City of Portland, Maine – Build		Jos Congress		
Location of Construction: 14 Hanover St	Owner: Diversified Finance	Lai Systems	Phone:	Permit No: 9 7 0 8 0 1
Owner Address:	Lessee/Buyer's Name:	Phone:	BusinessName:	PERMIT ISSUED
Contractor Name: ***	Address: 34 (Apt 5) Gilman St Proposed Use:	Ptld HE 0411 COST OF WORK \$ 23,000.00	02 823-0824	Permit Issued:
Illegel 3-fem	2-£ som	FIRE DEPT. D	pproved inspection: Use Group: Type	CITY OF PORTLAND Zone: CBL: 033-1-016
Proposed Project Description: General Ennovations - 1	lio structural work or changes	Action: A	Signature: CTIVITIES DISTRICT (P.A.D) pproved pproved with Conditions: enied Date:	Special Zone or Reviews: Shoreland Wetland Flood Zone Subdivision
Permit Taken By:	Date Applied For:	aly 1997	110	☐ Site Plan maj ☐minor ☐mm Zoning Appeal
2. Building permits do not include plumbin	tarted within six (6) months of the date of issu			☐ Variance ☐ Miscellaneous ☐ Conditional Use ☐ Interpretation ☐ Approved ☐ Denied
Debris to be removed by	y P/U	L.	PERMIT ISSUED THE REQUIREMENTS	Historic Preservation ☐ Not in District or Landmark ☐ Does Not Require Review ☐ Requires Review Action:
I hereby certify that I am the owner of record of authorized by the owner to make this application if a permit for work described in the application areas covered by such permit at any reasonab	tion as his authorized agent and I agree to come is issued, I certify that the code official's at le hour to enforce the provisions of the code(ork is authorized by the aform to all applicable uthorized representatives) applicable to such processing to the s)	owner of record and that I have laws of this jurisdiction. In addi- te shall have the authority to ent- bermit	been
SIGNATURE OF APPLICANT HAR	ADDRESS:	DATE:	PHONE:	
RESPONSIBLE PERSON IN CHARGE OF W	ORK, TITLE	10 1-100-	PHONE:	CEO DISTRICT
White	e-Permit Desk Green-Assessor's Cana	ry-D.P.W. Pink-Pub	lic File Ivory Card-Inspecto	r

COMMENTS

Did wath Mrs - talked to contractor about five rating caress, +	fre doors - 160 - told them to till an amendment for adding	15 - possibly chi	35m2 18 11 12 14 9 18 18 18 18 5 5 5 5 1 18 1 18 1	50000 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	Trimer The of Sand of dates 1 legions 12 will be moderal	Sold States	Dormer Raffers Twingse (1) one or place punch with existing hather	Darmed Framing Ot Justin	of Comme			
8/4/97 Did walk	the door		12/99 L Donner	1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1	and yet Same	Man Cast	10-24-90 Dosmes	2-Darin	9 16/14/			

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Date			
Type			

City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716 Location of Construction: Owner: Phone: Diversified Financial Systems 14 Hanover St Owner Address: XXXXee/Buyer's Name: Phone: BusinessName: Blackburn, Richard Permit Issued: Contractor Name: Address: Phone: JUL 2 8 1997 M & M Industries 823-0824 34 (Apt 5) Gilman St Ptld, ME 04102 COST OF WORK: PERMIT FEE: Past Use: Proposed Use: 135,00 \$ 23,000.00 FIRE DEPT. Approved INSPECTION: Illegal 3-fam 2-fam ☐ Denied Use Group: Type: CBL: Zone: 033-I-016 Signature: Signature: Zoning Approval Proposed Project Description: PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved Special Zone or Reviews Approved with Conditions: □ Shoreland An Iv General Renovations - No structural work or changes Denied ☐ Subdivision Signature: Date: ☐ Site Plan mai Permit Taken By: Date Applied For: Mary Gresik 23 July 1997 □ Variance This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules. ☐ Miscellaneous Building permits do not include plumbing, septic or electrical work. ☐ Conditional Use □ Interpretation 3. Building permits are void if work is not started within six (6) months of the date of issuance. False informa-☐ Approved tion may invalidate a building permit and stop all work.. ☐ Denied Historic Preservation DiNot in District or Landmark El Does Not Require Review ☐ Requires Review Debris to be removed by P/U Action: CERTIFICATION ☐ Appoved □ Approved with Conditions I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been ☐ Denied authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit 34-5 billiand ST Portrany 23 July 1997 PHONE: RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE: CEO DISTRICT

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

970994

INSPECTION COPY - WHITE

APPLICANT'S COPY — YELLOW

APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. _

Portland, Maine, _



To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

04 September 1997

33-I-016 The undersigned hereby applies for amendment to Permit No. 970801 pertaining to the building or structure comprised

Mark Mawhinney

Secror of Buildings

Location 14 Hanover St	Within Fire Limits? 2-fam Dist. No.
Owner's name and address Richard Blackbur	Telephone
Lessee's name and address	Telephone
Contractor's name and address M & M Indust	ries 34 Gilman St #5 Ptld, Melephone 823-082
Architect	Plans filedNo. of sheets_
Proposed use of building 2-fam w/dormers	No, families
Last use2-fam	No. families
Increased cost of work -0-	Additional fee 25.00

Description of Proposed Work

Original permit was issued for general rehab - no plans were attached. Original permit did include cost of work for entire project.

Details of New Work

Is any plumbing involved in	this work?	Is any el	lectrical work in	volved in this work?
Height average grade to top	of plate	Height avera	age grade to hig	hest point of roof
Size, frontdepth _	No. stories_	solid or f	illed land?	earth or rock?
Material of foundation	Thic	kness, top	bottom	cellar
Material of underpinning		Height		Thickness
Kind of roof	Rise per foot	Roof cov	vering	
No. of chimneys	Material of chimneys _	-		of lining
Framing lumber — Kind		Dressed o	or full size?	
Corner posts S	ills Girt or l	edger board?		Size
GirdersSize	Columns unde	r girders	Size	Max. on centers
Studs (outside walls and car	rying partitions) 2x4-16	8" O.C. Bridging	in every floor ar	nd flat roof span over 8 feet.
Joints and rafters:	1st floor	, 2nd	, 3rd	, roof
On centers:	1st floor	, 2nd	, 3rd	, roof
Maximum span: 2 mil	Alst floor S R-10	, 2nd	, 3rd	, roof
Approved:	1 4	1		

FILE COPY - PINK

ASSESSOR'S COPY - GOLDEN

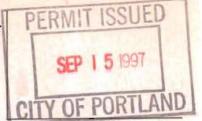
Signature of Owner

Approved



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. ___ Portland, Maine, ____



To the INSPECTOR OF BUILDINGS POPTI AND MAINE 04 September 1997

To the INSTECTOR OF DUILDINGS, F			
The undersigned hereby applies for an in the original application in accordance Portland, plans and specifications, if an	e with the Laws of the State of Mair ny, submitted herewith, and the fo	ne, the Building Coo Illowing specification	de and Zoning Ordinance of the City of ons:
			its? 2-fam Dist. No.
Owner's name and addressRicha	rd Blackburn		Telephone
Lessee's name and address			
Contractor's name and address	6 M Industries 34 Gil	man St #5 P	Telephone 823-0824
		701	#1 1 N 0 1
Proposed use of building 2-far 2-far	w/dormers		No. families
Last use2-fan	paragraphic description of the second		NO. Idilliles
Increased cost of work			Additional fee 25.00
	Description of Propos	sed Work	
Is any plumbing involved in this work Height average grade to top of plate Size, front depth Material of foundation Material of underpinning Kind of roof Rise	Height aver No. stories solid or Thickness, top Height e per foot Roof co	Vork electrical work invage grade to high filled land? bottom	wolved in this work?earth or rock?earth or rock? Thickness
No. of chimneys Materia			
Framing lumber — Kind			
Corner posts Sills			
GirdersSize			
Studs (outside walls and carrying pa	rtitions) 2x4-16" O.C. Bridging	in every floor and	d flat roof span over 8 feet.
Joints and rafters: 1st fle	oor, 2nd	, 3rd	, roof
On centers: 1st fle	oor, 2nd	, 3rd	, roof
Maximum span:	oor, 2nd	, 3rd	, roof
Approved: S - No New Se mstalled - Z	- family only	nature of Owner _	BA
INSPECTION COPY — WHITE	FILE COPY — PINK	proved:	Inspector of Buildings

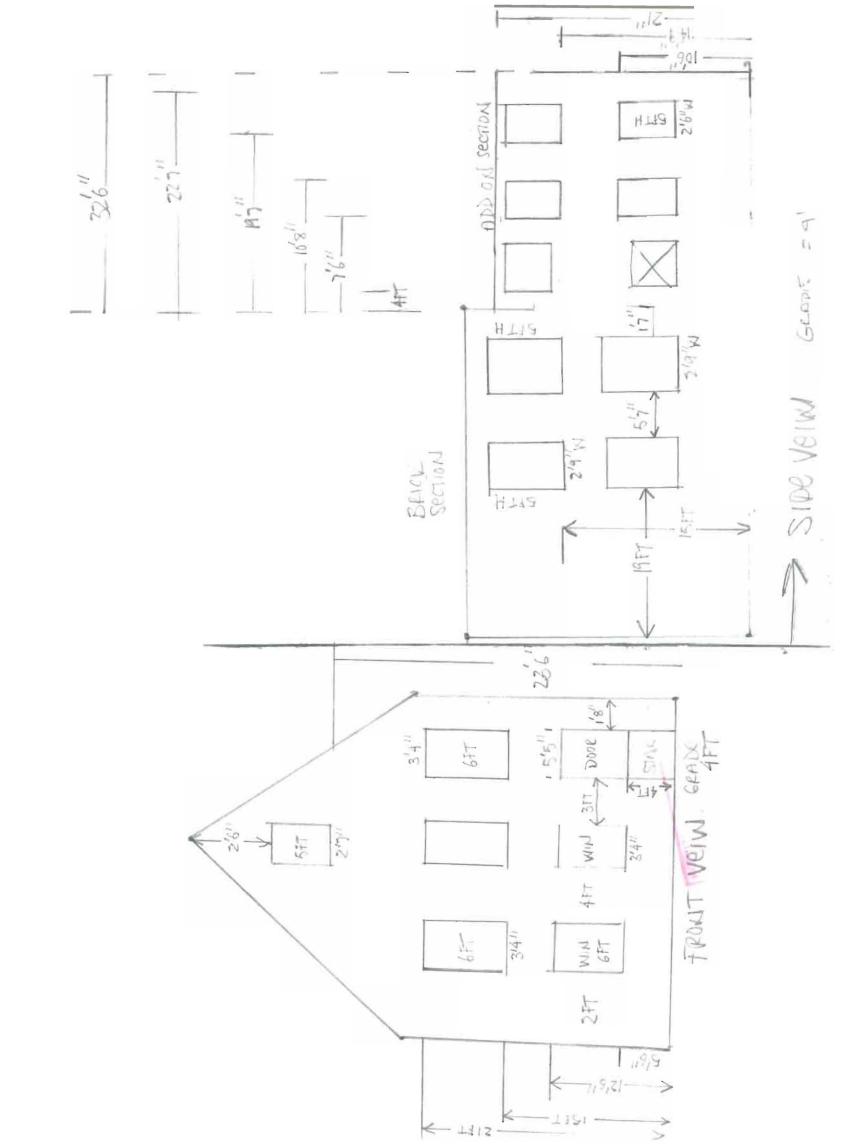
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BUILDING PERMIT REPORT

DATE	: 15 Sept, 97 ADDRESS: 14 Hanover ST
REAS	ON FOR PERMIT: General rebub (with addition)
BUIL	DING OWNER: B-cha-d Blackburn
CONT	TRACTOR: M: M IndusThies
PERM	IIT APPLICANT: Mark Manh , nois APPROVAL: X / * 0 × 9 × 10 × 14 × 16 DENTED
USE (GROUP R-3 BOCA 1996 CONSTRUCTION TYPE 53
	CONDITION(S) OF APPROVAL
1.	This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2.	Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services
	must be obtained. (A 24 hour notice is required prior to inspection)
3.	Precaution must be taken to protect concrete from freezing.
4.	It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
5.	Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from
	adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire
	resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from
	the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2
	inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
6.	All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA
	National Mechanical Code/1993) U.L. 103.
7.	Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
8.	Guardrail & Handrails A guardrail system is a system of building components located near the open sides of elevated
	walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower
	level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-
	1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material sucl
	that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that
	would provide a ladder effect.
10.	Headroom in habitable space is a minimum of 7'6".
10.	Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group
12.5	minimum 11" tread. 7" maximum rise.
11.	The minimum headroom in all parts of a stairway shall not be less than 80 inches.
12.	Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or
	exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of
	special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height
	not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a
	minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension
	shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.
13.	Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable
	when it exits directly from the apartment to the building exterior with no communications to other apartment units.
14.	All vertical openings shall be enclosed with construction having a fire rating of at lest one (1)hour, including fire doors with
1.7.	self closer's.
15	The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by
15.	providing automatic extinguishment.
110	All single and multiple station smoked detectors shall be of an approved type and shall be installed in accordance with the
/16.	provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA
	101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
	101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following fooddass).

In the immediate vicinity of bedrooms

In each story within a dwelling unit, including basements

In all bedrooms

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)

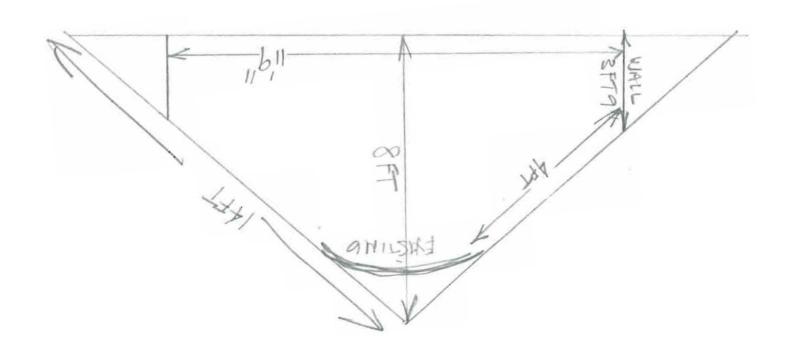
- 17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
- 18. The Fire Alarm System shall be maintained to NFPA #72 Standard.
- 19. The Sprinkler System shall maintained to NFPA #13 Standard.
- All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
- 21. No construction or demolition work shall begin until you have obtained permits for dumpsters or containers. A work Stop Order shall be issued if this requirement is not met.
- 22. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 23. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
- 24. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's office.
- 25. Ventilation shall meet the requirements of Chapter 12 Sections 1210. of the City's Building Code.
- ∠ 26. All electrical and plumbing permits must be obtained by a Master Licensed holders of their trade.
 - 27. All requirements must be met before a final Certificate of Occupancy is issued,
 - 28. All building elements shall meet the fastening schedule as per Table 2305,2 of the City's Building Code. (The BOCA National Building Code/1996).

	National Building Code/1996).
≼ 29.	Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National
	Mechanical Code/1993). Your application plans 5how 2x6 rafters, 160, C. 2x6 will only Span 8 Therefore a minimum of 2x10 @ 160, C. MysT be used
⋠ 30.	Your application Plans Show 2x6 ratters, 16 O.C. 2x6 will only
	Span 8 Therefore a minimum of 2x10@16"ac MysT he used
31.	No New Kitchen To be 175 Talled
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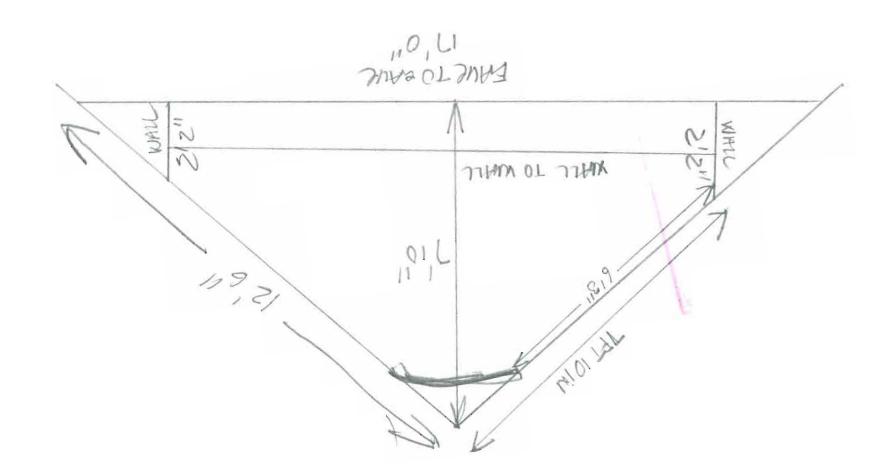
E Samuel Hoffses, Code Enforcement

cc: Lt. McDougall, PFD Marge Schmuckal

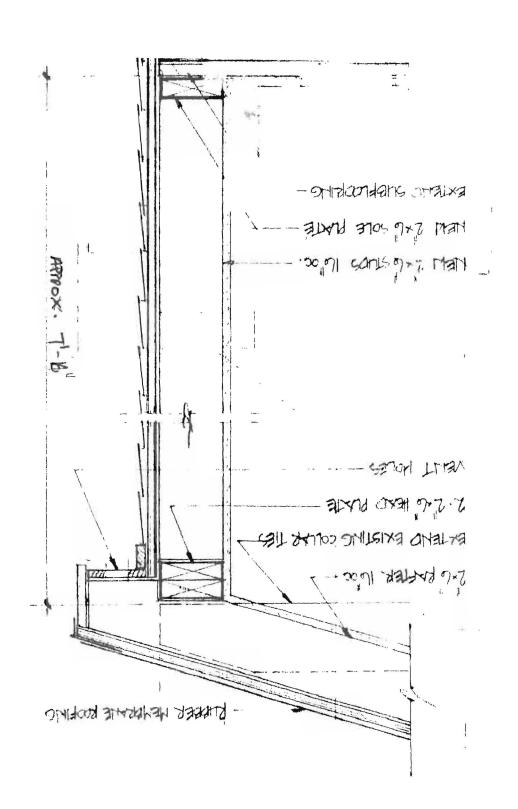
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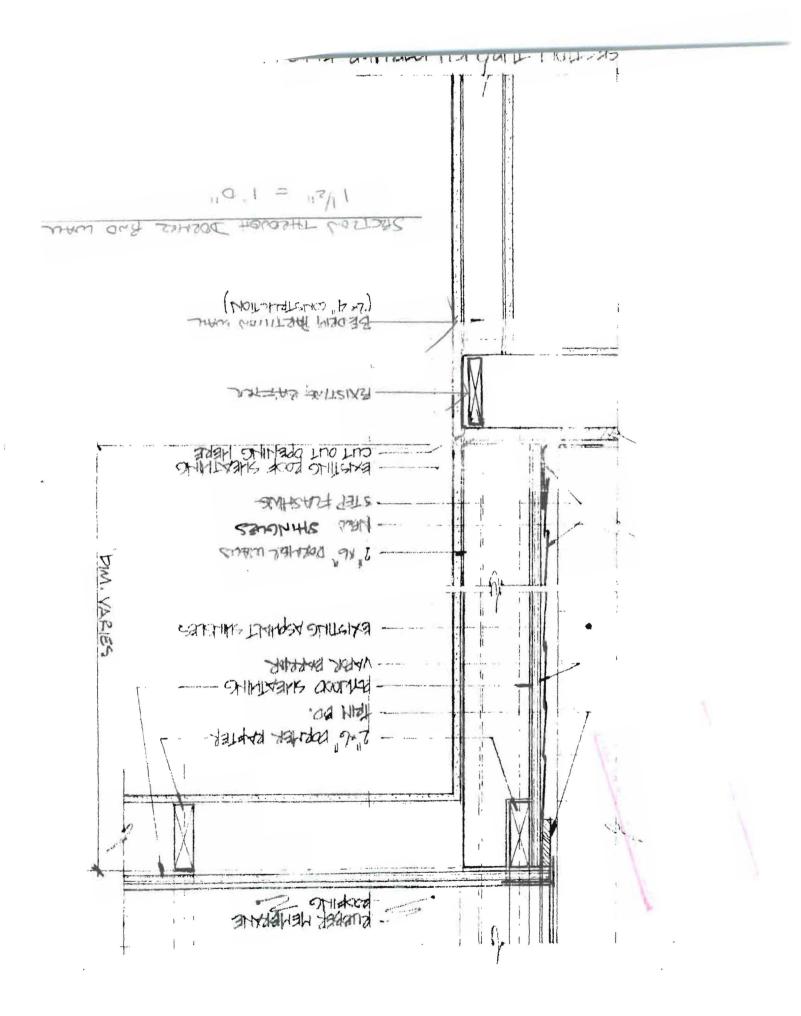


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Mr. - - Mr. Jak LACITURE SPECTION! 119,81 51 P NOLLDAS Skick THOUT POTENTE PHIDOS 777 175 17 HANDVER STIPPET

BUILDING PERMIT REPORT

DATE: 28 /July 197 ADDRESS: 14 Han over ST. (making legal 2 um) REASON FOR PERMIT: To MAKE General Lenovation (No STrucTural)
REASON FOR PERMIT: 10 MAKE General Lenovation (No Structural)
BUILDING OWNER: Q. chard Blackburn
CONTRACTOR: M&M. Inclustries
PERMIT APPLICANT: Mark Manh, mey APPROVAL: X/ KS x9 x 10 x/2 x /6 DENIED

CONDITION(S) OF APPROVAL

This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.

- 2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- 3. Precaution must be taken to protect concrete from freezing.
- 4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- 5. Private garages located <u>beneath habitable rooms</u> in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of ½ inch gypsum board or the equivalent applied to the garage means of ½ inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
- 6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993) U.L. 103.
- 7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
- Guardrail & Handrails A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
- y 9. Headroom in habitable space is a minimum of 7'6".
- Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread, 7" maximum rise.
 - 11. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
- Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.
 - 13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
 - 14. All vertical openings shall be enclosed with construction having a fire rating of at lest one (1)hour, including fire doors with self closer's.
 - The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.
- All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
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 In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and

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DATE: 28 July 197 ADDRESS: 14 Han over ST. (making Legal 24). REASON FOR PERMIT: 10 MAKe General Lenovation (No Structural)
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BUILDING OWNER: Richard Blackburn
CONTRACTOR: M&M. In clus Trues
PERMIT APPLICANT: Mark Manh, mey APPROVAL: X/ KS x9 x 10 x12 x 16 DENSED

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- 8. Guardrail & Handrails A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
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 - In all bedrooms
 - In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and



CITE OF P ATLAND, MAINE Department of Building Inspection

Certificate of Occupancy

LOCATION

14 Hanover St

(033-1-016)

Issued to

Richard Blackburn

Date of Issue

01 December 1997

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 970801, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Two Family Dwelling

Limiting Conditions:

This certificate supersedes certificate issued

Approved:

(Date)

Inspector

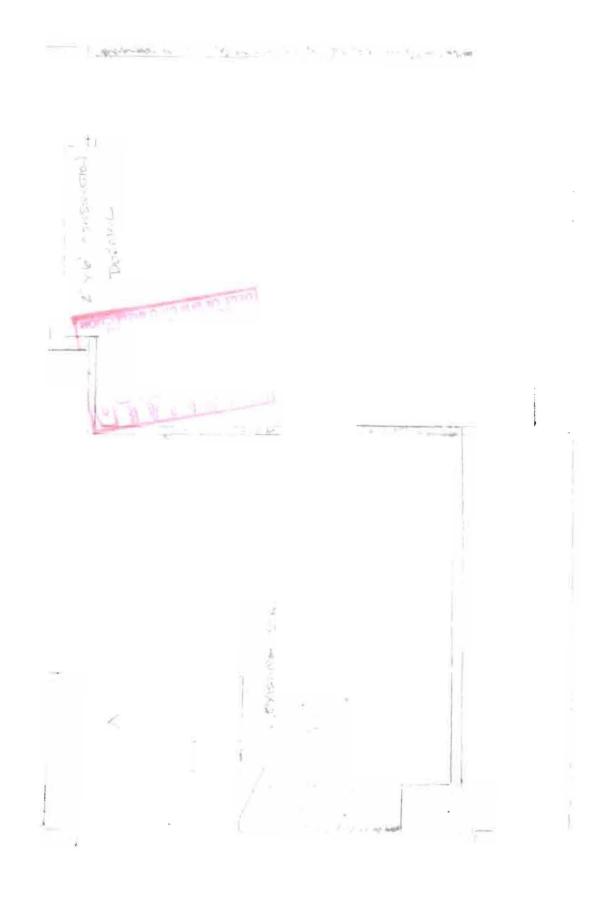
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

N.C. DOPLING

THE HELDING ST

SCA BLACKTON



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