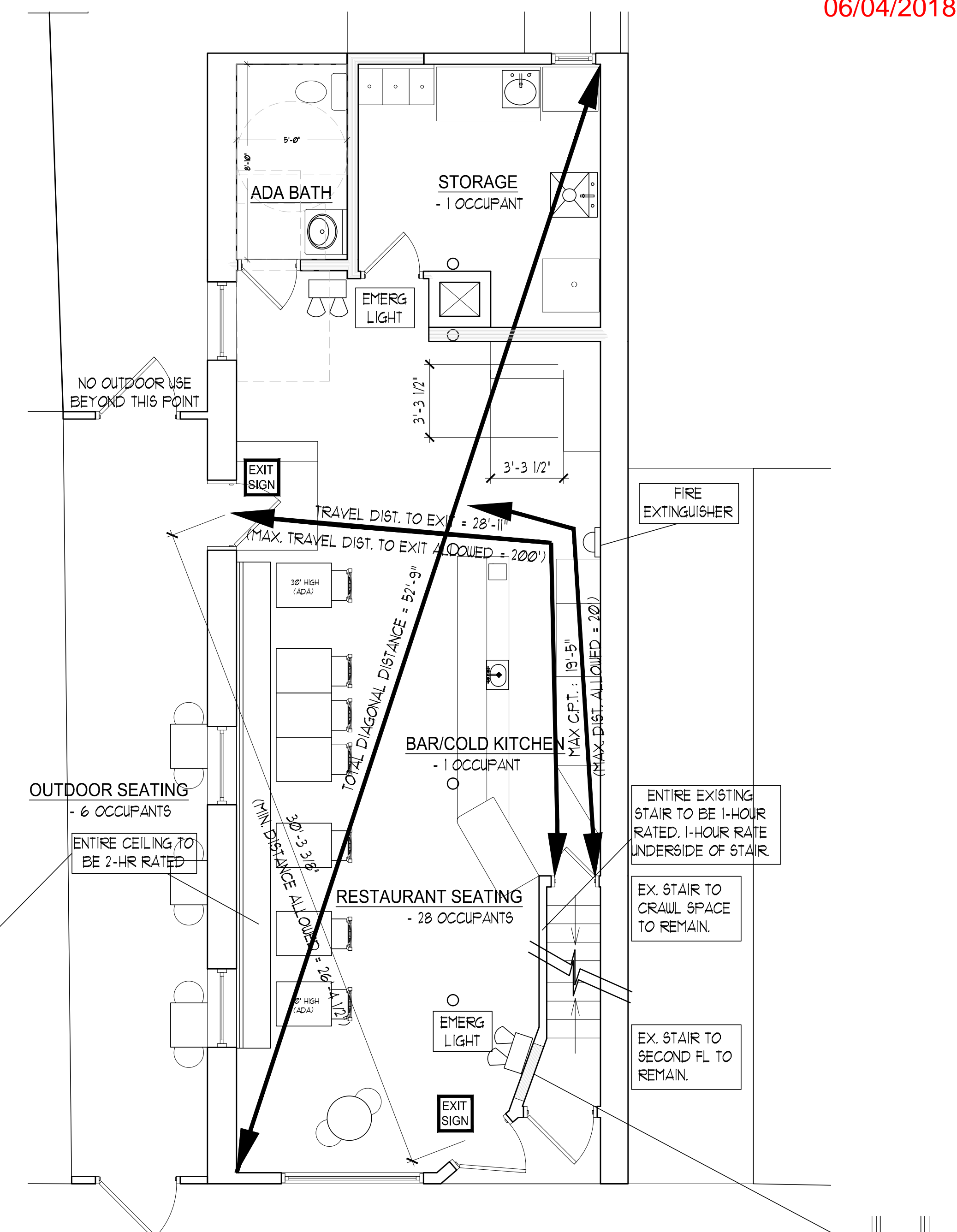
**HERRIGEL
OYSTER BAR**
PORTLAND, MAINE
OYSTER BAR

CODE REVIEW

Project Number	18206
Date	May 18, 2018
Drawn by	CR
Checked by	AH

T-11

Scale AS NOTED



FLOOR/CEILING - UL DESIGN# L511
1X HDWD FLOOR (EXISTING)
1X SUBFLOOR (EXISTING)
2X10(MIN) FLOOR JOISTS (EXISTING)
1X3 WD STRAPPING @ 16" O.C.
5/8" GWB FIRECODE C CORE
RESILIENT CHANNELS @ 24" O.C.
5/8" GWB FIRECODE C CORE

WALL - UL DESIGN# U327
5/8" GWB APPLIED VERTICALLY
25 GA FURRING CHANNELS INSTALLED HORIZONTALLY @ 24" O.C.
2X6 WD STUDS @ 16" O.C.
BLOCKING AS REQ'D TO MATCH EXISTING WALL THICKNESS
5/8" GWB APPLIED VERTICALLY

TOTAL SQUARE FEET: 115
TOTAL OCCUPANT LOAD: 36 OCCUPANTS
TOTAL SEATING OCCUPANTS LOAD: 36 PEOPLE
9 FIXED SEATS = 9 PEOPLE
342 LINEAR INCHES OF BENCH / 18 INCHES = 19 PEOPLE
6 OUTDOOR SEATING = 6 PEOPLE
TOTAL STORAGE OCCUPANT LOAD: 1 PERSON
116 SQFT / 300 SQFT = 1 PERSON
TOTAL BAR/KITCHEN OCCUPANT LOAD: 1 PERSON
10 SQUARE FEET / 100 = 1 PERSON

PLUMBING FIXTURE COUNT PER 2015 IPC:
TOTAL OCCUPANT LOAD = 38 PEOPLE
MALE OCCUPANTS = 19 PEOPLE
FEMALE OCCUPANTS = 19 PEOPLE
MALE FIXTURES REQUIRED (A-2 OCCUPANCY):
1 TOILETS / 1 URINAL / 1 SINK
FEMALE FIXTURES REQUIRED (A-2 OCCUPANCY):
1 TOILETS / 1 SINK
NOTE: THIS FIXTURE COUNT WILL ACCOMMODATE
A TOTAL OCCUPANT LOAD UP TO 50
NOTE: PER STATE STATUTE FOR RESTAURANTS
UP TO 40 SEATS, ONE SINGLE USE BATHROOM
IS ALLOWED.

EXIT SIGNAGE NOTE:
SEE EGRESS PLAN FOR EXIT SIGNAGE LOCATIONS. CONFIRM EXACT LOCATIONS WITH LOCAL AHJ. VERIFY SIGNAGE CAN BE SEEN IN ALL AREAS OF FIRST FLOOR. SOME DIRECTIONAL SIGNAGE MAY BE REQUIRED. CONTRACTOR OPTION TO INCLUDE EMERGENCY LIGHTING / EXIT SIGNAGE COMBO FIXTURES.

NOTE:
EMERGENCY LIGHTING IS REQUIRED (INCLUDE WITH ELECTRICAL PERMIT). SEE EGRESS PLANS FOR LIGHTING LOCATIONS. CONTRACTOR TO FIELD VERIFY EXACT LOCATIONS WITH LOCAL AHJ. CONTRACTOR TO CONFIRM EXACT LIGHTING FIXTURE AND LUMEN LEVELS WITH LOCAL AHJ TO VERIFY COMPLIANCE WITH ALL APPLICABLE CODES.

FIRE EXTINGUISHER NOTE:
FIRE EXTINGUISHERS SHALL BE BRACKET MOUNTED OR IN A RECESSED (OR SEMI-RECESSED) CABINET WITH THE HANDLE AT 42" AFF. FIRE EXTINGUISHER IN THE SPACE TO BE CLASS ABC (SEE PLAN FOR LOCATIONS). CONFIRM EXACT SIZE W/ LOCAL JURISDICTION.

IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY
SCALE 1"=1'
SCALE 3/4"=1'
SCALE 1/2"=1'
SCALE 1/4"=1'
SCALE 1/8"=1'

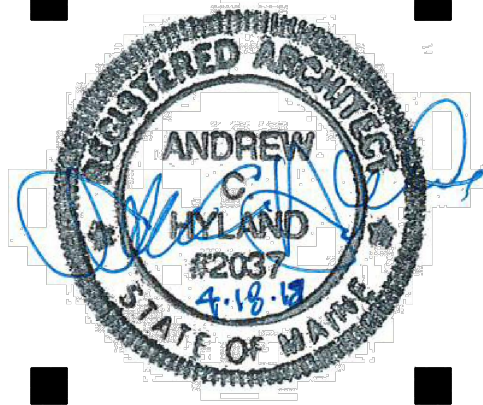


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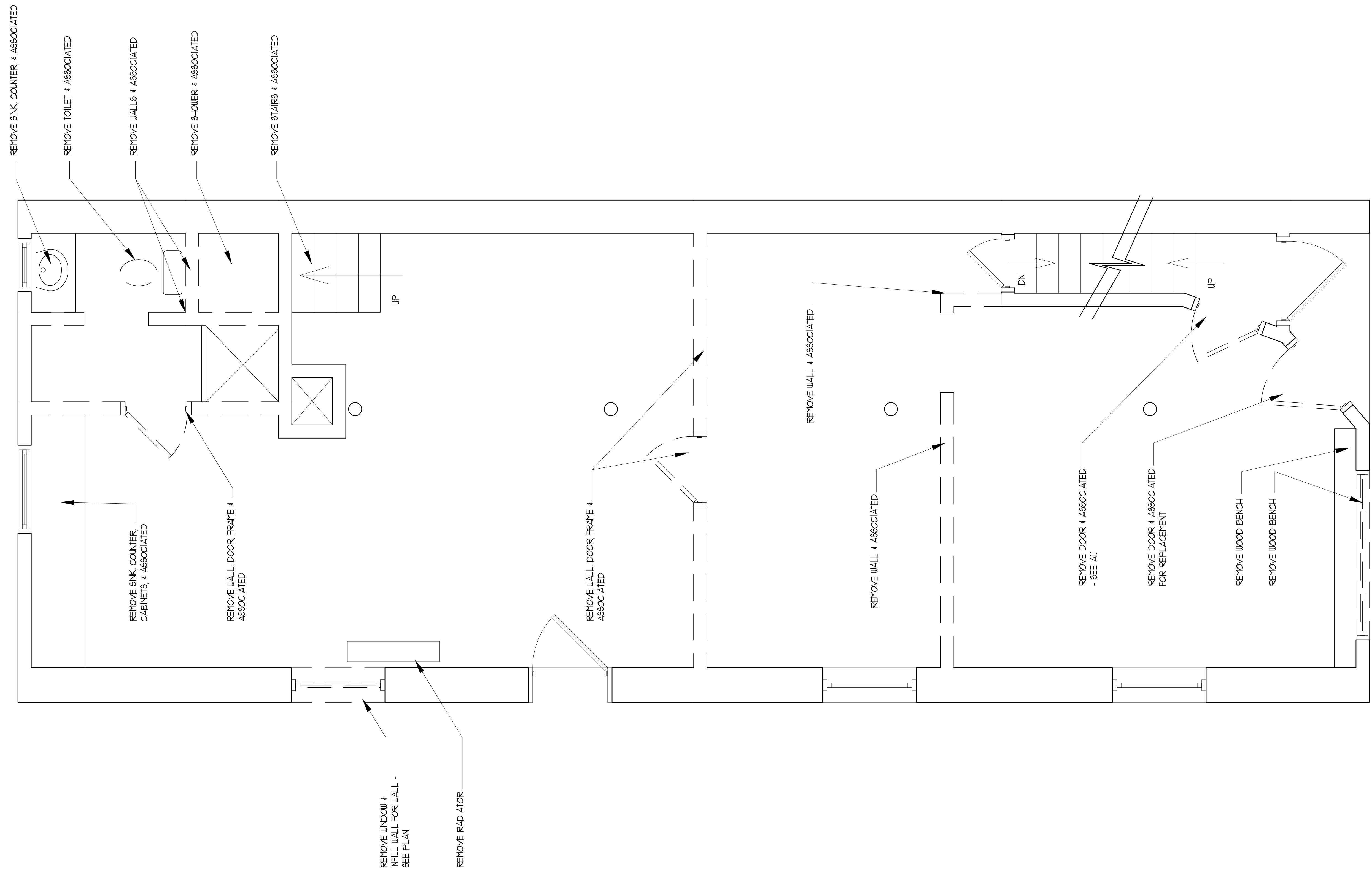
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0 2 4 6 8 12 SCALE 1/4"=1'

0 1 2 3 4 6 SCALE 1/2"=1'

0 1 2 3 4 6 SCALE 3/4"=1'

0 1 2 3 SCALE 1"=1'



1 DEMO FLOOR PLAN
SCALE: 1/2" = 1'-0"

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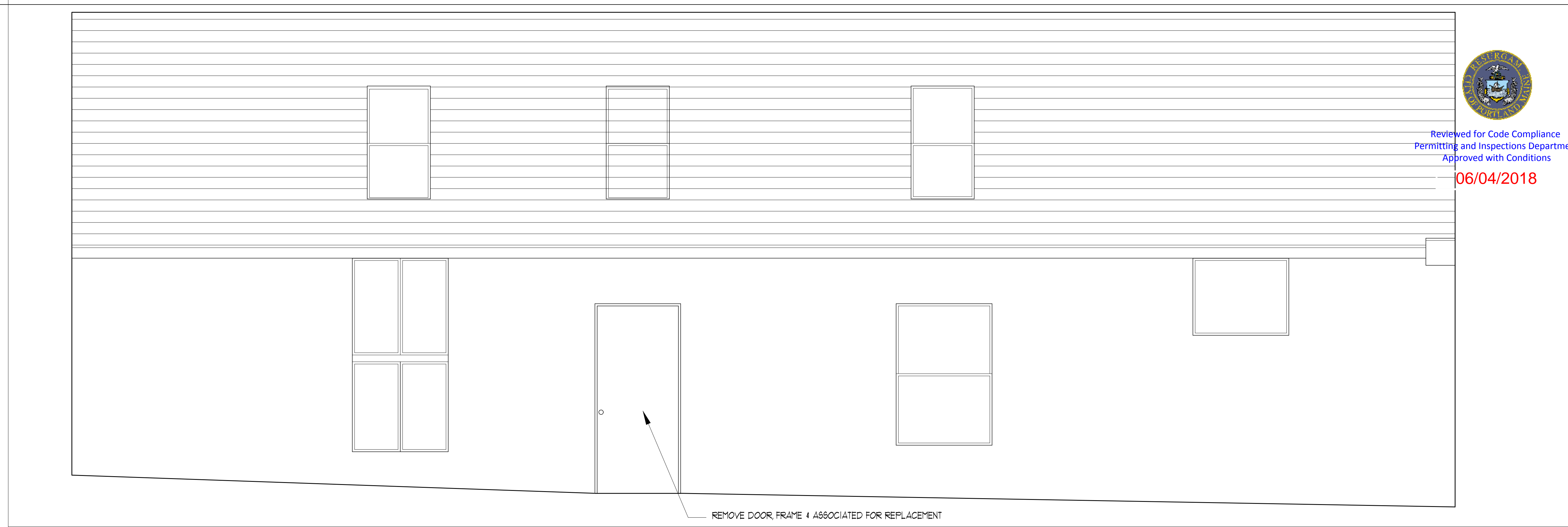
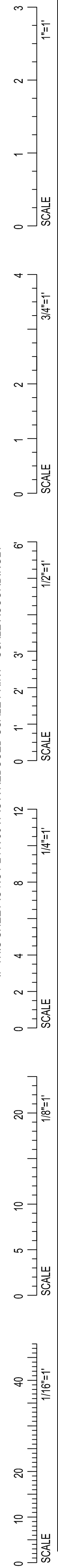
HERRIGEL OYSTER BAR
PORTLAND, MAINE
OYSTER BAR

DEMO PLANS

Project Number **18206**
Date **May 18, 2018**
Drawn by **CR**
Checked by **AH**

D1.1
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REMOVE DOOR, FRAME & ASSOCIATED FOR REPLACEMENT

2 DEMO ELEVATION SCALE: 1/2" = 1'-0"



REMOVE PORTION OF WALL TO ACCOMMODATE WINDOW - SEE ELEVATION

REMOVE WINDOW, FRAME, WOOD INSET, & ASSOCIATED

REMOVE WOOD BANNER

REMOVE WOOD PANELS, WINDOW, FRAME, TRIM & ASSOCIATED

REMOVE DOOR, FRAME & ASSOCIATED FOR REPLACEMENT

1 DEMO ELEVATION SCALE: 1/2" = 1'-0"

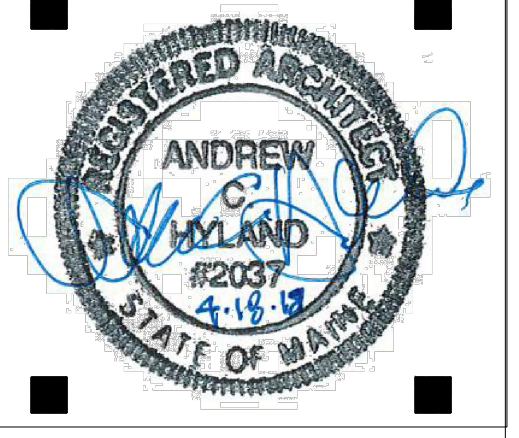


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OYSTER BAR
PORTLAND, MAINE

OYSTER BAR

DEMO
ELEVATIONS

Project Number 18206
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D2.1

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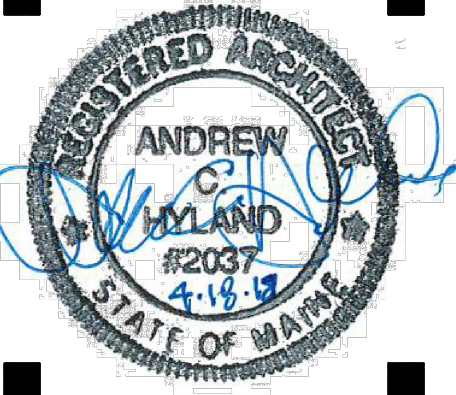


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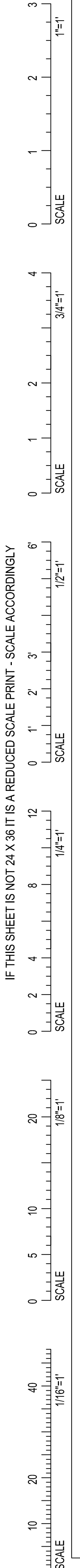
OYSTER BAR

FLOOR PLAN

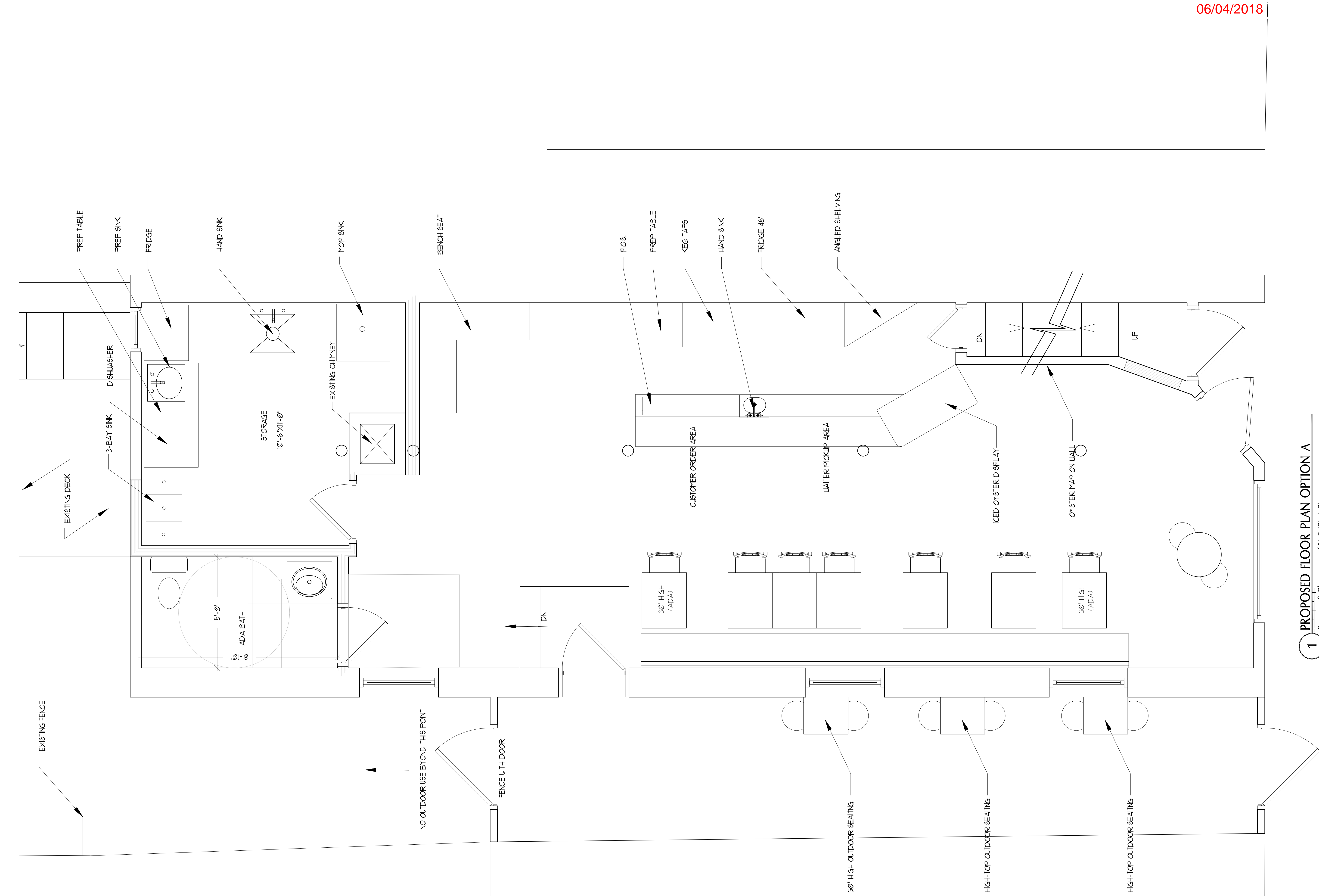
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1 PROPOSED FLOOR PLAN OPTION A
SCALE: 1/2" = 1'-0"

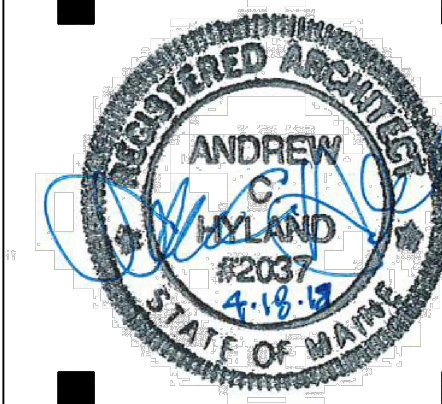


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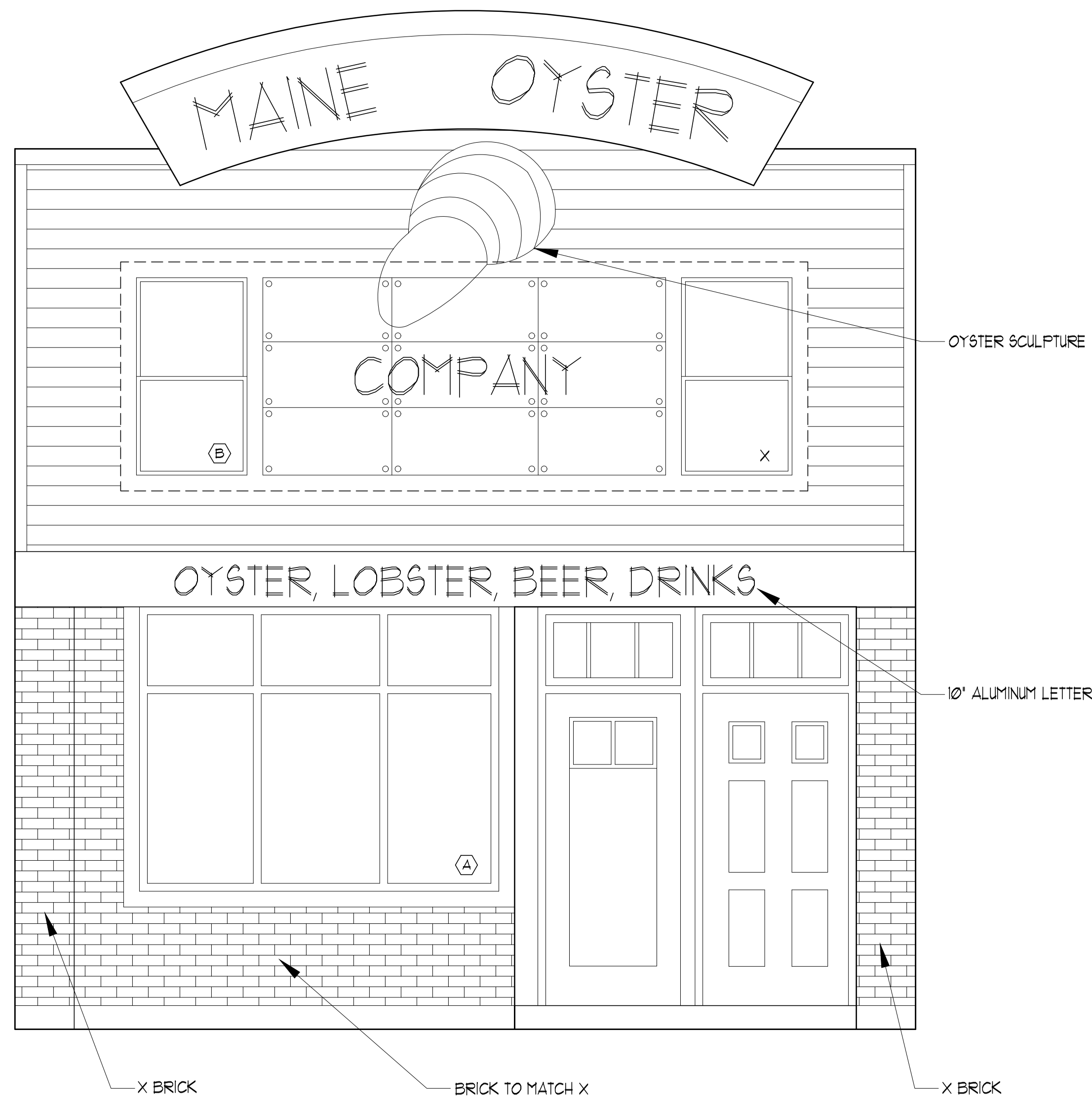
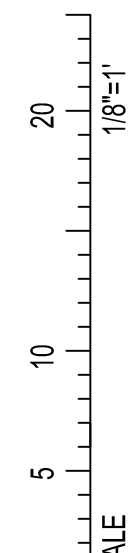
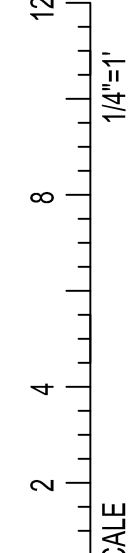
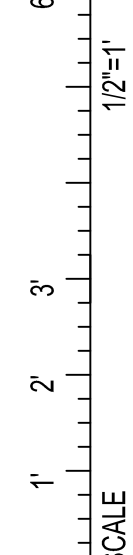
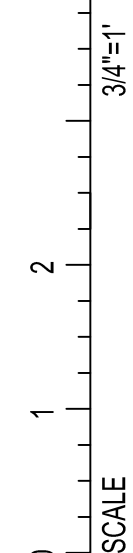
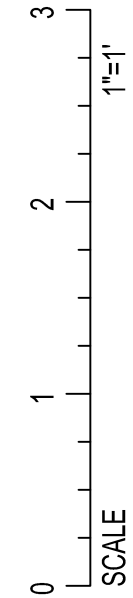
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1 ELEVATION
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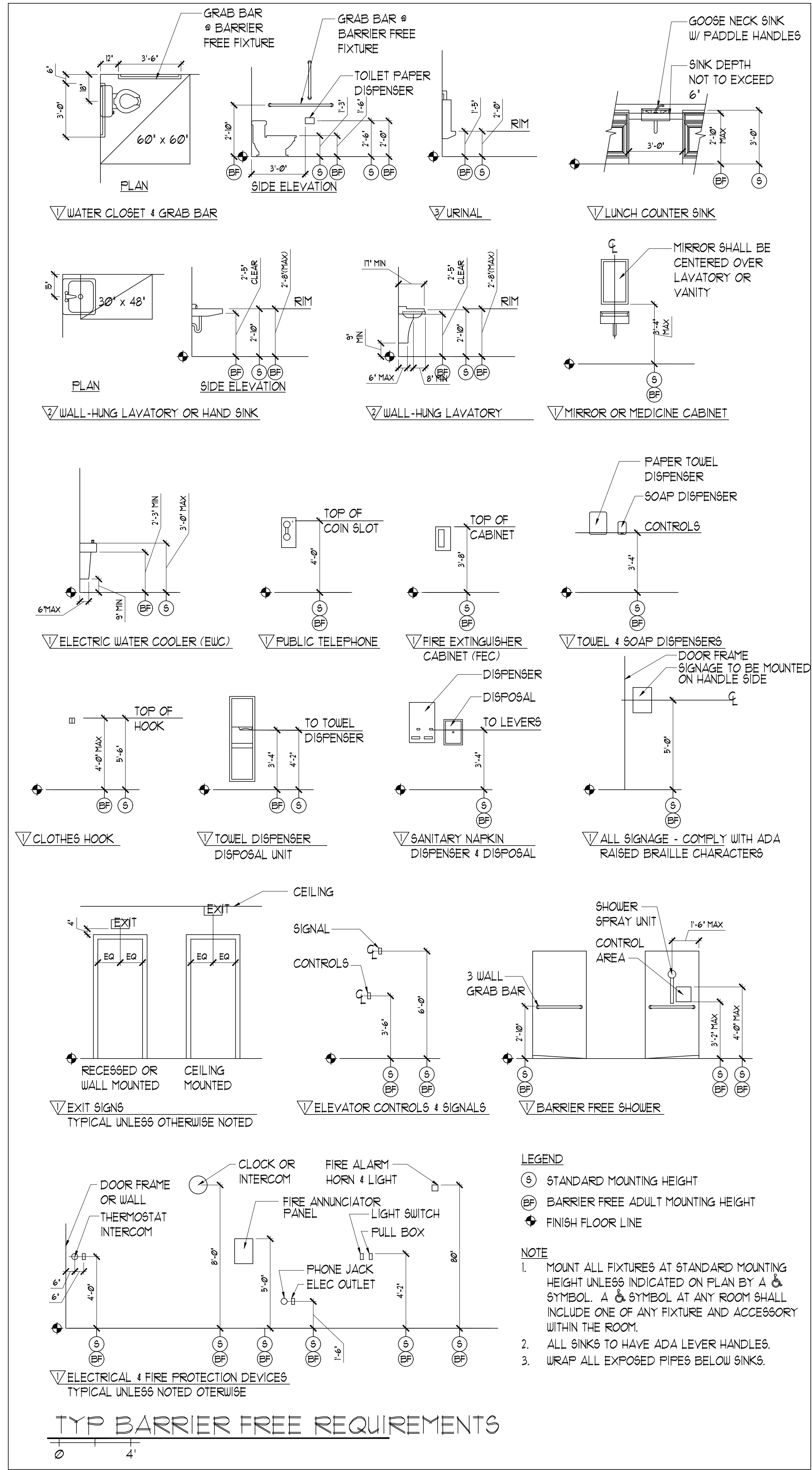
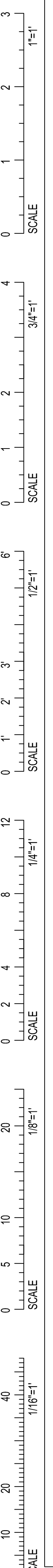
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A2.1

Scale AS NOTED

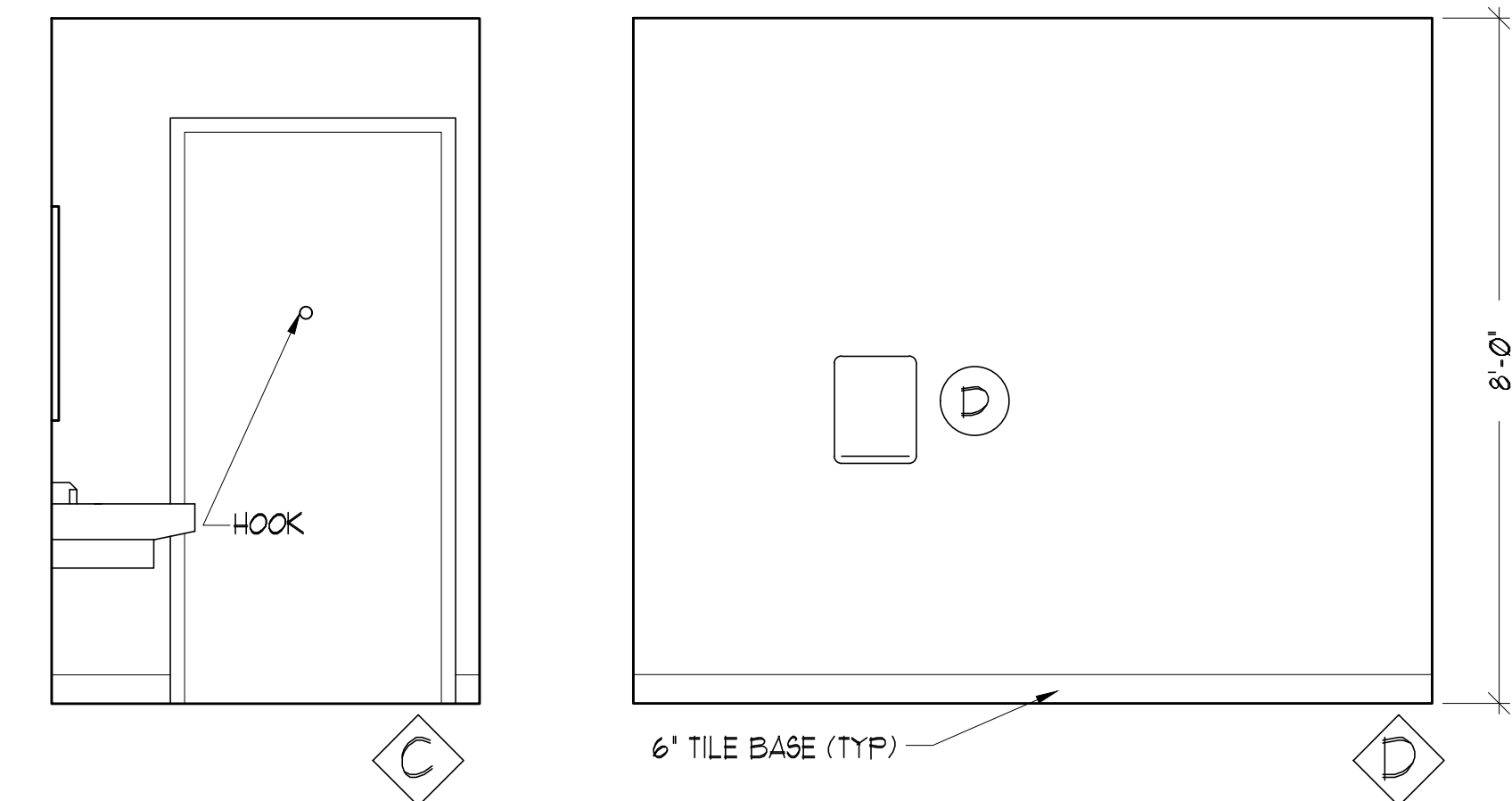
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- LEGEND**
- ⊙ STANDARD MOUNTING HEIGHT
 - ⊕ BARRIER FREE ADULT MOUNTING HEIGHT
 - ◆ FINISH FLOOR LINE
- NOTE**
1. MOUNT ALL FIXTURES AT STANDARD MOUNTING HEIGHT UNLESS INDICATED ON PLAN BY A ⊙ SYMBOL. A ⊕ SYMBOL AT ANY ROOM SHALL INCLUDE ONE OF ANY FIXTURE AND ACCESSORY WITHIN THE ROOM.
 2. ALL SINKS TO HAVE ADA LEVER HANDLES.
 3. WRAP ALL EXPOSED PIPES BELOW SINKS.

BATHROOM ACCESSORIES SCHEDULE			
NUMBER	ITEM	MOUNTING HEIGHT	NOTES
A	3'-6" DIA GRAB BAR	⊕ @ 2'-10" AFF	...
B	3'-0" DIA GRAB BAR	⊕ @ 2'-10" AFF	...
C	TOILET PAPER DISPENSER	⊕ @ 20" AFF	...
D	PAPER TOWEL DISPENSER	TOWELS @ 42" AFF	...
E	LAV. GAIRD
F	24" x 36" MIRROR	BOTTOM @ 40" AFF	...
G	SOAP DISPENSER
H	2'-4" DIA GRAB BAR	BOT @ 3'-6" AFF	90°

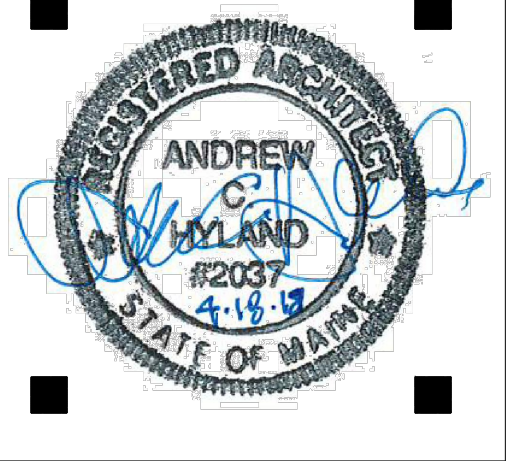
2 BATHROOM ENLARGED PLAN
SCALE: 1/2" = 1'-0"



1 BATH 101 INTERIOR ELEVATIONS
SCALE: 1/2" = 1'-0"

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
06/04/2018

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PERMIT SET - FOR CONSTRUCTION

REVISIONS		
No.	Description	Date

PERMIT SET

HERRIGEL OYSTER BAR
PORTLAND, MAINE
OYSTER BAR

INTERIOR ELEVATIONS
Project Number 18206
Date May 18, 2018
Drawn by CR
Checked by AH

A3.1
Scale AS NOTED