

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING INSPECTION PERMIT

PERMIT ISSUED
 Permit Number: 060264
MAR 13 2006
CITY OF PORTLAND

This is to certify that NELSON JOHN P /John P Nelson

has permission to Interior renovations on 2nd floor apt.

AT 23 HANOVER ST

033 J002001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Verification of inspection must be given and when permission procedure before this building or part thereof is closed or required closed-in. YOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. see D Case 0-8-06

Health Dept. _____

Appeal Board _____

Other _____
DepartmentName

[Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0264	ISSUE DATE: PERMIT ISSUED MAR 13 2006	BL: 033 J002001
Owner Address: 52 THOMPSON ST	Contractor Address: Portland	Phone:
Permit Type:		Zone: B2b

Location of Construction: 23 HANOVER ST	Owner Name: NELSON JOHN P
Business Name:	Contractor Name: John P Nelson
Lessee/Buyer's Name	Phone:

Past Use: Multi family 4 unit <i>legal use</i>	Proposed Use: Multi family 4 unit interior renovations on 2nd floor apt. <i>: 3 dwelling units</i>
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Permit Fee: \$93.00	Cost of Work: \$8,000.00	CEO District: 1
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FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group <i>R2</i> Type: <i>5 B</i> <i>3/10/06</i>
Signature: <i>Craig Carr</i>	Signature: <i>[Handwritten]</i>

Proposed Project Description:
Interior renovations on 2nd floor apt.

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: dmartin	Date Applied For: <i>02/28/2006</i>
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Zoning Approval

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews

Shoreland
 Wetland
 Flood Zone
 Subdivision
 Site Plan

Maj Minor MM

OK w/conditions
Date: *3/7/06* *ABM*

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Date: _____

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review
 Approved
 Approved w/Conditions
 Denied

ABM
Date: _____

CERTIFICATION

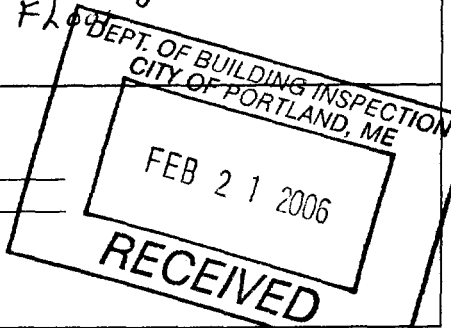
I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK. TITLE		DATE	PHONE



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on **any** property within the City, payment arrangements **must** be made before permits of any kind are accepted.

Location/Address of Construction: <u>20 Hanover Street</u>		
Total Square Footage of Proposed Structure <u>1700 sq Feet 2nd Floor</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>33</u> Block# <u>J</u> Lot# <u>002</u>	owner: <u>John P. Nelson</u>	Telephone: <u>799 3929</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>John P. Nelson</u> <u>52 Thompson St</u> <u>South Portland maine</u> <u>Remodeling Contractor</u>	Cost Of Work: \$ <u>8000.00</u> Fee: \$ <u>93</u> C of O Fee: \$ <u>N/A</u>
Current Specific use: <u>APT.</u>	Proposed Specific use: <u>APT.</u>	
Project description: <u>518 hi wide stutrock ceiling</u> <u>New suspended ceiling & 4 doors</u> , <u>Sheetrock</u> Existing <u>walls over plaster</u> , <u>New Doors & Trim</u> <u>New wiring for Apt.</u> <u>Lights & Rec.</u> <u>Sand Floors & Paint</u> <u>2nd Floor</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>John P. Nelson</u>		
Mailing address: Phone: <u>799 3929</u>		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

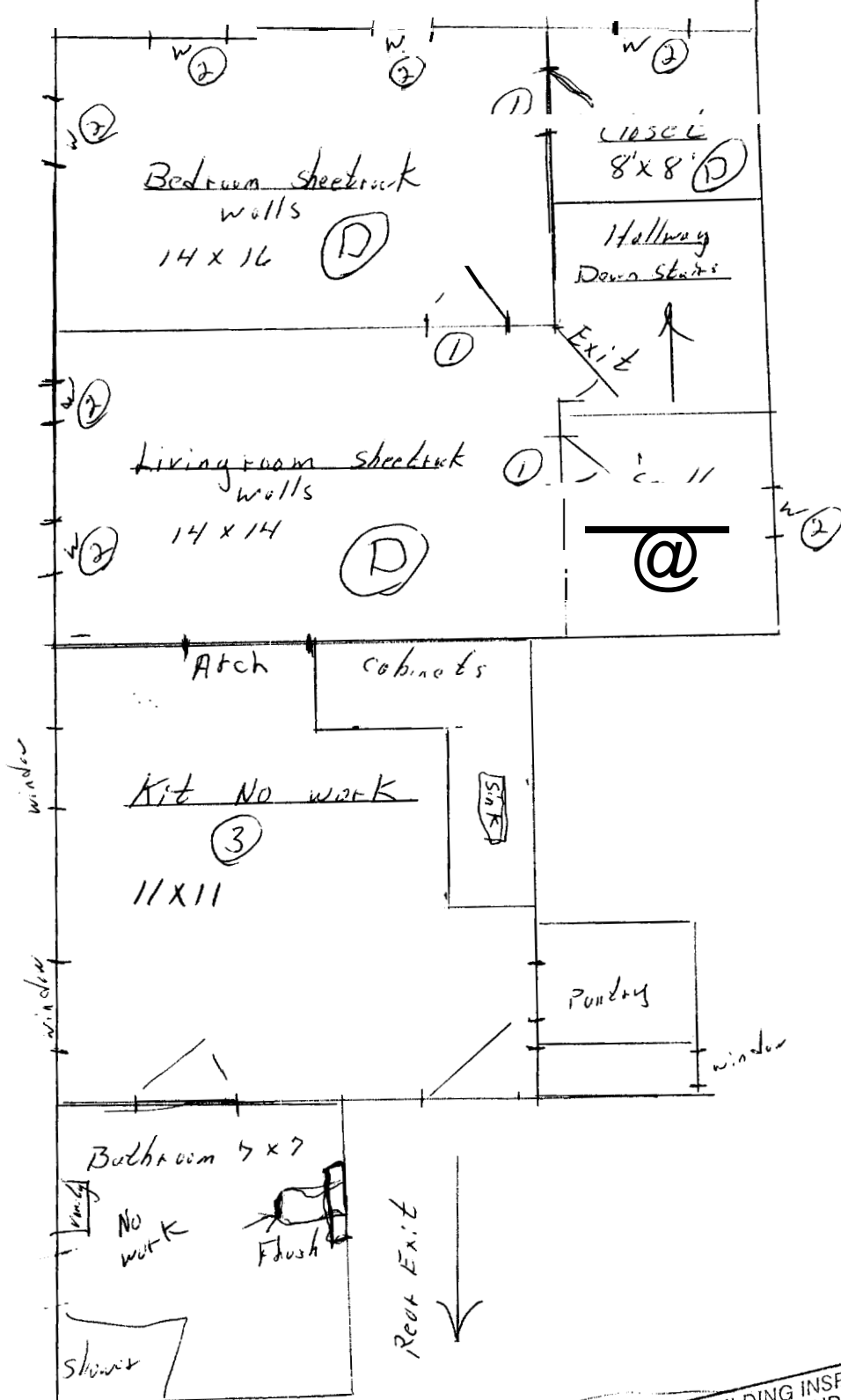
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Signature of applicant: <u>John P. Nelson</u>	Date: <u>Feb</u>
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This is not a permit; you may not commence ANY work until the permit is issued.

2nd Floor Apt.
23 Hancock St

- ① New Doors & Frame 3
- ② New Window Trim
- ③ Kit No work
- ④ Rooms sheetrocked
Livingroom - Bedroom
closet - Small Room



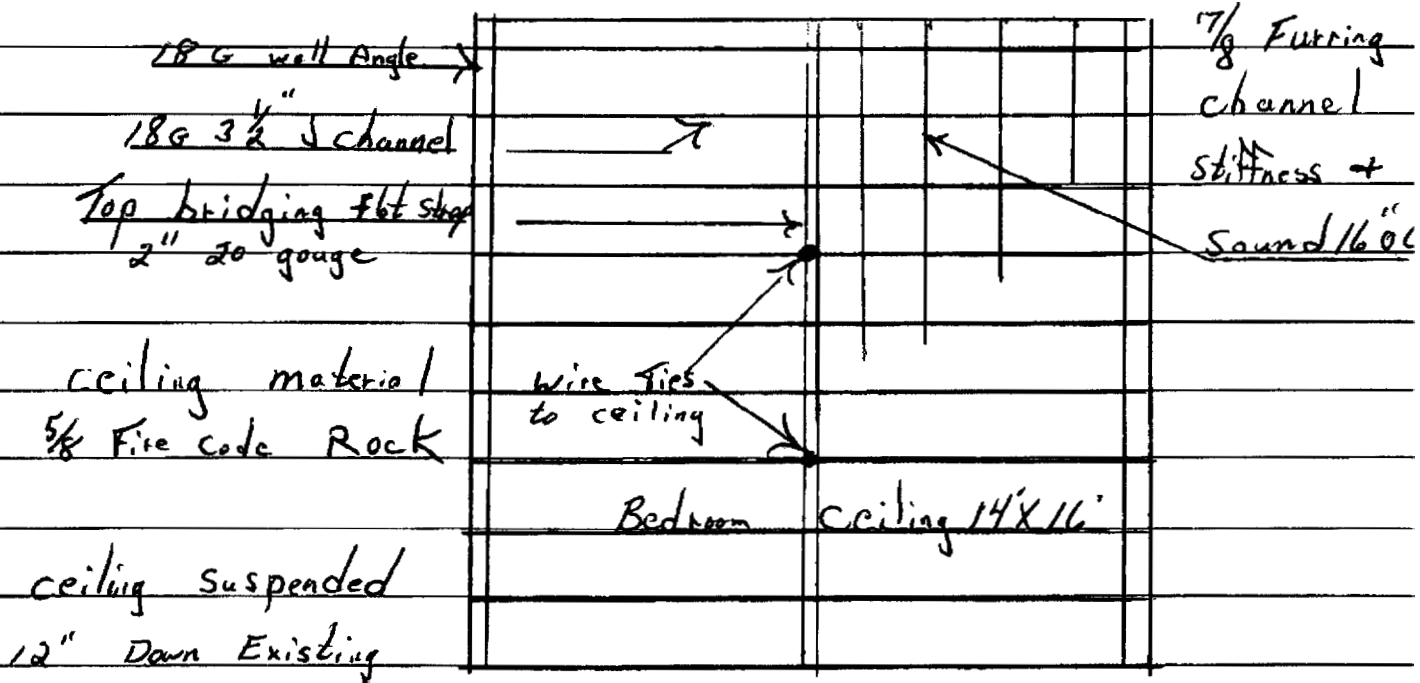
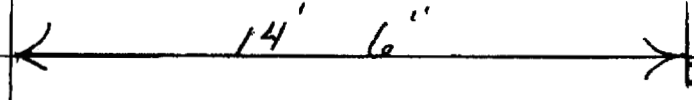
2 1/2 Story

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
FEB 21 2006
RECEIVED

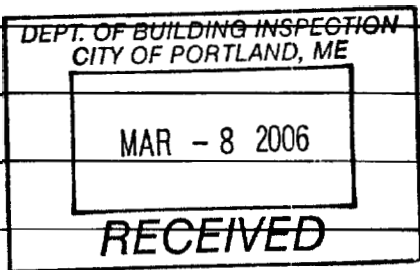
← Down

17

Michael Nugent Ceiling Frame Detail



John Nelson ^B '799 3929 ^C 329 1612
 2nd Floor Permit
 23 Hanover st
 Portland me.



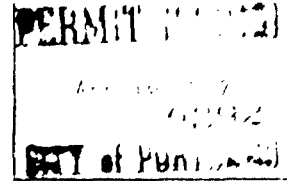


APPLICATION FOR PERMIT

Class of Building - Type of Structure

Portland, Maine,

April 13, 1972



To the INSPECTOR OF BUILDINGS - PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine the Building Code and Zoning Ordinance of the City of Portland plans and specifications if any submitted herewith and the following specifications:

Location	342 1/2	Within Fire Limits?	Dist. No.
Owner's name and address	Daniel O. Rozzatt, Rt. 1,	Wells, Maine	Telephone
Lessee's name and address			Telephone
Contractor's name and address			Telephone
Architect		Specifications	Plans
			No. of sheets
Proposed use of building	2 family & retail shop on first floor		No. families 2
Existing use	2 family apt. house		No. families 2
Material	No. stories	Heat	Style of roof
			Roofing
Other buildings on same lot			
Estimated cost \$			Fee \$ 5.00

General Description of New Work

To change from 2 family apt. to 2 family & retail store on first floor.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** owner

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____

Has septic tank notice been sent? _____ Form notice sent? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Framing Lumber Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____

Size Girders _____ Columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:
D. K. [Signature] 4/17/72

Miscellaneous

Will work require disturbing of any tree on a public street? _____

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? **yes**